

AGENDA

PLANNING & ZONING COMMISSION REGULAR MEETING TUESDAY, APRIL 22, 2025 - 3:30 PM MCALLEN CITY HALL, 1300 HOUSTON AVENUE CITY COMMISSION CHAMBERS, 3RD FLOOR

At any time during the course of this meeting, the Planning & Zoning Board may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code

CALL TO ORDER -

PLEDGE OF ALLEGIANCE -

INVOCATION -

1) MINUTES:

- a) Approval for minutes from the January 21, 2025 meeting
- b) Approval for minutes from the February 4, 2025 meeting
- c) Approval for minutes from the March 4, 2025 meeting

2) PUBLIC HEARING

a) CONDITIONAL USE PERMITS:

- 1. Request of Chukwunonso Azikiwe for a Conditional Use Permit, for one year, for an Institutional Use (Assisted Living Facility) at a 2.12 acre tract of land, more or less, out of 2.24 acre tract being the south 590.1 feet out of the west 165 feet of land out of Lot 328, John H. Shary Subdivision, Hidalgo County, Texas; 4721 Buddy Owens Boulevard, Unit F **(CUP2025-0025)**

b) REZONING:

- 1. Rezone from C-3L (Light Commercial-OC) District to R-1 (Low Density Residential-UDC) District: 0.29 acre tract of land, more or less, out of Lot 287, John H. Shary Subdivision, Hidalgo County, Texas; 2900 North Taylor Road. **(REZ2025-0022)**
- 2. Rezone from C-1 (Office Building-OC) District to C-1 (Local Commercial-UDC) District: Lot 14, Block 2, Pecan Heights Subdivision, Hidalgo County, Texas; 1622 Pecan Boulevard. **(REZ2025-0024)**
- 3. Rezone from C-3 (General Business - OC) District to C-2 (Regional Commercial - UDC) District: Lots 2A and 3A of Lots 2A and 3A Dove Commercial Park Subdivision, Hidalgo County, Texas; 2209 & 2201 Dove Avenue. **(REZ2025-0025)**
- 4. Rezone from R-1 (Single-Family Residential - OC) District to R-1 (Low Density Residential - UDC) District: Lots 1-13, Rancho Subdivision, Hidalgo County, Texas; 5201 - 5611 South 29th Street. **(REZ2025-0027)**

Rezone from R-1 (Single-Family Residential - OC) District to R-1 (Low Density Residential - UDC) District: Lots 14-26, Rancho Subdivision, Hidalgo County, Texas; 5610 - 5200 South 28th Street. **(REZ2025-0027)**

Rezone from R-1 (Single-Family Residential - OC) District to R-1 (Low Density Residential - UDC) District: Lots 27-39, Rancho Subdivision, Hidalgo County, Texas; 5201 - 5611 South 28th Street. **(REZ2025-0027)**

Rezone from R-1 (Single-Family Residential - OC) District to R-1 (Low Density Residential - UDC) District: Lots 40-52, Rancho Subdivision, Hidalgo County, Texas; 2700 Sarah Avenue / 5200 - 5600 South 27th Street. **(REZ2025-0027)**

c) SUBDIVISION:

1. Nelson Addition Lots 5A and 6A Subdivision (Previously KMB Subdivision), 821 South 16th Street, SAMES Inc. **(SUB2025-0034) (FINAL) SAMES**
2. ODM Subdivision Lot 2A (Previously Oaks at Northgate Subdivision), 1921 Northgate Lane, Oscar and Rosie V. Sotelo Living Trust **(SUB2025-0002) (FINAL) REG**
3. Balboa Acres West Half of Lot 9, Block 28, 3411 Elmira Avenue, Karina Sanchez **(SUB2025-0060) (FINAL)**
4. Balboa Acres East Half of Lot 9, Block 28, 3409 Elmira Avenue, Karina Sanchez **(SUB2025-0058) (FINAL)**
5. Balboa Acres West Half of Lot 10, Block 28, 3405 Elmira Avenue, Karina Sanchez **(SUB2025-0061) (FINAL)**
6. Balboa Acres East Half of Lot 10, Block 28, 3401 Elmira Avenue, Karina Sanchez **(SUB2025-0059) (FINAL)**

3) SITE PLAN:

- a) Site Plan approval for Lot 9B, Phase IVA, Jackson Commerce Development Subdivision, Hidalgo County, Texas; 1101 E. Highway 83 **(SPR2023-0049)**

4) CONSENT:

- a) Sharyland Business Park – Project Circle Subdivision, 4800 Tanya Avenue, Van Trust Real Estate, LLC **(SUB2025-0051) (FINAL) KHA**

5) SUBDIVISIONS:

- a) Amistad McAllen Subdivision, 4120 North Taylor Road, Amistad McAllen **(SUB2025-0013) (REVISED PRELIMINARY) TC**

- b) Hobb's Farm Subdivision, 309 Hobbs Drive, Alvaro Gonzalez (SUB2025-0055) (PRELIMINARY) PSJ**
- c) De Rios Subdivision, 3021 South "J" Street, Tomas Rios Jr. (SUB2025-0052) (PRELIMINARY) SEA**
- d) Russell Creek Phase I Subdivision, 13701 North 23rd Street, Elite Development 786, LLC (SUB2025-0053) (PRELIMINARY) M2E**
- e) The Palms Homes Subdivision, 4313 Colbath Avenue, Milimex Development LLC (SUB2025-0054) (PRELIMINARY) BIG**
- f) The Villas at Jonquil Subdivision, 512 Jonquil Avenue, Effective Real Estate (SUB2025-0050) (PRELIMINARY) BIG**
- g) Enclave on Jackson Subdivision, 2613 North Jackson Road, Vista Property Investment LLC (SUB2025-0056) (FINAL) M&H**
- h) North Ridge Estates Subdivision, 9501 North 23rd Street, Domain Development, Corp. (SUB2023-0067) (REVISED FINAL) M&H**

6) DISCUSSION:

7) INFORMATION ONLY:

ADJOURNMENT:

IF ANY ACCOMMODATIONS FOR A DISABILITY ARE REQUIRED, PLEASE NOTIFY THE PLANNING DEPARTMENT (681-1250) 72 HOURS BEFORE THE MEETING DATE. WITH REGARD TO ANY ITEM, THE PLANNING & ZONING COMMISSION MAY TAKE VARIOUS ACTIONS, INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR PARTICULAR ACTION AT A FUTURE DATE.

STATE OF TEXAS
COUNTY OF HIDALGO
CITY OF McALLEN

The McAllen Planning and Zoning Commission convened in a Regular Meeting on Tuesday, January 21, 2025 at 3:30p.m.at the McAllen City Hall, 3rd Floor Commission Chambers Room,1300 Houston Avenue, McAllen, Texas.

Present:	Michael Fallek Marco Suarez Jesse Ozuna Reza Badiozzamani	Chairperson Member Member Member
Absent:	Gabriel Kamel Emilio Santos Jr Jose Saldana	Vice-Chairperson Member Member
Staff Present:	Martin Canales Michelle Rivera Luis Mora Omar Sotelo Samuel Nunez Kaveh Forghanparast Julio Constantino Hilda Tovar Adriana Solis Natalie Moreno Samantha Trevino Victor Grey Even Gonzalez Eduardo Mendoza Carmen White	Assistant City Attorney III Assistant City Manager Interim Planning Director Development Coordinator Senior Planner Planner III Planner III Planner II Planner II Planner II Planner I Planner Technician I Development Engineer Director of Engineering Administrative Assistant

CALL TO ORDER – Chairperson Mr. Michael Fallek

PLEDGE OF ALLEGIANCE

INVOCATION-. Mr. Marco Suarez

1) MINUTES:

a) Approval of minutes for the October 22, 2024 meeting.

Being no discussion, Mr. Marco Suarez motioned to approve minutes. Mr. Jesse Ozuna second the motion with four members present and voting.

2) PUBLIC HEARING:

a) CONDITIONAL USE PERMITS:

1) Request of Oscar I. Guerrero on behalf of RZ United LLC., for a Conditional Use Permit, for one year, for a Vaporizer Store at Lot 18A & 1.99% Common Area 'A', Broadway North Subdivision Phase, Hidalgo County, Texas; 721 Dove

Avenue. **(CUP2024-0146)**

Ms. Adriana Solis stated that the property is located along the southeast corner of Dove Avenue and North 10th Street. The subject property is zoned C-3 (General Business) District. The adjacent zoning is C-1 (Office Building) district to the east, C-3 to the west, and R-1 (Single Family Residential) district to the south. There is also R-1 district to the northeast across Dove Avenue. Surrounding land uses on the subject property are Pizza Hut, Casa Petrides, Helium Trampoline Park, Plant Based Cuisine restaurant, Holiday Wine & Liquor and various other commercial uses. A vaporizer store is allowed within a C-3 district with a Conditional Use Permit (CUP) and in compliance with requirements.

A Conditional Use Permit for a vaporizer store at this location was approved by City Commission on December 11, 2023. An application for a renewal was submitted on December 16, 2024.

The applicant is proposing to operate a CBD and vaporizer store in a 1,660 square feet property as per Hidalgo County Appraisal District records. The store hours are to be Monday through Sunday from 10:00 A.M. to 11:00 P.M. The applicant has stated in the past that no smoking is allowed on the premises. This is strictly a retail operation.

The Fire Department has inspected the location and indicated the CUP process may continue. As per Section 138-400 of the Zoning Ordinance, the parking lot must be properly striped and free of potholes. The establishment must comply with requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of the Lot of the above mentioned business must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 P.M. The proposed establishment is within 400 ft. from an R-1 (Single Family Residential) property to the north and south.
- 2) The business must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The property has access to Dove Avenue.
- 3) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. The 1,660 square feet vaporizer shop would require 7 parking spaces; there are 316 common parking spaces provided on site.
- 4) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties;
- 5) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
- 6) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and

- 7) The above-mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

Staff has not received any phone calls, emails, or letters in opposition to the request.

Staff recommends disapproval of the request based on noncompliance with requirement listed above as #1 (distance) of Section 138-118(a) (4) (a) of the Zoning Ordinance.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

After a brief discussion, Mr. Marco Suarez moved to disapprove with favorable recommendation based on noncompliance with requirement listed above as #1 (distance) of Section 138-118(a) (4) (a) of the Zoning Ordinance. Mr. Jesse Ozuna second the motion with four members present and voting.

- 2) Request of Loretta L. Johnson on behalf of Gabriel Kamel (FK Real Estate LLC), for a Conditional Use Permit, for one year, and adoption of an ordinance for a bar at Block 4A, North Park Estates Unit 2 Subdivision, Hidalgo County, Texas; 1701 Dove Avenue Suites 75 & 80. **(CUP2024-0149)**

Ms. Samantha Trevino stated that the property is located on the southwest corner of Dove Avenue and North 17th Street and is zoned C-3 (general business) District. The adjacent zoning is C-3L (light commercial) District to the north and east, R-3A (apartments) to the North and south, and A-O (agricultural and open space) District to the west. Surrounding land uses include a multitenant plaza, retail, Golds Gym, Apartments, and single family residential. A bar is allowed in a C-3 District with a Conditional Use Permit and in compliance with requirements.

This is the initial conditional use permit request for a bar at this location. The application as submitted December 16, 2024.

The applicant is proposing to operate a bar (Broken Spoke) from two existing suites that total about 1,890 square feet. The proposed hours of operation would be Tuesday through Sunday from 12 p.m. to 2 a.m.

The Fire and Health Departments have inspected the bar and the property is in compliance. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

1. The property line of the Lot of the abovementioned business must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The establishment is within 400 ft. of a residential zone or use;
2. The abovementioned business must be as close as possible to a major arterial, and shall not allow the traffic generated by such businesses onto residential streets, or allow such traffic to exit into and disrupt residential areas. The establishment has direct access to Dove Avenue

and does not generate traffic into residential areas;

3. The abovementioned business must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. Based on the square footage, 19 parking spaces are required and about 126 are provided as per site plan in a shared parking lot.
4. The abovementioned business must do everything possible to prevent the unauthorized parking by the patrons of such businesses on adjacent business or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances.
5. The abovementioned business should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility of as much as possible of the site from a public street.
6. The abovementioned business must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties.
7. The abovementioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Director of Planning. This number cannot exceed the number provided for in existing city ordinances.

Staff has not received any phone calls, emails, or letters in opposition to the request.

Staff is recommending disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(a)(4) of the Zoning Ordinance.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Mr. Marco Suarez moved to disapprove with favorable recommendation based on noncompliance with requirement #1 (distance) of Section 138-118(a)(4) of the Zoning Ordinance. Mr. Jesse Ozuna second the motion with four members present and voting.

- 3) Request of Anita Moon on behalf of Greater McAllen Association of Realtors, for a Conditional Use Permit, for life of the use, and adoption of an ordinance for two portable buildings greater than 10' x 12' at Lot B1, Aim Media, Hidalgo County, Texas; 1324 East Nolana Avenue. (CUP2024-0093)**

Ms. Natalie Moreno stated that the subject property is located on the south side of Nolana Avenue and west of North Jackson Road. The Greater McAllen Association of Realtors is currently on the subject property. The property is zoned C-3 District. The adjacent zoning is C-3 District in all directions. Surrounding land uses include O'Reilly Auto Parts, KRGV Channel Five News, One Nolana Center, Freedom Bank, and a vacant lot. A portable building is allowed in a C-3 District with a Conditional Use Permit and in compliance with requirements.

The initial application for one portable building greater than a 10 x 12 at this location was submitted on September 07, 2021. The application was amended for adding a second portable building. A conditional use permit for life of use was submitted on August 20, 2024 for two portable buildings.

On August 20, 2024, staff noticed that the second portable building was only 2 feet away from the building. Our code calls for structures to be 5 feet away from the main structure. On October 09, 2024 the applicant applied for a variance with the Zoning Board of Adjustments and Appeals to see if they can be granted the 2 feet to the main structure. After the discussion and item was tabled, the applicant decided to move the structure to be in compliance. The portable building is being relocated.

The applicant is wanting to utilize two portable buildings Shed #1 will measure 8 feet deep, 18 feet wide, and Shed #2 will measure 8 feet deep and 20 feet wide. The two portable buildings will be located on the south side of the subject property. The portable building will be in compliance with requirements. The portable buildings will be used for storage of outdoor equipment, picnic tables, chairs, event signs and sign holders

The Fire Department completed their inspection and has allowed the CUP to continue. Should the Conditional Use Permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The portable building must also meet the requirements set forth in Section 138-118 of the Zoning Ordinance and specific requirements as follows:

- 1) Portable buildings shall not be used for living quarters. Portable building will be used for banners, signs, etc.
- 2) Portable buildings shall be located in such a manner as to have access to a public right-of-way within 200 feet.
- 3) Portable buildings approved for occupancy shall be connected to an approved water distribution and sewage disposal system.
- 4) Portable buildings shall be provided with garbage and trash collection services.

If approval is granted to this request, the applicant must still comply with all other Zoning Ordinance and Building Code requirements that will be requested during the building permit process.

Staff did not receive any phone calls, letters, or emails in opposition to this request.

Staff recommends approval of the request, for life of use, subject to Section 138-118 of the Zoning Ordinance, Building, and Fire Department requirements.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Mr. Marco Suarez questioned the differences of a shed and a portable building. Board members requested the item be approved as a 2 year conditional use permit and not life of use. Chairperson, Mr. Michael Fallek asked if the applicant had any questions or comments. The applicant did not respond.

After a brief discussion, Mr. Jesse Ozuna moved to approve for 2 years instead of the requested life of use. Mr. Reza Badiozzamani second the motion with four members present and voting.

b) REZONING:

- 1) Rezone from C-1 (Office Building) District to R-3 (High Density Residential) District: 2.14-acre tract of land out of the North ½ of Lot 4, Section 12, Hidalgo Canal Company's Subdivision, Hidalgo County, Texas; 1501 Trenton Road. (REZ2024-0070)**

Ms. Natalie Moreno stated that the subject property is located on the southwest corner of Trenton Road and North Main Street. The property is zoned as C-1 (Office Building) District.

The applicant is requesting to rezone the property to R-3 (High Density Residential) District to construct apartments. The property is currently vacant.

The adjacent properties are A-O (Agriculture & Open Space) District to the north, R-3C (Condominiums) District to the east, R-1 (Single Family Residential) District to the south, and C-1 District to the West.

Surrounding land uses include Homer J. Morris Middle School, Kids being Kids Academy, single family residential homes, vacant land and Extreme Auto Clinic.

The Envision McAllen Future Land Use Plan designates the future land use for this property to as Complete Communities. Duplex, townhomes, triplex/quadplex, small multifamily (defined as 8-12 units) and neighborhood scale mixed-use retail are the most appropriate developments for this type of use. This includes diverse housing options and promotes walkability.

The development trend of this area is primarily a mix of single family residential and commercial. There is currently an R-3A (Multifamily Residential Apartments) District subdivision to the east of the subject property. However, the use of most all of that subdivision is duplex/quadplex which would be more appropriate as R-2 (Medium Density Residential) District.

There was a request to rezone the property from A-O District to R-3C (multifamily condominiums) District that was approved by the City Commission Board on June 6, 1992. There was a request to rezone the property from R-3C District to C-3 District but was disapproved by the City Commission Board on November of 2002. Lastly, there was a request to rezone the property from R-3C District to C-1 (office building) District and was approved by the City Commission Board July 26, 2004. The current rezoning application was submitted December 12, 2024.

The requested zoning does not conform to Envision McAllen's Future Land Use designation. High density residential will be at odds in areas with established single family residential and no access to mix-uses.

A subdivision and site plan review will be required prior to building permit issuance for any future developments in the property. Any future developments must also comply with the permitted and conditional uses of the designated zoning district.

Staff has received one email, and two phone calls in opposition to the rezoning request regarding traffic, lack of privacy, noise, accidents and parking.

Staff recommends disapproval of the rezoning request to R-3 (High Density Residential) District. However, alternatively, staff recommends approval to R-2 (Medium Density Residential) District since this would be more compatible zone to single family zones and uses to the south and will allow for duplex to fourplex apartment developments.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was two.

Citizen Ms. Arlene Garcia (1404 Thunderbird) stated her concerns are traffic congestion due to all the schools, business and parking, she states that adding town homes will add more issues with heavy traffic. She also stated that she does not feel that this type of project aligns with the Envision 2040 plan.

Citizen Ms. Sylvia Barr (7113 North 15th Street) stated her concerns are loss of privacy that come with two story town homes, noise, late evening lighting, and traffic safety. She feels that this type of project will decrease the quality of life.

Mr. Ivan Garcia, Rio Delta Engineering, on behalf of the applicant, stated they are creating buffers and block walls to address the privacy concern. They are taking all concerns and city guidelines into consideration when developing the project.

After a lengthy discussion, Mr. Marco Suarez moved to disapprove the rezoning request. Mr. Jesse Ozuna second the motion with four members present and voting with one member, Mr. Reza Badiozzamani voting nay.

- 2) Initial Zoning to R-2 (duplex-fourplex residential) District: 1.43-acre tract of land out of Lot 14, section 280, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas; 2401 Sprague Road. **(REZ2024-0061)**

Ms. Hilda Tovar stated that the subject property is located along the north side of West Sprague Road, approximately 330 feet west of North 23rd Street.

The applicant is proposing annexation of the property and is requesting R-2 (duplex-fourplex residential) District. A feasibility plan has not been submitted. The initial zoning to R-2 District will become effective upon the annexation of the tract into the City.

The adjacent properties are zoned R-1 (single family residential) District in all directions, except the property on the west side which is currently outside of McAllen's City limits with no zoning designation.

The property is currently vacant. Surrounding uses include single family residences, multifamily residential, commercial uses, and vacant land.

The Envision McAllen Future Land Use Plan designates the future land use category for this property as Complete Communities which allows for established low-density neighborhoods to welcome compatible density and commercial uses into their neighborhoods via incremental infill. These areas are majority residential, with some office, retail, and other nonresidential uses that serve residents.

The development trend along West Sprague Road is a mostly single family residential and multifamily residential.

The tract of land has been in the City's Extra-Territorial Jurisdiction (ETJ) since October 1, 1981 and therefore there was not a zoning designation for it.

An annexation application was submitted with an initial zoning request to R-2 on November 19th, 2024.

The requested zoning does conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan and it is compatible with the surrounding zoning districts and development trend along West Sprague Road.

The applicant is requesting to be annexed into the City of McAllen. The annexation will require the applicant to subdivide the property and be in compliance with all other conditions subject to the Zoning Ordinance.

A recorded subdivision plat is required prior to building permit issuance. A masonry screen eight feet in height shall be required where a commercial, industrial or multifamily use has a side or rear property line in common with a single-family use or zone. Required parkland dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

Staff received one phone call in opposition to the initial zoning request due to traffic, value of property and privacy concerns.

Staff recommends approval of the initial zoning request to R-2 (duplex-fourplex residential) District.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was none.

Being no discussion, Mr. Marco Suarez moved to approve initial zoning request to R-2 (duplex-fourplex residential) District. Mr. Jesse Ozuna second the motion with four members present and voting.

- 3) Rezone from R-1 (single family residential) District to R-3T (multifamily residential townhouses) District: 1.81-acre tract of land out of Lot 14, section 280, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas; 10921 North 23rd Street. (REZ2024-0062)**

Ms. Hilda Tovar stated that the subject property is located along the west side of North 23rd Street. The property is zoned R-1 (single family residential) District.

The applicant is requesting to rezone the property to R-3T (multifamily residential townhouses) District. The property is currently vacant and a feasibility plan has not been submitted yet.

The adjacent properties on the north and east are zoned R-1 (single family residential) District, and the properties on the south and west are currently outside of McAllen's City limits with no zoning designation. The property is currently vacant. Surrounding uses include single family residences, multifamily residential, commercial uses, and vacant land.

The Envision McAllen Future Land Use Plan designates the future land use category for this property as Complete Communities which allows for established low-density neighborhoods to welcome compatible density and commercial uses into their neighborhoods via incremental infill. These areas are majority residential, with some office, retail, and other nonresidential uses that serve residents.

The development trend along the west side of North 23rd Street and Sprague Road is mostly single family residential and multifamily residential. On the East side of North 23rd Street there is commercial and industrial uses.

The tract of land was part of the City's Extra-Territorial Jurisdiction (ETJ) in October 1, 1981 and was annexed into the City of McAllen in December 2016 with an initial zoning to R-1 (single family residential) District.

A rezoning application was submitted on November 18th, 2024.

The requested zoning does conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan and it is compatible with the surrounding zoning districts and development trend along the west side of North 23rd Street and Sprague Road.

A subdivision and site plan review will be required prior to building permit issuance for any future developments in the property. Any future developments must also comply with the permitted and conditional uses of the designated zoning district.

Staff has not received any phone calls, emails, or letters in opposition to the rezoning request.

Staff recommends approval of the rezoning request to R-3T (multifamily residential townhouses) District, since it aligns with the existing uses and development trend for this area.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was none.

Being no discussion, Mr. Jesse Ozuna moved to approve the rezoning request to R-3T (multifamily residential townhouses) District, since it aligns with the existing uses and development trend for this area. Mr. Marco Suarez second the motion with four members present and voting.

3) CONSENT:

- a) Villas on Bentsen Subdivision, 5912 North 42nd Street, Carlo and Brooke Cantu **(SUB2023-0086) (FINAL SIX-MONTH EXTENSION) QHA**
- b) The Heights on Wisconsin Subdivision, 7901 North 7th Street, DK3 Investment Group, LLC **(SUB2024-0099) (REVISED FINAL) S2E**
- c) Southfork Subdivision, 604 South Peking Street, Marie Isabelle O. Gutierrez **(SUB2024-0138) (FINAL) SEA**
- d) Estancia at Tres Lagos Phase IV Subdivision, 4900 Town Lake Drive, Rhodes Development Inc. **(SUB2024-0133) (FINAL) M&H**

Being no discussion, Mr. Marco Suarez moved to approve consent item #'s 4a-4d. Mr. Jesse Ozuna seconded the motion, which was approved with four members present and voting.

4) SUBDIVISIONS:

a) Vacating a portion of Racquet Club and Replat to Park West Subdivision, 11201 North 10th Street, Domain Development, Corp. (SUB2025-0008) (FINAL) M&H

Mr. Kaveh Forghanparast stated that the property located on North 10th Street (S.H. 336): Dedication required for 60 ft. from centerline for 120 ft. total ROW Paving: by the state Curb & gutter: by the state. Provide a copy for existing ROW documents, prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan Sprague Road: Dedication as required for 40 ft. from centerline for 80 ft. total ROW Paving: 52 ft. Curb & gutter on both sides. Clarify/revise the centerline prior to final/recording. Melden & Hunt informed us that the centerline will be corrected prior to final/recording. Provide a copy of R.O.W. documents for staff review as applicable, prior to final/recording. Show dimension of R.O.W. from Centerline after dedication. Any issues with R.O.W. dedication over waterline easement for Sprague Road must be resolved before final/recording. As per the engineer, the water line belongs to the City. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan Interior Streets (for residential lots): Dedication as required for 50 ft. total ROW Paving: 32 ft. Curb & gutter on both sides. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan E/W Quarter Mile Collector (north boundary): dedication required for 60 ft. total ROW Paving: 40 ft. Curb & gutter on both sides. The engineer submitted a variance application (VAR2024-0044) submitted on 10-11-24, including a variance to not dedicate R.O.W. nor escrow for this road. Variance was presented at the P&Z meeting of November 5, 2024. The board recommended approval and City Commission approved the variance request on November 11, 2024. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. Johnson Creek Avenue. Proposing 60 ft. of R.O.W. Paving: 40 ft. Curb & gutter on both sides. The street is proposed to be public along Lot 1 and private along Lot 2. All gates detail must fit in the private street ROW. If additional ROW is required prior to final, layout must be revised prior to final/recording. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. 1,200 ft. Block Length. The engineer submitted a variance application (VAR2024-0044) submitted on 10-11-24, including a variance for the maximum block length of 1,200, of which block length is currently labeled as 1,252 ft. Variance was presented at the P&Z meeting of November 5, 2024. The board recommended approval and City Commission approved the variance request on November 11, 2024. Subdivision Ordinance: Section 134-118. R.O.W.: 20 ft. Paving: 16 ft. Alley/service drive easement required for commercial/multi-family properties. If private service drive is proposed in lieu of alley, a plat note must be added and finalized prior to final/recording. Subdivision Ordinance: Section 134-106. Front: Lot 1: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures whichever is greater applies. Lots 2-86: 25 ft. or greater for easements. Revisions Needed: Revise the setback note as shown above prior to final/recording. Proposing: "20 ft. or greater for easements" Zoning Ordinance: Section 138-356. Rear: Lot 1: In accordance with the Zoning Ordinance or greater for approved site plan or easements. Lots 2-86: 10 ft. or greater for easements. Zoning Ordinance: Section 138-356. Sides Lot 1: In accordance with the Zoning Ordinance or greater for approved site plan or easements (if commercial zoning). Lots 2-86: 6 ft. or greater for easements. Revisions Needed: Revise the setback note as shown above prior to final/recording. Proposing: "5 ft. or greater for easements" Zoning Ordinance: Section 138-356. Corner: Lot 1: In accordance with the Zoning Ordinance or greater for approved site plan or easements. Lots 2-86: 10 ft. or greater for easements. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required; greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. A 4 ft. wide minimum sidewalk required on North 10th Street, Sprague Road, and both sides of all interior streets. Sidewalk requirement for N. 10th Street may increase to 5 ft. as per the Engineering Department. Subdivision Ordinance: Section

134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. An 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, and along Sprague Road. Landscaping Ordinance: Section 110-46. An 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along Sprague Road. Must comply with City Access Management Policy. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Site plan review is required for Lot 1. Common Areas, any private streets, alleys, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Clarify/Revise plat note #14 as applicable, prior to final/recording. There is not lot labeled as 89 as mentioned on the plat note. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-72 applies if public subdivision is proposed. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Homeowner's Association Covenants must be submitted for staff review, prior to recording. Section 110-72 applies if public subdivision is proposed. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public/private streets. Lot 1 has a strip of land down to Sprague Rd. with only 14.25 ft. of frontage, clarify/finalize prior to final/recording. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Lot 1 has a strip of land down to Sprague Rd. with only 14.25 ft. of frontage, clarify/finalize prior to final. Verify all lots meet minimum 50 ft. frontage requirements for interior lots and 54 ft. for corner lots for the residential lots. If they don't meet the requirement, must be revised prior to final/recording. Zoning Ordinance: Section 138-356. Existing: R-3T, C-3 Proposed: R-1. It seems that a portion on the west side of Lot 1 is not zoned commercial. The engineer must verify if the lot lines matches the zoning prior to final/recording. Revise the application to reflect the zoning for Lot 1 prior to final/recording. Applications for zoning change received on October 14, 2024, to be presented at the P&Z meeting of 11/19/24 and 11/25/24 to the City Commission. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. It seems that a portion on the west side of Lot 1 is not zoned commercial. The engineer must verify if the lot lines matches the zoning prior to final/recording. Revise the application to reflect the zoning for Lot 1 prior to final/recording. Applications for zoning change received on October 14, 2024, to be presented at the P&Z meeting of 11/19/24 and 11/25/24 to the City Commission. Zoning Ordinance: Article V. As per plat submitted on July 19, 2024, plat depicts 85 residential lots, a request to pay park fees in lieu of land dedication for Vacate a Portion of Racquet Club Subdivision into Re-Plat of Park West subdivision has been submitted and approved by the City Manager's office. The request includes paying half of the park fees prior to recording and the other half prior to building permit issuance. Half of the park fees (\$29,750) based on \$350 per 85 proposed dwelling units is needed prior to recording, and \$350 per dwelling unit must be paid prior to building permit issuance. If the number of dwelling units increases, additional park fees will apply. A plat note to reflect the approved park fee variance is needed prior to recording. Proposing: Plat note regarding parkland dedication is shown as Plat Note #19". As per plat submitted on July 19, 2024, plat depicts 85 residential lots, a request to pay park fees in lieu of land dedication for Vacate a Portion of Racquet Club Subdivision into Re-Plat of Park West subdivision has been submitted and approved by the City Manager's office. The request includes paying half of the park fees prior to recording and the other half prior to building permit issuance. Half of the park fees (\$29,750) based on \$350 per 85 proposed dwelling units is needed prior to recording, and \$350 per dwelling unit must be paid prior to building permit issuance. If the number of dwelling units increases, additional park fees will apply. A plat note

to reflect the approved park fee variance is needed prior to recording. Proposing: Plat note regarding parkland dedication is shown as Plat Note #19. As per plat submitted on July 19, 2024, plat depicts 85 residential lots, a request to pay park fees in lieu of land dedication for Vacate a Portion of Racquet Club Subdivision into Re-Plat of Park West subdivision has been submitted and approved by the City Manager's office. The request includes paying half of the park fees prior to recording and the other half prior to building permit issuance. Half of the park fees (\$29,750) based on \$350 per 85 proposed dwelling units is needed prior to recording, and \$350 per dwelling unit must be paid prior to building permit issuance. If the number of dwelling units increases, additional park fees will apply. A plat note to reflect the approved park fee variance is needed prior to recording. Proposing: Plat note regarding parkland dedication is shown as Plat Note #19. As per Traffic Department, Trip Generation triggered a TIA. A TIA waiver is under review. If the waiver is approved, the development must comply with the conditions prior to final/recording. As per Traffic Department, Trip Generation triggered a TIA. A TIA waiver is under review. If the waiver is approved, the development must comply with the conditions prior to final/recording. Any abandonments must be done by separate document, not by plat, must be finalized prior to final. Application and the plat must depict the same names. Verify and review the bearings/metes and bounds to match what is shown on the plat. There is a distance and bearing on the Metes and Bounds (Save and Except) for numbers 2. & 4 that are different from what is shown on the survey. Revise/clarify plat notes #3,8,13,14,17,19, and 20. Lot area table is missing Lots 1 & 2. Vacating portion must be redone as it includes a portion that is outside of the original subdivision boundary. Legal doesn't reference un-platted acreage south to Sprague. At the Planning and Zoning Commission meeting of August 6, 2024 the board voted to approve the subdivision in preliminary form subject to conditions noted, drainage and utility approvals. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in final form, subject to the conditions noted.

Being no discussion, Mr. Jesses Ozuna moved to approve in final form, subject to the conditions noted Mr. Marco Suarez seconded the motion, which was approved with four members present and voting.

b) Mediterranean Subdivision, 13931 North Ware Road, Ancer Properties, LLC (SUB2024-0026) (FINAL) TRE

Mr. Kaveh Forghanparast stated that the property located on N. Ware Road: Dedication as required for 75 ft. from centerline for 150 ft. total ROW Paving: By the States Curb & gutter: By the State - Ensure that ROW complies with State plans for North Ware Road, prior to final. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are required prior to recording. Required Grizzly Avenue: Dedication as needed for 60 ft. total ROW. Paving: 40 ft. Curb & gutter: Both Sides Revisions Needed: The label which was reading as "50 ft. ROW dedicated by this plat" has been changed to "50 ft. ROW". Please revise it to the previous label prior to final/recording. ROW/U.E. reserved by the grantor as per Doc. No. 917187 which was shown on the plat has been removed. Clarify/submit documentation to show how it has been resolved prior to final/recording. If it has been resolved by a separate document, it should be referenced on the plat prior to recording. Clarify 10 ft. Easement dedicated to United Irrigation within ROW, need to resolve any issues with overlap, finalize prior to final. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are not constructed prior to recording. Project Engineer, on behalf of the developer, submitted a variance application (VAR2024- 0024) including a variance to provide 50 ft. ROW for the interior streets in lieu of 60 ft. ROW requirement. The applicant stated that the proposed ROW is an existing 50 ft. recorded ROW easement. If the request is approved it will be subject to 15 ft. sidewalk and utility easement on the north side as per the Engineering Department. They also added a variance to the minimum 125 ft. street jog requirement.

The submitted application states that street jog between the centerline of the proposed interior street and the existing private street on the east side of N. Ware Road, Country Meadows West Drive, is 100.12 ft. The applicant indicated that based on the subdivision location and limitations they can't comply with the requirement. They also added that TxDOT will build a median on Ware Road in this area. Planning and Zoning Commission recommended approval to the requested variances on June 18, 2024, subject to a 15 ft. sidewalk and utility easement on all lots along the north side of the interior street. The City Commission approved the variance requests on July 8, 2024, subject to a 15 ft. sidewalk and utility easement on all lots along the north side of the interior street with 50 ft. ROW and 40 ft. of paving. 1,200 ft. Block Length. Current Zoning is R-3T & C-3. 1,200 ft. block length applies to C-3 portion of the subdivision. Subdivision Ordinance: Section 134-118. 900 ft. Block Length for R-3T & R-3C Zone Districts. Current Zoning is R-3T & C-3. 900 ft. block length applies to R-3T portion of the subdivision. Subdivision Ordinance: Section 134-118. 600 ft. Maximum Cul-de-Sac. Subdivision Ordinance: Section 134-105. Project Engineer, on behalf of the developer, submitted a variance application (VAR2024- 0024) including a variance to the maximum 600 ft. Cul-de-Sac length requirement. The applicant stated that the current street length is 817.96 ft. If the variance is approved it will be subject to 40ft. of paving for the interior street. Planning and Zoning Commission recommended approval to the requested variances on June 18, 2024. The City Commission approved the variance requests on July 8, 2024, subject to a 15 ft. sidewalk and utility easement on all lots along the north side of the interior street with 50 ft. ROW and 40 ft. of paving. 20 ft. Paving: 16 ft. Revisions Needed: Lot 1: Commercial - Proposing Plat note #17: "A minimum 24 ft. private service drive easement will be established as part of the site plan for lot 1 and will be maintained by the lot owners and not the city of McAllen. "Alley/service drive easement required for commercial and multi-family properties Lots 2-10: Townhomes - Public Works approved residential collection for townhome lots. Subdivision Ordinance: Section 134-106 Front Setback: Lot 1: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater applies. Lots 2-11: Front: (proposing) 15 ft. or greater for easements. Zoning Ordinance: Section 138-356,134-367 Applied Rear Setback: Lot 1: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Lots 2-12: (Proposing) 10 feet or greater for easements. Zoning Ordinance: Section 138-356. Interior Side: Lot 1: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Lots 2-11: In accordance with the Zoning Ordinance or greater for easements. Zoning Ordinance: Section 138-356" Applied Corner Setback: Lot 1: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revision Needed: Clarify or remove the corner setback note for Lots 2-12 as none of Lots 2-12 are as a corner lot; revise as applicable prior to final/recording. Proposing: Lots 2-11: 10 ft. or greater for easements. Zoning Ordinance: Section 138-356 Required Garage Setback: Lot 1: N/A to Commercial Development. Lots 2-12: 18 ft. except where greater setback is required, greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. Lot 1 is proposed to be commercial and Lots 2-13 townhome lots. 5 ft. wide minimum sidewalk required on North Ware Road (FM 220) and 4 ft. wide minimum sidewalk required on both sides of all interior streets". Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along North Ware Road for Lot 1. Must comply with City Access Management Policy. As per Traffic Department, Lot 1 will not be granted access off Ware Road. Applied Commercial Lot: Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Multi-family Lots: Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five

single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development, submit a site plan for staff review prior to final. Common Areas, private service drives, etc. must be maintained by the lot owners and not the City of McAllen. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 110-72 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Plat notes to cross reference HOA document at time of plat recording will be required prior to final/recording. Section 134-168 applies if private subdivision is proposed. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Submit the draft HOA document for staff review prior to recording. Section 134-168 applies if private subdivision is proposed. Section 110-72 applies if public subdivision is proposed. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: R-2(Duplex-Fourplex) District and C-3 (General Business) District Proposed: R-3T (townhouse residential) District and C-3 (General Business) District. Zoning Ordinance: Article V. Annexation and initial zoning approved by City Commission on August 28, 2023. Two rezoning requests (REZ2024-0028 & REZ2024-0031) to rezone the middle and rear sides of the property to R-3T zone were approved by the City Commission on June 24, 2024. The project engineer must verify that the requested and approved zoning metes and bounds matches the proposed lot lines prior to final/recording. Rezoning Needed Before Final Approval. Zoning Ordinance: Article V Annexation and initial zoning approved by City Commission on August 28th, 2023. Two rezoning requests (REZ2024-0028 & REZ2024-0031) to rezone the middle and rear sides of the property to R-3T zone were approved by the City Commission on June 24, 2024. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per the developer, Lot 1 is proposed to be commercial and Lots 2-11 are for townhomes. As per Parks Department, park fee of \$700 per dwelling unit must be paid prior to recording. For Lot 2-11, Park Fee of \$7,000 (10 x \$700) will be required prior to recording. If the number of units change prior to recording, park fees will be adjusted accordingly. Revise the submitted application on file to reflect the correct number of dwelling units prior to final/recording. As per Traffic Department, a revised Trip Generation is approved. As per Traffic Department, TIA Level I is waived with conditions. The development must comply with the conditions of approval prior to recording. Additional Comments: Use a bold line only for the original subdivision boundary to distinguish it from the lot lines prior to final/recording. Lot lines and legal description of all adjacent lots on all sides are needed, including the east side of N. Ware Road, prior to final/recording. Please provide a copy of any referenced documents for staff review prior to final/recording. Clarify if the existing lake overlaps any of the proposed lots prior to final/recording. A separate exhibit to show any overlap may be required prior to final/recording. ROW/U.E. reserved by the grantor as per Doc. No. 917187 which was shown on the plat has been removed. Clarify/submit documentation to show how it has been resolved prior to final/recording. If it has been resolved by a separate document, it should be referenced on the plat prior to recording. As per the developer, the easement overlapping lots 1 through 12 is not an Irrigation Easement and is a Utility Easement; however, it has been labeled as an Irrigation Easement. Provide the document number on the plat, submit a copy of the document for staff review, and revise the label as applicable prior to final/recording. Label to be finalized after receiving a copy of the document prior to final/recording (e.g. U.E. dedicated by Doc. No. and abandoned by Doc No. Cross hatch the portion of the easement abandoned by the referenced document prior to recording. The submitted abandonment must be finalized and the document number must be added prior to recording. Add a label for 15 ft. Sidewalk and Utility Easement on Lot 9 (or another lot near Lot 9) prior to recording to emphasize that the easement is 15 ft., not 10 ft. as shown on Lot 12. Revise the submitted application on file to reflect the correct number of dwelling units prior to final/recording. Common Area on the west side of Lot 11 must have a

letter/number label (e.g. Lot "C" Common Area). Revise plat note 20 to reference two other common areas/detention lots prior to recording. Must comply with City's Access Management Policy. Any abandonments must be done by separate process, not by plat. Please review vicinity map and revise as applicable, e.g. McAllen's City limits. Project Engineer, on behalf of the developer, submitted a variance application (VAR2024- 0024) including: 1. A variance request to provide 50 ft. ROW for the interior streets in lieu of 60 ft. ROW requirement. 2. A variance to the maximum 600 ft. Cul-de-Sac length requirement. 3. A variance to not dedicate ROW for a N/S Collector street along the west boundary of the subdivision for a future collector street. Staff reviewed the subdivision location and determined that the west boundary of this subdivision does not about the N/S Collector location. Based on staff review, it seems that the west lot line of Lot 54 of Section 229, Tex-Mex Survey (which is the east lot line of Lot 55) would be the location of a future N/S collector street. 4. A variance to the minimum 125 ft. street jog requirement. Planning and Zoning Commission recommended approval to the requested variances on June 18, 2024, subject to a 15 ft. sidewalk and utility easement on all lots along the north side of the interior street. The City Commission approved the variance requests on July 8, 2024, subject to a 15 ft. sidewalk and utility easement on all lots along the north side of the interior street with 50 ft. ROW and 40 ft. of paving.

