

**NOTICE OF SPECIAL MEETING TO BE HELD BY THE
HISTORIC PRESERVATION COUNCIL
WEDNESDAY, AUGUST 12, 2020 - 9:00 AM
MCALLEN DEVELOPMENT CENTER – 311 NORTH 15TH STREET
EXECUTIVE ROOM**

**Web: <https://zoom.us/join> or phone: (346) 248-7799
Meeting ID: [672-423-1883](https://zoom.us/join)**

AGENDA

At any time during the course of this meeting, the Historic Preservation Council may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code

CALL TO ORDER - CHAIRPERSON JOE AVERILL, JR.

1. Public Comment

2. Minutes

- a) Minutes for the meeting held on June 24, 2020

3. Public Hearing (to be conducted at 9:00 A.M.)

- a) Certificate of Appropriateness – 615 North 15th Street

4. Discussion and Possible Action

- a) Lost Resource and Historic Sites
- b) Priority Historic Resource List
- c) Texas Treasure Business Award Update
- d) Possible Tour of Koelle House - 1206 North Main Street

5. Adjournment

C E R T I F I C A T I O N

I, the undersigned authority, do hereby certify that the above agenda for the meeting of the McAllen Historic Preservation Council is a true and correct copy and that I posted a true and correct copy of said notice on the bulletin board in the municipal building, a place convenient and readily accessible to the general public at all times, and said notice was posted on the 7th day of August, 2020 at 5:00 p.m. and will remain so posted continuously for at least 72 hours preceding the scheduled time of said meeting in accordance with Chapter 551 of the Texas Government Code.

Jessica Cavazos, Administrative Supervisor

STATE OF TEXAS
COUNTY OF HIDALGO
CITY OF MCALLEN

The Historic Preservation Council convened in a special meeting on Wednesday, June 24, 2020 at 9:24 a.m. p.m. at City Hall, 3rd floor City Commission Chambers.

Present:	Joe Averill, Jr. Orlando Gutierrez Teddy Martin Dr. Jaclyn Miller	Chairperson (via teleconference) Member Member (via teleconference) Member (via teleconference)
Absent:	Johnny Cisneros Trisha Scott David Cazares	Member Member Member
Staff Present:	Evaristo Garcia Rodrigo Sanchez Liliana Garza Porfirio Hernandez Carmen White	Assistant City Attorney Senior Planner Planner II Technician II Administrative Secretary

CALL TO ORDER – Joe Averill, Jr., Chairperson (via teleconference)

1. Public Comment

2. Minutes

- a) Minutes for meeting held January 22, 2020
- b) Minutes for meeting held January 31, 2020
- c) Minutes for meeting held February 5, 2020

Mr. Teddy Martin **moved** to approve the minutes. Mr. Orlando Gutierrez seconded the motion. The board voted to approve the minutes with four board members present and voting

3. Public Hearing and Action: (to be conducted at 9:00 a.m.)

4. Discussion and Possible Action

- a) Lost Resource and Historic Sites
- b) Priority Historic Resource List
- c) Texas Treasure Business Award Update
- d) Possible Tour of Koelle House – 1206 N. Main Street

Ms. Garza stated there were no updates to the list mentioned above however, the Koelle house was still under construction. Staff would be able to schedule a tour date once construction is completed.

Chairperson Joe Averill asked if there were any other items to go over. Ms. Garza stated not at the moment but there was a possibility there would be a new case but they had not applied for the application. Chairperson Averill inquired when the Board would be able to meet in person. Dr. Miller had mentioned that the numbers of cases were rising and it would be a better idea to meet through teleconference.

Chairperson Averill inquired about having meeting through Zoom or via teleconference instead of audio. Ms. Garza stated for the meetings of Zoning Board of Adjustment and Planning & Zoning, they are done by Zoom. However, this meeting was only for the minutes. We can have a Zoom meeting for July's if the Board wishes to do so.

5. Adjournment

Mr. Teddy Martin made a motion to adjourn the meeting. Mr. Orlando Gutierrez seconded the motion, which passed unanimously with four members present and voting. The meeting was adjourned at approximately 9:44 a.m.

Joe Averill, Jr. Chairperson

CERTIFICATION

I, the undersigned authority, do hereby certify that the above agenda for the meeting of the McAllen Historic Preservation Council is a true and correct copy and that I posted a true and correct copy of said notice on the bulletin board in the municipal building, a place convenient and readily accessible to the general public at all times, and said notice was posted on the 21st day of June, 2019 at 5:00 p.m. and will remain so posted continuously for at least 72 hours preceding the scheduled time of said meeting in accordance with Chapter 551 of the Texas Government Code.

