

**NOTICE OF MEETING TO BE HELD BY THE
HISTORIC PRESERVATION COUNCIL
WEDNESDAY, APRIL 1, 2026 - 12:00 PM
MCALLEN DEVELOPMENT CENTER – 311 NORTH 15TH STREET**

AGENDA

At any time during the course of this meeting, the Historic Preservation Council may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Historic Preservation Council under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Historic Preservation Council may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code.

CALL TO ORDER -

1. Elections of Officers

- a) Chairperson
- b) Vice-Chairperson

2. Minutes

- a) Approval or disapproval of Minutes held on September 18, 2025
- b) Approval or disapproval of Minutes held on December 4, 2025

3. Discussion and Possible Action

- a) Discussion of subcommittee considerations and recommendations for possible adoption of standards governing front yard fences in the Historic District

4. Adjournment

C E R T I F I C A T I O N

I, the undersigned authority, do hereby certify that the above Notice of Meeting and Agenda for the McAllen Historic Preservation Council is a true and correct copy and that I posted a true and correct copy of said notice of meeting and agenda for the McAllen Historic Preservation Council on the bulletin board in the municipal building, a place readily accessible to the general public at all times for at least three business days before the scheduled date of the meeting, in accordance with Chapter 551 of the Texas Government Code.

Jessica Cavazos, Management Assistant

ELECTION OF OFFICERS:

Chairperson

ELECTION OF OFFICERS:

Vice-Chairperson

**STATE OF TEXAS
COUNTY OF HIDALGO
CITY OF MCALLEN**

The Historic Preservation Council convened in a meeting on Wednesday, September 18, 2025 at 12:00 p.m. at the McAllen Development Center – 311 N. 15th Street – Executive Conference

Present:	Dr. Jaclyn Miller	Chairperson
	Danny Boultinghouse	Vice-Chairperson
	Carolina Civarolo	Member
	Melissa S. Knerr	Member
	Marc Millis	Member
	Daniel Padilla	Member
Staff Present:	Martin Canales	Assistant City Attorney III
	Omar Sotelo	Planning Director
	Hilda Tovar	Planner II
	Carmen White	Administrative Assistant

CALL TO ORDER – Dr. Jaclyn Miller - Chairperson

1. Minutes

- a) Approval or Disapproval of Minutes held on May 21, 2025 and May 28, 2025.

The minutes will be Approved or Disapproved at the next meeting.

2. Public Hearing

- a) Las Palmas Historic District Design Standards—Fencing and Walls

Ms. Tovar stated the goal of a Certificate of Appropriateness is to preserve historic, architectural, and cultural heritage by protecting character-defining features of the Las Palmas Historic District.

The design review process for the Certificate of Appropriateness is critical within a designated historic district to ensure that the unique and defining characteristics of the area are maintained according to McAllen’s design standards.

LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS - CHAPTER 6

GENERAL NEIGHBORHOOD DESIGN PRINCIPLES: Compatible design is described as design that is sensitive to the existing historic fabric and is designed using similar size, scale, and massing. Chapter 6 outlines considerations for architects, designers, and property owners when considering the construction of a new residence within the Las Palmas Local Landmark District.

Consistency of Style: New construction should not try to mimic the architectural styles of the past but should look to them for guidance on fenestration patterns, façade organization, level and extent of detailing, massing, roof forms and height, and materials used. New construction

should reflect modern design but be sensitive to the historical architectural styles of the past that are represented within the Las Palmas historic district.

Scale: New construction should maintain a scale that mirrors and respects the scale of adjacent construction.

Materials: Primary exterior materials used within the historic district include stucco and brick or stone masonry. New construction should maintain the palette of existing exterior materials.

SITE FEATURES: It is important to maintain the character-defining features of the district when planning a construction project on existing vacant lots. These features contribute significantly to the overall sense of place.

Fencing: The low walls maintained the visual continuity between each adjacent lot and did not obstruct sight lines from one point in the neighborhood to another. Walls shall not be located along the front yard, abutting the existing sidewalk. They shall not be located adjacent to the street at corner lots. Privacy fencing shall be isolated to the rear yard – fencing shall not be constructed at the front yard.

Legal counsel stated that today's meeting was to discuss where we go with these guidelines for design standards. There will be another case next week where they were asking for a fence.