Staff recommends approval of the subdivision in final form, subject to the conditions noted.

Being no discussion, Mr. Marco Suarez moved to approve in final form, subject to the conditions noted Mr. Jesse Ozuna seconded the motion, which was approved with four members present and voting.

- c) Balboa Acres Subdivision, the East Half of Lot 12 Block 26, 3309 Covina Avenue, Guadalupe Trejo and Maria Irene Trejo **(SUB2024-0142) (PRELIMINARY)**

Mr. Kaveh Forghanparast stated that the property located at Covina Avenue: 60 ft. ROW (existing) Paving: Approximately 35 ft. existing Curb & gutter: both sides. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. ROW: 20 ft. Paving: existing conditions remain. Alley/service drive easement required for commercial properties Subdivision Ordinance: Section 134-106. Front: 25 ft. Zoning Ordinance: Section 138-356 Rear: In accordance with the Zoning Ordinance or greater for easements. Zoning Ordinance: Section 138-356. Sides: In accordance with the Zoning Ordinance or greater for easements. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required, greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area: Survey for the east half of Lot 12, Block 26 shows a 50 ft. width. Zoning Ordinance: Section 138-356 Existing: R-1 Proposed: R-1. Zoning Ordinance: Article V. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Traffic Department, Trip Generation waived for one lot single family lot. Existing plat notes remain the same as now exist. Public hearing is required for the subdivision of the lot. Must comply with other department requirements prior to recording as may be applicable.

Staff recommends approval of the subdivision in preliminary form subject to conditions noted, drainage, and utility approvals.

Being no discussion, Mr. Reza Badiozzamani moved to approve in preliminary form, subject to the conditions noted, drainage, and utilities approval. Mr. Jesse Ozuna seconded the motion, which was approved with four members present and voting.

- d) Herb's Subdivision, 9220 North Bentsen Road, Herb R Scurlock and Nancy Scurlock **(SUB2024-0141) (PRELIMINARY) QHA**

Mr. Julio Constantino stated that the property located on N. Bentsen Road: Dedication needed for 50 ft. ROW from centerline for total 100 ft. ROW Paving: 65 ft. Curb & gutter: both sides Revisions needed: Add document number for the existing ROW and provide a copy for staff review prior to final. Show the ROW from centerline including the dedication and total ROW prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. Front: 45 ft. or greater for easement or in line with average existing structures, whichever is greater applies. Revise the setback note as shown above prior to final. Proposing: 25 ft. or greater for easements, whichever is greater applies. Based on Sec. 134-106: In residential subdivisions which have lots abutting major or minor arterials or major collectors, the residences on such lots shall not face the major or minor arterial or major collector, unless: There shall be provided, in addition to any front setback, a 20-foot planting area (as defined in chapter 110, article II, Landscaping) between such lot and the major or minor arterial or major collector; Zoning Ordinance: Section 138-356 & 138-367. Rear: 10 ft. or greater for easements. Zoning Ordinance: Section 138-356. Sides: 6 ft. or greater for easements. Zoning Ordinance: Section 138-356. Corner (proposing): 10 ft. or greater for easements, whichever is greater applies. Remove the corner setback note prior to final, since the proposed lot is not a corner lot. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required, greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on N. Bentsen Road. Add a note as shown above prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Add a plat note as shown above prior to final. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Add a plat note as shown above prior to final. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Must comply with City Access Management Policy. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: ETJ Proposed: The application does not specify if the property owner proposes to annex the property to the City or keep it in ETJ. Clarify and revise the application prior to final. If the property remains in ETJ, the subdivision will be a dual process with the City and County and for every requirement, the stricter regulations will apply. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. The application does not specify if the property owner proposes to annex the property to the City or keep it in ETJ. Clarify and revise the application prior to final. If the property remains in ETJ, the subdivision will be a dual process with the City and County and for every requirement, the stricter regulations will apply. Zoning Ordinance: Article V. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. The application does not specify if the property owner proposes to annex the property to the City or keep it in ETJ. Clarify and revise the application prior to final. If the property is annexed, a park fee of \$700 per dwelling unit will be required prior to recording. As per Traffic Department, Trip Generation is waived for one lot single-family residential. - The application does not specify if the property owner proposes to annex the property to the City or keep it in ETJ. Clarify and revise the application prior to final. If the property remains in ETJ, the subdivision will be a dual process with the City and County and for every requirement, the stricter regulations will apply. Legal Description of all adjacent properties on all sides, including the properties on the west side on N. Bentsen Road, needed on plat prior to final. Provide an ownership map prior to final to verify that no properties will be landlocked if the proposed plat is recorded. After reviewing the ownership map, additional street ROW dedication will be finalized prior to final, if applicable. Verify and clarify/revise the lot acreage prior to final. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in preliminary form, subject to the conditions noted, drainage, and utilities approval.

Being no discussion, Mr. Reza Badiozzamani moved to in preliminary form, subject to the conditions noted, drainage, and utilities approval. Mr. Marco Suarez seconded the motion, which was approved with four members present and voting.

e) Enclave on 107 Subdivision, 2700 State Highway 107, Urban Landworks, LLC (SUB2024-0140) (PRELIMINARY) M&H

Mr. Julio Constantino stated that the property located on State Highway 107 (S.H. 107): 86 ft. from centerline for 172 ft. total existing R.O.W. Paving: by the state Curb & gutter: by the state. Need to label the name of the Road as shown above prior to final. Provide how existing R.O.W. was dedicated with document number and provide a copy for staff review, prior to final. Please add labels as required: existing, total, centerline (c.l.), proposed, etc. prior to final. All R.O.W. requirements must be addressed prior to final. There is a misplaced label for 49.7' B-B being shown in the middle of the R.O.W. Clarify the Entrance of the Subdivision into S.H. 107. Disclaimer: Any abandonments must be done by a separate instrument/document, cannot be abandoned by plat. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan Non-compliance Interior Street: Dedication as needed for 60 ft. total R.O.W. Paving: 40 ft. Curb & gutter: Both Sides. Needs to label the R.O.W. for interior streets. Show R.O.W. dedication as needed above and clarify the stub outs located along the Northern and Southern boundary prior to final. Subdivision is proposed to be private and gated, gate details are required and R.O.W. at the entrance is subject to increase in order to accommodate for gate areas, sidewalks, islands, etc. Finalize prior to final and submit gate details as applicable. Knuckles are required at the interior street intersections. Please revise the R.O.W. to show knuckles for the North east/west street (if it's not a 1/4 mile collector) prior to final. Street names will be established prior to final and plat will need to be revised accordingly. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan Non-compliance E/W Quarter Mile Collector (North Boundary): Dedication as needed 60 ft. R.O.W. Paving: 40 ft. Curb & gutter: Both Sides. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan Non-compliance N. 27th St.: 60 ft. R.O.W. required. Paving: 40 ft. Curb & gutter: Both Sides Revisions Needed: Need to provide an Area map to verify for street alignments/offsets. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. N. 28th St.: 60 ft. R.O.W. required. Paving: 40 ft. Curb & gutter: Both Sides Revisions Needed: Need to provide an Area map to verify for street alignments/offsets. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. 900 ft. Block Length for R-3T Zone Districts. Revisions Needed: The Preliminary plat submitted December 23, 2024 does not comply with block length requirements, please revise accordingly or submit a Variance request. Subdivision Ordinance: Section 134-118 Non-compliance. 600 ft. Maximum Cul-de-Sac. Revisions Needed: The preliminary plat submitted December 23, 2024 does not appear to comply with the maximum cul-de-sac length requirement. Please revise accordingly. Provide "Cul-de-sac" details. As per Fire Department requirements, 96 ft. of paving face-to-face required. 10 ft. of R.O.W. back of curb around Cul-de-Sac required. Subdivision Ordinance: Section 134-105. R.O.W.: 20 ft. Paving: 16 ft. Alley/service drive easement required for commercial and multi-family properties. Need to label the Alley and provide a label for the R.O.W. Plat submitted on December 23, 2024 proposes a private alley for the interior lots. Subdivision Ordinance: Section 134-106 Non-compliance. Front: 10 ft. or greater for easements, whichever is greater applies. Revisions Needed: Include note as shown above prior to final. Zoning Ordinance: Section 138-356.

Rear: 10 ft. or greater for easements, whichever is greater applies. Revisions Needed: Include plat note as shown above prior to final. Zoning Ordinance: Section 138-356. Sides: In accordance with the Zoning ordinance or greater for easements, whichever is greater applies. Revisions Needed: Include note as shown above prior to final. Zoning Ordinance: Section 138-356. Corner: 10 ft. or greater for easements, whichever is greater applies. Revisions Needed: Include plat note as shown above prior to final. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required; greater setback applies. Revisions Needed: Include note as shown above prior to final. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 5 ft. wide minimum sidewalk required along State Highway 107 and a 4 ft. wide minimum sidewalk required along interior streets. Sidewalk requirements may increase to 5ft. per Engineering Department, plat note wording to be finalized, prior to final. Revisions Needed: Need to add plat note as shown above prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along State Highway 107. Revisions Needed: Need to clarify with staff the section of property that is facing State Highway 107. Is this part of the Prop. Drainage Ditch? Must comply with City Access Management Policy Non-compliance. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions Needed: Add plat note as shown above prior to final. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Need to the plat note for the HOA prior to final. Section 110-72 applies if public subdivision is proposed. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72 Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Homeowner's Association Covenants must be submitted for staff review, prior to recording. Needs to add recorded Document #'s and CCR's, prior to recording. Section 110-72 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72 Subdivision Ordinance: Section 134-168. Lots fronting public/private streets. Clarify if Lots 1-13 front interior streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: R-3T (Townhouse Residential District) Proposed: R-3T (Townhouse Residential District). Zoning Ordinance: Article V. Land dedication in lieu of fee. In accordance with City of McAllen's Park Land Dedication and Park Development Fees Ordinance; fees apply at a rate of \$700 per dwelling unit. As per plat submitted on December 23, 2024 a total of \$80,500 (\$700 X 115 per lot/dwelling unit) payable prior to plat recording. If the number of lots/dwelling units changes, fees will be adjusted accordingly. Land dedication in lieu of fee. In accordance with City of McAllen's Park Land Dedication and Park Development Fees Ordinance; fees apply at a rate of \$700 per dwelling unit. As per plat submitted on December 23, 2024 a total of \$80,500 (\$700 X 115 per lot/dwelling unit) payable prior to plat recording. If the number of lots/dwelling units changes, fees will be adjusted accordingly. Land dedication in lieu of fee. In accordance with City of McAllen's Park Land Dedication and Park Development Fees Ordinance; fees apply at a rate of \$700 per dwelling unit. As per plat submitted on December 23, 2024 a total of \$80,500 (\$700 X 115 per lot/dwelling unit) payable prior to plat recording. If the number of lots/dwelling units changes, fees will be adjusted accordingly. As per Traffic Department, need to submit Trip Generation

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required to determine if TIA is required, prior to final plat. Disclaimer: Please contact the Traffic Department for more information on the Trip Generation. Traffic Impact Analysis (TIA) required prior to final plat. Location will require a secondary access that must meet Fire Department requirements. Please provide a copy of any recorded easements/documents/R.O.W. being shown on the plat for staff review prior to final. Any abandonments must be done by a separate document, not by plat, must be finalized prior to recording. Application refers to this project as a private subdivision, need to add "(Private Subdivision)" under the title of the plat on both sheets. Title of the plat should read as "Subdivision Map of Enclave on 107 Subdivision". Missing P.O.B. on the plat. Missing the Contours on the plat. Survey on file does not match in bearings and distances to the metes and bounds presented on the plat. Need to submit the corrected survey for staff review prior to final. Missing the following Signature Blocks: Mayor's Signature Block, Planning Chairman's Signature Block, City Secretary Signature Block, etc. Needs to add the correct owner's information on the owner's signature block. - Owner's signature block refers to Sprague Road and Johnson Creek Avenue, please verify this information. The signature block for the Lienholder (Vantage Bank) is duplicated. Plat description below the Title refers to this subdivision located in the City of Edinburg, please clarify. Please show the parcel information for the properties located directly north of the Ditch and South of S.H. 107. Please submit gate details for staff review prior to final. Must comply with City's Access Management Policy.

The Subdivision is scheduled to be heard at the Planning & Zoning Commission meeting of January 21, 2025 in preliminary form, subject to conditions noted, drainage & utility approvals. Please see attached review sheet.

Being no discussion, Mr. Marco Suarez moved to approve subdivision in preliminary form. Mr. Jesse Ozuna seconded the motion, which was approved with four members present and voting.

ADJOURNMENT:

There being no further business to come before the Planning & Zoning Commission, Mr. Marco Suarez adjourned the meeting at 4:14p.m. with Mr. Jesse Ozuna seconding the motion with four members present and voting.

Michael Fallek, CHAIRPERSON

ATTEST: _____
Carmen White, ADMINISTRATIVE ASSISTANT

STATE OF TEXAS
COUNTY OF HIDALGO
CITY OF McALLEN

The McAllen Planning and Zoning Commission convened in a Regular Meeting on Tuesday, February 4, 2025 at 3:31p.m.at the McAllen City Hall, 3rd Floor Commission Chambers Room,1300 Houston Avenue, McAllen, Texas.

Present:	Michael Fallek Marco Suarez Jose Saldana Emilio Santos Jr.	Chairperson Member Member Member
Absent:	Gabriel Kamel Jesse Ozuna Reza Badiozzamani	Vice-Chairperson Member Member
Staff Present:	Norma Borrego Michelle Rivera Luis Mora Omar Sotelo Rodrigo Sanchez Samuel Nunez Kaveh Forghanparast Julio Constantino Alexis Martinez Even Gonzalez Patrick Gray Victor Gray Magda Ramirez	Assistant City Attorney I Assistant City Manager Interim Planning Director Development Coordinator Senior Planner Senior Planner Planner III Planner III Planner I Development Engineer GIS Coordinator Planner Technician I Administrative Assistant

CALL TO ORDER – Chairperson Mr. Michael Fallek

PLEDGE OF ALLEGIANCE

INVOCATION-. Mr. Marco Suarez

1) MINUTES:

a) Approval of minutes for the November 5, 2024 meeting.

Being no discussion, Mr. Marco Suarez motioned to approve minutes. Mr. Jose Saldana second the motion with four members present and voting.

2) PUBLIC HEARING:

a) CONDITIONAL USE PERMITS:

- 1) Request of Victor H. Arteaga, for a Conditional Use Permit, for one year, for a Portable Food Concession Stand, at Lots 25-28 & W14.92' Lot 29, Betty-Rose Subdivision, Hidalgo County, Texas; 600 East Highway 83. **(CUP2025-0001)**

Ms. Alexis Martinez requested the item be tabled. As per the applicant, they are pending parking

agreement from neighboring business.

Being no discussion, Mr. Marco Suarez moved to table the item. Mr. Jose Saldana second the motion with four members present and voting.

b) SUBDIVISION:

**1) Suarez Subdivision, 2600 North 24th Street, Suarez Brothers, LLC (SUB2024-0128)
(FINAL) JHE**

**** Mr. Marco Suarez advised he will abstain from this item.**

Mr. Kaveh Forghanparast stated that the property located on North 24th Street: 25 ft. from centerline for 50 ft. total ROW Paving: 32 ft. Curb & gutter: both sides. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. ROW: 20 ft. Paving: 16 ft. Alley/service drive easement required for commercial properties Subdivision Ordinance: Section 134-106. Front: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater applies. Zoning Ordinance: Section 138-356. Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Zoning Ordinance: Section 138-356. Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on North 24th Street. Plat note wording to be finalized, prior to recording. Proposing: A 5 ft. sidewalk shall be required along the east side of N. 24th Street. Sidewalk requirements may increase to 5 ft. per Engineering Department. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Must comply with City Access Management Policy. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any access/service drive easements must be maintained by the lot owners and not the City of McAllen. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: C-3 Proposed: C-3. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation is approved, no TIA required. Plat note #13 indicates, "All easements are dedicated by this plat, unless otherwise stated." However, some easements shown outside the subdivision boundary with no document number being referenced. Clarify/add document numbers as applicable prior to recording. Any abandonments must be done by separate process, not by plat. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in final form subject to the conditions noted.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was none.

Being no discussion, Mr. Jose Saldana moved to approve the subdivision in final form subject to the

conditions noted. Mr. Emilio Santos Jr. second the motion with four members present and voting.

3) CONSENT:

- a) Tex-Best at Tres Lagos Subdivision, 15601 North Shary Road, ML Rhodes Ltd. **(SUB2025-0005) (FINAL) M&H**
- b) Vacating a portion of Racquet Club and Replat to Villages at Park West Subdivision, 1400 Sprague Road, Domain Development, Corp. **(SUB2025-0007) (FINAL) M&H**
- c) McAllen City Center Subdivision, 1300 South 10th Street, McAllen City Center, Ltd. **(SUB2024-0009) (FINAL) SEC**

Being no discussion, Mr. Jose Saldana moved to approve consent item #'s 3a-3c. Mr. Emilio Santos Jr. seconded the motion, which was approved with four members present and voting with Chairperson Mr. Michael Fallek abstaining from item #3c.

4) SUBDIVISIONS:

- a) Harvest Coves Subdivision Phase II, 2601 North Ware Road, Escanaba, LLC (REAR) **(SUB2024-0090) (FINAL) M&H**

Mr. Julio Constantino stated that the property located on N/S 1/4 mile collector: Dedication as needed for 60 ft. total ROW. Paving: 40 ft. Curb & gutter: Both Sides - Show and label the existing N/S ROW on the west side of the subdivision with the document number prior to final/recording. An abandonment application (ABD2024-0003) has been submitted and approved. The abandonment must be finalized prior to final/recording and the document number must be referenced on the plat prior to recording. The engineer submitted a variance application (VAR2024-0002) including a variance to the N/S quarter mile collector requirement, which was approved by the City Commission as requested by the applicant, on February 12, 2024. Two CUP applications for PUD (CUP2023-0161) for Phase I & (CUP2024-0005) for Phase II. As per Ordinance No. 2024-26 PUD was considered, passed, and Approved at the meeting of March 11, 2024, provided that all the conditions listed on the permit are met including: 1) PUD must comply with the Subdivision Ordinance Section 134-171 and the required conditions of the recorded subdivision plat, and 2) PUD must comply with the required conditions of the accompanying site plan. The plat layout must comply the layout and conditions approved by the City Commission. Plat notes cross-referencing the PUD must be finalized prior to recording and the PUD must be recorded along with the plat. Required E/W 1/4 mile collector: Dedication as needed for 60 ft. total ROW. Paving: 40 ft. Curb & gutter: Both Sides. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are required prior to recording. The engineer submitted a variance application (VAR2024-0002) including a variance to the E/W quarter mile collector requirement, which was approved by the City Commission as requested by the applicant, on February 12, 2024. As a result, the interior streets were approved with 50 ft. ROW and 32 ft. paving. Two CUP applications for PUD (CUP2023-0161) for Phase I & (CUP2024-0005) for Phase II. As per Ordinance No. 2024-26 PUD was considered, passed, and Approved at the meeting of March 11, 2024, provided that all the conditions listed on the permit are met including: 1) PUD must comply with the Subdivision Ordinance Section 134-171 and the required conditions of the recorded subdivision plat, and 2) PUD must comply with the required conditions of the accompanying site plan. The plat layout must comply the layout and conditions approved by the City Commission. Plat notes cross-referencing the PUD must be finalized prior to recording and the PUD must be recorded along with the plat. Interior Streets for R-1 (single-family residential): 50 ft. Total R.O.W. Paving: 32 ft. Curb & gutter: both sides.

Two CUP applications for PUD (CUP2023-0161) for Phase I & (CUP2024-0005) for Phase II. As per Ordinance No. 2024-26 PUD was considered, passed, and Approved at the meeting of March 11, 2024, provided that all the conditions listed on the permit are met including: 1) PUD must comply with the Subdivision Ordinance Section 134-171 and the required conditions of the recorded subdivision plat, and 2) PUD must comply with the required conditions of the accompanying site plan. The plat layout must comply the layout and conditions approved by the City Commission. Plat notes cross-referencing the PUD must be finalized prior to recording and the PUD must be recorded along with the plat. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are required prior to recording. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. The engineer submitted a variance application (VAR2024-0002) including a variance to the Block Length requirement, which was approved by the City Commission as requested by the applicant, on February 12, 2024. Two CUP applications for PUD (CUP2023-0161) for Phase I & (CUP2024-0005) for Phase II. As per Ordinance No. 2024-26 PUD was considered, passed, and Approved at the meeting of March 11, 2024, provided that all the conditions listed on the permit are met including: 1) PUD must comply with the Subdivision Ordinance Section 134-171 and the required conditions of the recorded subdivision plat, and 2) PUD must comply with the required conditions of the accompanying site plan. The plat layout must comply the layout and conditions approved by the City Commission. Plat notes cross-referencing the PUD must be finalized prior to recording and the PUD must be recorded along with the plat. 600 ft. Maximum Cul-de-Sac. The engineer submitted a variance application (VAR2024-0002) including a variance to the Maximum Cul-De-Sac Length requirement for Harvest Cove Phase I Subdivision, of which the commission approved as requested by the applicant. Subdivision Ordinance: Section 134-105. Front: 20 feet or greater for easement. Revisions needed: Revise the setback note as shown above, as approved by the PUD site plan, and remove the setback table prior to final. If the setback table is proposed, the PUD must be amended prior to final approval. Both Plat & PUD site plan must be consistent. Proposing: 20 feet or greater for easement or as shown in front setback table. Zoning Ordinance: Section 138-356. Two CUP applications for PUD (CUP2023-0161) for Phase I & (CUP2024-0005) for Phase II. As per Ordinance No. 2024-26 PUD was considered, passed, and Approved at the meeting of March 11, 2024, provided that all the conditions listed on the permit are met including: 1) PUD must comply with the Subdivision Ordinance Section 134-171 and the required conditions of the recorded subdivision plat, and 2) PUD must comply with the required conditions of the accompanying site plan. The plat layout must comply the layout and conditions approved by the City Commission. Plat notes cross-referencing the PUD must be finalized prior to recording and the PUD must be recorded along with the plat. Rear: 10 ft. or greater for easement. Zoning Ordinance: Section 138-356. Sides: 6 ft. or greater for easements. Zoning Ordinance: Section 138-356. Corner: 10 ft. or greater for easements. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required, greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on both sides of all interior street. Clarify the proposing sidewalk note prior to final, as the subdivision does not front N. Ware Road. - Proposing: A 5 ft. minimum sidewalk required along the west side of Ware Road, and 4 ft. minimum sidewalk required along both sides of all interior streets and N/A collector as applicable. Both Plat & PUD site plan must be consistent. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along the collector streets, if applicable. Plat note must be finalized based on the variance request (VAR2024-0002) prior to final. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses Revisions Needed: Revise the setback note as shown above prior to final and remove the following wording from plat note #10 prior to final: "Perimeter buffers must be built at time of subdivision improvements." Although buffers must be built, it is not a required plat note. Buffers must be shown on the PUD site plan prior to recording. Landscaping Ordinance: Section 110-46. Perimeter buffers must

be built at time of Subdivision Improvements. Applied Notes Proposing: No curb cut, access, or lot frontage permitted along N. Ware Road and other streets as applicable. Clarify N. Ware Road since the subdivision has no frontage along N. Ware Road. Must comply with City Access Management Policy Required. Two CUP applications for PUD (CUP2023-0161) for Phase I & (CUP2024-0005) for Phase II. As per Ordinance No. 2024-26 PUD was considered, passed, and Approved at the meeting of March 11, 2024, provided that all the conditions listed on the permit are met including: 1) PUD must comply with the Subdivision Ordinance Section 134-171 and the required conditions of the recorded subdivision plat, and 2) PUD must comply with the required conditions of the accompanying site plan. The plat layout must comply the layout and conditions approved by the City Commission. Plat notes cross-referencing the PUD must be finalized prior to recording and the PUD must be recorded along with the plat. Any revision of the layout requires PUD amendment. Common Areas, any detention lots, etc. must be maintained by the lot owners/HOA and not the City of McAllen. Proposing: Common or detention areas, any private streets/alleys or drives, and/or gates must be maintained by property owners/HOA and not the City of McAllen. Clarify private streets, alleys, and gates in the proposed plat notes. Based on the submitted application, the subdivision was supposed to be public. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 110-72 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72 Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Two CUP applications for PUD (CUP2023-0161) for Phase I & (CUP2024-0005) for Phase II. As per Ordinance No. 2024-26 PUD was considered, passed, and Approved at the meeting of March 11, 2024, provided that all the conditions listed on the permit are met including: 1) PUD must comply with the Subdivision Ordinance Section 134-171 and the required conditions of the recorded subdivision plat, and 2) PUD must comply with the required conditions of the accompanying site plan. The plat layout must comply the layout and conditions approved by the City Commission. Plat notes cross-referencing the PUD must be finalized prior to recording and the PUD must be recorded along with the plat. Applied ZONING/CUP. Existing: R-1 Proposed: R-1 Zoning Ordinance: Article V. Two CUP applications for PUD (CUP2023-0161) for Phase I & (CUP2024-0005) for Phase II. As per Ordinance No. 2024-26 PUD was considered, passed, and Approved at the meeting of March 11, 2024, provided that all the conditions listed on the permit are met including: 1) PUD must comply with the Subdivision Ordinance Section 134-171 and the required conditions of the recorded subdivision plat, and 2) PUD must comply with the required conditions of the accompanying site plan. The PUD and variance requests must be approved and the plat layout must comply the layout and conditions approved by the City Commission. Plat notes cross-referencing the PUD must be finalized prior to recording and the PUD must be recorded along with the plat. Rezoning Needed Before Final Approval. Zoning Ordinance: Article V. Land dedication in lieu of fee. A request to pay park fees in lieu of land dedication and also to pay \$350 per dwelling unit prior to recording and \$350 at the time of building permit issuance was submitted on January 26, 2024 and was reviewed and approved by the City Manager's Office on January 29, 2024. On September 11, 2024, the project engineer contacted the Planning Department on behalf of the developer to indicate that the dedication of hike and bike trail along Warrior Drive on the south side of Harvest Creek at Ware Subdivision Phase I was proposed and approved in lieu of park land dedication for both Harvest Creek at Ware Subdivision and Harvest Cove Phase I & Phase II. After further review, the Planning Director, determined that the approved variance covers Harvest Cove Phase I & II. A plat note to reference the hike and bike trail on Warrior Drive in lieu of park land dedication, will be needed. The plat note wording

will be finalized prior to recording. An application with the date of January 21, 2025 was submitted for the Variance on Land dedication, proposing a total of 129 lots. Needs to clarify with staff on the number of lots and changes to Variance on Land Dedication. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. A request to pay park fees in lieu of land dedication and also to pay \$350 per dwelling unit prior to recording and \$350 at the time of building permit issuance was submitted on January 26, 2024 and was reviewed and approved by the City Manager's Office on January 29, 2024. On September 11, 2024, the project engineer contacted the Planning Department on behalf of the developer to indicate that the dedication of hike and bike trail along Warrior Drive on the south side of Harvest Creek at Ware Subdivision Phase I was proposed and approved in lieu of park land dedication for both Harvest Creek at Ware Subdivision and Harvest Cove Phase I & Phase II. After further review, the Planning Director, determined that the approved variance covers Harvest Cove Phase I & II. A plat note to reference the hike and bike trail on Warrior Drive in lieu of park land dedication, will be needed. The plat note wording will be finalized prior to recording. An application with the date of January 21, 2025 was submitted for the Variance on Land dedication, proposing a total of 129 lots. Needs to clarify with staff on the number of lots and changes to Variance on Land Dedication. Pending review by City Manager's Office. A request to pay park fees in lieu of land dedication and also to pay \$350 per dwelling unit prior to recording and \$350 at the time of building permit issuance was submitted on January 26, 2024 and was reviewed and approved by the City Manager's Office on January 29, 2024. On September 11, 2024, the project engineer contacted the Planning Department on behalf of the developer to indicate that the dedication of hike and bike trail along Warrior Drive on the south side of Harvest Creek at Ware Subdivision Phase I was proposed and approved in lieu of park land dedication for both Harvest Creek at Ware Subdivision and Harvest Cove Phase I & Phase II. After further review, the Planning Director, determined that the approved variance covers Harvest Cove Phase I & II. A plat note to reference the hike and bike trail on Warrior Drive in lieu of park land dedication, will be needed. The plat note wording will be finalized prior to recording. An application with the date of January 21, 2025 was submitted for the Variance on Land dedication, proposing a total of 129 lots. Needs to clarify with staff on the number of lots and changes to Variance on Land Dedication. As per Traffic Department, Trip Generation would be honored from previous case, any changes to the current plat will required an updated Trip Gen. As per Traffic Department, Traffic Impact Analysis (TIA) Honored from previous case. All easements must be labeled on all sides prior to final. There are General Plat Notes that are different from the approved PUD Site Plan. Plat notes and PUD notes must be consistent. Application & Owner's Signature wording refers to the Subdivision as Public, but there are certain plat notes and disclaimers mentioning that this plat is for a Private Subdivision. Please clarify if public or private prior to final. Please verify survey metes and bounds with what is shown on the bearings of the plat and the boundary line table, as some items do not match the metes and bounds. Plat note #17 refers to lot 113 as detention area, please specify which Lot 113 this is referring to. If the mentioned lot is from another recorded subdivision, name and document number of the subdivision is needed. Please clarify where the details are shown on the plat. Please show the legal description of the adjacent properties on all sides. Some of the arrow annotations and dimensions shown on the plat appear to be obstructed, please arrange so that items are no longer obstructed. Any abandonment must be done by a separate process and instrument and referenced on the plat prior to final/recording. Plat notes to reference the approved PUD will be needed and must be finalized prior to final/recording. At the Planning and Zoning Commission meeting of February 6, 2024, the board voted to approve the subdivision in preliminary form subject to conditions noted, drainage and utility approvals. Two CUP applications for PUD (CUP2023-0161) for Phase I & (CUP2024-0005) for Phase II. As per Ordinance No. 2024-26 PUD was considered, passed, and Approved at the meeting of March 11, 2024, provided that all the conditions listed on the permit are met including: 1)PUD must comply with the Subdivision Ordinance Section 134-171 and the required conditions of the recorded subdivision plat, and 2) PUD must comply with the required conditions of the accompanying site plan. The plat layout must comply the layout and conditions approved by the City Commission. Plat notes cross-referencing the PUD

must be finalized prior to recording and the PUD must be recorded along with the plat. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in Final form subject to the conditions noted.

Being no discussion, Mr. Jose Saldana moved to approve in final form, subject to the conditions noted Mr. Emilio Santos Jr. seconded the motion, which was approved with four members present and voting.

b) Haven Hill Subdivision, 8017 North Ware Road, Fortis Land Company, LLC (SUB2024-0127) (FINAL) RDE

Mr. Julio Constantino stated that the property located on North Ware Rd. (F.M. 2220) : Dedication as needed for 75 ft. from centerline for 150 ft. Total R.O.W. Paving: By the State Curb & gutter: By the State Revisions Needed: Revise the Street name as shown above wherever applicable, prior to final. Need to label the Proposed, Existing R.O.W., etc. after accounting for any dedication. Use applicable arrow annotations to show this. Need to label the width and dimensions of the TxDOT parcel acquisition to finalize R.O.W. dedication. Need to label the Centerline (C.L.) of the road to determine the applicable R.O.W. dedication requirements, label these dimensions from Centerline, prior to final/recording. Include all applicable document numbers for R.O.W., easements, etc. on the plat and provide copies of these documents for staff review prior to final. Disclaimer: City of McAllen thoroughfare plan designates N. Ware Rd. as a High-Speed arterial with 150 ft. of R.O.W. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan Required Auburn Avenue (Mile 5 North): 60 ft. from centerline for 120 ft. ROW Paving: 65 ft. Curb & gutter: Both sides. Need to label the Proposing, Existing R.O.W., etc. after accounting for any dedication. Use applicable arrow annotations to show this. Need to label the Centerline (C.L.) of the road to determine the applicable R.O.W. dedication requirements, label these dimensions from Centerline, prior to final. Include all applicable document numbers for R.O.W., easements, etc. on the plat and provide copies of these documents for staff review prior to final. Disclaimer: R.O.W. varies on Auburn Ave. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan Required Internal Streets: 50 ft. ROW Paving: 32 ft. Curb & gutter: Both sides Revisions Needed: Street names will need to be assigned prior to recording. Disclaimer: Plat submitted on January 30, 2025 has the following streets labeled as streets A,B,C Interior streets along lot 41 and South to Auburn Ave. provide for 47&40 ft. of R.O.W. Variance application (VAR2024-0049) has been submitted and will be presented at the P&Z meeting of February 4, 2025. On Street B, separate the Cul-De-Sac from the South boundary line. Staff Reviewing requirement for N/S collector street. Revise plat as required to comply with requirement. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. N/S 1/4 Mile Collector Street (West-Boundary). Dedication as needed for 60 ft. of R.O.W. Paving: 40 ft. Curb & gutter: Both Sides. Staff reviewing requirement for N/S Collector Streets. Revise plat as required to comply with requirement. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. E/W 1/4 Mile Collector Street (North-Boundary). Dedication as needed for 60 ft. of R.O.W. Paving: 40 ft. Curb & gutter: Both Sides. Staff reviewing requirement for E/W Collector Street. Revise plat as required to comply with requirement. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan Non-compliance. 1,200 ft. Block Length Variance to the Block length was submitted (VAR2024-0049) and will be presented at the P&Z meeting of February 4, 2025. Subdivision Ordinance: Section 134-118. 900 ft. Block Length for R-3 Zone Districts. Subdivision Ordinance: Section 134-118. 600 ft. Maximum Cul-de-Sac. Subdivision Ordinance: Section 134-105. Front: 25 ft. or greater for easements, whichever is greater applies. Revisions needed: Include note as shown above prior to final. Zoning Ordinance: Section 138-356. Rear: 10 ft. or greater for easements,

whichever is greater applies. Revisions needed: Include note as shown above prior to final. Zoning Ordinance: Section 138-356. Interior Sides: 6 ft. or greater for easements, whichever is greater applies. Revisions needed: Include note as shown above prior to final. Zoning Ordinance: Section 138-356. Side Corner: 10 ft. or greater for easements, whichever is greater applies. Revisions needed: Include note as shown above prior to final. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required; greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on N. Ware Rd., Auburn Ave., & both sides of all interior streets. Also, both sides of Collector Streets as applicable. Revisions Needed: Revise plat note #11 as shown above once finalized, prior to final/recording. Sidewalk requirement may increase to 5 ft. as per Engineering Department prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along N. Ware Rd. Revisions needed: Revise plat note # 14 as shown above once finalized, prior to final. Other buffers may be required to comply with collector street requirements, prior to final. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along N. Ware Rd. Revisions needed: Revise plat note #12 as shown above once finalized, prior to final/recording. Other streets may be included in restricting curb cuts once Collector Streets are abandoned, prior to final. Must comply with City Access Management Policy Required. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Section 110-72 applies if public subdivision is proposed. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: AO (Agricultural and Open Space District) Proposed: R-1 (Single-Family Residential District) Application for Zoning Change (REZ2024-0060) was submitted on November 15, 2024 and will be presented at the December 17, 2024 Planning & Zoning meeting. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Application for Zoning Change (REZ2024-0060) was approved at the December 17, 2024 Planning & Zoning meeting. Zoning Ordinance: Article V. Land dedication in lieu of fee. Based on the application submitted on 11/25/2024, 45 single-family residential lots are proposed. A park fee of \$700 per dwelling unit (\$31,500 total) is required prior to recording. The park fee is subject to change if the number of dwelling units changes. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Based on the application submitted on 11/25/2024, 45 single-family residential lots are proposed. A park fee of \$700 per dwelling unit (\$31,500 total) is required prior to recording. The park fee is subject to change if the number of dwelling units changes. Pending review by the Parkland Dedication Advisory Board and CC. Based on the application submitted on 11/25/2024, 45 single-family residential lots are proposed. A park fee of \$700 per dwelling unit (\$31,500 total) is required prior to recording. The park fee is subject to change if the number of dwelling units changes. As per Traffic Department, Trip Generation is approved, no TIA required. Subdivision Name on the application is specified as "Haven Hill Subdivision" however, the engineer's title block on the right side refers to the project name as "Haven Hills Subdivision." Need to

verify that the subdivision name is consistent throughout all applications, reports, paperwork, etc. On the Owner's acknowledgement signature block, the wording being used is the one used for 'Private' Subdivisions, please make sure the wording required for 'Public' Subdivisions. On the Vicinity Map, make sure that the North Arrow is clearly visible, perhaps move it more to the left side of the vicinity map to help with its clarity. Plat notes refer to various lot #'s that are above the # of lots presented on the plat. (e.g. Plat note #3 mentions lots 117,118,119,etc.) Disclaimer: Any abandonment of easements must be done by a separate instrument/document, cannot be abandoned by plat, must be done prior to final. At the request of the engineer, the subdivision is being presented in both revised preliminary & final form. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in revised-preliminary/final form, subject to the conditions noted, drainage & utilities approval.