Carmen White, Administrative Secretary

MEMO

TO: Historic Preservation Council

FROM: Planning Staff

DATE: August 4, 2020

SUBJECT: REQUEST OF MARC MILLIS FOR A CERTIFICATE OF APPROPRIATENESS FOR THE EXTERIOR MODIFICATIONS TO AN EXISTING RESIDENCE WITHIN THE LAS PALMAS HISTORIC DISTRICT AT THE SOUTH ½ OF LOT 2 AND ALL OF LOT 3, BLOCK 11, NORTH MCALLEN SUBDIVISION, HIDALGO COUNTY, TEXAS; 615 NORTH 15TH STREET (CLM2020-0003)

GOAL: A Certificate of Appropriateness is required for all proposed exterior alterations, new construction, and demolition within a local historic district. The goal of a Certificate of Appropriateness is to preserve historic, architectural, and cultural heritage by protecting character-defining features of the Las Palmas Historic District.

BACKGROUND: The property is located at the west side of N. 15th Street and 75 ft. South Gumwood Avenue. The lot has 75 feet of frontage along N. 15th Street and a depth of 140 feet for a lot size of 10,500 square feet. As per the design standards (please refer to page 7-2), the house on the property is considered a noncontributing building within the local landmark district. A noncontributing building does not add to the historic associations, historic architectural qualities, or archeological values for which property is significant. However, noncontributing properties that are part of the Las Palmas Local Landmark District still require to complete Certificate of Appropriateness application for major alterations/additions because these construction changes may affect the character-defining features of the entire district. Windows are also a character-defining features of the entire district.

PROPOSAL: The applicant is proposing to remove 2 circular windows, 6 small square windows and 3 rectangular windows on the front of the existing house. The applicant is proposing to remove all stucco window trim from the front of the house and install 5 arched windows. The applicant is also proposing to repaint the exterior of the house to aged white and repaint the outside trim to black fox.

ANALYSIS: The design review process for the Certification of Appropriateness is critical within a designated historic district to ensure that the unique and defining characteristics of the area are maintained according to the design standards of the Las Palmas Historic District.

WINDOWS: As per the design standards (please refer to page 7-15) for the Las Palmas Historic District historic windows can be made more energy efficient by simply re-glazing window panes and/or applying weather stripping. When original windows must be replaced for energy efficiency, the new windows must match the original configuration, dimension, profile and finish. The proposed scope of work is as follows:

1. The two round eyed windows with trim on each side of the chimney in front of the house will be removed and will be replaced with two 36 in. by 60 in. arch windows.
2. The six small square windows on half the cylinder above the front entrance of the house will be removed and will be replaced with three 32 in. by 48 in. arch window facades.
3. The three rectangular windows with their trim on the south of the front entrance of the

house will be removed and the openings will be enclosed with stucco wall. The enclosure of the three windows will not affect the architecture style of the house.

4. The stucco trim around all front windows will be removed; however, the trim around the house on top will be repainted to back fox and the exterior walls of the house will be repainted to aged white.

RECOMMENDATION: The plans submitted comply with the Las Palmas Local Landmark District Design Standards for windows. Even though this is a noncontributing building, the proposed alteration may positively enhance the character-defining feature of windows that are part of the building. Therefore, staff recommends approval of the proposed removal and replacement of windows and exterior painting as requested by the applicant.

HISTORIC PRESERVATION COUNCIL

CERTIFICATE OF APPROPRIATENESS

APPLICATION FORM

Required Items: Site plan, legal description, building elevations, final building plans and specifications, samples of paint colors, roofing materials, color photographs of structures and sites where construction will take place. **NO CASE WILL BE SCHEDULED FOR A HEARING UNTIL ALL REQUIRED MATERIALS ARE RECEIVED.** (See check lists on pages 3-6)

Property Location (Street Address) 615 N. 15th

☒ **Historic District Name** Las Palmas

☐ **Landmark Name** _____

Legal Description NORTH McAllen S 1/2 of 2 + ALL OF 3 BLK 11

Name of Property Owner: MILLIS REAL ESTATE GROUP, LLC

Mailing Address: PO Box 1716, McAllen **Zip Code:** 78505

Telephone: 956-408-0084 **Fax No.** NA

E-Mail Address: marc@millisreg.com

(If different from Owner)
Name of Owner's Agent: SAME

Address: _____ **Zip Code:** _____

Business/Home Telephone: _____ **Fax No.** _____

E-Mail Address: _____

Owner is requesting permission to: (describe clearly and in detail all architectural alterations to be made in addition to other requests. An additional sheet may be used.)

1. PAINT EXTERIOR "AGED WHITE" (SW 9180).
2. PAINT TRIM "BLACK FOX" (SW 7020).
3. REMOVE 2 circular WINDOWS, 6 small square windows, 3 Rectangular windows.
4. REMOVE ALL stucco window trim, ADD 5 ARCHED window facades.

