

## **AGENDA**

### **PLANNING & ZONING COMMISSION REGULAR MEETING TUESDAY, APRIL 18, 2023 - 3:30 PM MCALLEN CITY HALL, 1300 HOUSTON AVENUE CITY COMMISSION CHAMBERS, 3<sup>RD</sup> FLOOR**

At any time during the course of this meeting, the Planning & Zoning Board may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code -

#### **CALL TO ORDER -**

#### **PLEDGE OF ALLEGIANCE -**

#### **INVOCATION -**

#### **1) MINUTES:**

- a) Approval/disapproval of minutes for the April 4, 2023 meeting

#### **2) PUBLIC HEARING**

##### **a) CONDITIONAL USE PERMITS:**

1. Request of Vital Church, for a Conditional Use Permit, for life of use, and adoption of an ordinance, for an amendment institutional use, at Lot 5, Block 12 1.68AC, Steele & Pershing IRR TR W288.04'-E843.6'-S261.12' and at Lot 5, Block 12, Steele & Pershing W 300 X 330 of S 10 AC of N 40 AC, Hidalgo County, Texas; 516 East Beech Avenue and 601 East Beech Avenue. **(CUP2023-0046)**
2. Request of Alfredo Vallejo for a Conditional Use Permit, for life of the use, and adoption of an ordinance, for a Guest House at Lots 1 and 2, Block 3, Colonia Independencia Subdivision, Hidalgo County, Texas; 1220 North 19th ½ Street. **(CUP2023-0034)**
3. Request of Arcelia Lopez Gaytan for a Conditional Use Permit, for life of the use, and adoption of an ordinance, for a Guest House at the North 25 feet of Lot 6 and all of Lot 7, Block 17, Ewing's Addition, Hidalgo County, Texas; 914 North 15th Street. **(CUP2023-0036)**
4. Request of Leslie C. Torres for a Conditional Use Permit, for life of the use, and adoption of an ordinance, for a Guest House at Lot 4, Orangewood East Subdivision, Hidalgo County, Texas; 700 East Sundown Drive. **(CUP2023-0038)**

5. Request of Jesus F. Davila, for a Conditional Use Permit, for one year, and adoption of an ordinance, for a Bar, at Lot 1, Valerie Subdivision, Hidalgo County, Texas; 7001 North 10th Street, Suite C. **(CUP2023-0029)**
6. Request of Raul A. Resendez, for a Conditional Use Permit, for one year, and adoption of an ordinance, for a Food Truck Park, at Lot 1, D. Castilla Subdivision, Hidalgo County, Texas; 1809 South 23rd Street. **(CUP2023-0030)**
7. Request of Agapito Torres, for a Conditional Use Permit, for one year, and adoption of an ordinance, for an Automotive Service and Repair (mechanic shop), at the East 25 feet of Lot 19 and all of Lots 20 and 21, Block 7, West Addition to McAllen, Hidalgo County, Texas; 2224 Houston Avenue. **(CUP2023-0040)**
8. Request of Israel Villarreal III, for a Conditional Use Permit, for one year, an adoption of an ordinance, for a bar (80's Brewery) at Lot A-1, Nolana Tower Subdivision, Hidalgo County, Texas; 400 Nolana Avenue, Suites I, J, K. **(CUP2023-0035)**
9. Request of Shawn Boreta on behalf of Rhodes Property Management for a Conditional Use Permit, for one year, and adoption of an ordinance, for a Food Truck Park at Lot 1, Community Center at Tres Lagos Subdivision; Hidalgo County, Texas; 4900 Tres Lagos Boulevard. **(CUP2023-0041)**
10. Request of Irma Martinez for a Conditional Use Permit, for one year, and adoption of an ordinance for a bar at Lot 25 and the West ½ of Lot 26, Gartman's Subdivision, Hidalgo County, Texas; 1113 Upas Avenue. **(CUP2023-0037)**

**b) SUBDIVISION:**

1. Balboa Acres, The West ½ of Lot 25, Block 25, Subdivision; 3310 Covina Avenue-Margarita Torres and Eliazar Zamora **(SUB2023-0033)(FINAL) SE**

**3) CONSENT:**

- a) Kalo Subdivision, 2609 Monte Cristo Road, Diana Rosales **(SUB2023-0018) (FINAL) REG**
- b) Habitat Village Subdivision, 2700 Trenton Road, Habitat Developers, LLC. **(SUB2022-0130) (FINAL) SEC**

**4) SUBDIVISIONS:**

- a) Oak Valley Subdivision, 9600 North Bryan Road, Oak valley 1 LP **(SUB2022-0086) (FINAL) BIG**
- b) ARCA Subdivision, 3501 Highway 83, Jorge and Oliva Hi **(SUB2023-0031) (PRELIMINARY) SEA**
- c) McAllen City Center Subdivision, 1300 South 10th Street, McAllen City Center, Ltd. **(SUB2023-0032) (PRELIMINARY) SEC**

**ADJOURNMENT:**



IF ANY ACCOMMODATIONS FOR A DISABILITY ARE REQUIRED, PLEASE NOTIFY THE PLANNING DEPARTMENT (681-1250) 72 HOURS BEFORE THE MEETING DATE. WITH REGARD TO ANY ITEM, THE PLANNING & ZONING COMMISSION MAY TAKE VARIOUS ACTIONS, INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR PARTICULAR ACTION AT A FUTURE DATE.

STATE OF TEXAS  
COUNTY OF HIDALGO  
CITY OF McAllen

The McAllen Planning and Zoning Commission convened in a Regular Meeting on Tuesday April 4, 2023, at 3:30p.m. in the McAllen City Hall, 3<sup>rd</sup> Floor Commission Chambers Room, 1300 Houston Avenue, McAllen, Texas.

<b>Present:</b>	<b>Michael Fallek Gabriel Kamel Marco Suarez Emilio Santos Jr. Erica De la Garza Aaron Rivera</b>	<b>Chairperson Vice Chairperson Member Member Member Member</b>
<b>Absent:</b>	<b>Jose Saldana</b>	<b>Member</b>
<b>Staff Present:</b>	<b>Javier Villalobos Austin Stevenson Michelle Rivera Edgar Garcia Omar Sotelo Rodrigo Sanchez Mario Escamilla Kaveh Forghanparast Samuel Nunez Adriana Solis Jacob Salazar Magda Ramirez</b>	<b>Mayor Assistant City Attorney III Assistant City Manager Planning Director Senior Planner Senior Planner Planner III Planner III Planner II Planner II Planner Technician I Administrative Assistant</b>

**CALL TO ORDER** – Chairperson Mr. Michael Fallek

**PLEDGE OF ALLEGIANCE**

**INVOCATION-** Mr. Marco Suarez

**1) MINUTES:**

- a) Approval/disapproval of minutes for the March 21, 2023 meeting

The minutes for the regular meeting held on March 21, 2023 was approved as submitted by Vice Chairperson Gabriel Kamel. Seconding the motion was Mr. Aaron Rivera which carried unanimously with 6 members present and voting.

**2) PUBLIC HEARING:**

a) REZONING:

- 1) Rezone from C-3 (general commercial) District to R-3A (multifamily residential apartment) District: Lot 4, Block 54, McAllen Addition Subdivision, Hidalgo County, Texas; 608 South 15th Street. **(REZ2023-0010)**

Ms. Katia Sanchez stated that the property is located along the west side of South 15th Street; three lots South of Fresno Avenue. The tract has 50 feet of frontage along South 15th Street and a depth of 140 feet for a tract size of 7,000 square feet.

The applicant is requesting to rezone the property to R-3A (multifamily residential apartment) District. A feasibility plan has been submitted, the proposed development is for apartment use.

The subject property is zoned as C-3 (general business) District; the property to the east is zoned as C-3. There is R-3A District to the north and south, and there is R-2 (duplex-fourplex) District to the west.

The subject property is vacant. Surrounding land uses are apartments and commercial use.

The Foresight McAllen Comprehensive Plan designates the future land use for this property as Urban Residential, which is comparable to multifamily use zoning districts.

The development trend for this area along South 15th Street is apartment development. The proposed zoning is consistent with multifamily residential development trends on adjacent properties.

The subject property was zoned to C-3 District during Comprehensive Zoning in 1979. Three rezoning requests to R-3A District to the south and east were approved in 2001 and 2003 that were subsequently developed with apartments. City Commission approved the most recent rezoning request to R-3A District to the abutting property to the north on January 10, 2022.

The requested zoning conforms to the Urban Residential land use designation as indicated on the Foresight McAllen Comprehensive Plan.

The proposed zoning is a down zoning and is consistent with the proposed land use.

Multifamily residential site plans located in the central business district must comply with the Vegetation Ordinance with 50% of the required front yard and side yard areas within the front yard shall be devoted to landscape material.

Should the rezoning request be approved, a site plan in compliance with buffers, landscaping, and off-street parking is required prior to issuance of building permits or certificate of occupancy. Required Parkland Dedication or fees in lieu of parkland dedication comprising \$700 per dwelling unit are required.

The Planning Department staff has not received any phone calls or emails in opposition.

Staff recommends approval of the rezoning request to R-3A District as it is comparable to the surrounding land uses and zoning.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve. Ms. Erica De la Garza seconded the motion, which was approved with six members present and voting.

- 2) Rezone from C-3 (general commercial) District to R-3A (multifamily residential apartment) District: Lot 5, Block 50, McAllen Addition Subdivision, Hidalgo County, Texas; 604 South 11th Street. **(REZ2023-0015)**

Ms. Katia Sanchez stated that the property is located along the west side of South 11th Street; two lots South of Fresno Avenue. The tract has 50 feet of frontage along South 11th Street and a depth of 140 feet for a tract size of 7,000 square feet.

The applicant is requesting to rezone the property to R-3A (multifamily residential apartment) District. A feasibility plan has been submitted, the proposed development is for a fourplex.

The subject property is zoned as C-3 (general business) District; there is C-3 District to the north, south, and west of the subject property. The property to the east is zoned as R-3A (multifamily residential apartment) District.

The subject property currently has a single-family residence. Surrounding land uses are Law Office of Oscar Alvarez, Mobile Relays, and apartments.

The Foresight McAllen Comprehensive Plan designates the future land use for this property as Urban Multifamily, which is comparable to multifamily use zoning districts.

The development trend for this area along South 11th Street is apartment and commercial development. Two lots south of the subject property, there is R-3A District and apartment land use. The proposed zoning is consistent with multifamily residential development trends along the east side of South 11th Street.

The subject property was zoned to C-3 District during Comprehensive Zoning in 1979. City Commission approved the most recent rezoning request to R-3A District to the east on January 13, 2020.

The requested zoning conforms to the Urban Multifamily land use designation as indicated on the Foresight McAllen Comprehensive Plan.

The proposed zoning is a down zoning and is consistent with the proposed land use.

Multifamily residential site plans located in the central business district must comply with the Vegetation Ordinance with 50% of the required front yard and side yard areas within the front yard shall be devoted to landscape material.

Should the rezoning request be approved and depending on total number of dwelling units, a site plan in compliance with buffers, landscaping, and off-street parking would be required prior to issuance of building permits or certificate of occupancy. Required Parkland Dedication or fees in lieu of parkland dedication comprising \$700 per dwelling unit are required.

The Planning Department staff has received calls in opposition of the rezoning request. The citizens expressed concerns of insufficient parking, property values may go down, and they want the property to continue to be zoned as commercial.

Staff recommends approval of the rezoning request to R-3A District as it conforms to the Urban Multifamily land use designation as indicated on the Foresight McAllen Comprehensive Plan, two lots south and east of the subject property there are apartments.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve. Mr. Emilio Santos Jr. seconded the motion, which was approved with six members present and voting.

- 3) Rezone from R-1 (single family residential) District to R-3A (multifamily residential apartment) District: Lot 2, Pride O' Texas "A", Hidalgo County, Texas; 3500 Mile 6 ½ Road. **(REZ2023-0011)**

Ms. Adriana Solis stated that the applicant provided an email on April 3, 2023 requesting to amend the item request from R-3A to an R-2. Chairperson Mr. Michael Fallek asked if the item had any reposting requirements. Planning Director, Mr. Edgar Garcia stated no.

Ms. Adriana Solis stated that the property is located north of Mile 6 ½ Road and east of La Lomita Road. The tract has 330 feet of frontage along Mile 6 ½ Road with a depth of 1,320 feet for a lot size of 10 acres. Surrounding land uses include vacant land, single-family residences and proposed multi-family residences.

The applicant is requesting to rezone the property to R-2 (duplex-fourplex) District in order to build duplex-fourplex apartments.

To the north is A-O (agricultural and open space) District, R-2 (duplex-fourplex) District adjacent to the East and R-1 (single-family residential) District to the South and West.

The property is currently vacant. Surrounding land uses include single-family and proposed multi-family residences.

The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Single Family, which is comparable to R-1 District.

The development trend for this area along La Lomita Road is combined of Auto Urban Single Family and City Parks.

Currently the tract is part of the Pride O' Texas Subdivision. A rezoning request application to R-3A (apartments) for the subject property was submitted on February 27, 2023. An updated request to rezone to R-2 was submitted April 3, 2023.

This request does not conform to the Auto Urban Single Family land use designation, as indicated on the Foresight McAllen Comprehensive Plan. It is comparable to the surrounding zoning to the east as it is R-2 District adjacent to the subject property.

R-2 is a multi-family zoning that permits duplex-fourplexes, duplex-fourplex townhouses, duplex-fourplex condominiums, and all uses permitted in an R-1 District. The minimum lot area for R-2 is

5,600 square feet to 7,800 square feet. The maximum height for buildings within R-2 District is 25 feet.

Section 110-49 (a) of the Vegetation Ordinance requires a masonry screen 8 feet in height where a commercial, industrial, or multi-family use has a side or rear property line in common with a single-family use or zone.

Subdivision process and the site plan review process will be required should the rezoning be approved. Compliance with off-street parking, landscaping and various building and fire codes are required as part of the building permitting process.

The applicant has updated their rezoning request from an R-3A District to R-2 District in order to comply with surrounding land uses.

Staff has not received a phone call, letter, or email in opposition to this rezoning request.

Staff recommends approval of this rezoning request to R-2 District since the proposed zoning is compatible with the current zoning of the neighboring property to the east.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Mr. Marco Suarez moved to approve. Vice Chairperson Mr. Gabriel Kamel seconded the motion, which was approved with six members present and voting.

- 4) Rezone from C-3L (light commercial) District to C-3 (general business) District: Lot 92, La Lomita (HOIT) 1.6208 AC-S7.93AC-N19.42AC, Hidalgo County, Texas; 5301 North Ware Road. **(REZ2023-0012)**

Ms. Adriana Solis stated that the property is located at the south of Dove Avenue and west side of Ware Road. The subject property has 210 feet of frontage along North Ware Road and a depth of 303 feet for a lot size of 1.6208 acres.

The applicant is requesting to rezone the property to C-3 (general business) District for commercial use. A feasibility plan has been submitted, the proposed development is for a commercial plaza.

The adjacent zoning is R-1 (single family) District to the north, west & south and C-3L District to the east.

The property is currently vacant. Surrounding land uses include single-family residences and commercial plazas.

The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Single Family, which is comparable to R-1 District.

The development trend for this area along North Ware Road is single-family residential and commercial.

The property was zoned primitively A-O District and rezoned C-3L District in June 2015. An

application to rezone the property from C-3L District to C-3 District was submitted on March 2, 2023.

The requested zoning does not conform to the Auto Urban Single Family land use designation, as indicated on the Foresight McAllen Comprehensive Plan. The surrounding adjacent zoning as is R-1 District to the north, west & south, however it is compatible to the C-3L District to the east. North along Ware Road it is foresighted auto urban commercial to the east and suburban commercial to the west.

Permitted uses in the C-3 District include all uses listed as permitted uses in C-1 and C-2 zoning districts and any retail businesses such as office uses, restaurants, hotels and automotive repair sales; as well as conditional uses such as bars and automotive repair services.

Subdivision process and the site plan review process will be required should the rezoning be approved. Compliance with off-street parking, landscaping and various building and fire codes are required as part of the building permitting process.

Staff has not received any emails or phone calls in opposition to the rezoning request.

Staff recommends approval of the rezoning request to C-3 (general business) District since it does follow the development trend.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve. Ms. Erica De la Garza seconded the motion, which was approved with with six members present and voting.

### **3) SITE PLAN:**

- a) Site plan approval for UNITS 1 through 8, The Warehouse Kingdom Condominium Building M Subdivision; 2101 Military Highway, Suites M1 TO M8. **(SPR2023-0010)**

Mr. Samuel Nunez stated that the property is located on the southeast corner of Military Highway and South 23rd Street. The property is approximately 3.436 acres. The property is zoned I-1 (light industrial) District. The adjacent zoning is A-O (open space and agricultural) District to the east, C-4 (commercial-industrial) District to the west across South 23rd Street, and I-1 District in all other directions.

The applicant is proposing to construct and operate 8 warehouse bays and a two-story headquarters building for office use.

Based on 71,800 square feet of warehouse use, 2,000 square feet of usable office space within the warehouses, and 7,942 square feet of office use outside of the warehouses, 72 regular parking spaces are required for the site. 72 regular parking spaces are proposed. Moreover, 8 loading spaces are required for 16 usable docking areas proposed for the site. 17 loading spaces are proposed for trailer parking on site. Finally, 4 of the proposed regular parking spaces must be accessible, with 1 space for van accessibility with an 8-foot wide aisle. The applicant is meeting

parking requirements for regular and loading spaces required for the new development.

Access to the site is from Military Highway and South 23rd Street. No alley access exists or is proposed. 24,464.20 square feet of green area is required for the new development and 29,352.20 square feet is proposed. The tree requirement is as follows: 50 two-and-a half-inch-caliper trees, 25 four-inch caliper trees, 12 six-inch caliper trees, or 20 palm trees. A minimum 10 feet wide landscaped strip is required inside the front property line. Fifty percent of the required green area for the new development must be visible from the street or front property line, and each parking space must be within 100 feet of a landscaped area with a tree. Finally, a 6-foot buffer is required around dumpsters/compactors if visible from the street. The applicant is meeting landscaping requirements for green area and trees.

No structures are permitted over any easements. There is a 75-foot front yard setback, and all other setbacks are in accordance to the zoning ordinance or the approved site plan for commercial or industrial uses.

The Building Permit Site Plan must comply with requirements noted on the Development Team Review sheet.

Staff recommends approval of the site plan subject to the conditions noted, Building Permit requirements, and the subdivision and zoning ordinances.

Being no discussion, Vice Chairperson moved to approve subject to conditions noted site plan. Mr. Emilio Santos Jr. seconded the motion, which was approved with six members present and voting.

#### **4) CONSENT:**

- a) Hacienda Los Cantu Subdivision, 2000 South Jackson Road, Blanca Cantu **(SUB2023-0030) (FINAL)SE**
- b) Gosmar Subdivision, 201 North 22nd Street, Gosmar, LLC. Luis Carlos Gonzalez **(SUB2021-0139) (REVISED FINAL) CHLH**

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve subdivisions in consent form Items 4a and 4b. Ms. Erica De la Garza seconded the motion, which was approved with six members present and voting.

#### **5) SUBDIVISIONS:**

- a) Suarez Subdivision, 2624 North 24th Street, Suarez Brothers, LLC. **(SUB2022-0022) (REVISED PRELIMINARY) JHE**

Chairperson Mr. Michael Fallek announced that Mr. Marco Suarez will abstain from voting for this item.

Mr. Mario Escamilla stated N. 24th Street: 25 ft. from centerline for 50 ft. total ROW Paving: 32 ft. Curb & gutter: Both Sides. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are not constructed prior to recording. COM Thoroughfare Plan. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. ROW: 20 ft. Paving: 16 ft. Alley/service drive



easement required for commercial properties and multi-family properties. Revisions Needed: Provide for alley or service drive easement on the plat prior to recording. Alley or service drive easement cannot dead-end. If proposing a note deferring service drive in lieu of alley to site plan stage note wording must be finalized prior to final. Private Access Service Drive Easement must be minimum 24 ft. with 24 ft. of paving and in compliance with Fire and Public Works Department requirements. Subdivision Ordinance: Section 134-106. Front: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater applies. Revisions Needed: Revise note as shown above prior to final. Proposed: In accordance with zoning ordinance, or greater for easements or approved site plan, or in line with average setback, whichever is greater. Zoning Ordinance: Section 138-356. Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions Needed: Revise note as shown above prior to final. Proposed: In accordance with zoning ordinance, or greater for easements or approved site plan. Zoning Ordinance: Section 138-356. Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions Needed: Revise note as shown above prior to final. Proposed: In accordance with zoning ordinance, or greater for easements or approved site plan. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on N. 24th Street. Proposing: A 5' Sidewalk shall be required along the east side of N.24th Street. Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements, finalize note wording prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. Required. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, and along N. 24th Street. Buffer requirement on N. 24th Street will be finalized prior to final. Finalize plat note wording for note #8 once buffer requirements have been finalized, prior to final. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Must comply with City Access Management Policy. As per Traffic Department, please show proposed driveway locations for review for compliance with spacing. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions Needed: Include note as shown above, prior to final. Note subject to change once subdivision requirements have been finalized. Finalize wording prior to final. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Revisions Needed: Lot square footages must be included on plat prior to final.(Table or detail on lots is acceptable.) Zoning Ordinance: Section 138-356. Lot 1: Existing:C-3 (General Business)District Proposed:C-3 (General Business) District. At the City Commission meeting of April 25,2022 the City Commission voted to approve the rezoning from R-3T to C-3. Lot 2:Existing: R3-T(Townhouse residential) District Proposed: C-3 (General Business) District Pending Items: -Rezoning to C-3 scheduled for the Planning and Zoning Commission meeting of March 21, 2023 and City commission meeting of April 10, 2023. Engineer must verify if proposed subdivision and use is within appropriate zoning as it may prompt changes to plat and or rezoning process, review and finalize prior to final. As per application dated March 13,2023 proposed land use is commercial, please review intended use as it may require a conditional use permit. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval Pending Items: Rezoning for lot 2 to C-3 scheduled for the Planning and Zoning Commission meeting of March 21, 2023 and City commission meeting of April 10, 2023, rezoning must be finalized prior to final. Engineer must verify if proposed

subdivision and use is within appropriate zoning as it may prompt changes to plat and or rezoning process, review and finalize prior to final. As per application dated March 13,2023 proposed land use is commercial, please review intended use as it may require a conditional use permit. Zoning Ordinance: Article V. Land dedication in lieu of fee. If property is rezoned to commercial, park land dedication not applicable. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. If property is rezoned to commercial, park fee not applicable. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording and/or land dedication. If property is rezoned to commercial, park fee/land dedication not applicable. As per Traffic Department, Updated Trip Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Must comply with City's Access Management Policy. Any abandonments must be done by separate process, not by plat. The Subdivision was previously approved in final form at the Planning and Zoning Commission meeting of May 17th,2022 as a 1-lot commercial subdivision, as per application date March 13th,2023 2-lot commercial subdivision proposed. Staff recommends approval of the subdivision in revised preliminary form subjects to conditions noted, drainage, and utilities approvals.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve in revised preliminary form subject to conditions noted. Ms. Erica De la Garza seconded the motion, which was approved with six members present and voting with one member abstaining.

- b) Silver Oak Subdivision, 9229 North Bicentennial Boulevard, RD Silver Oak, LLC. **(SUB2023-0028) (PRELIMINARY) JHE**

Mr. Mario Escamilla stated N. Bicentennial Blvd.: Dedication as needed for 75ft. from centerline for 150 ft. Total ROW. Paving :65-105 ft. Curb & gutter Both Sides. Revisions Needed: Revise street name as shown above were applicable, prior to final. Verify alignment of existing N. Bicentennial Blvd to the North and South prior to final. Label centerline for N. Bicentennial Blvd, to determine ROW dedication requirements prior to final. Label existing ROW dedications, from centerline, total, etc., prior to final. Include document numbers on plat and provide any documents as applicable regarding any existing ROW dedications for N. Bicentennial Blvd. City of McAllen thoroughfare plan designates N. Bicentennial Blvd, as a Hi-Speed arterial with 150 ft. of ROW. Current subdivision layout does not comply with required ROW dedication requirements, please revise accordingly prior to final. If no changes please submit variance request for ROW dedication for N. Bicentennial Blvd. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are not constructed prior to recording. COM Thoroughfare Plan. Hobbs Drive: Dedication as needed for 40 ft. from centerline for 80 ft. total ROW. Paving: 52 ft. Curb & gutter: Both Sides Revisions Needed: Revise street name as shown above were applicable, prior to final. Label centerline for Hobbs Drive, to determine ROW dedication requirements prior to final. Label existing ROW dedications, from centerline, total, etc., prior to final. Include document numbers on plat and provide any documents as applicable regarding any existing ROW dedications for Hobbs Drive. City of McAllen thoroughfare plan designates Hobbs Drive, as a collector with 80ft. of ROW. Current subdivision layout does not comply with required ROW dedication requirements, please revise accordingly prior to final. If no changes please submit variance request for ROW dedication for Hobbs Drive. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are not constructed prior to recording. COM Thoroughfare Plan. Paving: 32 ft. Curb & gutter: Both Sides Revisions Needed: Plat proposes 70 ft. of total ROW dedication. Remove "Prop" labeling from plat were applicable, prior to final. Street names will be established prior to final and plat will need to revised accordingly. Clarify if subdivision is proposed to be private as gate details are required and ROW are subject to increase for gate areas, finalize prior to final and

submit gate details as applicable. Paving requirements are subject to change if boulevard islands are proposed 20ft. of paving from face to face is required on both sides. Submit paving layout to verify compliance, Boulevards on public streets require license agreement, clarify street layout prior to final. As per Fire Department requirements, 96 ft. of paving face-to face required, and 10 ft. of ROW back of curb around Cul-de-Sac required, finalize prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are not constructed prior to recording. COM Thoroughfare Plan. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. 600 ft. Maximum Cul-de-Sac. Revisions Needed: As per Fire Department requirements, 96 ft. of paving face-to face required, and 10 ft. of ROW back of curb around Cul-de-Sac required, finalize prior to final. Subdivision Ordinance: Section 134-105. Front: Lot 1: 45 feet or greater for easements. Lots 2-5: 25 feet or greater for easements. Revisions needed: Revise front setback note as shown above, prior to final. Proposing: 25 feet or greater for easements. Zoning Ordinance: Section 138-356. Rear: 10 feet or greater for easements. Zoning Ordinance: Section 138-356. Sides: 6 feet or greater for easements. Zoning Ordinance: Section 138-356. Corner: 10 feet or greater for easements. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required, greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4ft. wide minimum sidewalk required on along N. Bicentennial Blvd, Hobbs Drive, and both sides of all interior streets. Revisions Needed: Please revise plat note # 7 as shown above prior to final, note subject to change once ROW requirements have been established, finalize note wording prior to final. Proposing: A 4 foot wide minimum sidewalk required on both sides of all interior streets. A 5 foot wide sidewalk required along the south side of Hobbs Avenue and west side of Bicentennial Blvd. Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements, finalize prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along N. Bicentennial Blvd. and Hobbs Drive. Revisions Needed: Revise note #8 as shown above, finalize note wording prior to final. Landscaping Ordinance: Section 110-46. 8ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Proposing: No curb cut, access, or lot frontage permitted along N. Bicentennial Blvd. and along Hobbs Drive for Lots 2 and 5. Revisions needed: Clarify note wording note #10, note wording must be finalized prior to final. Must comply with City Access Management Policy. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions Needed: Include note as shown, note subject to change once subdivision requirements have been finalized. Finalize prior to final. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 134-168 applies if private subdivision is proposed. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Homeowner's Association Covenants must be submitted for staff review, prior to recording. Section 134-168 applies if private subdivision is proposed. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. Pending Items: Clarify if subdivision is private or public prior to final. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: R-1 (Single-Family) Residential Proposed: R-1 (Single-Family) Residential. Zoning Ordinance: Article V. Land dedication in lieu of fee. Must comply with

Parkland dedication ordinance requirements prior to recording. Required Park Fee of \$3,500 (\$700 X 5 lot/dwelling unit) to be paid prior to recording. Fees are payable prior to recording and can go up or down; as they are dependent on the amount of lots/dwelling units. Must comply with Parkland dedication ordinance requirements prior to recording. Required. Pending review by the City Manager's Office. Must comply with Parkland dedication ordinance requirements prior to recording. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Must comply with City's Access Management Policy. Any abandonments must be done by separate process, not by plat. HOA's need to be reviewed prior to recording. Clarify if subdivision is private or public prior to final as it may trigger changes on plat. Submit gate details for staff to review prior to final, if private.

Staff recommends approval of the subdivision in preliminary form subject to conditions noted, drainage and utilities approvals.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve in preliminary form. Mr. Aaron Rivera. seconded the motion, which was approved with six members present and voting.

c)      Ware Hotel Group LP Subdivision, 401 South Ware Road, Ware Hotel Group LP **(SUB2023-0027) (PRELIMINARY) M&H**

Mr. Mario Escamilla stated South Ware Road: 60 ft. from centerline for 120 ft. Total ROW. Paving: by the state Curb & gutter: by the state Revisions Needed: Please provide how existing ROW was dedicated on plat and a copy of any referenced document for staff review, prior to final. Label centerline to establish ROW requirements, prior to final.(See ROW requirements above) Label ROW dedications by this plat as applicable, prior to final, once existing dedication have been finalized. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are not constructed prior to recording. S.35th Street: Dedication as needed for 30 ft. from centerline for 60 ft. total ROW Paving: 40 ft. Curb & gutter: Both Sides Revision needed: Please provide how existing ROW was dedicated on plat and a copy of any referenced document for staff review, prior to final. -Label centerline to establish ROW requirements, prior to final.(See ROW requirements above). Label ROW dedications by this plat as applicable; prior to final, once existing dedication have been finalized. Label existing ROW dedications, from centerline, total, existing, etc. on both sides, prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are not constructed prior to recording. COM Thoroughfare Plan. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. ROW: 20ft. Paving: 16ft. Alley/service drive easement required for commercial properties and multi-family properties. Revisions Needed: provide for alley or service drive easement on the plat prior to final. Alley or service drive easement cannot dead-end. Private Access Service Drive Easement must be minimum 24ft. with 24 ft. of paving and in compliance with Fire and Public Works Department requirements. Subdivision Ordinance: Section 134-106. Front (S. Ware Road/ S.35th Street) : In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater applies. Revisions Needed: Revise note as shown above prior to final. Proposed: S. Ware Road: 75 ft. or greater for easements. Zoning Ordinance: Section 138-356. Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions Needed: Revise note as shown above prior to final. Proposed: In accordance with the Zoning Ordinance or greater for easements. Zoning Ordinance: Section 138-356. Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions Needed: Revise note as shown above prior to final. Proposed: In accordance with the Zoning Ordinance or greater for easements. Zoning

Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 5 ft. wide minimum sidewalk required along S. Ware Road and 4 ft. wide minimum sidewalk Required along S. 35th Street. Revisions needed: Revise note #7 as shown above, prior to final. 5ft. Sidewalk requirements as per Engineering Department requirements. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Revisions Needed: Remove plat note #10 as it is a requirement not a required plat note, prior to final. Must comply with City Access Management Policy Applied. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Note subject to change once subdivision requirements have been finalized. Finalize wording prior to final. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Revisions needed: Remove note #14 as it is a requirement not a required plat note, prior to final. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing:C-3 (General Business)District Proposed:C-3 (General Business) District. Engineer must verify if proposed subdivision and use is within appropriate zoning as it may prompt changes to plat and or rezoning process, review and finalize prior to final. As per application dated March 17,2023 proposed land use is commercial, please review intended use as it may require a conditional use permit. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Must comply with City's Access Management Policy. Any abandonments must be done by separate process, not by plat. Vacating plat applicable if any restrictions, etc. are proposed to be removed or changed from existing recorded plat, finalize prior to recording. Clarify subdivision name, as the name on the plat and application don't appear to match, finalize prior to final.

Staff recommends approval of the subdivision in preliminary form subject to conditions noted, drainage and utilities approvals.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve in preliminary form. Mr. Marco Suarez seconded the motion, which was approved with six members present and voting.

- d) Fenix Estates Subdivision, 1000 East El Rancho Road, Mata G. Construction Inc. **(SUB2023-0023) (PRELIMINARY) OIME**

Mr. Kaveh Forghanparast stated East El Rancho Road: Proposed additional 40 ft. dedication for 60 ft. from centerline for a total of 80 ft. ROW Paving: 52 ft. Curb & gutter: Both Sides Revisions Needed: The property boundaries on plat and submitted survey seem to contradict. Please verify and adjust as required to finalize the ROW dedication requirements, prior to final. Centerline must be labeled. Correct the street name to "E. El Rancho Road." Provide the document number on the plat and a copy of the document for the existing ROW. All requirements must be addressed prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. Interior Street: Proposed 50 ft. total ROW Paving: 32 ft. Curb & gutter: Both Sides Revisions needed: Gate details are required to verify compliance. ROW is subject to increase based on the gate details prior to final. Provide the name of the street

on the plat. Submit the paving layout to show compliance with 96 ft. of paving face to face in the Cul-de-Sac. Minimum 10 ft. ROW is required from back of the curb around the Cul-de-Sac. Revise the Cul-de-Sac ROW to comply with paving and sidewalk requirements prior to final. All requirements must be addressed prior to final. Paving requirement is subject to increase to 40 ft. if a variance is requested to exceed maximum 600 ft. Cul-de-Sac length. ROW is based on R-1; if it changes, ROW and paving may increase accordingly. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. 1,200 ft. Block Length for single-family residential development. Subdivision Ordinance: Section 134-118. 600 ft. Maximum Cul-de-Sac. The property boundaries on plat and submitted survey seem to contradict. Please verify and revise as required to determine compliance with maximum length prior to final. Submit the paving layout to show compliance with 96 ft. of paving face to face in the Cul-de-Sac. Minimum 10 ft. ROW is required from back of the curb around the Cul-de-Sac prior to final. Revise Cul-de-Sac ROW to determine compliance with maximum Cul-de-Sac length prior to final. Subdivision Ordinance: Section 134-105. Front: 25 ft. or greater for easements. Proposed: In accordance with the Zoning Ordinance, Greater for easements, approved site plan, or in line with existing structures, whichever is greater. The proposed setback is used for commercial properties. Please revise as shown above prior to final. Zoning Ordinance: Section 138-356. Rear: 10 ft. or greater for easements. Proposed: In accordance with Zoning Ordinance, Greater for easement or approved site plan. The proposed setback is used for commercial properties. Please revise as shown above prior to final. Zoning Ordinance: Section 138-356. Interior Sides: 6 ft. or greater for easements. Proposed: In accordance with Zoning Ordinance, Greater for approved site plan or easement. The proposed setback is used for commercial properties. Please revise as shown above prior to final. Zoning Ordinance: Section 138-356. Corner: 10 ft. or greater for easements. Proposed: 10 ft. or greater for easement, or approved site plan, whichever is greater. Site plan review is not required for single-family residential developments. Please revise as shown above prior to final. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required, greater setback applies. Please add garage setback prior to final. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required along E. El Rancho Road and both sides of interior streets. Engineering Department may require 5 ft. prior to final. Please revise plat note #3 as shown above prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, and along E. El Rancho Road. Add the buffer requirement as shown above as a plat note on the plat prior to final. Remove note #13 or discuss with staff as it is not required by the City, prior to final. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Add the buffer requirement as shown above as a plat note on the plat prior to final. Remove note #13 or discuss with staff as it is not required by the City, prior to final. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along E. El Ranch Road. Add a note to the plat as shown above prior to final. Must comply with City Access Management Policy. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Please revise note #14 as shown above prior to final. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and

submitted with document number on the plat, prior to recording. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. Subdivision is proposed as private subdivision. Lots are fronting a private street. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: R-1 Proposed: R-1. Zoning Ordinance: Article V. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Based on the application submitted on 3/13/2023, six single-family lots are proposed. As per Parks Dept., park fee of \$4200 is required prior to recording. Revise the subdivision title to "Plat of Fenix Estates Subdivision" Please move the legal description of the whole property, i.e. "A 4.0 acre..." from Lot 2 to under the subdivision name. Please use a bolder line for the original property boundary (prior to ROW dedication). Please include the document number for the existing Utility Easement on the plat and provide a copy of the document. Please verify if the pins locations on the plat match the ones on the survey. Based on the submitted survey, it seems that the current property boundary includes a portion of the ROW. Please verify and revise if necessary. Please show the P.O.C. on the plat. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in preliminary form, subject to the conditions noted, drainage, and utility approval.

Being no discussion, Mr. Marco Suarez moved to approve in preliminary form subject to conditions noted. Mr. Emilio Santos Jr. seconded the motion, which was approved with six members present and voting.

- e) Wellness on Wheelz Subdivision, 901 North Ware Road, Wow Assets, LLC.  
**(SUB2023-0026) (PRELIMINARY) M2E**

Mr. Kaveh Forghanparast stated North Ware Road: 60 ft. ROW dedication required from centerline for 120 ft. of total ROW. paving: by State Curb & gutter: by State Revisions needed: Please add label as required: Existing, total, etc. prior to final. Show and label centerline and the existing ROW on both sides of the centerline prior to final. Once the centerline is established, the ROW requirement will be determined. Provide the document number on the plat for existing ROW on the plat and a copy of the document for staff review. All ROW requirements must be addressed prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. ROW: 20 ft. Paving: 16 ft. Alley/service drive easement required for commercial properties. If a private service drive easement is proposed, minimum 24 ft. paved width is required and cannot be dead-end. Maintenance of such service drive is by the property owner and not the City of McAllen. Alley/service drive requirement must be addressed prior to final. Subdivision Ordinance: Section 134-106. Front: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater applies. Proposed: 60 ft. Revisions Needed: Revise plat note as shown above prior to final. Zoning Ordinance: Section 138-356. Rear: In accordance with the Zoning Ordinance or greater for approved site plan or easements, whichever is greater applies. Proposed: 10 ft. or greater for site plan (approved) Revisions Needed: Revise note as shown above prior to final. Zoning Ordinance: Section 138-356 Sides: In accordance with the Zoning Ordinance or greater for approved site plan or easements, whichever is greater applies. Proposed: As per zoning ordinance or site plan (approved) Revisions Needed: Revise note as shown above prior to final. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on North Ware Road prior to final. Engineering Department may require 5 ft. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must

be built or money escrowed if not built at this time. Required 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Revise plat note #7 to above prior to final. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Add the above as a new plat note after the other buffer note (currently note #7) and remove plat note #17 prior to final. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Remove plat note #13 as it is required but not a required plat note. Common Areas, any private service drive, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: C-3 Proposed: C-3. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Required Traffic Impact Analysis (TIA) required prior to final plat. Please provide documents number for the 30 ft. H.C.I.D. No.1 Canal ROW on the plat and a copy of the document for staff review prior to final. Verify if the H.C.I.D. No.1 Canal ROW is outside the plat boundary prior to final. Need to submit ownership map of the surrounding properties prior to final to assure that no landlocked property exists which may require additional streets as applicable. The name of the owner/developer on the subdivision application does not match the warranty deed. Revised application is needed prior to final. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in preliminary form, subject to the conditions noted, drainage, and utilities approval.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve in preliminary form. Ms. Erica De la Garza seconded the motion, which was approved with six members present and voting.

**ADJOURNMENT:**

There being no further business to come before the Planning & Zoning Commission, Mr. Marco Suarez adjourned the meeting at 3:47p.m. with Mr. Emilio Santos Jr. seconding the motion and with six members present and voting.