Being no discussion, Mr. Marco Suarez moved to approve in revised-preliminary/final form, subject to the conditions noted, drainage & utilities approval. Mr. Jose Saldana seconded the motion, which was approved with four members present and voting.

c) Up North on Ware Road Apartments & Business Center Subdivision, 9500 North Ware Road, Uptown Luxury Holdings, LLC (SUB2025-0009) (PRELIMINARY/FINAL) HE

Mr. Kaveh Forghanparast stated that the property located on North Ware Road: Proposing 35 ft. dedication for 75 ft. from centerline for 150 ft. of ROW Paving: By the state Curb & gutter: By the state Revisions needed: The 35 ft. additional ROW dedication must be shown within the subdivision boundary, prior to final/recording. Currently it is shown outside the boundary. The existing ROW from centerline is labeled as 40 ft. and 35 ft. additional ROW dedication by plat. Clarify how the total ROW from centerline is shown as 75.49 ft. and not 75 ft. prior to final/recording. Revise as applicable. Provide a copy of the referenced documents for staff review prior to final/recording. Monies must be escrowed if improvements are not built prior to recording. Required Queens Avenue (6 Mile Road): 30 ft. dedication for 50 ft. from centerline for 100 ft. ROW Paving 65 ft. Curb & gutter: Both sides Revisions needed: Revise the street name to Queens Avenue (6 Mile Road) prior to final/recording. - Provide a copy of the referenced documents for staff review prior to final/recording. Monies must be escrowed if improvements are not built prior to recording. Required N/S 1/4 Mile Street: 40 ft. County Road on east boundary was abandoned as per Doc. No. 3317979 Paving: 40 ft. Curb & gutter: Both sides Provide a copy of the referenced documents for staff review prior to final/recording. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. ROW: 20 ft. Paving: 16 ft. Alley/service drive easement required for commercial properties. Plat note #11 only references commercial lot. Please clarify/revise the verbiage to include Lot 1. If the plat note remains the same, alley/service drive easement will be needed on plat prior to final/recording. Proposing: Minimum 24 ft. wide service drive for city services will be provided as part of the site plan review "FOR COMMERCIAL LOT" and will be extended north when adjacent properties develop. This 24 ft. wide private service drive is to be maintained by lot owners and not the City of McAllen. Front: In Accordance with the Zoning Ordinance or greater for easements or approved site plan or in line with existing structures, whichever is greater. Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater. Interior Sides: In accordance with Zoning Ordinance or greater for easements or approved site plan. Corner: Garage: 18 ft. or wherever greater setback is required, greater setback applies. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on Queens Avenue (6 Mile Road), and 5 ft. wide minimum sidewalk required along North Ware Road. Revise the plat note to reference Queens Avenue (6 Mile Road). Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between

multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Must comply with City Access Management Policy Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-72 applies for public subdivisions. Plat note #19 references a recorded HOA. Clarify and provide a copy of the recorded document prior to final/recording. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168 - Plat note #19 references a recorded HOA. Clarify and provide a copy of the recorded document prior to final/recording. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: C-3 and R-3A Proposed: C-3 and R-3A. Annexation and initial zoning approved at City Commission at their January 10, 2022 meeting. Rezoning Needed Before Final Approval. Annexation and initial zoning approved at City Commission at their January 10, 2022 meeting. Land dedication in lieu of fee. Park fees were waived for the previously submitted subdivision by management. Staff will finalize the review if the previous approval will be honored prior to recording. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Park fees were waived for the previously submitted subdivision by management. Staff will finalize the review if the previous approval will be honored prior to recording. Pending review by the City Manager's Office. Park fees were waived for the previously submitted subdivision by management. Staff will finalize the review if the previous approval will be honored prior to recording. As per Traffic Department, TG will be honored as per previously submitted case has the same number of units. Proposed lot lines for Lots 1 and 2 (including the exterior lot lines) may not be as bold as the original subdivision boundary. Revise the lines thickness prior to final/recording. Use lighter shade of grey for contour lines to avoid any confusion with lot lines prior to final/recording. Must comply with City's Access Management Policy. A subdivision for this property and under the same name was approved in Final form at the P&Z meeting of January 18, 2022, meeting and in Revised Final form on February 16, 2022, but eventually expired and went through change of ownership. The new application for the subdivision was submitted on January 14, 2025.

Staff recommends approval of the subdivision in preliminary/final form subject to conditions noted.

Being no discussion, Mr. Marco Suarez moved to approve in preliminary/final form subject to conditions noted. Mr. Jose Saldana seconded the motion, which was approved with four members present and voting.

- d) Balboa Acres Subdivision, The West Half of Lot 12 Block 26, 3309 Covina Avenue, Guadalupe Trejo and Maria Irene Trejo **(SUB2025-0010) (PRELIMINARY)**

Mr. Kaveh Forghanparast stated that the property located on Covina Avenue: 60 ft. ROW (existing) Paving: Approximately 35 ft. existing Curb & gutter: both sides. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. COM Thoroughfare Plan. ROW: 20 ft. Paving: Existing conditions remain. Alley/service drive easement required for commercial properties. Subdivision Ordinance: Section 134-106. Front: 25 ft. Zoning Ordinance:

Section 138-356. Rear: In accordance with the Zoning Ordinance or greater for easements. Zoning Ordinance: Section 138-356. Sides: In accordance with the Zoning Ordinance or greater for easements. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required, greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area: Survey for the west half of Lot 12, Block 26 shows a 50 ft. width. Zoning Ordinance: Section 138-356. Existing: R-1 Proposed: R-1. Zoning Ordinance: Article V. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. There is an existing how on the west half of Lot 12, Block 26. \$700 will be needed for the east half prior to recording. As per Traffic Department, Trip Generation waived for one lot single family lot. Existing plat notes remain the same as now exist. Public hearing is required for the subdivision of the lot. Must comply with other department requirements prior to recording as may be applicable.

Staff recommends approval of the subdivision in preliminary form subject to conditions noted, drainage, and utility approvals.

Being no discussion, Mr. Jose Saldana moved to approve in preliminary form subject to conditions noted, drainage, and utility approvals. Mr. Emilio Santos Jr. seconded the motion, which was approved with four members present and voting.

5) DISCUSSION:

a) Election of officers

Members agreed to speak on new elections of officers until all board members are present.

ADJOURNMENT:

There being no further business to come before the Planning & Zoning Commission, Mr. Marco Suarez adjourned the meeting at 3:40p.m. with Mr. Jose Saldana seconding the motion with four members present and voting.

Michael Fallek, CHAIRPERSON

ATTEST: _____
Magda Ramirez, ADMINISTRATIVE ASSISTANT

STATE OF TEXAS
COUNTY OF HIDALGO
CITY OF McALLEN

The McAllen Planning and Zoning Commission convened in a Regular Meeting on Tuesday, March 4, 2025 at 3:30p.m.at the McAllen City Hall, 3rd Floor Commission Chambers Room,1300 Houston Avenue, McAllen, Texas.

Present:	Michael Fallek Gabriel Kamel Reza Badiozzamani Raul Sesin	Chairperson Vice-Chairperson Member Member
Absent:	Emilio Santos Jr. Marco Suarez Jesse Ozuna	Member Member Member
Staff Present:	Evaristo Garcia Norma Borrego Michelle Rivera Luis Mora Omar Sotelo Rodrigo Sanchez Samuel Nunez Kaveh Forghanparast Eduardo Garza Adriana Solis Samantha Trevino Victor Grey Even Gonzalez Eduardo Mendoza Magda Ramirez	Deputy City Attorney Assistant City Attorney I Assistant City Manager Interim Planning Director Development Coordinator Senior Planner Senior Planner Planner III Planner III Planner II Planner I Planner Technician I Development Engineer Director of Engineering Administrative Assistant

CALL TO ORDER – Chairperson Mr. Michael Fallek

PLEDGE OF ALLEGIANCE

INVOCATION-. Mr. Raul Sesin

1) MINUTES:

- a) Approval of the minutes for the December 3, 2024 meeting

Being no discussion, Mr. Reza Badiozzamani motioned to approve the minutes. Vice Chairperson Mr. Gabriel Kamel second the motion with four members present and voting.

2) PUBLIC HEARING:

a) CONDITIONAL USE PERMITS:

- 1) Request of Sharon B. Flores on behalf of St. John’s Episcopal Church & School, for a Conditional Use Permit, and adoption of an ordinance, for life of the use, for an Institutional Use (Church school) at Lot 9, Block 1, Morningside Addition Subdivision,

Hidalgo County, Texas; 2601 North 8th Street. **(CUP2025-0006)**

Mr. Samuel Nunez stated that he applicant was requesting to table this item today.

Being no discussion, Mr. Reza Badiozzamani moved to table request. Mr. Raul Sesin second the motion with four members present and voting.

- 2) Request of Sara C Lopez, for a Conditional Use Permit, for life of the use, for a Single Family Dwelling at Lot 1, Lopez-Torres Subdivision, Hidalgo County, Texas; 4300 South Ware Road. **(CUP2025-0009)**

Mr. Samuel Nunez stated that the property is located along west side of South Ware Road. The subject property is zoned C-3 (General Business) District. The adjacent zonings are C-3, C-3L (Light Commercial) District, and R-1 (Single Family Residential) District. Surrounding land uses on the subject property are a Food Truck Park, Auto Sales Office, and Single-Family homes. A single-family dwelling is allowed within a C-3 District with a Conditional Use Permit (CUP) and in compliance with requirements.

A Conditional Use Permit (CUP2005-47) for a single-family dwelling was approved on 2005 for the same address, the applicant is currently amending the CUP by requesting to add an enclosed canopy and a pool.

The applicant is proposing to enclosed and existing unattached metal canopy of 45'X58" with an area of 2,610 square feet. The proposed pool has a dimension of 40'X40' with an area of 1,600 square feet.

The Fire Department has inspected the location and indicated the CUP process may continue. The establishment must comply with requirements set forth in Section 138-176 of the Zoning Ordinance and specific requirements as follows:

- 1) To provide sufficient space in a appropriate locations for residential development to meet the present and future housing needs of the city, with allowance for a diversity of sites.
- 2) To protect residential areas against pollution, environmental hazards and other objectionable influences.
- 3) To protect residential areas, as far as possible, against heavy and through traffic.
- 4) To protect residential areas against congestion, as far as possible, by managing the density of population in and around them; by providing for off-street parking spaces; and by providing open areas for rest and recreation and to break the monotony of continuous building bulk, thus providing a more desirable environment for urban living.
- 5) To provide for privacy and access of light and air to windows, as far as possible, through controls over the spacing and height of buildings and other structures.
- 6) To promote the most desirable use of land and direction of building development not in conflict with the adopted policies of the city; to promote stability of residential development; to protect

the character of the district; to conserve the value of land and buildings; and to protect the city's tax base.

- 7) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;

If future residential additions are proposed for the property an amendment may be required. However as of July 2025, no CUP for single family-dwelling within a commercial district will be provided due to UDC's adoption. Any changes thereafter may require variances or it will be a nonconforming use

Staff has not received any phone calls, emails, or letters in opposition to the request.

Staff recommends approval of the request for life of the use subject to conditions on Section 138-176 of the Zoning Ordinance.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Mr. Reza Badiozzamani asked what the reason for the applicant to request a life of use for the conditional use permit was. Applicant Ms. Sara Lopez (4300 South Ware Road) stated she was requesting life of use in the event she decided to install a swimming pool in the future being that the property has been used as their home for over 20 years and the changes of the UDC.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve the request for life of the use subject to conditions on Section 138-176 of the Zoning Ordinance. Mr. Reza Badiozzamani second the motion with four members present and voting.

- 3) Request of Rosa E. Estrada, for a Conditional Use Permit, for one year, for a Home Occupation-Home Office at Lot 6, J.W. Martin Subdivision, Hidalgo County, Texas; 817 Kerria Avenue. **(CUP2025-0010)**

Mr. Samuel Nunez stated that the property is located on the Southeast corner of Kerria Avenue and North 9th Street and it is zoned R-1 (single family residential) District. The adjacent zoning is R-1 District to the North, South, East & C-3 (general business) districts to the west. Surrounding land uses include single-family residences, townhouse, IBC bank and offices. A home occupation is permitted in an R-1 District with a conditional use permit.

The previous Conditional Use Permit for this property was approved in November 13, 2023. The applicant applied on September 14, 2023, for a previous CUP2023-0128 for the same proposal which expired on October 17, 2024.

The applicant proposes to continue to operate an office for cleaning services from the existing residence. The hours of operation are from 8:00 AM to 10:00 AM. Mondays only. The office will be used for placing orders and payroll. The applicant stated that the employees will not report to the office. Paychecks are done through direct deposit, meetings with employees will be conducted at another location.

The Fire Department has inspected the location and has allowed to continue the CUP process. Should the conditional use permit be approved, the applicant would require to sign the certificate acknowledging and agreeing to the conditions of the permit. The establishment must also comply with requirements set forth in Section 138-118 (1) of the Zoning Ordinance and other specific requirements as follows:

- a) The home occupation shall be clearly secondary to the residential use. The applicant lives in a residence.
- b) One nameplate attached to the building not larger than two square feet is permitted in all districts except R-1 single-family residential district. No signs are proposed.
- c) No exterior display or alterations indication that the building is being used for any purpose other than residential shall be permitted.
- d) No more than one additional unrelated employee other than immediate family members residing on the premises shall be permitted.
- e) No outside storage of materials or products shall be permitted. The applicant proposed no storage of chemicals or equipment's will be at the residence.
- f) Traffic generated by the proposed use shall not exceed 10 % of the average load per hour per street.
- g) No retail sales shall be permitted. (items may be delivered)
- h) No additions to the residence or accessory building specifically to accommodate the use shall be permitted.
- i) The propose use shall take place in the primary residential structure rather than a detached garage or accessory building.
- j) The proposed use shall take place at the location specified on the permit.

Staff has not received phone calls in opposition to this cup request.

Staff is recommending approval of the request for one year, subject to the conditions noted on sec. 138-118(1).

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was one.

Citizen Ms. Joyce Zeldis (809 Kerria Avenue), who was representing her mother, Alma Famonte, stated their concern is the blocking of traffic due to vehicles parked in the surrounding area.

Chairperson Mr. Michael Fallek requested the applicant to speak on the issue of the parking concern. The applicant was not present.

After a short discussion, Mr. Reza Badiozzamani moved to disapprove the conditional use permit. Mr. Raul Sesin second the motion with four members present and voting.

- 4) Request of Melden and Hunt Inc. on behalf of Escanaba, LLC., for a Conditional Use Permit, for life of use, and adoption of an ordinance, for an Amendment to a Planned Unit Development for Harvest Coves Phase II Subdivision, Hidalgo County, Texas; 2601 North Ware Road. (CUP2025-0011)**

Ms. Samantha Trevino stated that the subject property is located along the west side of North Ware Road and generally 680 feet north of Warrior Drive (Vine Avenue). Harvest Cove Phase II consists of 17.438 acres of vacant land. The property is zoned R-1 (single family residential) District. The adjacent zoning is A-O (agricultural and open space) District to the north and west, R-3T (multifamily residential townhouses) District to the north, and R- 1 District to the north and east. There is R-3A (multifamily residential apartments) District to the south. A Planned Unit Development (PUD) is permitted in a R-1 District with a Conditional Use Permit and in compliance with Article IV for Planned Developments of the Subdivision Ordinance.

A rezoning request from A-O District to R-1 District for this tract was approved by the City Commission on February 15, 2022. The Planning and Zoning Commission voted to approve the proposed subdivision plat in preliminary form subject to conditions noted, drainage and utilities approval on October 3, 2023 for Phase I and was approved by the City Commission at the meeting of February 12, 2024. The plat for Harvest Cove Phase II has been approved in final form at the meeting of February 4th, 2025. A request for a Planned Unit Development was submitted for Harvest Cove Phase I. On January 30, 2024 an application for a PUD - Harvest Cove Phase II was submitted. The PUD was approved at the City Commission Meeting of January 13, 2025. An Amendment for Phase II was submitted February 4th, 2025.

A request is being made for the Planned Unit Development to be reflecting the new plat conditions below. Currently, the property is vacant land. The proposed plat consists of 199 lots regarding Harvest Cove Phase I and II. The applicant is also proposing an 8 foot masonry wall as a proposed buffer for both Harvest Cove Phase I and Phase II. The applicant is proposing to develop a Planned Unit Development, which will include single family residences.

The proposed PUD for Harvest Cove Phase I and II was previously approved with the following variances:

- Lots 58-145 are not meeting the 50 foot. frontage minimum requirement.
- Lots 56-181 are not meeting the minimum lot area of 5,000 feet.
- Elevations: Maximum home height proposed at 33 feet.
- 36 lots total not meeting the minimum 18 foot. driveway width, the minimum proposed is 12 feet. Engineering Department approved.
- Some lots such as lots 48, 50-52, 186 may not meet the 50% landscape requirement.

The proposed PUD for Harvest Cove Phase II is requesting the follow amendment

- 5 feet side yard setbacks instead of 6 feet.

PUDs allow a variety of land uses that complement each other within the development and with existing land uses in the vicinity. Specific requirements for the approval of PUDs are set forth on Article IV for Planned Developments of the Subdivision Ordinance, and are summarized as the following:

1. CONCEPTUAL SITE PLAN: Development and use of the property must comply with the conditional use permit conceptual site plan.
2. PERMITTED USES: Permitted uses are uses permitted in the R-1 District for buildings designated as residential. The applicant is proposing single family residences and a common area.
3. OFF-STREET PARKING AND LOADING: Parking should be in compliance with Chapter 134 Article VI, which requires two parking spaces per unit, with one being located beyond the front yard

setback. Must provide floor plan with garage to determine if in compliance.

4. LANDSCAPING: Each lot requires 10% landscaping in an R-1 zone. Based on the lot area of 813,570.12 sq. ft., 81,357.012 sq. ft. of landscaping is required. Also, 50% of the required front yard must be landscape, including the side yard setback areas. Some lots such as lots 48, 50-52, 186 may not meet the 50% landscape requirement. A minimum of one tree is required. Must provide front landscaping area and trees to determine if in compliance. Some lots show driveway proposed to be located over a side yard setback, being not in compliance.

5. STREETS AND SETBACKS: Providing a of 60 ft. right-of-way for North 43rd Street. Provide minimum of 50 feet. right-of-way and 32 feet. of pavement for each interior street within the subdivision. Setbacks are Front: 20 ft. or greater for easements, whichever is greater; Rear: 10 feet. or greater or easements; Sides: 6 ft. or greater for easements; Corner: 10 feet. or greater for easements; and Garage: 18 feet. except where greater setback is required. An R-1 zone requires a front yard setback of 25 feet. on interior streets. The development is proposing less than 25 feet. of front yard setback and instead is proposing 20 feet. of front setback for each lot. Provide setback lines with building envelope on site plan with a 5 feet. wide minimum sidewalk required on Ware Road and a 5 feet. wide minimum sidewalk required on all interior street. Must provide sidewalk width dimension on site plan.

An access variance on Ware Road were approved by the Traffic Department.

6. DRAINAGE: During the Harvest Cove Subdivision Phase I and II process final drainage detention and design and drainage plan must be submitted and in accordance with City of McAllen Standard Design Guide.

7. ADDITIONAL PROVISIONS: Conditional Use Permit site plan controls if there is conflict with other City ordinances. A decision by the Planning Director may be reviewed by Planning and Zoning Commission for recommendation to Board of Commissioners for final determination. The Conditional Use Permit calls for mixed use and a minimum area for development of five (5) acres. The development has 18.677 acres, which includes single family residences.

8. Owner, Engineer and Surveyor certification and signature block needs to be shown on the PUD site plan. Submitted site plan meets requirements.

9. A recorded subdivision plat and approved PUD site plan is required prior to issuance of building permits. Therefore, Harvest Cove Phase I and II subdivision process must be completed and recorded together with the site plan.

If the subdivision layout changes, the PUD will need to be amended to resemble the approved Subdivision Plat. Any changes regarding ownership or the approved building layout may also require an amendment of the PUD. The PUD must comply with all City department requirements, including but not limited to, the Building Permit & Inspections Department, Planning Department, Engineering Department, Utilities Department, Traffic Department, Fire Department, and the Environmental and Health Code Compliance Department. Finally, if this request is granted approval, all proposed structures and improvements on the recorded Subdivision Plat and PUD site plan will be required during the building permitting process.

Staff did not receive any email, calls or letters in opposition to this request.

Staff recommends approval of the amendment to the Planned Unit Development as presented, for life of the use, subject to all aforementioned conditions.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve of the amendment to the Planned Unit Development as presented, for life of the use, subject to all aforementioned conditions. Mr. Reza Badiozzamani second the motion with four members present and voting.

** Chairperson Mr. Michael Fallek abstained from voting on Item #2a5. Vice Chairperson, Mr. Gabriel Kamel introduced item.

- 5) Request of OL Beverage Holdings, LLC for a Conditional Use Permit, for one year, and adoption of an ordinance for a bar (Ojos Locos) at Lot A2, Lots A 2 & A3 Wichita Commercial Park Subdivision, Hidalgo County, Texas; 2121 South 10th Street. **(CUP2025-0012)**

Ms. Samantha Trevino stated that the property is located on the northwest corner of South 10th Street and Wichita Avenue and is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the north, west, and east, and A-O (agricultural and open space) District to the south. Surrounding land uses include McAllen Country Club, Logan's Roadhouse, McCrery Aviation Co., La Placita retail plaza, Fairway Plaza Shopping Center, and multifamily condominiums. A bar is allowed in a C-3 District with a Conditional Use Permit and in compliance with requirements.

The initial Conditional Use Permit was approved by the City Commission on December 4, 2020 with a variance to the distance requirement of being at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property. The permit has been renewed annually since 2020. The current application was submitted February 4th, 2025.

The applicant is proposing to continue operating the bar (Ojos Locos Sports Cantina) from the existing 6,450 square foot building. The proposed hours of operation would be from 11 a.m. to 12 a.m. Sunday through Wednesday and 11 a.m. to 2 a.m. Thursday through Saturday.

The Health Department and Fire Department have inspected the bar and determined the property to be in compliance. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of the lot of any of the abovementioned businesses must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The establishment is within 400 feet. of the residential zone/use to the north;
- 2) The abovementioned businesses must be as close as possible to a major arterial, and shall not allow the traffic generated by such businesses onto residential streets, or allow such traffic to exit into and disrupt residential areas. The establishment has direct access to South 10th Street;
- 3) The abovementioned businesses must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. 65 parking spaces

are required and are provided as per site plan.

- 4) The abovementioned businesses must do everything possible to prevent the unauthorized parking by the patrons of such businesses on adjacent business or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances.
- 5) The abovementioned businesses should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility of as much as possible of the site from a public street.
- 6) The abovementioned businesses must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties.
- 7) The abovementioned businesses shall restrict the number of persons within the building to those allowed by the planning and zoning commission at the time of permit issuance, after having taken into account the recommendations of the fire marshal, building official and director of planning. This number cannot exceed the number provided for in existing city ordinances.

The Planning Department has received no complaints regarding this use.

Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(4) of the Zoning Ordinance.

Vice Chairperson Mr. Gabriel Kamel asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Mr. Raul Sesin moved to disapprove the conditional use permit with favorable recommendation based on noncompliance with requirement #1 (distance) of Section 138-118(4) of the Zoning Ordinance. Mr. Reza Badiozzamani second the motion with four members present and voting with one member abstaining.

- 6) Request of Evelio Estrada Martinez for a Conditional Use Permit, for one year, for a portable food concession stand (snow cone stand) at Lot 9 and the W21' of Lot 10, Kendlewood Heights Subdivision No. 3, Hidalgo County, Texas; 1100 North 23d Street. **(CUP2025-0013)**

Ms. Samantha Trevino stated that the property is located at the northeast corner of North 23rd Street and Kendlewood Ave. It is zoned C-3 (general business) District. The adjacent zoning is C-3(general business) District to the north, west and south, and C-1 (office building) District to the east. A portable food concession stand is allowed in a C-3 District with a Conditional Use Permit and in compliance with requirements.

The initial conditional use permit was approved for one year by the Planning and Zoning Commission on September 3, 1996. The applicant never met requirements and the permit subsequently expired. Planning and Zoning Commission approved a new conditional use permit on March 2, 1999 for one year. The snow cone stand remained in operation; however, the conditional use permit was not renewed. On June 22, 2004, the applicant was issued a notice of violation to apply for a conditional use permit and bring the use into compliance with the zoning ordinance. Subsequently, the applicant submitted a conditional use

permit application to comply with requirements of the Zoning Ordinance. They renewed annually until 2023. No renewal was done in 2024. A new application for a conditional use permit for a portable food concession stand was submitted on February 6, 2025.

The applicant is proposing to continue to operate a portable food concession stand (Estradas Snow Ball) on the property. Four parking spaces are required for the snow cone stand.

The Fire and Health Department inspections have been completed and have allowed the CUP process to continue. The portable building must also meet the requirements set forth in Section 138-118(9) of the Zoning Ordinance as follows:

- 1) The proposed use shall not be located in a residentially zoned area. Betty-Rose Subdivision is zoned C-3 District.
- 2) The proposed use must be inspected by Building Inspection Department staff and meet applicable building codes.
- 3) Must have paved off-street parking available over and above what is required for the business to which it is adjacent; 4 parking spaces are required, and 4 parking spaces are being provided on the site plan. Section 138-400 of the Zoning Ordinance, states that the parking lot must be properly striped and free of potholes;
- 4) Portable building must be anchored to the ground properly;
- 5) Must meet setback requirements of the zoning district in which it is located; and
- 6) Water and sewer facilities shall be required to the tract and may be required to the proposed use.

The Planning Department has not received any calls in opposition to the request.

Staff recommends approval of the request, for one year, subject to Section 138-118(9) of the Zoning Ordinance, and Health and Fire Department requirements.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve the conditional use permit for one year, subject to Section 138-118(9) of the Zoning Ordinance, and Health and Fire Department requirements. Mr. Reza Badiozzamani second the motion with four members present and voting.

b) REZONING:

- 1) Rezone from C-3 (General Business) District to C-2 (Regional Commercial) District: Lots 15 and 16, Vida Subdivision, Hidalgo County, Texas; 7700 and 7760 North Shary Road. **(REZ2025-0003)**

Ms. Adriana Solis stated that the subject properties are located along the east side of North Shary Road, approximately 260 feet south of 5 Mile Line Road. The properties are zoned C-3 (General Business) District.

The applicant is requesting to rezone the properties to C-2 (Regional Commercial) District in order to construct a multi-tenant commercial building on each lot. The property is currently vacant. A feasibility plan has been submitted and is attached to the packet.

The adjacent property to the east (Lot A – detention area) is zoned C-3 District. There is also R-3A (Multifamily Residential Apartments) District on the east side of the detention area. The surrounding properties in all other directions are outside of the McAllen City Limits.

The property is currently vacant. Surrounding uses include vacant land, single family residences, Aziz Quick Shop, and apartments for Vida Subdivision.

The Envision McAllen Future Land Use Plan designates the future land use for this property as Complete Communities. The designation consists of areas that are majority residential, with some office, retail, and other non-residential uses that serve residents.

The development trend of North Shary Road and 5 Mile Line Road is a mix of commercial, agricultural, and residential uses.

The subdivision plat was recorded on January 16, 2024.

The requested zoning does not conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan. However, the property is currently zoned for commercial use as C-3 District. A C-3 zone is now classified as a C-2 zone under the recently adopted City of McAllen Unified Development Code (UDC). The rezoning request is to allow for processing of this proposed development under the Unified Development Code.

A site plan review may be required prior to building permit issuance for any future developments on these properties. Any future developments must comply with Zoning Ordinances, Building Permit, Fire Department, and conditional use requirements of the zoning district in which it is located. Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

Staff recommends approval of the rezoning request to C-2 (Regional Commercial) District.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was none.

After a brief discussion regarding the new UDC Code with Ms. Michelle Rivera, Assistant City Manager, explaining, Mr. Vice Chairperson Mr. Gabriel Kamel moved to approve the rezoning request to C-2 (Regional Commercial) District. Mr. Raul Segin second the motion with four members present and voting.

- 2) Rezone from R-1 (Single Family Residential) District to R-2 (Medium Density Residential) District: 1.81 acre tract of land out of Lot 207, John H. Shary Subdivision, Hidalgo County, Texas; 321 South Taylor Road. **(RE2025-0004)**

Ms. Adriana Solis stated that the subject property is located along the east side of South Taylor Road and south of Highway 83. The tract has 162.840 feet of frontage on South Taylor Road and a depth of 485 feet, comprising 1.81 acres. The property is zoned R-1 (Single Family Residential) District.

The applicant is requesting to rezone the property to R-2 (Medium Density Residential) District in order to develop a 20-lot townhome subdivision if the rezoning is applicable. A feasibility plan has been submitted and attached to the packet. A submittal for a subdivision plat is still pending.

The adjacent zoning to the north and south is R-1 (Single Family Residential) District and R-4 (Mobile Home/Modular Home) District to the east.

The property currently has an existing single family structure. Surrounding uses include single family dwellings and mobile homes.

The Envision McAllen Future Land Use Plan designates the future land use for this property as Complete Communities. Single-family homes make up the majority of the land use category although townhomes are to be encouraged to create diversity in housing choices.

The development trend of this area along the east side of South Taylor Road is residential uses.

The application for this rezoning request was submitted February 3, 2025.

The requested zoning conforms to the future land use designation as shown on the Envision McAllen Future Land Use Plan, residential uses. It is also compatible with the existing higher density residential development along South Taylor Road.

A recorded subdivision plat and site plan approval will be required prior to building permit issuance for any future developments on the subject property. Any future developments must also comply with building permit and conditional use requirements (if applicable) of the zoning district in which it is located.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

Staff recommends approval of the rezoning request to R-2 (Medium Density) District.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was none.

After a short discussion regarding mapping, Mr. Reza Badiozzamani moved to approve the rezoning request to R-2 (Medium Density) District. Vice Chairperson Mr. Gabriel Kamel second the motion with four members present and voting.

- 3) Rezone from C-4 (Commercial Industrial) District to I-1 (Light Industrial) District: 15.009 acre, portion of Lot 11, Block 4, Rio Bravo Plantation Company's Subdivision, Hidalgo County, Texas; 2600 Military Highway. (REZ2025-0005)**

Ms. Adriana Solis stated that the subject property is located along the north side of Military Highway and approximately 1,333 feet from South 23rd Street. The property is vacant land and is zoned C-4 (Commercial Industrial) District.

The applicant is requesting to rezone the property to I-1 (Light Industrial) District. The applicant is proposing to develop an energy storage system; however, a feasibility plan has not been submitted yet.

The adjacent properties to the north, east, and west are zoned C-4 District. The property to the south across Military Highway is zoned I-1 District.

Surrounding uses include vacant land and an AEP substation to the north.

The Envision McAllen Future Land Use Plan designates the future land use for this property as Industrial. Light Industrial Space, Manufacturing, Civic, and Open Space are the most appropriate developments for this type of use.

The development trend for properties adjacent to Military Highway is commercial industrial and light industrial.

An application for a rezoning request was submitted February 4, 2025.

The requested zoning conforms to the future land use designation as shown on the Envision McAllen Future Land Use Plan. It is also comparable to the current zoning district. A C-4 zoning district is now classified as an I-1 zoning district under the McAllen Unified Development Code (UDC).

A recorded subdivision plat and site plan review will be required prior to building permit issuance for any future developments on the property. Any future developments must also comply with building permit and conditional use requirements (if applicable) of the designated zoning district.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

Staff recommends approval of the rezoning request to I-1 (Light Industrial) District since the proposed zoning is consistent with the development trends in the area.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve the rezoning request to I-1 (Light Industrial) District since the proposed zoning is consistent with the development trends in the area. Mr. Reza Badiozzamani second the motion with four members present and voting.

c) SUBDIVISION:

** Chairperson Mr. Michael Fallek requested item #s 2c1 and 2c2 be voted together.

- 1) A resubdivision of the East Half of Lot 12, Block 26, Balboa Acres Subdivision, Hidalgo County, Texas; 3307 Covina Avenue (SUB2025-0022) (FINAL) GUADALUPE TREJO & MARIA IRENE TREJO**

Mr. Kaveh Forghanparast stated that the property located on Covina Avenue: 60 ft. ROW (existing) Paving: Approximately 35 ft. existing Curb & gutter: both sides. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. COM Thoroughfare Plan. ROW: 20 ft. Paving: existing conditions remain. Alley/service drive easement required for commercial properties. Subdivision Ordinance: Section 134-106 applied setbacks. Front: 25 ft. Zoning Ordinance: Section 138-356. Rear: In accordance with the Zoning Ordinance or greater for easements.

Zoning Ordinance: Section 138-356. Sides: In accordance with the Zoning Ordinance or greater for easements. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required, greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area: Survey for the east half of Lot 12, Block 26 shows a 50 ft. width. Zoning Ordinance: Section 138-356 Applied ZONING/CUP. Existing: R-1 Proposed: R-1. Zoning Ordinance: Article V. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Traffic Department, Trip Generation waived for one lot single family lot. Existing plat notes remain the same as now exist. Public hearing is required for the subdivision of the lot. Must comply with other department requirements prior to recording as may be applicable.

Staff recommends approval of the subdivision in final form subject to the conditions noted.

- 2) A resubdivision of the West Half of Lot 12, Block 26, Balboa Acres Subdivision, Hidalgo County, Texas; 3309 Covina Avenue **(SUB2025-023)(FINAL)GUADALUPE TREJO & MARIA IRENE TREJO**

Covina Avenue: 60 ft. ROW (existing) Paving: Approximately 35 ft. existing Curb & gutter: both sides. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. COM Thoroughfare Plan. ROW: 20 ft. Paving: Existing conditions remain. Alley/service drive easement required for commercial properties. Subdivision Ordinance: Section 134-106. Front: 25 ft. Zoning Ordinance: Section 138-356. Rear: In accordance with the Zoning Ordinance or greater for easements. Zoning Ordinance: Section 138-356. Sides: In accordance with the Zoning Ordinance or greater for easements. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required, greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area: Survey for the west half of Lot 12, Block 26 shows a 50 ft. width. Zoning Ordinance: Section 138-356. Existing: R-1 Proposed: R-1. Zoning Ordinance: Article V. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. There is an existing house on the west half of Lot 12, Block 26. \$700 will be needed for the east half prior to recording. As per Traffic Department, Trip Generation waived for one lot single family lot. Existing plat notes remain the same as now exist. Public hearing is required for the subdivision of the lot. Must comply with other department requirements prior to recording as may be applicable. Recommendation staff recommends approval of the subdivision in final form subject to conditions noted.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed re-subdivision request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve the rezoning requests for items 2c1 & 2c2. Vice Chairperson Mr. Raul Sesin second the motion with four members present and voting.

4) CONSENT:

- a) Mtrevin Subdivision (Previously Trevino Subdivision), 4212 Lark Avenue, Maria S. Sandoval **(SUB2025-0015) (FINAL) RDE**
- b) Bentsen View Subdivision, 4109 Highway 83, Adryca Properties, LLC **(SUB2024-0132) (FINAL) M2E**

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve consent item. Mr. Raul Sesin seconded the motion, which was approved with four members present and voting.

5) SUBDIVISIONS:

- a) Villas at Tres Lagos Phase I Subdivision, 5300 Tres Lagos Boulevard, Rhodes Development, Inc. **(SUB2025-0006) (FINAL) M&H (Tabled on 02/18/2025)**

To remain tabled. No action required, no action taken.