This completed form is to be submitted in person at the Planning Department Office



Ed
L.G.

Accela/L.F. (CW)

d.c.c.

APPROVAL BY THE HISTORIC PRESERVATION COUNCIL CONSTITUTES APPROVAL TO APPLY FOR A BUILDING PERMIT. BUILDING PERMITS MUST BE OBTAINED FROM THE CITY OF MCALLEN, PERMIT AND INSPECTIONS DEPARTMENT.

Owner understands the following:

1. If the Council fails to approve any portion of a request or recommends that changes be made in the plans and specifications, the owner will have five (5) days in which to inform the Historic Preservation Officer as to whether the owner agrees to the recommended changes.
2. Within ten (10) days from receipt of the recommendation, the Historic Preservation Officer shall notify the owner as to whether his request has been approved, conditionally approved or denied.
3. If the owner does not concur with the Council's recommendation, appeal to the Board of Commissioners may be made within the time specified in (Ord. Sec 138-419).

IF THE PROPERTY OWNER DOES NOT APPEAR PERSONALLY BEFORE THE COUNCIL, AN AUTHORIZATION SIGNED BY THE OWNER MUST BE PRESENTED TO THE HISTORIC PRESERVATION OFFICER, AUTHORIZING A REPRESENTATIVE TO APPEAR INSTEAD OR THE CASE WILL NOT BE HEARD.

I hereby authorize _____ of _____
(Name of representative) (Company or agency)

To represent me in matters pertaining to this case.

Owner's Name: MARC MILLIS

Owner's Signature: 

Date 7-28-20



HISTORIC PRESERVATION COUNCIL

REQUIRED MATERIALS CHECK LIST

All background materials needed to support the applicant's request must be submitted to the Historic Preservation Officer **PRIOR** to scheduling the case before the Council. **NO CASE** will be placed on the agenda if **ALL** materials are not on file by the deadline date. Any last minute changes must be shown on revised plans.

II. Check Where Applicable:

- ☒ Residence and/or Duplex
- ☐ Apartments and/or Commercial

III PROJECT TO INCLUDE (check where applicable):

- A ☒ ALTERATION/REPAIR/RESTORATION of an Existing Building or Structure
- B ☐ NEW CONSTRUCTION
- C ☐ ADDITION
- D ☐ DEMOLITION
- E ☐ SIGN REQUIREMENTS
- F ☐ FENCING
- G ☐ DRIVEWAY - SIDEWALKS & PARKING LOTS
- H ☒ REPAINTING (color change)
- I ☐ REROOFING (materials/color change)
- J ☐ SWIMMING POOLS - FISH PONDS & FOUNTAINS
- K ☐ GAZEBOS - BATH HOUSE & DECKING
- L ☐ WINDOWS

A ALTERATION/REPAIR/RESTORATION of an existing building or structure

- ☐ Scaled drawings, detailed architectural drawings may be required, dependent upon extent of work proposed.
- ☒ Photographs of the property and surrounding property, showing where work is to be done.
- ☐ A written list of proposed materials and colors, including manufacturer's specification numbers.
- ☒ Actual samples of materials and colors should be presented at the meeting.
- ☐ Written narrative indicating the extent of the proposed alteration.
- ☐ Other information needed to illustrate the proposed alteration.

B. **NEW CONSTRUCTION**

- ☐ Preliminary plans with building elevations
- ☐ Working scale drawings/specifications
- ☐ Drawing 8½" X 11" reproducible sheets
- ☐ Scale site plan with square footage of the building
- ☐ Photographs of building site for new construction
- ☐ Paint samples with brand name and number
- ☐ Roofing material sample
- ☐ Siding sample

C. **ADDITION**

- ☐ Preliminary plans with building elevations
- ☐ Scale drawing of addition in relation to structure
- ☐ Working scale drawings/specifications
- ☐ Scale site plan
- ☐ Drawing 8½" X 11" reproducible sheets
- ☐ Photographs of structure showing current appearance
- ☐ Photographs of all exterior sides (include all four sides of building)
- ☐ Colors (sample)

D. **DEMOLITION**

- ☐ Photographs of structure (all exterior sides of structure)
- ☐ Scale site plan
- ☐ Proposed use after demolition (conceptual plan)
- ☐ Proof of economic hardship or unusual and compelling circumstances (required for demolition within a historic district or of a landmark)

E. **SIGNAGE**

- ☐ Working scale drawings/specifications
- ☐ Scale drawing of sign in relation to structure
- ☐ Scale site plan
- ☐ Drawing 8½" X 11" reproducible sheets
- ☐ Photograph of location of proposed signage on structure/property
- ☐ Photograph of structure and all exterior sides affected by proposed work
- ☐ Type of materials to be used for sign
- ☐ Colors (samples) as applied to sign
- ☐ Size/style of lettering
- ☐ Illumination Plan