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Chairperson Michael Fallek

ATTEST: \_\_\_\_\_  
Magda Ramirez, Administrative Assistant



## Memo

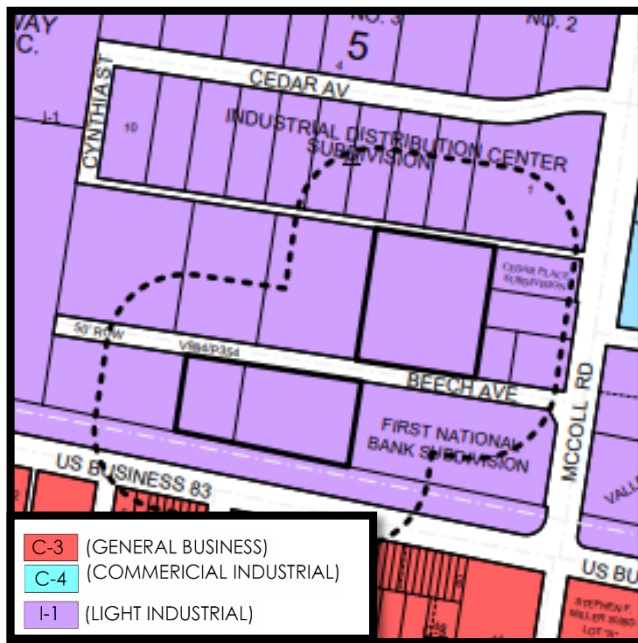
**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

**DATE:** March 31, 2023

**SUBJECT:** REQUEST OF VITAL CHURCH, FOR A CONDITIONAL USE PERMIT, FOR LIFE OF USE, AND ADOPTION OF AN ORDINANCE, FOR AN AMENDMENT INSTITUTIONAL USE, AT LOT 5, BLOCK 12 1.68AC, STEELE & PERSHING IRR TR W288.04'-E843.6'-S261.12' AND AT LOT 5, BLOCK 12, STEELE & PERSHING W 300 X 330 OF S 10 AC OF N 40 AC, HIDALGO COUNTY, TEXAS; 516 EAST BEECH AVENUE AND 601 EAST BEECH AVENUE. (CUP2023-0046)

**BRIEF DESCRIPTION:** The properties are located on the north side of Business 83 and west of McColl Road. The subject properties are zoned I-1 (light industrial) District. The adjacent zoning is I-1 district in all directions. Surrounding land uses include commercial plazas such as to the north comprised of FedEx, Reef Valley and an insurance agency. An institutional use is permitted in the I-1 district with a Conditional Use Permit and in compliance with requirements.



**HISTORY:** A Conditional Use Permit was approved in February 2016 for a church. A request to amend the Conditional Use Permit for a youth center and addition to the existing church was submitted on March 30, 2023. The Conditional Use Permit request is for life of use.

**REQUEST/ANALYSIS:** The applicant is proposing to operate a youth center within a 13,200 sq. ft. proposed building. The establishment consists of an open gym, game room, and a service area. Based on the type of use, 35 parking spaces are required, 168 parking spaces are provided. The applicant is also proposing to increase square footage for an addition of a restroom to the existing church. The proposed square footage for the addition is 709.92 sq. ft.

The Fire Department conducted the necessary inspection and has approved for the CUP process to continue. Should the conditional use permit be approved, the applicant would be required to sign the application acknowledging and agreeing to all conditions noted of the permit. The proposed use must also comply with the zoning ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The property fronts East Beech Avenue and west of McColl Road.
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of parking along street, especially in residential areas. Based on the square footage, 35 parking spaces are required; 168 parking spaces are provided. The parking must be clear of potholes and be properly striped per city requirements.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the main building shall be determined by the Building Inspections Department and shall maintain the existing seating capacity for the main sanctuary; and
- 7) Sides adjacent to commercially and residentially zoned or use property shall be screened by a 6 ft. opaque fence.

**RECOMMENDATION:** Staff recommends approval of the request, for life of use, subject to compliance with requirements in Section 138-118 and Section 138-400 of the Zoning Ordinance, and Building Permits and Fire Department requirements.



TEXAS ARCHITECT  
JENNIFER L. GUNTER  
www.cgsarchitect.com

SCALE

VITAL CHURCH

CLIENT

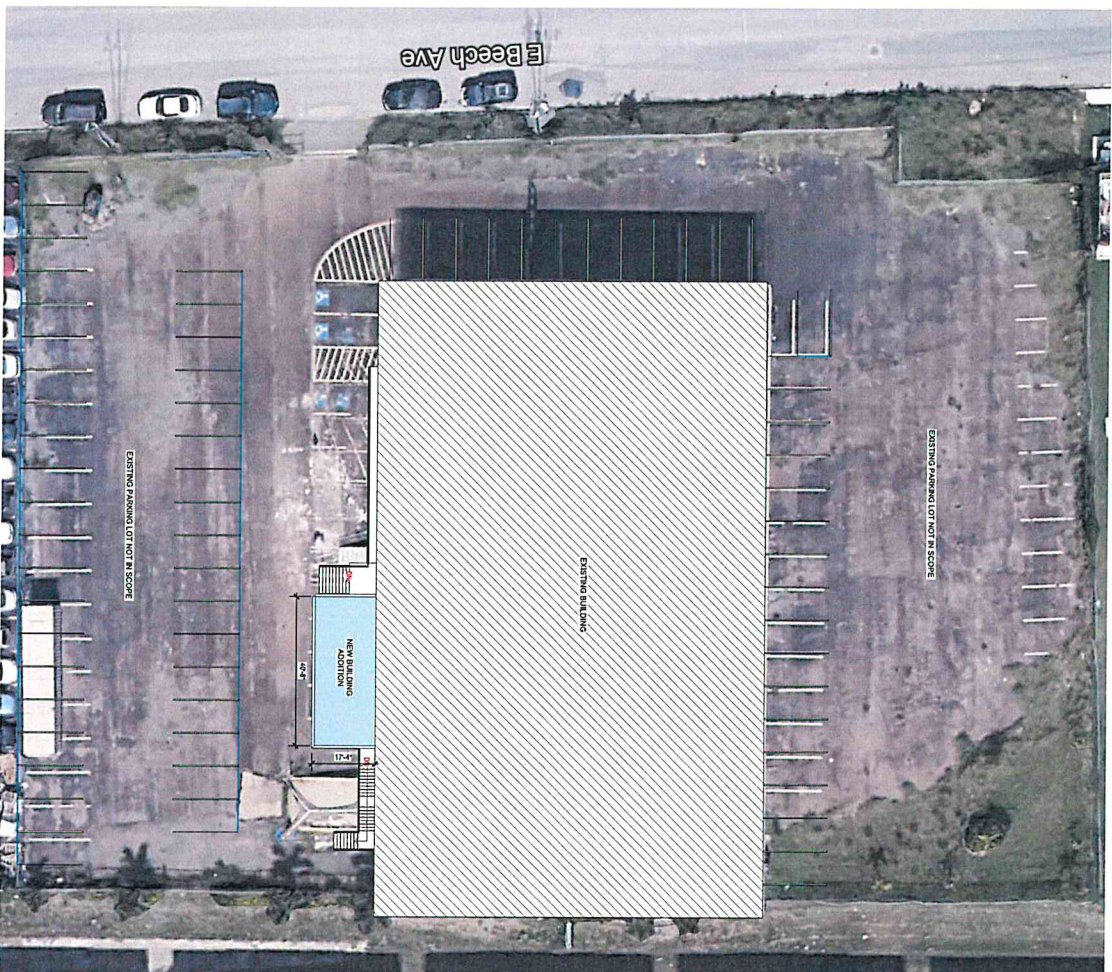
OWNER

REVISION

PROJECT # 0001  
DRAWN BY  
CHECKED BY: CHS  
DATE: 1/18/2023

SITE PLAN

A0.1



1 SITE PLAN  
VIR - 1/18



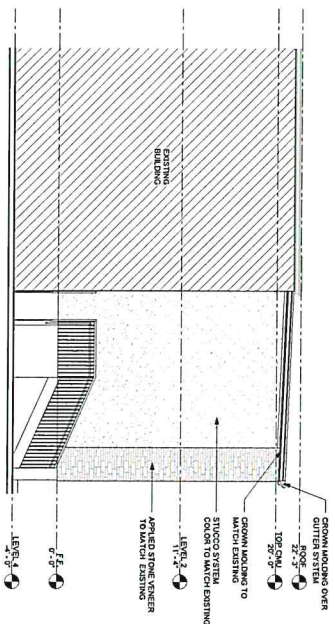


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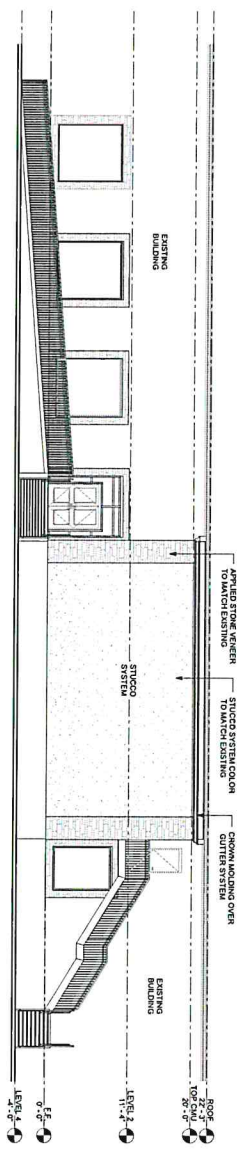
## A2.0

Architectural floor plan of the existing building. The plan shows a central corridor with restrooms (Men's Rm., Women's Rm.), a working area, and two alcoves. A new entrance is shown on the right side, leading to a new entrance window. The plan is labeled "EXISTING BUILDING" and "NEW RENOVATED BUILDING".

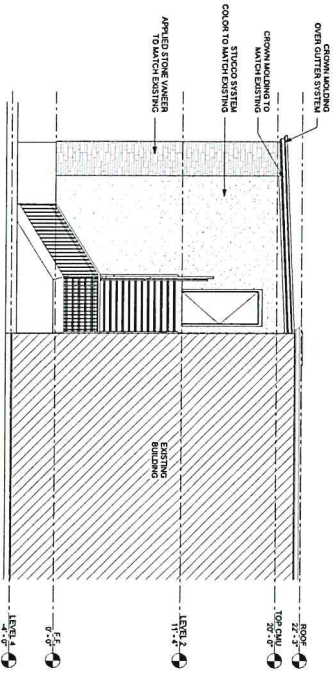
## FLOOR PLAN



1 Elevation 2 - 8  
3/8" = 1'-0"



3 Elevation 4 - 8  
3/8" = 1'-0"



4 Elevation 5 - 8  
3/8" = 1'-0"



TEAM ARCHITECT  
FROM THE BUILDERS  
WWW.CGARCHITECT.COM

VITAL CHURCH

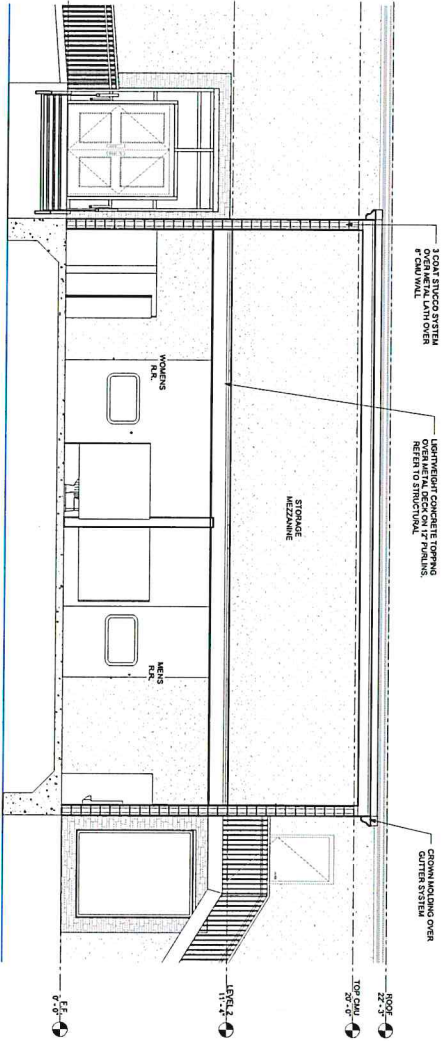
CLIENT: OWNER

REVISION

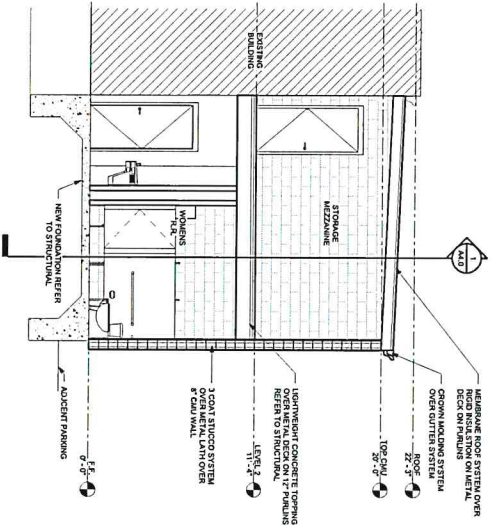
PROJECT # 2021  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
DATE: [Date]

EXTERIOR  
ELEVATIONS

A3.0



Section 1  
1'-0" = 1'-0"



Section 2  
1'-0" = 1'-0"



TGA ARCHITECT  
1000 N. BRADY  
WWW.TGAARCHITECT.COM

S&L

VITAL CHURCH

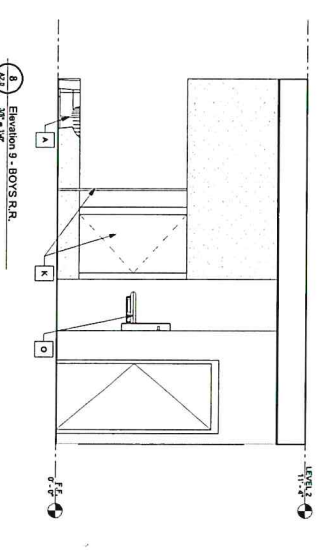
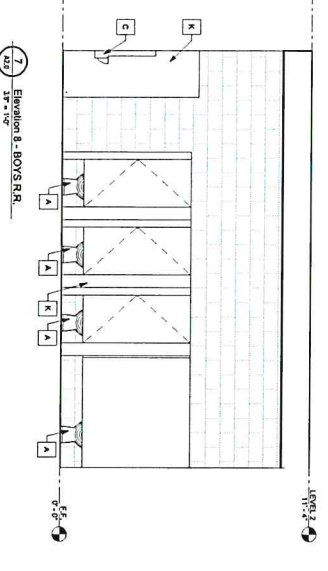
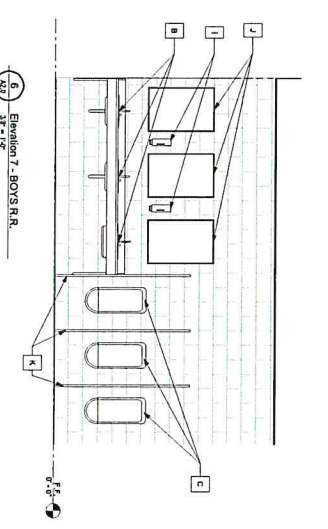
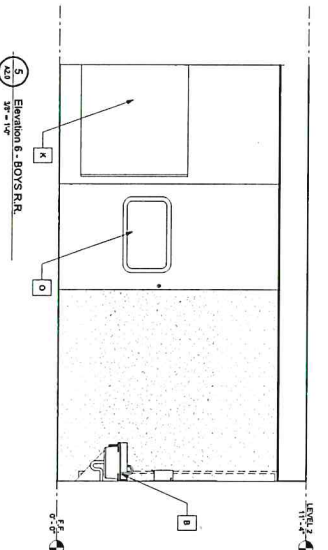
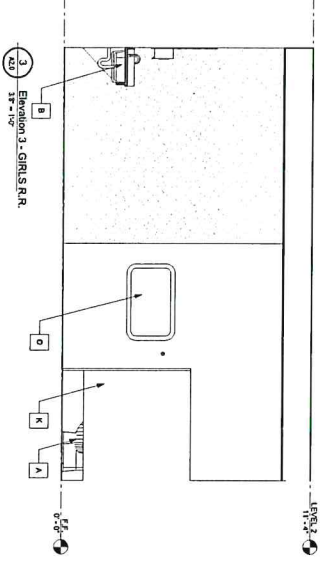
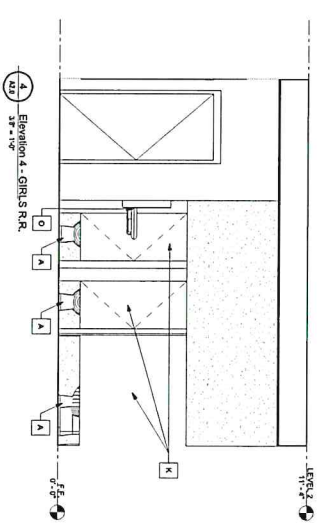
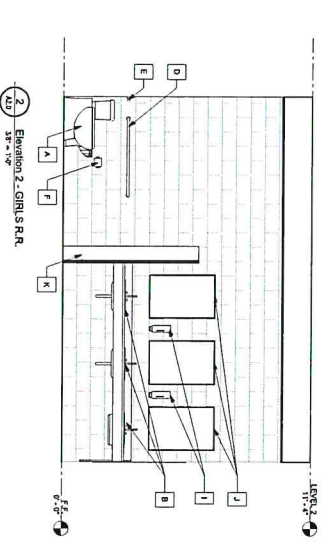
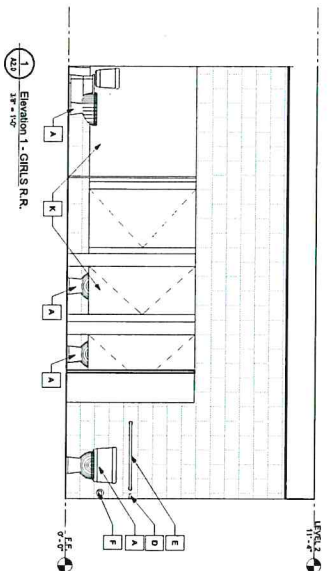
CLIENT: Owner

REVISION:

PROJECT # 0001  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
DATE: [Date]

A4.0





TOILET ACCESSORY SCHEDULE

- A WATER CLOSET, TYP. REFER TO MEP
- B LAVATORY, TYP. REFER TO MEP
- C URINAL, TYP. REFER TO MEP
- D 3'-5" GRAB BAR, BOBRICK B-5006x42
- E 3'-5" GRAB BAR, BOBRICK B-5006x36
- F TOILET PAPER DISPENSER, BOBRICK B-2888
- G PAPER TOWEL DISPENSER, BOBRICK B-3944
- H ELECTRIC HAND DRYER, BOBRICK B-7120
- I SOAP DISPENSER, BOBRICK B-4226
- J MIRROR, BOBRICK B-169 & B-165-1624
- K TOILET PARTITIONS SYSTEM, BOBRICK HPL DESIGNER SERIES 1040
- L JANITOR SINK, REFER TO MEP
- M MOP RACK, BOBRICK B-2393M
- N ELECTRIC DRINKING FOUNTAIN, REFER TO MEP
- O BABY CHANGING STATION, BOBRICK K2028

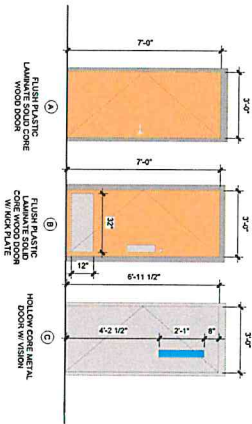
NOTE:

1. ALL SPECIFIED ITEMS ARE SCHEDULED AS BASIS OF DESIGN. CONTRACTOR OPTION TO PROVIDE EQUIVALENTS SHALL BE APPROVED BY ARCHITECT AND OWNER.
2. AT TOILET PARTITIONS PROVIDE STANDARD HARDWARE INCLUDING HINGES, PULLS AND SCREWS. ALSO PROVIDE A COAT HOOK.
3. AT JANITOR SINK PROVIDE 4"x4" WAINSCOT OF FRP PANEL WITH ENDCAPS AND JOINTCAPS AT ADJACENT WALLS TO 8'-0" ON EACH SIDE.



TEXAS ARCHITECT  
FIRM # 000127  
WWW.CG5ARCHITECT.COM

SCALE:



DOOR HARDWARE:

DH1: DOORS, 100A, 100C

- 1 - CENTER MALLION REMOVABLE
- 2 - HANDLE DEVICE, BALL TYPE
- 1 - DOOR LATCH, STRIKE NON-ELECTRIFIED
- 1 - WEATHER STRIPPING FOR DOUBLE DOOR
- 1 - MAIN GLAND FOR DOUBLE DOOR

DH2: DOORS, 101, 102

- 2 - HINGES
- 1 - DOORSTOP, ALIGNED ONE SIDE (OUTSIDE)
- 1 - DOORSTOP LATCH
- 1 - KICK PLATE

DH3: DOORS, 102, 104, 106, 107A

- 2 - HINGES
- 1 - DOORSTOP, ALIGNED ONE SIDE (OUTSIDE), LEVER TYPE
- 1 - DOOR LATCH
- 1 - KICK PLATE

DH4: DOORS, 103

- 2 - HINGES
- 1 - DOORSTOP, ALIGNED ONE SIDE (OUTSIDE), LEVER TYPE
- 1 - DOOR LATCH
- 1 - KICK PLATE

DH5: DOORS, 101, 102

- 2 - HINGES
- 1 - DOORSTOP, ALIGNED ONE SIDE (OUTSIDE), LEVER TYPE
- 1 - DOOR LATCH
- 1 - KICK PLATE

DH6: DOORS, 101, 102

- 2 - HINGES
- 1 - DOORSTOP, ALIGNED ONE SIDE (OUTSIDE), LEVER TYPE
- 1 - DOOR LATCH
- 1 - KICK PLATE

DH7: DOORS, 102, 104, 106, 107A

- 2 - HINGES
- 1 - DOORSTOP, ALIGNED ONE SIDE (OUTSIDE), LEVER TYPE
- 1 - DOOR LATCH
- 1 - KICK PLATE

DH8: DOORS, 103

- 2 - HINGES
- 1 - DOORSTOP, ALIGNED ONE SIDE (OUTSIDE), LEVER TYPE
- 1 - DOOR LATCH
- 1 - KICK PLATE

DH9: DOORS, 101, 102

- 2 - HINGES
- 1 - DOORSTOP, ALIGNED ONE SIDE (OUTSIDE), LEVER TYPE
- 1 - DOOR LATCH
- 1 - KICK PLATE

DH10: DOORS, 102, 104, 106, 107A

- 2 - HINGES
- 1 - DOORSTOP, ALIGNED ONE SIDE (OUTSIDE), LEVER TYPE
- 1 - DOOR LATCH
- 1 - KICK PLATE

DH11: DOORS, 103

- 2 - HINGES
- 1 - DOORSTOP, ALIGNED ONE SIDE (OUTSIDE), LEVER TYPE
- 1 - DOOR LATCH
- 1 - KICK PLATE

DH12: DOORS, 101, 102

- 2 - HINGES
- 1 - DOORSTOP, ALIGNED ONE SIDE (OUTSIDE), LEVER TYPE
- 1 - DOOR LATCH
- 1 - KICK PLATE

DH13: DOORS, 102, 104, 106, 107A

- 2 - HINGES
- 1 - DOORSTOP, ALIGNED ONE SIDE (OUTSIDE), LEVER TYPE
- 1 - DOOR LATCH
- 1 - KICK PLATE

DH14: DOORS, 103

- 2 - HINGES
- 1 - DOORSTOP, ALIGNED ONE SIDE (OUTSIDE), LEVER TYPE
- 1 - DOOR LATCH
- 1 - KICK PLATE

DH15: DOORS, 101, 102

- 2 - HINGES
- 1 - DOORSTOP, ALIGNED ONE SIDE (OUTSIDE), LEVER TYPE
- 1 - DOOR LATCH
- 1 - KICK PLATE

DH16: DOORS, 102, 104, 106, 107A

- 2 - HINGES
- 1 - DOORSTOP, ALIGNED ONE SIDE (OUTSIDE), LEVER TYPE
- 1 - DOOR LATCH
- 1 - KICK PLATE

DH17: DOORS, 103

- 2 - HINGES
- 1 - DOORSTOP, ALIGNED ONE SIDE (OUTSIDE), LEVER TYPE
- 1 - DOOR LATCH
- 1 - KICK PLATE

DH18: DOORS, 101, 102

- 2 - HINGES
- 1 - DOORSTOP, ALIGNED ONE SIDE (OUTSIDE), LEVER TYPE
- 1 - DOOR LATCH
- 1 - KICK PLATE

DH19: DOORS, 102, 104, 106, 107A

- 2 - HINGES
- 1 - DOORSTOP, ALIGNED ONE SIDE (OUTSIDE), LEVER TYPE
- 1 - DOOR LATCH
- 1 - KICK PLATE

DH20: DOORS, 103

- 2 - HINGES
- 1 - DOORSTOP, ALIGNED ONE SIDE (OUTSIDE), LEVER TYPE
- 1 - DOOR LATCH
- 1 - KICK PLATE

DOOR SCHEDULE

NO.	LOCATION	TYPE	SIZE	UNITS	DOOR MATERIAL	FRAME	HEAD	DETAIL	REMARKS
100		DESCRIPTION	WIDTH X HEIGHT	CUT	FLAME R.T. WOOD DOOR				
101		B			FLAME R.T. WOOD DOOR				
104		C			FLAME R.T. WOOD DOOR				
EX		REMARKS			FLAME R.T. WOOD DOOR				

CLIENT:

Owner

REVISION:

PROJECT # 0001  
DRAWN BY:  
CHECKED BY: CAG  
DATE: 10/01/01

DOOR  
SCHEDULE

A7.0

VITAL CHURCH



PROJECT #	ISSN
01612221	
DATE	with review set
FILE NAME	
OWN BY	PER
ECR BY	--

DATE	DESCRIPTION
2022	Final
05/22	90% REVIEW SET
16/22	95% REVIEW SET
15/22	COMPLETE FOR
	PHASE I CONSTRUCTION

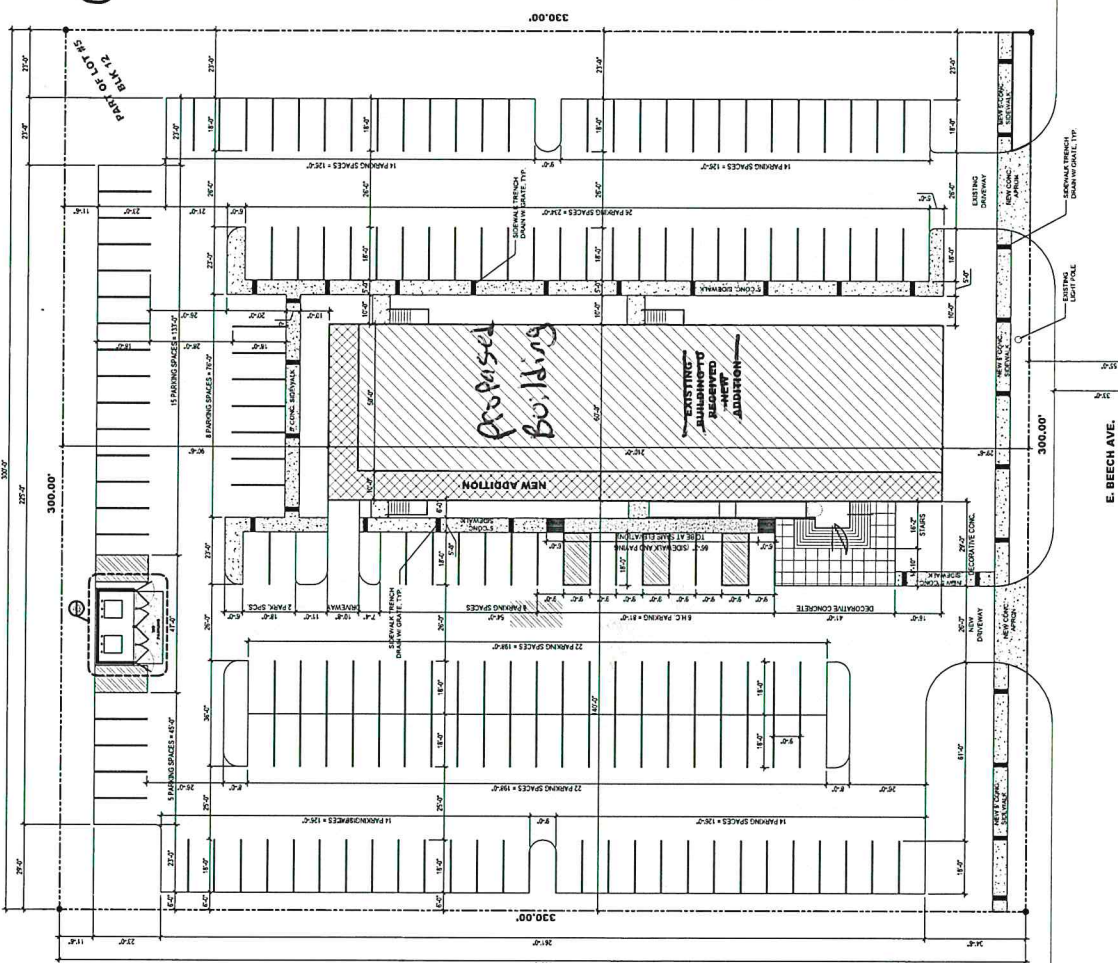
DATE \_\_\_\_\_

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SITE PLAN AND DETAILS  
NEW YOUTH CENTER BUILDING  
VITAL CHURCH  
601 E. BEECH AVENUE, McALLEN, TEXAS

RE

CT 3/30/23



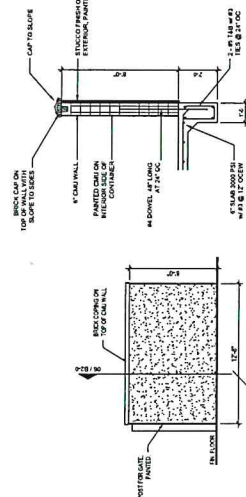
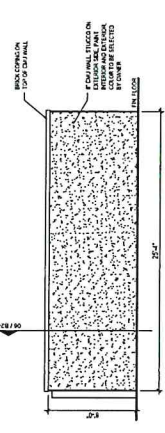
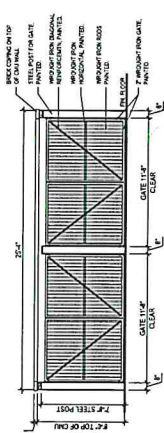
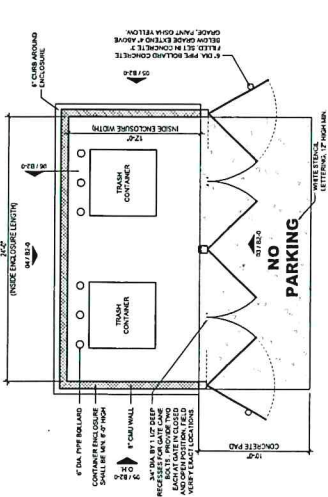
TRASH ENCLOSURE PLAN

TRASH ENCLOSURE  
ELEVATION

TRASH ENCLOSURE  
ELEVATION  
04  
SCALE: 3/16" = 1'-0"

TRASH ENCLOSURE  
ELEVATION

TRASH ENCLOSURE  
WALL SECTION



## FLOOR PLAN &amp; SCHEDULES

# ROOM FINISH SCHEDULE-MAIN LEVEL

ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS	CEILING	CEILING HEIGHT	REMARKS	LEGEND
101	PORCH	F4	-	W2	CH2	CH2	F1 FLOORING	FLOORING
102	ENTRY	F4	-	W2	CH2	CH2	F2 CEILING	CEILING
103	SERVER CONTROL	F3	B3	W1/W2	CH1/CH2	CH2	F3 CEILING	CEILING
104	OFFICE	F3	B3	W1/W2	CH1/CH2	CH2	F4 FLOORING	FLOORING
105	OFFICE	F3	B3	W1	CH2	CH2	F5 FLOORING	FLOORING
106	OFFICE	F3	B3	W1	CH2	CH2	F6 FLOORING	FLOORING
107	OFFICE	F3	B3	W1	CH2	CH2	F7 FLOORING	FLOORING
108	ADMIN CLERK	F2	B2	W1/W2	CH1	CH1	F8 FLOORING	FLOORING
109	ADMIN CLERK	F2	B2	W1/W2	CH1	CH1	F9 FLOORING	FLOORING
110	ELECTRONIC ROOM	F4	B4	W1	CH1	CH2	F10 FLOORING	FLOORING
111	SAME ROOM	F4	B3	W1	CH1	CH1	F11 FLOORING	FLOORING
112	ENTRANCE HALL	F4	B3	W1	CH1	CH2	F12 FLOORING	FLOORING
113	HALLWAY	F4	B3	W1	CH1	CH2	F13 FLOORING	FLOORING
114	HALLWAY	F4	B3	W1	CH1	CH2	F14 FLOORING	FLOORING
115	STORAGE	F4	B3	W1	CH1	CH2	F15 FLOORING	FLOORING
116	STORAGE	F4	B3	W1	CH1	CH2	F16 FLOORING	FLOORING
117	STORAGE	F4	B3	W1	CH1	CH2	F17 FLOORING	FLOORING
118	STORAGE	F4	B3	W1	CH1	CH2	F18 FLOORING	FLOORING
119	STORAGE	F4	B3	W1	CH1	CH2	F19 FLOORING	FLOORING
120	STORAGE	F4	B3	W1/W2	CH1	CH2	F20 FLOORING	FLOORING
121	OFFICE ROOM	F3	B3	W1	CH1	CH2	F21 FLOORING	FLOORING
122	BREAK ROOM	F3	B3	W1/W2	CH1	CH2	F22 FLOORING	FLOORING
123	STUDIO	F3	B3	W1/W2	CH1	CH2	F23 FLOORING	FLOORING
124	STORAGE	F4	-	W3	CH1	CH1	F24 FLOORING	FLOORING
125	LANDING	F4	-	W3	CH1	CH1	F25 FLOORING	FLOORING
126	LANDING	F4	-	W3	CH1	CH1	F26 FLOORING	FLOORING
127	LANDING	F4	-	W3	CH1	CH1	F27 FLOORING	FLOORING
128	LANDING	F4	-	W3	CH1	CH1	F28 FLOORING	FLOORING
129	LANDING	F4	-	W3	CH1	CH1	F29 FLOORING	FLOORING
130	LANDING	F4	-	W3	CH1	CH1	F30 FLOORING	FLOORING
131	LANDING	F4	-	W3	CH1	CH1	F31 FLOORING	FLOORING
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248	LANDING	F4	-	W3	CH1	CH1	F148 FLOORING	FLOORING
249	LANDING	F4	-	W3	CH1	CH1	F149 FLOORING	FLOORING
250	LANDING	F4	-	W3	CH1	CH1	F150 FLOORING	FLOORING
251	LANDING	F4	-	W3	CH1	CH1	F151 FLOORING	FLOORING
252	LANDING	F4	-	W3	CH1	CH1	F152 FLOORING	FLOORING
253	LANDING	F4	-	W3	CH1	CH1	F153 FLOORING	FLOORING
254	LANDING	F4	-	W3	CH1	CH1	F154 FLOORING	FLOORING
255	LANDING	F4	-	W3	CH1	CH1	F155 FLOORING	FLOORING
256	LANDING	F4	-	W3	CH1	CH1	F156 FLOORING	FLOORING
257	LANDING	F4	-	W3	CH1	CH1	F157 FLOORING	FLOORING
258	LANDING	F4	-	W3	CH1	CH1	F158 FLOORING	FLOORING
259	LANDING	F4	-	W3	CH1	CH1	F159 FLOORING	FLOORING
260	LANDING	F4	-	W3	CH1	CH1	F160 FLOORING	FLOORING
261	LANDING	F4	-	W3	CH1	CH1	F161 FLOORING	FLOORING
262	LANDING	F4	-	W3	CH1	CH1	F162 FLOORING	FLOORING
263	LANDING	F4	-	W3	CH1	CH1	F163 FLOORING	FLOORING
264	LANDING	F4	-	W3	CH1	CH1	F164 FLOORING	FLOORING
265	LANDING	F4	-	W3	CH1	CH1	F165 FLOORING	FLOORING
266	LANDING	F4	-	W3	CH1	CH1	F166 FLOORING	FLOORING
267	LANDING	F4	-	W3	CH1	CH1	F167 FLOORING	FLOORING
268	LANDING	F4	-	W3	CH1	CH1	F168 FLOORING	FLOORING
269	LANDING	F4	-	W3	CH1	CH1	F169 FLOORING	FLOORING
270	LANDING	F4	-	W3	CH1	CH1	F170 FLOORING	FLOORING
271	LANDING	F4	-	W3	CH1	CH1	F171 FLOORING	FLOORING
272	LANDING	F4	-	W3	CH1	CH1	F172 FLOORING	FLOORING
273	LANDING	F4	-	W3	CH1	CH1	F173 FLOORING	FLOORING
274	LANDING	F4	-	W3	CH1	CH1	F174 FLOORING	FLOORING
275	LANDING	F4						