- b) Enclave on Jackson Subdivision, 2613 North Jackson Road, Vista Property Investment, LLC **(SUB2024-0117) (REVISED PRELIMINARY) M&H**

Mr. Kaveh Forghanparast stated that the property located on N. Jackson Road: Dedication needed for 75 ft. from centerline for 150 ft. total ROW Paving: By State Curb & gutter: by State Revisions needed: Provide a copy of referenced documents for staff review prior to final. Existing ROW in front of Common Area "A" is shown 120 ft. but 60 ft. on one side and 60.06 ft. on the other sides of the centerline. Submit documents and clarify the discrepancy or revise as applicable prior to final. Show ROW dedication requirement as shown above prior to final. Ensure that ROW complies with State plans for N. Jackson Road, any acquisitions should be included with document number, dimensions, and labeling, finalize prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. Project engineer submitted a variance application (VAR2025-0002) on behalf of the developer with the following requests: 1. Request to dedicate 60 ft. from centerline to N. Jackson Road for total 120 ft. in lieu of 75 ft. for total 150 ft. required ROW. 2. Request to approve the proposed block length (approximately 1,340 ft.) in lieu of 900 ft. block length. 3. Request to allow interior street with 50 ft. ROW, 40 ft. paving, and 10 ft. sidewalk and utility easement on both sides, in lieu of 60 ft. ROW with 40 ft. paving. Non-compliance N/S quarter mile collector (on the west side): Dedication as needed for 60 ft. total ROW Paving: 40 ft. Curb & gutter: both sides Revisions needed: Label the dimension of the sliver of land with HCID No.2 easement, shown on the west side of ROW dedication for the N/S collector, and clarify if it will be dedicated to the District prior to final. Provide the document number for the HCID No. 2 easement on the plat and a copy for staff review prior to final. Name of the street will be finalized prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. COM Thoroughfare Plan. Interior Street: Dedication as needed for 60 ft. total ROW Paving: 40 ft. Curb & gutter: both sides Revisions needed: Show the distance between the centerline of the proposed interior street and the existing street on the east side. It seems that the centerline shown on W. Sharm Street is not drawn on the center. Clarify and revise prior to final. As per Sec. 134-105, Street jogs with centerline offsets of less than 125 feet shall be avoided. Name of the street will be finalized prior to final. As per the submitted application, the subdivision will be private but not gated. Add "(Private Street)" label under the name of the interior street when finalized. If the subdivision is gated, the submitted application must be revised and gate details must be submitted for staff review prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. Project engineer submitted a variance application (VAR2025-0002) on behalf of the developer with the following requests: 1. Request to dedicate 60 ft. from centerline to N. Jackson Road for total 120 ft. in lieu of 75 ft. for total 150 ft. required ROW. 2. Request to approve the proposed block length (approximately 1,340 ft.) in lieu of 900 ft. block length. 3. Request to allow interior street with 50 ft. ROW, 40 ft. paving, and 10 ft. sidewalk and utility easement on both sides, in lieu of 60 ft. ROW with 40 ft. paving. Planning and Zoning Commission approved the subdivision is Revised Preliminary form, subject to the conditions noted, drainage and utilities approvals on February 18, 2025; The Board recommended approval for variance requests No. 2 & 3 (block length & interior street ROW of 50 ft. with 40 ft. paving and 10 ft.

sidewalk and utility easement on both sides); however, the Board did not act on the variance request No.1 (60 ft. ROW dedication from centerline to N. Jackson Road in lieu of 75 ft. from centerline) so that the engineer/staff can prepare a vicinity map showing the approved ROW for N. Jackson Road in other properties fronting N. Jackson Road. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. 900 ft. Block Length for R-3T & R-3C Zone Districts. Revise the layout to comply with the maximum block length requirement. Subdivision Ordinance: Section 134-118. Project engineer submitted a variance application (VAR2025-0002) on behalf of the developer with the following requests: 1. Request to dedicate 60 ft. from centerline to N. Jackson Road for total 120 ft. in lieu of 75 ft. for total 150 ft. required ROW. 2. Request to approve the proposed block length (approximately 1,340 ft.) in lieu of 900 ft. block length. 3. Request to allow interior street with 50 ft. ROW, 40 ft. paving, and 10 ft. sidewalk and utility easement on both sides, in lieu of 60 ft. ROW with 40 ft. paving. Planning and Zoning Commission approved the subdivision is Revised Preliminary form, subject to the conditions noted, drainage and utilities approvals on February 18, 2025; The Board recommended approval for variance requests No. 2 & 3 (block length & interior street ROW of 50 ft. with 40 ft. paving and 10 ft. sidewalk and utility easement on both sides); however, the Board did not act on the variance request No.1 (60 ft. ROW dedication from centerline to N. Jackson Road in lieu of 75 ft. from centerline) so that the engineer/staff can prepare a vicinity map showing the approved ROW for N. Jackson Road in other properties fronting N. Jackson Road. ROW: 20 ft. Paving: 16 ft. As per Public Works Department curbside collection was approved by Public Works Director subject to conditions. Must follow the conditions prior to final/recording. Alley/service drive easement required for commercial and multifamily properties. Subdivision Ordinance: Section 134-106. Front: 10 ft. or greater for easements. Zoning Ordinance: Section 138-356 Applied Rear: In accordance with the zoning ordinance or greater for easements. Zoning Ordinance: Section 138-356. Sides: In accordance with the zoning ordinance or greater for easements or approved site plan. Zoning Ordinance: Section 138-356. Corner: 10 ft. or greater for easements. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required, greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 5ft. wide minimum sidewalk required on N. Jackson Road and 4 ft. wide minimum sidewalk required on both sides of all interior streets and N/S quarter mile collector as applicable. Plat note will be finalized once ROW dedication and street name for N/S quarter mile collector is finalized. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses AND along N. Jackson Road and the quarter mile collector as applicable. Plat note will be finalized once ROW dedication and street name for N/S quarter mile collector is finalized. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along N. Jackson Road and the quarter mile collector as applicable. Plat note will be finalized once ROW dedication and street name for N/S quarter mile collector is finalized. Must comply with City Access Management Policy. Site plan must be approved by the Planning and Development Departments prior to building permit issuance for five or more attached dwelling units. Section 138-210 requires that any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development. A site plan is recommended to be submitted prior to final to verify compliance with city codes including parking, landscaping, etc. Common Areas, any private streets/drives, etc. must be maintained by the lot owners/HOA and not the City of McAllen. Based on the submitted application, the subdivision is private but not gated. Clarify/remove any reference regarding gate areas from plat note #11 prior to final. If the subdivision is gated, the submitted application must be revised and gate details must be submitted for staff review prior to final. Developer/Homeowner's Association/Owner,

their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Submit a copy of the draft HOA document prior to recording. Section 110-72 applies if public subdivision is proposed. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. These comments are for subdivision requirements only – additional requirements may apply at time of site plan review 02/26/2025 Page 4 of 6 SUB2024-0117. Lots fronting public/private streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: A-O & C-3 Proposed: R-3T. Two rezoning requests (REZ2024-0068 & REZ2024-0069) for the subject property to rezone A-O and C-3 Districts to R-3T was approved by the City Commission on 01/27/2025. The project engineer must verify if the lots boundaries are within the R-3T zone prior to final. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Two rezoning requests (REZ2024-0068 & REZ2024-0069) for the subject property to rezone A-O and C-3 Districts to R-3T was approved by the City Commission on 01/27/2025. The project engineer must verify if the lots boundaries are within the R-3T zone prior to final. Zoning Ordinance: Article V. Land dedication in lieu of fee. Based on the submitted application and plat, 78 townhomes are proposed. As per Parks Department, park land dedication of 1.24 acres will be required prior to final. If park fee in lieu of park land dedication is proposed, a letter must be submitted to the Planning Director and reviewed by the City Manager prior to final. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. - Based on the submitted application and plat, 78 townhomes are proposed. As per Parks Department, park land dedication of 1.24 acres will be required prior to final. If park fee in lieu of park land dedication is proposed, a letter must be submitted to the Planning Director and reviewed by the City Manager prior to final. Pending review by the City Manager's Office. If park fee in lieu of park land dedication is proposed, it must be reviewed by the City Manager's Office. As per Traffic Department, Trip Generation was approved and no TIA is required. Add the document number for HCID #2 and provide a copy prior to final. Any abandonment must be done by a separate process, not by plat. All lots may have only one number/letter. Correct any lots with two labels prior to final (e.g. Lot 79/Common Area "A" & Lot 80/Common Area "B"). A portion of the subdivision on the west side of ROW dedication for N/S Collector on the west side of the subdivision is not labeled. Clarify and revise prior to final. - Use a bold line for original subdivision boundary prior to final. Must comply with City's Access Management Policy. Project engineer submitted a variance application (VAR2025-0002) on behalf of the developer with the following requests: 1. Request to dedicate 60 ft. from centerline to N. Jackson Road for total 120 ft. in lieu of 75 ft. for total 150 ft. required ROW. 2. Request to approve the proposed block length (approximately 1,340 ft.) in lieu of 900 ft. block length. 3. Request to allow interior street with 50 ft. ROW, 40 ft. paving, and 10 ft. sidewalk and utility easement on both sides, in lieu of 60 ft. ROW with 40 ft. paving. Planning and Zoning Commission approved the subdivision is Revised Preliminary form, subject to the conditions noted, drainage and utilities approvals on February 18, 2025; The Board recommended approval for variance requests No. 2 & 3 (block length & interior street ROW of 50 ft. with 40 ft. paving and 10 ft. sidewalk and utility easement on both sides); however, the Board did not act on the variance request No.1 (60 ft. ROW dedication from centerline to N. Jackson Road in lieu of 75 ft. from centerline) so that the engineer/staff can prepare a vicinity map showing the approved ROW for N. Jackson Road in other properties fronting N. Jackson Road Non-compliance.

Staff recommends approval of the subdivision in revised preliminary form, subject to the conditions noted, drainage, and utilities approval, and the board's clarification on the requested variance.

Engineering Director, Mr. Eduardo Mendoza, answered questions regarding the request for the variance of the 120ft and 150ft ROW.

After a lengthy discussion, Mr. Reza Badiozzamani moved to approve in revised preliminary form, subject to the conditions noted, drainage, and utilities approval, and the board's clarification on the requested variance. Mr. Raul Sesin seconded the motion, which was approved with four members present and voting.

****Chairperson Mr. Michael Fallek requested to vote on both item #5c & 5d. Members agreed.**

c) Mesquite Cove Phase I Subdivision, 14503 North Rooth Road, Encarlen, Ltd. (SUB2025-0017) (PRELIMINARY) SEC

Mr. Eduardo Garza stated that the property located on North 29th Street (N. Rooth Road): Dedication as needed for 50 ft. from centerline for 100 ft. total ROW. Paving: 65 ft. Curb & gutter: on both sides. Provide document numbers for existing ROW dedications, and provide a copy for staff review prior to final. Clarify and resolve the overlap of the 15 ft. SWSC easement on the ROW dedication prior to final. ROW dedication may not overlap an easement to SWSC. Subdivision Ordinance: Section 134-105. Subdivision Ordinance: Section 134-104. Monies must be escrowed if improvements are required prior to final. Interior Street: Dedication as needed for 50 ft. total ROW. Paving: 32 ft. Curb & gutter: Both sides. City Street names will be established prior to final and plat will need to be revised accordingly. Temporary turnaround easement is being shown as dedicated by separate instrument and must be paved and recorded before recording of the subdivision. Dimensions and details of turnaround will need to be clarified and finalized, prior to final. Clarify and resolve the overlap of the 15 ft. SWSC easement on the ROW dedication prior to final. ROW dedication may not overlap an easement to SWSC. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. ROW: 20 ft. Paving: 16 ft. Alley/service drive easement required for commercial and multi-family properties. If use other than single-family is proposed, requirements for alley, etc. will be reviewed. Subdivision Ordinance: Section 134-106. Front: Proposing: 25 feet or greater for easements. Clarify proposed setback and ensure compliance with minimum setback requirements for City and County, finalize wording prior to final. Zoning Ordinance: Section 138-356. Rear: Proposing 10 feet or greater for easements - Clarify proposed setback and ensure compliance with minimum setback requirements for City and County, finalize wording prior to final. Zoning Ordinance: Section 138-356. Sides: Proposing In accordance with the Zoning Ordinance or greater for easements - Clarify proposed setback and ensure compliance with minimum setback requirements for City and County, finalize wording prior to final. Zoning Ordinance: Section 138-356. If layout is revised and include corner lots, setbacks will be established, prior to final. Zoning Ordinance: Section 138-356. Garage: Proposing: 30 ft. except where greater setback is required, greater setback applies. Clarify proposed setback, prior to final. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on North 29th Street and both sides of interior streets. Sidewalk requirements may increase to 5 ft. per Engineering Department, plat note wording to be finalized, prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Must comply

with City Access Management Policy. Common Areas, etc. must be maintained by the lot owners and not the City of McAllen. Include a plat note as shown above, wording to be finalized prior to final. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-72 applies if public subdivision is proposed. Section 138-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Submit a copy of the draft HOA document, prior to recording. Section 110-72 applies if public subdivision is proposed. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72 Subdivision Ordinance: Section 134-168. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: ETJ Proposed: ETJ - Engineer must clarify annexation status, prior to final. Zoning Ordinance: Article V. Rezoning Needed before Final Approval - Engineer must clarify annexation status, prior to final. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Any abandonment must be done by separate process, not by plat, prior to recording. Temporary turnaround easement is being shown as dedicated by separate instrument and must be paved and recorded before recording of the subdivision. Dimensions and details of turnaround will need to be clarified and finalized, prior to final. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in preliminary form subject to the conditions noted, drainage, and utility approval.

d) Mesquite Cove Phase II Subdivision, 14505 North Rooth Road, Encarlen, Ltd. (SUB2025-0018) (PRELIMINARY) SEC

Interior Street: Dedication as needed for 50 ft. total ROW. Paving: 32 ft. Curb & gutter: Both sides - City Street names will be established prior to final and plat will need to be revised accordingly. Temporary turnaround easement is being shown as dedicated by separate instrument and must be paved and recorded before recording of the subdivision. Dimensions and details of turnaround will need to be clarified and finalized, prior to final. Clarify and resolve the overlap of the 15 ft. SWSC easement on the ROW dedication prior to final. ROW dedication may not overlap an easement to SWSC. Clarify permanent turnaround dedicated by this plat. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. ROW: 20 ft. Paving: 16 ft. Alley/service drive easement required for commercial and multi-family properties. If use other than single-family is proposed, requirements for alley, etc. will be reviewed. Subdivision Ordinance: Section 134-106. Front: Proposing: 25 feet or greater for easements. Clarify proposed setback and ensure compliance with minimum setback requirements for City and County, finalize wording prior to final. Zoning Ordinance: Section 138-356. Rear: Proposing 10 feet or greater for easements - Clarify proposed setback and ensure compliance with minimum setback requirements for City and County, finalize wording prior to final. Zoning Ordinance: Section 138-356. Sides: Proposing In accordance with the Zoning Ordinance or greater for easements. Clarify proposed setback and ensure compliance with minimum setback requirements for City and County, finalize wording prior to final. Zoning Ordinance: Section 138-356. Corner - If layout is revised and include corner lots, setbacks will be established, prior to final. Zoning Ordinance: Section 138-356. Garage: Proposing: 30 ft. except were greater setback is required, greater setback applies. Clarify proposed setback, prior to final. Zoning Ordinance: Section 138-356. All

setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on both sides of interior street. Sidewalk requirements may increase to 5 ft. per Engineering Department, plat note wording to be finalized, prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46 Applied 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Must comply with City Access Management Policy. Common Areas, etc. must be maintained by the lot owners and not the City of McAllen. Include a plat note as shown above, wording to be finalized prior to final. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-72 applies if public subdivision is proposed. Section 138-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Submit a copy of the draft HOA document, prior to recording. Section 110-72 applies if public subdivision is proposed. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: ETJ Proposed: ETJ Engineer must clarify annexation status, prior to final. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Engineer must clarify annexation status, prior to final. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Any abandonment must be done by separate process, not by plat, prior to recording. Temporary turnaround easement is being shown as dedicated by separate instrument and must be paved and recorded before recording of the subdivision. Dimensions and details of turnaround will need to be clarified and finalized, prior to final. Mesquite Cove Phase II may not be recorded before Mesquite Cove Phase I, since access to North 29th Street is pending the ROW dedication and improvements for Mesquite Cove Phase I. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in preliminary form subject to the conditions noted, drainage, and utility approval.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve item #'s 4c & 4d in subdivision in preliminary form subject to the conditions noted, drainage, and utility approval. Mr. Reza Badiozzamani seconded the motion, which was approved with four members present and voting.

ADJOURNMENT:

There being no further business to come before the Planning & Zoning Commission, Vice Chairperson Mr. Gabriel adjourned the meeting at 4:09p.m. with Mr. Reza Badiozzamani seconding the motion with four members present and voting.

Planning and Zoning Commission Regular Meeting

March 4, 2025

Page 20

ATTEST:

Magda Ramirez, ADMINISTRATIVE ASSISTANT

Memo

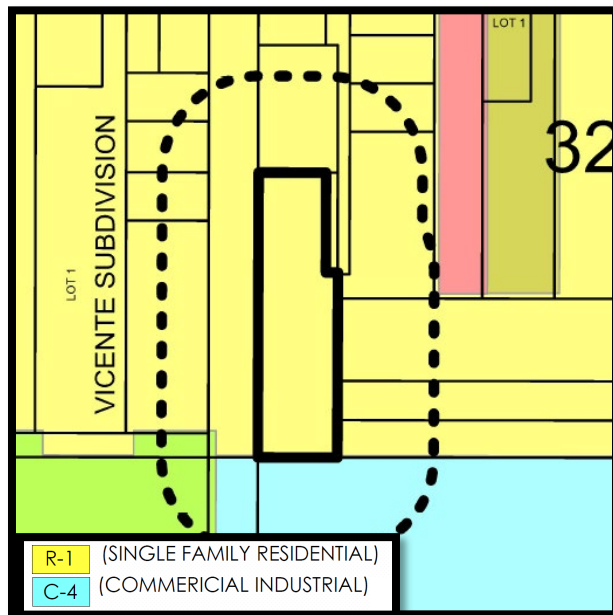
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: April 14, 2025

SUBJECT: REQUEST OF CHUKWUNONSO AZIKIWE FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR AN INSTITUTIONAL USE (ASSISTED LIVING FACILITY) AT A 2.12 ACRE TRACT OF LAND, MORE LESS, OUT OF 2.24 ACRE TRACT BEING THE SOUTH 590.1 FEET OUT OF THE WEST 165 FEET OF LAND OUT OF LOT 328, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS; 4721 BUDDY OWENS BOULEVARD, UNIT F. (CUP2025-0025)

BRIEF DESCRIPTION: The property is located south of Buddy Owens Boulevard. It is zoned R-1 (Single Family Residential- OC) District. Adjacent properties are R-1 (Single Family Residential) District in all directions except for the south where there is C-4 (Commercial Industrial) District. Surrounding land uses include single family residences, non-conforming commercial uses, Public Works, Recycling Center, and vacant land. An Institutional Use (Assisted Living) is allowed in a R-1 District with a Conditional Use Permit and in compliance with requirements.



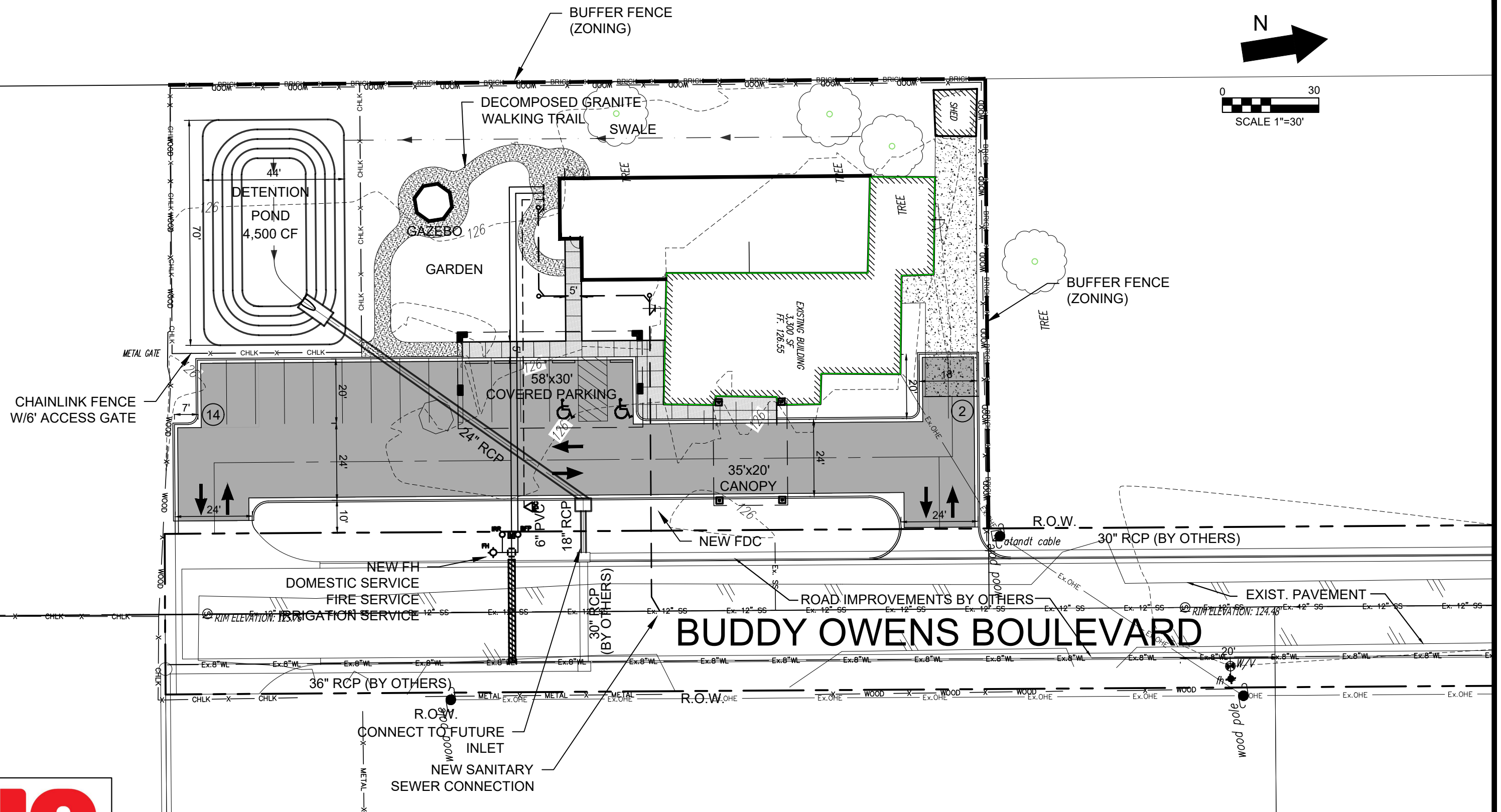
HISTORY: This is the first application submitted for an assisted living at this location. On January 8, 2025, the applicant applied for a subdivision variance due to plans to expand the facility. The City Commission approved the subdivision variance request with the conditions noted.

SUMMARY/ANALYSIS: The applicant is proposing to expand the assisted living facility with 16 units. The facility will be complying with parking, landscaping and setbacks for the future expansion.

The Fire Department inspection is pending. As per Section 138-400 of the Zoning Ordinance, the parking lot must be properly striped and free of potholes. The establishment must comply with the Zoning Ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial.
- 2) The proposed use shall comply with the off-street parking and loading ordinance and make provisions to prevent the use of street parking especially in residential areas.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges, or reorientation of entrance and exits.
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities.
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas.
- 6) The number of persons within the building shall be restricted to those by the Fire Marshal and Building Official at the time of permit issuance;
- 7) Sides adjacent to a residentially zoned or used property shall be screened by a 6ft opaque fence;
- 8) The above-mentioned facility shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

RECOMMENDATION: Staff recommends approval of the request for one year, subject to the compliance with requirements in Section 138-118 and 138-400 of the Zoning Ordinance, building Code and Fire Department.



PISTIS - ASSISTED LIVING FACILITY
4721 BUDDY OWENS BLVD. UNIT F - MC ALLEN, TEXAS



edgar@rainedesignlabs.com
856.759.4333
www.rainedesignlabs.com

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revisions

No.	Date	Description
1	03/11	Revision 1

notes

PROJECT No.

PROJECT: 241

**ASSISTE
LIVIN
FACILITY**

4721 Buddy Owens Blvd AJ
Mallin

client

JERICHO CONSTRUCT

sheet name

SITE PL

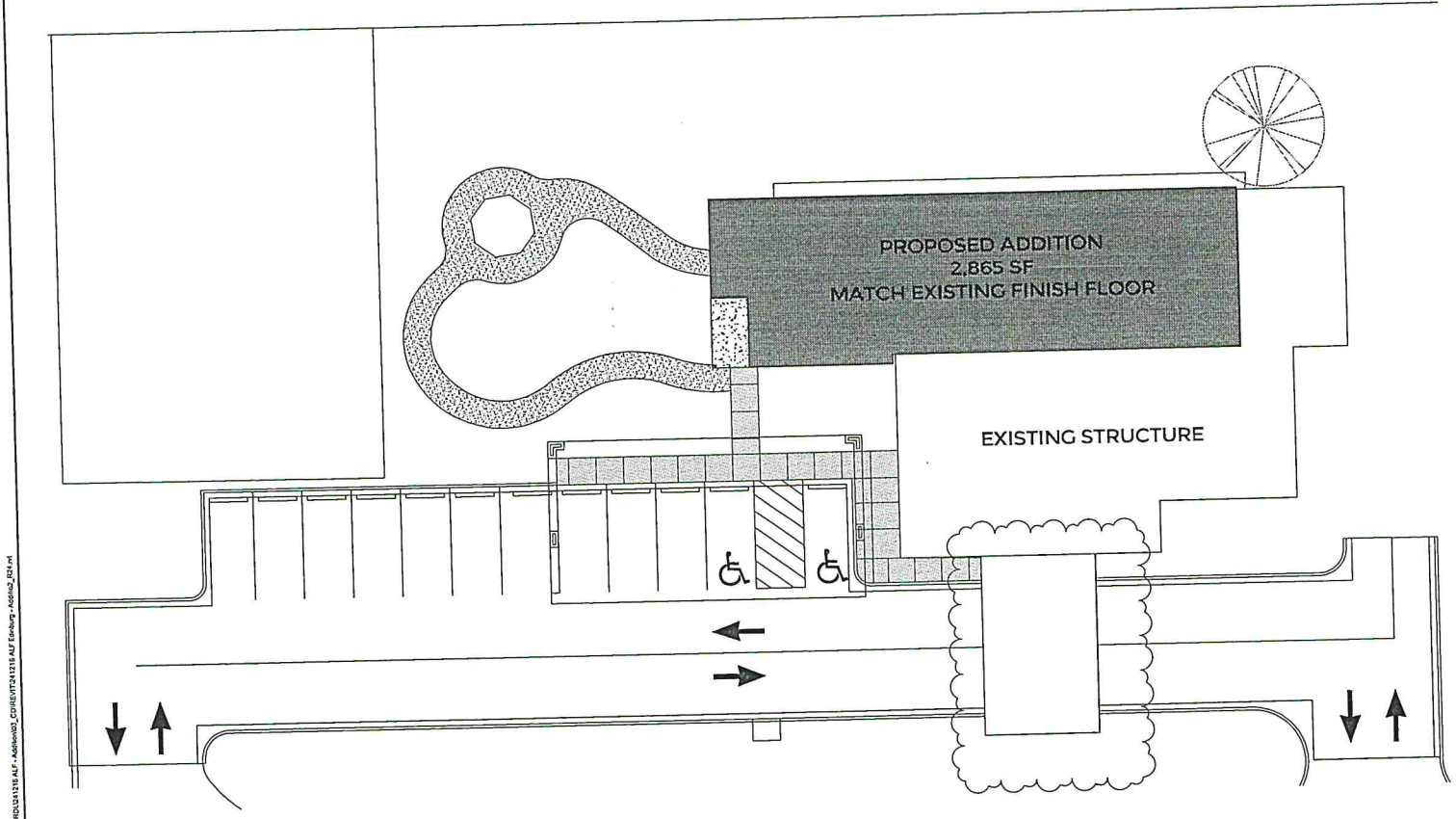
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date Issue 1

sheet number

A-0

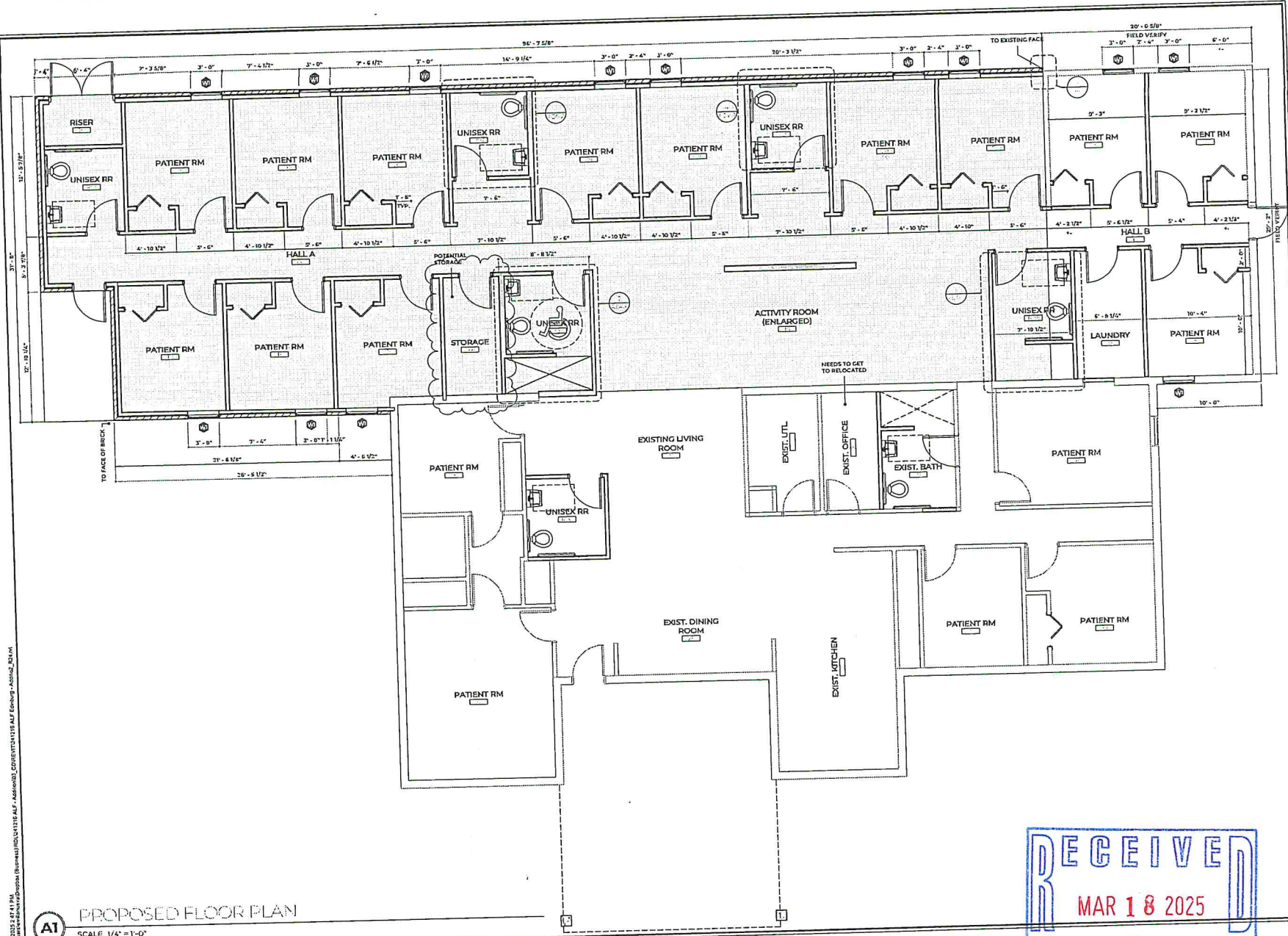
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A1

Site Plan
SCALE 1" = 10'-0"

3/10/2025 2:41:42 PM
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20230225 2:47:41 PM C:\Users\jra\OneDrive\Business\HOLLY1215 ALF - Addendum_Consideration 116 ALF Enclure - Addendum_221.rvt

RAINE DESIGN LABS



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956.789.4823
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revisions

No.	Date	Description
1	Date 1	Revision 1

notes

PROJECT No. _____
21121

ASSISTED LIVING FACILITY
4721 Buddy Owens Blvd APT McAllen,
client

JERICO CONSTRUCTIVE
sheet name

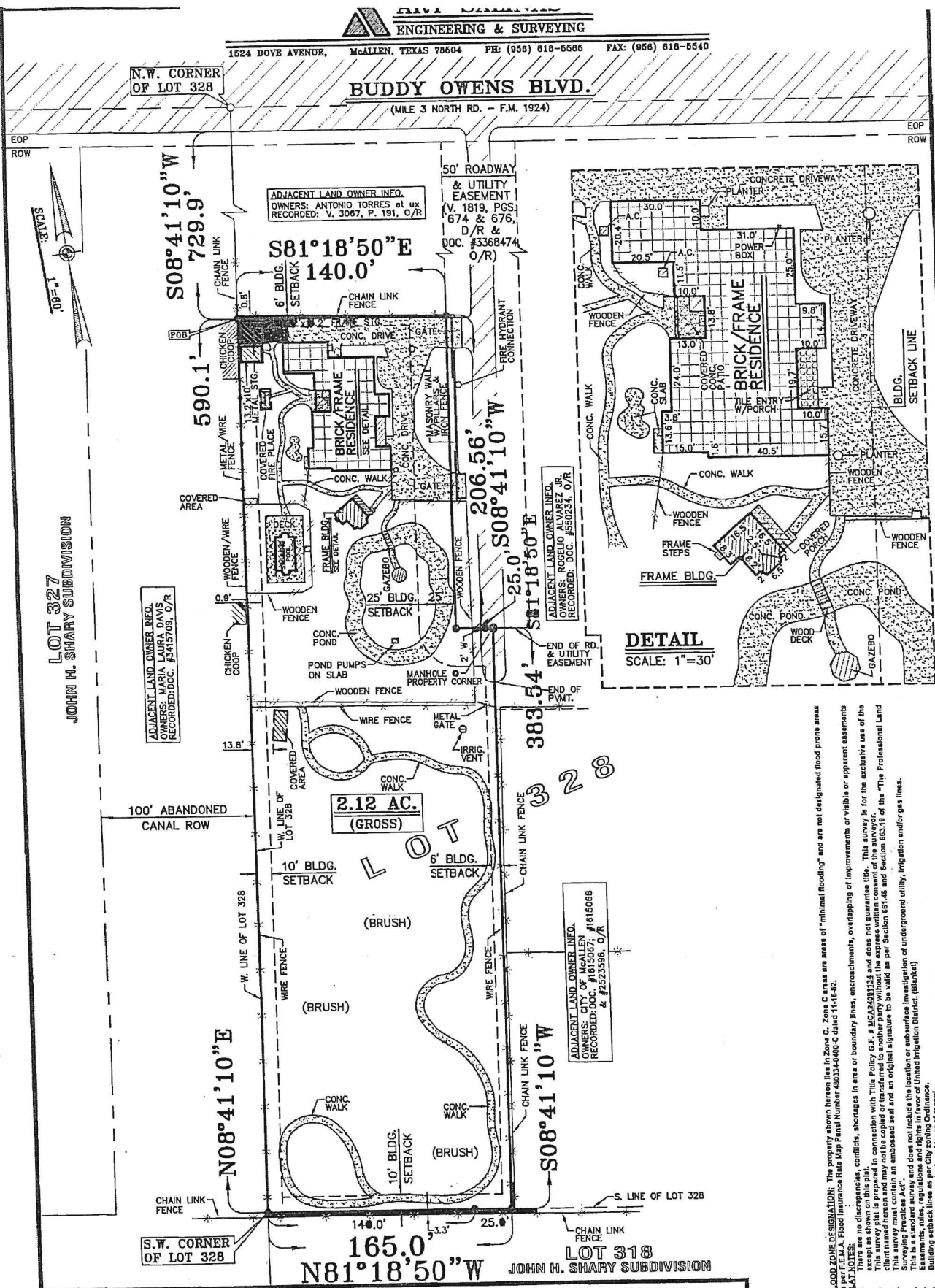
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FLOOR PL**

status DESI
DEVELOPME
date Issue D

sheet number
A-C
scale: AS

RECEIVED
MAR 18 2025
By OC

BUDDY OWENS BLVD.
(MILE 3 NORTH RD. - F.M. 1924)



THIS IS TO CERTIFY THAT I HAVE, THIS DATE, PREPARED A SURVEY ON THE GROUND WHICH IS LOCATED AT 4721 BUDDY OWENS BLVD., STE. F, IN McALLEN, TEXAS, DESCRIBED AS FOLLOWS:
A 2.12 ACRE TRACT OF LAND, MORE OR LESS, OUT OF A 2.24 ACRE TRACT BEING THE SOUTH 590.1 FEET OUT OF THE WEST 165 FEET OF LAND OUT OF LOT 328, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS OF HIDALGO COUNTY, TEXAS.
(SEE METES AND BOUNDS DESCRIPTION)

24-68532 12-05-24
Job No. Date

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LEGEND

- - DENOTES FOUND 1/2" ROD
- - DENOTES SET 1/2" ROD
- ⊙ - DENOTES FOUND MAG NAIL
- - DENOTES FOUND 5/8" PIPE
- - DENOTES NO MONUMENT
- - DENOTES RIGHT OF WAY
- - DENOTES EDGE OF PAVEMENT
- - DENOTES POINT/PLACE OF BEGINNING

FLOOD ZONE DESIGNATION: The property shown herein lies in Zone C. Zone C areas are areas of "minimal flooding" and are not designated flood prone areas under FEMA Flood Insurance Rate Map Panel Number 48034-0400-C dated 11-16-82.
PLAT NOTES:
1. There are no discrepancies, conflicts, shortages in area or boundary lines, encroachments, overlapping of improvements or visible or apparent easements except as may be indicated on this plat.
2. This survey is for the exclusive use of the client named herein and may not be copied or transferred to another person without the written consent of the surveyor.
3. This survey must contain an embossed seal and an original signature to be valid as per Section 651.46 and Section 651.19 of the "The Professional Land Surveyor Act."
4. Surveying Professional survey and does not include the location or subsurface investigation of underground utility, irrigation and/or gas lines.
5. Examinations, rules, regulations and rights in favor of United Irrigation District, (Blank)
6. Building setback lines as per City zoning Ordinance.
7. Subject to any other laws, rules, regulations and rights in favor of United Irrigation District, (Blank)
8. The line of a 2.24 acre tract of land recorded in Doc. #1817842, O/R - ROBERTSON, Chuburne & Ashburn





NOTICE
INSTITUTIONAL
USE
FOR
THIS PROPERTY
CUP2025-0025
CITY OF MCALLEN PLANNING DEPT.
800-577-6464
WWW.MCALLEN.NET

Planning Department

Memo

TO: Planning and Zoning Commission

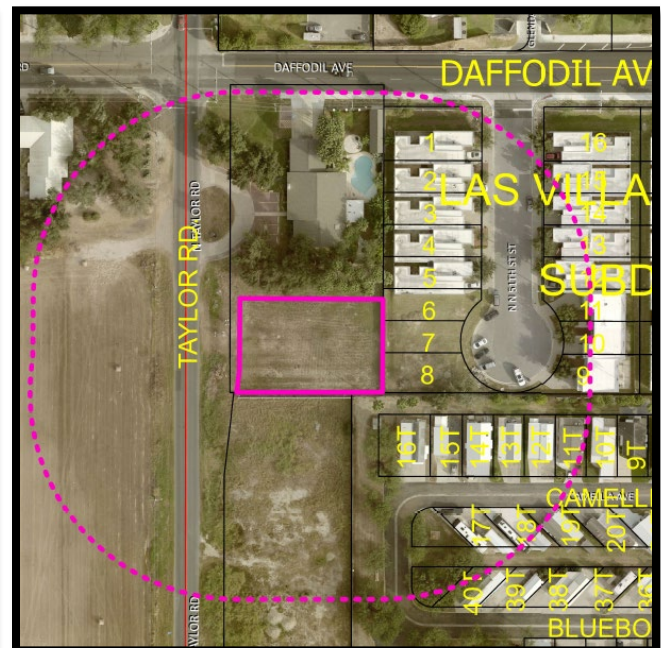
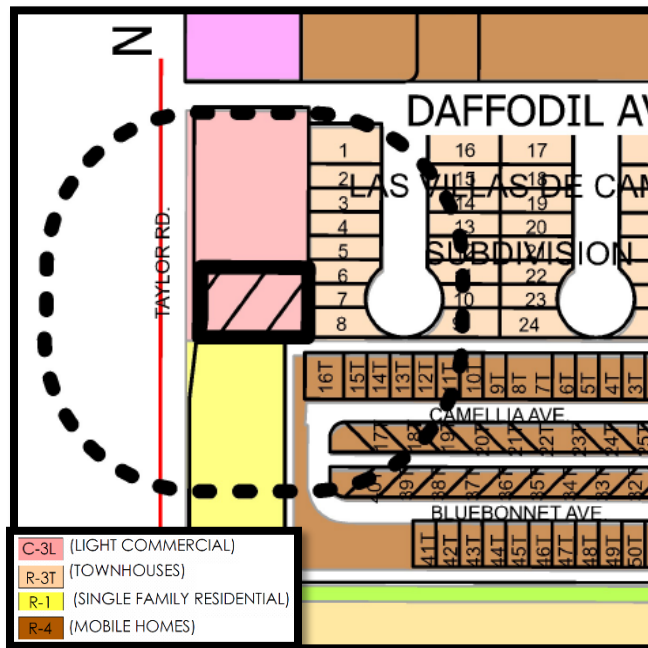
FROM: Planning Staff

DATE: April 14, 2025

SUBJECT: REZONE FROM C-3L (LIGHT COMMERCIAL-OC) DISTRICT TO R-1 (LOW DENSITY RESIDENTIAL-UDC) DISTRICT: 0.29 ACRE TRACT OF LAND, MORE OR LESS, OUT OF LOT 287, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS; 2900 NORTH TAYLOR ROAD. (REZ2025-0022)

LOCATION: The subject property located on the east side of North Taylor Road approximately 200 feet south of Daffodil Avenue.