Ms. Tovar stated she that most of the customers recently that wanted to put fences on their property. It was not complying with the guidelines but they had concerns. Ms. Tovar will finish with the presentation.

LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS - CHAPTER 7

FENCING AND WALLS: Historically, low stone or brick masonry walls were designed along property lines and exterior patios within the neighborhood. These walls do not obstruct the sightlines to the property, and new fence or wall construction should similarly maintain the open character of the site. The construction of new fencing should be limited to the rear yard. Fencing and low-lying walls are not recommended along the front yard, abutting the sidewalk, or along the side property line that meets the street for corner lots

Ms. Tovar showed examples of what is existing. She stated she has had a few customers that have used this fence as an example. They liked the look, landscaping, size and design. Ms. Tovar stated there was one located on 612 North 15th Street. Another one on April 2022 located on 400 North 15th Street. At that, time there was no fence. 408 North 15th Street in 2011 there was a different type of fence, 417 North 15th Street back then no fence but received their Certificate of Appropriateness to build the fence in front of the property and along the sidewalk. A 521 North 15th Street complied with the guidelines not along the sidewalk. It did maintain the open view of the site. A 602 North 15th Street used to be an empty lot. There is currently a house with a 4-foot fence on the side corner lot.

Legal counsel went over the design standard guidelines with the Board. He mentioned that there was a lot of debate of what type of fences should be allowed and design criteria. The last fence that was approved it was going to be based on the fence with the greenery growth. It was little

higher than the existing one. Is the scaling right? Should they go as far as specifying parameters? Half walls should be maximum a certain height. Pillars should be maximum dimensions of a certain height. Materials and construction should match the existing of the house.

Chairperson Miller stated to be more specific particularly if they move in the future to designate another District. It could run into a problem with homeowners not wanting to be a Historic District especially if there is many of these restrictions are being enforced. Dr. Miller asked if they could get a proposal a revision of this design standard to vote on for the next meeting.

Staff member Forghanparast stated the reason setting up this meeting was so the Board members discuss to get a better understanding of what is the Board's intent or vision.

Board member Millis stated that the guidelines would need to be revised. He questioned what the character of Las Palmas. Does the counsel want to define going forward or for potential future districts? Need to step back and see what we want to do in McAllen. How much to preserve and what it should look like.

Legal counsel stated first, there would be requests for fences and two, there was a new home built. There may some empty lots and it so there will be a house or two will be built or possible renovations.

Board member Millis asked legal counsel does approval of guidelines require City Commission. Legal counsel he would have to research it.

Board member Boultinghouse stated that making a decision now would be difficult.

Planning Director Sotelo stated they mentioned the 24 inches but forgot to look at the elevation of the two houses. The elevations is what was thrown off because the newer houses are set higher up.

Board member Civarolo asked staff how many houses in the District have already have fences. Ms. Tovar stated she would have to go back and research.

Board member Knerr asked staff if they had a rough draft what the person next week will be asking for. Staff stated they could not discuss at this meeting but will be sending out a packet prior to the next meeting.

Ms. Tovar stated as far as parameters, have customers asking which permits I need for a fence with the Historic District. I inform them for them not to seek with what is existing in the neighborhood to match the materials of the existing structure in that same site. For example, if the house is brick match with brick as well. The location of the fence not be along the sidewalk. In addition, for corner lots as well to not obstruct view. Ms. Tovar stated she provided a copy of fences in the Historic District to show what they are doing in San Antonio.

Chairperson Miller asked the Board to form a subcommittee.

Ms. Melissa Knerr made a motion to form a subcommittee of three members to review and to make revisions of guidelines and design standards. Mr. Mark Millis seconded the motion. The Board voted with six members present and voting.

Chairperson Miller asked if there was a proposal to do a 60-year moratorium on all properties of any changes. To go back to idea of doing a survey to find specific properties of interest as the next goal.

Board member Millis asked if they go around and conduct a survey to identify properties that are of historical significance. Would that be an approval through this counsel that identifies them as such and any modifications or go through City Commission? Deputy City Manager Rivera said it would have to go before the City Commission and the property owner has to be in agreement. The way the Ordinance was laid out, the Board could identify properties and maintain a database but that does not mean that they are automatically declared part of this District where they would have to go through the extra scrutiny of coming to this Board. Members could identify neighborhoods by block walking, talk to the residents, and see if they would to be a part of the Historic District. It would then be brought back in a package and staff would do the groundwork and bring it before the Board for future consideration.