F. **FENCING**

- ☐ Type/design of fence
- ☐ Scale of drawing of members with specifications
- ☐ Scale site plan
- ☐ Drawing 8½" X 11" reproducible sheets
- ☐ Photograph of structure and all exterior sides affected by proposed work

G. **DRIVEWAYS - SIDEWALKS & PARKING LOTS**

- ☐ Type/design of driveway/sidewalk
- ☐ Drawing 8½" X 11" reproducible sheets
- ☐ Scale site plan
- ☐ Photograph of structure, location and all exterior sides affected by proposed work
- ☐ Landscaping plans (if any)
- ☐ Colors (sample)

H. **REPAINTING (color change)**

- ☐ Type of material
- ☒ Colors (sample)
- ☐ Description of design
- ☐ Photographs of structure and all exterior sides affected by proposed work

I. **REROOFING (material/color change)**

- ☐ Type of material (sample or cut sheet)
- ☐ Colors (sample)
- ☐ Description of design
- ☐ Photographs of structure and all exterior sides affected by proposed work

J. **SWIMMING POOLS - FISH PONDS & FOUNTAINS**

- ☐ Working scale drawings/specifications
- ☐ Scale drawing in relation to structure
- ☐ Scale site plan
- ☐ Drawing 8½" X 11" reproducible sheets
- ☐ Type/design of swimming pool, fish pond and/or fountain
- ☐ Photographs of structure (all exterior sides) and area affected by proposed work
- ☐ Colors (sample)

K. **GAZEBOS - BATH HOUSE & DECKING**

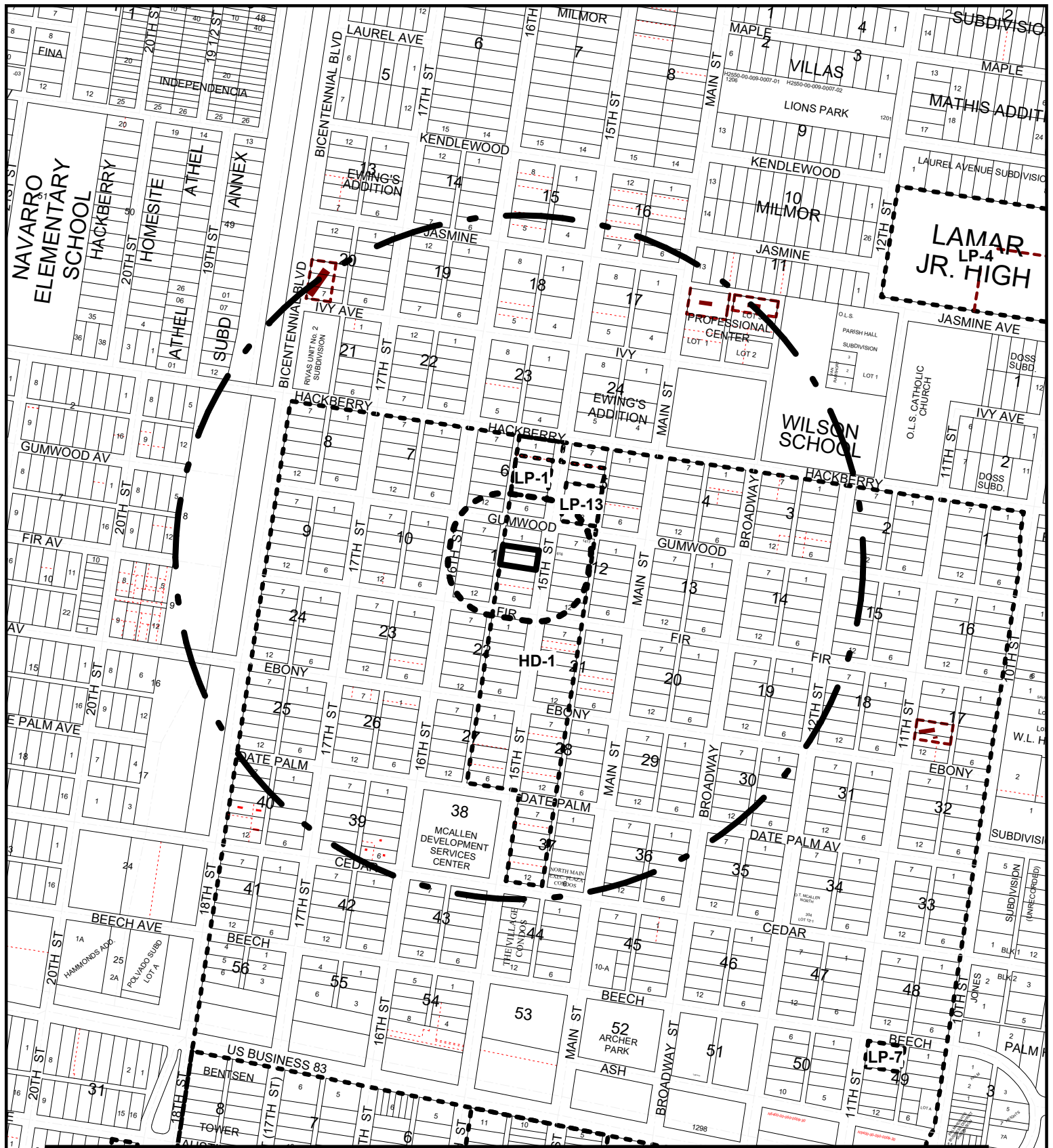
- ☐ Working scale drawing/specifications
- ☐ Scale drawing in relation to structure
- ☐ Scale site plan
- ☐ Drawing 8½" X 11" reproducible sheets
- ☐ Photographs of structure (all exterior sides) and area affected by proposed work
- ☐ Colors (sample)