PROPOSAL: The applicant is requesting to rezone from C-3L (Light Commercial-OC) District to R-1 (Low Density Residential-UDC) District for a Single-Family Residential development.



ADJACENT ZONING: The adjacent zoning is C-3L(Light Commercial- OC) District to the north, R-3T (Multifamily Residential Townhouse-OC) District and R-4 District to the east and R-1 (Single Family Residential-OC) District to the south.

LAND USE: Surrounding uses are vacant land, Adobe Wells Mobile Park, townhouses, and single-family dwellings.

COMPREHENSIVE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for this property as Complete Communities, which is a land use designation primarily for a single-family residential use. Other appropriate land uses include townhouses, multifamily dwellings of no more than four units, government buildings, and compatible retail and office uses for adjacent residential properties.

DEVELOPMENT TRENDS: The development trend along this area is a mix of multifamily residential, single family residential, and office uses.

HISTORY: A rezoning request was submitted on March 6, 2025. A Subdivision is currently in process for this property under the subdivision name "Prayer Garden".

ANALYSIS: The requested rezoning conforms to the Future Land Use Plan designation as shown on the Envision McAllen Future Land Use Plan. The proposed rezoning is compatible with the rezoning and development trend for this area and is appropriate overall.

A subdivision will be required prior to building permit issuance for any future developments for this property. Any future constructions must comply with all development and conditional use permit requirements where applicable under the UDC.

Staff has not received any phone calls in opposition to the zoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to R-1 (Low Density Residential- UDC) District.

SALINAS ENGINEERING & ASSOCIATES
CONSULTING ENGINEERS & SURVEYORS
2221 DAFFODIL AVE. - MCALLEN, TEXAS 78501
(956) 682-9081 (956) 686-1489 (FAX)
dsalinas@salinasengineering.com

TBPLS 12100 PARK 35 CIRCLE BLDG. A, SUITE 156, MC-230, AUSTIN, TEXAS 78573 (512) 239-5263

P.O.C.
N.W.C.
LOT 287
JOHN H. SHARY
SUBDIVISION

S81°19'00"E
DAFFODIL AVE.
(40.00' R.O.W.)

NORTH LINE OF LOT 287

190.56'

SOUTH R.O.W. LINE

S08°41'00"W
40.00'

20.0' PRIVATE DRAINAGE EASEMENT
(INST. NO. 2542471, H.C.M.R.)

186.84'

10.0' PRIVATE DRAINAGE
SEWER EASEMENT
(INST. NO. 2542471, H.C.M.R.)

10.0' ELECTRICAL & UTILITY EASEMENT
(INST. NO. 2542471, H.C.M.R.)

ADJOINER:
OWNER: DE LA GARZA RAFAEL
& ELIZABETH
PROPERTY I.D. NO.: 281503
WARRANTY DEED: 3344699, H.C.D.R.

SCALE: 1" = 50'

LEGEND

- FOUND 1/2" IRON ROD
- SET 1/2" IRON ROD WITH YELLOW CAP MARKED "SEA 5782"
- ⊗ FIRE HYDRANT
- ⊗ WV WATER VALVE
- ⊗ G GAS METER
- ⊗ MB MAIL BOX
- ⊗ SL STREET LIGHT
- ⊗ PP POWER POLE
- ⊗ MH STORM DRAIN MANHOLE
- ⊗ G GAS MARKER (CONNECTION)
- R.O.W. RIGHT OF WAY
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- P-E PROPERTY LINE TO EDGE OF ASPHALT
- E-E EDGE OF ASPHALT TO EDGE OF ASPHALT
- H.C.D.R. HIDALGO COUNTY DEED RECORDS
- H.C.O.R. HIDALGO COUNTY OFFICIAL RECORDS
- H.C.M.R. HIDALGO COUNTY MAP RECORDS

GENERAL PLAT NOTES:

- Bearing Basis: Recorded plat of SURVEY BY ALFONSO QUINTANILLA, RPLS, DATED 04/05/22, Hidalgo County, Texas.
- This survey was prepared without the benefit of a title policy. The research of any easements is not within the scope of this boundary/improvement survey. Any easement shown herein were taken directly from the plat of record. This survey is for the exclusive use of the client named herein and may not be copied or transferred to another party without the express written consent of the surveyor.
- There are no discrepancies, conflicts, excesses or shortages in area, encroachments or any overlapping improvements, visible or apparent easements except as shown or noted hereon.
- The surveyor has made no attempt to locate or define wellands, hazardous waste areas, habitats, endangered species or any other environmentally sensitive areas on the tract of land shown herein; Nor does this survey make any representations of being an environmental assessment of the tract of land shown hereon.
- The surveyor has made no attempt to locate or define archeological sites, historical sites or undocumented cemeteries on the tract of land shown hereon; Nor does this survey make any representations of being an archeological or historical survey of the tract of land shown hereon.
- The surveyor has made no attempt to locate abandoned, or plugged oil and gas wells, or any other wells on the tract of land shown hereon; Nor has the surveyor made any attempt to research same with the Railroad Commission of Texas or any other State agency; Nor has the surveyor investigated any mineral or royalty interests in the tract of land shown hereon.
- This is a standard survey and does not include a subsurface utility or topographic investigation.
- If this survey does not bear an original seal and signature it is **INVALID** as per Section 661.46 and Section 663.19 of the "The Professional Land Surveying Practices Act" enacted under Article 5282c, Vernon's Texas Civil Statutes.

METES AND BOUNDS DESCRIPTION

BEING A 0.29 ACRE TRACT OF LAND, MORE OR LESS, OUT OF LOT 287, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 01, PAGE 17, MAP RECORDS OF HIDALGO COUNTY, TEXAS; SAID 0.29 ACRE TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 287 LOCATED AT THE INTERSECTION OF DAFFODIL AVE. AND N. TAYLOR ROAD; THENCE, AS FOLLOWS

SOUTH 81 DEGREES 19 MINUTES EAST, COINCIDENT WITH THE NORTH LINE OF SAID LOT 287, A DISTANCE OF 190.56 FEET AND THENCE, SOUTH 08 DEGREES 41 MINUTES WEST, A DISTANCE OF 186.84 FEET TO A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" SET FOR THE NORTHEAST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

(1) THENCE, SOUTH 08 DEGREES 41 MINUTES WEST, A DISTANCE OF 90.0 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND FOR THE SOUTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;

(2) THENCE, NORTH 81 DEGREES 42 MINUTES 38 SECONDS WEST, A DISTANCE OF 141.04 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND ON INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID N. TAYLOR ROAD FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;

(3) THENCE, NORTH 15 DEGREES 21 MINUTES 34 SECONDS EAST, COINCIDENT WITH THE EAST RIGHT-OF-WAY LINE OF SAID N. TAYLOR ROAD, A DISTANCE OF 21.67 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND FOR AN INSIDE WESTERN CORNER OF THIS HEREIN DESCRIBED TRACT;

(4) THENCE, NORTH 08 DEGREES 41 MINUTES 37 SECONDS EAST, CONTINUING COINCIDENT WITH THE EAST RIGHT-OF-WAY LINE OF SAID N. TAYLOR ROAD, A DISTANCE OF 68.32 FEET TO A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" SET FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;

(5) THENCE, SOUTH 81 DEGREES 19 MINUTES EAST, A DISTANCE OF XXX FEET 139.75 FEET TO THE POINT OF BEGINNING, CONTAINING 0.29 ACRES OF LAND, MORE OR LESS.

BASIS OF BEARING: SURVEY BY ALFONSO QUINTANILLA, RPLS, DATED 04/05/22
N:\SUBDIVISION\PLATS\PRAYERGARDENS SUB\0.29 022625

This is to certify that I have, this date, made a careful and accurate standard land survey on the ground of property which is located at 2916 N. TAYLOR ROAD in MCALLEN, Texas, described as follows: BEING A 0.29 ACRE TRACT OF LAND, MORE OR LESS, OUT OF

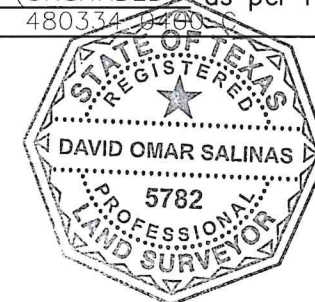
(SEE METES AND BOUNDS DESCRIPTION)

Lot 287, Block -, of JOHN H. SHARY SUBDIVISION, HIDALGO CO.

Texas, according to the plat recorded in Volume 01, Page 17, of the MAP Records of Hidalgo County, Texas. I further certify that this property lies in Zone "C (UNSHADED)" as per FIRM (Flood Insurance Rate Map) dated NOV. 16, 1982 Community Panel No. 480334-0260

H.C.
DRN. BY
03/05/25
DATE

SP-25-26283
JOB NO.



REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5782

METES AND BOUNDS DESCRIPTION

BEING A 0.29 ACRE TRACT OF LAND, MORE OR LESS, OUT OF LOT 287, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 01, PAGE 17, MAP RECORDS OF HIDALGO COUNTY, TEXAS; SAID 0.29 ACRE TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

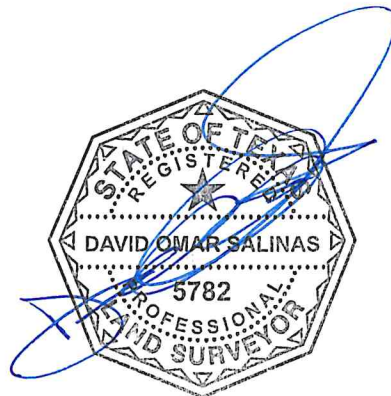
COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 287 LOCATED AT THE INTERSECTION OF DAFFODIL AVE. AND N. TAYLOR ROAD; THENCE, AS FOLLOWS

SOUTH 81 DEGREES 19 MINUTES 00 SECONDS EAST, COINCIDENT WITH THE NORTH LINE OF SAID LOT 287, A DISTANCE OF 190.56 FEET, AND, THENCE, SOUTH 08 DEGREES 41 MINUTES 00 SECONDS WEST, A DISTANCE 40.0 FEET PASSING THE SOUTH RIGHT-OF-WAY LINE OF SAID DAFFODIL AVE., AT A DISTANCE OFF 226.84 FEET IN ALL TO A ½ INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" SET FOR THE NORTHEAST CORNER AND **POINT OF BEGINNING** OF THIS HEREIN DESCRIBED TRACT;

- (1) THENCE, SOUTH 08 DEGREES 41 MINUTES 00 SECONDS WEST, A DISTANCE OF 90.0 FEET TO A ½ INCH DIAMETER IRON ROD FOUND FOR THE SOUTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;
- (2) THENCE, NORTH 81 DEGREES 42 MINUTES 38 SECONDS WEST, A DISTANCE OF 141.04 FEET TO A ½ INCH DIAMETER IRON ROD FOUND ON INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID N. TAYLOR ROAD FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;
- (3) THENCE, NORTH 15 DEGREES 21 MINUTES 34 SECONDS EAST, COINCIDENT WITH THE EAST RIGHT-OF-WAY LINE OF SAID N. TAYLOR ROAD, A DISTANCE OF 21.67 FEET TO A ½ INCH DIAMETER IRON ROD FOUND FOR AN INSIDE WESTERN CORNER OF THIS HEREIN DESCRIBED TRACT;
- (4) THENCE, NORTH 08 DEGREES 41 MINUTES 37 SECONDS EAST, CONTINUING COINCIDENT WITH THE EAST RIGHT-OF-WAY LINE OF SAID N. TAYLOR ROAD, A DISTANCE OF 69.45 FEET TO A ½ INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" SET FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;
- (5) THENCE, SOUTH 81 DEGREES 19 MINUTES 00 SECONDS EAST, A DISTANCE OF 138.50 FEET TO THE **POINT OF BEGINNING**, CONTAINING 0.29 ACRES OF LAND, MORE OR LESS.

BASIS OF BEARING: SURVEY BY ALFONSO QUINTANILLA, RPLS, DATED 04/05/22
N:\SUBDIVISIONPLATS\PRAYERGARDENS.SUB\0.29.032525

SALINAS ENGINEERING & ASSOCIATES
2221 DAFFODIL AVE., MCALLEN, TEXAS, 78501
(956) 682-9081
dsalinas@salinasengineering.com





JAMES LEE GONZALEZ
REALTOR
FOR SALE

NOTICE:
REZONING
FOR
THIS PROPERTY
REZ2013-0013

• NOTICE •
REZONING
FOR
THIS PROPERTY
REZ2025-0022



CITY OF MCALLEN PLANNING DEPT.
956-681-1200
WWW.MCALLENNET



Planning Department

Memo

TO: Planning and Zoning Commission

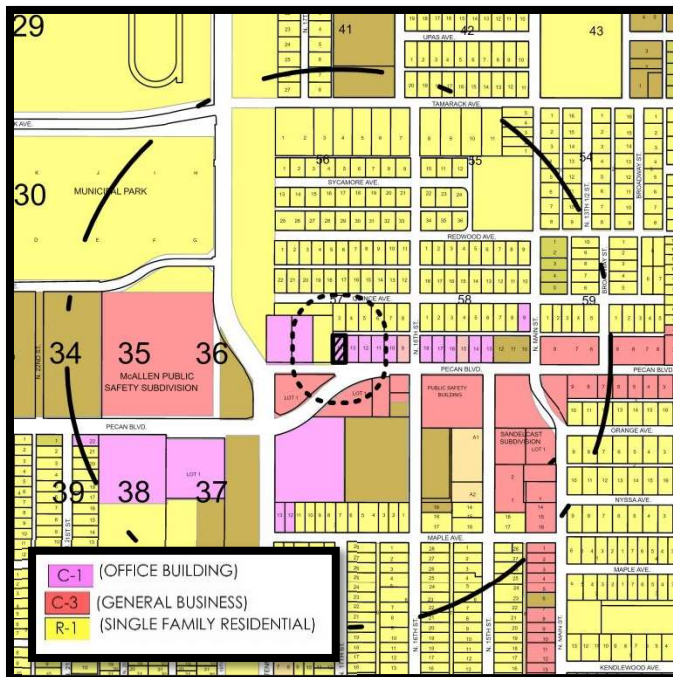
FROM: Planning Staff

DATE: April 10, 2025

SUBJECT: REZONE FROM C-1 (OFFICE BUILDING-OC) DISTRICT TO C-1 (LOCAL COMMERCIAL-UDC) DISTRICT: LOT 14, BLOCK 2, PECAN HEIGHTS SUBDIVISION, HIDALGO COUNTY, TEXAS; 1622 PECAN BOULEVARD. (REZ2025-0024)

LOCATION: The subject property is located along the north side of Pecan Boulevard. The property is zoned C-1 (Office Building-OC) District.

PROPOSAL: The applicant is requesting to rezone the property to C-1 (Local Commercial-UDC) District in order use the property for a coffee shop. Currently, the property has an existing building that is being used as an office. The current zoning of the property does not allow coffee shops; therefore, a change of zoning to C-1 (Local Commercial-UDC) District is required to use the property for the proposed coffee shop use.



ADJACENT ZONING: The adjacent zoning is R-1 (Single-Family Residential-OC) District to the north and west, C-3 (General Business-OC) District to the south and C-1 (Office Building-OC) to the east.

LAND USE: The property is currently being used for an office. Surrounding uses include single

family residential dwellings, offices and other commercial uses.

FUTURE LAND USE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for this property as Complete Communities. Single-family homes make up the majority of the land use category.

DEVELOPMENT TRENDS: The development trend of this area along Pecan Boulevard is for office use and other commercial uses.

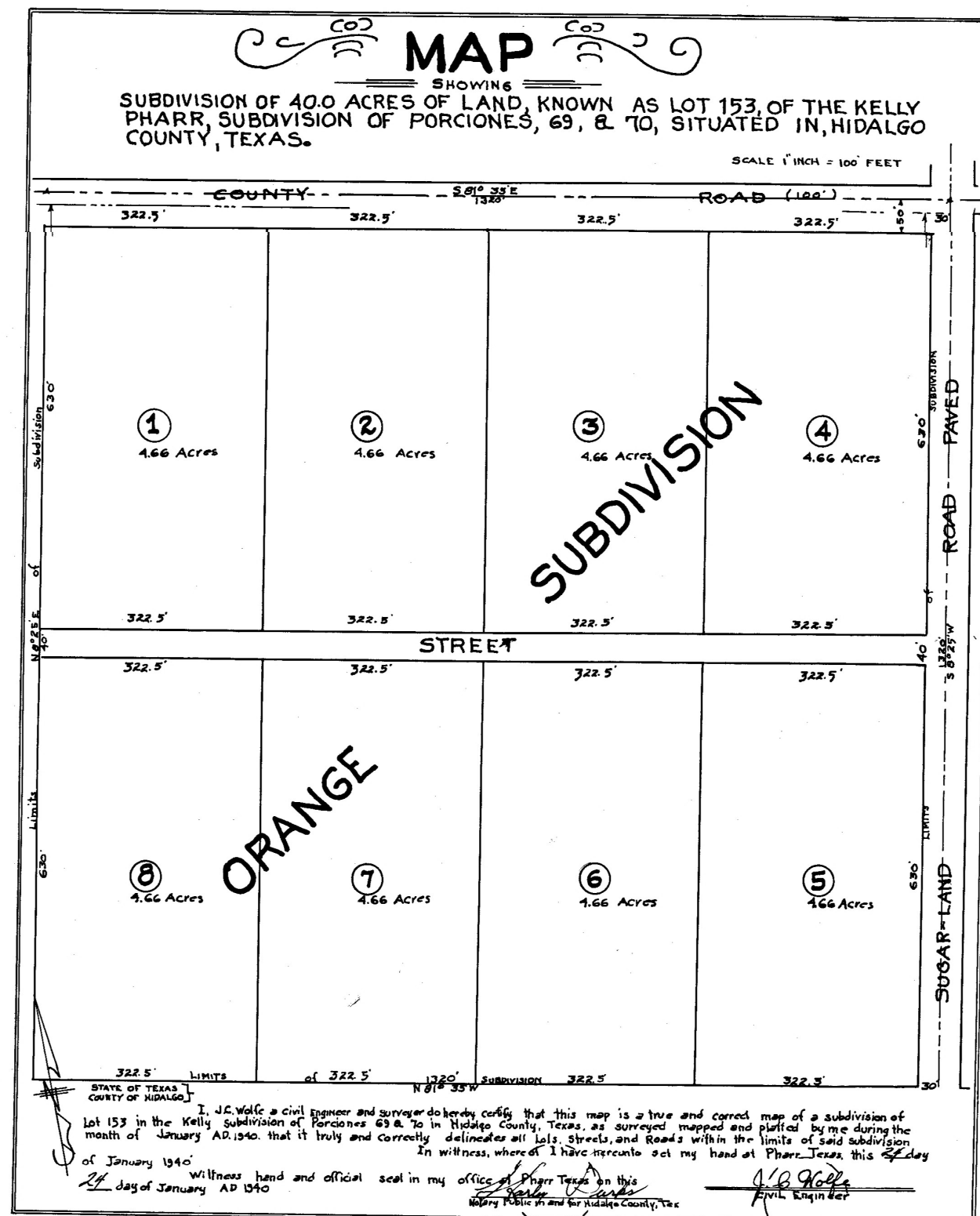
HISTORY: The application for this rezoning request was submitted March 18, 2025.

ANALYSIS: The requested zoning does not conform with the future land use designation as shown on the Envision McAllen Future Land Use Plan. However, it complies with the development trend along Pecan Boulevard and surrounding uses.

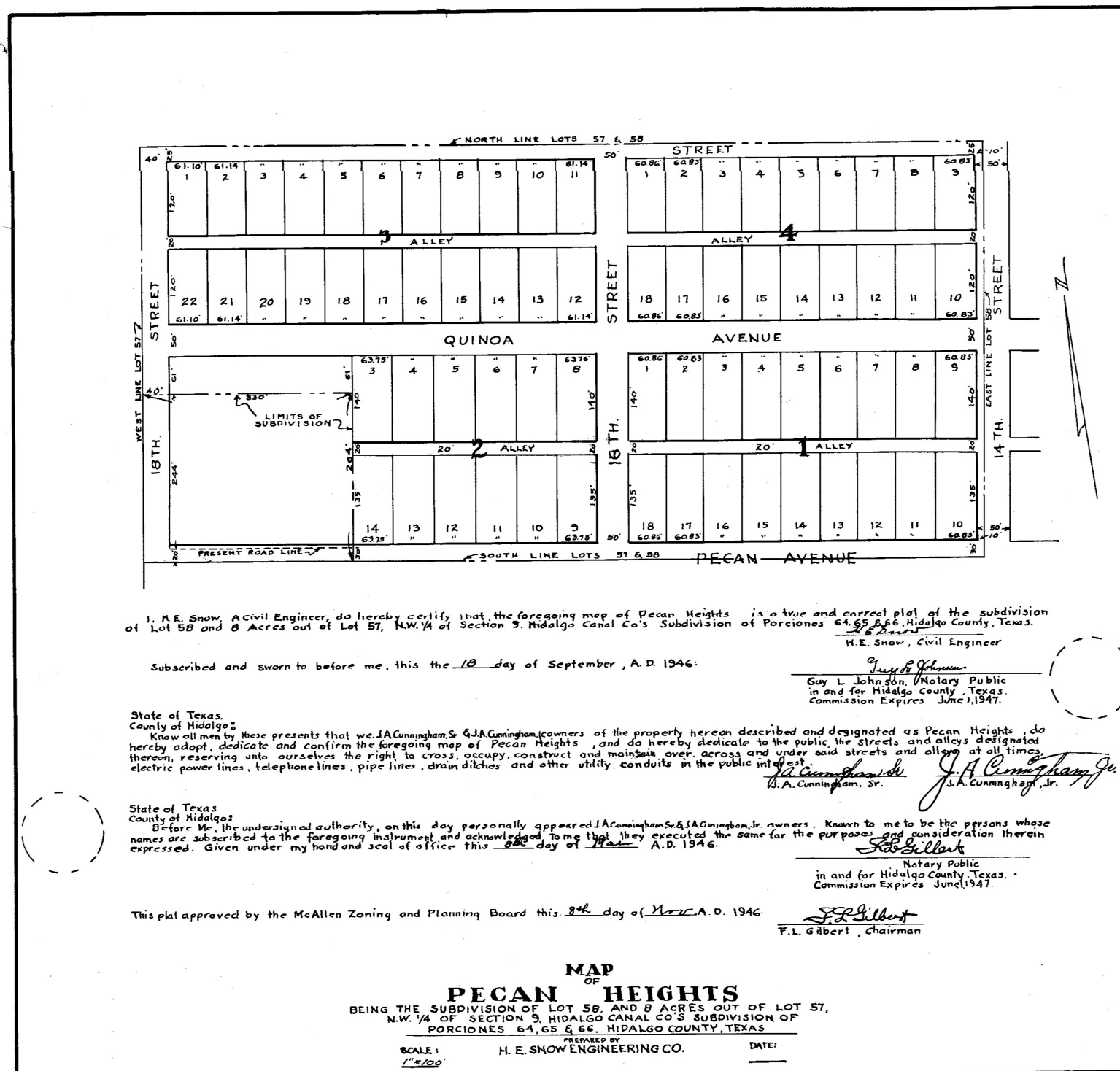
If the zoning change is approved, any future developments must also comply with parking requirements, building permit and conditional use requirements (if applicable) of the zoning district in which it is located.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to C-1 (Local Commercial-UDC) District.



Filed Dec. 3, 1946 10:00 A.M.



Filed Dec 17, 1946 1:25 P.M.

March 18, 2025

Marilynn Martinez
Maria Davila
1622 Pecan Blvd
McAllen, Texas 78501

To Whom it May Concern

Good afternoon,

Thank you for taking the time to discuss our zoning application. As first-time business owners in McAllen, we are excited to bring a new coffee shop to our community.

We understand the importance of complying with City requirements. Unfortunately, we overlooked potential future regulations, and we've already invested significantly in the building and business.

We believe McAllen has tremendous growth potential, and we'd love the opportunity to establish ourselves here. We are eager to work with the city to find a solution that meets everyone's needs.

Thank you again for your time and consideration.

Marilynn Martinez
Maria Davila

MAR 18 2025

BY: _____

PROPERTY OWNER AUTHORIZATION

I, Raul Arispe, hereby authorize Maria Davila, Marilyn Martinez, and Jessica Garcia, representative for Casa Cafelito, to make application for requesting a zoning change at 1622 Pecan Blvd. Macallen, TX. 78501

Raul Arispe

03/17/2025

Raul Arispe

956-432-8453

idethz@yahoo.com

MAR 18 2025

BY: _____

ced

**NOTICE
REZONING
FOR
THIS PROPERTY
REZ2025-0024**



CITY OF MCALLEN PLANNING DEPT.
956-681-1250
WWW.MCALLE.NET



Planning Department

Memo

TO: Planning and Zoning Commission

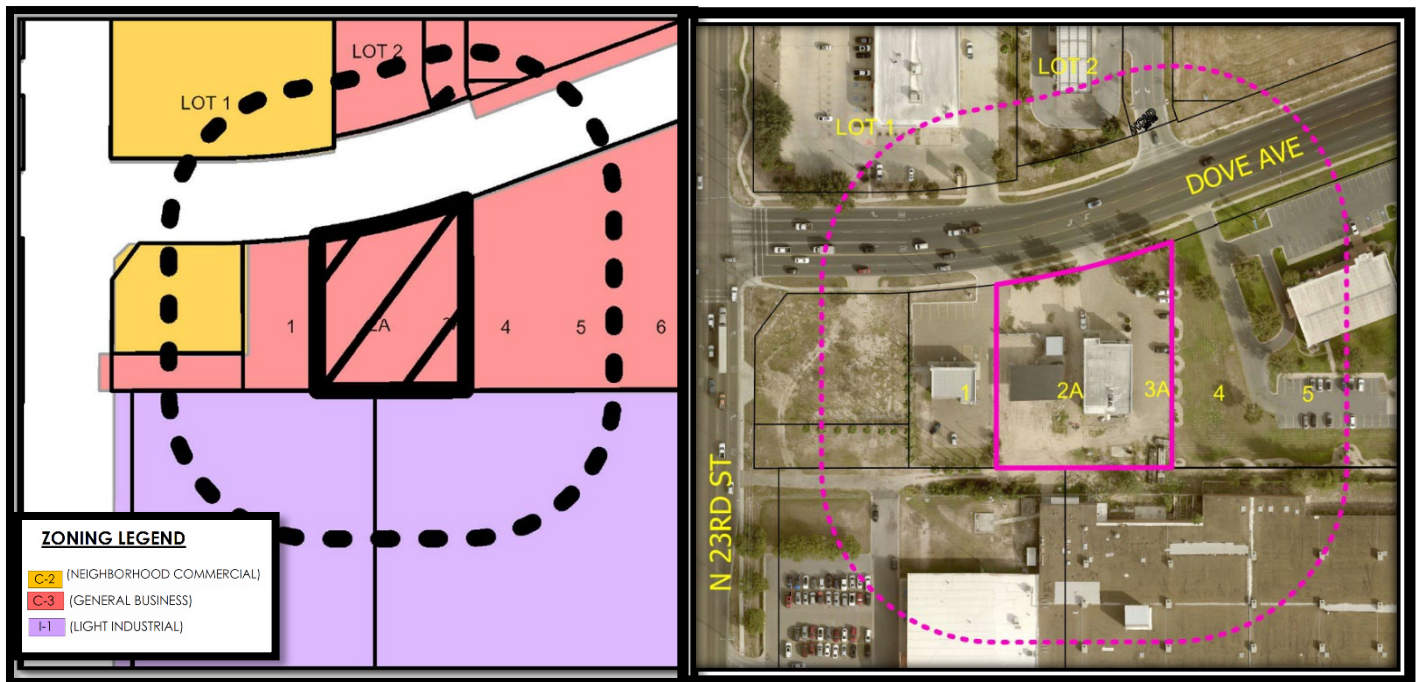
FROM: Planning Staff

DATE: April 10, 2025

SUBJECT: REZONE FROM C-3 (GENERAL BUSINESS-OC) DISTRICT TO C-2 (REGIONAL COMMERCIAL-UDC) DISTRICT: LOT 2A AND 3A OF LOTS 2A AND 3A DOVE COMMERCIAL PARK SUBDIVISION, HIDALGO COUNTY, TEXAS; 2209 & 2201 DOVE AVENUE. (REZ2025-0025)

LOCATION: The subject property located along south side of Dove Avenue and east side of North 23rd Street.

PROPOSAL: The applicant is requesting to rezone from C-3 (General Commercial-OC) District to C-2 (Regional Commercial-UDC) District for the development of a Food Truck Park.



ADJACENT ZONING: The adjacent zoning is C-3 (General Business-OC) District to the West, East and North directions of the property, I-1(Light Industrial -OC) District to the south and zoning at the Intersection of Dove and North is C-2 (Neighborhood Commercial)

LAND USE: Surrounding uses include commercial and vacant land.

COMPREHENSIVE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for this property as C-2 (Regional Commercial-UDC) District, which is a district that

provides for medium to large-scale development of retail, service, entertainment, and office.

DEVELOPMENT TRENDS: The development trend along this area of Dove Avenue is primarily commercial and retail use.

HISTORY: The rezoning request was submitted on March 20, 2025.

ANALYSIS: The requested rezoning conforms to the Future Land Use Plan designation as shown on the Envision McAllen Future Land Use Plan. The proposed rezoning is appropriate and compatible with the zoning and development trends for this area.

Any future developments must also comply with the permitted and conditional uses of the designated zoning district.

Staff has not received any phone calls in opposition to the zoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to C-2 (Regional Commercial- UDC) District.



Aug 29 2016 14:54:39



nt
& BAR
2024

NOTICE
REZONING
FOR
THIS PROPERTY
REZ2025-0025



CITY OF MCALLEN PLANNING DEPT.
956-681-1250
WWW.MCALLE.NET



Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: April 14, 2025

SUBJECT: Rezone from R-1 (Single-Family Residential - OC) District to R-1 (Low Density Residential - UDC) District: Lots 1-13, Rancho Subdivision, Hidalgo County, Texas; 5201 - 5611 South 29th Street. (REZ2025-0027)

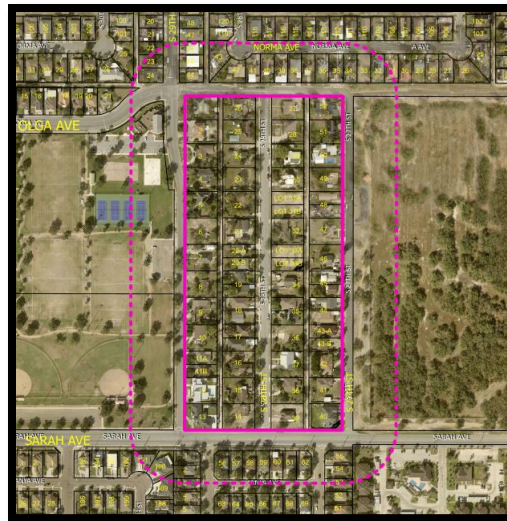
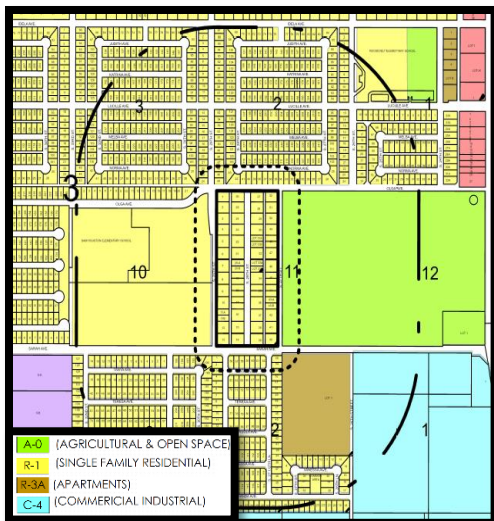
Rezone from R-1 (Single-Family Residential - OC) District to R-1 (Low Density Residential - UDC) District: Lots 14-26, Rancho Subdivision, Hidalgo County, Texas; 5610 - 5200 South 28th Street. (REZ2025-0027)

Rezone from R-1 (Single-Family Residential - OC) District to R-1 (Low Density Residential - UDC) District: Lots 27-39, Rancho Subdivision, Hidalgo County, Texas; 5201 - 5611 South 28th Street. (REZ2025-0027)

Rezone from R-1 (Single-Family Residential - OC) District to R-1 (Low Density Residential - UDC) District: Lots 40-52, Rancho Subdivision, Hidalgo County, Texas; 2700 Sarah Avenue / 5200 - 5600 South 27th Street. (REZ2025-0027)

LOCATION: The subject properties are located along the north side of Sarah Avenue between South 29th street and South 27th Street, and south of Olga Avenue. The properties contain single family dwellings and are zoned R-1 (Single Family Residential - OC) District.

PROPOSAL: The City of McAllen is requesting to rezone the property to R-1 (Low Density Residential - UDC) District as part of the City wide initiated rezoning pertaining to the adoption of the new McAllen Unified Development Code (UDC).



ADJACENT ZONING: The adjacent properties to the north, south, and west are zoned R-1 (Single Family Residential - OC) District. The property to the east across South 27th Street is zoned A-O (Agricultural - Open Space – OC) District.

LAND USE: Surrounding uses include Los Encinos Park, South Side Park, El Patrimonio Apartments, Sam Houston Elementary School, Police Community Network Center, and single family residential dwellings.

FUTURE LAND USE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for these properties as Complete Communities. Single family homes make up the majority of the land use category.

DEVELOPMENT TRENDS: The development trend along Olga Avenue, South 27th and 29th Streets and Sarah Avenue is single family residential.

HISTORY: An application for a rezoning request was submitted March 21, 2025.

ANALYSIS: The requested zoning conforms to the future land use designation as shown on the Envision McAllen Future Land Use Plan. The proposed R-1 (Low Density Residential) District is an equivalent zoning district to the current R-1 District zoning designation.

Any future constructions must also comply with all development and conditional use permit requirements where applicable under the UDC.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to R-1 (Low Density Residential - UDC) District.