DOOR SCHEDULE - MAIN LEVEL

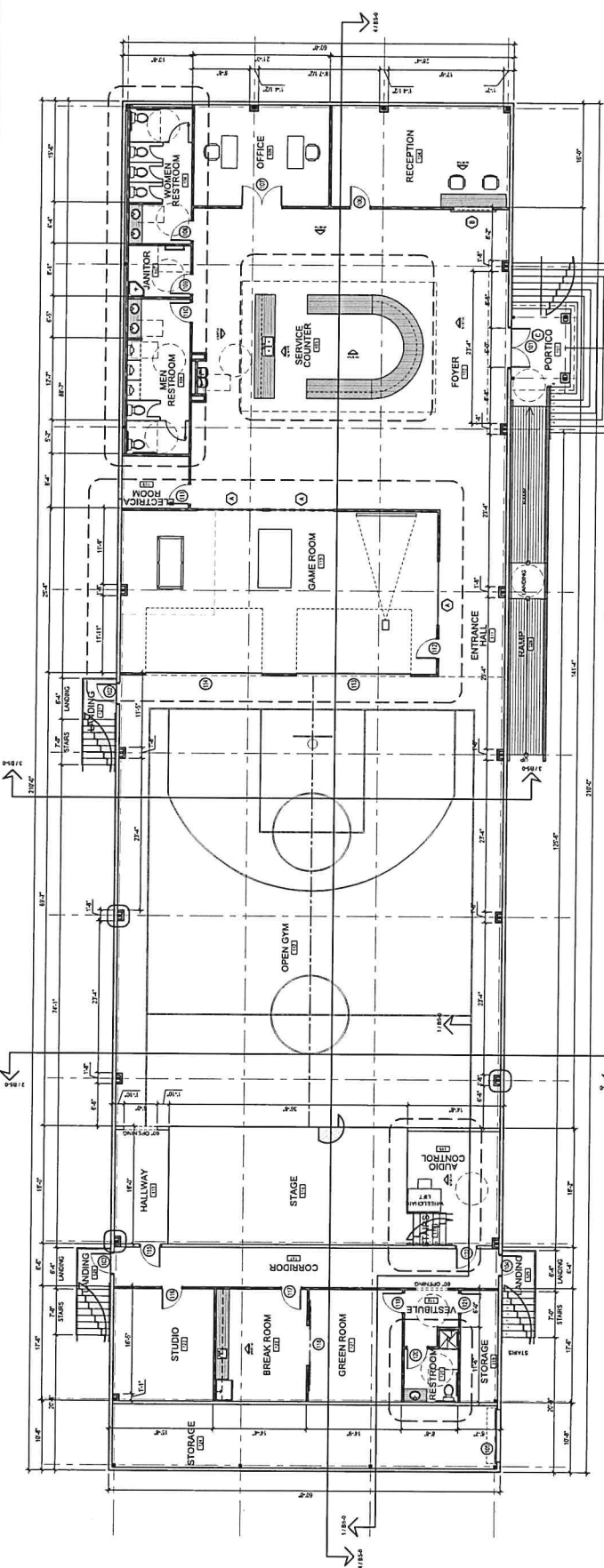
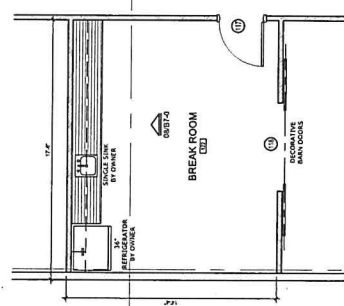
Door HARDWARE	Door HARDWARE TYPE	Door HARDWARE SIZE	Door HARDWARE MATERIAL	Door HARDWARE FINISH	FRAME MATERIAL	FRAME SIZE	ROOM NAME	REMARKS	DOOR THICKNESS
101	101-2070	A	ALUMINUM ALUM.	P.A.P.	ALUM.	7 F. 5.5 F.	RECEPTION 11	EXTENDING TO REHMAN	1.5"
102	102-2070	B	ENCOURED METAL	P.A.P.	ENCOURED METAL	7 F. 5.5 F.	JACKSON 217	EXTENDING TO REHMAN	1.5"
103	103-2070	C	WOOD	S.B.V.	WOOD	7 F. 5.5 F.	RECEPTION 108	EXTENDING TO REHMAN	1.5"
104	104-2070	D	WOOD	S.B.V.	WOOD	7 F. 5.5 F.	RECEPTION 108	EXTENDING TO REHMAN	1.5"
105	105-2070	F	GLASS INSULATED	-	-	7 F. 5.5 F.	SPINHOUSE 112	PROVIDE BY MANUFACTURER	1.5"
106	106-2070	G	WOOD	S.B.V.	WOOD	7 F. 5.5 F.	ADJUTANT ROOM 107	PROVIDE BY MANUFACTURER	1.5"
107	107-2070	E	WOOD	S.B.V.	WOOD	7 F. 5.5 F.	WOMEN RESTROOM 106	PROVIDE BY MANUFACTURER	1.5"
108	108-2070	G	WOOD	S.B.V.	WOOD	7 F. 5.5 F.	WOMEN RESTROOM 106	PROVIDE BY MANUFACTURER	1.5"
110	110-4070	G	MIL. GLASS INSULATED	METAL CLAD	MIL.	7 F. 5.5 F.	WASH AREA 191	PROVIDE BY MANUFACTURER	-
111	111-4070	G	MIL. GLASS INSULATED	METAL CLAD	-	-	WALK-IN COOLER 111	PROVIDE BY MANUFACTURER	-
112	112-2070	F	WOOD	P.A.P.	-	-	SPINHOUSE 112	EXTENDING TO REHMAN	1.5"
113	113-2070	F	WOOD	P.A.P.	-	-	SPINHOUSE 112	EXTENDING TO REHMAN	1.5"
114	114-2070	F	WOOD	P.A.P.	-	-	SPINHOUSE 112	EXTENDING TO REHMAN	1.5"
115	115-2070	D	WOOD	S.B.V.	WOOD	7 F. 5.5 F.	SPINHOUSE 112	EXTENDING TO REHMAN	1.5"
116	116-2070	F	GLASS INSULATED	-	-	7 F. 5.5 F.	PROVIDE BY MANUFACTURER	1.5"	
117	117-2070	E	WOOD	S.B.V.	WOOD	7 F. 5.5 F.	SPINHOUSE 108	EXTENDING TO REHMAN	1.5"
118	118-2070	E	WOOD	S.B.V.	WOOD	7 F. 5.5 F.	ADJUTANT RESTROOM 108	EXTENDING TO REHMAN	1.5"
119	119-2070	G	WOOD	S.B.V.	WOOD	7 F. 5.5 F.	WALK-IN COOLER 111	EXTENDING TO REHMAN	1.5"
120	120-4070	G	MIL. GLASS INSULATED	METAL CLAD	MIL.	7 F. 5.5 F.	WASH AREA 191	PROVIDE BY MANUFACTURER	-
121	121-4070	G	MIL. GLASS INSULATED	METAL CLAD	-	-	WALK-IN COOLER 111	PROVIDE BY MANUFACTURER	-
122	122-2070	F	WOOD	P.A.P.	-	-	SPINHOUSE 112	EXTENDING TO REHMAN	1.5"
123	123-2070	I	WOOD	P.A.P.	-	-	SPINHOUSE 112	EXTENDING TO REHMAN	1.5"

YOUTH CENTER  
FLOOR PLAN

SCALE: 1/8" = 1'-0"

ENLARGED  
BREAK ROOM

SCALE: 1/4" = 1'-0"



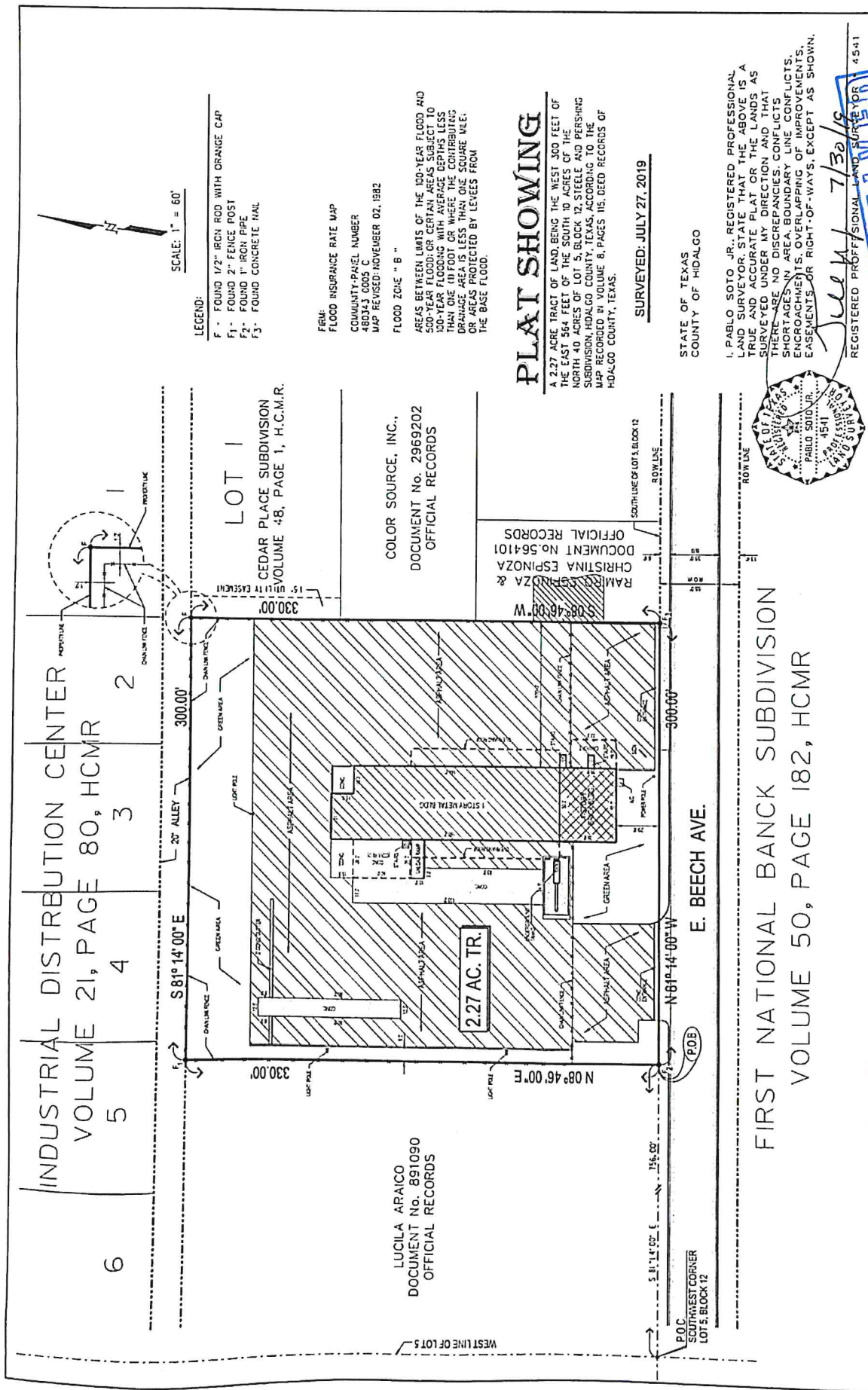
**WALL HATCH LEGEND**

2" X 4" METAL STUD, 25 GA., WALL WITH 5/8" GYP. BOARD ON EXTERIOR SIDE W/ STAPLED FRAG. STUCCO BOARD ON INTERIOR SIDE. GYP. BD. TO BE T & P.

2" X 4" METAL STUD WALL WITH 5/8" GYP. BOARD ON INTERIOR SIDE. GYP. BD. TO BE T & P.

2" X 4" METAL STUD WALL WITH 5/8" GYP. BOARD ON INTERIOR SIDE. GYP. BD. TO BE T & P.

















# Memo

**TO:** Planning and Zoning Commission

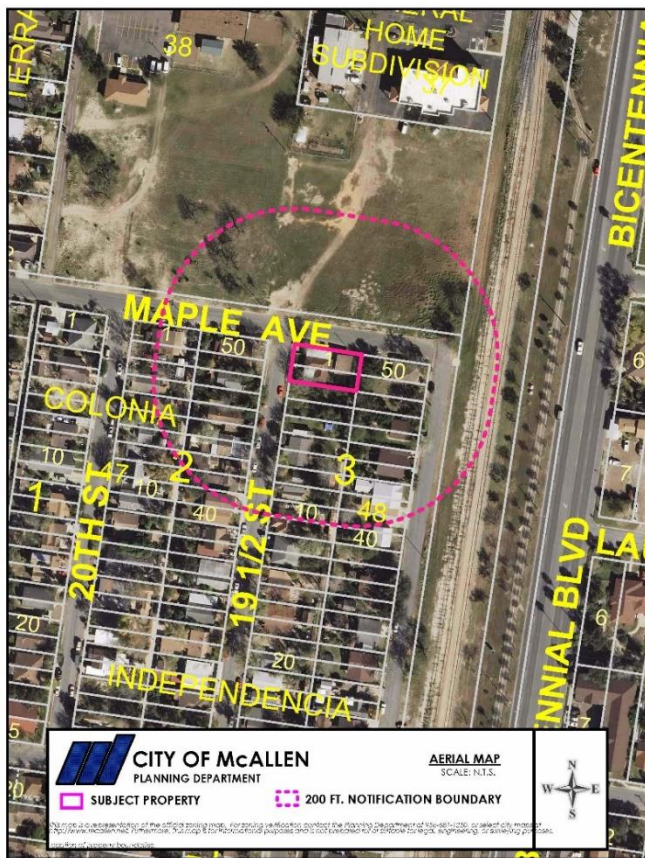
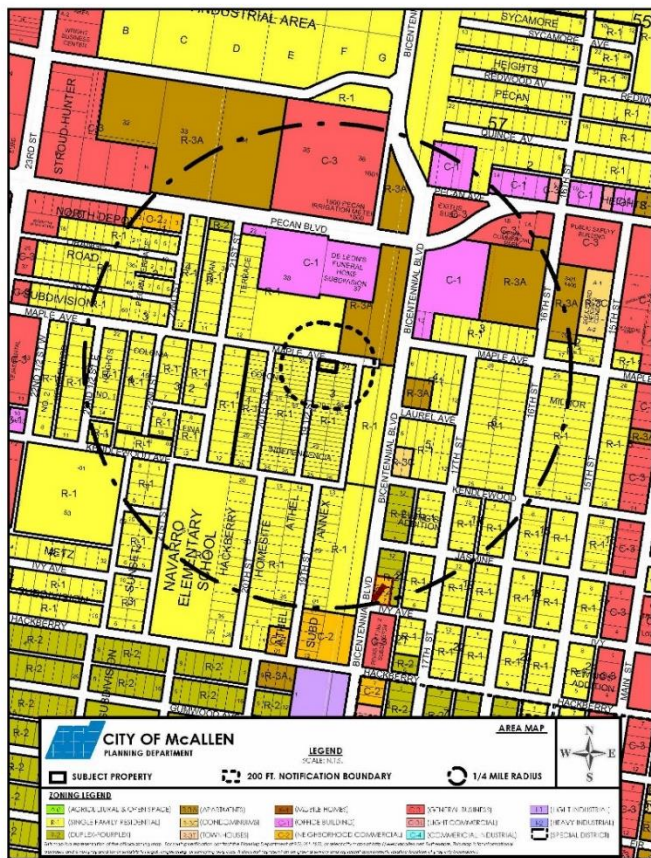
**FROM:** Planning Staff

**DATE:** April 12, 2023

**SUBJECT: REQUEST OF ALFREDO VALLEJO FOR A CONDITIONAL USE PERMIT, FOR LIFE OF THE USE, AND ADOPTION OF AN ORDINANCE, FOR A GUEST HOUSE AT LOTS 1 AND 2, BLOCK 3, COLONIA INDEPENDENCIA SUBDIVISION, HIDALGO COUNTY, TEXAS; 1220 NORTH 19<sup>TH</sup> ½ STREET. (CUP2023-0034)**

### BRIEF DESCRIPTION:

The subject property is located at the southeast corner of Maple Avenue and North 19<sup>th</sup> ½ Street. The property is zoned R-1 (single-family residential) District. The applicant is proposing to remodel an existing structure for a guest house as an accessory use. A guest house is permitted in an R-1 (single-family residential) District with a Conditional Use Permit (CUP). The adjacent zoning is R-1 (single-family residential) District and R-3A (multi-family residential apartments) District. Surrounding land uses are single family residences and vacant land.



**REQUEST/ANALYSIS:**

The plat for Colonia Independencia Subdivision was recorded on July 18, 1944. According to Hidalgo County Appraisal District records, the existing residence and the additional rear building were built in 1970. A building permit application for the remodel of the existing home and rear building was submitted on March 3, 2023. The applicant then submitted a separate application for the remodel for the guest house (rear building) on March 20, 2023. The application for a Conditional Use Permit for a guest house was submitted on March 20, 2023.

The proposed one-story guest house would have a size of approximately 494 square feet. According to the submitted floor plan, the proposed guest house will include one bedroom, one bathroom, and a living room.

The guest house will be used for visiting relatives as per the applicant. This proposed use is permitted within an R-1 District with an approved Conditional Use Permit and in compliance with all other requirements.

The Hidalgo County Appraisal District has this structure as a res out building built in 1970. The applicant is trying to bring the non-conforming structure into compliance by applying for a Conditional Use Permit for a guest house. The applicant has stated that neither the main residence or guest house will be rented out.

The guest house must meet the requirements in Section 138-118(a)(5) of the Zoning Ordinance as follows:

- 1) Only one guest house shall be permitted on the property;
- 2) The proposed use shall comply with setback requirements. The proposed structure's setbacks are in compliance;
- 3) The proposed use shall be connected to the same utilities as the primary residence;
- 4) Lot size must be a minimum 8,000 square feet. According to the Hidalgo County Appraisal District, the lot size is 5,500 square feet.
- 5) Separate driveways or garages for the proposed use shall not be permitted. Applicant is not proposing an independent driveway for the proposed guesthouse;
- 6) The proposed use shall not be rented;
- 7) The permit shall be revoked if money is ever paid for rent or utility expenses are shared with the proposed use.

If approval is granted to this request, the applicant must still comply with all other Zoning Ordinance and Building Code requirements that will be requested during the building permit process.

Staff did not receive any phone calls, letters, or emails in opposition to this request.

**RECOMMENDATION:**

Staff recommends disapproval of the request based on noncompliance with requirement of #4 (minimum lot size) of Section 138-118(a)(5) of the Zoning Ordinance.



14 1/2 St



Walkway

8'  
Driveway

25'

15'

12'

11' 8"

4'

11' 9"

3' 3"

7' 10"

15'

Main Home

29'

7'

5' 6"

5' 6"

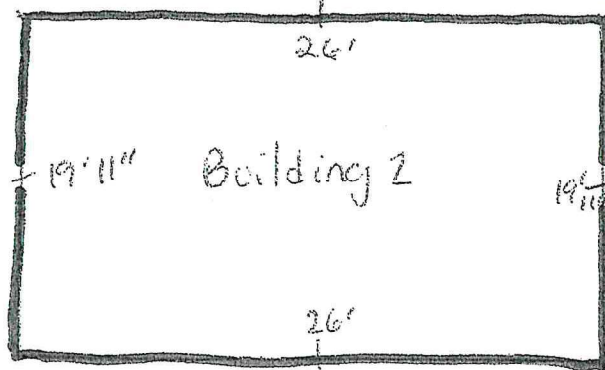
21' 6"

9' 2"

7'

Building 2

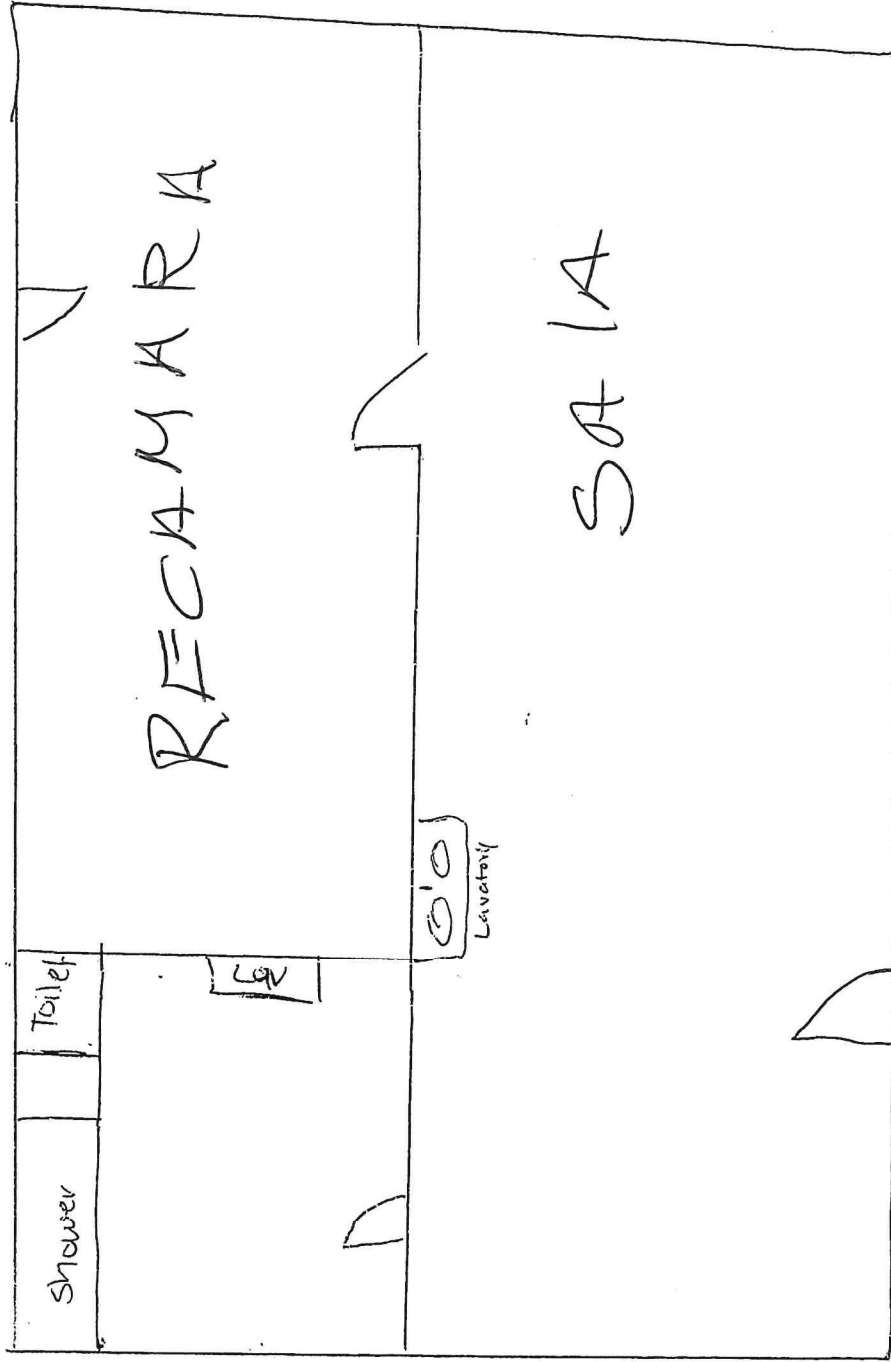
— = R30 insulation  
ext walls & ceiling



10' 10"

10'

26'



19'

19'

26'









NOTICE  
GUEST HOUSE  
FOR  
THIS PROPERTY  
CUP 2023-0034  
CITY OF MCALLEN PLANNING DEPT.  
806-481-1230  
WWW.MCALLEN.NET

12220



## Memo

**TO:** Planning and Zoning Commission

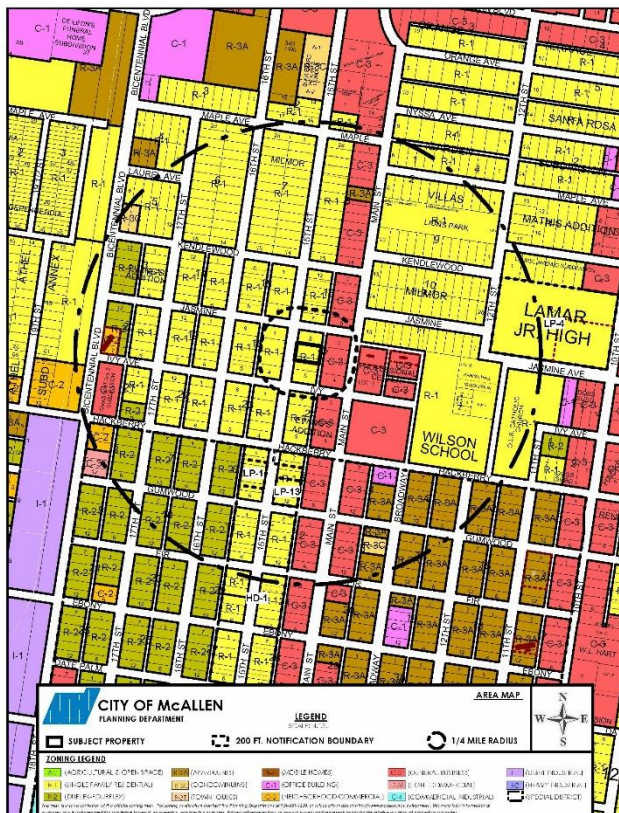
**FROM:** Planning Staff

**DATE:** April 12, 2023

**SUBJECT:** REQUEST OF ARCELIA LOPEZ GAYTAN FOR A CONDITIONAL USE PERMIT, FOR LIFE OF THE USE, AND ADOPTION OF AN ORDINANCE, FOR A GUEST HOUSE AT THE NORTH 25 FEET OF LOT 6 AND ALL OF LOT 7, BLOCK 17, EWING'S ADDITION, HIDALGO COUNTY, TEXAS; 914 NORTH 15<sup>TH</sup> STREET. (CUP2023-0036)

### BRIEF DESCRIPTION:

The subject property is located along the east side of North 15<sup>th</sup> Street between Jasmine and Ivy Avenues. The property is zoned R-1 (single-family residential) District. The applicant is proposing to remodel a detached garage for a guest house as an accessory use. A guest house is permitted in an R-1 (single-family residential) District with a Conditional Use Permit (CUP). The adjacent zoning is R-1 (single-family residential) District to the north, west, and south and C-3 (general business) District to the east. Surrounding land uses are single family residences, Mikhuna Japanese-Peruvian Cuisine, and First Church of Christ, Scientist.



**REQUEST/ANALYSIS:**

The plat for Ewing's Addition Subdivision was recorded on February 13, 1920. According to Hidalgo County Appraisal District records, the existing residence and detached garage were built in 1979. The application for a Conditional Use Permit for a guest house was submitted on March 21, 2023.

The proposed one-story guest house would have an approximate size of 728 square feet. According to the submitted floor plan, the proposed guest house will include two guest rooms, one bathroom, a wet-bar, and a family room.

The remodeling of the existing garage is being proposed for use as a guest house for visiting relatives. This proposed use is permitted within an R-1 District with an approved Conditional Use Permit and in compliance with all other requirements.

The Fire Department has conducted their inspection of the subject property and no violations were found. The guest house development must comply with requirements for guest houses set forth in Section 138-118(a)(5) of the Zoning Ordinance and specific requirements as follows:

- 1) Only one guest house shall be permitted on the property;
- 2) The proposed use shall comply with setback requirements. The proposed structure's setbacks are in compliance;
- 3) The proposed use shall be connected to the same utilities as the primary residence;
- 4) Lot size must be a minimum 8,000 square feet. According to the Hidalgo County Appraisal District, the lot size where the guest house will be built is 14,000 square feet;
- 5) Separate driveways or garages for the proposed use shall not be permitted. Applicant is not proposing an independent driveway for the proposed guesthouse;
- 6) The proposed use shall not be rented;
- 7) The permit shall be revoked if money is ever paid for rent or utility expenses are shared with the proposed use.

If approval is granted to this request, the applicant must still comply with all other Zoning Ordinance and Building Code requirements that will be requested during the building permitting process.

Staff did not receive any phone calls, letters, or emails in opposition to this request.

**RECOMMENDATION:**

Staff recommends approval of this request, for life of the use, subject to compliance with requirements set forth in Section 138-118(a)(5) of the Zoning Ordinance, and all other Zoning Ordinance, Building Codes, and Fire Safety Code requirements.

20f3

SHEET:

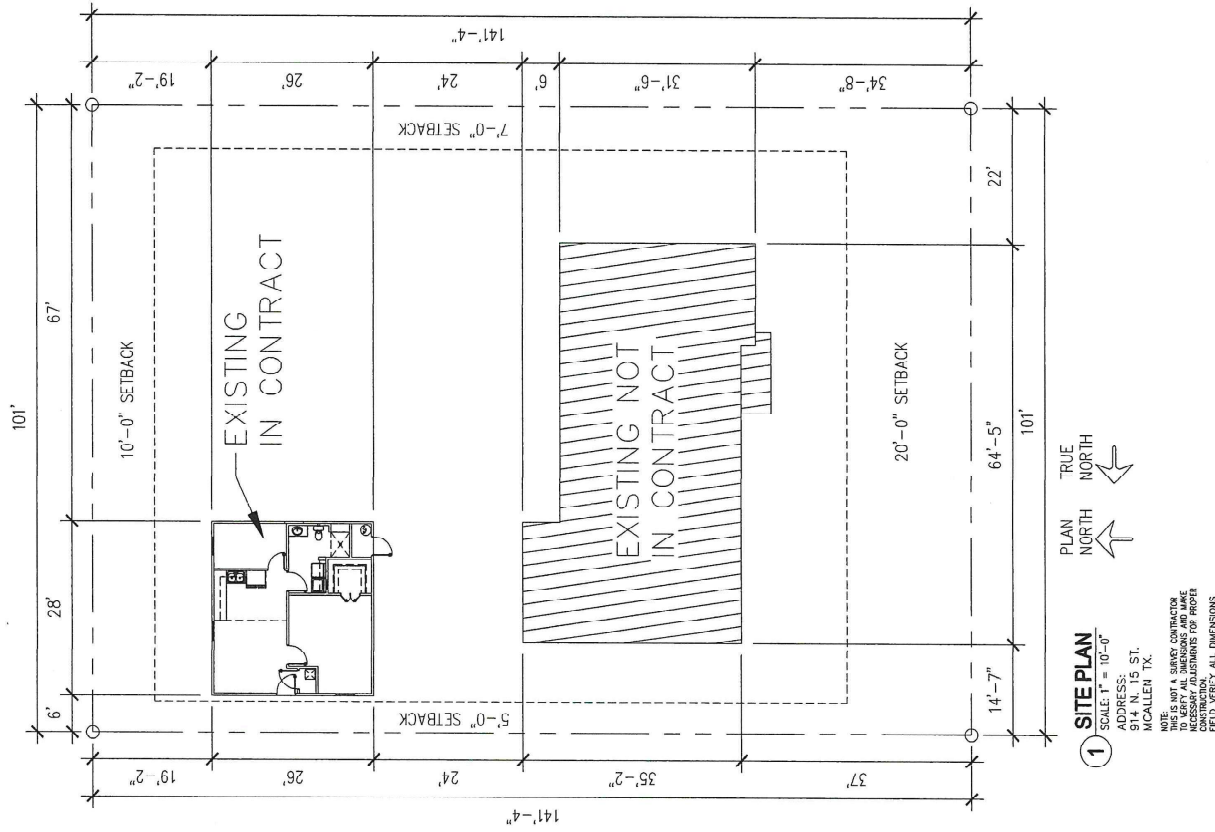


**Sanchez**  
DESIGN SERVICES  
Enrique "Ricky" Sanchez Certified Drafter  
Donna, Texas 78537 Tel: (956) 472-3758 ensadesignservices@yahoo.com

OWNER: MRS. ARACELIA LOPEZ  
PROJECT: REMODEL  
914 N. 15 ST. MCALLEN, TEXAS  
LOPEZ'S FAMILY RESIDENCE

PROJECT # 02242023  
DATE: 03/16/2023  
DRAWN BY: E. SANCHEZ  
CHECKED BY: E. SANCHEZ  
REVISION:  
1. KKK  
2. KKK  
3. KKK  
4. KKK

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BY:   
MAR 21 2023



NOTE:  
SCALE ON 22"x34" SET IS NOTED  
AND ON 11"x17" IS HALF THE SIZE

MAR 21 2023

30f3

## EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

EXISTING STORAGE ON SLAB 728 SQ.FT.

NOTE:

1. ELECTRICIAN TO COORDINATE WITH OWNER FOR PROPER CIRCLES/ SWITCHES LOCATION

2. CARPENTER TO COORDINATE WITH OWNER FOR PROPER CEILING STYLE. REFER TO ELECTRICAL PLAN

3. JEEVEROW OPENINGS TROUGH-OUT RESIDENCE TO SPRING AT HIGHEST POINT UNLESS NOTED

4. PROVIDE DOUBLE ROD, SHELVES & SHOE RACK AT EACH CLOSET UNLESS NOTED

5. PROVIDE WATER FOR ICE MAKER AT REFRIGERATOR UNLESS NOTED

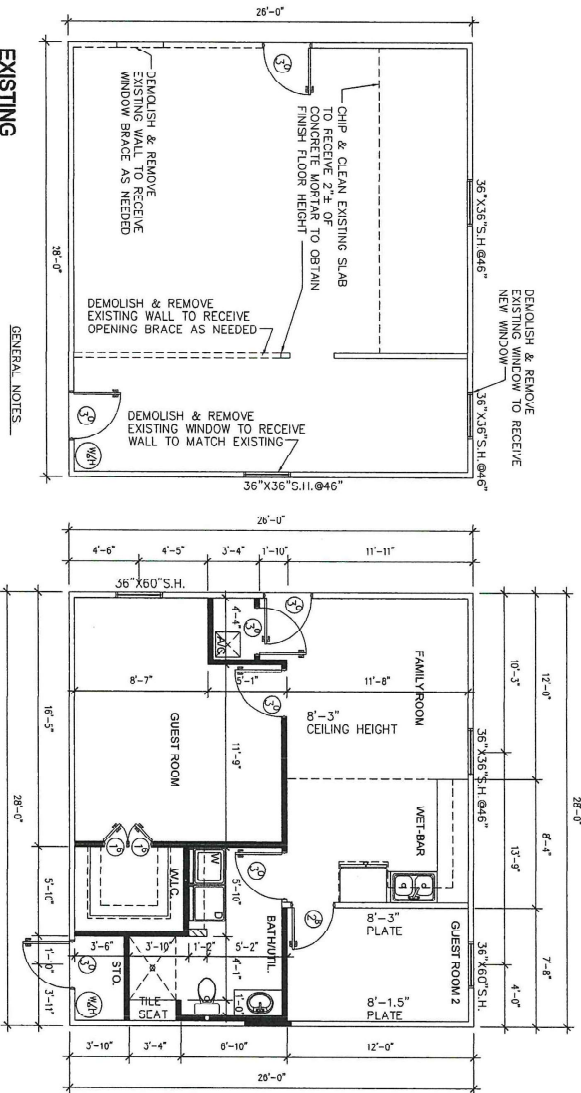
## GENERAL NOTES

THESE PLANS ARE INTENDED TO PROVIDE THE BASIC INFORMATION FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

## PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

PROPOSED LIVING ON SLAB 728 SQ.FT.



WALL LEGEND
6" WALL
4" EXISTING WALL TO REMAIN

COPYRIGHT NOTICE: 2015 SANCHEZ GARCIA DESIGN SERVICES THIS PLAN IS PROTECTED UNDER THE FEDERAL COPYRIGHT LAWS. THE ORIGINAL PURCHASER OF THIS PLAN IS AUTHORIZED TO CONSTRUCT ONE AND ONLY ONE HOME USING THIS PLAN. REUSE OF THIS PLAN IS PROHIBITED. THESE DOCUMENTS ARE A DESIGN DRAFTED BY THE DESIGNER. THE DESIGNER ASSUMES NO RESPONSIBILITY, IF THE OWNER CHOOSES TO CONSTRUCT THIS FACILITY, THE GENERAL CONTRACTOR MUST COMPLY WITH ALL LOCAL CODES AND SAFE PRACTICAL BUILDING STANDARDS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND SET BACKS BEFORE CONSTRUCTION STARTS.

SHEET: <b>30f3</b>	 <b>Sánchez Garcia</b> DESIGN SERVICES Enrique "Ricky" Sanchez Certified Drafter Donna, Texas 78537 Tel: (956) 472-3758 ensadesignservices@yahoo.com	<b>LOPEZ'S FAMILY RESIDENCE REMODEL</b> PROJECT : OWNER : 914 N. 16 ST. MCALLEN, TEXAS MRS. ARACELIA LOPEZ	PROJECT # : 02242023 DATE: 03/16/2023 DRAWN BY: E.SANCHEZ CHECKED BY: E.SANCHEZ REVISION: 1: XXX 2: XXX 3: XXX 4: XXX
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NOTICE  
GUEST HOUSE  
FOR  
THIS PROPERTY  
CUP2023-0036

CITY OF HOUSTON PLANNING DEPT.  
6666 17th  
WWW.MOBILEX.NET



## Memo

**TO:** Planning and Zoning Commission

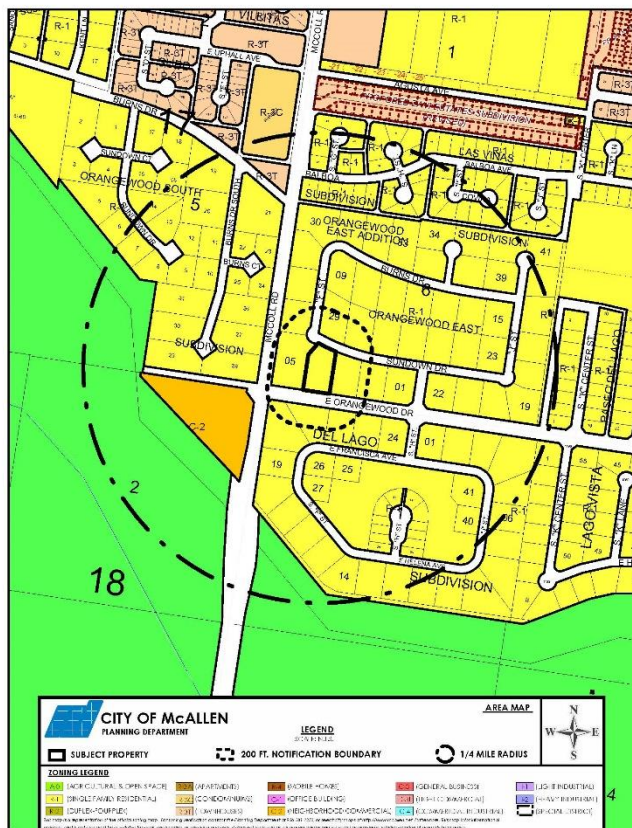
**FROM:** Planning Staff

**DATE:** April 12, 2023

**SUBJECT:** REQUEST OF LESLIE C. TORRES FOR A CONDITIONAL USE PERMIT, FOR LIFE OF THE USE, AND ADOPTION OF AN ORDINANCE, FOR A GUEST HOUSE AT LOT 4, ORANGEWOOD EAST SUBDIVISION, HIDALGO COUNTY, TEXAS; 700 EAST SUNDOWN DRIVE. (CUP2023-0038)

### BRIEF DESCRIPTION:

The subject property is located between Sundown Drive and East Orangewood Drive. The property is zoned R-1 (single-family residential) District. The applicant is proposing to construct a guest house as an accessory use. A guest house is permitted in an R-1 (single-family residential) District with a Conditional Use Permit (CUP). The adjacent zoning is R-1 (single-family residential) District in all directions. Surrounding land uses are single-family residences.



**REQUEST/ANALYSIS:**

The plat for Orangewood East Subdivision was recorded on August 8, 1996. According to Hidalgo County Appraisal District records, the existing residence was built in 2012. The application for a Conditional Use Permit for a guest house was submitted on March 22, 2023.

The proposed one-story guest house would have a size of 2,669 square feet once it is completed. According to the submitted floor plan, the proposed guest house will include two guest rooms, two bathrooms, a gym, a spa, a lounge, and a bar area.

The Fire Department has conducted their inspection of the subject property and no violations were found. The guest house development must comply with requirements for guest houses set forth in Section 138-118(a)(5) of the Zoning Ordinance and specific requirements as follows:

- 1) Only one guest house shall be permitted on the property;
- 2) The proposed use shall comply with setback requirements. The proposed structure's setbacks are in compliance;
- 3) The proposed use shall be connected to the same utilities as the primary residence;
- 4) Lot size must be a minimum 8,000 square feet. According to the Hidalgo County Appraisal District, the lot size where the guest house will be built is 37,353 square feet;
- 5) Separate driveways or garages for the proposed use shall not be permitted. Applicant is not proposing an independent driveway for the proposed guesthouse;
- 6) The proposed use shall not be rented;
- 7) The permit shall be revoked if money is ever paid for rent or utility expenses are shared with the proposed use.

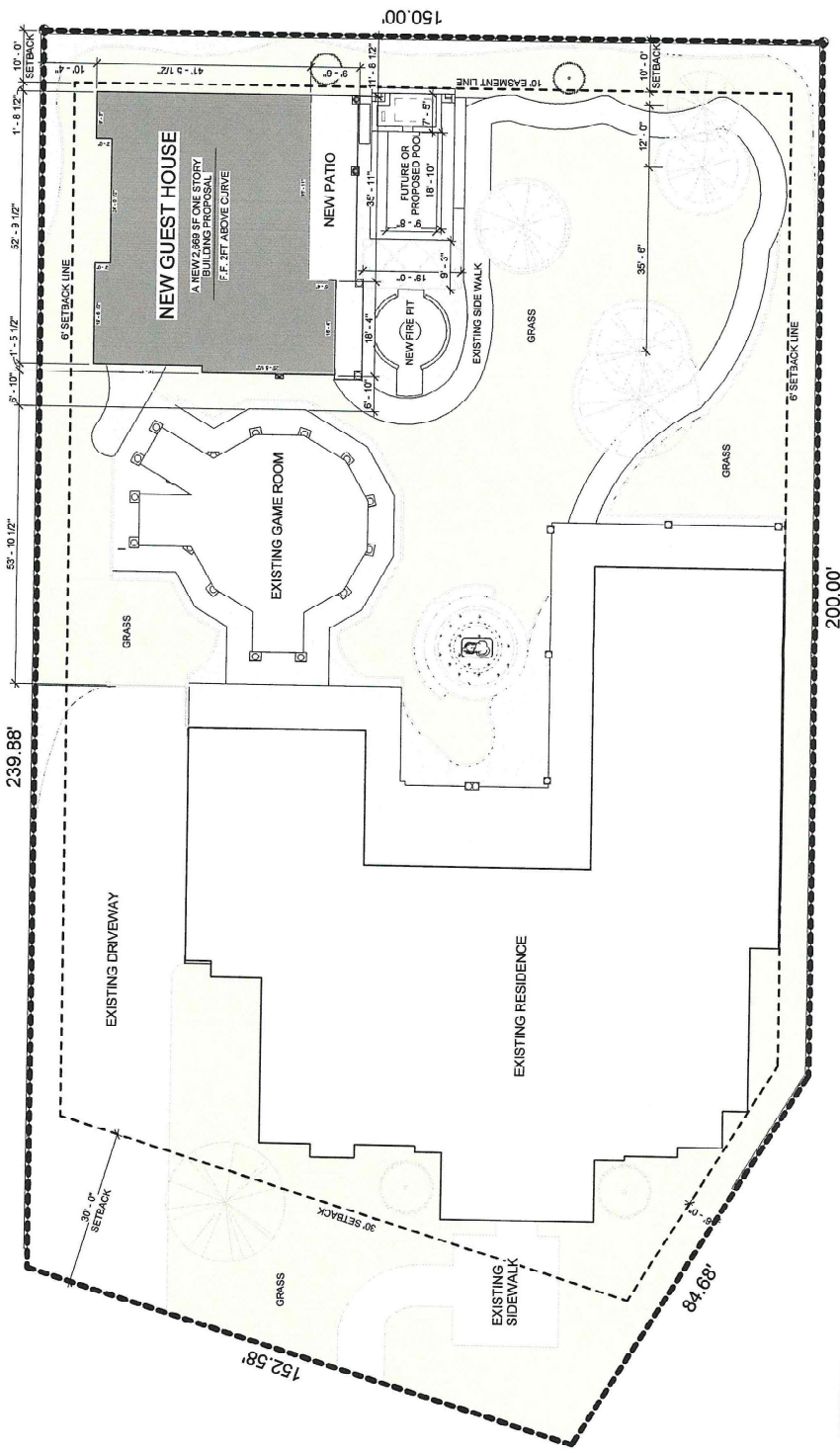
If approval is granted to this request, the applicant must still comply with all other Zoning Ordinance and Building Code requirements that will be requested during the building permitting process.