L. **WINDOW REPLACEMENT**

- ☐ Justification for replacement of windows
- ☐ Working scale drawings/specifications (material and color)
- ☐ Sample of proposed window (manufacturer brochure)
- ☐ Scale site plan designating number of windows to be replaced
- ☐ Drawing 8½" X 11" reproducible sheets
- ☐ Photographs of structure (all exterior sides) and area affected by proposed work

PLEASE BE ADVISED THAT THE COUNCIL HAS A POLICY OF ONLY HEARING A CASE WHEN THE OWNER OR THE OWNER'S REPRESENTATIVE IS PRESENT TO PRESENT THE CASE.

NOTE: PLEASE BE ADVISED THAT A STAFF MEMBER FROM THE PLANNING DEPARTMENT MAY VIDEOTAPE OR PHOTOGRAPH YOUR PROPERTY FOR THE HISTORIC PRESERVATION COUNCIL MEETING



CITY OF McALLEN PLANNING DEPARTMENT

LEGEND
SCALE: N.T.S.

AREA MAP



SUBJECT PROPERTY

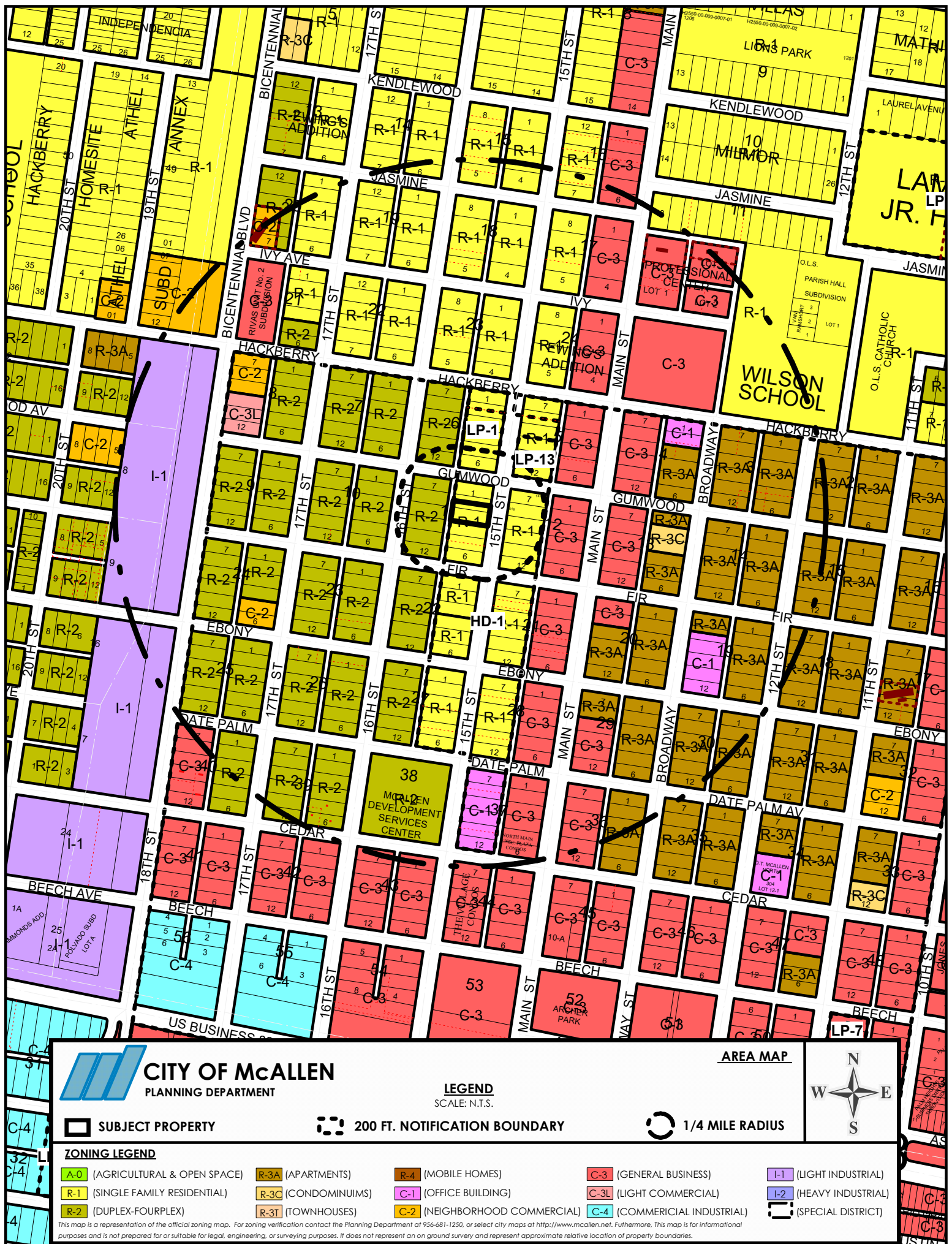
200 FT. NOTIFICATION BOUNDARY

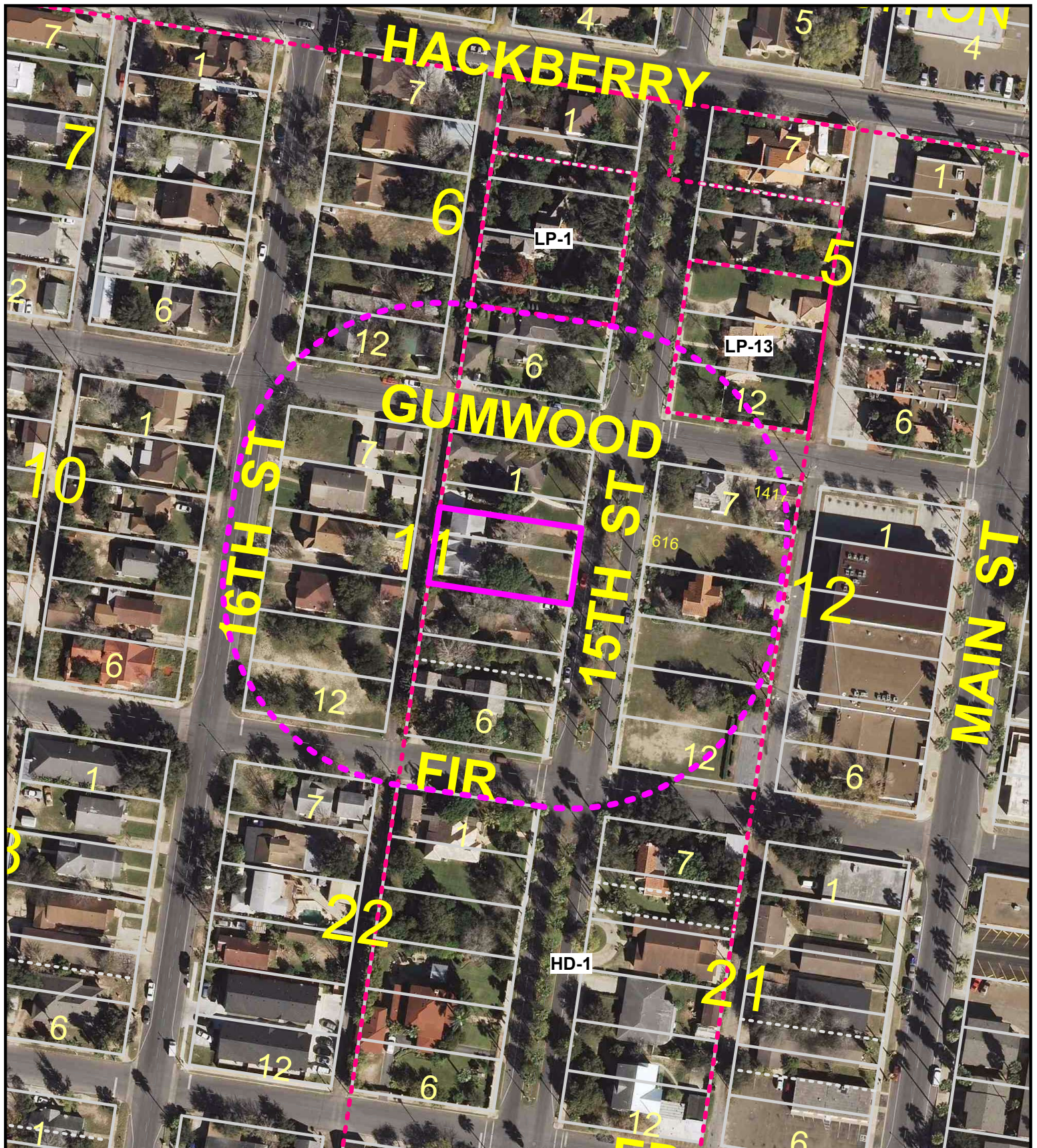
1/4 MILE RADIUS

ZONING LEGEND

A-O (AGRICULTURAL & OPEN SPACE)	R-3A (APARTMENTS)	R-4 (MOBILE HOMES)	C-3 (GENERAL BUSINESS)	I-1 (LIGHT INDUSTRIAL)