Board member Millis asked if staff could look into the City of Brownsville Historic Preservation Ordinance. They have an over 50 moratorium, anything over it had to go you before their counsel.

Ms. Rivera stated Ms. Julie Lash was present. She was the CBDG Director and the Grants Director and was from Brownsville. She did a lot of Historic Preservation work there.

Chairperson Miller asked if Ms. Civarolo, Mr. Millis and Mr. Padilla if they would like to be on the subcommittee. They all agreed.

3. Adjournment

Following discussion, Ms. Melissa Knerr made a **motion** to adjourn the meeting. Ms. Carolina Civarolo **seconded** the motion, which passed unanimously with five members present and voting. The meeting was adjourned at 12.58 p.m.

Dr. Jaclyn Miller
Chairperson

ATTEST _____
Carmen White

**STATE OF TEXAS
COUNTY OF HIDALGO
CITY OF MCALLEN**

The Historic Preservation Council convened in a meeting on Wednesday, December 4, 2025 at 12:00 p.m. at the McAllen Development Center – 311 N. 15th Street – Executive Conference

Present:	Dr. Jaclyn Miller	Chairperson
	Carolina Civarolo	Member
	Melissa S. Knerr	Member
	Daniel Padilla	Member
Absent:	Marc Millis	Member
Staff Present:	Martin Canales	Assistant City Attorney III
	Omar Sotelo	Planning Director
	Kaveh Forghanparast	Senior Planner
	Jessica Puga	Technician II
	Carmen White	Administrative Assistant

CALL TO ORDER – Dr. Jaclyn Miller - Chairperson

1. Minutes

- a) Approval or Disapproval of Minutes held on May 21, 2025

Ms. Carolina Civarolo **moved** to approve the minutes. Ms. Melissa Knerr **seconded** the motion. Motion approved with four board members present and voting.

- b) Approval or Disapproval of Minutes held on May 28, 2025

Ms. Carolina Civarolo **moved** to approve the minutes. Mr. Daniel Padilla **seconded** the motion. Motion approved with four board members present and voting.

2. Public Hearing

- a) Request of Troyo Design + Build on behalf of Bradley Oliver Wilkinson for a Certificate of Appropriateness for a proposed fence for an existing single-family residence within the Las Palmas Historic District at Lots 10, 11 & 12, Block 5, North McAllen Subdivision, Hidalgo County, Texas; 704 North 15th Street **(CLM2025-0004)**

Mr. Forghanparast stated the subject property was located at the northeast corner of North 15th Street and Gumwood Avenue. This property is within the Las Palmas Historic District and is zoned R-1 (single-family residential) District. The architectural classification for the building is Spanish Colonial Revival. The house was ranked as “High” Preservation Priority during a comprehensive historic resources survey conducted in 2005. The subject property was designated a McAllen City Landmark on June 10, 2019.

The applicant was proposing to construct a fence for an existing single-family residence within the Las Palmas Historic District. The proposed concrete block fence with stucco finish was proposed to be built in the front of the property along North 15th street and Gumwood Avenue, with minimum 12” distance from the existing sidewalk along North 15th Street. The color of stucco is proposed to match the exiting texture and color of original stucco accent details of the house. The fence will also include

a decorative wrought iron proposed to match the existing and height not exceeding the proposed columns. The wrought iron supporting structure was proposed to have a maximum height of 1'-4" with columns measuring 1'-10" by 1'-10" with maximum height of 6 feet from the ground, with light fixtures on top of the columns.

The design review process for the Certificate of Appropriateness is critical within a designated historic district to ensure that the unique and defining characteristics of the area are maintained according to McAllen's design standards.

Fencing: Historically, fence enclosures at the perimeter of the Las Palmas historic district, if they existed, were isolated to the rear yard. Low landscaping walls of stone or brick masonry construction were designed along front patios or along the side property line. The low walls maintained the visual continuity between each adjacent lot and did not obstruct sight lines from one point in the neighborhood to another.