**NOTICE
REZONING
FOR
THIS PROPERTY
REZ2025-0027**

CITY OF MCALLEN PLANNING DEPT.
956-681-1250
WWW.MCALLEN.NET





City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

SUB2024-0070

Project Information	Subdivision Name	<u>KMB SUBDIVISION</u> ^{RPS}		
	Legal Description	<u>NELSON ADDITION W50' LOTS 5 & 6 & S25'-W50' LOT 4 BLK 1</u>		
	Location	<u>821 South 16th Street</u>		
	City Address or Block Number			
	Total No. of Lots	<u>2</u>	Total Dwelling Units	<u>2</u>
	Gross Acres	<u>0.14</u>	Net Acres	<u>0.14</u>
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No			
	For Fee Purposes: <input type="checkbox"/> Commercial (<u> </u> Acres) / <input checked="" type="checkbox"/> Residential (<u>2</u> Lots) Replat: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No			
	Existing Zoning	<u>R3T</u> ^{RPS}	Proposed Zoning	<u>R3T</u> ^{RPS}
	Applied for Rezoning	<input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date <u> </u>		
Existing Land Use	<u>TOWNHOMES</u>			
Proposed Land Use	<u>TOWNHOMES</u>			
Irrigation District #	<u>NONE</u>	Water CCN:	<input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other <u> </u>	
Agricultural Exemption:	<input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Property ID: <u>244826</u> <u>I.D.L</u>			
Estimated Rollback Tax Due	<u>N/A</u> Tax Dept. Review <u>NPG</u>			
Owner	Name	<u>DE LA FUENTE INVESTMENTS LLC</u> Phone <u>956-330-9277</u>		
	Address	<u>520 E NEWPORT LN</u> E-mail <u>oscar.mario.delafuente@gmail.com</u>		
	City	<u>McALLEN</u>	State	<u>TX</u> Zip <u>78501</u>
Developer	Name	<u>SAMES INC.</u> Phone <u>956-702-8880</u>		
	Address	<u>200 S. 10TH STREET, SUITE 1500</u> E-mail <u>lhernandez@samengineering-surveying.com</u>		
	City	<u>McALLEN</u>	State	<u>TX</u> Zip <u>78501</u>
	Contact Person	<u>LUIS BRANDO HERNANDEZ</u>		
Engineer	Name	<u>MARIO A GARCIA</u> Phone <u>956-702-8880</u>		
	Address	<u>200 S. 10TH STREET, SUITE 1500</u> E-mail <u>mario@samengineering-surveying.com</u>		
	City	<u>McALLEN</u>	State	<u>TX</u> Zip <u>78501</u>
	Contact Person	<u>MARIO A GARCIA</u>		
Surveyor	Name	<u>LEO L. RODRIGUEZ, JR.</u> Phone <u>956-702-8880</u>		
	Address	<u>200 S. 10TH STREET, SUITE 1500</u> E-mail <u>lrodriguez@samengineering-surveying.com</u>		
	City	<u>McALLEN</u>	State	<u>TX</u> Zip <u>78501</u>

JUN 21 2024

BY: CW

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 06/21/2024

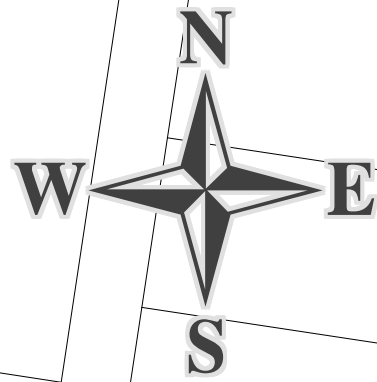
Print Name LUIS BRANDO HERNANDEZ

Owner ☐ Authorized Agent ☒

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

HOUSTON AV

LOCATION

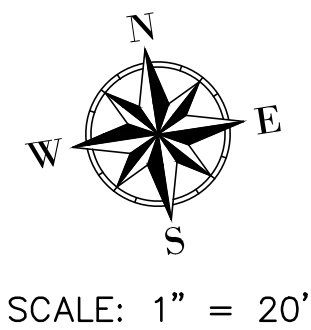
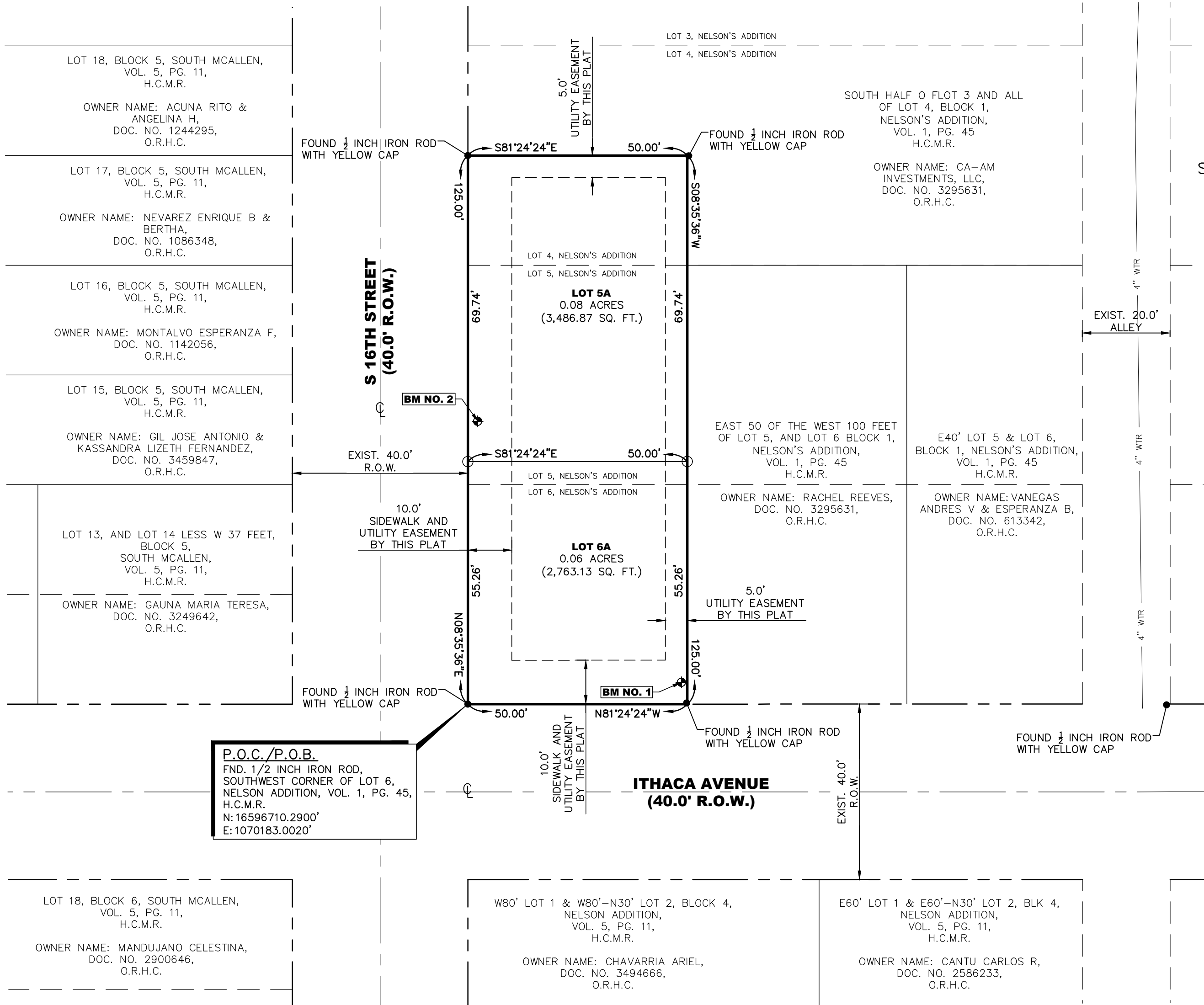


16TH ST



ITHACA AV

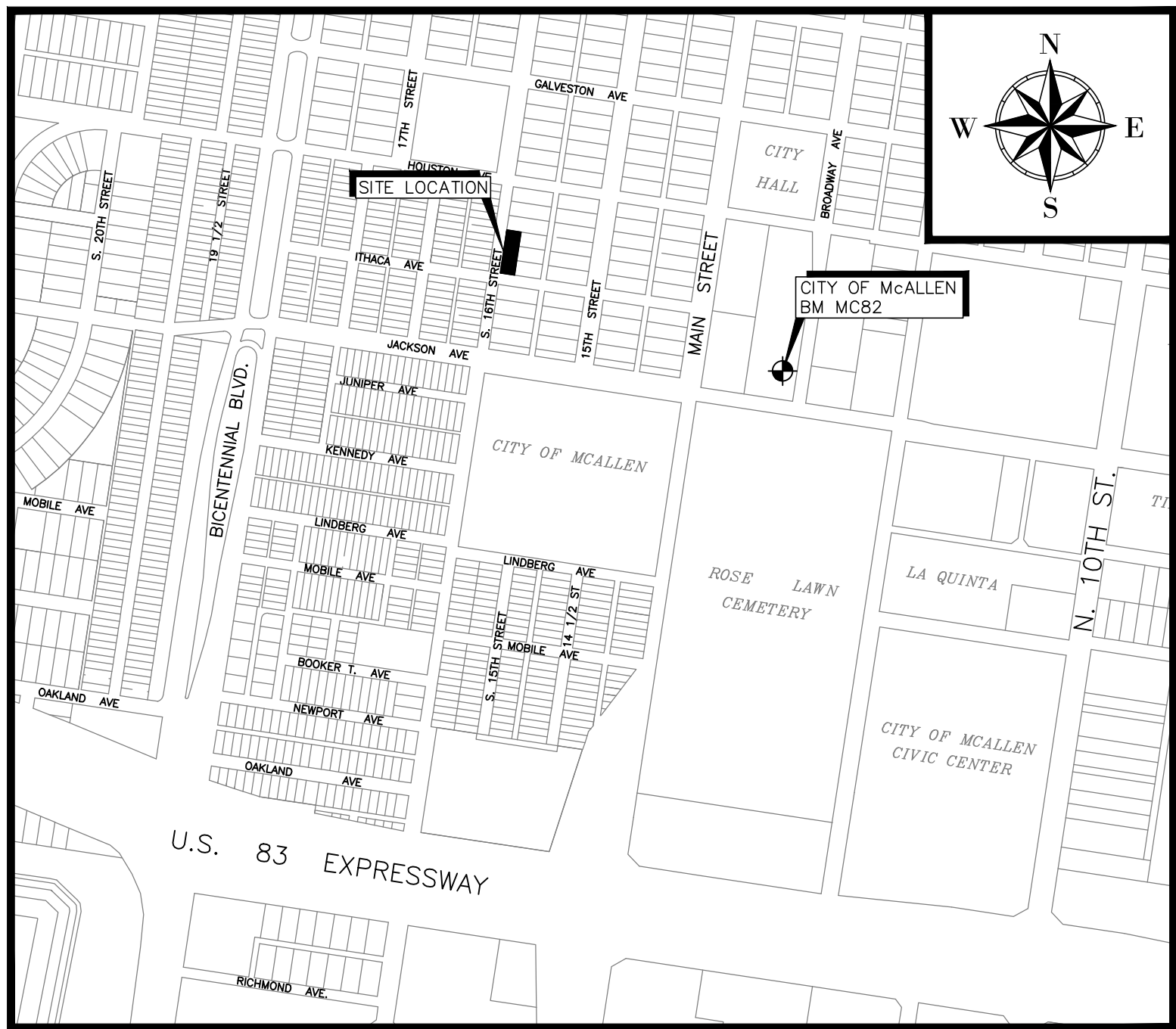
PROPOSED
LAW OFFICE OF ALEJANDRO
GUERRA SUBD



LEGEND	
●	- FND. 1/2" IRON ROD W/CAP
○	- SET 1/2" IRON ROD W/CAP STAMPED "SAMES"
⊕	- ON-SITE BENCHMARK
—	- CENTER LINE
H.C.M.R.	- HIDALGO COUNTY MAP RECORDS
H.C.O.R.	- HIDALGO COUNTY OFFICIAL RECORDS
P.O.C.	- POINT OF COMMENCING
P.O.B.	- POINT OF BEGINNING
PROP.	- PROPOSED
ELEV.	- ELEVATION
R.O.W.	- RIGHT OF WAY
FND.	- FOUND

GENERAL NOTES

- NO STRUCTURES SHALL BE PERMITTED OVER ANY EASEMENT. "EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, SHEDS, SHRUBS, TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS OR FLOWERS) AND OTHER OBSTRUCTIONS TO THE OPERATIONS AND MAINTENANCE OF THE EASEMENT." AS PER 54 SECTION 6.2 (4) (6) OF THE SUBDIVISION ORDINANCE.
- SETBACK AS FOLLOWS: (EXCEPT WHERE GREATER SETBACK OR EASEMENT APPLIES) FRONT (SOUTH 16TH STREET) LOT 5A.....IN ACCORDANCE WITH THE ZONING ORDINANCE OR IN LINE WITH AVERAGE SETBACKS OF EXISTING STRUCTURES OR GREATER FOR EASEMENTS, WHICHEVER IS GREATER APPLIES. FRONT (ITHACA AVENUE) LOT 6A.....IN ACCORDANCE WITH THE ZONING ORDINANCE OR IN LINE WITH AVERAGE SETBACKS OF EXISTING STRUCTURES OR GREATER FOR EASEMENTS, WHICHEVER IS GREATER APPLIES. REAR.....IN ACCORDANCE WITH ZONING ORDINANCE, OR GREATER FOR EASEMENTS. SIDES.....IN ACCORDANCE WITH ZONING ORDINANCE, OR GREATER FOR EASEMENTS. GARAGE.....18 FT. EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES. CORNER.....IN ACCORDANCE WITH ZONING ORDINANCE, OR GREATER FOR EASEMENTS.
- FLOOD INSURANCE RATING: INSURANCE RATE MAP COMMUNITY PANEL NUMBER 480343 0010 C, REVISED NOVEMBER 2, 1982 ZONE C. AREAS OF MINIMAL FLOODING. (NO SHADING)
- BENCHMARK 1: SET IRON ROD, WITH REFERENCE CAP AMERICAN VERTICAL DATUM OF 1988 (NAVD88) NORTHING: 16596707.9300 EASTING: 1070231.8410 ELEVATION: 126.582' BENCHMARK 2: SET IRON ROD, WITH REFERENCE CAP AMERICAN VERTICAL DATUM OF 1988 (NAVD88) NORTHING: 16596773.6900 EASTING: 1070194.8190 ELEVATION: 126.524'
- DRAINAGE DETENTION REQUIRED OF 0.0002 AC-FT TO BE DETAINED WITHIN THE SUBDIVISION.
- MINIMUM PERMISSIBLE FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB AT MID POINT OF EACH LOT.
- 4 FT. WIDE MINIMUM SIDEWALK REQUIRED ON ITHACA AVENUE AND SOUTH 16TH STREET.
- PERIMETER SIDEWALKS MUST BE BUILT OR MONEY ESCROWED IF NOT BUILT AT THIS TIME.
- A 6' FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES.
- A 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- PERIMETER BUFFERS MUST BE BUILT AT TIME OF SUBDIVISION IMPROVEMENTS.
- NEAREST CITY OF McALLEN BENCHMARK IS MCB2, SAID BENCHMARK IS LOCATED APPROXIMATE 100 FEET NORTH OF THE SOUTHWEST CORNER INTERSECTION OF BROADWAY AVENUE AND JACKSON AVENUE, ELEV=125.01 (N=16596351.34, E=1071202.75).
- COMMON AREAS, ANY PRIVATE DRIVES, GATE AREAS, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.



LOCATION MAP
SCALE: 1" = 500'

NELSON ADDITION LOTS 5A AND 6A SUBDIVISION

0.143 (6,250.00 SQ. FT.) OF AN ACRE COMPRISED OF 0.0287 (1,250.00 SQ. FT.) OF AN ACRE OUT OF LOT 4, BLOCK 1, 0.0573 (2,500.00 SQ. FT.) OF AN ACRE OUT OF LOT 5, BLOCK 1, AND 0.0573 (2,500.00 SQ. FT.) OF AN ACRE OUT OF LOT 6, BLOCK 1, NELSON'S ADDITION, AN ADDITION TO THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 45, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

METES AND BOUNDS

BEING A 0.143 (6,250.00 SQ. FT.) OF AN ACRE COMPRISED OF 0.0287 (1,250.00 SQ. FT.) OF AN ACRE OUT OF LOT 4, BLOCK 1, 0.0573 (2,500.00 SQ. FT.) OF AN ACRE OUT OF LOT 5, BLOCK 1, AND 0.0573 (2,500.00 SQ. FT.) OF AN ACRE OUT OF LOT 6, BLOCK 1, NELSON'S ADDITION, AN ADDITION TO THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 45, MAP RECORDS OF HIDALGO COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS, AS FOLLOWS:

COMMENCING: FOUND 1/2 INCH IRON ROD WITH A YELLOW PLASTIC CAP, FOR THE SOUTHWEST CORNER OF LOT 6, BLOCK 1, OF SAID NELSON'S ADDITION, BEING ON THE INTERSECTION OF SIXTEENTH STREET (HAVING A 40.00' R.O.W.) AND NORTH AVENUE (HAVING A 40.00' R.O.W.), FOR THE SOUTHWEST CORNER AND POINT OF BEGINNING, OF THIS HEREIN DESCRIBED TRACT OF LAND, HAVING A GRID COORDINATE OF N=16596710.2900', E=1070183.0020',

THENCE: NORTH 08°35'36" EAST, ALONG THE WEST LINE OF LOT 6, BLOCK 1, OF SAID NELSON'S ADDITION AND EAST RIGHT OF WAY LINE SIXTEENTH STREET (HAVING A 40.00' R.O.W.), AT A DISTANCE OF 50.00 FEET, TO A POINT, FOR THE COMMON CORNER OF LOT 5 AND LOT 6, BLOCK 1, OF SAID NELSON'S ADDITION, CONTINUING AT A DISTANCE OF 100.00 FEET, TO A POINT, FOR THE COMMON CORNER OF LOT 4 AND LOT 5, BLOCK 1, OF SAID NELSON'S ADDITION, CONTINUING TO A TOTAL DISTANCE OF 125.00 FEET, TO A FOUND 1/2 INCH IRON ROD WITH A YELLOW PLASTIC CAP, FOR THE SOUTHWEST CORNER OF A TRACT OF LAND CONVEYED TO CA-AM INVESTMENTS, LLC., AS RECORDED IN DOCUMENT NUMBER 3295631, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, AND FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT OF LAND;

THENCE: SOUTH 81°24'24" EAST, ALONG THE SOUTH LINE OF SAID TRACT OF LAND CONVEYED TO CA-AM INVESTMENTS, LLC., A DISTANCE OF 50.00 FEET, TO A FOUND 1/2 INCH IRON ROD WITH A YELLOW PLASTIC CAP, FOR AN INTERIOR CORNER OF SAID TRACT OF LAND CONVEYED TO CA-AM INVESTMENTS, LLC., AND FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT OF LAND;

THENCE: SOUTH 08°35'36" WEST, ALONG THE WEST LINE OF SAID TRACT OF LAND CONVEYED TO CA-AM INVESTMENTS, LLC., AT A DISTANCE OF 25.00 FEET TO A POINT, FOR THE COMMON CORNER OF SAID TRACT OF LAND CONVEYED TO FOR THE COMMON LINE OF LOT 4 AND LOT 5, BLOCK 1, OF SAID NELSON'S ADDITION, CONTINUING TO A DISTANCE OF 75.00 FEET, TO A POINT, FOR THE COMMON LINE OF LOT 5 AND LOT 6, BLOCK 1, OF SAID NELSON'S ADDITION, CONTINUING TO A TOTAL DISTANCE OF 125.00 FEET, TO A POINT, FOR THE SOUTHWEST CORNER OF SAID TRACT OF LAND CONVEYED TO RACHEL REYES, BEING ON THE NORTH RIGHT OF WAY LINE OF ITHACA AVENUE AND THE SOUTH LINE OF LOT 6, BLOCK 1, OF SAID NELSON'S ADDITION, FOR THE SOUTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT OF LAND;

THENCE: NORTH 81°24'24" WEST, ALONG THE NORTH RIGHT OF WAY LINE OF ITHACA AVENUE AND THE SOUTH LINE OF LOT 6, BLOCK 1, OF SAID NELSON'S ADDITION, A DISTANCE OF 50.00 FEET, TO THE POINT OF BEGINNING, CONTAINING A 0.143 (6,250.00 SQ. FT.) OF AN ACRE, MORE OR LESS.

SURVEY NOTES:

- BASIS OF BEARING AS PER THE WEST LINE OF LOT 6, BLOCK 1, NELSON'S ADDITION, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOL. 1, PAGE. 45, MAP RECORDS OF HIDALGO COUNTY, TEXAS.
- ALL COORDINATES, BEARINGS, AND DISTANCES, ARE BASED ON THE TEXAS COORDINATE SYSTEM, (NAD 83), TEXAS STATE PLANES, SOUTH ZONE (4205) ADJUSTMENT OF 2011, US SURVEY FEET, GRID, BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE BASED ON RECORDED DOCUMENT.
- ALL HORIZONTAL CONTROL ON THIS PROJECT WAS ESTABLISHED UTILIZING RTK GPS METHODS.
- THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. THERE MAY BE EASEMENTS OR OTHER MATTERS THAT ARE NOT SHOWN.

STATE OF TEXAS COUNTY OF HIDALGO

I, DE LA FUENTE INVESTMENT, LLC, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE **KMB SUBDIVISION** TO THE CITY OF McALLEN, TEXAS; AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

DE LA FUENTE INVESTMENT, LLC
OSCAR DE LA FUENTE—REGISTERED AGENT
PRESIDENT

STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **DE LA FUENTE INVESTMENT, LLC**, KNOWN TO ME TO BE THE PERSONS WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS
MY COMMISSION EXPIRES:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATION COUNTY OF HIDALGO

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON THE GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN DATE

CITY CLERK DATE

STATE OF TEXAS COUNTY OF HIDALGO

CERTIFICATION BY THE CHAIRMAN OF THE COMMISSION: I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRPERSON, PLANNING AND ZONING COMMISSION

DATE

PRINCIPAL CONTACTS:

	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	DE LA FUENTE INVESTMENTS LLC.	520 E NEWPORT LN	McALLEN, TEXAS 78501	(956) 330-9277	NONE
ENGINEER:	SAUL D. MALDONADO, P.E.	200 S. 10TH ST, STE. 1500	McALLEN, TEXAS 78501	(956) 702-8880	(956) 702-8883
SURVEYOR:	LEO L. RODRIGUEZ, JR., R.P.L.S.	200 S. 10TH ST, STE. 1500	McALLEN, TEXAS 78501	(956) 702-8880	(956) 702-8883

STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, **SAUL D. MALDONADO**, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

SAUL D. MALDONADO, PE NO. 100320 DATE

STATE OF TEXAS COUNTY OF HIDALGO

KNOW ALL MEN BY THESE PRESENTS:

I, THE UNDERSIGNED, **LEO L. RODRIGUEZ, JR.**, A REGISTERED PROFESSIONAL ENGINEER AND REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

LEO L. RODRIGUEZ, JR., RPLS NO. 2448 DATE

FILED FOR RECORD IN HIDALGO COUNTY
ARTURO GUAJARDO JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____
AM/PM.


INSTRUMENT NUMBER _____
OF MAP RECORD OF HIDALGO COUNTY TEXAS.

BY: _____ DEPUTY.



DATE OF PREPARATION: March 2025

SHEET 1 OF 3

	200 S. 10TH ST. SUITE 1500.	TEL. (956) 702-8880
	McALLEN, TEXAS 78501	FAX: (956) 702-8883
	TEX. REG. ENGINEERING	FIRM F-10602
	TEX. REG. SURVEYING	FIRM No. 101416-00



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 4/11/2025

SUBDIVISION NAME: NELSON ADDITION LOTS 5A AND 6A (PREVIOUSLY KMB)

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Ithaca Avenue: 10 ft. ROW dedication as required for 30 ft. from centerline for a 60 ft. total ROW.

Paving: maintain existing Curb & gutter: both sides

- Reference document number on the plat for the existing ROW and provide a copy for staff review as applicable, prior to recording.

- Engineer submitted a variance application (VAR2024-0038) to not dedicate additional ROW and maintain the existing 40 ft. ROW on August 9, 2024. If the request is approved staff recommends a 10-foot sidewalk and utility easement to be dedicated by plat as per the Engineering Department. City Commission approved the variance request on October 14, 2024 as per staff's recommendation.

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

South 16th Street: 10 ft. ROW dedication as required for 30 ft. from centerline for a 60 ft. total ROW.

Paving: maintain existing Curb & gutter: both sides

- Reference document number on the plat for the existing ROW and provide a copy for staff review as applicable, prior to recording.

- Engineer submitted a variance application (VAR2024-0038) to not dedicate additional ROW and maintain the existing 40 ft. ROW on August 9, 2024. If the request is approved staff recommends a 10-foot sidewalk and utility easement to be dedicated by plat as per the Engineering Department. City Commission approved the variance request on October 14, 2024 as per staff's recommendation.

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

* 1,200 ft. Block Length

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac

**Subdivision Ordinance: Section 134-105

Required

Required

Applied

Applied

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial/multi-family properties

- As per Public Works Department this subdivision will utilize residential collection.

**Subdivision Ordinance: Section 134-106

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SETBACKS	
<p>* Front: (South 16th Street) Lot 5A: In accordance with the Zoning Ordinance or in line with average setbacks of existing structures or greater for easements, whichever is greater applies. (Ithaca Avenue) Lot 6A: In accordance with the Zoning Ordinance or in line with average setbacks of existing structures or greater for easements, whichever is greater applies. - Remove notation of (Except where greater setback or easement applies) at the beginning of plat note #2 **Zoning Ordinance: Section 138-356 & 367</p>	Required
<p>* Rear: In accordance with Zoning Ordinance or greater for easements. **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Sides: In accordance with the Zoning Ordinance or greater for easements **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Corner: In accordance with Zoning Ordinance or greater for easements. **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Garage: 18 ft. except where greater setback is required, greater setback applies. **Zoning Ordinance: Section 138-356</p>	Applied
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on Ithaca Avenue and South 16th Street **Subdivision Ordinance: Section 134-120</p>	Applied
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Required
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46</p>	Applied
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46</p>	Applied
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Required
NOTES	
<p>**Must comply with City Access Management Policy</p>	Applied
<p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p>	Applied
<p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p>	Applied
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	NA
<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	NA
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets **Subdivision Ordinance: Section 134-1 	Applied
<ul style="list-style-type: none"> * Minimum lot width and lot area **Zoning Ordinance: Section 138-356 	Applied
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: R-3T Proposed: R-3T **City Commission approved a rezoning request from R-2 to R-3T on April 22, 2024. ***Zoning Ordinance: Article V 	Applied
<ul style="list-style-type: none"> * Rezoning Needed Before Final Approval **City Commission approved a rezoning request from R-2 to R-3T on April 22, 2024. ***Zoning Ordinance: Article V 	Applied
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. 	NA
<ul style="list-style-type: none"> * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. If number of lots/dwelling units changes, park fees will be adjusted accordingly, prior to recording. 	Required
<ul style="list-style-type: none"> * Pending review by the City Manager's Office. 	NA
TRAFFIC	
<ul style="list-style-type: none"> * As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. - As per Traffic Department, Trip Generation is waived for 2 lot townhouse subdivision. * Traffic Impact Analysis (TIA) required prior to final plat. 	Applied
	NA
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> - Owner's signature block must comply with requirements set forth in Section 134-61. - Easements will need to be dedicated by plat or with a plat note. - Any abandonments must be done by separate document, not by plat. - Application will need to be revised to reflect the name change. - Remove plat notes # 8 and 11 as they are not required plat notes. *Must comply with City's Access Management Policy. 	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO THE CONDITIONS NOTED.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

HOUSTON AV

LOCATION



16TH ST

PROPOSED
KMB SUBDIVISION

ITHACA AV

PROPOSED
OFFICE OF ALEJANDRO
SUBD

SUB2024-0087



City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Oaks at Northgate Subdivision</u>	
	Legal Description <u>A 0.70 of an acre tract being a portion of Lots 1 and 2, ODM Subdivision, as recorded in Volume 43, Page 103, Map Records, Hidalgo County, Texas.</u>	
	Location <u>1921 Northgate Lane</u>	
	City Address or Block Number _____	
	Total No. of Lots <u>1</u> Total Dwelling Units <u>1</u> Gross Acres <u>0.70</u> Net Acres <u>0.70</u>	
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial (_____ Acres) / <input checked="" type="checkbox"/> Residential (<u>0.70</u> Lots) Replat: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No	
	Existing Zoning <u>R-1</u> Proposed Zoning <u>R-1</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____	
	Existing Land Use <u>Single Family Residential</u> Proposed Land Use <u>Single Family Residential</u>	
	Irrigation District # <u>1</u> Water CCN: <input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other _____	
Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # <u>665835</u>		
Estimated Rollback Tax Due <u>562.69</u> Tax Dept. Review <u>UPG</u>		
Owner	Name <u>Oscar and Rosie V. Sotelo Living Trust</u> Phone <u>(956) 457-5638</u>	
	Address <u>2101 Northgate Lane</u> E-mail <u>michael.sotelo15@yahoo.com</u>	
	City <u>McAllen</u> State <u>Tx</u> Zip <u>78504</u>	
Developer	Name <u>Oscar and Rosie V. Sotelo Living Trust</u> Phone <u>(956) 457-5638</u>	
	Address <u>2101 Northgate Lane</u> E-mail <u>michael.sotelo15@yahoo.com</u>	
	City <u>McAllen</u> State <u>Tx</u> Zip <u>78504</u>	
	Contact Person <u>Michael Sotelo</u>	
Engineer	Name <u>R. E. Garcia & Associates</u> Phone <u>(956) 381-1061</u>	
	Address <u>116 N. 12th</u> E-mail <u>regaassoc@aol.com</u>	
	City <u>Edinburg</u> State <u>Tx.</u> Zip <u>78541</u>	
	Contact Person <u>Raul E. Garcia, PE, RPLS</u>	
Surveyor	Name <u>R. E. Garcia & Associates</u> Phone <u>(956) 381-1061</u>	
	Address <u>116 N. 12th</u> E-mail <u>regaassoc@aol.com</u>	
	City <u>Edinburg</u> State <u>Tx.</u> Zip <u>78541</u>	

EDG

AUG 08 2024
Cee

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

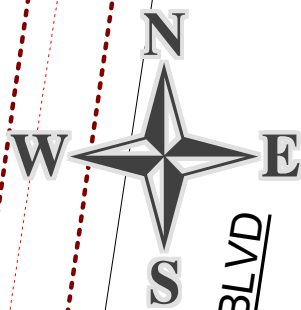
Signature  Date 8/7/24

Print Name Dr. Oscar Sotelo & Rosie V. Sotelo

Owner ☒ Authorized Agent ☐

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

LOCATION



N BICENTENNIAL BLVD

NORTHGATE AVE

LOT 2

PROPOSED

NORTHGATE LANE ESTATES

LOT 1

14

KINGSBOROUGH

KINGSB

26

25

27

30

KILGORE AVE.

TH ST.

34

N 18TH AVE



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 4/15/2025

SUBDIVISION NAME: ODM Subdivision Lot 2A (Previously Oaks at Northgate Subdivision)

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Northgate Lane: Dedication as needed for 35 ft. from centerline for 70 ft. total R.O.W.
 Paving: 44 ft. Curb & gutter: both sides
 - Provide a copy of the Doc. No's for staff review, prior to final/recording.
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

Required

Paving _____ Curb & gutter _____

NA

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Paving _____ Curb & gutter _____

NA

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

* 1,200 ft. Block Length

Applied

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts _____

NA

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac

Applied

**Subdivision Ordinance: Section 134-105

ALLEYS

R.O.W.: 20 ft. Paving: 16 ft.

NA

*Alley/service drive easement required for commercial/multi-family properties

**Subdivision Ordinance: Section 134-106

SETBACKS

* Front: 50 feet or in line with existing structures, whichever is greater applies.

Applied

**Zoning Ordinance: Section 138-356

* Rear: In accordance with the Zoning Ordinance or greater for easements

Applied

**Zoning Ordinance: Section 138-356

* Sides: In accordance with the Zoning Ordinance or greater for easements

Applied

**Zoning Ordinance: Section 138-356

* Corner

NA

**Zoning Ordinance: Section 138-356

* Garage: 18 ft. except where greater setback is required, greater setback applies

Applied

**Zoning Ordinance: Section 138-356

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Required
SIDEWALKS	
* 4 ft. wide minimum sidewalk required on Northgate Lane. - Need to include the plat note as shown above, wording to be finalized prior to final/recording. Disclaimer: You can remove the part of the plat note that mentions "Perimeter Sidewalks must be built or money escrowed..." Disclaimer: Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements **Subdivision Ordinance: Section 134-120	Required
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. *Disclaimer: Please separate the plat notes for the buffers & walls for Plat Note #9 so that they are shown with separate plat notes. **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. *Disclaimer: Please separate the plat notes for the buffers & walls for Plat Note #9 so that they are shown with separate plat notes. **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
NOTES	
* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy	Applied
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance. - Need to remove plat note #12 as residential site plans don't need to go to the Planning and Zoning Commission.	Required
* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.	NA
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets. Revisions Needed: <ul style="list-style-type: none"> - Lot 1 appears to have a line that separates it into what makes it look to be two lots, of which the Southern portion would therefore be considered "Landlocked" if left this way. Need to either freeze this line or set it so that it ends at the property line to the West. (See the S.E. corner Lot 2 - N.E. Corner Lot 1) **Subdivision Ordinance: Section 134-1 * Minimum lot width and lot area. **Zoning Ordinance: Section 138-356 	Non-compliance
	Applied
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: R-1 Proposed: R-1 ***Zoning Ordinance: Article V * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V 	Applied
	NA
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. * Park Fee of \$700 per lot/dwelling unit (1 additional lot = \$700) to be paid prior to recording. Fees are payable prior to recording and can go up or down; as they are dependent on the amount of lots/dwelling units. Must comply with Parkland dedication ordinance requirements prior to recording. * Pending review by the City Manager's Office. 	NA
	Required
	NA
TRAFFIC	
<ul style="list-style-type: none"> * As per Traffic Department, Trip Generation for 1 Lot Single-Family subdivision has been waived. * Traffic Impact Analysis (TIA) required prior to final plat. As per Traffic Department, TG has been waived. 	Applied
	NA
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> - Disclaimer: Any abandonments must be done by separate document, not by plat, must be finalized prior to final. - Disclaimer: Recorded plat notes remain effective. Please add relevant plat notes from ODM Subdivision prior to final. If any plat note is proposed to be removed or altered, a vacate and replat is required. * Disclaimer: At the Planning and Zoning Commission meeting of August 20, 2024, the subdivision was approved in preliminary form subject to the conditions noted, drainage, and utility approvals. *Must comply with City's Access Management Policy. 	Applied
RECOMMENDATION	
RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO THE CONDITIONS NOTED.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOCATION

NORTHGATE AVE

N BICENTENNIAL BLVD

LOT 2

PROPOSED

NORTHGATE LANE ESTATES

LOT 1

14

KINGSBOROUGH

KINGS

26

25

27

30

KILGORE AVE.

19TH ST.

34



Sub 2015-0025

City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Balboa Acres The West 1/2 of lot 9</u>	
	Legal Description <u>The West one-half (W1/2) of lot 9, Block 28, Balboa Acres, on addition to the City of McAllen Hidalgo County, Texas, according to the map recorded in volume 14, Page 31</u>	
	Location _____	
	City Address or Block Number <u>3411 Elmira Ave</u>	
	Total No. of Lots <u>1</u> Total Dwelling Units <u>1</u> Gross Acres <u>.123</u> Net Acres <u>.123</u>	
	<input checked="" type="checkbox"/> Public Subdivision/ <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial (_____ Acres)/ <input checked="" type="checkbox"/> Residential (<u>1</u> Lots) Replat: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R-1</u> Proposed Zoning <u>R-1</u> Applied for Rezoning <input type="checkbox"/> No/ <input type="checkbox"/> Yes: Date _____	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>one house</u>	
	Irrigation District # _____ Water CCN: <input checked="" type="checkbox"/> MPU/ <input type="checkbox"/> Sharyland Water SC Other _____	
Agricultural Exemption: <input type="checkbox"/> Yes/ <input type="checkbox"/> No Parcel # _____		
Estimated Rollback Tax Due _____ Tax Dept. Review _____		
Owner	Name <u>Juan Antonio Padilla Jr</u> Phone <u>8999 441146</u>	
	Address <u>2617 Elmira Ave</u> E-mail <u>karina.sanchez@transpadilla.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78503</u>	
Developer	Name <u>Karina Sanchez</u> Phone <u>(52) 8999 441146</u>	
	Address <u>Agata 612</u> E-mail <u>karina.sanchez@transpadilla.com</u>	
	City <u>Reynosa</u> State _____ Zip <u>82710</u>	
	Contact Person <u>Karina Sanchez</u>	
Engineer	Name _____ Phone _____	
	Address _____ E-mail _____	
	City _____ State _____ Zip _____	
	Contact Person _____	
Surveyor	Name <u>Art Salinas</u> Phone <u>(956) 618 5565</u>	
	Address <u>1524 Dove Avenue</u> E-mail <u>asalinas@transpadilla.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u>	

FEB 10 2025

BY: MR

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

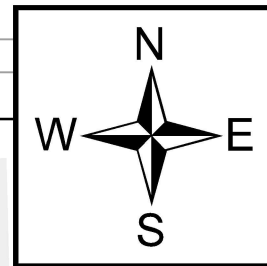
Signature Juan Padilla Date 2/18/25

Print Name Juan Antonio Padilla Jr

Owner ☒ Authorized Agent ☐

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

DAYTONA AVE.



5	6	7	8-A	8-B	9	10	11	12
---	---	---	-----	-----	---	----	----	----

27

LOCATION

WEST 1/2 OF 19

EAST 1/2 OF 19

22	23	24	25
----	----	----	----

ELMIRA AVE.

5	6	7	8	9	10	11	12
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28

18-B	19	20-A	20-B	21-A	21-B	22-A	22-B	23	24	25
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S 33RD ST

FRANCISCA AVE.