R-1 (SINGLE FAMILY RESIDENTIAL)	R-3C (CONDOMINIUMS)	C-1 (OFFICE BUILDING)	C-3L (LIGHT COMMERCIAL)	I-2 (HEAVY INDUSTRIAL)
R-2 (DUPLIX-FOURPLEX)	R-3T (TOWNHOUSES)	C-2 (NEIGHBORHOOD COMMERCIAL)	C-4 (COMMERCIAL INDUSTRIAL)	(SPECIAL DISTRICT)

This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.





CITY OF McALLEN
PLANNING DEPARTMENT

AERIAL MAP
SCALE: N.T.S.



SUBJECT PROPERTY



200' NOTIFICATION BOUNDARY



This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property on ground survey and represent approximate relative location of property boundaries.



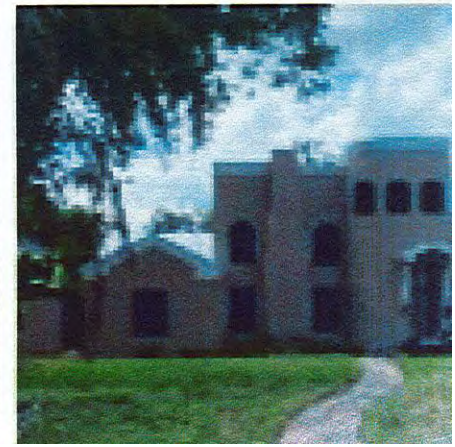


SW 9180
Aged White

SW 7020
Black Fox

244-C7

Proposed





NOTICE
CERTIFICATE OF
APPROPRIATENESS
FOR
THIS PROPERTY
CLM2020-0003

HISTORICAL PRESERVATION COUNCIL

2020 ATTENDANCE RECORD

	1/22/2020	2/26/2020	3/25/2020	4/22/2020	5/27/2020	6/24/2020	7/22/2020	8/26/2020	9/23/2020	10/28/2020	12/2/2020
JOE AVERILL– Chair	P	**	**	**	**	P					
JOHNNY CISNEROS- Vice Chair	P	**	**	**	**	A					
ORLANDO GUTIERREZ	P	**	**	**	**	P					
DAVID E. CAZARES	A	**	**	**	**	A					