Staff did not receive any phone calls, letters, or emails in opposition to this request.

**RECOMMENDATION:**

Staff recommends approval of this request, for life of the use, subject to compliance with requirements set forth in Section 138-118(a)(5) of the Zoning Ordinance, and all other Zoning Ordinance, Building Code, and Fire Safety Code requirements.

BUILDING AREA	
LIVING	2544 SF
PATIO	426 SF
OVERALL TOTAL 2	2969 SF



- GENERAL NOTES:**
1. ALL ELECTRICAL AS PER LOCAL ADOPTED CODES
  2. ALL SMOKE DETECTORS TO BE HARDWARE & INTERCONNECTED VIA BATTERY BACKUP
  3. ALL CONSTRUCTION, FRAMING, JOIST, & RAFTER SIZES & SPANS AS PER ADOPTED CODES (2009 IRC)
  4. ALL SOLE PLATES TO BE TREATED OR PROTECTED
  5. ALL FOUNDATION BEAMS TO BE EXTENDED MAX. 8" INTO UNDISTURBED SOIL
  6. ALL PLUMBING AS PER 2012 IRC PLUMBING CODES
  7. SIZE WATER HEATER AS PER 2012 IRC PLUMBING CODES
  8. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, & SITE CONDITIONS BEFORE BEGINNING WORK. THE OWNER SHALL IMMEDIATELY BE NOTIFIED OF ANY DISCREPANCIES
  9. IF A DISCREPANCY IS FOUND, THE CONTRACTOR SHALL STOP WORK FOR ANY PART OF THE WORK. THE CONTRACTOR SHALL BE THE SAME OR SIMILAR WORK
  10. WORKING DIMENSIONS SHALL NOT BE SCALED FROM PLANS OR DETAILS ON THESE DRAWINGS
  11. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE ERECTION, SHORING, & BRACING FOR ALL STRUCTURES DURING CONSTRUCTION. THESE DRAWINGS REPRESENT THE FINISHED PLUMBING AND ELECTRICAL REQUIREMENTS FOR THE PROJECT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, & SITE CONDITIONS BEFORE BEGINNING WORK. THE OWNER SHALL IMMEDIATELY BE NOTIFIED OF ANY DISCREPANCIES
  12. THE CONTRACTOR SHALL ASSUME SOLE & COMPLETE RESPONSIBILITY FOR ALL SAFETY DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURANCE PRIOR TO INSTALLATION.
  13. VERIFY WITH OWNER LAYOUT OF LIGHT FIXTURES & SWITCH PRIOR TO INSTALLATION.

- DESIGNER NOTES:**
1. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR COMMENCEMENT OF CONSTRUCTION FOR ANY DISCREPANCIES TO DESIGNER.
  2. ALL ELECTRICAL, MECHANICAL, PLUMBING, & HVAC WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS IN THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE PRIOR TO INSTALLATION.
  3. THE CONTRACTOR SHALL ASSUME SOLE & COMPLETE RESPONSIBILITY FOR ALL SAFETY DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURANCE PRIOR TO INSTALLATION.
  4. ANY DISCREPANCIES IN THE PLANS MUST BE CALLED TO THE DESIGNER'S ATTENTION FOR REVIEW PRIOR TO EXECUTION OF THAT PORTION OF THE WORK.
  5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE ERECTION, SHORING, & BRACING FOR ALL STRUCTURES DURING CONSTRUCTION. THESE DRAWINGS REPRESENT THE FINISHED PLUMBING AND ELECTRICAL REQUIREMENTS FOR THE PROJECT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, & SITE CONDITIONS BEFORE BEGINNING WORK. THE OWNER SHALL IMMEDIATELY BE NOTIFIED OF ANY DISCREPANCIES
  6. THE CONTRACTOR SHALL ASSUME SOLE & COMPLETE RESPONSIBILITY FOR ALL SAFETY DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURANCE PRIOR TO INSTALLATION.
  7. DIMENSIONS SHOWN IN THE PLANS ARE "NORMAL" SIGHT FIELD DIMENSIONS. THE CONTRACTOR SHALL MAINTAIN ADEQUATE ERECTION, SHORING, & BRACING FOR ALL STRUCTURES DURING CONSTRUCTION. THESE DRAWINGS REPRESENT THE FINISHED PLUMBING AND ELECTRICAL REQUIREMENTS FOR THE PROJECT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, & SITE CONDITIONS BEFORE BEGINNING WORK. THE OWNER SHALL IMMEDIATELY BE NOTIFIED OF ANY DISCREPANCIES
  8. THE CONTRACTOR SHALL ASSUME SOLE & COMPLETE RESPONSIBILITY FOR ALL SAFETY DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSURANCE PRIOR TO INSTALLATION.

1. NEW SITE PLAN  
3/22/2023 3:47:47 PM





BUILDING AREA	
LIVING	2214 SF
DINING	425 SF
OVERALL TOTAL:	2639 SF









NOTICE  
GUEST HOUSE  
FOR  
THIS PROPERTY  
CUP2023-0038

CITY OF MCALLEN PLANNING DEPT.  
956-681-1750  
WWW.MCALLEN.NET



## Planning Department

### Memo

**TO:** Planning and Zoning Commission

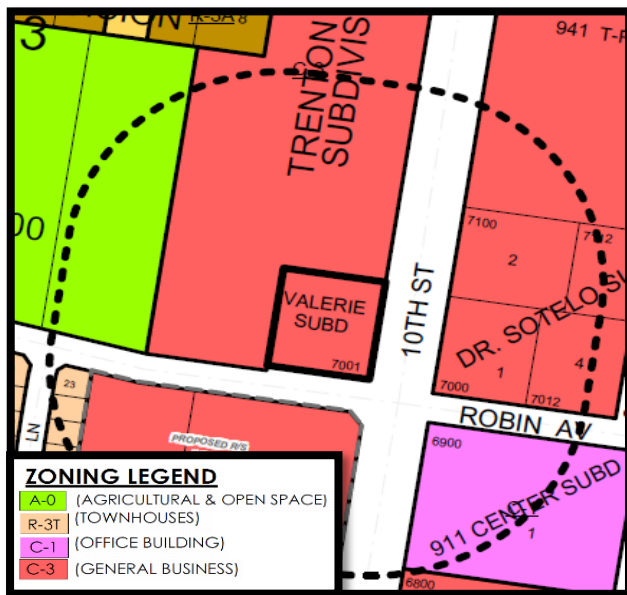
**FROM:** Planning Staff

**DATE:** April 12, 2023

**SUBJECT: REQUEST OF JESUS F. DAVILA, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR A BAR, AT LOT 1, VALERIE SUBDIVISION, HIDALGO COUNTY, TEXAS, 7001 NORTH 10<sup>TH</sup> STREET, SUITE C. (CUP2023-0029)**

#### DESCRIPTION:

The property is located at the northwest corner of North 10<sup>th</sup> Street and Robin Avenue, and is zoned C-3 (general business) District. The adjacent zoning is C-3 District in all directions except to the southeast where there is C-1 (office building) District. Surrounding land uses include commercial businesses, restaurants, bars, and residences. A bar is allowed in a C-3 District with a conditional use permit and in compliance with requirements.



#### HISTORY:

The tenant of this property, applied for a building permit in January 2020 to operate a restaurant. The building permit conditions stated that if the use changed to a bar, a Conditional Use Permit would then be required. The Planning department requested an audit in July 2020 after continuous calls to Code Enforcement and 311 concerning operations of the business during COVID-19 restrictions. Staff received the audit on September 2020 and determined that alcohol sales exceeded food sales. Subsequently, a Conditional Use Permit was then approved by City Commission in September 2020. The same tenant is applying for a new CUP since the previous one has expired.

**ANALYSIS:**

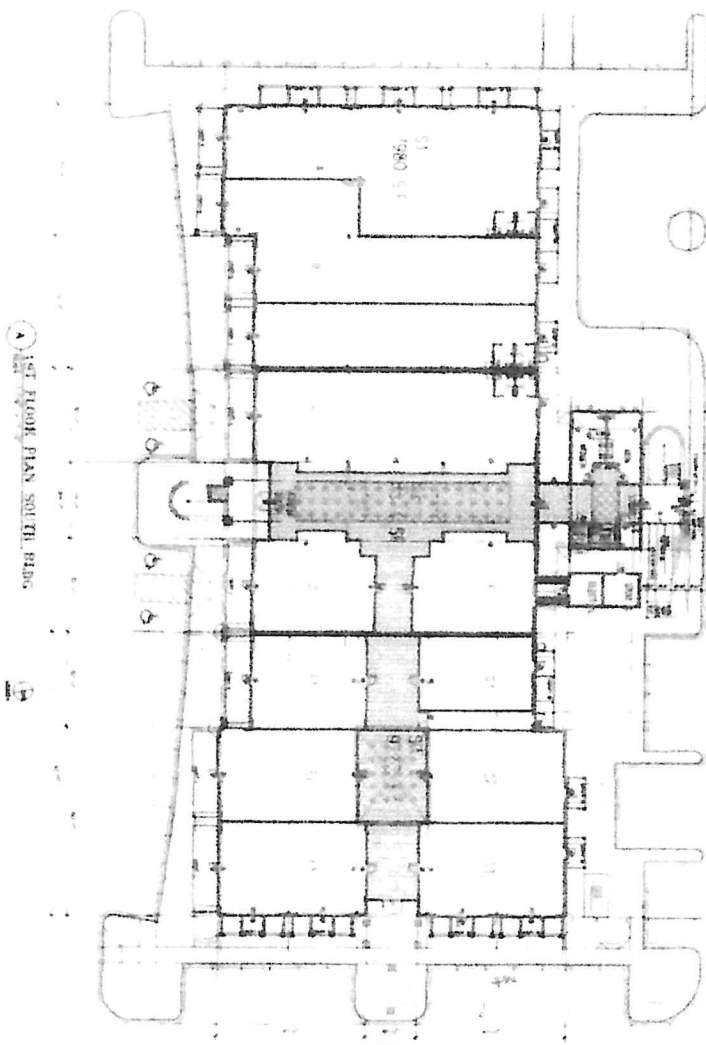
The applicant is proposing to operate a bar from the existing 2,897 sq. ft. building. The proposed days and hours of operation are Sunday through Saturday from 11:00 AM to 2:00 AM daily.

A Police activity report was requested and has been attached. The Fire Department and Health Department performed their respective inspection and deemed the establishment to be in compliance. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

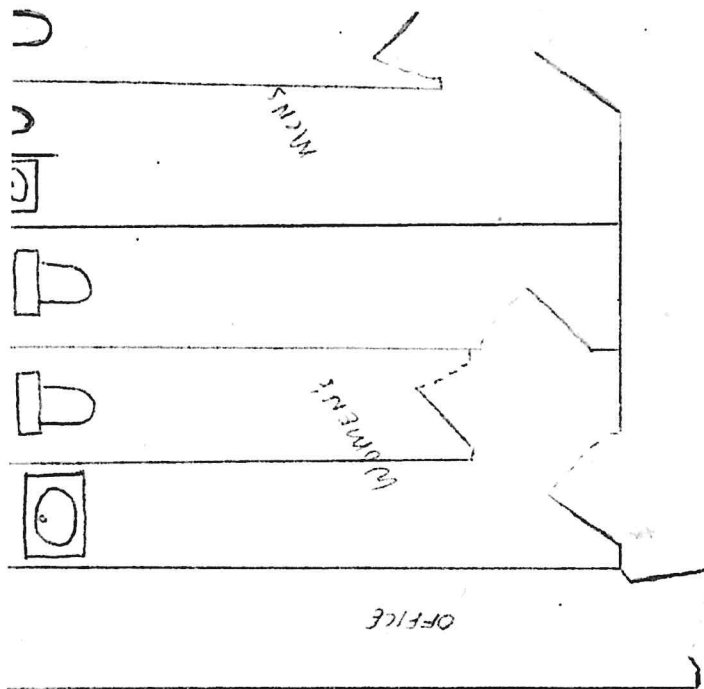
- 1) The property line of the lot of any of the abovementioned businesses must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The establishment is within 400 ft. of R-3T District to the southwest of the property and Robin Park (publicly owned property).
- 2) The property must be as close as possible to a major arterial and shall not generate traffic onto residential-sized streets. The establishment has direct access to North 10<sup>th</sup> Street and does not generate traffic into residential areas;
- 3) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. Based on the floor area of 2,897 sq. ft., 29 parking spaces are required; 120 parking spaces are provided for all the businesses to operate collectively. Upon the inspection, the parking area provided is in compliance with striping and maintenance requirements. There are currently 65 parking spaces available. The applicant will obtain a parking agreement from Trenton View Subdivision in order to insure compliance with parking requirements.
- 4) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties.
- 5) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street to discourage vandalism and criminal activities;
- 6) The abovementioned businesses must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties;
- 7) The above-mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance after taking into account the recommendations of the Fire Marshal, Building Official, and Planning Director. The maximum capacity for the establishment is 99 persons.

**RECOMMENDATION:**

Staff recommends disapproval of the request based on non-compliance with requirement #1 distance to publicly owned land (Robin Park) and residential use (R-3T Zoning) of Section 138-118a(4)a of the Zoning Ordinance. If approved, the Conditional Use Permit must comply with conditions noted.



todas las locaciones  
quedan igual que  
anteriormente



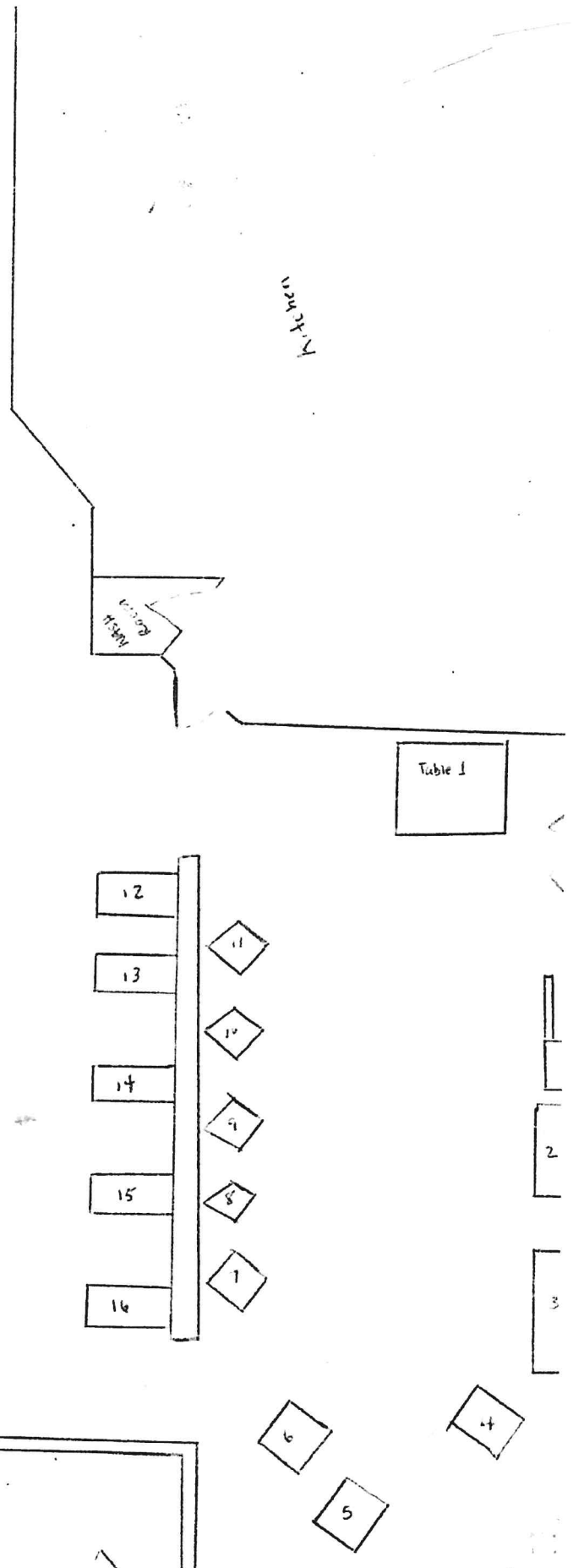
Barback Area

Bar

Table 1-16

- 7 Toilet
- 7 Urinal
- 51 Sink

todas las locaciones  
quedan igual que  
anteriormente







# McALLEN POLICE DEPARTMENT

## CALLS FOR SERVICE REPORT

**From Date/Time:** 04/01/2022 00:00

**Incident Type:** All

**To Date/Time:** 04/01/2023 23:59

**Location:** 7001 N 10<sup>th</sup> St, McAllen [Oak Bar]

<u>Date</u>	<u>Time</u>	<u>Address</u>	<u>Qualifier</u>	<u>Incident Number</u>	<u>Incident Type</u>	<u>Case Status</u>
3/5/2023	17:51	7001 N 10TH ST	C	2023-00016495	Disorderly Conduct	Inactive
3/5/2023	19:29	7001 N 10TH ST	C	2023-00016516	Assault	Closed by Adult Arrest
2/7/2023	10:54	7001 N 10TH ST	C	2023-00009717	Alarm Burglary	
1/18/2023	3:27	7001 N 10TH ST	C	2023-00004636	Alarm Burglary	
12/13/2022	0:30	7001 N 10TH ST	C	2022-00087325	Theft	
10/15/2022	8:15	7001 N 10TH ST	C	2022-00071985	Alarm Burglary	
10/9/2022	19:17	7001 N 10TH ST	C	2022-00070578	Assist Other Agency	
8/21/2022	1:30	7001 N 10TH ST	C	2022-00058101	Domestic Disturbance	
8/2/2022	5:28	7001 N 10TH ST	C	2022-00053206	Drunkenness	Closed by Adult Arrest
7/17/2022	21:51	7001 N 10TH ST	C	2022-00049437	Domestic Disturbance	Inactive
5/24/2022	9:09	7001 N 10TH ST	C	2022-00035833	Alarm Burglary	Open
5/20/2022	3:43	7001 N 10TH ST	C	2022-00034763	Alarm Burglary	
5/5/2022	0:50	7001 N 10TH ST	C	2022-00030904	WELFARE CONCERN	
5/4/2022	17:46	7001 N 10TH ST	C	2022-00030820	Drunkenness	Closed by Adult Arrest
4/29/2022	13:47	7001 N 10TH ST	C	2022-00029508	CREDIT CARD ABUSE	Suspended
4/14/2022	18:03	7001 N 10TH ST	C	2022-00025627	Assault	Inactive



THRIVE

DRIP SPA

OAK

B2

C

TACOS

WINGS

BREWS

SPIRITS







NOTICE  
BAR  
FOR  
THIS PROPERTY  
CUP2023-0029

CITY OF McALLEN PLANNING DEPT.  
375-6811/220  
WWW.MCALLENNET



# Memo

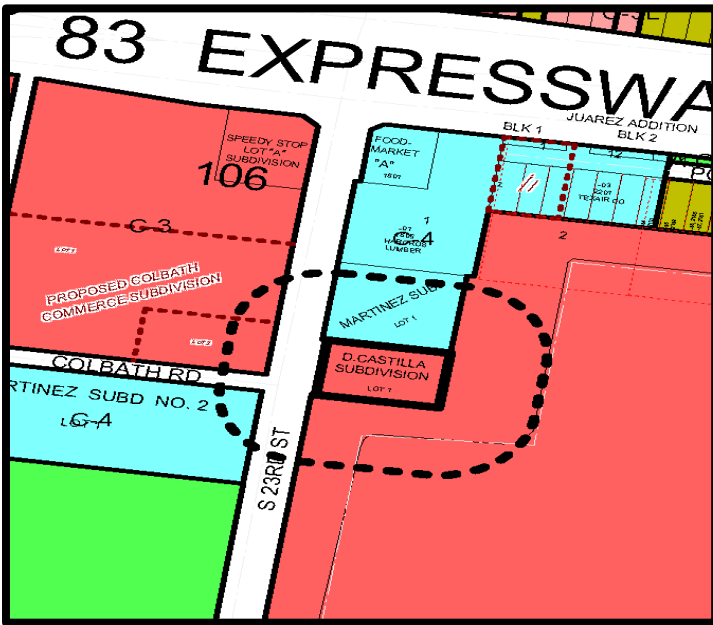
**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

**DATE:** April 12, 2023

**SUBJECT: REQUEST OF RAUL A. RESENDEZ FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR A FOOD TRUCK PARK, AT LOT 1, D. CASTILLA SUBDIVISION, HIDALGO COUNTY, TEXAS; 1809 SOUTH 23<sup>RD</sup> STREET. (CUP2023-0030)**

**BRIEF DESCRIPTION:** The subject property is located along the east side of South 23<sup>rd</sup> Street at the intersection with Colbath Road and is zoned C-3 (general business) District. The adjacent zoning is C-4 (commercial-industrial) District to the north and southwest across South 23<sup>rd</sup> Street, and C-3 District to the east, south and west. A food truck park is permitted in a C-3 District, subject to compliance with Conditional Use Permit requirements.



**REQUEST/ANALYSIS:** The applicant by this initial application, is proposing to operate a food truck park on the subject property. This is the initial application for such use at this location. Based on the submitted site plan, the food truck park will consist of two existing food trucks and three additional available spaces. A total of 20 parking spaces are required, 35 parking spaces are being proposed on the site plan.

The food truck park's proposed days and hours of operation are Sunday through Saturday, 7:00 AM to 11:00 PM.

The Fire and Health Departments are pending inspections.



The food truck park and its vendors must comply with the requirements set forth in Section 138-118 of the Zoning Ordinance and Section(s) 54-51 Mobile Food Vendors of the Health and Sanitation Ordinance and 54-52 Mobile Food Vendors Courts (food truck parks) ordinance and the following Conditional Use Permit specific requirements:

- 1) The property line of the Lot must be at least 200 feet from the nearest residence or residentially zoned property;
- 2) The name, address, phone number and email address of a contact person who shall be available 24 hours per day, 7 days per week for the purposes of responding to complaints regarding the operation of the mobile food vendor court;
- 3) Mobile food vendor courts shall not operate between the hours of 2:00 AM and 7:00 AM;
- 4) Each mobile food vendor court shall provide access to a restroom on or within 600 feet of the property lines of the track of land on which it is situated;
- 5) Mobile food vendor courts must provide one (1) garbage receptacle, to hold a minimum of thirteen (13) gallons, per each vendor located on premises for public use. This requirement is in addition to the receptacles required of each individual vendor;
- 6) Mobile food vendors may not be placed or parking on unimproved surfaces;
- 7) Adequate lighting, as determined by the Health Director, to enable clear and unobstructed visibility of mobile food vendors and patrons shall be provided at all entrances and exits of the mobile food vendor court;
- 8) Mobile food vendor courts shall provide on-premise parking areas sufficient to accommodate staffing needs and seating areas.

This Conditional Use permit for a Food Truck Park does not grant approval for the current or future food trucks that will be on site. Each food truck is required to obtain an approved permit through the Mobile Food Vendors application process with the City's Environmental Health and Code Enforcement Department.

The Planning Department has not received any phone calls, emails, or letters in opposition to the Conditional Use Permit request.

**RECOMMENDATION:**

Staff recommends approval of the Conditional Use Permit request subject to compliance with the above mentioned requirements.

23rd

Parking

1/2/3/4/5/6/7/8/9/10/11/12

150ft

Parking lot

100ft

2/23/24/25/26/27/28/29/30

6

#2 food truck 20ft

#1 food truck 20ft

20ft office 20x30

40ft car port 30ft

RECEIVED  
MAR 13 2023  
BY [signature]

#5 food truck

#4 food truck

#3 food truck

food trucks further

trash can

45







**NOW OPEN**  
**BREAKFAST**  
**TACOS / GORDITAS / TAMALES**

NOTICE  
FOOD TRUCK  
PARK  
FOR  
THIS PROPERTY  
CUP2023-0030  
CITY OF MCALLEN PLANNING DEPT.  
MCGAUL1200  
WWW.MCALLE.NET

RE-ELECT  
**Rodolfo**  
**Castillo**  
FOR MCALLEN CITY COMMISSIONER DISTRICT 4

MH 200  
MH 149



## Memo

**TO:** Planning and Zoning Commission

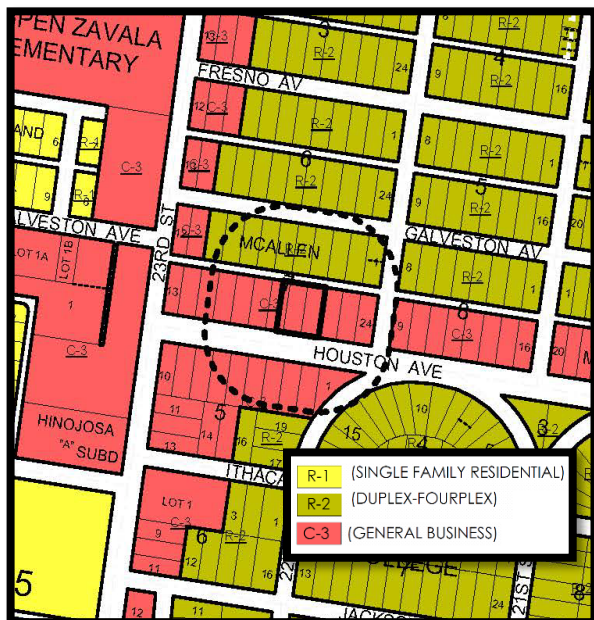
**FROM:** Planning Staff

**DATE:** April 12, 2023

**SUBJECT: REQUEST OF AGAPITO TORRES FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR AN AUTOMOTIVE SERVICE AND REPAIR (MECHANIC SHOP), AT THE EAST 25 FEET OF LOT 19 AND ALL OF LOTS 20 & 21, BLOCK 7, WEST ADDITION TO MCALLEN, HIDALGO COUNTY, TEXAS; 2224 HOUSTON AVENUE. (CUP2023-0040)**

### BRIEF DESCRIPTION:

The property consists of two and a half Lots and is located along the north side of Houston Avenue, approximately 317 feet east of South 23<sup>rd</sup> Street. The properties have 125 ft. of frontage on Houston Avenue and a depth of 137 feet for a Lot area of approximately 17,125 square feet. The tract is zoned C-3 (general business) District. The adjacent zoning is R-2 (duplex-fourplex residential) District to the north and C-3 District to the east, south, and west. Surrounding land uses include single-family residences, duplex residences, auto sales and vacant land. An automotive service and repair business is allowed in a C-3 zone with a Conditional Use Permit and in compliance with requirements.





**REQUEST/ANALYSIS:**

As per the Hidalgo County Appraisal District records there is a 2,530 sq. ft. area that consist of a commercial building with 2 enclosed garages to be used as the work area. This building location has in the past been used for automotive sales.

The applicant is proposing to use the building as an automotive service & repair business. The proposed hours of operation are from 9:00 AM to 5:00 PM Monday through Friday and 9:00 AM to 3:00 PM on Saturday. Based on the total 2,530 sq. ft. for automotive service and repair, 10 parking spaces are required; 16 parking spaces are shown as proposed on the submitted site plan.

Fire Department is pending to conduct a follow up final inspection to determine compliance. Should the conditional use permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The business must meet the requirements set forth in Section 138-281 of the Zoning Ordinance and specific requirements as follows:

- 1) A minimum lot size of 10,000 sq. ft. is required. The subject property is approximately 17,000 sq. ft;
- 2) All service, repair, maintenance, painting and other work shall take place within an enclosed area. The applicant is proposing to undertake the auto repair work inside the two existing garages.
- 3) Outside storage of materials is prohibited. The applicant indicated that there would be no outside storage.
- 4) The building where the work is to take place shall be at least 100 ft. from the nearest residence. Residential uses are located to the north and on the adjacent property to the east.
- 5) A 6 ft. opaque fence buffering the proposed use from any residential use or residentially zoned area is required. There is an existing 6 ft. opaque fence along the east side of the property.
- 6) New buildings and conversions of existing buildings shall meet current building and fire code requirements concerning separation of high hazard uses from other occupancy use classifications.

**RECOMMENDATION:**

Staff recommends disapproval of the request based on non-compliance with requirement #4 (distance to residential zone or use) of Section 138-281 of the Zoning Ordinance.



Garage

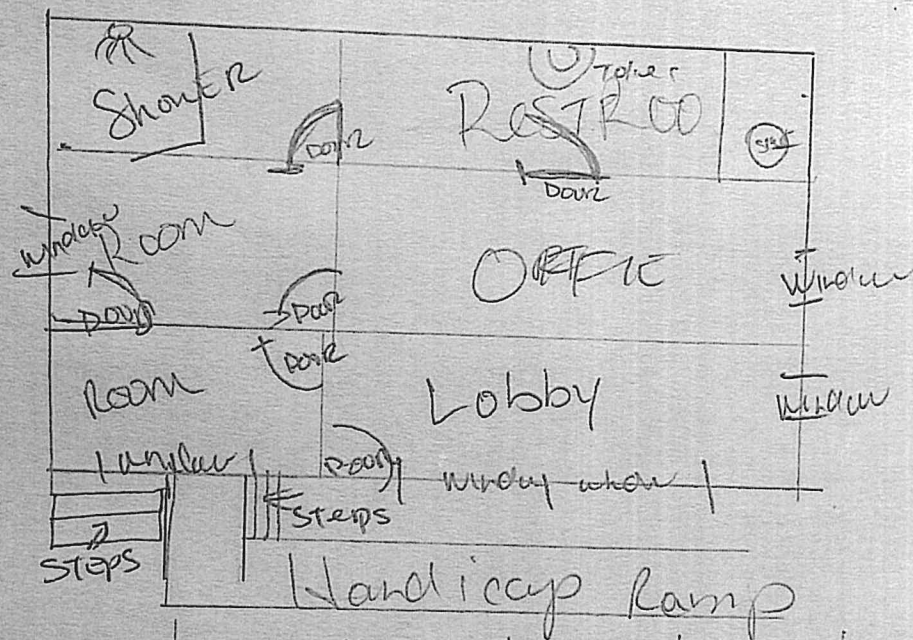
Garage

Alley

Gate 1

Bumper

Change



8 7 6 5 4 3 2 1

9 10 11 12 13 14 15 16

HOUSTON AVE

Entrance



NOTICE  
AUTO  
REPAIR  
FOR  
THIS PROPERTY  
CUP 2023-0040  
CITY OF MCALLEN PLANNING DEPT.  
366-681-1250  
WWW.MCALLENNET





## Planning Department

### Memo

**TO:** Planning and Zoning Commission

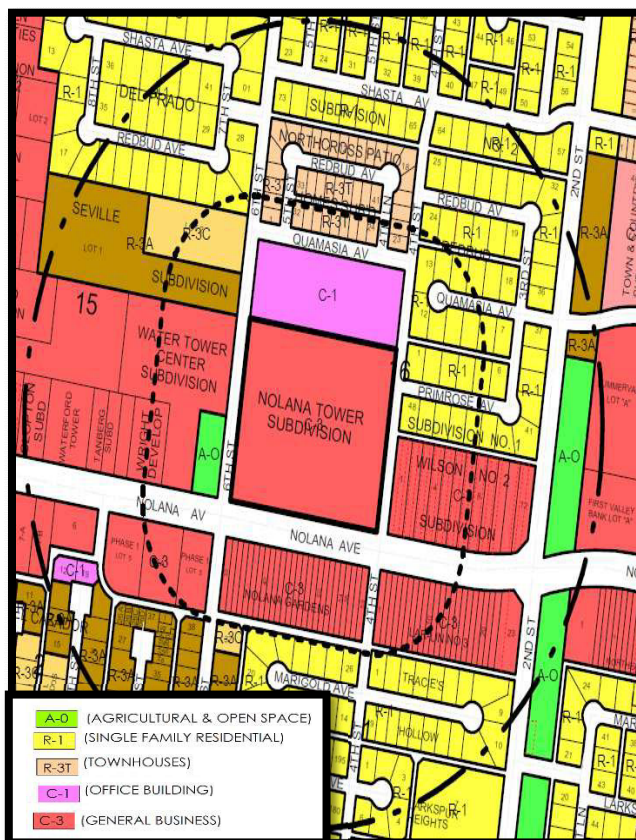
**FROM:** Planning Staff

**DATE:** March 30, 2023

**SUBJECT: REQUEST OF ISRAEL VILLARREAL, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR A BAR(80'S BREWERY) AT LOT A-1, NOLANA TOWER SUBDIVISION, HIDALGO COUNTY, TEXAS; 400 NOLANA AVENUE, SUITES I, J, K. (CUP2023-0035)**

#### BRIEF DESCRIPTION:

The property is located at the northeast corner of Nolana Avenue and North 6<sup>th</sup> Street, and is zoned C-3 (general business) District. The adjacent zoning is C-1 (office building) District to the north, C-3 (general business) District to the east, south and west, R-1 (single family residential) District to the east and A-O (agricultural and open space) District to the west. The property is located within the Nolana Tower Subdivision and is part of the Nolana Tower Shopping Center. Surrounding land uses include El Callejon De Los Milagros, Chanin Engineering, Kemper Life, and residential homes. A bar and grill is permitted in a C-3 District with a conditional use permit and in compliance with requirements.





**REQUEST/ANALYSIS:**

The subject property is the location for a multi-tenant commercial shopping center by the name of Nolana Tower Shopping Center. The applicant is proposing to operate a bar (80's Brewery) from combined suites I, J and K with an area of 6,989 sq. ft. as shown on the submitted site plan. The hours and days of operation would be Monday-Sunday from 5:00 PM to 2:00 AM.

The Fire Department has conducted the necessary inspection for this property. Should the conditional use permit be approved, the applicant would be required to sign the application acknowledging and agreeing to all conditions of the permit. Staff has not received any calls with concerns or complaints of the request. The establishment must also meet the requirements set forth in Section 138- 118(a)(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of those businesses having late hours (after 10:00 p.m.) must be at least 400 ft. from the nearest residence, church, school or publicly-owned property or must provide sufficient buffer and sound insulation of the building such that the building is not visible and cannot be heard from the residential areas. The establishment is within 400 ft. of the residential zones and uses, however, staff has not received any complaints from the residents; The establishment is also within 400 feet of publically owned property(City of McAllen water tower).
- 2) The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The property has direct access to Nolana Avenue, North 4<sup>th</sup> Street, and North 6<sup>th</sup> Street. The existing gates on North 4<sup>th</sup> Street need to be closed as required from other Conditional Use Permits in this commercial plaza;
- 3) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional on-site parking. Currently there is a multi-tenant commercial building on the property. The shopping center is a mixture of office, retail, vacant suites, restaurants, and bars. 729 parking spaces are provided as part of a common parking area in the front and rear of the building. Based on the square footage of the building, 70 parking spaces are required. Parking spaces are provided on site during the applicable hours of operation for this business;
- 4) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties by providing, when necessary, fences, hedges or reorientation of entrances and exits under the vegetation ordinance;
- 5) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
- 6) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and
- 7) The above mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

**RECOMMENDATION:**

Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(a)(4) of the Zoning Ordinance.







# 80'S BREWERY

SUITE 1

400  
1JK

NO  
LOITERING  
NO  
LOUD MUSIC  
STRICTLY  
PROHIBITED





NOTICE  
BAR  
FOR  
THIS PROPERTY  
CUP2023-0035  
CITY OF MCALLEN PLANNING DEPT.  
98445-1000  
WWW.MCALLEN.NET



## **Memo**

**TO:** Planning and Zoning Commission

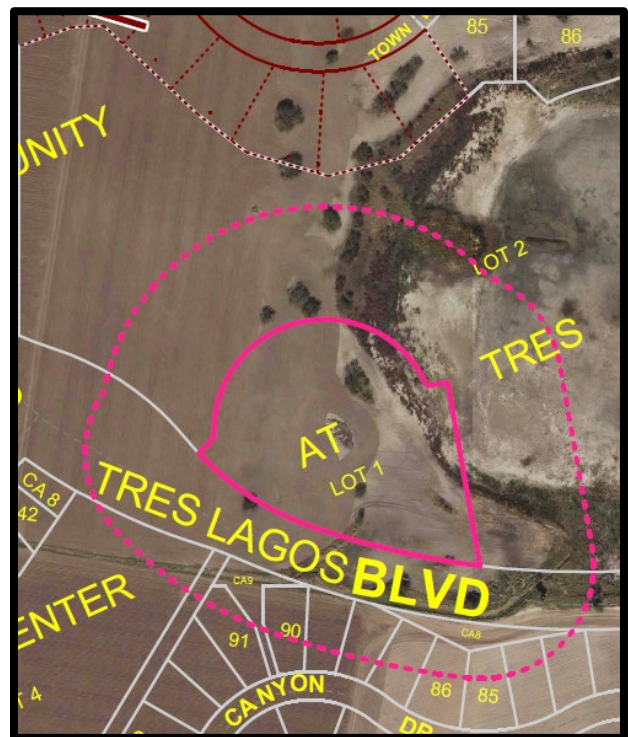
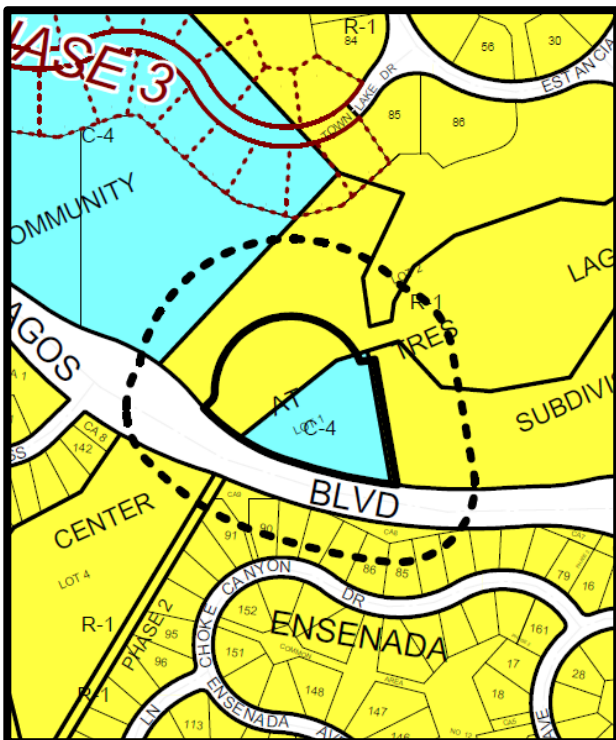
**FROM:** Planning Staff

**DATE:** April 4, 2023.

**SUBJECT: REQUEST OF SHAWN BORETA ON BEHALF OF RHODES PROPERTY MANAGEMENT FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR A FOOD TRUCK PARK AT LOT 1, COMMUNITY CENTER AT TRES LAGOS; HIDALGO COUNTY, TEXAS; 4900 TRES LAGOS BOULEVARD. (CUP2023-0041)**

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**BRIEF DESCRIPTION:** The subject property is located along the north side of Tres Lagos Boulevard and is zoned R-1 (single-family residential) District and C-4 (commercial-industrial) District. The adjacent zoning to this property is R-1 District in all directions. A Food Truck Park is permitted in a C-4 District with a Conditional Use Permit, and in compliance with all other requirements. The Food Truck Park is proposed to be located and operating out of the R-1 District portion of the lot. A request for a conditional use permit to operate the food truck park was approved by the City Commission on January 23, 2023.