5	6	7	8	9	10	11	12-A	12-B
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29

18-B	19	20-A	20-B	21	22	23	24-A	24-B	25-A	25-B
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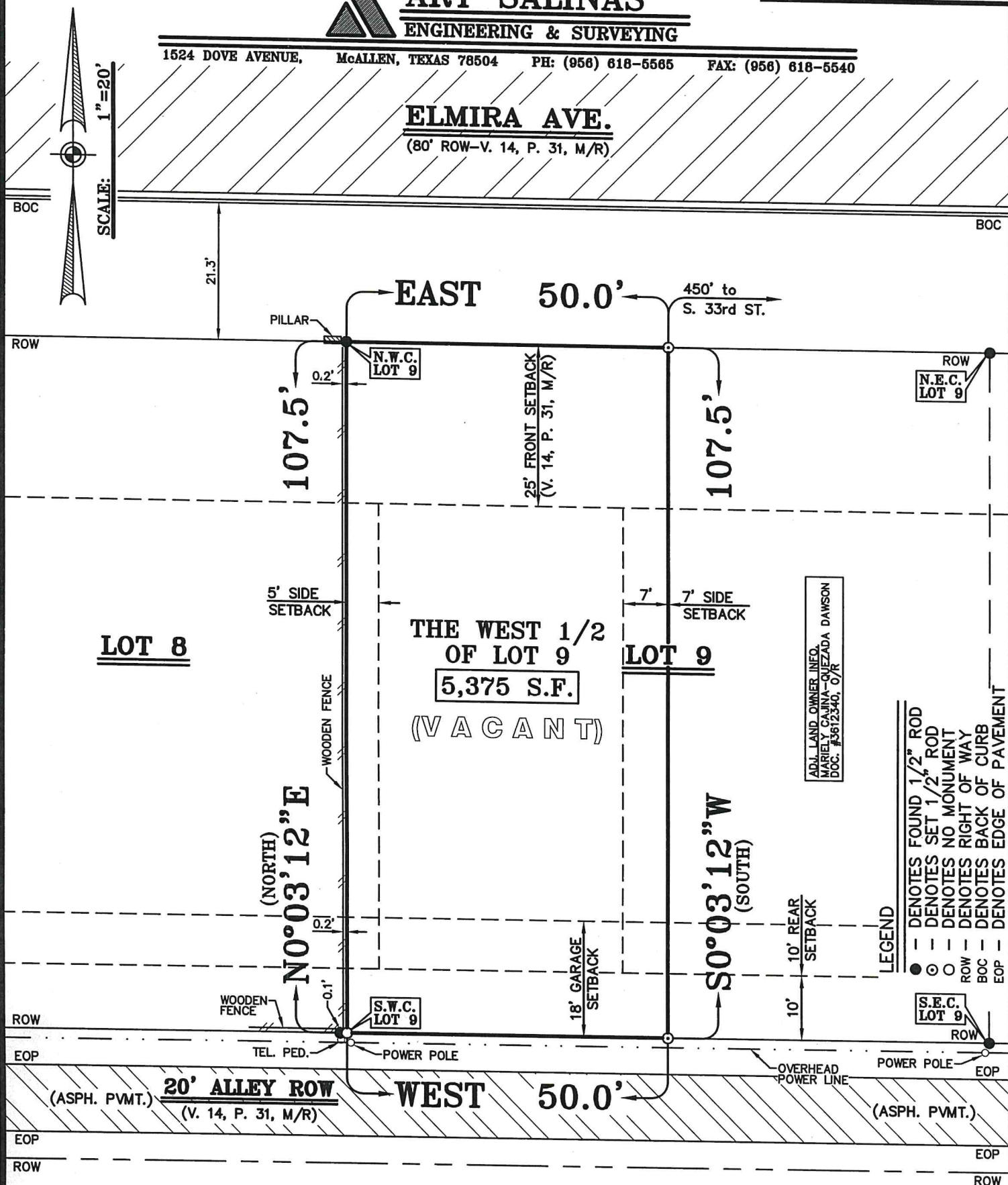
GLORIA AVE.

9

FAX: (956) 618-5540

ELMIRA AVE.

(80' ROW-V. 14, P. 31, M/R)



FLOOD ZONE DESIGNATION: The property shown hereon lies in Zone AH. Zone AH areas are areas of flooding where depths are between one (1) and three (3) feet (usually areas of ponding); base flood elevations are determined as per F.E.M.A. Flood Insurance Rate Map Panel No. 480343-0010-C dated 11-02-82.

- PLAT NOTES:**
1. There are no discrepancies, conflicts, shortages in area or boundary lines, encroachments, overlapping of improvements or visible or apparent easements, except as shown on this plat.
 2. This survey plat is prepared in connection with Title Commitment G.F. # 188847 and does not guarantee title. This survey is for the exclusive use of the client named hereon and may not be copied or transferred to another party without the express written consent of the surveyor.
 3. This survey must contain an embossed seal and an original signature to be valid as per Section 661.46 and Section 663.19 of the "The Professional Land Surveying Practices Act".
 4. This is a standard survey and does not include the location or subsurface investigation of underground utility, irrigation and/or gas lines.
 5. Easements, rules, regulations and rights in favor of Hidalgo County Water Improvement District No. 3. (Blanket)
 6. Easements for roadways, telephone poles and lines, laterals and drainage ditches as shown by instrument dated October 17, 1917, recorded in Volume 69, Page 341, Deed Records of Hidalgo County, Texas (Blanket)
 7. Utility easement as shown by instrument dated May 19, 1978, recorded in Volume 1578, Page 53, Deed Records of Hidalgo County, Texas. (Blanket)
 8. Easements in favor of Hidalgo County Water Improvement District No. 3 as shown by instrument dated January 16, 1960, recorded in Volume 1019, Page 199, and in Petition and Order dated November 5, 1959, recorded in Volume 1045, Page 611, Deed Records of Hidalgo County, Texas. (Blanket)
 9. Building setback lines as per City Zoning Ordinance unless otherwise noted.
 10. Subject to any oil, gas and mineral lease of record.
 11. Bearing Basis: "N. line of Lot 9, Balboa Acres"
- BORROWER(s):** Juan Antonio Padilla Jr.

THIS IS TO CERTIFY THAT I HAVE, THIS DATE, PREPARED A SURVEY ON THE GROUND WHICH IS LOCATED AT ELMIRA AVE., in McALLEN, TEXAS, DESCRIBED AS FOLLOWS:
THE WEST ONE-HALF (W. 1/2) OF LOT 9, BLOCK 28, BALBOA ACRES, AN ADDITION TO THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP RECORDED IN VOLUME 14, PAGE 31, MAP RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES.

25-68778A
Job No.

02-10-25
Date

© COPYRIGHT 2025 ART SALINAS ENGINEERING INC. THIS SURVEY WAS PROVIDED IN MULTIPLE ORIGINALS SOLELY FOR THE USE OF THE BORROWER NAMED HEREON. NO LICENSE HAS BEEN CREATED, EXPRESSED OR IMPLIED TO COPY THIS SURVEY.

Registered Professional Land Surveyor No. 4802



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 4/10/2025

SUBDIVISION NAME: BALBOA ACRES WEST 1/2 OF LOT 9

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Elmira Avenue: 80 ft. ROW existing
Paving: approximately 36 ft. existing Curb & gutter: both sides
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan

Applied

Paving _____ Curb & gutter _____
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan

NA

Paving _____ Curb & gutter _____
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan

NA

* 1,200 ft. Block Length
**Subdivision Ordinance: Section 134-118
* 900 ft. Block Length for R-3 Zone Districts
**Subdivision Ordinance: Section 134-118
* 600 ft. Maximum Cul-de-Sac
**Subdivision Ordinance: Section 134-105

NA

NA

NA

ALLEYS

R.O.W.: 20 ft. Paving: existing conditions remain
*Alley/service drive easement required for commercial/multi-family properties
**Subdivision Ordinance: Section 134-106

Applied

SETBACKS

* Front: 25 ft.
**Zoning Ordinance: Section 138-356
* Rear: In accordance with the Zoning Ordinance or greater for easements
**Zoning Ordinance: Section 138-356
* Sides: In accordance with the Zoning Ordinance or greater for easements
**Zoning Ordinance: Section 138-356
* Corner
**Zoning Ordinance: Section 138-356
* Garage: 18 ft. except where greater setback required, greater setback applies
**Zoning Ordinance: Section 138-356
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN

Applied

Applied

Applied

NA

Applied

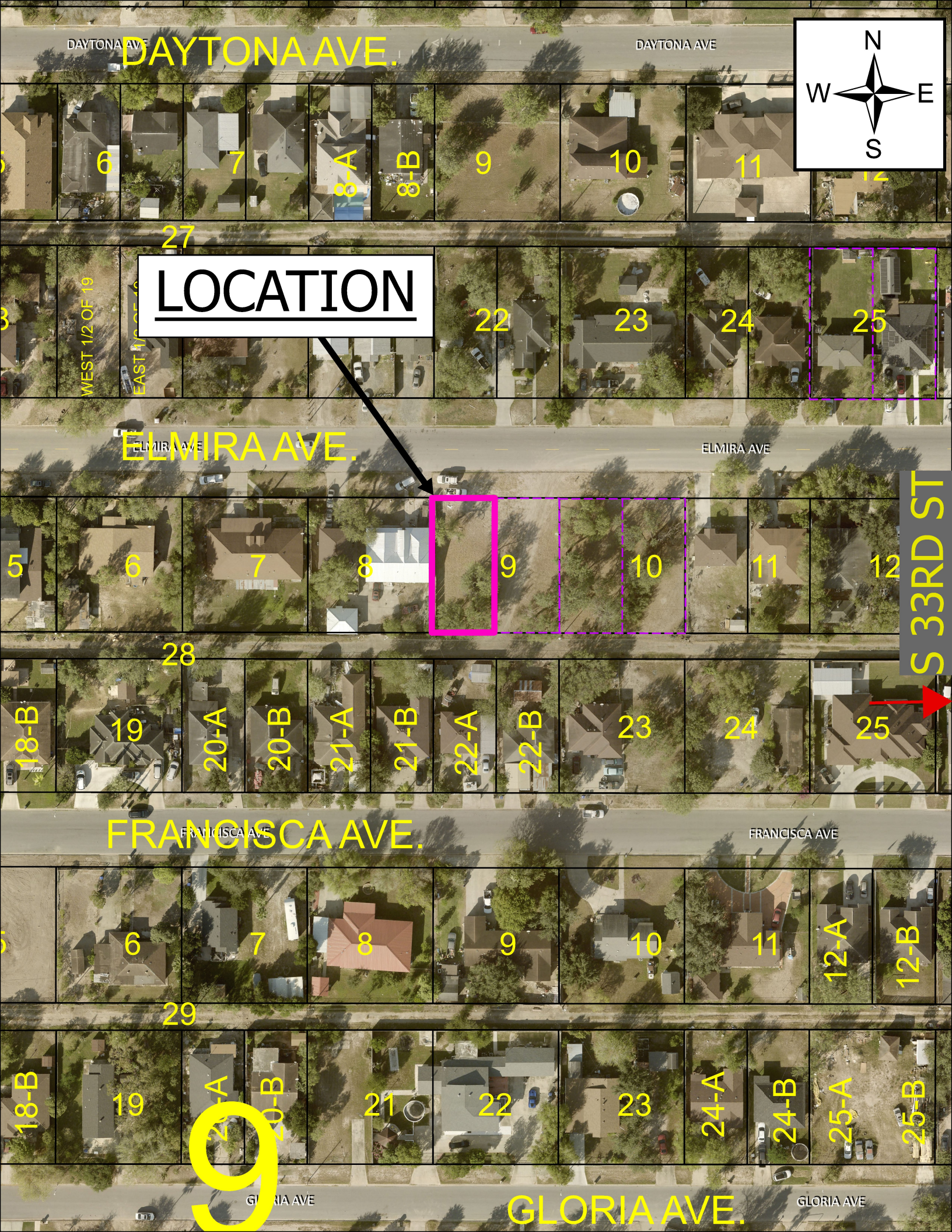
Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SIDEWALKS	
* 4 ft. wide minimum sidewalk required on **Subdivision Ordinance: Section 134-120	NA
* Perimeter sidewalks must be built or money escrowed if not built at this time.	NA
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46	NA
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	NA
*Perimeter buffers must be built at time of Subdivision Improvements.	NA
NOTES	
* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy	NA
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	NA
* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.	NA
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Applied
LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area - Survey for West half of Lot 9, Block 28 shows 50 ft. of width **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing: R-1 Proposed:R-1 ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

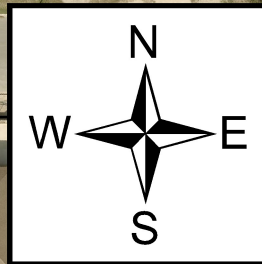
PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording	Required
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.	Applied
* Traffic Impact Analysis (TIA) required prior to final plat.	NA
COMMENTS	
Comments: - Existing plat notes remain the same - Public hearing with legal notices required for the subdivision of the lot. - Must comply with other department requirements prior to recording as may be applicable *Must comply with City's Access Management Policy.	Applied
RECOMMENDATION	
RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO THE CONDITIONS NOTED.	Applied



DAYTONA AVE.

DAYTONA AVE.

DAYTONA AVE



LOCATION

ELMIRA AVE.

ELMIRA AVE

S 33RD ST

FRANCISCA AVE.

FRANCISCA AVE

FRANCISCA AVE

9

GLORIA AVE

GLORIA AVE.

GLORIA AVE

Sub2025-0026

City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Balboa Acres The East one-half (E 1/2) Lot 9</u>	
	Legal Description <u>The East one-half (E 1/2) of lot 9, Block 28 Balboa Acres on addition to the City of McAllen, Hidalgo County, Tx According to the map recorded in Volume 141 Page 31</u>	
	Location _____	
	City Address or Block Number <u>3409 Elmira Ave.</u>	
	Total No. of Lots <u>1</u> Total Dwelling Units <u>1</u> Gross Acres <u>.123</u> Net Acres <u>.123</u>	
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial (_____ Acres) / <input checked="" type="checkbox"/> Residential (<u>1</u> Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R-1</u> Proposed Zoning <u>R-1</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>one house</u>	
	Irrigation District # _____ Water CCN: <input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other _____	
Agricultural Exemption: <input type="checkbox"/> Yes / <input type="checkbox"/> No Parcel # _____		
Estimated Rollback Tax Due _____ Tax Dept. Review _____		
Owner	Name <u>Juan Antonio Padilla Jr</u>	Phone <u>(52) 8999 441146</u>
	Address <u>Agua 2617 Elmira Ave</u>	E-mail <u>karina.sanchez@transpadilla.com</u>
	City <u>McAllen</u>	State <u>Tx</u> Zip <u>78503</u>
Developer	Name <u>Karina Sanchez</u>	Phone <u>(52) 8999 441146</u>
	Address <u>Agua 612</u>	E-mail <u>karina.sanchez@transpadilla.com</u>
	City <u>Reynosa</u>	State <u>Tam</u> Zip <u>88710</u>
	Contact Person <u>Karina</u>	
Engineer	Name _____	Phone _____
	Address _____	E-mail _____
	City _____	State _____ Zip _____
	Contact Person _____	
Surveyor	Name <u>Arturo A Salinas</u>	Phone <u>956 618-5565</u>
	Address <u>Dove Avenue 1524</u>	E-mail <u>asalinas@artsalinas.com</u>
	City <u>McAllen</u>	State <u>TX</u> Zip <u>78504</u>

FEB 19 2025

BY: CW

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
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- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

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Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

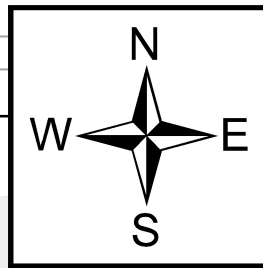
Signature Juan Padilla Date 2/18/25

Print Name Juan Antonio Padilla Jr

Owner ☒ Authorized Agent ☐

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

DAYTONA AVE.



6

7

8-A

8-B

9

10

11

12

13

27

LOCATION

WEST 1/2 OF 19

EAST 1/2 OF 19

22

23

24

25

26-A

ELMIRA AVE.

6

7

8

9

10

11

12

28

19

20-A

20-B

21-A

21-B

22-A

22-B

23

24

25

26

S 33RD ST

FRANCISCA AVE.

6

7

8

9

10

11

12-A

12-B

13

29

19

20-A

20-B

21

22

23

24-A

24-B

25-A

25-B

26

GLORIA AVE.

9

Registered Professional Land Surveyor No. 4802



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 4/10/2025

SUBDIVISION NAME: BALBOA ACRES THE EAST ONE HALF (E 1/2) LOT 9

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Elmira Avenue: 80 ft. ROW existing
 Paving: approximately 36 ft. existing Curb & gutter: both sides
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

Applied

Paving _____ Curb & gutter _____
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

NA

Paving _____ Curb & gutter _____
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

NA

* 1,200 ft. Block Length
 **Subdivision Ordinance: Section 134-118
 * 900 ft. Block Length for R-3 Zone Districts
 **Subdivision Ordinance: Section 134-118
 * 600 ft. Maximum Cul-de-Sac
 **Subdivision Ordinance: Section 134-105

NA

NA

NA

ALLEYS

R.O.W.: 20 ft. Paving: existing conditions remain
 *Alley/service drive easement required for commercial/multi-family properties
 **Subdivision Ordinance: Section 134-106

Applied

SETBACKS

* Front: 25 ft.
 **Zoning Ordinance: Section 138-356
 * Rear: In accordance with the Zoning Ordinance or greater for easements
 **Zoning Ordinance: Section 138-356
 * Sides: In accordance with the Zoning Ordinance or greater for easements
 **Zoning Ordinance: Section 138-356
 * Corner
 **Zoning Ordinance: Section 138-356
 * Garage: 18 ft. except where greater setback required, greater setback applies
 **Zoning Ordinance: Section 138-356
 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN

Applied

Applied

Applied

NA

Applied

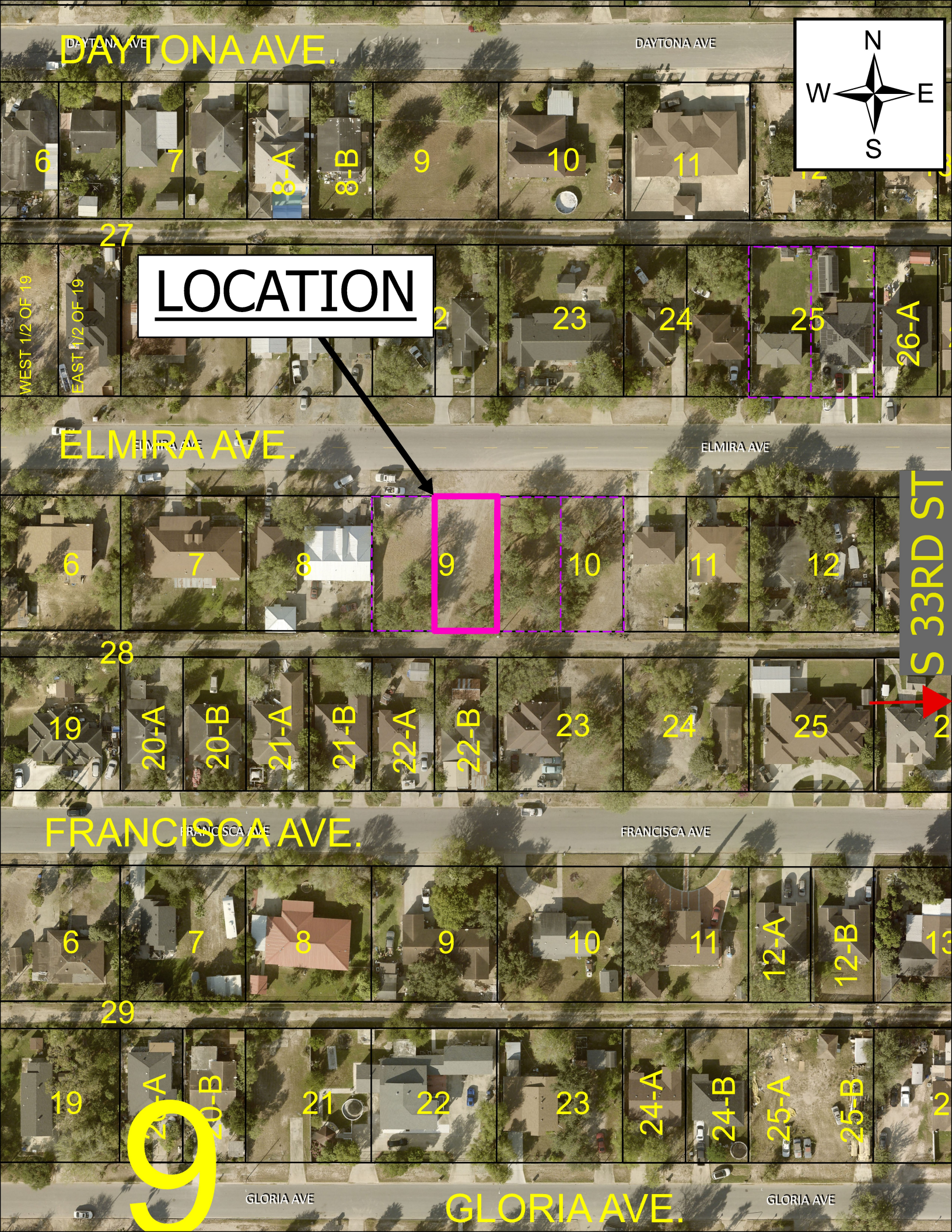
Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SIDEWALKS	
* 4 ft. wide minimum sidewalk required on **Subdivision Ordinance: Section 134-120	NA
* Perimeter sidewalks must be built or money escrowed if not built at this time.	NA
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46	NA
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	NA
*Perimeter buffers must be built at time of Subdivision Improvements.	NA
NOTES	
* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy	NA
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	NA
* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.	NA
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Applied
LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area - Survey for East half of Lot 9, Block 28 shows 50 ft. of width **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing: R-1 Proposed:R-1 ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA

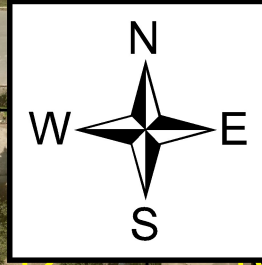
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording	Required
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.	TBD
* Traffic Impact Analysis (TIA) required prior to final plat.	TBD
COMMENTS	
Comments: - Existing plat notes remain the same - Public hearing with legal notices required for the subdivision of the lot. - Must comply with other department requirements prior to recording as may be applicable *Must comply with City's Access Management Policy.	Applied
RECOMMENDATION	
RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO THE CONDITIONS NOTED.	Applied



DAYTONA AVE.

DAYTONA AVE



LOCATION

ELMIRA AVE.

ELMIRA AVE

S 33RD ST

FRANCISCA AVE.

FRANCISCA AVE

GLORIA AVE.

GLORIA AVE

9

Sub 2025-0027



Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Balboa Acres The West 1/2 of lot 10</u>	
	Legal Description <u>The West one-half (W1/2) of lot 10, Block 28, Balboa Acres</u> <u>in addition to the City of McAllen Hidalgo County, Texas according to the map</u> <u>recorded in Volume 14 Page 31</u>	
	Location _____	
	City Address or Block Number <u>3401 Elmira Ave</u>	
	Total No. of Lots <u>1</u> Total Dwelling Units <u>1</u> Gross Acres <u>.123</u> Net Acres <u>.123</u>	
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial (_____ Acres) / <input checked="" type="checkbox"/> Residential (<u>1</u> Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R-1</u> Proposed Zoning <u>R-1</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>one house</u>	
	Irrigation District # _____ Water CCN: <input type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other _____	
Agricultural Exemption: <input type="checkbox"/> Yes / <input type="checkbox"/> No Parcel # _____		
Estimated Rollback Tax Due _____ Tax Dept. Review _____		
Owner	Name <u>Juan Antonio Padilla Jr</u> Phone <u>(52) 8999 441146</u>	
	Address <u>2617 Elmira Ave</u> E-mail <u>Karina.sanchez@transpadilla.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78503</u>	
Developer	Name <u>Karina Sanchez</u> Phone <u>(52) 8999 44-1146</u>	
	Address <u>Agata 612</u> E-mail <u>Karina.sanchez@transpadilla.com</u>	
	City <u>Beaumont</u> State <u>Tam</u> Zip <u>78710</u>	
	Contact Person <u>Karina Sanchez</u>	
Engineer	Name _____ Phone _____	
	Address _____ E-mail _____	
	City _____ State _____ Zip _____	
	Contact Person _____	
Surveyor	Name <u>Arturo A Salinas</u> Phone <u>(956) 618-5565</u>	
	Address <u>1524 Dove Avenue</u> E-mail <u>asalinas@artsalinas.com</u>	
	City <u>McAllen TX</u> State <u>TX</u> Zip <u>78504</u>	

BY: NAR

FEB 19 2025

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

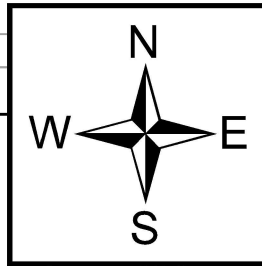
Signature Juan Padilla Date 2/18/25

Print Name Juan Antonio Padilla Jr

Owner ☒ Authorized Agent ☐

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

DAYTONA AVE.



	7	8-A	8-B	9	10	11	12	13
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27

EAST 1/2 OF 19	20	LOCATION	23	24	25	26-A	26
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ELMIRA AVE.

6	7	8	9		10	11	12	13
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28

19	20-A	20-B	21-A	21-B	22-A	22-B	23	24	25	26
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S 33RD ST

FRANCISCA AVE.

6	7	8	9	10	11	12-A	12-B	13
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29

19	20-A	20-B	21	22	23	24-A	24-B	25-A	25-B	26
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GLORIA AVE.

9

**ART SALINAS**
ENGINEERING & SURVEYING

1524 DOVE AVENUE,

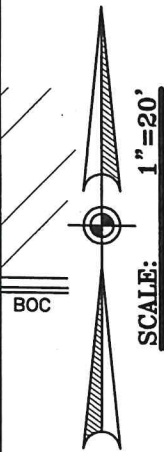
McALLEN, TEXAS 78504

PH: (956) 618-5565

FAX: (956) 618-5540

ELMIRA AVE.

(80' ROW-V. 14, P. 31, M/R)



BOC

BOC

ROW

ROW

LOT 9**THE WEST 1/2
OF LOT 10****5,375 S.F.****(VACANT)****LOT 10**5' SIDE
SETBACK7' SIDE
SETBACK(NORTH)
N0°03'12"E(SOUTH)
S0°03'12"WADJ. LAND OWNER INFO.
MARIELY CAJINA-QUEZADA DAWSON
DOC. #3612340, O/R**LEGEND**

— DENOTES FOUND 1/2" ROD
- - - DENOTES SET 1/2" ROD
○ DENOTES NO MONUMENT
- - - DENOTES RIGHT OF WAY
- - - DENOTES BACK OF CURB
- - - DENOTES EDGE OF PAVEMENT

**S.E.C.
LOT 10**

ROW

EOP

POWER POLE

OVERHEAD
POWER LINE

EOP

(ASPH. PVMT.)

20' ALLEY ROW
(V. 14, P. 31, M/R)**WEST 50.0'**

(ASPH. PVMT.)

EOP

EOP

ROW

ROW

FLOOD ZONE DESIGNATION: The property shown hereon lies in Zone AH. Zone AH areas are areas of flooding where depths are between one (1) and three (3) feet (usually areas of ponding); base flood elevations are determined as per F.E.M.A. Flood Insurance Rate Map Panel No. 480343-0010-C dated 11-02-82.

PLAT NOTES:

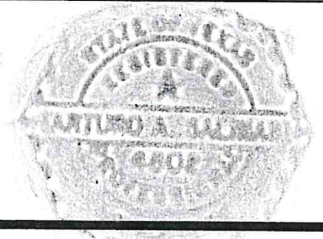
- There are no discrepancies, conflicts, shortages in area or boundary lines, encroachments, overlapping of improvements or visible or apparent easements, except as shown on this plat.
- This survey plat is prepared in connection with Title Commitment G.F. # 188847 and does not guarantee title. This survey is for the exclusive use of the client named hereon and may not be copied or transferred to another party without the express written consent of the surveyor.
- This survey must contain an embossed seal and an original signature to be valid as per Section 661.46 and Section 663.19 of the "The Professional Land Surveying Practices Act".
- This is a standard survey and does not include the location or subsurface investigation of underground utility, irrigation and/or gas lines.
- Easements, rules, regulations and rights in favor of Hidalgo County Water Improvement District No. 3. (Blanket)
- Easements for roadways, telephone poles and lines, laterals and drainage ditches as shown by instrument dated October 17, 1917, recorded in Volume 69, Page 341, Deed Records of Hidalgo County, Texas (Blanket)
- Utility easement as shown by instrument dated May 19, 1978, recorded in Volume 1578, Page 53, Deed Records of Hidalgo County, Texas. (Blanket)
- Easements in favor of Hidalgo County Water Improvement District No. 3 as shown by instrument dated January 16, 1960, recorded in Volume 1019, Page 199, and in Petition and Order dated November 5, 1959, recorded in Volume 1045, Page 611, Deed Records of Hidalgo County, Texas. (Blanket)
- Building setback lines as per City Zoning Ordinance unless otherwise noted.
- Subject to any oil, gas and mineral lease of record.
- Bearing Basis: "N. line of Lot 10, Balboa Acres"

BORROWER(s): Juan Antonio Padilla Jr.

THIS IS TO CERTIFY THAT I HAVE, THIS DATE, PREPARED A SURVEY ON THE GROUND WHICH IS LOCATED AT **ELMIRA AVE.,** in **McALLEN, TEXAS,** DESCRIBED AS FOLLOWS:
THE WEST ONE-HALF (W. 1/2) OF LOT 10, BLOCK 28, BALBOA ACRES, AN ADDITION TO THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP RECORDED IN VOLUME 14, PAGE 31, MAP RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES.

25-68778C
Job No.02-10-25
Date

© COPYRIGHT 2025 ART SALINAS ENGINEERING INC. THIS SURVEY WAS
PROVIDED IN MULTIPLE ORIGINALS SOLELY FOR THE USE OF THE BORROWER
NAMED HEREON. NO LICENSE HAS BEEN CREATED, EXPRESSED OR IMPLIED
TO COPY THIS SURVEY.



Registered Professional Land Surveyor No. 4802



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 4/10/2025

SUBDIVISION NAME: BALBOA ACRES WEST 1/2 OF LOT 10

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Elmira Avenue: 80 ft. ROW existing
 Paving: approximately 36 ft. existing Curb & gutter: both sides
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

Applied

Paving _____ Curb & gutter _____
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

NA

Paving _____ Curb & gutter _____
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
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NA

* 1,200 ft. Block Length
 **Subdivision Ordinance: Section 134-118
 * 900 ft. Block Length for R-3 Zone Districts
 **Subdivision Ordinance: Section 134-118
 * 600 ft. Maximum Cul-de-Sac
 **Subdivision Ordinance: Section 134-105

NA

NA

NA

ALLEYS

R.O.W.: 20 ft. Paving: existing conditions remain
 *Alley/service drive easement required for commercial/multi-family properties
 **Subdivision Ordinance: Section 134-106

Applied

SETBACKS

* Front: 25 ft.
 **Zoning Ordinance: Section 138-356
 * Rear: In accordance with the Zoning Ordinance or greater for easements
 **Zoning Ordinance: Section 138-356
 * Sides: In accordance with the Zoning Ordinance or greater for easements
 **Zoning Ordinance: Section 138-356
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 **Zoning Ordinance: Section 138-356
 * Garage: 18 ft. except where greater setback required, greater setback applies
 **Zoning Ordinance: Section 138-356
 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN

Applied

Applied

Applied

NA

Applied

Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

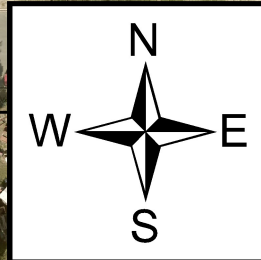
SIDEWALKS	
* 4 ft. wide minimum sidewalk required on **Subdivision Ordinance: Section 134-120	NA
* Perimeter sidewalks must be built or money escrowed if not built at this time.	NA
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46	NA
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	NA
*Perimeter buffers must be built at time of Subdivision Improvements.	NA
NOTES	
* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy	NA
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	NA
* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.	NA
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Applied
LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area - Survey for West half of Lot 10, Block 28 shows 50 ft. of width **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing: R-1 Proposed:R-1 ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording	Required
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.	Applied
* Traffic Impact Analysis (TIA) required prior to final plat.	NA
COMMENTS	
Comments: - Existing plat notes remain the same - Public hearing with legal notices required for the subdivision of the lot. - Must comply with other department requirements prior to recording as may be applicable *Must comply with City's Access Management Policy.	Applied
RECOMMENDATION	
RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO THE CONDITIONS NOTED.	Applied

DAYTONA AVE.

DAYTONA AVE



LOCATION

ELMIRA AVE.

ELMIRA AVE

FRANCISCA AVE.

FRANCISCA AVE

FRANCISCA AVE

GLORIA AVE

GLORIA AVE.

GLORIA AVE

S 33RD ST

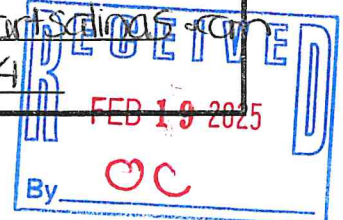
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City of McAllen

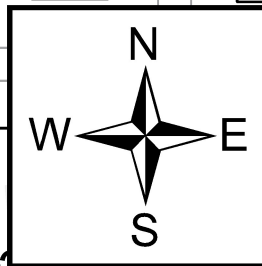
Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

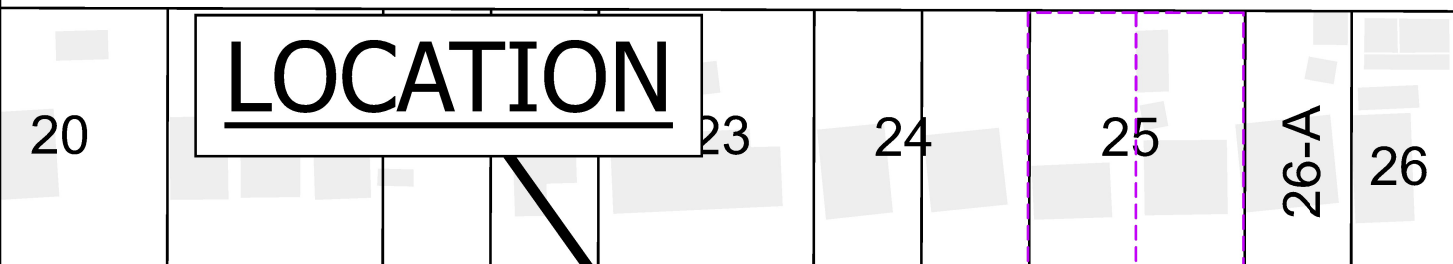
Project Information	Subdivision Name <u>Balboa Acres The East 1/2 of lot 10</u>	
	Legal Description <u>The East one-half (E 1/2) of lot 10, Block 28, Balboa Acres on addition to the City of McAllen, Hidalgo County, Texas according to the map recorded in volume 14, Page 31</u>	
Project Information	Location _____	
	City Address or Block Number <u>3401 Elmira Avenue</u>	
	Total No. of Lots <u>1</u> Total Dwelling Units <u>1</u> Gross Acres <u>.123</u> Net Acres <u>.123</u>	
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial (_____ Acres) / <input checked="" type="checkbox"/> Residential (_____ Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R-1</u> Proposed Zoning <u>R-1</u> Applied for Rezoning <input type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>one house</u>	
	Irrigation District # _____ Water CCN: <input type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other _____	
	Agricultural Exemption: <input type="checkbox"/> Yes / <input type="checkbox"/> No Parcel # _____	
	Estimated Rollback Tax Due _____ Tax Dept. Review _____	
Owner	Name <u>Juan Antonio Padilla Jr</u> Phone <u>(52) 8999 4411 46</u>	
	Address <u>2617 Elmira Ave</u> E-mail <u>Karina.sanchez@transpadilla.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78503</u>	
Developer	Name <u>Karina Sanchez</u> Phone <u>(52) 8999 4411 46</u>	
	Address <u>Agata 612</u> E-mail <u>Karina.sanchez@transpadilla.com</u>	
	City <u>Reynosa</u> State <u>Tamp</u> Zip <u>78710</u>	
	Contact Person <u>Karina Sanchez</u>	
Engineer	Name _____ Phone _____	
	Address _____ E-mail _____	
	City _____ State _____ Zip _____	
	Contact Person _____	
Surveyor	Name <u>Arturo A Salinas</u> Phone <u>(956) 618-5565</u>	
	Address <u>1524 Dave Ave</u> E-mail <u>asalinas@artosalinas.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u>	



ONA AVE.

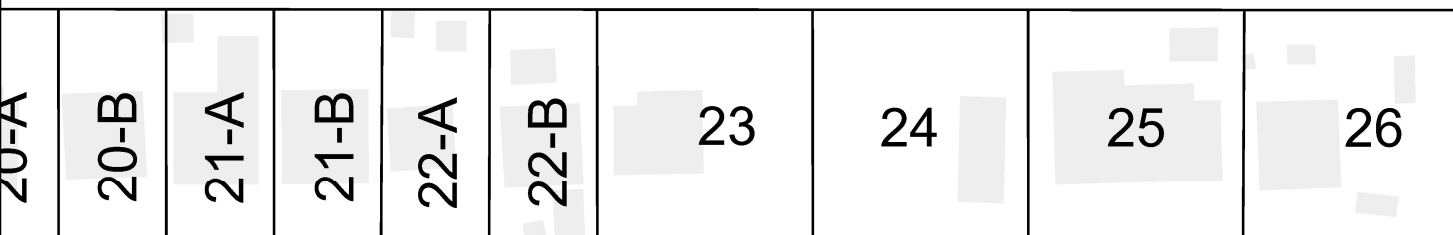
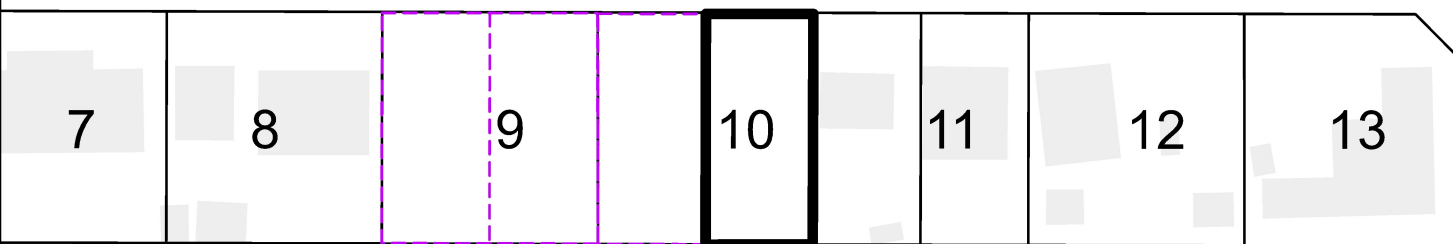


LOCATION



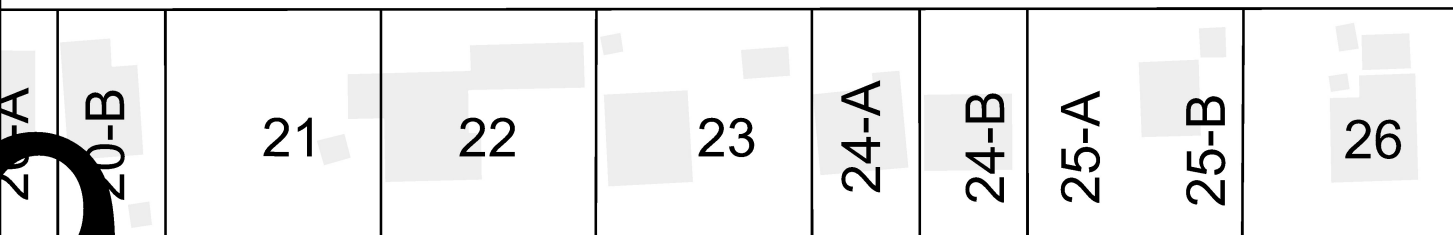
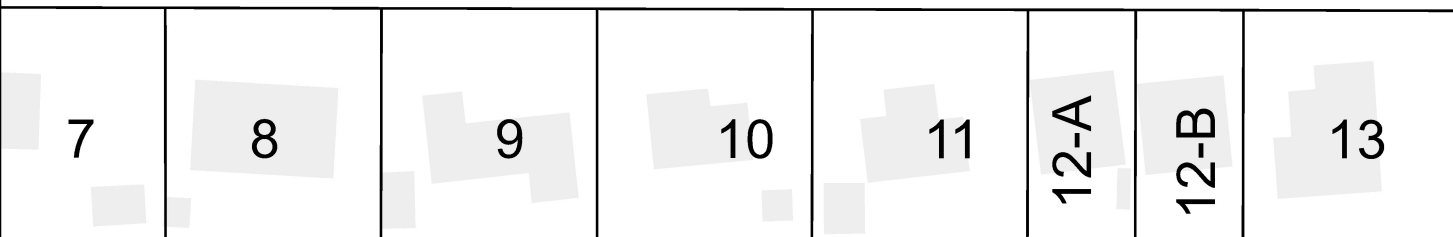
RA AVE.