TEDDY LEROY MARTIN	P	**	**	**	**	P					
TRISHA SCOTT	P	**	**	**	**	A					
DR. JACKLYN MILLER	P	**	**	**	**	P					

P – PRESENT

A – ABSENT

RS - RESIGNED

* NO QUORUM

** NO MEETING



PLANNING DEPARTMENT

311 N 15th Street McAllen, TX 78501
Phone: 956-681-1250 Fax: 956-681-1279



2020 CALENDAR

Meetings:

- City Commission
- Public Utility Board
- Planning & Zoning Board
- Zoning Board of Adjustment
- HPC - Historic Preservation Council
- CENSUS**

Deadlines:

- D - Zoning/CUP Application
- N - Public Notification

* **Holiday** - Office is closed

JANUARY 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1 HOLIDAY	2	3	4
5	6	7	8 D-2/4 & 2/5	9 CENSUS	10	11
12	13 A-2/4 & 2/5	14 	15 N-2/4 & 2/5	16	17	18
19	20	21	22 HPC D-2/18 & 2/19	23	24	25
26	27 A-2/18 & 2/19	28 	29 N-2/18 & 2/19	30	31	

FEBRUARY 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1
2	3	4	5 D-3/3 & 3/4	6 CENSUS	7	8
9	10 A-3/3 & 3/4	11 	12 N-3/3 & 3/4	13	14	15
16	17	18	19 D-3/17 & 3/18	20	21	22
23	24 A-3/17 & 3/18	25 	26 HPC N-3/17 & 3/18	27	28	29