**REQUEST:** There is an existing Food Truck Park on the subject property. According to the applicant, the location can accommodate up to 5 food trucks. Based on the total number of food trucks that can be accommodated, 20 parking spaces would be required. A total of 71 parking spaces, including 7 accessible



spaces, are available on site. The Food Truck Park's proposed days and hours of operation are currently Thursday through Sunday from 3 PM to 10 PM. The applicant proposes to expand the hours of operation to Monday through Sunday from 5:00 AM to 10:00 PM. This new request amends the Conditional Use Permit to allow the new hours of operation.

**HISTORY:** The plat for Community Center at Tres Lagos Subdivision was recorded on June 8, 2017. An Associated Recreation Conditional Use Permit, for the life of the use, was approved for this Subdivision by City Commission on October 10, 2016. The Conditional Use Permit for an Associated Recreation was originally requested to allow recreation areas that would include a community center, two parks, and a pool area. The Associated Recreation will remain in effect as it was originally approved in October 10, 2016, unless an amendment is requested.

The Conditional Use Permit application was submitted on March 28<sup>th</sup>, 2023.

**ANALYSIS:** The Fire and Health Departments has completed their inspections and found no violations with the proposed site. The Food Truck Park and its vendors must comply with the requirements set forth in Section 54-51 of the Zoning Ordinance for mobile food vendors and the following specific requirements:

- 1) The property line of the lot must be at least 200 feet from the nearest residence or residentially zoned property; the location of the Food Truck Park is proposed to be within the R-1 District portion of the Lot and adjacent to other residentially zoned properties.
- 2) The name, address, phone number and email address of a contact person who shall be available 24 hours per day, 7 days per week for the purposes of responding to complaints regarding the operation of the mobile food vendor court; applicant has provided their contact information
- 3) Mobile food vendor courts shall not operate between the hours of 2:00 AM and 7:00 AM; proposed hours of operation are between 3:00 PM and 10:00 PM
- 4) Each mobile food vendor court shall provide access to a restroom on or within 600 feet of the property lines of the track of land on which it is situated;
- 5) Mobile food vendor courts must provide one (1) garbage receptacle, to hold a minimum of thirteen (13) gallons, per each vendor located on premises for public use. This requirement is in addition to the receptacles required of each individual vendor;
- 6) Mobile food vendors may not be placed or parking on unimproved surfaces;
- 7) Adequate lighting, as determined by the Health Director, to enable clear and unobstructed visibility of mobile food vendors and patrons shall be provided at all entrances and exits of the mobile food vendor court;
- 8) Mobile food vendor courts shall provide on-premise parking areas sufficient to accommodate staffing needs and seating areas.

The proposed location for the Food Truck Park would be within the R-1 District portion of the subject property. The applicant or owner of the property may consider rezoning the R-1 District portion of the subject property to a C-4 District in order to bring the proposed use closer to compliance.

This Conditional Use Permit for a Food Truck Park does not grant approval for the current or future food trucks that will be on site. Each food truck is required to obtain an approved permit through the Mobile



Food Vendors application process with the City's Environmental Health and Code Enforcement Department.

The Planning Department has not received any phone calls, emails, or letters in opposition of the Conditional Use Permit request.

**RECOMMENDATION:**

Staff recommends disapproval of the Conditional Use Permit request based on requirement #1 (distance from residentially zoned property) of Section 54-51 of the Zoning Ordinance for mobile food vendors.





RECEIVED  
NOV 11 2022  
BY: *[Signature]*









NOTICE  
FOOD TRUCK  
PARK  
FOR  
THIS PROPERTY  
CUP 2023-0041  
CITY OF McALLEN PLANNING DEPT.  
1000 W. 15TH ST.  
McALLEN, TX 78102  
WWW.McALLEN.NET





## Memo

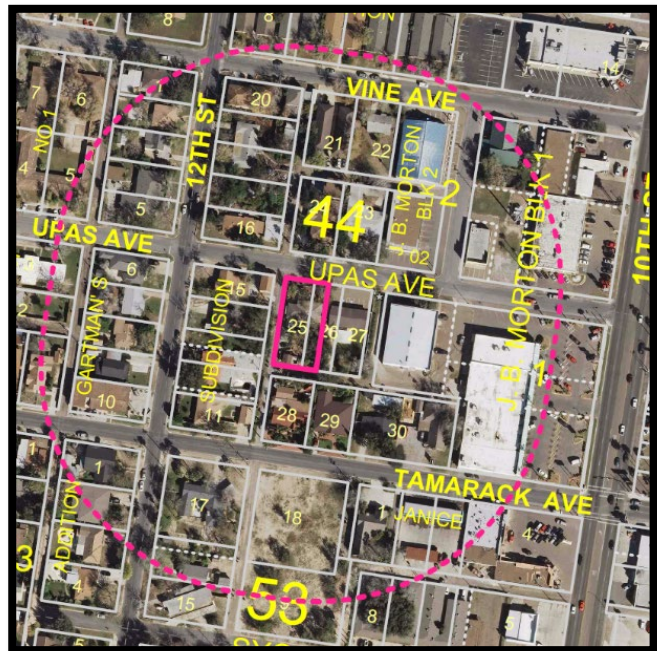
**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

**DATE:** April 6, 2023

**SUBJECT:** Request of Irma Martinez for a Conditional Use Permit, for one year, and adoption of an ordinance for a bar at Lot 25 and the West ½ of Lot 26, Gartman's Subdivision, Hidalgo County, Texas; 1113 Upas Avenue. (CUP2023-0037)

**BRIEF DESCRIPTION:** The property is located along the south side of Upas Avenue, west of 10<sup>th</sup> street and is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the northeast and east, R-3A (multifamily residential apartments) District to the northwest and north, R-2 (duplex-fourplex residential) District to the west, and R-1 (single family residential) District to the west and south. Surrounding land uses include Treasures from the Attic & Co. antique store, New and Again Antiques Mall, and single family residential. A bar is allowed in a C-3 zone with a Conditional Use Permit and in compliance with requirements.



**REQUEST/ANALYSIS:** The applicant is proposing to operate a bar from the existing 1,590 square foot building of which only 764 square feet will be used (outdoor area will not be used). The proposed hours of operation will be from 10:00 a.m. to 12:00 a.m. Monday through Sunday. The establishment consists of a bar area, storage room, an office, a room with kitchen appliances (ice machine, refrigerator, three compartment sink, handwashing station), two bathrooms, and two rooms with seating area.



A request for a Conditional Use Permit for a bar (Stick Lizards) was submitted and disapproved in December of 2020 due to neighborhood opposition. A second request by the applicant was disapproved by City Commission on September 22, 2022 where it received neighborhood opposition due to noise and traffic.

The Fire and Health Department inspections have been completed. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of the Lot of the abovementioned business must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The establishment is within 400 ft. of a residential zone/use to the north, south, and west;
- 2) The abovementioned business must be as close as possible to a major arterial, and shall not allow the traffic generated by such businesses onto residential streets, or allow such traffic to exit into and disrupt residential areas. The establishment is approximately 480 ft. west of North 10<sup>th</sup> Street;
- 3) The abovementioned business must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. As per the submitted site plan, the 764 square feet area (indoor only) requires 8 parking spaces, 9 parking spaces are provided on site.
- 4) The abovementioned business must do everything possible to prevent the unauthorized parking by the patrons of such business on adjacent businesses or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances.
- 5) The abovementioned business should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility of as much as possible of the site from a public street.
- 6) The abovementioned business must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties.
- 7) The abovementioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Director of Planning. This number cannot exceed the number provided for in existing city ordinances.

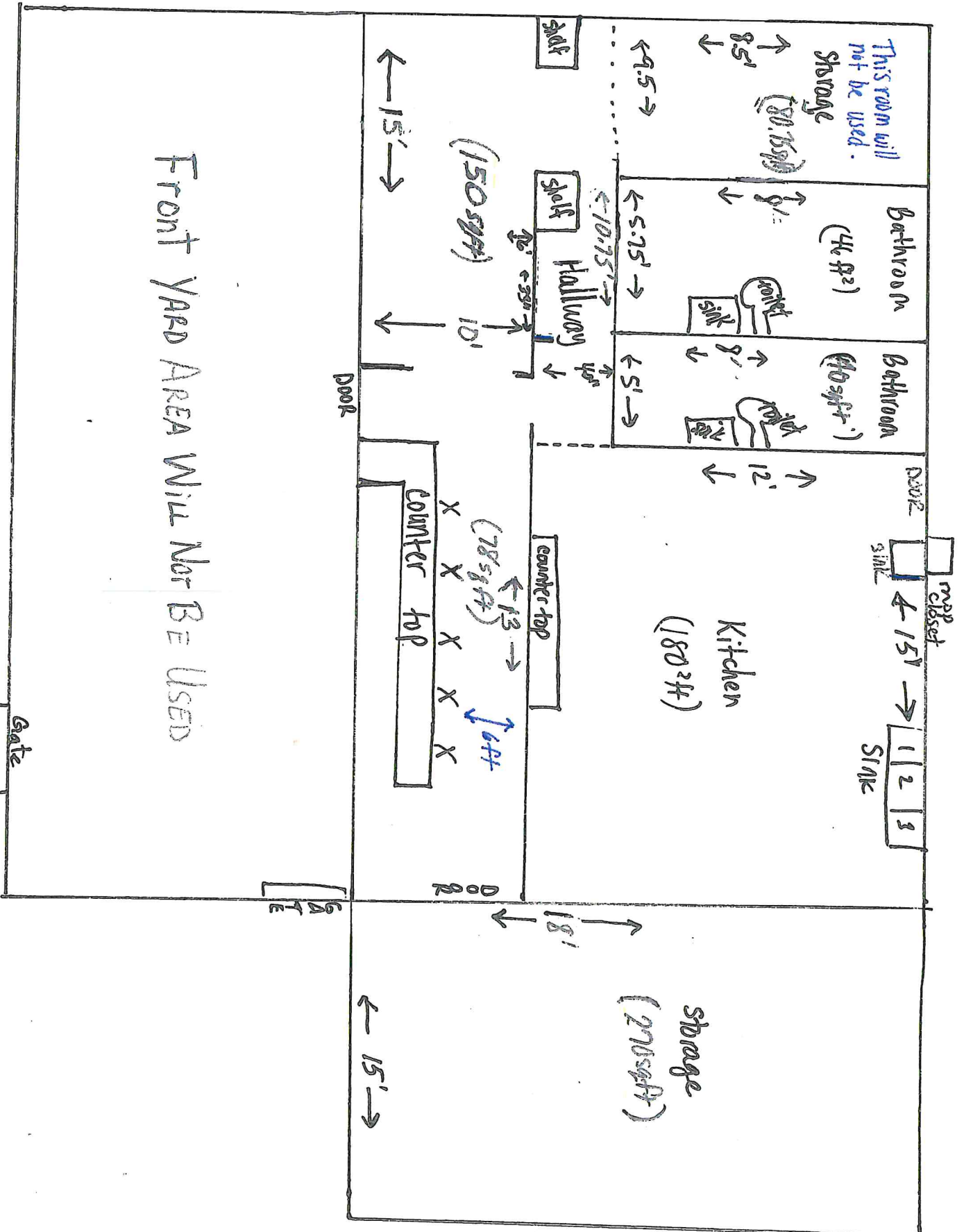
Staff received an email with 3 neighbors in opposition of the request. The email received stated concerns of loud noise and trash being thrown in the alleyway. A phone call was received from a resident with concerns that a bar does not belong in a residential area.



**RECOMMENDATION:** Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance), to a residentially zoned property and use.



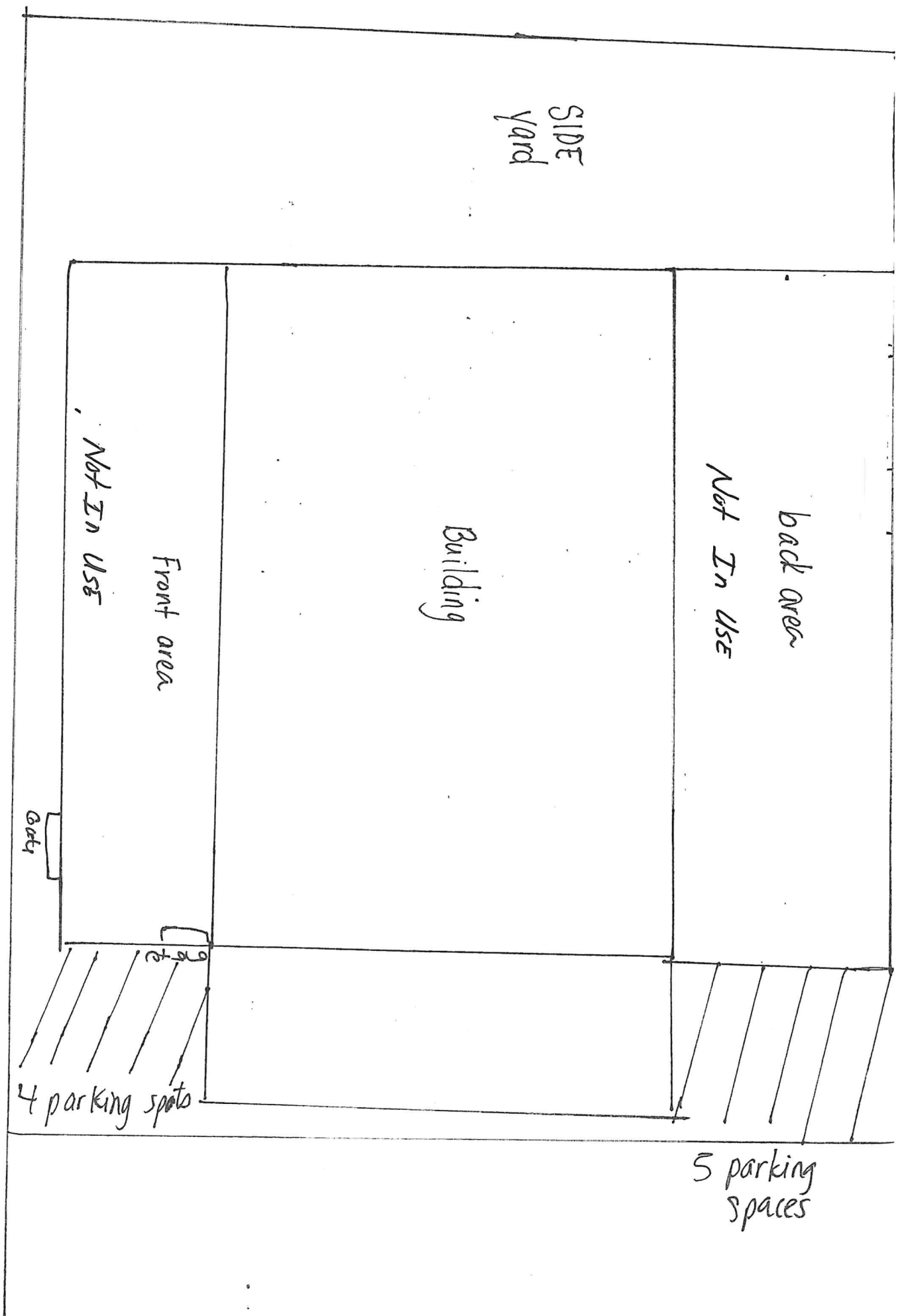
# Floor Plan





ARIEL VIEW

UPAS street (street parking)











NOTICE  
BAR  
FOR  
THIS PROPERTY  
CUP2023-0037  
CITY OF HOLLAND PLANNING DEPT  
909-961-1200  
WWW.HOLLANDNET



# City of McAllen

## Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)  
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Balboa Acres Lot 25 BIK 25</u> Location <u>3308 Covina Ave. McAllen TX 78503</u> City Address or Block Number <u>Lot 25 BIK 25 / 3310 COVINA AVE</u> Number of Lots <u>1</u> Gross Acres <u>0.12</u> Net Acres _____ ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing Zoning <u>R-1</u> Proposed Zoning <u>R-1</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____ Existing Land Use <u>Single Family</u> Proposed Land Use <u>Single Family</u> Irrigation District # _____ Replat <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Commercial _____ Residential <input checked="" type="checkbox"/> Agricultural Exemption <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Estimated Rollback Tax Due <u>0</u> Parcel # <u>0032</u> Tax Dept. Review <u>MCB</u> <u>120780</u> Water CCN <input type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____ Legal Description <u>Balboa Acres Lot 25 BIK 25</u>
Owner	Name <u>Margarita Torres / Eliana Zamora</u> Phone <u>(956) 884-8821</u> Address <u>3310 Covina Ave.</u> E-mail <u>maggie.zamora0214@gmail.com</u> City <u>McAllen</u> State <u>Texas</u> Zip <u>78503</u>
Developer	Name <u>Margarita Torres</u> Phone <u>(956) 884-8821</u> Address <u>3310 Covina Ave.</u> E-mail <u>maggie.zamora0214@gmail.com</u> City <u>McAllen</u> State <u>Texas</u> Zip <u>78503</u> Contact Person <u>Margarita Torres</u>
Engineer	Name <u>Same Engineering &amp; Surveying</u> Phone <u>(956) 702-8880</u> Address <u>200 S. 10th St. Suite 1500</u> E-mail _____ City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u> Contact Person <u>Samuel David Maldonado</u>
Surveyor	Name <u>Same Engineering &amp; Surveying</u> Phone <u>(956) 702-8880</u> Address <u>200 S. 10th Suite 1500</u> E-mail _____ City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u>

ENTERED

FEB 27 2023

Initial: MM



## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

### In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

### Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

\*Documents must be submitted in PDF format. No scanned documents\*

\*Please submit documents to [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

\*ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON\*

### **PLAT TO SHOW:**

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature Margarita Torres Date 2-27-23

Print Name Margarita Torres

Owner ☒ Authorized Agent ☐

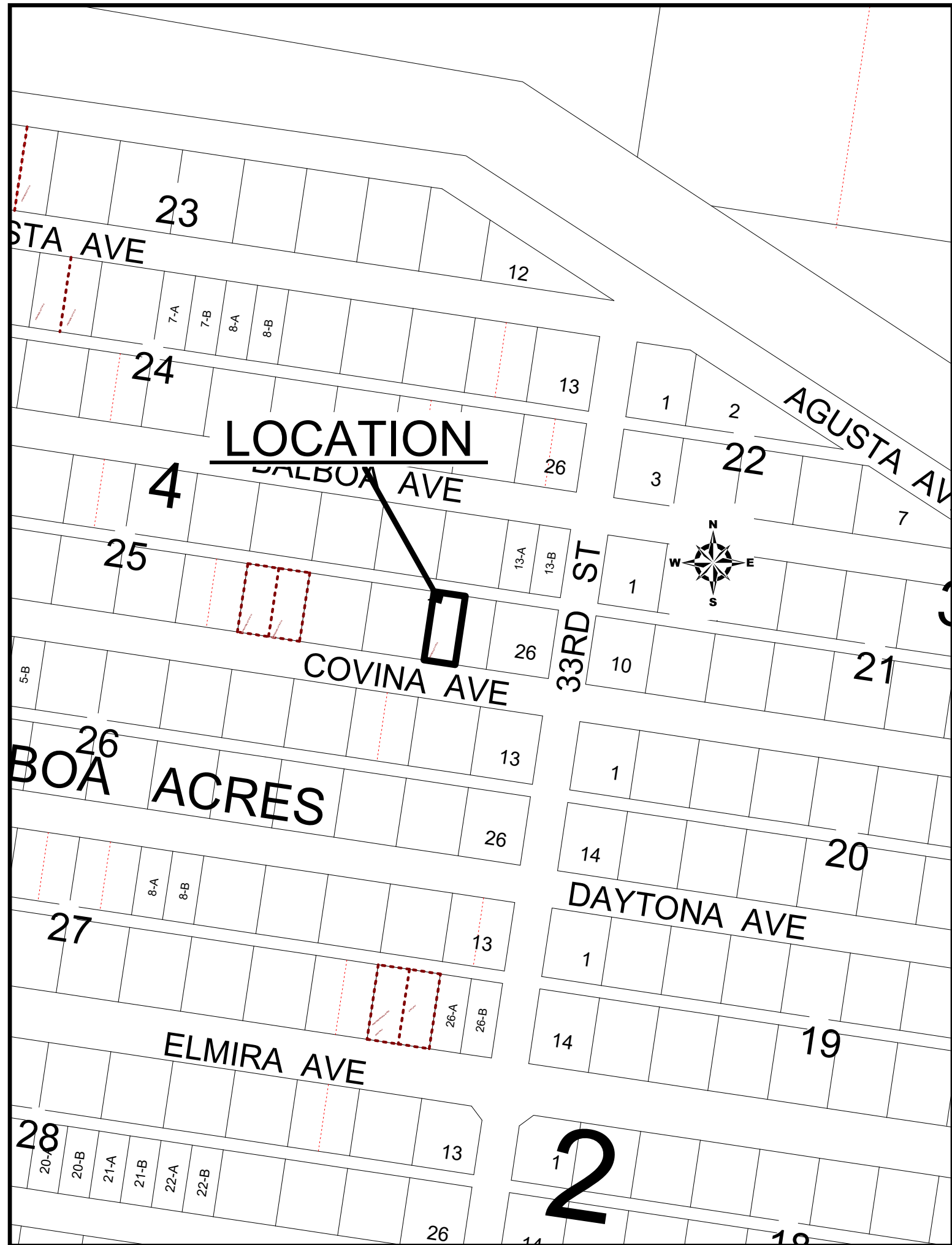
The Planning Department is now accepting DocuSign signatures on application



## Proposed Plat Submittal

<b>Minimum Developer's Requirements Submitted with Application</b>	<p><b><u>In Person Submittal Requirements</u></b></p> <ul style="list-style-type: none"> <li>- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)</li> <li>- Title Report</li> <li>- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps</li> <li>- 2 8 ½" by 11" copies/legible copies of plat with name &amp; north arrow</li> <li>- 6 Folded blue-line prints of the proposed plat</li> <li>- 2 Warranty Deeds (identifying owner on application)</li> <li>- AutoCAD 2005 DWG file and PDF of plat</li> <li>- Letter of Authorization from the owner (if applicable)</li> <li>- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)</li> </ul>	<p><b><u>Email Submittal Requirements</u></b></p> <ul style="list-style-type: none"> <li>- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)</li> <li>- Title Report</li> <li>- Survey</li> <li>- Location Map</li> <li>- Plat &amp; Reduced P</li> <li>- Warranty Deed</li> <li>- DWG File</li> <li>- Letter of Authorization from the owner (if applicable)</li> <li>- Proof of authority of person signing application on behalf of partnership/corporation, if applicable</li> </ul> <p><small>*Documents must be submitted in PDF format. No scanned documents*</small></p> <p><small>*Please submit documents to <a href="mailto:subdivisions@mcallen.net">subdivisions@mcallen.net</a></small></p> <p style="text-align: center;"><b>*ORIGINAL APPLICATION &amp; FEE MUST BE SUBMITTED IN PERSON*</b></p>
	<p><b>PLAT TO SHOW:</b></p> <ul style="list-style-type: none"> <li>- Metes and bounds</li> <li>- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts</li> <li>- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines</li> <li>- North arrow, scale and vicinity map</li> <li>- Name &amp; dimension of adjoining street ROWs (total width &amp; width from centerline)</li> </ul> <p><small>Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at <a href="mailto:subdivisions@mcallen.net">subdivisions@mcallen.net</a></small></p>	
<b>Owners Signature</b>	<p>I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.</p> <p>Signature <u>Eliaz Zamora</u> Date <u>2-27-23</u></p> <p>Print Name <u>ELIAZAMORA</u></p> <p>Owner <input checked="" type="checkbox"/> Authorized Agent <input type="checkbox"/></p> <p style="text-align: center; font-size: small;">The Planning Department is now accepting DocuSign signatures on application</p>	





**LOCATION**

**SALBOA AVE**

**COVINA AVE**

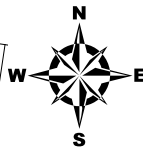
**BOA ACRES**

**ELMIRA AVE**

**DAYTONA AVE**

**AGUSTA AV**

**33RD ST**



**LOCATION**

**SALBOA AVE**

**COVINA AVE**

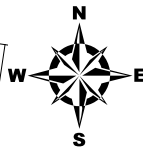
**BOA ACRES**

**ELMIRA AVE**

**DAYTONA AVE**

**AGUSTA AV**

**33RD ST**







SCALE: 1"=20'

#### REVISION NOTES 1 01/05/23:

1. REVISED BOUNDARY

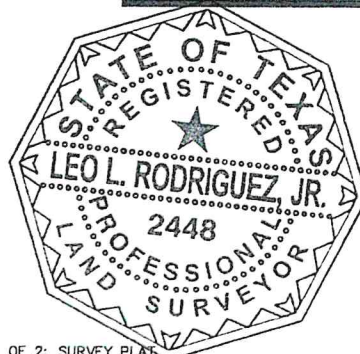
#### REVISION NOTES 2 02/07/23:

1. REVISED DISTANCES OF HOUSE TO BOUNDARY  
2. REVISED BOUNDARY ALIGNMENT

#### NOTE:

THIS SURVEY PLAT IS NOT A SUBDIVISION OF PROPERTY AND SHOULD NOT BE CONSIDERED MEETING THE REGULATORY REQUIREMENTS OF A PROPERTY SUBDIVISION.

P.O.B.  
X: 1061709.5845  
Y: 16587784.6371  
S.W. CORNER OF LOT 25,  
BLOCK 25,  
BALBOA ACRES,  
VOL. 14, PG. 31, H.C.M.R.

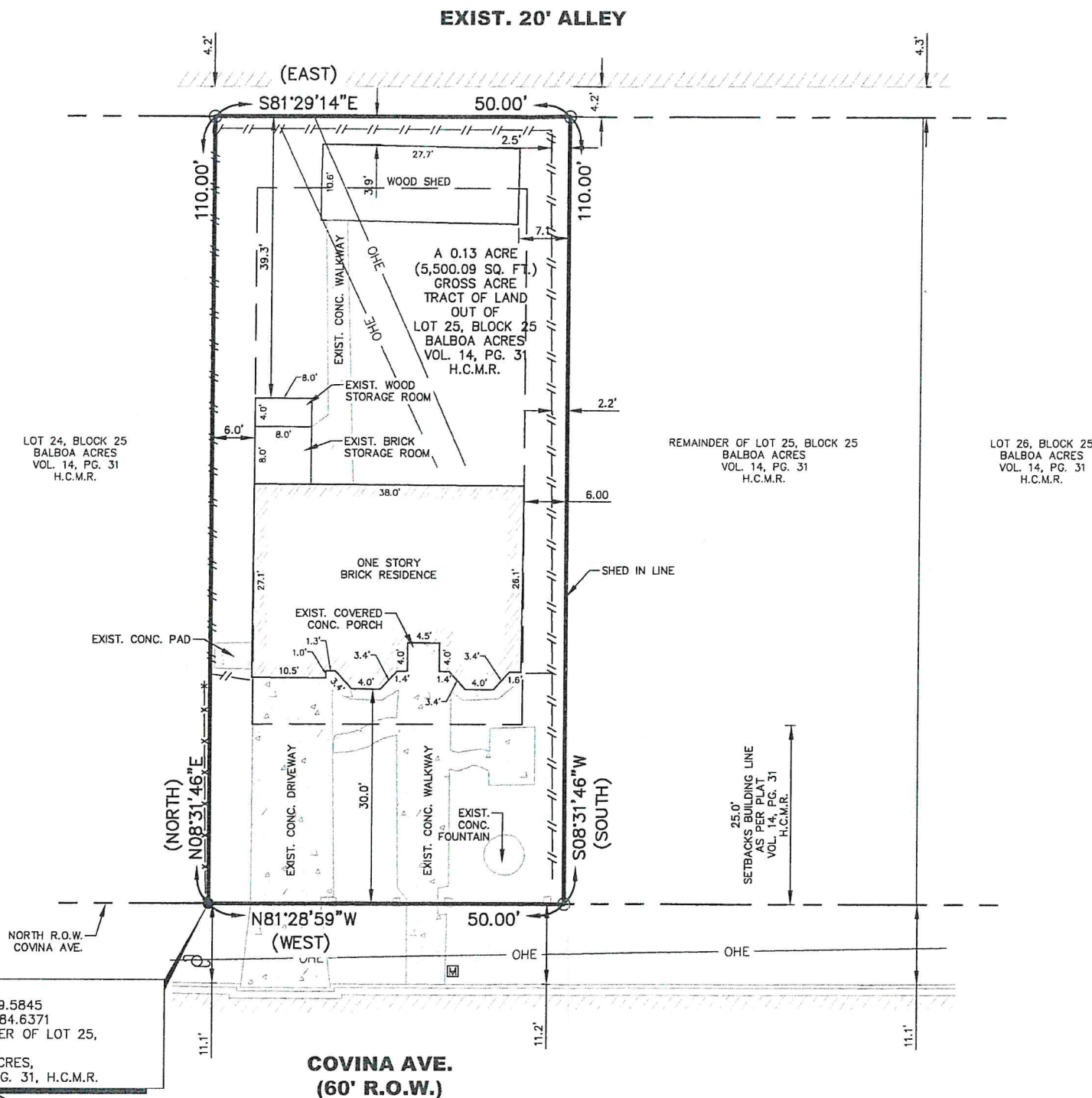


I, LEO L. RODRIGUEZ JR., CERTIFY THAT THE ABOVE PLAT IS AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY SUPERVISION AND THAT THIS SURVEY CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF THE SURVEY AND MEETS THE MINIMUM SURVEY STANDARDS.

LEO L. RODRIGUEZ JR. DATE 02/07/23 REVISION 2  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6027

JOB NUMBER	DRAWN BY	RVWD. BY	DATE
SUR 20.234	J.S.	LL.R.	02/07/2023

SHEET 1 OF 2: SURVEY PLAT



#### LEGEND

- - FND. 1/2" IRON ROD
- - SET 1/2" IRON ROD W/PLASTIC CAP STAMPED "SAMES"
- ⊙ - POWER POLE
- Ⓜ - MAIL BOX
- - CMU FENCE LINE
- - OVERHEAD ELECTRIC LINE
- X— - CHAINLINK FENCE LINE
- //— - CEDAR FENCE LINE
- EXIST. - EXISTING
- CONC. - CONCRETE
- ASPH. - ASPHALT
- CONC. - CONCRETE
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- O.R.H.C. - OFFICIAL RECORDS OF HIDALGO COUNTY
- R.O.W. - RIGHT OF WAY
- FND. - FOUND

#### SETBACK NOTES:

SETBACKS AS PER ORDINANCE OF CITY OF MCALLEN.

#### GENERAL NOTES:

ADDRESS: 3310 COVINA AVE., MCALLEN, TEXAS, 78503  
SURVEYED: JUNE 8, 2020  
REQUESTED BY: NATALLY TORRES  
PROPERTY OWNER: ELEAZAR ZAMORA

FLOOD ZONE DESIGNATION: "ZONE A" - NO BASE FLOOD ELEVATIONS DETERMINED.

COMMUNITY-PANEL NUMBER: 480343 0010 C  
MAP REVISED: NOVEMBER 2, 1982

#### SURVEY NOTES:

1. BASIS OF BEARING THE NORTH LINE OF LOT 25, BLOCK 25, BALBOA ACRES, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 14, PAGE 31, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

2. BEARINGS SHOWN ARE BASED ON BALBOA ACRES, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 14, PAGE 31, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

2. ALL COORDINATES, BEARINGS, AND DISTANCES, ARE BASED ON THE TEXAS COORDINATE SYSTEM, (NAD 83), TEXAS STATE PLANES, SOUTH ZONE, US SURVEY FEET, GRID. BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE BASED ON RECORDED DOCUMENT.

3. ALL HORIZONTAL CONTROL ON THIS PROJECT WAS ESTABLISHED UTILIZING RTK GPS METHODS.

4. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. THERE MAY BE EASEMENTS OR OTHER MATTERS THAT ARE NOT SHOWN.

THE FOLLOWING MATTERS AND ALL TERMS OF THE DOCUMENTS CREATING OR OFFERING EVIDENCE OF THE MATTERS:

5. SUBJECT TO THE SUBDIVISION RULES AND REGULATIONS OF THE COUNTY OF HIDALGO AND/OR ORDINANCES OR GOVERNMENTAL REGULATIONS OF THE CITY IN WHICH THE PROPERTY MAY BE LOCATED OR HOLDING EXTRA TERRITORIAL JURISDICTION OF SAID PROPERTY.

#### PLAT SHOWING

A 0.13 ACRE (5,500.09 SQ. FT.) GROSS, TRACT OF LAND OUT LOT 25, BLOCK 25, BALBOA ACRES, AN ADDITION TO THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 14, PAGE 31, MAP RECORDS OF HIDALGO COUNTY, TEXAS.



SAM Engineering & Surveying

200 S. 10TH STREET, SUITE 1500 TEL: (956) 702-8880  
MCALLEN, TEXAS 78501 FAX: (956) 702-8883

SURVEY FIRM REG. No. 101416-00





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 4/11/2023

### SUBDIVISION NAME: BALBOA ACRES

#### REQUIREMENTS

##### STREETS AND RIGHT-OF-WAYS

Covina Ave.: 60 ft. ROW  
Paving: Approximately 35 ft. existing Curb & gutter: both sides  
\*\*Subdivision Ordinance: Section 134-105  
\*\*Monies must be escrowed if improvements are required prior to final  
\*\*COM Thoroughfare Plan  
\* 1,200 ft. Block Length \*\*Subdivision Ordinance: Section 134-118  
\* 900 ft. Block Length for R-3 Zone Districts  
\*\*Subdivision Ordinance: Section 134-118  
\* 600 ft. Maximum Cul-de-Sac  
\*\*Subdivision Ordinance: Section 134-105

Applied

NA

NA

NA

##### ALLEYS

ROW: 20 ft. Paving: existing conditions remain  
\*Alley/service drive easement required for commercial properties  
\*\*Subdivision Ordinance: Section 134-106

Applied

##### SETBACKS

\* Front: 25 ft.  
\*\*Zoning Ordinance: Section 138-356  
\* Rear: In accordance with the Zoning Ordinance or greater for easements  
\*\*Zoning Ordinance: Section 138-356  
\* Sides: In accordance with the Zoning Ordinance or greater for easements  
\*\*Zoning Ordinance: Section 138-356  
\* Corner  
\*\*Zoning Ordinance: Section 138-356  
\* Garage: 18 ft. except where greater setback is required, greater setback applies  
\*\*Zoning Ordinance: Section 138-356  
\*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN

Applied

Applied

Applied

NA

Applied

Applied

##### SIDEWALKS

\* 4 ft. wide minimum sidewalk required on \_\_\_\_\_  
\*\*Subdivision Ordinance: Section 134-120  
\* Perimeter sidewalks must be built or money escrowed if not built at this time.

NA

NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	NA
NOTES	
* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy	NA
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	NA
* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.	NA
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area: Submitted survey for the west half of Lot 25, Block 25, shows a 50 ft. width **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing: R-1 Proposed: R-1 ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA
PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording as may be applicable.	Applied
* Pending review by the Parkland Dedication Advisory Board and CC.	NA

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<b>TRAFFIC</b>	
* As per Traffic Department, Trip Generation requirement is waived.	NA
* Traffic Impact Analysis (TIA) required prior to final plat.	NA
<b>COMMENTS</b>	
Comments: Existing plat notes remain the same. *Public hearing required for the subdivision of the lot (Notices were mailed and advertisement published on April 5, 2023) *Must comply with City's Access Management Policy.	Applied
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED.	Applied





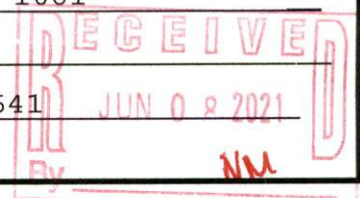




City of McAllen  
Planning Department  
**APPLICATION FOR  
SUBDIVISION PLAT REVIEW**

311 North 15<sup>th</sup> Street  
McAllen, TX 78501  
P. O. Box 220  
McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

Project Description	<p>Subdivision Name <u>Kalo Subdivision</u></p> <p>Location <u>South side of Monte Cristo Rd. 1050 ft. east of Rooth Rd.</u></p> <p>City Address or Block Number <u>2609 MONTE CRISTO RD</u></p> <p>Number of lots <u>1</u> Gross acres <u>3.11</u> Net acres <u>3.09</u></p> <p>Existing Zoning <u>N/A</u> Proposed <u>N/A</u> Rezoning Applied For <input type="checkbox"/> Yes <input type="checkbox"/> No Date <u>N/A</u></p> <p>Existing Land Use _____ Proposed Land Use _____ Irrigation District # <u>1</u></p> <p>Residential Replat Yes <input type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input type="checkbox"/> ETJ Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>N/A</u></p> <p>Parcel No. <u>963392</u> Tax Dept. Review _____</p> <p>Legal Description <u>3.11 Acres being a portion of Lot 4, Section 236, Texas Mexican Railway Company's Subdivision</u></p>
Owner	<p>Name <u>Gerardo &amp; Yolanda Ordonez</u> Phone <u>(956) 360-0734</u></p> <p>Address <u>3719 Highland</u></p> <p>City <u>Edinburg</u> State <u>Texas</u> Zip <u>78539</u></p> <p>E-mail _____</p>
Developer	<p>Name <u>Diana Rosales</u> Phone <u>(956) 655-6796</u></p> <p>Address <u>2603 W. Monte Cristo Rd.</u></p> <p>City <u>Edinburg</u> State <u>Texas</u> Zip <u>7841</u></p> <p>Contact Person <u>Veronica Rosales</u></p> <p>E-mail <u>vrosal983@yahoo.com</u></p>
Engineer	<p>Name <u>R. E. Garcia &amp; Associates</u> Phone <u>(956) 381-1061</u></p> <p>Address <u>116 N. 12th</u></p> <p>City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u></p> <p>Contact Person <u>Raul E. Garcia, PE, RPLS, CFM</u></p> <p>E-mail <u>regaassoc@aol.com</u></p>
Surveyor	<p>Name <u>R. E. Garcia &amp; Associates</u> Phone <u>(956) 381-1061</u></p> <p>Address <u>116 N. 12th</u></p> <p>City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u></p>





## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ☒ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ☐ Title Report
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- ☒ Lots numbered with dimensions and area of irregular lots noted
- ☒ Surrounding platted lots and/or lot lines for unplatted tracts
- ☒ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ☒ North arrow, scale and vicinity map
- ☒ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature Gerardo Ordonez Date 6/8/21

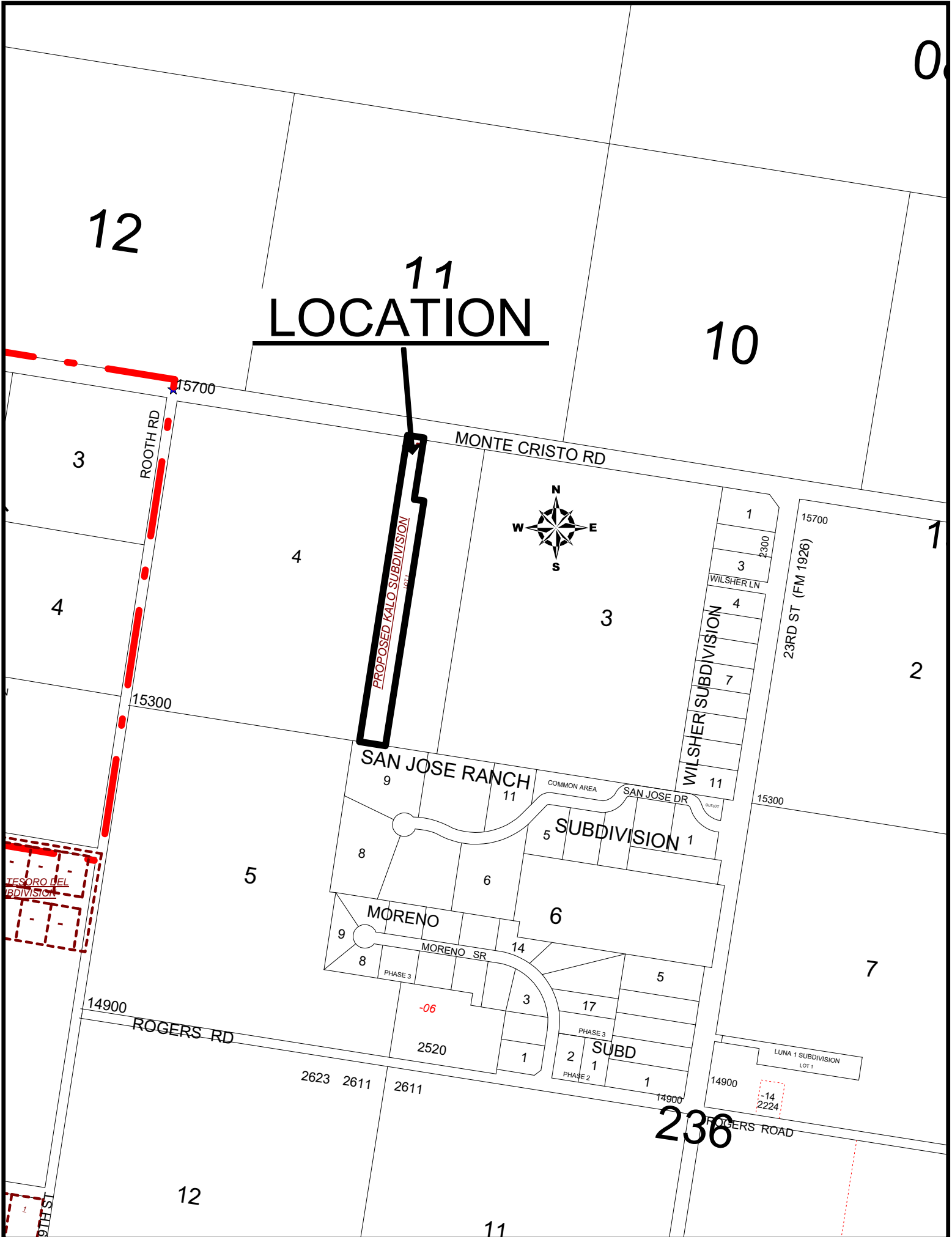
Print Name Gerardo Ordonez

Owner ☒

Authorized Agent ☐



11  
**LOCATION**






# PLAT OF KALO SUBDIVISION

A horizontal number line is shown with the label "SCALE IN FEET" centered above it. The line has four major tick marks labeled "0", "100'", "200'", and "300". The segment of the line between the "100'" and "200'" marks is highlighted with a thick, dark line.