New construction should respect the visual continuity present between lots in the neighborhood and if designed, landscape walls should be low and unobtrusive. Low-lying walls should be limited in location – they can surround small patios along the front façade of the residence or define side property lines with adjacent residences. Walls shall not be located along the front yard, abutting the existing sidewalk. They shall not be located adjacent to the street at corner lots. Privacy fencing shall be isolated to the rear yard – fencing shall not be constructed at the front yard.

According to the applicant, the fence will be installed in the front of the home to enhance the home security, increase privacy and outdoor family activity, and enhance curb appeal. The fence, as proposed by the applicant, will align with the aesthetic character of the neighborhood.

The Historic Preservation Council had approved four other fences in the past in Las Palmas Historic Districts.

Staff had not received any phone calls, letters, or emails in opposition to the request.

Staff recommended disapproval of the proposed fence since it does not comply with the Las Palmas Local Landmark District Design Standards for fencing.

Ms. J. Wilkinson and Ms. Rosie Wilkinson stated they had proposed reducing the number of columns at the main entrance from four to two to improve visibility of the house.

Following a brief discussion, Mr. Daniel Padilla moved to approve the Certificate of Appropriateness. Ms. Melissa Knerr seconded the motion. The Board unanimously voted to approve the request with the proposed adjustment to the number of columns with four board members present and voting.

3. Adjournment

Following discussion, Ms. Carolina Civarolo made a motion to adjourn the meeting. Mr. Daniel Padilla seconded the motion, which passed unanimously with four members present and voting. The meeting was adjourned at 12.18 p.m.

Dr. Jaclyn Miller
Chairperson

ATTEST _____
Carmen White

LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS

FENCING AND WALLS



LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS

FENCING AND WALLS

CHAPTER 6 - GENERAL NEIGHBORHOOD DESIGN PRINCIPLES:

Compatible design is described as design that is sensitive to the existing historic fabric and is designed using similar size, scale, and massing.

Consistency of Style

Scale

Materials

LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS

FENCING AND WALLS

Consistency of Style:

New construction should not try to mimic the architectural styles of the past but should look to them for guidance.

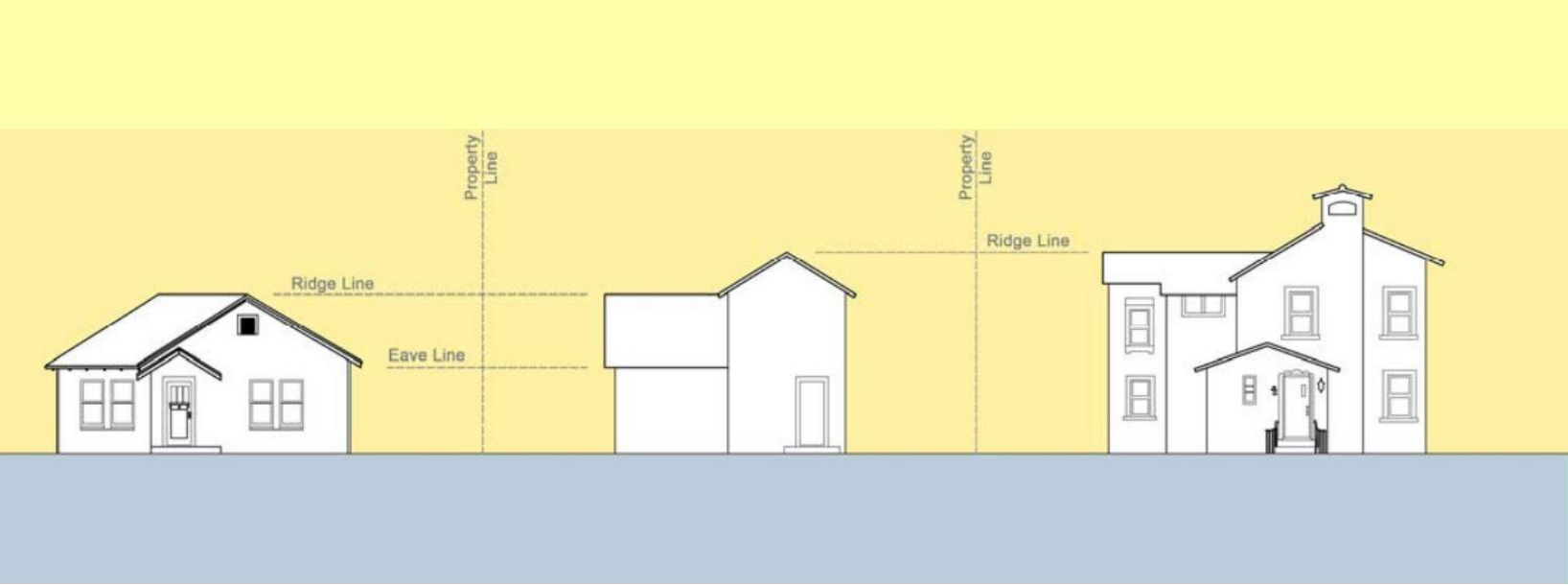


LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS

FENCING AND WALLS

Scale:

New construction should maintain a scale that mirrors and respects the scale of adjacent construction.



LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS

FENCING AND WALLS

Materials:

Primary exterior materials used within the historic district include stucco and brick or stone masonry. New construction should maintain the palette of existing exterior materials.



LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS

FENCING AND WALLS

CHAPTER 6 - SITE FEATURES:

It is important to maintain the character-defining features of the district when planning a construction project on existing vacant lots.

Fencing

LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS

FENCING AND WALLS

Fencing:

Walls shall not be located along the front yard, abutting the existing sidewalk. They shall not be located adjacent to the street at corner lots. Privacy fencing shall be isolated to the rear yard – fencing shall not be constructed at the front yard.



LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS

FENCING AND WALLS

CHAPTER 7 - FENCING AND WALLS:

Historically, low stone or brick masonry walls were designed along property lines and exterior patios within the neighborhood. These walls do not obstruct the sightlines to the property, and new fence or wall construction should similarly maintain the open character of the site.

LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS
FENCING AND WALLS

EXISTING FENCES



400 North 15th Street

LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS

FENCING AND WALLS

EXISTING FENCES



LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS
FENCING AND WALLS

EXISTING FENCES



408 North 15th Street

LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS

FENCING AND WALLS

EXISTING FENCES

408 N 15th Street, McAllen

GOOGLE MAPS – Streetview MAY 2011



408 N 15th Street, McAllen

GOOGLE MAPS – Streetview APRIL 2022



LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS
FENCING AND WALLS

EXISTING FENCES



417 North 15th Street

LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS

FENCING AND WALLS

EXISTING FENCES

417 N 15th Street, McAllen

GOOGLE MAPS – Streetview MAY 2011



417 N 15th Street, McAllen

GOOGLE MAPS – Streetview APRIL 2022



LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS
FENCING AND WALLS

EXISTING FENCES



505 North 15th Street

LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS
FENCING AND WALLS

EXISTING FENCES



521 North 15th Street

LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS

FENCING AND WALLS

EXISTING FENCES

521 N 15th Street, McAllen

GOOGLE MAPS – Streetview APRIL 2023



521 N 15th Street, McAllen

GOOGLE MAPS – Streetview FEBRUARY 2025



LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS
FENCING AND WALLS

EXISTING FENCES



604 North 15th Street

LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS
FENCING AND WALLS

EXISTING FENCES



612 North 15th Street

LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS

FENCING AND WALLS

EXISTING FENCES

612 N 15th Street, McAllen

GOOGLE MAPS – Streetview MAY 2011

(low to no fence)



612 N 15th Street, McAllen

GOOGLE MAPS – Streetview APRIL 2022

(low fence all around)



612 N 15th Street, McAllen

GOOGLE MAPS – Streetview FEBRUARY 2025

(high fence)



LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS
FENCING AND WALLS

EXISTING FENCES



704 North 15th Street

LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS
FENCING AND WALLS

EXISTING FENCES



704 North 15th Street

LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS
FENCING AND WALLS

EXISTING FENCES



704 North 15th Street

LAS PALMAS HISTORIC DISTRICT DESIGN STANDARDS FENCING AND WALLS

FENCING

People place fences around their properties for **increased privacy** from intruders.

Fences also help to **define property boundaries**.

A fence provides a contained and **safe space** for children and pets to play outdoors.

HPC Subcommittee had a meeting on March 10, 2026, and after a lengthy discussion, recommended the following items to be discussed for possible adoption of standards governing front yard fences in the Historic District:

- Columns height and width
- Parapet height
- Spacing of columns
- Materials for columns and parapet
- Fence portion material
- Height of parapet Colors
- Low level lighting
- Vegetation