MARCH 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
1	2	3	4 D-4/1 & 4/7	5 CENSUS	6	7
8	9 A-4/1 & 4/7	10 	11 N-4/1 & 4/7	12	13	14
15	16	17	18 D-4/15 & 4/21	19	20	21
22	23 A-4/15 & 4/21	24 	25 HPC N-4/15 & 4/21	26	27	28
29	30	31				

APRIL 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1 D-5/5 & 5/6	2 CENSUS	3	4
5	6 A-5/5 & 5/6	7	8 N-5/5 & 5/6	9	10 HOLIDAY	11
12	13	14 	15 D-5/19 & 5/20	16	17	18
19	20 A-5/19 & 5/20	21	22 HPC N-5/19 & 5/20	23	24	25
26	27	28 	29	30		

MAY 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1	2
3	4	5	6 D-6/2 & 6/3	7 CENSUS	8	9
10	11 A-6/2 & 6/3	12 	13 N-6/2 & 6/3	14	15	16
17	18	19	20 D-6/16 & 6/17	21	22 A-6/16 & 6/17	23
24	25 HOLIDAY	26 	27 HPC N-6/16 & 6/17	28	29	30
31						





JUNE 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
	1	2	3 D-7/1 & 7/7	4 CENSUS	5	6
7	8 A-7/1 & 7/7	9 	10 N-7/1 & 7/7	11	12	13
14	15	16	17 D-7/15 & 7/21	18	19	20
21	22 A-7/15 & 7/21	23 	24 HPC N-7/15 & 7/21	25	26	27
28	29	30				

Deadlines and Meeting Dates are subject to change at any time. Please contact the Planning Department at (956) 681-1250 if you have any questions.

2020 CALENDAR

Meetings:

-  City Commission
-  Public Utility Board
-  Planning & Zoning Board
-  Zoning Board of Adjustment
- HPC - Historic Pres Council
- CENSUS

Deadlines:

- D- Zoning/CUP Application
- N - Public Notification

* **Holiday** - Office is closed

JULY 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1 D-8/4 & 8/5	2 CENSUS	3 HOLIDAY	4
5 A-8/4 & 8/5	6	7	8 N-8/4 & 8/5	9	10	11
12	13 City Commission	14 Public Utility Board	15 D-8/18 & 8/19	16	17	18
19 A-8/18 & 8/19	20	21	22 HPC	23	24	25
26	27 City Commission	28 Public Utility Board	29 N-8/18 & 8/19	30	31	

AUGUST 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1
2	3	4	5 D-9/1 & 9/2	6 CENSUS	7	8
9	10 A-9/1 & 9/2	11 Public Utility Board	12 N-9/1 & 9/2	13	14	15
16	17	18	19 D-9/16 & 9/17	20	21	22
23	24 A-9/16 & 9/17	25 Public Utility Board	26 HPC	27	28	29
30	31		30 N-9/16 & 9/17			

SEPTEMBER 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1	2 D-10/6 & 10/7	3 CENSUS	4	5
6 HOLIDAY	7	8	9 N-10/6 & 10/7	10	11	12
13 A-10/6 & 10/7	14 City Commission	15 Public Utility Board	16 D-10/20 & 10/21	17	18	19
20 A-10/20 & 10/21	21	22	23 HPC	24	25	26
27	28 City Commission	29 Public Utility Board	30 N-10/20 & 10/21			

OCTOBER 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
				1 CENSUS	2	3
4	5	6	7 D-11/3 & 11/4	8	9	10
11	12 A-11/3 & 11/4	13 Public Utility Board	14 N-11/3 & 11/4	15	16	17
18	19	20	21 D-11/17 & 11/18	22	23	24
25	26 A-11/17 & 11/18	27 Public Utility Board	28 HPC	29	30	31

NOVEMBER 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
1	2	3	4 D-12/1 & 12/2	5 CENSUS	6	7
8 A-12/1 & 12/2	9 City Commission	10 Public Utility Board	11 N-12/1 & 12/2	12	13	14
15	16	17	18 D-12/16 & 12/17	19	20	21
22 A-12/16 & 12/17	23 City Commission	24 Public Utility Board	25 N-12/16 & 12/17	26 HOLIDAY	27	28
29	30					

DECEMBER 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1	2 HPC	3 CENSUS	4	5
6	7 A-1/5 & 1/6	8	9 N-1/5 & 1/6	10	11	12
13	14 City Commission	15 Public Utility Board	16 D-1/19 & 1/20	17	18	19
20	21 A-1/19 & 1/20	22	23 N-1/19 & 1/20	24 HOLIDAY	25 HOLIDAY	26
27	28	29	30	31		