**R. E. GARCIA & ASSOCIATES**  
ENGINEERS, SURVEYORS, PLANNERS

R.E. Garcia




Associates

SHEET NO. 1  
OF 2 SHEETS

CARLOS LIMA	DATE
GENERAL MANAGER	
SHARYLAND WATER SUPPLY CORPORATION	

THE STATE OF TEXAS  
COUNTY OF HIDALGO  
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER,  
HEREBY CERTIFY THAT PROPOSED PROJECT IS AS SHOWN ON THE  
PLAT.



The seal is circular with a double-lined border. The outer ring contains the text "STATE OF TEXAS" at the top and "REGISTERED PROFESSIONAL ENGINEER" at the bottom, separated by stars. The inner circle features a five-pointed star at the top, the name "RAUL E. GARCIA" in the center, and the license number "64790" below it.

REGISTERED PROFESSIONAL ENGINEER #64790

FLOOD PLANE ZONATION: ZONE "X"

FLOOD PLANE DESIGNATION: ZONE "X"

ZONE "X" DEFINED AS: CORNER PANEL NO. 480334 0325 D

EFFECTIVE DATE: JUNE 06, 2000 LOMAR MAY 17, 2001, OF THE FEDERAL AGRICULTURE/MANAGEMENT AGENCY MAPS FOR HIDALGO COUNTY, TEXAS AND THE LOCAL FLOOD PLAIN ADMINISTRATOR HAVE IDENTIFIED AN AREA DETERMINED TO BE OUTSIDE 500-YEAR FLOOD-PLAIN.

2. SETBACKS:

FRONT: 60.00 FEET OR EASEMENT, WHICHEVER IS GREATER

REAR: 10.00 FEET OR EASEMENT, WHICHEVER IS GREATER

SIDE: 15.00 FEET OR EASEMENT, WHICHEVER IS GREATER

GARAGE: 18.00 FEET EXCEPT WHERE GREATER IS REQUIRED; GREATER SETBACK APPLIES.

ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN.

3. NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON THIS LOT. THIS MUST BE STATED ON ALL DEEDS AND CONTRACTS FOR DEEDS FOR REAL ESTATE SOLD WITHIN THE SUBDIVISION. (ANY OTHER USE SHALL REQUIRE PLANNING DEPARTMENT, OFFICE OF ENVIRONMENTAL COMPLIANCE, HEALTH DEPARTMENT AND FIRE MARSHALL APPROVAL). APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPYING THE LOT.

4. MINIMUM FINISHED FLOOR NOTE: MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE THE TOP OF THE CENTER OF ROAD OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED IN A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS. ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.

5. BENCHMARK NOTE: THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING

**B.M.-1:** AN "X" SCRIBED IN CONCRETE 294 FEET SOUTH OF MONTE CRISTO ROAD CENTERLINE AND 70 FEET EAST OF WEST PROPERTY LINE ELEVATION **112.0** N.G.V.D. 83.

6. IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF **7,522 CUBIC-FEET (0.71 ACRE-FEET)** OF STORM WATER RUNOFF.

7. ALL PUBLIC UTILITIES EASEMENTS DEICATED BY THIS PLAT SHALL BE IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS WILL BE COMPLY WITH THE STATE REQUIRE BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.

8. NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES HIGH, MATURE TREES, TREES, AND OTHER PLANTINGS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.

9. EACH PURCHASED CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A PROVISION THAT DESIGNED WATER AND SEWER UTILITIES, POWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.

10. AN OFF-STREET PARKING LOT SITE PLAN & DRAINAGE PLAN APPROVED BY THE HIDALGO COUNTY PLANNING DEPARTMENT & OFFICE OF ENVIRONMENTAL COMPLIANCE SHALL BE REQUIRED FOR COMMERCIAL & INDUSTRIAL USE AT THE TIME OF APPLICATION FOR CONSTRUCTION PRIOR TO THE ISSUANCE OF A BUILDING AND/OR DEVELOPMENT PERMIT. WATER AND FLOOD CLEARANCES SHALL BE ISSUED UNTIL THE SITE PLAN, DRAINAGE PLAN AND OSSF PLAN ARE APPROVED AND PROPOSED IMPROVEMENTS ARE CONSTRUCTED IN ACCORDANCE WITH COUNTY AND STATE STANDARDS.

11. 6.00 FOOT OPAQUE BUFFER REQUIRED FROM ADJACENT BETWEEN CITY OF FAMILLY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES.

12. 5.00 FOOT MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.

13. AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF MCALLEN ENGINEERING DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT. GRADING MUST COMPLY WITH MASTER DRAINAGE PLAN.

14. ON-SITE SEWAGE FACILITIES (OSSF) NOTE: THIS SUBDIVISION SHALL USE ON-SITE SEWAGE FACILITIES IN ACCORDANCE WITH TCEQ AND HIDALGO COUNTY REQUIREMENTS FOR SEWAGE DISPOSAL. THE SUBDIVIDER IS RESPONSIBLE FOR PROVIDING AN OSSF ON ALL LOTS.

A. OSSF SYSTEM IS BEING DESIGNED FOR DISPOSAL OF DOMESTIC SEWAGE ONLY, A SEPARATE DESIGN SHALL BE SUBMITTED FOR COMMERCIAL USE.

B. EACH LOT ON THIS PLAT COMPLIES WITH THE MINIMUM 21,780 SQUARE FEET LOT AREA WITH POTABLE WATER SUPPLY.

C. OSSF SYSTEM SHALL REQUIRE INSPECTION AND APPROVAL BY HIDALGO COUNTY AUTHORIZED DEPARTMENT

D. SOIL ANALYSIS HAVE BEEN SUBMITTED TO THE AUTHORIZED HIDALGO COUNTY DEPARTMENT AND EXCEPTS MAY BE ALSO SEEN ON THE UTILITY LAYOUT FOR THIS SUBDIVISION AS SUBMITTED TO THE HIDALGO COUNTY PLANNING DEPARTMENT. THE ENGINEER HAS DETERMINED THAT THE SOIL IS SUITABLE FOR A STANDARD SEPTIC TANK AND ABSORPTIVE DRAIN FIELD SYSTEM.

E. APPROVED "OSSF" PERMIT APPLICATION IS REQUIRED INCLUDING INDIVIDUAL LOT PLANNING MATERIALS PRIOR TO OCCUPYING A LOT.

15. THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION.

16. GERARDO ORDONEZ & YOLANDA ORDONEZ THE OWNERS & SUBDIVIDERS OF KALO SUBDIVISION, OBTAINS AN EASEMENT UPON EACH LOT FOR THE PURPOSE OF INSTALLING AN APPROVED OSSF ON THE LOT AS DESCRIBED ON SHEET NO.2 OF THIS PLAT.

17. THE DEVELOPER SHALL BE RESPONSIBLE TO DETAIN AND ACCOMMODATE MORE THAN THE DETAINED VOLUME SHOW ABOVE, IF IT IS DETERMINED THAT THE DEVELOPMENT PERMIT STAGE THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ABOVE DUE TO THE IMPERVIOUS AREA BEING GREATER THAN PLAT ENGINEER CONSIDERED FOR HIS CALCULATIONS OF THIS SUBDIVISION.

18. ACCESS EASEMENT SHALL REMAIN FREE AND CLEAR OF ANY OBSTRUCTIONS SO THAT INCOMING AND OUTGOING TRAFFIC MAY TRAVEL FREELY. THE INDIVIDUAL LOT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PAVING AND DRAINAGE IMPROVEMENTS WITHIN THE ROAD ACCESS EASEMENT WITH HIS RESPECTIVE SECTION.


19. ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 0.25% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY APPENDIX C-3 COUNTY CONSTRUCTION SPECIFICATIONS 3.1.4.

20. 5.00 FOOT WIDE MINIMUM SIDEWALK IS REQUIRED ON MONTE CRISTO ROAD (FM 1925) AND 4.00 FOOT WIDE SIDEWALK REQUIRED ALONG 1/4 MILE ROAD.

21. 5.00 FOOT SIDEWALK REQUIRED ALONG MONTE CRISTO ROAD (FM 1925) AS PER ENGINEERING DEPARTMENT.

21. ALL SHARPLYLAND WATER SUPPLY CORPORATION EASEMENTS ARE EXCLUSIVE. NO OTHER USE OF EASEMENT IS PERMITTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF SHARPLYLAND WATER SUPPLY CORPORATION.

THENCE **N09°05'00"E** LONG THE WEST LINE OF SAID TRACT DESCRIBED IN WARRANTY DEED WITH VENDOR'S LINE RECORDED IN VOLUME 1765, PAGE 363, DEED RECORDS, HIDALGO COUNTY, TEXAS, BEING PARALLEL TO THE EAST LINE OF SAID LOT 4, SECTION 236, PASS AT 1,049.30 FEET A SET ONE- HALF INCH IRON ROD BEING THE SOUTHWEST CORNER OF SAID TRACT DESCRIBED IN WARRANTY DEED RECORDED IN DOCUMENT 13331, AFFIDAVIT RECORDS, HIDALGO COUNTY, TEXAS, BEING 303.13 FEET TO THE ONE-HALF INCH IRON ROD BEING THE SOUTH RIGHT-OF-WAY LINE OF SAID FM 1925 (MONTE CRISTO ROAD) AND CONTINUING FOR A TOTAL DISTANCE OF **1,313.30** FEET TO THE POINT OF BEGINNING AND CONTAINING 3.11 ACRES OF LAND, MORE OR LESS.

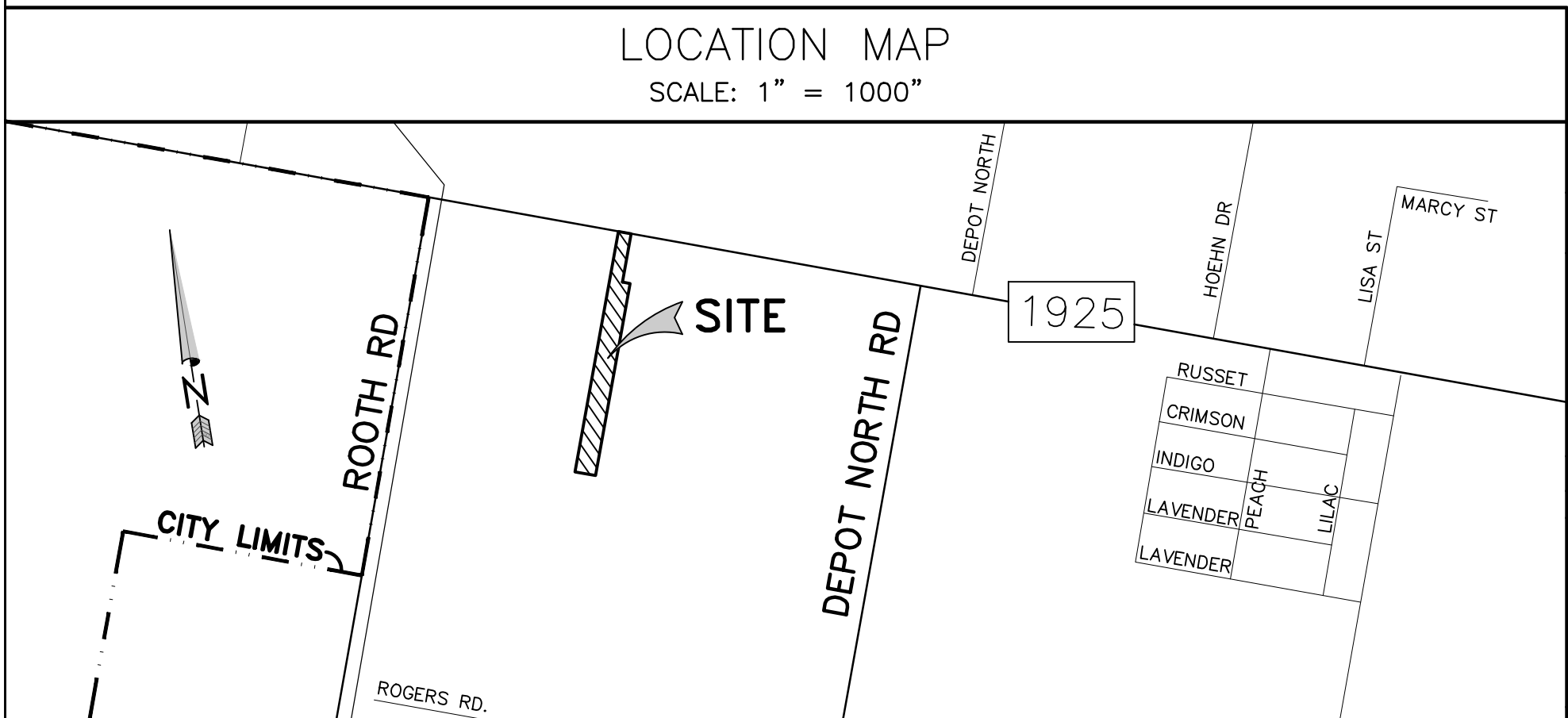


FILED FOR RECORD IN  
HIDALGO COUNTY  
RTURO GUAJARDO, JR.  
DALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY

SCALE: 1" = 1000'



	NAME:	ADDRESS:	CITY, STATE & ZIP:	PHONE #
OWNERS:	GERARDO ORDONEZ YOLANDA ORDONEZ	3719 HIGHLAND ST.	EDINBURG, TX. 78539	(956) 360-0734
ENGINEER:	RAUL F. GARCIA	116 N. 12TH	EDINBURG, TX. 78539	(956) 381-1061
SURVEYOR:	RAUL F. GARCIA	116 N. 12TH	EDINBURG, TX. 78539	(956) 381-1061

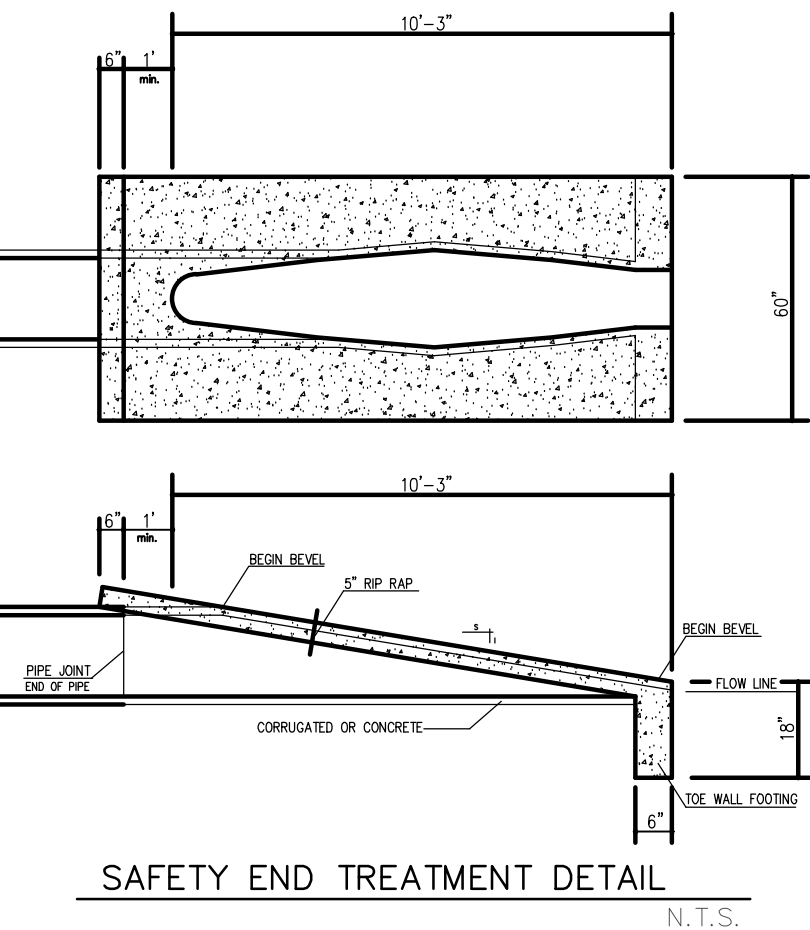
LOCATION OF SUBDIVISION WITH RESPECT TO THE  
EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:

KALO SUBDIVISION IS LOCATED IN CENTRAL HIDALGO COUNTY ON F.M. 1925 APPROXIMATELY 0.2 MILES EAST OF ROUTH ROAD, THE NEAREST MUNICIPALITY IS THE CITY OF MCALLEN POPULATION 138,082 (2015 CENSUS). ACCORDING TO THE OFFICIAL MAP LOCATED IN THE OFFICE OF THE SECRETARY OF THE CITY OF MCALLEN, KALO RANCH SUBDIVISION LIES ADJACENT TO THE CITY LIMITS AND IS WITHIN THE CITY'S TWO MILE EXTRA TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE §42.021.

## INDEX OF SHEETS

	DESCRIPTION
	<p>HEADING; INDEX; LOCATION MAP AND ETJ; PRINCIPAL CONTACTS; PLAT WITH LOTS, STREETS AND EASEMENT DESIGNATION; METES &amp; BOUNDS; SURVEYOR'S &amp; ENGINEER'S CERTIFICATION; PLAT NOTES &amp; EXPLANATIONS; RECORDING CERTIFICATE; RECORDATION AND ATTESTATION; COUNTY CLERK'S RECORDING CERTIFICATE; HIDALGO COUNTY APPROVAL; DESCRIPTION OF LOCATION WITH RESPECT TO SURROUNDING MAPS &amp; A VERTICAL CURVE; REVISION NOTES; CITY APPROVAL AND H.C.H.D. CERTIFICATION</p>
	<p>WATER DISTRIBUTION AND SANITARY WATER (OSSF) MAP, ENGINEERING REPORT (ENGLISH AND SPANISH) VERSION INCLUDING DESCRIPTION OF WATER AND SEWER WATER (OSSF) AND ENGINEER'S CERTIFICATION (ENGLISH AND SPANISH); SAMPLE ANALYSIS; NOISE AND VIBRATION STUDY; CONDUIT AND UTILITY CONNECTION; SUBSIDER CERTIFICATE AND STATEMENT, MAP OF TOPOGRAPHY &amp; DRAINAGE WITH ENGINEER'S CERTIFICATION, REVISION NOTES, RECORDATION AND ATTESTATION, INCLUDING DESCRIPTION OF DRAINAGE AND HOW IT WILL SERVE THIS DEVELOPMENT</p>





# PLAT OF KALO SUBDIVISION

A 3.11 ACRE TRACT OF LAND BEING A PORTION OF LOT 4, SECTION 236, TEXAS MEXICAN RAILWAY COMPANY'S SUBDIVISION AS RECORDED IN VOLUME 1, PAGE 12, MAP RECORDS, HIDALGO COUNTY, TEXAS, ALSO BEING THAT CERTAIN TRACT DESCRIBED IN WARRANTY DEED RECORDED IN DOCUMENT #25761656, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, ALSO BEING THAT CERTAIN TRACT DESCRIBED IN DEED WITHOUT WARRANTY RECORDED IN DOCUMENT #3388094, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

DATE: NOVEMBER 7, 2022

**SCALE IN FEET**

A horizontal scale bar with tick marks at 0, 100', 200', and 300'.

SCALE: 1" = 100'

PREPARED BY:

**R. E. GARCIA & ASSOCIATES**

ENGINEERS, SURVEYORS, PLANNERS

ENGINEER (F-5001) & SURVEYOR (10015300)

116 NORTH 12TH AVE.

EDINBURG, TEXAS 78541 (956) 581-1061

EMAIL: REGAASSOC@GMAIL.COM

JOB NO.: 2021-003

DRAWN BY: E.S.

R.E. Garcia

A circular professional seal for R.E. Garcia, State of Texas. The seal contains the text "Professional Engineer" and "Professional Surveyor" around the perimeter, with "R.E. Garcia" in the center and "No. 5001" and "10015300" at the bottom.

Associates

**SUBDIVIDER CERTIFICATION**

1. — BY COMPLETING THE IMPROVEMENTS DESCRIBED ON THE PLAT, THE SUBDIVIDER WILL COMPLY WITH MINIMUM STATE STANDARDS AND THE CITY OF CALICO, CALIFORNIA. THE IMPROVEMENTS WILL BE IN ACCORDANCE WITH THE MINIMUM STATE STANDARDS AND (a) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET SUCH STANDARDS AND WILL BE BY THE STATE AND COUNTY REGULATIONS.

**SUBDIVIDER STATEMENT:**

1. — I, GERARDO ORDONEZ & YOLANDA ORDONEZ SUBDIVIDERS OF KALO SUBDIVISION, HEREBY CERTIFY SEWER PERMITS HAVE BEEN PAID AND ARE ON FILE FOR THE H.C.H.D.; THAT ANY ADEQUATE DRAINAGE WATER SOURCE IS IMMEDIATELY AVAILABLE TO EACH LOT OF THE SUBDIVISION AND EACH LOT OF THE SUBDIVISION WILL BE IN ACCORDANCE WITH THE MINIMUM STATE STANDARDS AND (a) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET SUCH STANDARDS AND WILL BE BY THE STATE AND COUNTY REGULATIONS AND THE LAWS OF THE STATE AS REQUIRED BY STATE AND COUNTY REGULATIONS.

A circular professional engineer seal for the State of Texas. The outer ring contains the text "STATE OF TEXAS" at the top and "REGISTERED PROFESSIONAL ENGINEER" at the bottom, separated by two stars on each side. The inner circle features a five-pointed star at the top, followed by the name "RAUL E. GARCIA" and the license number "64790".

THE STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY APPEARED GERARDO ORDONEZ & YOLANDA ORDONEZ KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

\_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_

\_\_\_\_\_  
NOTARY PUBLIC IN AND FOR HIDALGO COUNTY, TEXAS

MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC IN AND FOR HIDALGO COUNTY, TEXAS \_\_\_\_\_

DRAINAGE STATEMENT FOR KALO SUBDIVISION

AS SUBDIVISION IS A PROPOSED 1/2 LOT RESIDENTIAL SUBDIVISION ON A 3.11 ACRE TRACT OF LAND BEING A PORTION LOT 4, SECTION 23B, TOWNSHIP 10S, RANGE 12E, MERIDIAN 10E, DEER CREEK DISTRICT, SOUTHERN PLAINS APPRAISAL DISTRICT, DALLAS COUNTY, TEXAS. ALSO BEING A SUBMISSION RAILWAY COMPANY'S SUBDIVISION AS RECORDED IN VOLUME 1, PAGE 12, MAP RECORDS, HIDALGO COUNTY, TEXAS, ALSO BEING A SUBDIVISION OF THE SOUTHERN RAILWAY COMPANY, AS RECORDED IN VOLUME 25, PAGE 12, MAP RECORDS, HIDALGO COUNTY, TEXAS. WITHIN THE CITY OF MAULEN EXTRA-TERRITORIAL JURISDICTION DEVELOPMENT AREA. THE SITE IS LOCATED ON THE SOUTH SIDE OF MONTE CRISTO ROAD (FM 1925) APPROXIMATELY 1,100 FEET EAST OF ROOTH ROAD. THE PROPERTY IS BEING SUBDIVIDED INTO ONE SINGLE FAMILY RESIDENTIAL LOT BEING 1/2 ACRES OF LAND WITH TOWNSHIP 10S, RANGE 12E, MERIDIAN 10E, DEER CREEK DISTRICT, SOUTHERN PLAINS APPRAISAL DISTRICT, DALLAS COUNTY, TEXAS. MONTE CRISTO ROAD (FM 1925) SLOPES TOWARDS THE WEST AND EVENTUALLY DISCHARGES STORM FLOWS INTO HCCD #1 DRAIN DITCH 198-00. THE PROPOSED SUBDIVISION IS LOCATED IN A ZONE "X" FLOOD HAZARD AREA AS DESIGNATED BY FEMA FIRE COMMUNITY PANEL 1988-00. THE PROPOSED SUBDIVISION IS LOCATED IN A ZONE "X" FLOOD HAZARD AREA AS DESIGNATED BY FEMA FIRE COMMUNITY PANEL 1988-00. 3/25 D DATED JUNE 6, 2000 AND REVISED MAY 17, 2001. ZONE "X" IS DEFINED AS AREAS OF 100 YEAR FLOOD AREAS; AREAS OF 100 YEAR FLOODS OF LESS THAN 100' OR WITH DRAINAGE AREAS LESS THAN 100 SQUARE MILES; AREAS OF 100 YEAR FLOODS OF LESS THAN 100' OR WITH DRAINAGE AREAS LESS THAN 100 SQUARE MILES.

PREDOMINANT SOIL FOR THIS PROPERTY IS A HIDALGO SANDY CLAY LOAM (28) WHICH A DARK, GRAYISH BROWN SANDY CLAY LOAM WHICH MODERATELY PREVIOUS. THIS SOIL IS FOUND TO BE IN THE HYDROLOGIC GROUP "B" AS DETERMINED BY USE OF THE SOIL SURVEY OF ALGO COUNTY. (SEE ATTACHMENT).

STORM RUNOFF IS DIRECTED TOWARDS NORTH TOWARDS A ROAD DITCHES ON MONTE CRISTO ROAD (FM 1925) ON THE SOUTH SIDE OF THE LOT. THE PROPOSED SUBDIVISION WILL UTILIZE THE ROADSIDE DITCH ON MONTE CRISTO ROAD (FM 1925) TO DETAIN STORM RUNOFF. THE SINGLE RESIDENTIAL LOT WILL NOT SIGNIFICANTLY IMPACT THE RUNOFF FROM THE EXISTING SITE.

ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE POLICY, A MINIMUM OF 7,522 CF OR 0.17 ACRE FEET OF STORM RUNOFF WHICH IS DIFFERENTIAL VOLUME BETWEEN THE PRE DEVELOPED 10 YEAR EVENT (Q10 = 0.91 CFS) AND THE POST DEVELOPMENT 50 YEAR EVENT (Q50 = 2.82 CFS) BE DETAINED WITH A MAXIMUM DISCHARGE RATE OF 0.91 CFS. THE PEAK RATE OF RUNOFF WILL NOT BE SIGNIFICANTLY INCREASED DURING THE 50 YEAR (Q50 = 2.82 CFS) RAINFALL EVENT.


 REGISTERED PROFESSIONAL ENGINEER #64790

RAUL E. GARCIA  
64790



Professional Engineer





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 4/14/2023

### SUBDIVISION NAME: KALO SUBDIVISION

#### REQUIREMENTS

##### STREETS AND RIGHT-OF-WAYS

N. Monte Cristo Road (FM 1925): 35 ft. additional ROW required for 75 ft. from centerline for 150 ft. ROW

Paving: by the state Curb & gutter: by the state

Revisions Needed:

-Include "Total" labeling with dimension labeling for length from new property line to existing property line across Monte Cristo Road, prior to recording.

\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*Monies must be escrowed if improvements are required prior to recording

E/W 1/4 Mile Road: 60 ft. ROW

Paving: 40-44 ft. Curb & gutter: both sides

\* After review of the submitted ownership map and area, due to the developed properties to the east and south (San Jose Ranch and Wilsher Subdivisions) and existing irrigation canal to the west and collector alignment, the E/W collector street along the southern boundary is not feasible.

\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*Monies must be escrowed if improvements are required prior to recording

Paving \_\_\_\_\_ Curb & gutter \_\_\_\_\_

\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

\*\*Monies must be escrowed if improvements are required prior to recording

\* 1,200 ft. Block Length.

\*\*Subdivision Ordinance: Section 134-118

\* 900 ft. Block Length for R-3 Zone Districts.

\*\*Subdivision Ordinance: Section 134-118

\* 600 ft. Maximum Cul-de-Sac.

\*\*Subdivision Ordinance: Section 134-105

Required

NA

NA

Compliance

NA

NA

##### ALLEYS

ROW: 20 ft. Paving: 16 ft.

\*Alley/service drive easement required for commercial and multi-family properties.

\*\*As per conversation with Engineer of record on April 13th, 2023, the proposed use is Single-Family Residential.

\*\*\*Subdivision Ordinance: Section 134-106

NA

##### SETBACKS

\* Front: Proposing 60 ft. or greater for easements

\*\*Zoning Ordinance: Section 138-356

\* Rear: Proposed 60 ft. or greater for easements

\*\* 40 ft. HCID#1 ROW easement shown in the rear portion of the lot.

\*\*\*Zoning Ordinance: Section 138-356

Applied

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



* Sides: 15 ft. or greater for easements **Zoning Ordinance: Section 138-356	Applied
* Corner: Interior Lot **Zoning Ordinance: Section 138-356	NA
* Garage: 18 ft. except where greater is required; greater setback applies. **Zoning Ordinance: Section 138-356	Applied
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
<b>SIDEWALKS</b>	
* 5 ft. wide minimum sidewalk required on Monte Cristo Road (FM 1925) . Revisions needed: - Revise note #20 as shown above, prior to recording. **5 ft. sidewalk required along Monte Cristo Road (FM 1925) per Engineering Department **Subdivision Ordinance: Section 134-120	Required
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
<b>BUFFERS</b>	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
<b>NOTES</b>	
*Must comply with City Access Management Policy.	Applied
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	NA
* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.	Applied
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. ***Section 110-72 applies if public subdivision is proposed. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **HOA Document needs to be recorded simultaneously with plat. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



LOT REQUIREMENTS	
* Lots fronting public streets. **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area. **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing: ETJ Proposed: ETJ **As per conversation with Engineer of record on April 13th,2023, the proposed use is Single-Family Residential. ***Zoning Ordinance: Article V	Compliance
* Rezoning Needed Before Final Approval **Property is located in the ETJ ***Zoning Ordinance: Article V	NA
PARKS	
* Land dedication in lieu of fee	NA
* Park Fee of \$700 per dwelling unit/lot to be paid prior to recording **If property is annexed prior to recording, Park fee of \$700 per dwelling unit/lot will be required prior to recording	Applied
* Pending review by the City Manager's Office.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation waived and no TIA is required.	Compliance
* As per Traffic Department, TG waived and Traffic Impact Analysis (TIA) not required.	NA
COMMENTS	
Comments: -Must comply with City's Access Management Policy. -As per conversation with Engineer of record on April 13th,2023, the proposed use is Single-Family Residential. - Provide boundary lines and label legal description for the adjacent properties on plat and location map. Depot Road is shown on the east side of the proposed plat and Wilsher Subdivision is not identified on plat. Revise accordingly prior to recording. -Based on ownership map submitted, engineer indicated no landlocked properties exist. - Revise street name for N. 29th Street (N. Rooth Road) and N. 23rd Street (FM 1926) on plat and location map, prior to recording. -Subdivision approved in revised preliminary form with a 6 month extension at the Planning and Zoning Commission meeting of November 1st,2022.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED.	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**







SUB 2021-0074



City of McAllen  
Planning Department  
**APPLICATION FOR  
SUBDIVISION PLAT REVIEW**

311 North 15<sup>th</sup> Street  
McAllen, TX 78501  
P. O. Box 220  
McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

Project Description	<p>Subdivision Name <u>Habitat Village</u></p> <p>Location <u>The north side of Trenton Road at 26th Lane</u></p> <p>City Address or Block Number <u>2700 TRENTON RD</u></p> <p>Number of lots <u>13</u> Gross acres <u>2.0</u> Net acres <u>2.0</u></p> <p>Existing Zoning <u>C-3</u> Proposed <u>R-3T</u> Rezoning Applied For <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Date <u>6/29/21</u></p> <p>Existing Land Use <u>Vacant</u> Proposed Land Use <u>Townhomes</u> Irrigation District # <u>1</u></p> <p>Residential Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>N/A</u></p> <p>Parcel No. <u>530385</u> Tax Dept. Review _____</p> <p>Legal Description <u>2.0 acres out of the north 5.0 acres of Lot 62, La Lomita Irrigation and Construction</u></p> <p>Company Subdivision _____</p>
Owner	<p>Name <u><del>Tina (Wychopen) Hoff</del> Habitat Devel. LLC</u> Phone <u>956-683-1000</u></p> <p>Address <u>409 Palm Valley West</u> <u>8916 N. 21<sup>st</sup> St.</u></p> <p>City <u>McAllen</u> State <u>Texas</u> Zip <u>78552</u> <u>78504</u></p> <p>E-mail _____</p>
Developer	<p>Name <u>Same as Owner</u> Phone _____</p> <p>Address _____</p> <p>City _____ State _____ Zip _____</p> <p>Contact Person _____</p> <p>E-mail _____</p>
Engineer	<p>Name <u>Spoor Engineering Consultants, Inc.</u> Phone <u>956-683-1000</u></p> <p>Address <u>202 S. 4th Street</u></p> <p>City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u></p> <p>Contact Person <u>Steve Spoor</u></p> <p>E-mail <u>sec@spooreng.com</u></p>
Surveyor	<p>Name <u>CVQ Land Surveyors</u> Phone <u>956-618-1551</u></p> <p>Address <u>517 Beaumont Ave.</u></p> <p>City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u></p>

RECEIVED  
JUL 02 2021

BY: [Signature]

heto 8/7/21



## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- \_\_\_\_\_ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- \_\_\_\_\_ Title Report
- \_\_\_\_\_ 8 ½" by 11" Original Sealed Survey showing existing structures/  
easements or 3 blueline copies
- \_\_\_\_\_ 2 Location Maps
- \_\_\_\_\_ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- \_\_\_\_\_ 6 Folded blueline prints of the proposed plat
- \_\_\_\_\_ 2 Warranty Deeds (Identifying owner on application)
- \_\_\_\_\_ Autocad 2005 DWG file and PDF of plat
- \_\_\_\_\_ Letter of Authorization from the owner, if applicable
- \_\_\_\_\_ Proof of authority of person signing application on behalf of  
partnership/corporation, if applicable

### PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and  
surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width  
from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

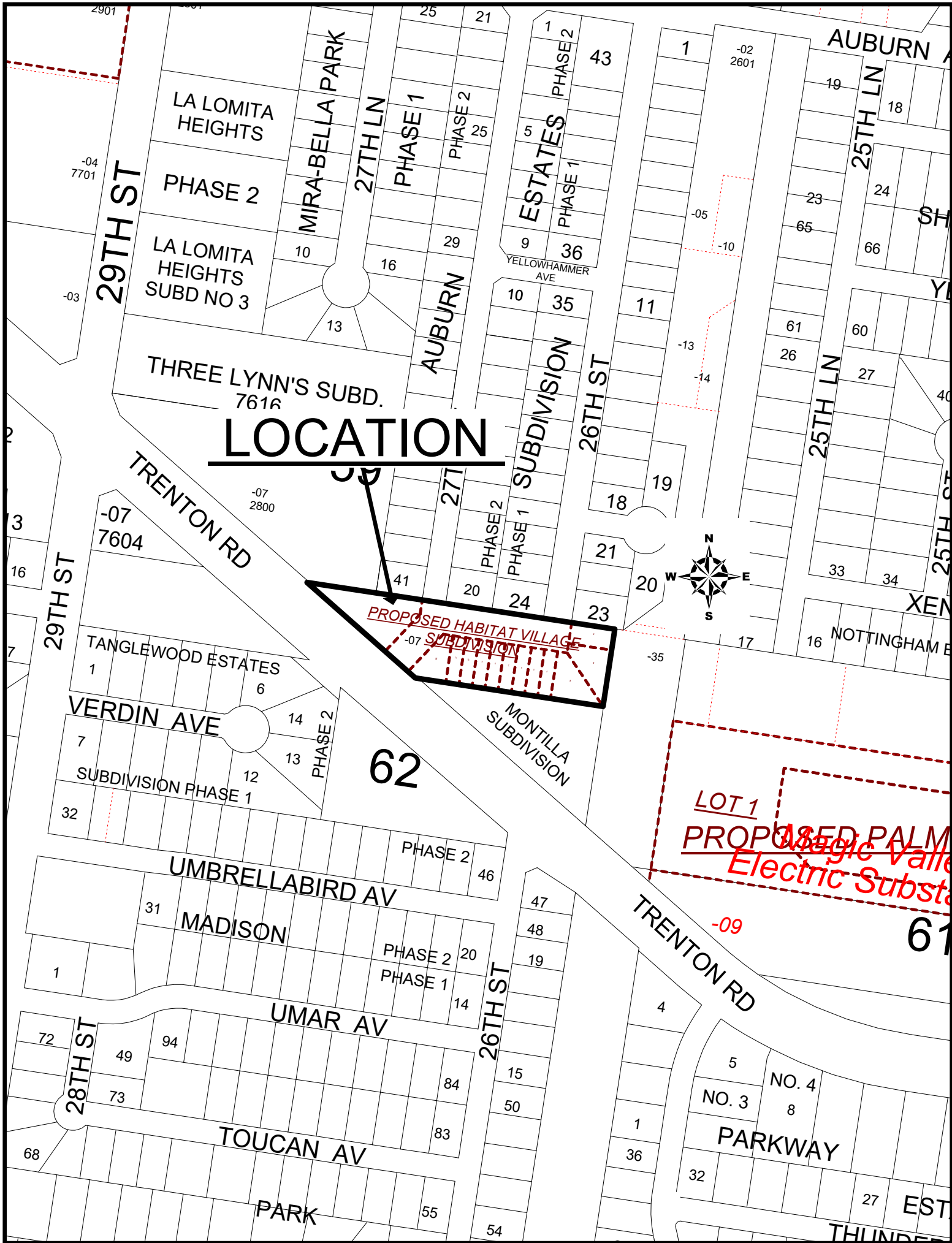
Signature  Date 7/2/21

Print Name Steve Spoor, P.E.

Owner ☐

Authorized Agent ☒





**LOCATION**

**PROPOSED HABITAT VILLAGE  
SUBDIVISION**

**LOT 1  
PROPOSED PALM Magic Valley  
Electric Substa**

62

61









# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 4/14/2023

### SUBDIVISION NAME: HABITAT VILLAGE

#### REQUIREMENTS

##### STREETS AND RIGHT-OF-WAYS

Trenton Road: 60 ft. from centerline for 120 ft. ROW

Paving: 65 ft. Curb & gutter: Both sides

\*\*Subdivision Ordinance: Section 134-105

\*\*Monies must be escrowed if improvements are required prior to recording.

\*\*COM Thoroughfare Plan

Applied

Warbler Avenue: 65 ft. proposed ROW

Paving: 40 ft. Curb & gutter: Both sides

Revisions needed:

- Paving layout provided shows a portion of the 25 ft. ROW easement to Magic Valley Easement within the pavement, any issues with overlap with proposed ROW and paving, clarify prior to NTP/recording.

- Knuckle design required and lot lines will have to be adjusted accordingly to allow for required ROW back of curb along Lots 1-5 and Lots 12-16 finalize prior to NTP/recording.

\*\*Subdivision Ordinance: Section 134-105

\*\*Monies must be escrowed if improvements are required prior to recording.

\*\*COM Thoroughfare Plan

Required

Paving \_\_\_\_\_ Curb & gutter \_\_\_\_\_

\*\*Subdivision Ordinance: Section 134-105

\*\*Monies must be escrowed if improvements are required prior to final

\*\*COM Thoroughfare Plan

Applied

\* 1,200 ft. Block Length

\*\*Subdivision Ordinance: Section 134-118

\* 900 ft. Block Length for R-3 Zone Districts

\*\*Subdivision Ordinance: Section 134-118

\* 600 ft. Maximum Cul-de-Sac

\*\*Subdivision Ordinance: Section 134-105

NA

Compliance

NA

##### ALLEYS

ROW: 20 ft. Paving: 16 ft.

\*Alley/service drive easement required for commercial properties

\*\*Subdivision Ordinance: Section 134-106

NA

##### SETBACKS

\* Front: 10 ft. or greater for easements.

\*\*Zoning Ordinance: Section 138-356

\* Rear: 10 ft. or greater for easements

\*\*Zoning Ordinance: Section 138-356

Applied

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



<p>* Interior Sides:  A)Lots 2,4,7,10,13,15, and 16:  1.East Side Setback:4 feet.-Subject to Compliance With Building Code Requirements.  2.West Side Setback:0 feet-Subject to Compliance With Building Code Requirements.  B)Lots 3,5,6,8,9,11,12 &amp; 14:  1.East Side Setback:3 feet.-Subject to Compliance With Building Code Requirements.  2.West Side Setback:0 feet-Subject to Compliance With Building Code Requirements.  Revisions Needed:  -Revise side setback notes as noted above, prior to recording.</p> <p>***Developer submitted variance request for a 4 ft. side setback on the east side and 0 ft. on the west side for lots 2, 4, 7, 10, 13, 15, and 16 subject to compliance with building code requirements in lieu of in accordance with the zoning ordinance.  ***Developer submitted variance request for a 3 ft. side setback on the east side and 0 ft. on the west side for lots 3, 5, 6, 8, 9, 11, 12, and 14 subject to compliance with building code requirements in lieu of in accordance with the zoning ordinance.  The subdivision was approved in Revised Preliminary form with variance request to the side setbacks requirement for Lots 2-16 at the Planning and Zoning Commission meeting of December 6, 2022.</p> <p>**Zoning Ordinance: Section 138-356  * Corner: 10 ft. or greater for easements.  **Zoning Ordinance: Section 138-356  * Garage: 18 ft. except where greater setback is required; greater setback applies.  Revisions Needed:  -Revise setback note as noted above, prior to recording, remove reference to "(All Lots)".  **Zoning Ordinance: Section 138-356  *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Required
	Applied
	Applied
	Applied
<b>SIDEWALKS</b>	
<p>* 4 ft. wide minimum sidewalk required on Trenton Road and both sides of all interior streets.  ***Sidewalk requirements may increase to 5 ft. per Engineering Department requirements ,finalize note requirements prior to recording.  **Subdivision Ordinance: Section 134-120  * Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Applied
	Required
<b>BUFFERS</b>	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along Trenton Road.  **Landscaping Ordinance: Section 110-46  * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.  **Landscaping Ordinance: Section 110-46  *Perimeter buffers must be built at time of Subdivision Improvements.</p>	Applied
	Applied
	Required
<b>NOTES</b>	
<p>* No curb cut, access, or lot frontage permitted along Trenton Road.  **Must comply with City Access Management Policy</p>	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p> <p>**Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development, submit a site plan for staff review prior to recording.</p> <p>***Zoning Ordinance: Section 138-210.</p> <p>*Proposing: Common Areas, and Private Detention Areas (Lot 1-D Detention area). must be maintained by the lot owners and not the City of McAllen.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</p> <p>**Section 134-168 applies if private subdivision is proposed.</p> <p>***Section 110-72 applies if public subdivision is proposed.</p> <p>****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</p> <p>**Homeowner's Association Covenants must be submitted for staff review, prior to recording.</p> <p>***Section 134-168 applies if private subdivision is proposed.</p> <p>****Section 110-72 applies if public subdivision is proposed.</p> <p>*****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p>	Required
	Applied
	NA
	Required
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</p> <p>**Homeowner's Association Covenants must be submitted for staff review, prior to recording.</p> <p>***Section 134-168 applies if private subdivision is proposed.</p> <p>****Section 110-72 applies if public subdivision is proposed.</p> <p>*****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p>	Required
	Required
<b>LOT REQUIREMENTS</b>	
<p>* Lots fronting public streets</p> <p>Pending items:</p> <p>-Clarify if any issues with lot frontage/access for lot 17 overlaps with existing Magic Valley Easement, finalize prior to NTP/recording.</p> <p>-Any changes to presented lots may require Planning and Zoning Commission revised approval.</p> <p>**Subdivision Ordinance: Section 134-1</p> <p>* Minimum lot width and lot area.</p> <p>**Based on lot dimensions provided and driveway requirements, it appears that some lots may not comply with landscaping requirements at time of building permit. Please provide site plan of proposed development prior to recording. As per plans submitted on 11/9/22 from developer, it appears that the lots are in compliance with requirements.</p> <p>**Zoning Ordinance: Section 138-356</p>	Required
	Applied
<b>ZONING/CUP</b>	
<p>* Existing : R3-T(townhouse residential) District Proposed : R3-T(townhouse residential) District</p> <p>**Rezoning to R3-T approved by Planning and Zoning Board at their P&amp;Z meeting of August 3, 2021 and by City commission on August 23, 2021.</p> <p>***Zoning Ordinance: Article V</p> <p>* Rezoning Needed Before Final Approval.</p> <p>**Rezoning to R3-T approved by Planning and Zoning Board at their P&amp;Z meeting of August 3, 2021 and by City commission on August 23, 2021.</p> <p>***Zoning Ordinance: Article V</p>	Compliance
	Completed

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**

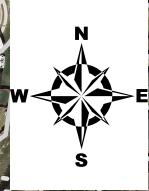


<b>PARKS</b>	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, 16 lots are proposed; therefore, \$11,200 (16 X \$700) are due prior to recording.	Required
* Pending review by the City Manager Office.	NA
<b>TRAFFIC</b>	
* As per Traffic Department, Trip Generation waived and no TIA is required.	Compliance
* Traffic Impact Analysis (TIA) required prior to final plat. **As per Traffic Department, Trip Generation waived and no TIA is required.	NA
<b>COMMENTS</b>	
Comments/Revisions needed: *Please identify what lot 17 will be use for, if proposing to use it as a common area, please identify it on plat prior to final. Owner has clarified that lot is proposed to be a buildable lot. *Paving layout provided shows a portion of the 25 ft. ROW easement to Magic Valley Easement within the pavement, any issues with overlap with proposed ROW and paving, clarify prior to NTP/recording. * Knuckle design required and lot lines will have to be adjusted accordingly to allow for required ROW back of curb along Lots 1-5 and Lots 12-16 finalize prior to NTP/recording. *Clarify if any issues with lot frontage/access for lot 17 overlaps with existing Magic Valley Easement, finalize prior to NTP/recording. *Any changes to presented lots may require Planning and Zoning Commission revised approval. *The subdivision was approved in Revised Preliminary form with a variance request to the side setbacks requirement for Lots 2-16 at the Planning and Zoning Commission meeting of December 6, 2022. *Must comply with City's Access Management Policy.	Required
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



# LOCATION



**PROPOSED HABITAT VILLAGE  
SUBDIVISION**

**LOT 1  
PROPOSED PALMHURST**





SUB2021-0087



City of McAllen  
Planning Department

APPLICATION FOR  
SUBDIVISION PLAT REVIEW

311 North 15<sup>th</sup> Street  
McAllen, TX 78501  
P. O. Box 220  
McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

Project Description	<p>Subdivision Name <u>Oak Valley Subdivision</u></p> <p>Location <u>Northeast Corner of Bryan Road and Mile 6 North Road</u></p> <p>City Address or Block Number <u>9600 N. BRYAN RD</u></p> <p>Number of lots <u>32</u> Gross acres <u>27.00</u> Net acres <u>25.37</u></p> <p>Existing Zoning <u>N.A.</u> Proposed <u>N.A.</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>Vacant</u> Proposed Land Use <u>Multi-Family</u> Irrigation District # <u>United Irr.</u></p> <p>Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input type="checkbox"/> ETJ Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due _____</p> <p>Parcel No. <u>318652</u> Tax Dept. Review _____</p> <p>Legal Description <u>The South 26.97 Acres (Deed 27.00 Acres) (25.37 Ac. Net) Out of Lot 45-11, West Addition to Sharyland</u></p>
Owner	<p>Name <u>Raymundo P. Platas / Oak Valley LLP</u> Phone <u>956 258 4656</u></p> <p>Address <u>Violet Av 4100</u></p> <p>City <u>McAllen TX</u> State <u>TX</u> Zip <u>78504</u></p> <p>E-mail <u>Theinvestmenttour@gmail.com</u></p>
Developer	<p>Name <u>Oak Valley LLP</u> Phone <u>956 258 4656</u></p> <p>Address <u>Violet Av. 4100</u></p> <p>City <u>Mc</u> State <u>TX</u> Zip <u>78504</u></p> <p>Contact Person <u>Raymundo P. Platas Herino</u></p> <p>E-mail _____</p>
Engineer	<p>Name <u>Rene Barrera, P.E.</u> Phone <u>956-687-3355</u></p> <p>Address <u>3525 W. Freddy Gonzalez Ave, Suite B2,</u></p> <p>City <u>Edinburg</u> State <u>TX</u> Zip <u>78539</u></p> <p>Contact Person <u>Rene Barrera, P.E.</u></p> <p>E-mail <u>rene@big-engineering.com</u></p>
Surveyor	<p>Name <u>PABLO SOTO JR., RPLS</u> Phone <u>956-460-1605</u></p> <p>Address <u>1208 SOUTH IRONWOOD</u></p> <p>City <u>PHARR</u> State <u>TX</u> Zip <u>78577</u></p>

Carlos Alanis  
Imperial Nurseries of TX

RPM

ENTERED

AUG 13 2021

Initial: NM



VAR2023-0007



City of McAllen

# Planning Department

## VARIANCE TO SUBDIVISION PROCESS APPLICATION

 311 North 15<sup>th</sup> Street  
 McAllen, TX 78501  
 P. O. Box 220

 McAllen, TX 78505-0220  
 (956) 681-1250  
 (956) 681-1279 (fax)

Project	Legal Description <u>Proposed Oak Valley Subdivision Being a 26.97 acre tract of land out of Lot 45-11 West addition to Sharyland S/D as per map recorded in Vol. 1 pg 56 MRHC</u> Street Address <u>Northeast Corner of North Bryan Road and North mile 6 rd, McAllen, Tx</u> Number of lots <u>68</u> Gross acres <u>26.97 ac</u> Existing Zoning <u>R3 - Multi-Family</u> Existing Land Use <u>Vacant</u> <input checked="" type="checkbox"/> Current Survey and Metes and Bounds (if the legal description of the tract is a portion of a lot) is required
	Applicant Name <u>Oaks Valley 1 LP-M.I. International Group LLC</u> Phone <u>956 884-6130</u> Address <u>4100 violet Ave.</u> E-mail <u>nestor1322@yahoo.com</u> City <u>McAllen</u> State <u>Texas</u> Zip <u>78504</u>
Owner	Name <u>Nestor Montemayor Managing Partner M.I. International Group LLC</u> Phone _____ Address _____ E-mail _____ City _____ State _____ Zip _____
Authorization	To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization. Signature <u>Nestor J. Montemayor</u> Date <u>2/10/2023</u> Print Name <u>Nestor J Montemayor</u> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Authorized Agent
Office	*FOR OFFICE USE ONLY* APPLICATION FILING FEE: <input type="checkbox"/> \$250.00 Accepted by _____ Payment received by _____ Date _____ Rev 06/21 <div style="text-align: right;"> </div>





**City of McAllen**  
***Planning Department***  
**REASON FOR APPEAL**

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: *(If necessary, please use an additional page to complete responses)*

\*\*Information provided here by the applicant does not guarantee that the Commission will grant a variance.

\*\*\*Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

Request the Following:

1) 15 Ft Front Setback Variance for Covered Carports for Lots 1-62 for the Proposed Oak Valley S/D

2) Request 50' Street Right of Way for the internal East - West Steet & Culdesac Additions

2. Described how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

1) The Variance request for the Carports will allow the future residents to protect their valuable automobiles from the natural elements and inclement weather

2). The 50ft Right of Way Variance would promote additional buildable areas of residences in the areas of minimal lot depth

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

1). The 15' setbacks for the carports will be located outside of all easements, including electrical easements

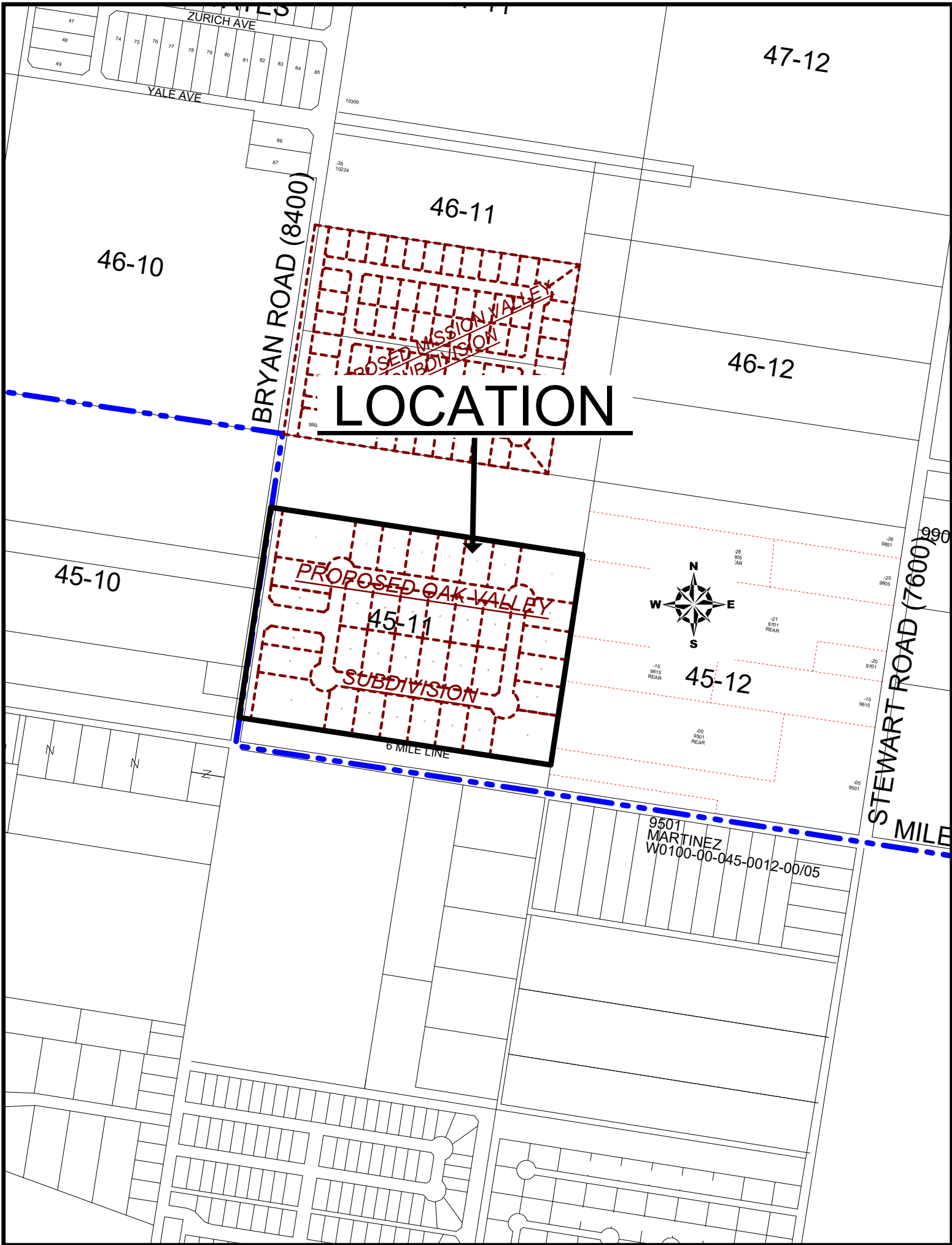
2) In regards to the 50 ft Right of Way Variance, the required 40 ft section of Roadway will still be constructed as per City of McAllen Specifications

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

1) The 15 ft front setback will not hinder the proper construction of the residences, only enhance the living experiance.

2). The 50' Right of Way Variance will not hinder the installation of sidewalks and utilities, Additional Easements will be dedicated in the plat for construction of utilities.





47-12

46-11

46-10

46-12

LOCATION

45-10

45-11

45-12



STEWART ROAD (7600) MILE

BRYAN ROAD (8400)

PROPOSED OAK VALLEY  
SUBDIVISION

PROPOSED MISSION VALLEY  
SUBDIVISION

6 MILE LINE

9501  
MARTINEZ  
W0100-00-045-0012-00/05



PLAT OF  
OAK VALLEY SUBDIVISION

HIDALGO COUNTY, TEXAS

PLAT OF THE SOUTH 26.97 ACRES (DEED 27.00 ACRES) (25.95 AC. NET)  
MORE OR LESS OUT OF LOT 45-11, WEST ADDITION TO SHARYLAND,  
HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN  
VOLUME 1, PAGE 56, H.C.M.R.

THE STATE OF TEXAS  
COUNTY OF HIDALGO

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED  
HEREIN AS THE OAK VALLEY SUBDIVISION AN ADDITION TO THE CITY OF MCALLEN, AND WHOSE  
NAME IS SUBSCRIBED HERETO, HEREBY GRANT AN EASEMENT TO SAID CITY AND THOSE WHO  
MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE USE OF THE STREETS IS  
RESTRICTED TO THE EMPLOYEES AND AGENTS OF THE CITY OF MCALLEN, EMPLOYEES OF  
UTILITIES UNDER FRANCHISE TO SAID CITY AND RESIDENTS OF THE SUBDIVISION AND THEIR  
GUEST. ADDITIONAL PUBLIC RIGHT FOR NORTH BRYAN ROAD IS BEING DEDICATED BY THIS  
PLAT.

OWNER: OAK VALLEY, LLC.  
BY: NESTOR MONTEYAYOR  
4100 VIOLET AVE.  
MCALLEN, TEXAS 78504

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED  
\_\_\_\_\_, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS  
SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE  
EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY  
OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC IN AND FOR HIDALGO COUNTY, TEXAS  
EXPIRATION DATE: \_\_\_\_\_

I, THE UNDERSIGNED CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF  
MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAN CONFORMS TO ALL REQUIREMENTS OF  
THE SUBDIVISION OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING & ZONING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION  
PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN  
MY APPROVAL IS REQUIRED.

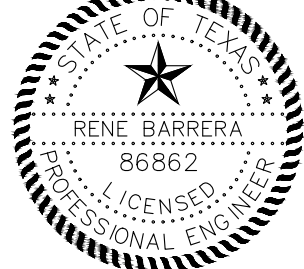
MAYOR, CITY OF MCALLEN \_\_\_\_\_ DATE \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF HIDALGO

I, RENE BARRERA, P.E. A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF  
TEXAS, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND  
ADEQUATE ENGINEERING CONSIDERATION.

*Rene Barrera*  
Revised  
2/23/23

RENE BARRERA, P.E.  
LICENSED PROFESSIONAL ENGINEER No. 86862



STATE OF TEXAS  
COUNTY OF HIDALGO

I, PABLO SOTO JR., A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE  
STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY  
MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE  
UNDER MY SUPERVISION ON THE GROUND.

PABLO SOTO JR., R.P.L.S.  
REG. PROFESSIONAL LAND SURVEYOR #4802

HIDALGO COUNTY DRAINAGE DISTRICT No. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS  
FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED  
UNDER TEXAS WATER CODE 49.211(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT  
CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE  
SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE  
RESPONSIBILITY OF DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT. NO. 1

RAUL E. SESIN, P.E., C.F.M.  
GENERAL MANAGER \_\_\_\_\_ DATE \_\_\_\_\_

THIS PLAT IS HEREBY APPROVED BY UNITED IRRIGATION DISTRICT SUBJECT TO THE CONDITION THAT IF IRRIGATION  
FROM SAID SUBDIVISION IS DESIRED TO THE INDIVIDUAL LOTS IN SAID SUBDIVISION, PROVISION SHALL BE MADE FOR  
APPROPRIATE EASEMENTS FOR THE INSTALLATION OF NECESSARY IRRIGATION FACILITIES TO SUCH LOTS FROM THE  
CLOSEST WATER DISTRICT DELIVERY POINT AND IT SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY  
TO INSTALL AND MAINTAIN SUCH NECESSARY FACILITIES.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

PRESIDENT \_\_\_\_\_ SECRETARY \_\_\_\_\_

UNITED IRRIGATION DISTRICT NOTES

- ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT AND NO  
OTHER UTILITIES OR USE IS ALLOWED WITHOUT EXPRESS APPROVAL BY THE DISTRICT.
- NO UTILITY COMPANY OR OTHER PERSON IS ALLOWED TO CROSS ABOVE OR BELOW  
GROUND ANY DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR  
OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM THE DISTRICT.
- NO PERMANENT STRUCTURE (I.E. FENCES OR DRIVEWAYS OF ANY CONSTRUCTION) WILL  
BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF  
WAY WITHOUT WRITTEN APPROVAL BY THE DISTRICT. ANY UNAUTHORIZED STRUCTURE IN  
THE EASEMENT AREA IS SUBJECT TO REMOVAL.
- NO UTILITY COMPANY OR OTHER PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT  
FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM THE IRRIGATION DISTRICT. ANY  
CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO REMOVAL.

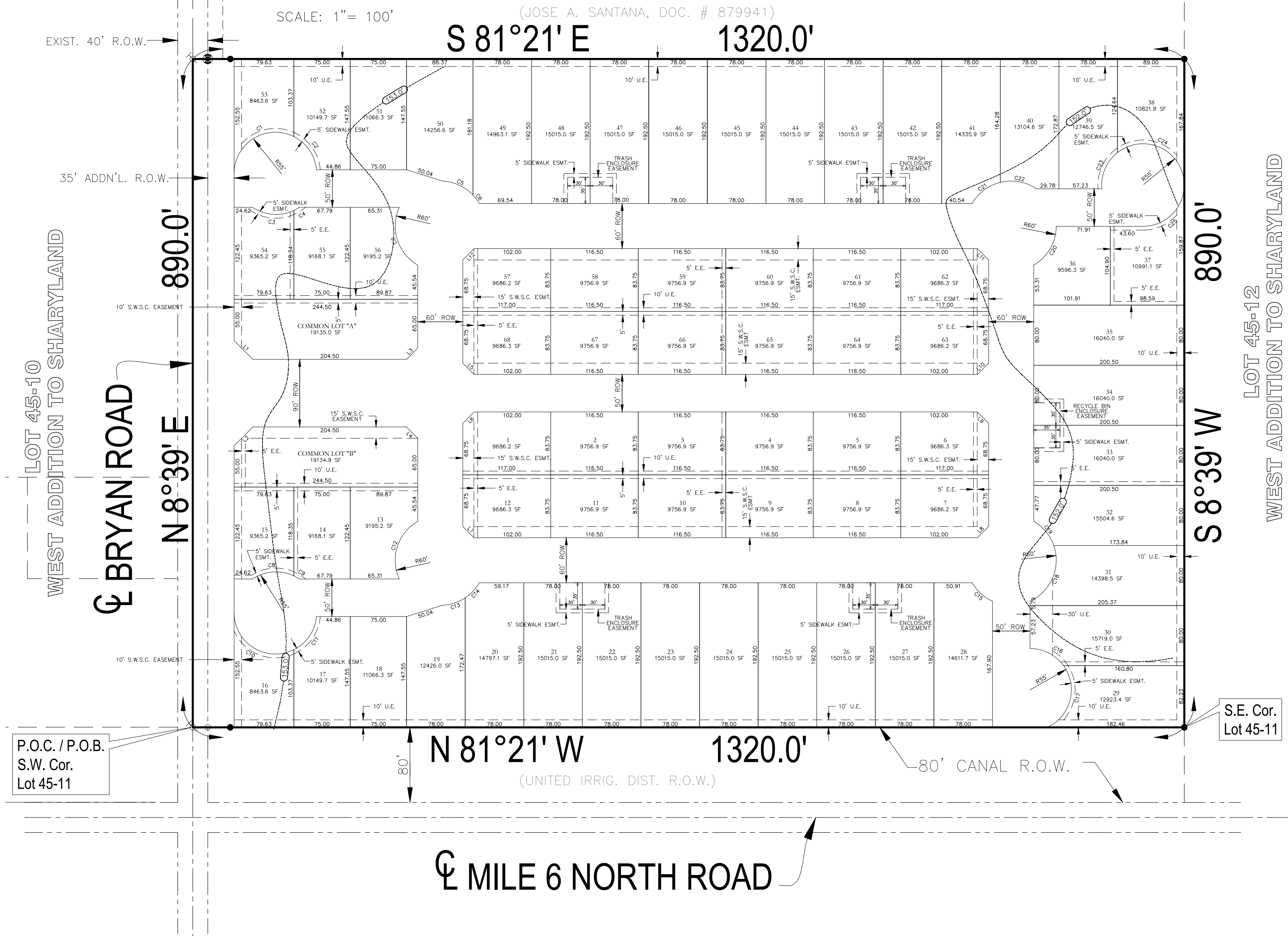
PRINCIPAL CONTACTS:	ADDRESS	CITY & ZIP	PHONE	FAX
OAK VALLEY LLP	4100 VIOLET AVE.	MCALLEN, TX 78504	956-258-4656	
OWNER: C/O NESTOR MONTEYAYOR				
ENGINEER: RENE BARRERA, P.E.	3525 W. FREDDY GONZALEZ	EDINBURG, TX 78539	956-687-3355	956-992-8801
SURVEYOR: PABLO SOTO JR., R.P.L.S.	1208 S. IRONWOOD	PHARR, TX. 78857	956-460-1605	

(HIDALGO COUNTY DRAINAGE DIST. No. 1)

LOT 45-11  
WEST ADDITION TO SHARYLAND  
V.1, P. 56, M.R.

(JOSE A. SANTANA, DOC. # 879941)

S 81°21'E 1320.0'



P.O.C. / P.O.B.  
S.W. Cor.  
Lot 45-11

N 81°21' W 1320.0'

(UNITED IRRIG. DIST. R.O.W.)

1/2 MILE 6 NORTH ROAD

METES AND BOUNDS

BEING THE SOUTH 26.97 ACRES (DEED 27.00 ACRES)  
(25.95 AC. NET) OUT OF LOT 45-11, WEST ADDITION TO  
SHARYLAND, HIDALGO COUNTY, TEXAS, AS PER MAP OR  
PLAT THEREOF RECORDED IN VOLUME 1, PAGE 56, H.C.M.R.,  
AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

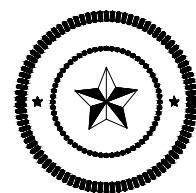
COMMENCING AT THE SOUTHWEST CORNER OF LOT 45-11  
FOR THE POINT OF BEGINNING AND SOUTHWEST CORNER OF  
THIS TRACT;

THENCE, NORTH 08 DEGREES 39 MINUTES EAST, WITH THE  
WEST LINE OF LOT 391, A DISTANCE OF 890.00 FEET TO A  
40-D NAIL FOUND FOR THE NORTHWEST CORNER OF THIS  
TRACT;

THENCE, SOUTH 81 DEGREES 21 MINUTES EAST AT 20.00  
FEET PASS A 5/8 INCH PIPE FOR THE EAST RIGHT OF WAY  
LINE OF BRYAN ROAD AND CONTINUING A TOTAL DISTANCE  
OF 1,320.00 FEET TO A 1/2 INCH IRON ROD FOUND AT THE  
EAST LINE OF LOT 45-11 FOR THE NORTHEAST CORNER OF  
THIS TRACT;

THENCE, SOUTH 08 DEGREES 39 MINUTES WEST WITH THE  
EAST LINE OF LOT 45-11, A DISTANCE OF 890.00 FEET TO  
A 1/2 INCH IRON ROD FOUND AT THE SOUTHEAST CORNER  
OF LOT 45-11 FOR THE SOUTHEAST CORNER OF THIS  
TRACT;

THENCE, NORTH 81 DEGREES 21 MINUTES WEST, WITH THE  
SOUTH LINE OF LOT 45-11, AT 1,300.00 FEET PASS A 1/2  
INCH IRON ROD FOUND ON THE EAST RIGHT OF WAY LINE  
OF SAID BRYAN ROAD, A TOTAL DISTANCE OF 1,320.00  
FEET TO THE POINT OF BEGINNING AND CONTAINING 26.97  
ACRES OF LAND MORE OR LESS: (DEED 27.00 ACRES)



FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY

GENERAL PLAT NOTES:

- MINIMUM SETBACK LINES:  
FRONT = 20' EXCEPT 15' FOR UNENCLOSED CARPORT ONLY OR  
GREATER FOR EASEMENTS  
REAR = 10' OR GREATER FOR EASEMENTS  
INTERIOR SIDE = 6' OR GREATER FOR EASEMENTS  
CORNER = 10' OR GREATER FOR EASEMENTS  
GARAGE = 10' EXCEPT WHERE GREATER SETBACK IS REQUIRED;  
GREATER SETBACK APPLIES

- FLOOD ZONE STATEMENT:  
FLOOD ZONED DESIGNATION: ZONE "AE" - SPECIAL FLOOD  
HAZARD AREAS INUNDATED BY 100-YEAR FLOOD WHERE BASE  
FLOOD ELEVATIONS HAVE BEEN DETERMINED (BFE=153.0);  
COMMUNITY PANEL NO. 480334 0295 D; EFFECTIVE: JUNE 6,  
2000

- CONSTRUCTION OF RESIDENTIAL HOUSING WITHIN ANY  
PORTION OF THE SUBDIVISION THAT IS IN THE 100-YEAR  
FLOOD PLAIN IS PROHIBITED UNLESS THE HOUSING QUALIFIES  
FOR INSURANCE UNDER THE NATIONAL FLOOD INSURANCE  
ACT OF 1958 (42 U.S.C. SECTIONS 4001 - 4127)

- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 153.0 FEET AS  
PER F.I.R.M. BASE FLOOD ELEVATION. AN ELEVATION  
CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A  
DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT  
PERMIT APPLICATION.

- IN ACCORDANCE WITH THE COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED  
TO OBTAIN A TOTAL OF 202,367 CF OR 4.65 AC-FT OF STORM RUNOFF. DRAINAGE DETENTION SHALL BE ACCOMPLISHED BY MEANS  
DESCRIBED ON DRAINAGE REPORT SHEET NO. 5 OF STORM DRAINAGE IMPROVEMENTS LAYOUT.

- DEVELOPER SHALL PROVIDE N ENGINEERED DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT PRIOR TO ISSUANCE OF  
BUILDING PERMIT.

- UNLESS OTHERWISE NOTED ON THIS PLAT, THE LOTS ARE MONUMENTED BY 1/2 INCH WIDE BY 18" LONG IRON RODS.

- LOCAL BENCHMARK IS AN IRON ROD FOUND APPROXIMATELY 17.5 FEET NORTH OF CONCRETE RIP-RAP APPROXIMATELY 52 FEET WEST OF  
BRYAN ROAD AND WEST MAIN DRAIN. ELEVATION =157.75 (FT. NGVD) ; F.I.R.M. REFERENCE MARKER: RM 5-295

- NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG NORTH BRYAN ROAD AND NORTH 6 MILE ROAD.

- A 4.0 FOOT WIDE MINIMUM SIDEWALK IS REQUIRED ON BRYAN ROAD AND ON BOTH SIDES OF ALL INTERIOR STREETS.

- COMMON/DETENTION AREAS, ANY PRIVATE STREETS/SERVICE DRIVES, STREET ISLANDS, AND/OR GATE AREA MUST BE MAINTAINED  
BY THE LOT OWNERS AND NOT THE CITY OF MCALLEN

- DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNER, THEIR SUCCESSOR AND ASSIGNS, AND NOT THE CITY OF MCALLEN, SHALL BE RESPONSIBLE  
FOR COMPLIANCE OF INSTALLATION AND MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 134-168 OF THE SUBDIVISION  
ORDINANCE, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND ITS PRIVATE STREETS.

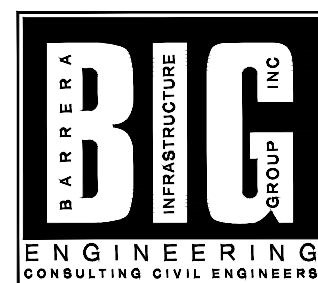
- NO STRUCTURE SHALL BE PERMITTED UNDER ANY EASEMENT. EASEMENT SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, SHEDS, SHRUBS,  
TREES AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER  
OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.

- ALL SHARYLAND WATER SUPPLY CORPORATION EASEMENTS ARE EXCLUSIVE, NO OTHER USE OF EASEMENT IS PERMITTED WITHOUT THE  
EXPRESS WRITTEN APPROVAL OF SHARYLAND WATER SUPPLY CORP.

- AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR OAK VALLEY SUBDIVISION RECORDED AS DOCUMENT NUMBER  
HIDALGO COUNTY, OFFICIAL RECORDS, DEVELOPER/HOMEOWNERS ASSOCIATION/OWNER, THEIR SUCCESSOR AND OR  
ASSIGNS, AND NOT THE CITY OF MCALLEN SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND OR REQUIREMENTS AS PER  
SECTION 134-168 OF THE CODE OF ORDINANCES OF THE CITY OF MCALLEN, INCLUDING BUT NOT LIMITED TO THE COMMON AREAS AND  
PRIVATE STREETS. ANY AMENDMENT TO DECLARATIONS THAT CONFLICT WITH THE REQUIREMENTS OF SECTION 134-168 SHALL BE NULL AND  
VOID.

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	111.93	55.00	116.60	N66° 57' 02"E	93.59
C2	55.85	55.00	58.18	S25° 39' 27"E	53.48
C3	57.71	55.74	59.32	N77° 04' 57"W	55.17
C4	8.30	55.74	8.53	S68° 59' 25"W	8.30
C5	45.80	60.00	43.73	S56° 44' 55"E	44.70
C6	14.17	60.00	13.53	S28° 06' 56"E	14.14
C7	88.56	60.00	84.57	N9° 03' 51"W	80.74
C8	57.71	55.74	59.32	S85° 37' 03"E	55.17
C9	8.30	55.74	8.53	S51° 41' 26"E	8.30
C10	111.93	55.00	116.60	N49° 39' 02"W	93.59
C11	55.85	55.00	58.18	S42° 57' 27"W	53.48
C12	88.56	60.00	84.57	N26° 21' 51"E	80.74
C13	32.23	60.00	30.78	S80° 31' 35"W	31.85
C14	27.74	60.00	26.49	S51° 53' 37"W	27.49
C15	37.19	60.00	35.51	N39° 06' 17"W	36.59
C16	51.96	55.00	54.13	S54° 17' 06"E	50.05
C17	97.19	55.00	101.25	S23° 24' 18"W	85.03
C18	88.42	60.00	84.44	S31° 40' 23"W	80.64
C19	42.73	60.00	40.80	S30° 56' 51"E	41.83
C20	62.46	60.00	59.64	S38° 49' 39"W	59.68
C21	48.19	60.00	46.02	N61° 39' 27"E	46.90
C22	50.45	60.00	48.18	S71° 14' 43"E	48.88
C23	54.75	55.00	57.03	N31° 57' 01"E	52.51
C24	123.02	55.00	128.16	S55° 27' 21"E	98.93
C25	86.35	55.00	89.96	S53° 39' 27"W	77.75

Parcel Line Table	
Line #	Direction
L1	S35.36° S36° 21' 00.00"E
L2	S35.36° S53° 39' 00.00"W
L3	21.21° N53° 39' 00.00"E
L4	21.21° N36° 21' 00.00"W
L5	21.21° S36° 21' 00.00"E
L6	21.21° S53° 39' 00.00"W
L7	21.21° S36° 21' 00.00"E
L8	21.21° N53° 39' 00.00"E
L9	21.21° N36° 21' 00.00"W
L10	21.21° N53° 39' 00.00"E
L11	21.21° N36° 21' 00.00"W
L12	21.21° S53° 39' 00.00"W



3525 W. Freddy Gonzalez Ave.  
Suite B2  
Edinburg, TX 78539  
956-687-3355, FAX: 956-992-8801  
TEXAS FIRM NO.: 6435





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 4/14/2023

### SUBDIVISION NAME: OAK VALLEY

#### REQUIREMENTS

#### STREETS AND RIGHT-OF-WAYS

North Bryan Road: 35 ft. dedication for 55 ft. from centerline for 115 ft. of total ROW  
Paving: 65 ft. Curb & gutter: Both sides  
Revisions Needed:  
-Add "North" to all Bryan Road references prior to final.  
-Include Existing ROW and detail and annotation on both sides of Centerline, prior to recording.  
\*\*Engineer submitted a is requesting a variance to allow a 30 ft. dedication instead of the required 40 ft. from for 60 ft. from centerline. At the Planning and Zoning Commission meeting of February 16th,2022,Staff indicated the engineer and staff had met and that a 35 ft. ROW dedication would not impact the existing pavement, sidewalks, water line and buffer previously constructed on North Bryan Road. The engineer and owner were present and mentioned that they were in agreement to dedicating 35 ft. of ROW. Following discussion, the Board unanimously voted to approve the subdivision in revised preliminary form and at the City Commission meeting of March 28th the variance request was approved for 35 ft. ROW dedication as agreed upon by developer and staff.  
\*\*\*Clarify if "15 ft. SWSC Easement" will be abandoned or relocated since it appears that it may encroach into the required ROW dedication. As per plat submitted on April 10th,2023 plat presents required 35ft. additional ROW with a 10 ft. SWSC Easement along North Bryan Road.  
\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan  
\*\*Monies must be escrowed if improvements are not constructed prior to recording.  
Entrance Street: 90 ft. ROW  
Paving: 23 ft. of paving on each side of island proposed Curb & gutter: Both sides  
\*Ensure that ROW at gate locations accommodates proposed improvements, finalize prior to recording.  
\*\*Boulevard island proposed 20ft. of paving from face to face is required on both sides.  
\*\*\*Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan  
\*\*\*Monies must be escrowed if improvements are not constructed prior to recording.

Required

Applied



<p>Internal Streets: 50-60 ft. ROW  Paving: 40 ft. of paving required. 20 ft. of paving on each side of islands. Curb &amp; gutter: Both sides  Pending Items:  -Developer submitted a variance application on April 10, 2023 requesting that the ROW be reduced from 60 ft. to 50 ft., the engineer has indicated that the 40 ft. paving width will remain. As per paving layout submitted on April 10, 2023, Middle E/W street is proposed with 50 ft. ROW and 43 ft. of paving face-face and Cul-de-sacs streets are proposed to be 50 ft. ROW with 40 ft. paving face-face. Development staff has reviewed the request and indicated that if approved that a 10 ft. U.E and Sidewalk Easement be dedicated along the front of the lots as applicable.  -Revise street names as follows  *E/W Street north of lots 57-62- Stanford Avenue  *E/W Street south of lots 63-68-Rutgers Avenue  *E/W Street south of lots 7-12- Rice Avenue  *N/S Street west side-N.83rd Street.  *N/S Street east side-N.80th Street.  * As per engineer and developer, islands will be removed to comply with paving requirements prior to NTP/recording.  **Engineer to show documents where agreement to cross 80 ft. Canal Row. As per plat submitted on 07/22/22 secondary access will now be along North Bryan Road.  **Engineer to show who owns 80 ft. Canal ROW on plat prior to final. As per plat submitted on July 22, 2022 80 ft. Canal ROW is labeled as United Irrigation District.  *Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan  **Monies must be escrowed if improvements are not constructed prior to recording.</p>	Required
<p>N/S 1/4 Mile Collector Road along east property line: 30-35 ft. dedication for 60-70 ft. of total ROW  Paving: 40-44 ft. Curb &amp; gutter: Both sides  *Road not required due to E/W Drain Ditch located north of development.  *Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan  **Monies must be escrowed if improvements are not constructed prior to recording.</p>	NA
<p>Paving _____ Curb &amp; gutter _____  *Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan  **Monies must be escrowed if improvements are not constructed prior to recording.</p>	NA
<p>* 1,200 ft. Block Length.  **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 900 ft. Block Length for R-3 Zone Districts.  **Subdivision layout exceeds 900 ft. block length for R-3 Zone Districts, after review of the area due to exiting canal ROW to the the south and existing drain ditch to the north , a north south street would not be feasible for this development.  **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 600 ft. Maximum Cul-de-Sac.  Revisions Needed:  -5 ft. Sidewalk dedication along Cul-De-Sacs, may have to be increased and revised to include U.E to comply with Utility Department requirements, finalize prior to NTP/recording.  **Cul-de-sacs radius must be increased to comply with paving requirements and ROW required back-of-curb. 96 ft. of paving face-face required as per Fire Dept. and 10 ft. of ROW required back-of-curb along cul-de-sac perimeter.  ***Subdivision Ordinance: Section 134-105</p>	Required



ALLEYS	
ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties and multi-family properties. **Subdivision layout is being processed with public works centralized locations. ***Subdivision Ordinance: Section 134-106	NA
SETBACKS	
* Front:20 ft. except 15 ft. for unenclosed carport only, or greater for easements or approved site plan, or in line with average setback, whichever is greater applies. **As per application dated April 10th,2023,developer submitted a variance to allow a 15ft. front setback for unenclosed carports only. Pending Items: -If the variance request is approved, the front setback note should be revised as noted above, prior to recording. **Zoning Ordinance: Section 138-356	Required
* Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. **Revise plat note as shown above, finalize prior to recording. ***Proposing:10 ft. or greater for easements ****Zoning Ordinance: Section 138-356	Required
* Sides: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions Needed: -Revise plat note as shown above, finalize prior to recording **Proposing: 6 ft. or greater for easements. ****Zoning Ordinance: Section 138-356	Required
* Corner: 10 ft. or greater for easements or approved site plan, whichever is greater applies. Revisions Needed: -Revise plat note as shown above, finalize prior to recording. ***Proposing: 10 ft. or greater for easements. ****Zoning Ordinance: Section 138-356	Required
* Garage: 18 ft. except where a greater setback is required, greater setback applies **Zoning Ordinance: Section 138-356	Applied
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 4 ft. wide minimum sidewalk required along North Bryan Road and on both sides of all interior streets. **Proposing: A 4.0 foot wide minimum sidewalk is required on Bryan Road and on both sides of all interior streets. ***Subdivision Ordinance: Section 134-120	Applied
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, and along North Bryan Road and North 6 Mile Road. ***Landscaping Ordinance: Section 110-46	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<ul style="list-style-type: none"> <li>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.</li> <li>Revisions Needed:</li> <li>-Please add plat note as shown above prior to recording.</li> <li>***Landscaping Ordinance: Section 110-46</li> <li>*Perimeter buffers must be built at time of Subdivision Improvements.</li> </ul>	Required
	Required
<b>NOTES</b>	
<ul style="list-style-type: none"> <li>* No curb cut, access, or lot frontage permitted along North Bryan Road and North 6 Mile Road.</li> <li>***City's Access Management Policy</li> <li>* Site plan must be approved by the Planning and Zoning Commission prior to building permit issuance.</li> <li>**Requirement might be triggered depending on the # of units proposed per lot on the multifamily lots.</li> <li>* Common/Detention Areas, any private streets/service drives, street islands, and/or gate area must be maintained by the lot owners and not the City of McAllen</li> <li>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</li> <li>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</li> <li>**Section 134-168 applies if private subdivision is proposed.</li> <li>***Section 110-72 applies if public subdivision is proposed.</li> <li>****Landscaping Ordinance: Section 110-72</li> <li>*****Subdivision Ordinance: Section 134-168</li> <li>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</li> <li>**Homeowner's Association Covenants must be submitted for staff review, prior to recording.</li> <li>***Section 134-168 applies if private subdivision is proposed.</li> <li>****Section 110-72 applies if public subdivision is proposed.</li> <li>*****Landscaping Ordinance: Section 110-72</li> <li>*****Subdivision Ordinance: Section 134-168</li> </ul>	Applied
	Applied
	Applied
	NA
	Required
	Required
<b>LOT REQUIREMENTS</b>	
<ul style="list-style-type: none"> <li>* Lots fronting public streets.</li> <li>**Subdivision Ordinance: Section 134-1</li> <li>* Minimum lot width and lot area.</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Compliance
	Compliance
<b>ZONING/CUP</b>	
<ul style="list-style-type: none"> <li>* Existing: R-3A Proposed: R-3A</li> <li>**Annexation and initial zoning approved at City Commission meeting of November 22, 2021.</li> <li>**Zoning Ordinance: Article V</li> <li>* Rezoning Needed Before Final Approval</li> <li>**Annexation and initial zoning approved at City Commission meeting of November 22, 2021.</li> <li>***Zoning Ordinance: Article V</li> </ul>	Compliance
	Completed

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<b>PARKS</b>	
* Land dedication in lieu of fee. **Parkland dedication requirements waived as part of annexation incentives.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. **Parkland dedication requirements waived as part of annexation incentives.	NA
* Pending review by City Manager's Office. **Parkland dedication requirements waived as part of annexation incentives.	NA
<b>TRAFFIC</b>	
*As per Traffic Department, Trip Generation approved, TIA Waived.	Completed
* Traffic Impact Analysis (TIA) required prior to final plat. **As per Traffic Department, Trip Generation approved, TIA Waived.	NA
<b>COMMENTS</b>	
Comments: Must comply with Access Management Policy -Gate details must be approved prior to recording. -Engineer to show documents where agreement to cross 80 ft. Canal Row is recorded/approved prior to final. As per plat submitted on July 22,2022, secondary access will be along North Bryan Road. -Engineer to show who owns 80 ft. Canal ROW on plat prior to final. As per plat submitted on July 22, 2022 80 ft. Canal ROW is labeled as United Irrigation District. -Annexation and initial zoning approved at City Commission meeting of November 22, 2021. -Subdivision was approved in Revised Preliminary form at the Planning and Zoning Commission meeting of February 16,2022.	Applied
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED, AND CLARIFICATION OF THE REQUESTED VARIANCES.	Applied



ESTATES

ZURICH AVE

YALE AVE

BRYAN ROAD (8400)

47-11

47-12

46-10

46-11

46-12

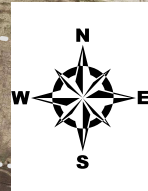
LOCATION

45-10

PROPOSED OAK VALLEY

45-11

SUBDIVISION



45-12

5 MILE LINE

STEWART ROAD (7600)

9501 MARTINEZ  
WQ100-00-045-0012-00/05





# City of McAllen

## Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)  
**SUBDIVISION PLAT REVIEW APPLICATION**

Project Information	Subdivision Name <u>ARCA SUBD.</u>	
	Location <u>SWC S. 35<sup>TH</sup> ST. : OLD U.S. HWY 83</u>	
	City Address or Block Number <u>3501 HWY 83</u>	
	Number of Lots <u>1</u> Gross Acres <u>2.25</u> Net Acres <u>1.99</u> ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
	Existing Zoning <u>C-3</u> Proposed Zoning <u>C-3</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____	
	Existing Land Use <u>OPEN</u> Proposed Land Use <u>DETAIL</u> Irrigation District # <u>1</u>	
	Replat <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Commercial <input checked="" type="checkbox"/> Residential _____	
	Agricultural Exemption <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Estimated Rollback Tax Due <u>1500<sup>00</sup></u>	
	Parcel # <u>204816</u> Tax Dept. Review <u>K7200-00-000-0005-01</u>	
	Water CCN <input checked="" type="checkbox"/> MGPU <input type="checkbox"/> Sharyland Water SC Other _____	
Legal Description <u>2.25 AC. O/O A PART OF LOTS 5 &amp; 6, KING'S HIGHWAY SUBD., 12.C.T.</u>		
Owner	Name <u>JORGE &amp; OLIVA HI</u>	Phone <u>655-0904</u>
	Address <u>2805 S. 23<sup>RD</sup> ST.</u>	E-mail <u>JORGEHI18@yahoo.com</u>
	City <u>MCALLEN</u>	State <u>TX</u> Zip <u>78503</u>
Developer	Name <u>SAME AS OWNER</u>	Phone _____
	Address _____	E-mail _____
	City _____	State _____ Zip _____
	Contact Person _____	
Engineer	Name <u>DAVID SALINAS</u>	Phone <u>682-9081</u>
	Address <u>2221 DAFRODIL AVE.</u>	E-mail <u>dsalinas@salinas-engineers.com</u>
	City <u>MCALLEN</u>	State <u>TX</u> Zip <u>78501</u>
	Contact Person <u>DAVID</u>	
Surveyor	Name <u>SAME AS ENGINEER</u>	Phone _____
	Address _____	E-mail _____
	City _____	State _____ Zip _____

COMPLETED

APR 03 2023

Name: NM



## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

### In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

### Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

\*Documents must be submitted in PDF format. No scanned documents\*

\*Please submit documents to [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

**\*ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON\***

### **PLAT TO SHOW:**

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 3/31/23

Print Name D. D. O'Connell Salinas

Owner ☐

Authorized Agent ☒

The Planning Department is now accepting DocuSign signatures on application

COMPLETED

APR 03 2023

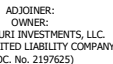
Name: NM



# LOCATION AVE










A 2.25 GROSS ACRE TRACT OF LAND, MORE OR LESS, OUT OF A PART OF A PART OF LOTS 5 AND 6, KING'S HIGHWAY SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 03, PAGE 08, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

AN ADDITION TO THE CITY OF McALLEN,  
HIDALGO COUNTY, TEXAS

PRINCIPAL CONTACTS				
	NAME	ADDRESS	CITY & ZIP	PHONE FAX
OWNER:	BEATRIZ BARRERA	3620 GUMWOOD AVE. UNIT #11	MCALLEN, TEXAS 78501	(956) 655-0494 NONE
ENGINEER:	DAVID O. SALINAS	2221 DAFFODIL AVE	MCALLEN, TEXAS 78501	(956) 682-9081 (956) 686-1489
SURVEYOR:	DAVID O. SALINAS	2221 DAFFODIL AVE	MCALLEN, TEXAS 78501	(956) 682-9081 (956) 686-1489

- LEGEND**
- |   |  |
|---|--|
|  | FOUND 1/2" IRON ROD  |
|  | FOUND IRON PIPE  |
|  | SET 1/2" IRON ROD WITH YELLOW CAP MARKED "SEA 5782" RIGHT OF WAY |
| R.O.W.  | R.O.W. LINE TO EDGE OF ASPHALT                                   |
| E-E   | EDGE OF ASPHALT TO EDGE OF ASPHALT                               |
| P.O.C.  | POINT OF COMMENCEMENT  |
| P.O.B.  | POINT OF BEGINNING   |
| H.C.D.R.  | HALDAGO COUNTY DEED RECORDS                                      |
| H.C.O.R.  | HALDAGO COUNTY OFFICIAL RECORDS                                  |
| H.C.M.R.  | HALDAGO COUNTY MAP RECORDS                                       |

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

RAUL E. SESIN, P.E., C.F.M.  
GENERAL MANAGER

FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUAJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY \_\_\_\_\_

RAUL E. SESIN, P.E., C.F.M. GENERAL MANAGER	DATE
--	------



BASIS OF BEARING: GENERAL WARRANTY DEED DOCUMENT NO. 2972412  
N-1-SUBDIVISION PLATS/ARCA SUBD/2.25.03(0123)

OWNER: BEATRIZ BARRERA  
3620 GUMWOOD AVE., UNIT #11  
McALLEN, TEXAS 78501

**SEA**  
**SALINAS ENGINEERING & ASSOC.**  
(F-6675) (TBPLS-10065700)  
**CONSULTING ENGINEERS & SURVEYORS**  
2221 DAFFODIL - MCALLEN, TEXAS 78501  
(956) 682-9081 (FAX) 686-1489 (FAX)  
TMPLS 12100 PANK 35 CIRCLE BLDG. A, SUITE 156, MC-250, AUSTIN, TEXAS 78757 (512) 238-





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 4/14/2023

### SUBDIVISION NAME: ARCA SUBDIVISION

#### REQUIREMENTS

##### STREETS AND RIGHT-OF-WAYS

U.S. Business 83: Dedication as required for 50 ft. from centerline for 100 ft. total ROW  
Paving: By State Curb & gutter: By State  
Proposed 7.5 ft. additional ROW dedication for 49.61 ft. from centerline for 100 ft. total ROW  
Revisions needed:  
- Reference the document number for the existing ROW and provide a copy of the plat for staff review prior to Final.  
- Show the total ROW and ROW from the centerline after the ROW dedication on the plat prior to final.  
- Additional ROW dedication may be required prior to final.  
\*\*Subdivision Ordinance: Section 134-105  
\*\*Monies must be escrowed if improvements are required prior to final  
\*\*COM Thoroughfare Plan

Non-compliance

South 35th Street: Dedication as required for 30 ft. from centerline for 60 ft. total ROW  
Paving: 40 ft. Curb & gutter: Both Sides  
Proposed: 5 ft. additional ROW dedication for 25 ft. from centerline  
Revisions required:  
- Show the total existing ROW and existing ROW on both sides of centerline prior to final.  
- Show the ROW from centerline and total ROW after the dedication prior to final.  
- Reference the document number on the plat for the existing ROW, and provide a copy for staff review.  
- Provide the required ROW dedication and finalize the requirements prior to final.  
\*\*Subdivision Ordinance: Section 134-105  
\*\*Monies must be escrowed if improvements are required prior to final  
\*\*COM Thoroughfare Plan

Non-compliance

Paving \_\_\_\_\_ Curb & gutter \_\_\_\_\_  
\*\*Subdivision Ordinance: Section 134-105  
\*\*Monies must be escrowed if improvements are required prior to final  
\*\*COM Thoroughfare Plan

Applied

\* 1,200 ft. Block Length  
\*\*Subdivision Ordinance: Section 134-118  
\* 900 ft. Block Length for R-3T & R-3C Zone Districts  
\*\*Subdivision Ordinance: Section 134-118  
\* 600 ft. Maximum Cul-de-Sac  
\*\*Subdivision Ordinance: Section 134-105

Applied

NA

Applied

##### ALLEYS

ROW: 20 ft. Paving: 16 ft.  
\*Alley/service drive easement required for commercial properties.  
- Provide for alley or service drive easement on the plat prior to final. Alley or service drive easement cannot dead-end.  
- If a service drive easement is proposed, it must be at least 24 ft. wide.  
\*\*Subdivision Ordinance: Section 134-106

Non-compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



SETBACKS	
<p>*Front: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater applies. Revisions Needed: -Clarify/revise note as shown above prior to final. -Proposed: 50 ft. or greater for easements or or in line with existing structures, whichever is greater **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>*Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions Needed: - Clarify/revise note as shown above prior to final. - Proposed: In accordance with the Zoning Ordinance or greater for easements **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>*Interior sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions Needed: - Clarify/revise note as shown above prior to final. - Proposed: In accordance with the Zoning Ordinance or greater for easements **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Corner: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions Needed: -Show plat note as shown above prior to final. **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Garage _____ **Zoning Ordinance: Section 138-356</p>	NA
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on U.S. Business 83 and South 35th Street. - Sidewalk requirement may increase to 5 ft. per Engineering Department prior to final. Revise the plat note as applicable prior to final. - Please use consistent name referencing U.S. Business 83 on the plat and plat notes. - Sidewalk requirement must be confirmed prior to final. **Subdivision Ordinance: Section 134-120</p>	Required
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Applied
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46</p>	Applied
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46</p>	Applied
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



NOTES	
<p>* No curb cut or access permitted along U.S. Business 83. As per Traffic Department: Spacing requirement along Hwy 83 @45 mph is 360 ft. between any streets and driveways. S.35th Street does not have a spacing requirement but still will look at proposed driveway location. A shared access may be required. **Must comply with City Access Management Policy</p> <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p> <p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. - Add the plat note as shown above prior to final.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	TBD
	Applied
	Non-compliance
	Applied
	NA
	NA
LOT REQUIREMENTS	
<p>* Lots fronting public streets **Subdivision Ordinance: Section 134-1</p> <p>* Minimum lot width and lot area **Zoning Ordinance: Section 138-356</p>	Applied
	Applied
ZONING/CUP	
<p>* Existing: C-3 Proposed: C-3 ***Zoning Ordinance: Article V</p> <p>* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V</p>	Applied
	NA
PARKS	
<p>* Land dedication in lieu of fee. * Based on the application submitted on April 3, 2023, the proposed subdivision is for commercial development. Park fees do not apply to commercial development, unless changed to residential.</p> <p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. * Based on the application submitted on April 3, 2023, the proposed subdivision is for commercial development. Park fees do not apply to commercial development, unless changed to residential.</p>	NA
	NA



<ul style="list-style-type: none"> <li>* Pending review by City Manager's Office.</li> <li>* Based on the application submitted on April 3, 2023, the proposed subdivision is for commercial development. Park fees do not apply to commercial development, unless changed to residential.</li> </ul>	NA
<b>TRAFFIC</b>	
<ul style="list-style-type: none"> <li>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</li> </ul>	Required
<ul style="list-style-type: none"> <li>* Traffic Impact Analysis (TIA) required prior to final plat.</li> <li>- Submit the trip generation to determine TIA requirement by Traffic Dept.</li> </ul>	TBD
<b>COMMENTS</b>	
Comments: <ul style="list-style-type: none"> <li>-Please provide the legal description of adjacent properties on all sides, including the properties on the north side of U.S. Business 83 and east side of South 35th Street.</li> <li>*Must comply with City's Access Management Policy.</li> </ul>	Applied
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVAL.	Applied







Sub 2023-0032

# City of McAllen

## Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)  
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>McAllen City Center Subdivision</u>	
	Location <u>The northwest corner of S. 10th Street and Expressway 83</u>	
	City Address or Block Number <u>1300 S. 10<sup>th</sup> ST</u>	
	Number of Lots <u>11</u>	Gross Acres <u>13.661</u> Net Acres <u>13.661</u> ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Existing Zoning <u>C3</u> Proposed Zoning <u>C3</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date <u>N/A</u>	
	Existing Land Use <u>Parking Area</u> Proposed Land Use <u>Commercial</u> Irrigation District # <u>3</u>	
	Replat <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Commercial <input checked="" type="checkbox"/> Residential <input type="checkbox"/>	
	Agricultural Exemption <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Estimated Rollback Tax Due <u>N/A</u> <i>✗</i>	
	Parcel # <u>189481</u> Tax Dept. Review <u>Elvadez</u>	
	Water CCN <input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____	
Legal Description <u>13.661 Acres out of Lots 9 and 16, Section 7, Hidalgo Canal Company Subdivision</u>		
Owner	Name <u>McAllen Retail Developers, LLC</u>	Phone _____
	Address <u>225 W. Washington St.</u>	E-mail _____
	City <u>Indianapolis</u> State <u>IN</u> Zip <u>46204</u>	
Developer	Name <u>McAllen City Center, Ltd.</u>	Phone <u>956-687-5217</u>
	Address <u>4316 N. 10th Street, Suite 500</u>	E-mail <u>mfallek@rgv.rr.com</u>
	City <u>McAllen</u> State <u>Texas</u> Zip <u>78504</u>	
	Contact Person <u>Michael Fallek</u>	
Engineer	Name <u>Spoor Engineering Consultants, Inc.</u>	Phone <u>956-683-1000</u>
	Address <u>202 S. 4th Street</u>	E-mail <u>sec@spooreng.com</u>
	City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u>	
	Contact Person <u>Steve Spoor, P.E.</u>	
Surveyor	Name <u>Melden and Hunt, Inc.</u>	Phone <u>956-381-0981</u>
	Address <u>115 W. McIntyre Street</u>	E-mail <u>alma@meldenandhunt.com</u>
	City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>	

COMPLETED

APR 06 2023

Name: NM

E. KF



## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

### In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

### Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

\*Documents must be submitted in PDF format. No scanned documents\*

\*Please submit documents to [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

\*ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON\*

### **PLAT TO SHOW:**

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. It is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date March 28, 2023

Print Name Steve Spoor, P.E.

Owner ☐ Authorized Agent ☒

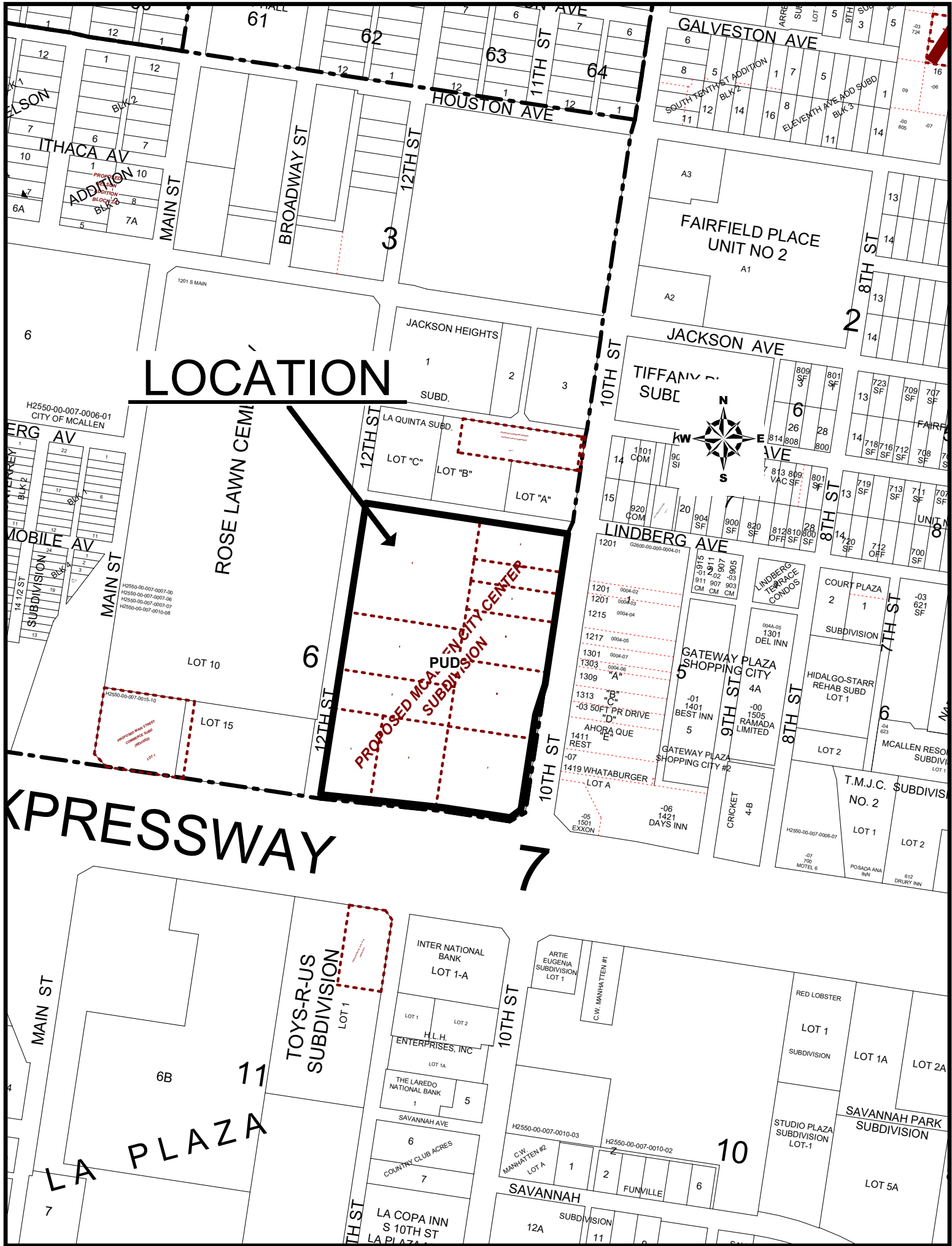
The Planning Department is now accepting DocuSign signatures on application

COMPLETED

APR 06 2023

Name: Natalie





LOCATION

PROPOSED MCALEEN CITY CENTER  
SUBDIVISION



7

10









# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 4/14/2023

### SUBDIVISION NAME: MCALLEN CITY CENTER SUBDIVISION

#### REQUIREMENTS

#### STREETS AND RIGHT-OF-WAYS

U.S. Expressway 83: Dedication as required for 175 ft. from centerline for 350 ft. total ROW  
Paving: By State Curb & gutter: By State  
Revisions needed:  
- Show centerline and the existing ROW on both sides of the centerline and total existing ROW prior to final  
- Show the total ROW and ROW from the centerline after dedication, if applicable.  
- Reference the document number for the existing ROW on the plat and provide a copy for staff review prior to final.  
- Provide a copy of the roadway and easement document referenced on the plat for staff review prior to final.  
\*\*Subdivision Ordinance: Section 134-105  
\*\*Monies must be escrowed if improvements are required prior to final  
\*\*COM Thoroughfare Plan

Non-compliance

S. 10th Street: Dedication as needed for 50 ft. from centerline for 100 ft. total ROW  
Paving: By State Curb & gutter: By State  
Revisions needed:  
- Label centerline to finalize the ROW requirements prior to final.  
- Show the total ROW and ROW from the centerline after dedication, if applicable.  
- Reference the document number for the existing ROW on the plat and provide a copy for staff review prior to final.  
- Provide a copy of the roadway and easement document referenced on the plat for staff review prior to final.  
\*\*Subdivision Ordinance: Section 134-105  
\*\*Monies must be escrowed if improvements are required prior to final  
\*\*COM Thoroughfare Plan

Non-compliance

S. 12th Street: Dedication as needed for 30 ft. from centerline for total 60 ft. of ROW  
Paving: 40 ft. Curb & gutter: Both sides  
Revisions as needed:  
- Show the centerline and label it on the plat.  
- Clarify and label if 60 ft. is the existing ROW and reference the document number on the plat and provide a copy of the plat for staff review prior to Final.  
- Show the total ROW and ROW from the centerline after the ROW dedication on the plat prior to final.  
\*\*Subdivision Ordinance: Section 134-105  
\*\*Monies must be escrowed if improvements are required prior to final  
\*\*COM Thoroughfare Plan

Non-compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<p>Lindberg Avenue: Dedication as needed for 30 ft. from centerline for total 60 ft. of ROW  Paving: 40 ft. Curb &amp; gutter: Both sides  Revisions as needed:  - Show the centerline and label it on the plat.  - Clarify and label if 50 ft. is the existing ROW and reference the document number on the plat and provide a copy of the plat for staff review prior to Final.  - Show the total ROW and ROW from the centerline after the ROW dedication on the plat prior to final.  **Subdivision Ordinance: Section 134-105  **Monies must be escrowed if improvements are required prior to final  **COM Thoroughfare Plan</p> <p>* 1,200 ft. Block Length  **Subdivision Ordinance: Section 134-118</p> <p>* 900 ft. Block Length for R-3T and R-3C Zone Districts  **Subdivision Ordinance: Section 134-118</p> <p>* 600 ft. Maximum Cul-de-Sac  **Subdivision Ordinance: Section 134-105</p>	Non-compliance
	Applied
	NA
	Applied
<b>ALLEYS</b>	
<p>ROW: 20 ft. Paving: 16 ft.  *Alley/service drive easement required for commercial properties.  - Provide for alley or service drive easement on the plat prior to final. Alley or service drive easement cannot dead-end.  - If a service drive easement is proposed, it must be at least 24 ft. wide.  **Subdivision Ordinance: Section 134-106</p>	Non-compliance
<b>SETBACKS</b>	
<p>*Front: In accordance with the Zoning Ordinance or greater for easements or approved site plan or PUD or inline with existing structures, whichever is greater applies.  Revisions Needed:  -Clarify/revise note as shown above prior to final.  -Proposed:  So. 10th Street: 50 ft. or greater for approved site plan or greater for easements  Expressway 83: 75 ft. or greater for approved site plan or greater for easements  So. 16th Street: 30 ft. or greater for approved site plan or greater for easements  Lindberg Ave.: 30 ft. or greater for approved site plan or greater for easements  **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>*Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan or PUD, whichever is greater applies.  Revisions Needed:  - Clarify/revise note as shown above prior to final.  - Proposed:  Others: According to Zoning Ordinance or greater for approved site plan or easements  **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan or PUD, whichever is greater applies.  Revisions Needed:  - Clarify/revise note as shown above prior to final.  - Proposed:  Others: According to Zoning Ordinance or greater for approved site plan or easements  **Zoning Ordinance: Section 138-356</p>	Non-compliance



<ul style="list-style-type: none"> <li>* Corner: In accordance with the Zoning Ordinance or greater for easements or approved site plan or PUD, whichever is greater applies.</li> <li>Revisions Needed: <ul style="list-style-type: none"> <li>- Clarify/revise note as shown above prior to final.</li> <li>- Proposed:</li> </ul> </li> <li>Others: According to Zoning Ordinance or greater for approved site plan or easements</li> <li>**Zoning Ordinance: Section 138-356</li> <li>* Garage _____</li> <li>**Zoning Ordinance: Section 138-356</li> <li>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</li> </ul>	Non-compliance
	NA
	Applied
<b>SIDEWALKS</b>	
<ul style="list-style-type: none"> <li>* 4 ft. wide minimum sidewalk required on Expressway 83, South 10th Street, South 12th Street, and Lindberg Avenue.</li> <li>- Sidewalk requirement may increase to 5 ft. per Engineering Department prior to final. Revise plat note #5 as applicable prior to final.</li> <li>**Subdivision Ordinance: Section 134-120</li> <li>* Perimeter sidewalks must be built or money escrowed if not built at this time.</li> </ul>	Required
	Applied
<b>BUFFERS</b>	
<ul style="list-style-type: none"> <li>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses</li> <li>**Landscaping Ordinance: Section 110-46</li> <li>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses</li> <li>**Landscaping Ordinance: Section 110-46</li> <li>*Perimeter buffers must be built at time of Subdivision Improvements.</li> </ul>	Applied
	Applied
	Applied
<b>NOTES</b>	
<ul style="list-style-type: none"> <li>* No curb cut, access, or lot frontage permitted along</li> <li>**Must comply with City Access Management Policy</li> <li>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</li> <li>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</li> <li>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</li> <li>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</li> <li>**Section 110-72 applies if private subdivision is proposed.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> <li>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</li> <li>**Section 110-72 applies if private subdivision is proposed.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> </ul>	TBD
	Applied
	Applied
	Applied
	NA
	NA

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing: C-3    Proposed: C-3 ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA
PARKS	
* Land dedication in lieu of fee. * Based on the application submitted on April 6, 2023, the proposed subdivision is for commercial development. Park fees do not apply to commercial development, unless changed to residential.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording * Based on the application submitted on April 6, 2023, the proposed subdivision is for commercial development. Park fees do not apply to commercial development, unless changed to residential.	NA
* Pending review by the City Manager's office. * Based on the application submitted on April 6, 2023, the proposed subdivision is for commercial development. Park fees do not apply to commercial development, unless changed to residential.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.	Required
* Traffic Impact Analysis (TIA) required prior to final plat.	TBD
COMMENTS	
Comments: - A CUP for a Planned Unit Development might be required prior to final. If applicable, the requirements will be finalized based on the PUD conditions prior to final. - Provide the legal description of the properties on the west side of S. 12th Street. - Provide the LLC documents and authorization letter from the owners prior to final. *Must comply with City's Access Management Policy.	Required
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVAL.	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**







<b>P</b>	<b>PRESENT</b>
<b>A</b>	<b>ABSENT</b>
<b>MC</b>	<b>MEETING CANCELLED</b>
<b>LQ</b>	<b>LACK OF QUORUM</b>

## 2023 ATTENDANCE RECORD FOR PLANNING AND ZONING COMMISSION MEETINGS

[illegible]

## 2023 ATTENDANCE RECORD FOR PLANNING AND ZONING COMMISSION WORKSHOPS

[illegible]





# PLANNING DEPARTMENT

311 N 15th Street McAllen, TX 78501  
Phone: 956-681-1250 Fax: 956-681-1279



## 2023 CALENDAR

### Meetings:

- City Commission
- Public Utility Board
- Planning & Zoning Board
- Zoning Board of Adjustment
- HPC - Historic Preservation Council

### Deadlines:

D- Zoning/CUP Application      N - Public Notification

\* **Holiday** - Office is closed

### JANUARY 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
1	2 <b>HOLIDAY</b>	3	4	5 N-1/17& 1/18 D-2/7 & 2/8	6	7
8	9 	10 	11	12	13	14
15	16 A-2/7 & 2/8	17	18 N-2/7 & 2/8 D-2/21 & 2/22	19	20	21
22	23 	24 	25	26 <b>HPC</b>	27	28
29	30	31				

### FEBRUARY 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1	2	3	4
5	6 A-2/21 & 2/22	7	8 N- 2/21& 2/22 D- 3/7 & 3/8	9	10	11
12	13 	14 			17	18
19	20 A-3/2 & 3/3	21	22 N-3/7 & 3/8 D-3/21 & 3/22	23 <b>HPC</b>	24	25
26	27 	28 				

### MARCH 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1	2	3	4
5	6 A-3/15 & 3/16	7	8 N-3/15 & 3/16 D-4/4 & 4/5	9	10	11
12	13 	14 			17	18
19	20 A-4/4 & 4/5	21	22 N-4/4 & 4/5 D-4/18 & 4/19	23	24	25
26	27 	28 	29 <b>HPC</b>	30	31	

### APRIL 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1
2	3 A-4/18 & 4/19	4	5 N-4/18 & 4/19 D-5/2 & 5/3	6	7 <b>HOLIDAY</b>	8
9	10 	11 	12	13	14	15
16	17 A- 5/2 & 5/3	18	19 N- 5/2 & 5/3 D-5/16 & 5/17	20	21	22
23	24 	25 	26	27 <b>HPC</b>	28	29
30						

### MAY 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
	1 A- 5/16 & 5/17	2	3 D: 6/6 & 6/7 N-5/16 & 5/17	4	5	6
7	8 	9 	10	11	12	13
14	15	16	17 D-6/20 & 6/21		19	20
21	22 	23 	24 N-6/6 & 6/7	25 <b>HPC</b>	26	27
28	29 <b>HOLIDAY</b>	30	31			

### JUNE 2023



Sun	Mon	Tue	Wed	Thu	Fri	Sat
				1	2	3
4	5 A-6/20 & 6/21	6	7 D-7/12 & 7/13 N-6/20 & 6/21	8	9	10
11	12 	13 	14	15	16	17
18	19	20	21 D-7/26 & 7/27	22	23	24
25	26 	27 	28 N-7/12 & 7/13	29 <b>HPC</b>	30	

Deadlines and Meeting Dates are subject to change at any time. Please contact the Planning Department at (956) 681-1250 if you have any questions.



## 2023 CALENDAR








### Meetings:

-  City Commission
-  Public Utility Board
-  Planning & Zoning Board
-  Zoning Board of Adjustment
- HPC - Historic Pres Council









### Deadlines:

- D- Zoning/CUP Application
- N - Public Notification
- \* **Holiday** - Office is closed









### JULY 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1
2	3	4 <b>HOLIDAY</b>	5	6	7	8
9	10  A-7/26 & 7/27	11 	12  N-7/26 & 7/27 D-8/8 & 8/9	13 	14	15
16	17	18	19	20	21	22
23	24  A-8/8 & 8/9	25 	26  N-8/8 & 8/9 D-8/22 & 8/23	27 <b>HPC</b>	28	29
30	31					









### AUGUST 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1	2	3	4	5
6	7 A- 8/22 & 8/23	8 	9  N- 8/22 & 8/23 D-9/6 & 9/7	10	11	12
13	14 	15 	16	17	18	19
20	21 A- 9/6 & 9/7	22 	23  N- 9/6 & 9/7 D-9/19 & 9/20	24 <b>HPC</b>	25	26
27	28 	29 	30	31		










### SEPTEMBER 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1	2
					A-9/19 & 9/20	
3	4 <b>HOLIDAY</b>	5	6  N-9/19 & 9/20 D-10/3 & 10/4	7 	8	9
10	11 	12 	13	14	15	16
17	18 A-10/3 & 10/4	19 	20  D-10/18 & 10/19 N-10/3 & 10/4	21	22	23
24	25 	26 	27	28 <b>HPC</b>	29	30






### OCTOBER 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
1	2	3 	4  N-10/17 & 10/18 D-11/1 - 11/7	5	6	7
8	9 	10 	11	12	13	14
15	16 A-11/1 ZBA	17 	18  N- 11/1 ZBA D-11/15 & 11/21	19	20	21
22	23 	24 	25	26 <b>HPC</b>	27	28
29	30 A- 11/15 ZBA	31				

### NOVEMBER 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1  N- 11/15 ZBA D-12/5 & 12/6	2	3	4
5	6 A-11/21 PZ	7 	8  N- 11/21 PZ	9	10	11
12	13 	14 	15  D-12/19 & 12/20	16	17	18
19	20 A-12/5&12/6	21 	22	23 <b>HOLIDAY</b>	24	25
26	27 	28 	29	30		

### DECEMBER 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1	2
3	4	5 	6 <b>HPC</b> D-TBA N-12/19 & 12/20	7	8	9
10	11 	12 	13	14	15	16
17	18 A- TBA	19 	20  D- TBA N- TBA	21	22	23
24	25 <b>HOLIDAY</b>	26 <b>HOLIDAY</b>	27	28	29	30