ELMIRA AVE



S 33RD ST

CISCA AVE.



S. 33RD ST.

GLORIA AVE.

9



ART SALINAS

ENGINEERING & SURVEYING

1524 DOVE AVENUE,

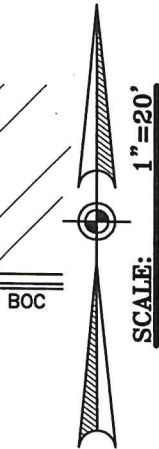
McALLEN, TEXAS 78504

PH: (956) 618-5585

FAX: (956) 618-5540

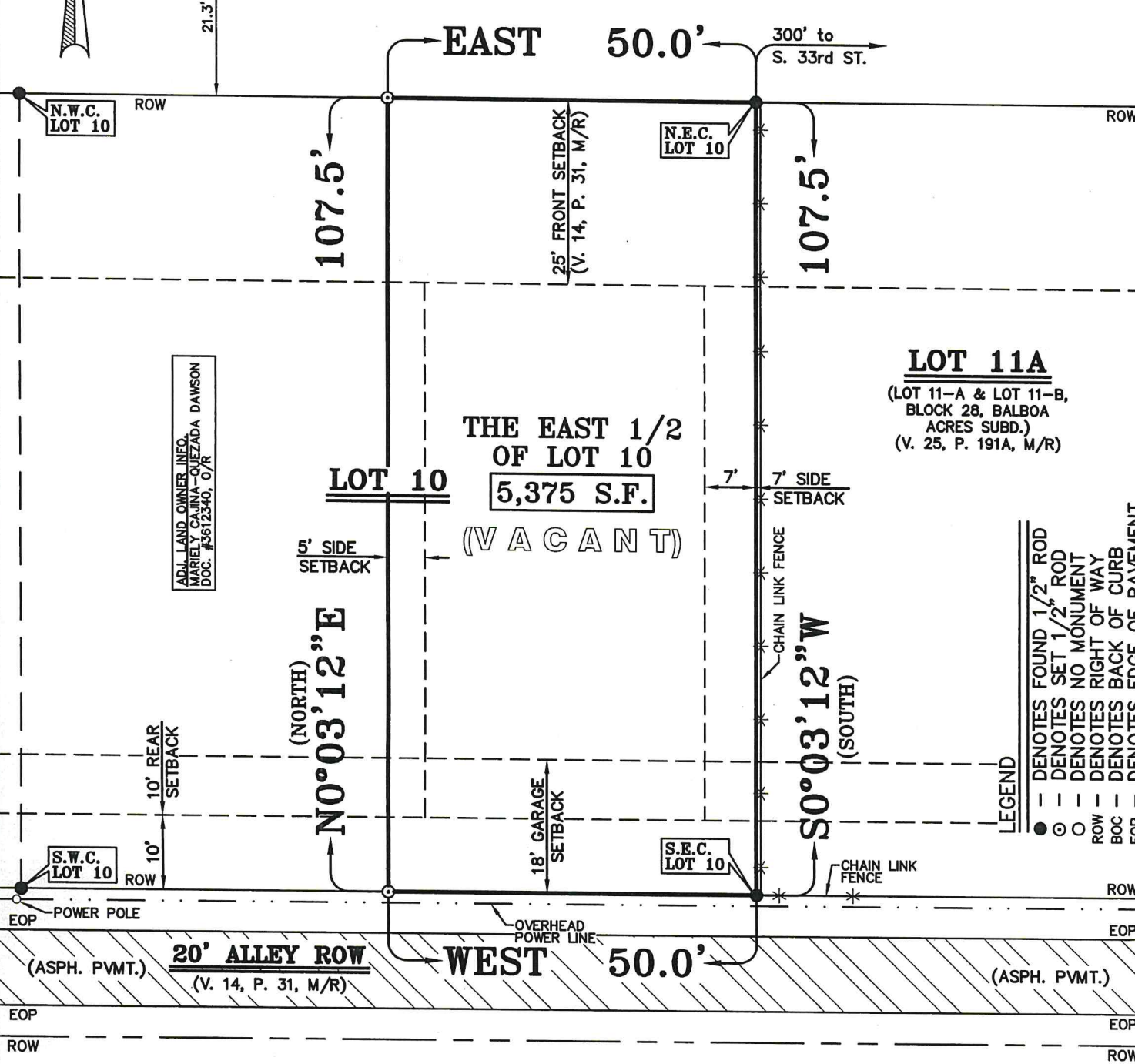
ELMIRA AVE.

(80' ROW-V. 14, P. 31, M/R)



BOC

BOC



FLOOD ZONE DESIGNATION: The property shown hereon lies in Zone AH. Zone AH areas are areas of flooding where depths are between one (1) and three (3) feet (usually areas of ponding); base flood elevations are determined as per F.E.M.A. Flood Insurance Rate Map Panel No. 480343-0010-C dated 11-02-82.

- PLAT NOTES:**
- There are no discrepancies, conflicts, shortages in area or boundary lines, encroachments, overlapping of improvements or visible or apparent easements, except as shown on this plat.
 - This survey plat is prepared in connection with Title Commitment G.F. # 188847 and does not guarantee title. This survey is for the exclusive use of the client named hereon and may not be copied or transferred to another party without the express written consent of the surveyor.
 - This survey must contain an embossed seal and an original signature to be valid as per Section 661.46 and Section 663.19 of the "The Professional Land Surveying Practices Act".
 - This is a standard survey and does not include the location or subsurface investigation of underground utility, irrigation and/or gas lines.
 - Easements, rules, regulations and rights in favor of Hidalgo County Water Improvement District No. 3. (Blanket)
 - Easements for roadways, telephone poles and lines, laterals and drainage ditches as shown by instrument dated October 17, 1917, recorded in Volume 69, Page 341, Deed Records of Hidalgo County, Texas (Blanket)
 - Utility easement as shown by instrument dated May 19, 1978, recorded in Volume 1578, Page 53, Deed Records of Hidalgo County, Texas. (Blanket)
 - Easements in favor of Hidalgo County Water Improvement District No. 3 as shown by instrument dated January 16, 1960, recorded in Volume 1019, Page 199, and in Petition and Order dated November 5, 1959, recorded in Volume 1045, Page 611, Deed Records of Hidalgo County, Texas. (Blanket)
 - Building setback lines as per City Zoning Ordinance unless otherwise noted.
 - Subject to any oil, gas and mineral lease of record.
 - Bearing Basis: "N. line of Lot 10, Balboa Acres"
 - BORROWER(s): Juan Antonio Padilla Jr.

THIS IS TO CERTIFY THAT I HAVE, THIS DATE, PREPARED A SURVEY ON THE GROUND WHICH IS LOCATED AT
ELMIRA AVE., in McALLEN, TEXAS, DESCRIBED AS FOLLOWS:
THE EAST ONE-HALF (E. 1/2) OF LOT 10, BLOCK 28, BALBOA ACRES, AN ADDITION TO THE CITY OF McALLEN,
HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP RECORDED IN VOLUME 14, PAGE 31, MAP RECORDS IN THE OFFICE
OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES.

25-68778D
Job No.

02-10-25
Date

© COPYRIGHT 2025 ART SALINAS ENGINEERING INC. THIS SURVEY WAS PROVIDED IN MULTIPLE ORIGINALS SOLELY FOR THE USE OF THE BORROWER NAMED HEREON. NO LICENSE HAS BEEN CREATED, EXPRESSED OR IMPLIED TO COPY THIS SURVEY.





City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 4/10/2025

SUBDIVISION NAME: BALBOA ACRES EAST 1/2 OF LOT 10

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Elmira Avenue: 80 ft. ROW existing
Paving: approximately 36 ft. existing Curb & gutter: both sides
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan

Applied

Paving _____ Curb & gutter _____
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan

NA

Paving _____ Curb & gutter _____
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan

NA

* 1,200 ft. Block Length
**Subdivision Ordinance: Section 134-118
* 900 ft. Block Length for R-3 Zone Districts
**Subdivision Ordinance: Section 134-118
* 600 ft. Maximum Cul-de-Sac
**Subdivision Ordinance: Section 134-105

NA

NA

NA

ALLEYS

R.O.W.: 20 ft. Paving: existing conditions remain
*Alley/service drive easement required for commercial/multi-family properties
**Subdivision Ordinance: Section 134-106

Applied

SETBACKS

* Front: 25 ft.
**Zoning Ordinance: Section 138-356
* Rear: In accordance with the Zoning Ordinance or greater for easements
**Zoning Ordinance: Section 138-356
* Sides: In accordance with the Zoning Ordinance or greater for easements
**Zoning Ordinance: Section 138-356
* Corner
**Zoning Ordinance: Section 138-356
* Garage: 18 ft. except where greater setback required, greater setback applies
**Zoning Ordinance: Section 138-356
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN.

Applied

Applied

Applied

NA

Applied

Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SIDEWALKS	
* 4 ft. wide minimum sidewalk required on **Subdivision Ordinance: Section 134-120	NA
* Perimeter sidewalks must be built or money escrowed if not built at this time.	NA
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46	NA
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	NA
*Perimeter buffers must be built at time of Subdivision Improvements.	NA
NOTES	
* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy	NA
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	NA
* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.	NA
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Applied
LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area - Survey for East half of Lot 10, Block 28 shows 50 ft. of width **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing: R-1 Proposed:R-1 ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA

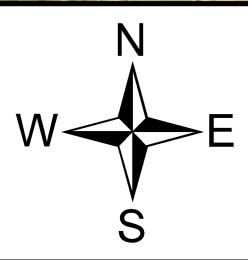
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording	Required
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.	Applied
* Traffic Impact Analysis (TIA) required prior to final plat.	NA
COMMENTS	
Comments: - Existing plat notes remain the same - Public hearing with legal notices required for the subdivision of the lot. - Must comply with other department requirements prior to recording as may be applicable *Must comply with City's Access Management Policy.	Applied
RECOMMENDATION	
RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO THE CONDITIONS NOTED.	Applied



DAYTONA AVE.

DAYTONA AVE



LOCATION

ELMIRA AVE.

ELMIRA AVE

ELMIRA AVE

FRANCISCA AVE.

FRANCISCA AVE

FRANCISCA AVE

GLORIA AVE.

GLORIA AVE

GLORIA AVE

S. 33RD ST.

S. 33RD ST.

S. 33RD ST.

Planning Department

Memo

TO: Planning and Zoning Commission

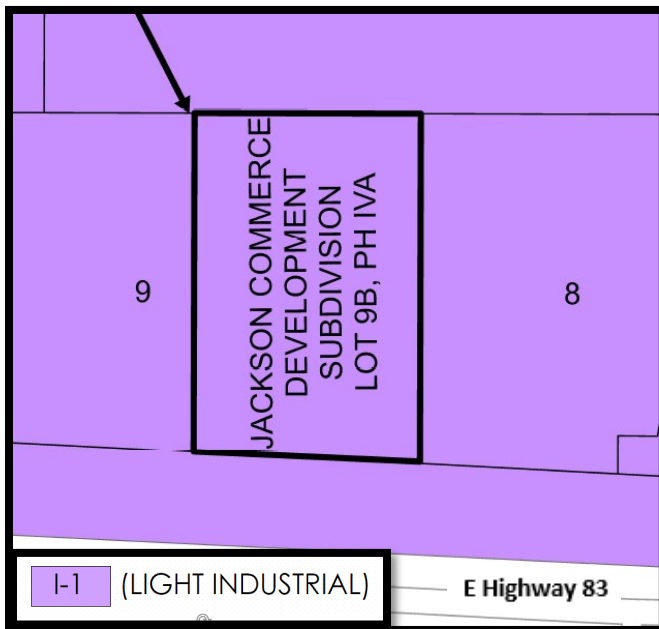
FROM: Planning Staff

DATE: April 14, 2025

SUBJECT: **SITE PLAN APPROVAL FOR LOT 9B, PHASE IVA, JACKSON COMMERCE DEVELOPMENT SUBDIVISION, HIDALGO COUNTY, TEXAS; 1101 E HIGHWAY 83. (SPR2023-0049)**

LOCATION: The subject property is located on the north side of East Highway 83, in between north McColl Road and North Jackson Road. The subject property is zoned I-1 (Light Industrial) District. Adjacent zoning includes I-1 District in all directions. Surrounding land uses include Cano Health, McDonalds, Home Depot, Texas Granite and vacant land.

PROPOSAL: The applicant is proposing to construct a 6,584.70 square foot building to operate a iShine Express Carwash and Detail



ANALYSIS:

Access:

Access is proposed through a 30 feet private drive on the north side of the property. No alley is proposed.

Parking Requirements:

Based on the square feet of office space proposed for iShine Carwash, four parking spaces are required for the site and 20 parking spaces are being proposed. Moreover, one of the proposed regular parking spaces must be accessible for van accessibility with an 8-foot-wide aisle. The applicant is meeting parking requirements for the new development.

Landscape Requirements:

5,316 square feet of green area is required for the new development and 10,541.87 square feet is proposed. The tree requirement is as follows: 17 two-and-a half-inch-caliper trees, 9 four-inch caliper trees, 4 six-inch caliper trees. A minimum 10-foot-wide landscaped strip is required inside the front property line, Business Highway 83. Fifty percent of the required green area for the new development must be visible from the street or front property line, and each parking space must be within 100 feet of a landscaped area with a tree. Finally, an 8-foot masonry wall is required between commercial and residential zone/use. The applicant is meeting landscaping requirements for green area and trees.

Other Planning Requirements:

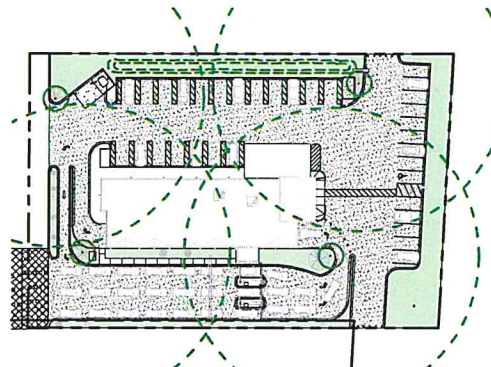
There is a 45-foot front yard setback and 30-foot pipeline easement and a 10-foot utility easement along Highway 83. The rear yard setback is 10 feet with a 15-foot utility easement. Side yard setback is half of the building height or greater for easements. No structures are permitted to be built over any easements. The new development will be complying with all required setbacks for the property.

The Building Permit Site Plan must comply with requirements noted on the Development Team Review sheet. Must comply with any additional comments provided by all departments during the building permit stage.

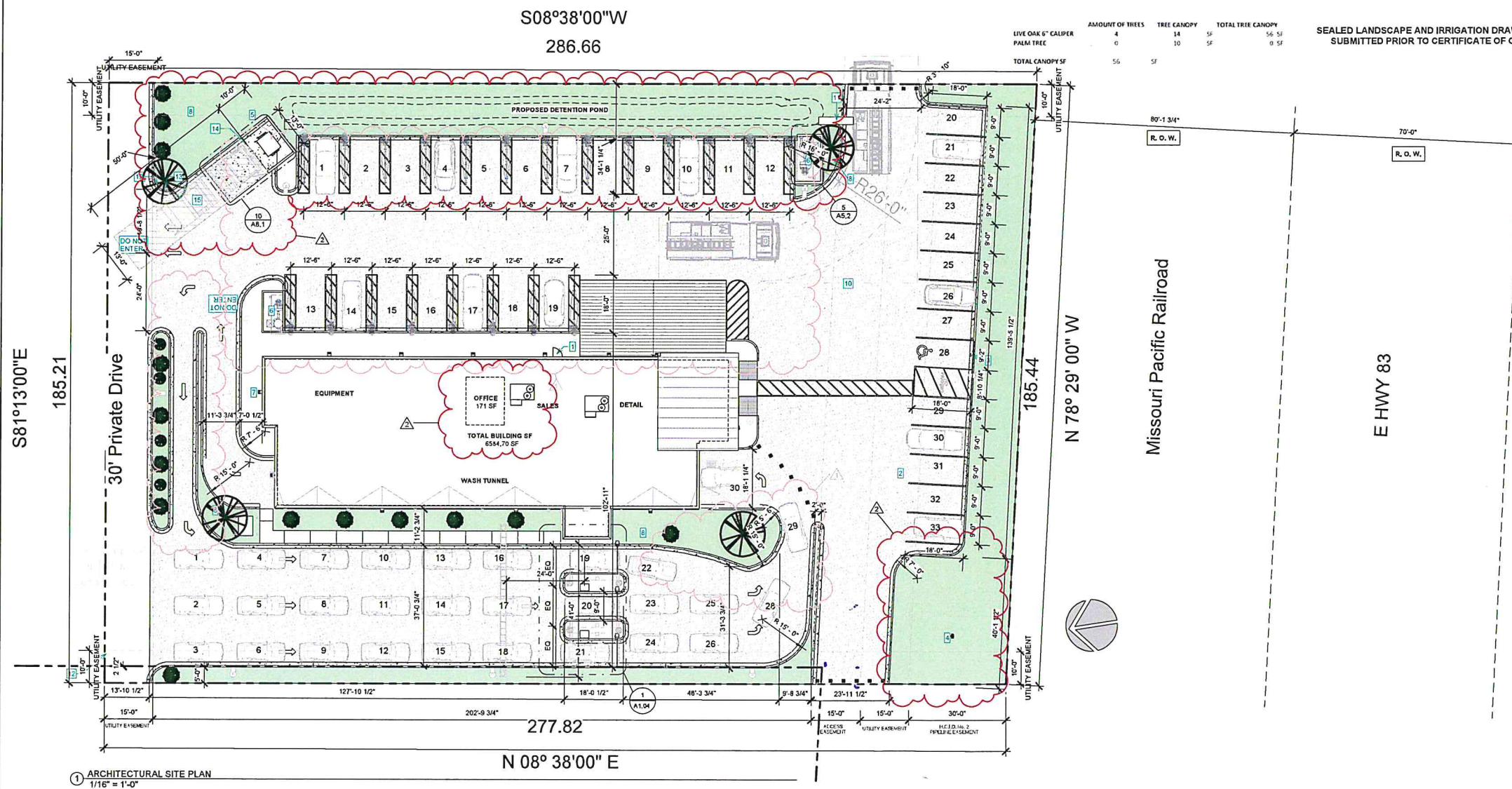
RECOMMENDATION: Staff recommends approval of the site plan subject to the conditions noted, Building Permit requirements, Subdivision and Zoning Ordinances.

A.	FULL LANDSCAPE & IRRIGATION PLANS TO BE SUBMITTED AS SHOP / FABRICATION / INSTALLATION DRAWING AT CONSTRUCTION STAGE
B.	ALL LANDSCAPED AREA WILL BE IRRIGATED
C.	ALL LANDSCAPED AREA LOCATED IN THE ROW WILL HAVE DRIP IRRIGATION

1.	MAIN BUSINESS ENTRANCE
2.	CLIENT / EMPLOYEE PARKING
3.	ACCESSIBLE PARKING SIGN, REFERENCE SHEET
4.	FIRE HYDRANT
5.	DUMPSTER ENCLOSURE, REFERENCE SHEET A & Z FOR DETAILS
6.	TURBINE AND DUST COLLECTOR
7.	EQUIPMENT ENTRANCE
8.	6" CALIPER LIVE OAK
9.	NEW CONCRETE SIDEWALK, REFERENCE CIVIL
10.	SCOPE OF WORK CONCRETE PAVEMENT REFERENCE CIVIL SCOPE OF WORK, PROVIDE ALTERNATE #1 FOR REINFORCED CONCRETE PARKING LOT
11.	20' POLE SIGN
12.	DO NOT BLOCK DRIVE SIGN
13.	STOP SIGN
14.	TRASH PICK UP SIGN (SCHEDULED FOR 4-6AM)
15.	WORKING SPACE



② TREE LOCATION DIAGRAM
1" = 50'-0"



	ACRE SIZE	PROPERTY	PARKING STALLS	BUILDING*	SIDEWALKS**	ASPHALT**	TOTAL TREES	AREAS	
DEVELOPMENT AREA IMPERVIOUS AREA (* INDICATES NEW DEVELOPMENT)	1.2 ac	\$2,273.35			6,584.00 sf	1,888.11 sf	30,594.00 sf	\$2,273.35 39,466.83	76%
FARKING SPACES REQUIRED PARKING SPACES PROPOSED		4 33					LANDSCAPE AREA (FRONT VISIBLE)	10,541.87 sf 9,716.87 sf	25% 19%
ZONING DISTRICT REQUIRED % LANDSCAPE PROPOSED % LANDSCAPE PROPOSED % LANDSCAPE PROPOSED % TREE CANOPY PROPOSED % TREE CANOPY	I-1 10% 5,227.34 sf 20%		NOTE 1: Based on building square footage. General office or medical/inflex office parking spaces for up to 200 sq ft of floor area, plus one parking space for every additional 200 sq ft of floor area.			OFFICE AREA First 200sq = 4 parking spaces (pi) Office area = 174 sq ft 4 pi + 4 pi required. Provided 33			
PRIMARY LANDSCAPE CALCULATION			NOTE 2: (1) When the requirement area being landscaped is from one to 2,000 square feet a minimum of one tree for every 200 square feet of landscape area shall be required. (2) When the requirement area being landscaped is from 2,001 to 10,000 square feet a minimum of ten trees for the first 2,000 square feet and one tree for every 800 square feet over 2,000 square feet of landscape area shall be required. (3) When the requirement being landscaped is from 10,001 or greater square feet a minimum of 26 trees for the first 10,000 square feet and one tree for every 800 square feet over 10,000 square feet of landscape area shall be required. (4) Two palm trees with a minimum six feet of clear trunk is the equivalent of one two and one half inch caliper tree. The number of palm trees shall not exceed 30 percent of the total number of trees required.						
REQUIRED TREES PER SQUARE FOOTAGE PROPOSED TREES PROPOSED PALM TREES PROPOSED SHRUBS	16 0 0 14								
TREE CALIPERS & PALM CLEAR TRUNK HEIGHT TREE HEIGHTS CREDIT FOR TREES	5" & CALIPER 25ft 1	10" & CALIPER 14'-16" 4	14" & CALIPER 12ft - 14ft 2	12" & CALIPER 8ft - 10ft 0	16' OF CLEAR PALM TRUNK 10ft 0	First 2000sf = 10 Credits Required 39 x 3,227 / 840 = 2000sf = 3,227 / 34sf 3,227 / 840 / 500sf = 6.45 Credits 10 Credits + 6 = 16 Credits required.			
NEW USE CAN TREES NEW PALM TREES TREE CREDITS TOTAL TREE CREDITS	0 0 0 16	4 0 16 0	0 0 0 0	0 0 0 0	0 0 0 0				
			NOTE 3: For every new [X"] caliper tree, [Y] trees are credited						

Code of Ordinances City of Moultrie, Texas

SEALED LANDSCAPE AND IRRIGATION DRAWINGS WILL BE
SUBMITTED PRIOR TO CERTIFICATE OF OCCUPANCY

KEY - PALACIOS & LEON
ARCHITECTURE

1110 E JASMINE AVE, SUITE 104
MCALLEN, TX 78501
TEL. 956-664-1110, FAX 956-664-1113
www.kplarch.com



THE ABOVE IS TRUE ACCORDING TO THE OFFICE
OF THE CHIEF OF POLICE FOR THE CITY
OF NEW YORK, NEW YORK, FOR THE YEAR 1964.
THE OFFICE OF THE CHIEF OF POLICE IS A GOVERNMENT
OFFICE.

[illegible]

iShine Express Car Wash & Detail

US 83
McAllen, TX 78501

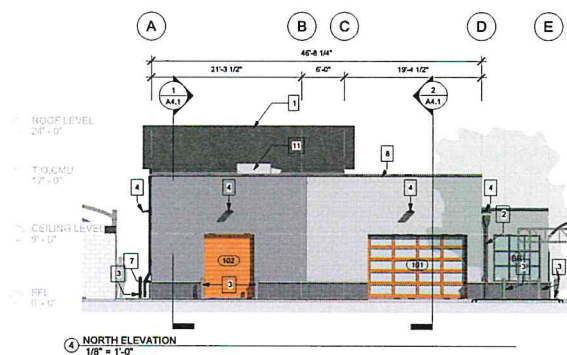
ARCHITECTURAL SITE
PLAN

Project number	
Date	08-29-2011
Drawn by	AL
Checked by	VI

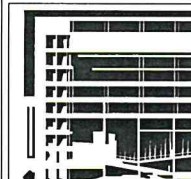
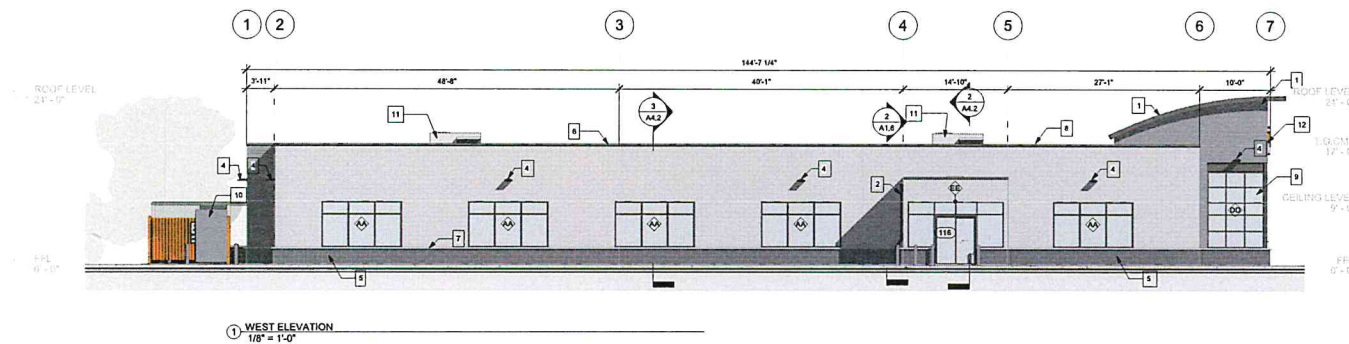
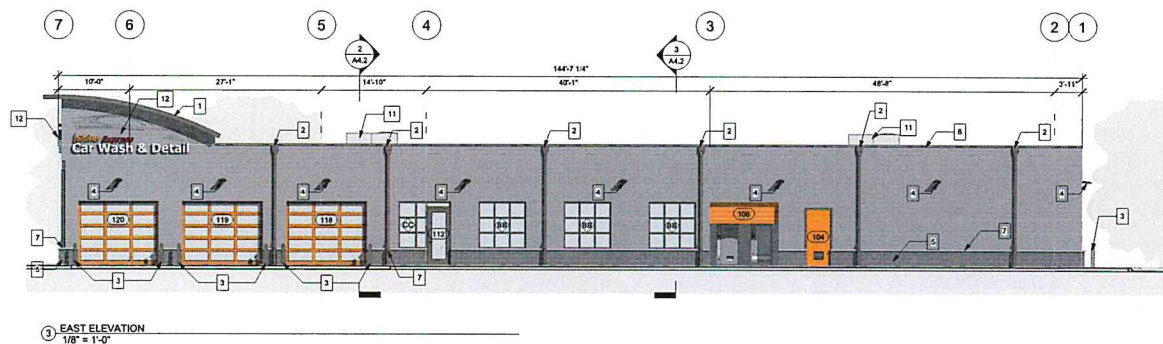
A1.0

Scale	As indicated
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- ### KEY NOTES
1. STANDING SEAM METAL ROOF, REFERENCE SPECIFICATIONS, PROVIDE SHOP DRAWINGS
 2. PAINTED SCUPPER BOXED W/ OVERFLOW SLIT AND DOWNSPOUTS, COLOR TBD
 3. CONCRETE FILLED STEEL BOLLARD, 6" STD PIPE, TYP
 4. REFERENCE MEP SCOPE OF WORK FOR ALL LIGHTING FIXTURES
 5. SPLIT FACED BLOCK, 4", 8" AND 12" WIDE REFERENCE WALL SECTIONS AND SPECIFICATIONS
 6. NOT USED.
 7. CONCRETE CAST STONE, REFERENCE WALL SECTIONS.
 8. BREAK METAL PARAPET TRIM CAP, COLOR TBD, REFERENCE DETAILS.
 9. ALUMINUM STOREFRONT AND INSULATED LOW-E TINTED GLASS
 10. ELECTRICAL TRANSFORMER, REFERENCE ELECTRICAL SITE PLAN
 11. ROOF TOP HVAC UNIT, REFERENCE MEP SCOPE OF WORK.
 12. SIGNAGE BY APPROVED VENDOR
 13. STEEL JOIST, REF STRUCTURAL ENGINEER SCOPE OF WORK
 14. EXTRUFLEX WATERPROOF PVC MEMBRANE CEILING
 15. HPAC EZ LINER WALL PVC PANEL



KEY - PALACIOS & LEON
ARCHITECTURE

1110 E JASMINE AVE. SUITE 104
MCALLEN, TX 78501
TEL 956-664-1110, FAX 956-664-1113
www.frankkeyarchitect.com

[illegible]


iShine Express Car Wash & Detail

US 83
McAllen, TX 78501

EXTERIOR ELEVATIONS

Project number	1
Date	08-29-2011
Drawn by	AE
Checked by	VP
A3.0	
Scale	As indicated

SUB2025-0031



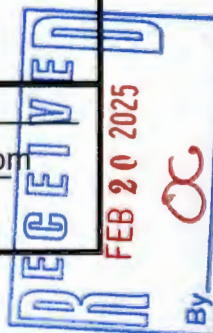
City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Sharyland Business Park - Project Circle</u>	
	Legal Description <u>See Attached</u>	
	Location <u>Tanya Avenue, McAllen, TX 78503</u>	
	City Address or Block Number <u>4800 Tanya Avenue</u>	
	Total No. of Lots <u>1</u> Total Dwelling Units <u>0</u> Gross Acres <u>27.41</u> Net Acres <u>27.41</u>	
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial (<u> </u> Acres) / <input type="checkbox"/> Residential (<u> </u> Lots) Replat: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No	
	Existing Zoning <u>I-1</u> Proposed Zoning <u>I-1</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date <u> </u>	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Industrial</u>	
	Irrigation District # <u>19</u> Water CCN: <input type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other <u>City of McAllen</u>	
Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # <u>616939, 516680, 638525</u>		
Estimated Rollback Tax Due <u>27,013.73</u> Tax Dept. Review <u>UPG</u>		
Owner	Name <u>CHARCO LAND SALES, LLC</u> Phone <u> </u>	
	Address <u>P.O. Box 499 Laredo, TX 78-042-0499</u> E-mail <u> </u>	
	City <u>Laredo</u> State <u>TX</u> Zip <u>78042-0499</u>	
Developer	Name <u>Van Trust Real Estate, LLC</u> Phone <u>214-888-3039</u>	
	Address <u>5844 John Hickman Pkwy, Ste 150</u> E-mail <u>Kiran.Shivaramu@vantrustre.com</u>	
	City <u>Frisco</u> State <u>TX</u> Zip <u>75034</u>	
	Contact Person <u>Kiran Shivaramu</u>	
Engineer	Name <u>Kimley-Horn and Associates, INC.</u> Phone <u>407-878-1511</u>	
	Address <u>200 South Orange Ave. Suite 600</u> E-mail <u>jess.lee@kimley-horn.com</u>	
	City <u>Orlando</u> State <u>FL</u> Zip <u>32801</u>	
	Contact Person <u>Jessica Lee, P.E.</u>	
Surveyor	Name <u>Kimley-Horn and Associates, INC.</u> Phone <u>210-729-0100</u>	
	Address <u>10101 Reunion Place, Suite 400</u> E-mail <u>jay.janisse@kimley-horn.com</u>	
	City <u>San Antonio</u> State <u>TX</u> Zip <u>78216</u>	

KF



Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature _____

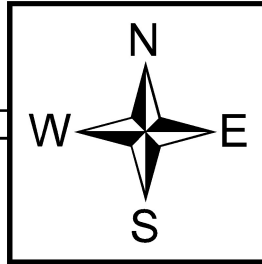
Date _____

Print Name _____

Owner ☒

Authorized Agent ☐

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion



SANITARY SEWER
STABILIZATION POND

LOCATION

87

PROPOSED SHARYLAND
BUSINESS PARK
PROJECT CIRCLE

~~SHARY SUBDIVISION~~

TANYA AVE

77

LOT 11-A

LOT 11-B

LOT 12

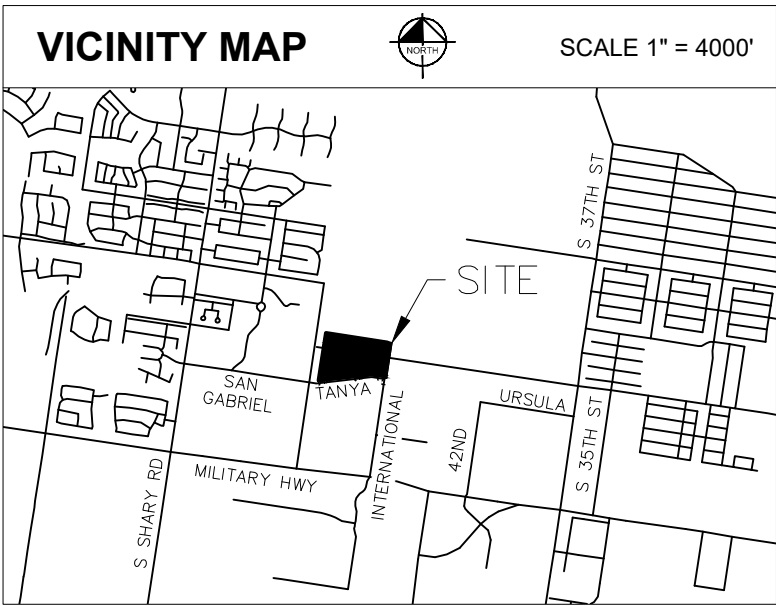
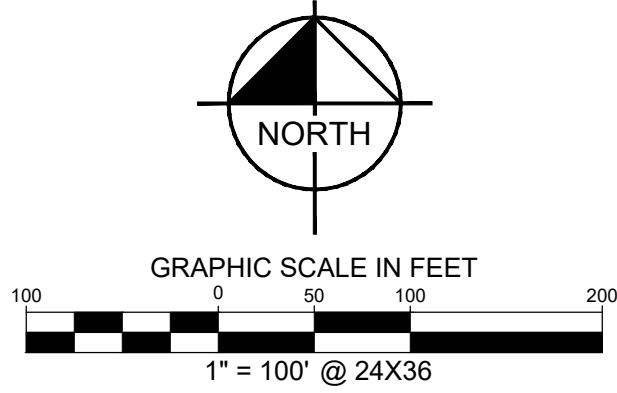
SHARYLAND SERVICE

CENTER No. 1

S INTERNATIONAL PKWY

SHARY

LOT 7A



SURVEYOR:
KIMLEY-HORN AND ASSOCIATES, INC.
10101 REUNION PLACE, SUITE 400
SAN ANTONIO, TEXAS 78216
PH: (210) 541-9166
CONTACT: JAMES L. JANISSE, R.P.L.S.
TBPLS FIRM REGISTRATION NO. 10193973

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH: (972) 770-1300
CONTACT: MARY SALMONSEN, P.E.
TBPE FIRM REGISTRATION NO. 148333

OWNER:
CHARCO LAND SALES, LLC
P.O. BOX 499 LAREDO, TX 78042-0499

DEVELOPER:
VANTRUST REAL ESTATE
5844 JOHN HICKMAN PKWY, STE 150, FRISCO, TX 75034
PH: (214) 886-3039
CONTACT: KIRAN SHIVARAMU, LEED AP
SENIOR DIRECTOR, DEVELOPMENT SERVICES

LINETYPE LEGEND

	BOUNDARY LINE
	EASEMENT LINE

LEGEND

IRF	IRON ROD FOUND
IRFC	IRON ROD FOUND W/ CAP
IRSC	1/2" IRON ROD W/ "KHA" CAP SET
IPF	IRON PIPE FOUND
R.O.W.	RIGHT-OF-WAY
MRHC	MAP RECORDS OF HIDALGO COUNTY
PRHC	PUBLIC RECORDS OF HIDALGO COUNTY
OPRHC	OFFICIAL PUBLIC RECORDS OF HIDALGO COUNTY
F.F.	FINISHED FLOOR
GETCTV	GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT

BENCH MARK LIST

BM#100 - "X" CUT IN CONCRETE SET IN CONCRETE CURB AT THE INTERSECTION OF INTERNATIONAL PARKWAY AND TANYA AVENUE BEING APPROXIMATELY 286± FEET EAST OF A DRAINAGE MANHOLE ON AN INLET.
ELEV. = 103.26'

BM#101 - "X" CUT IN CONCRETE SET IN SIDEWALK ON THE SOUTH SIDE OF TANYA AVENUE AT THE STREET NAME CHANGE OF TANYA AVENUE AND SAN GABRIEL BEING APPROXIMATELY 390± FEET SOUTHWEST FROM A FIRE HYDRANT.
ELEV. = 103.94'

SUBDIVISION PLAT OF
SHARYLAND BUSINESS PARK -
PROJECT CIRCLE

BEING A 27.412 ACRE TRACT OF LAND SITUATED IN THE
YLDEFONSO QUIROGA SURVEY, ABSTRACT NO. 43,
PORCION NO. 60

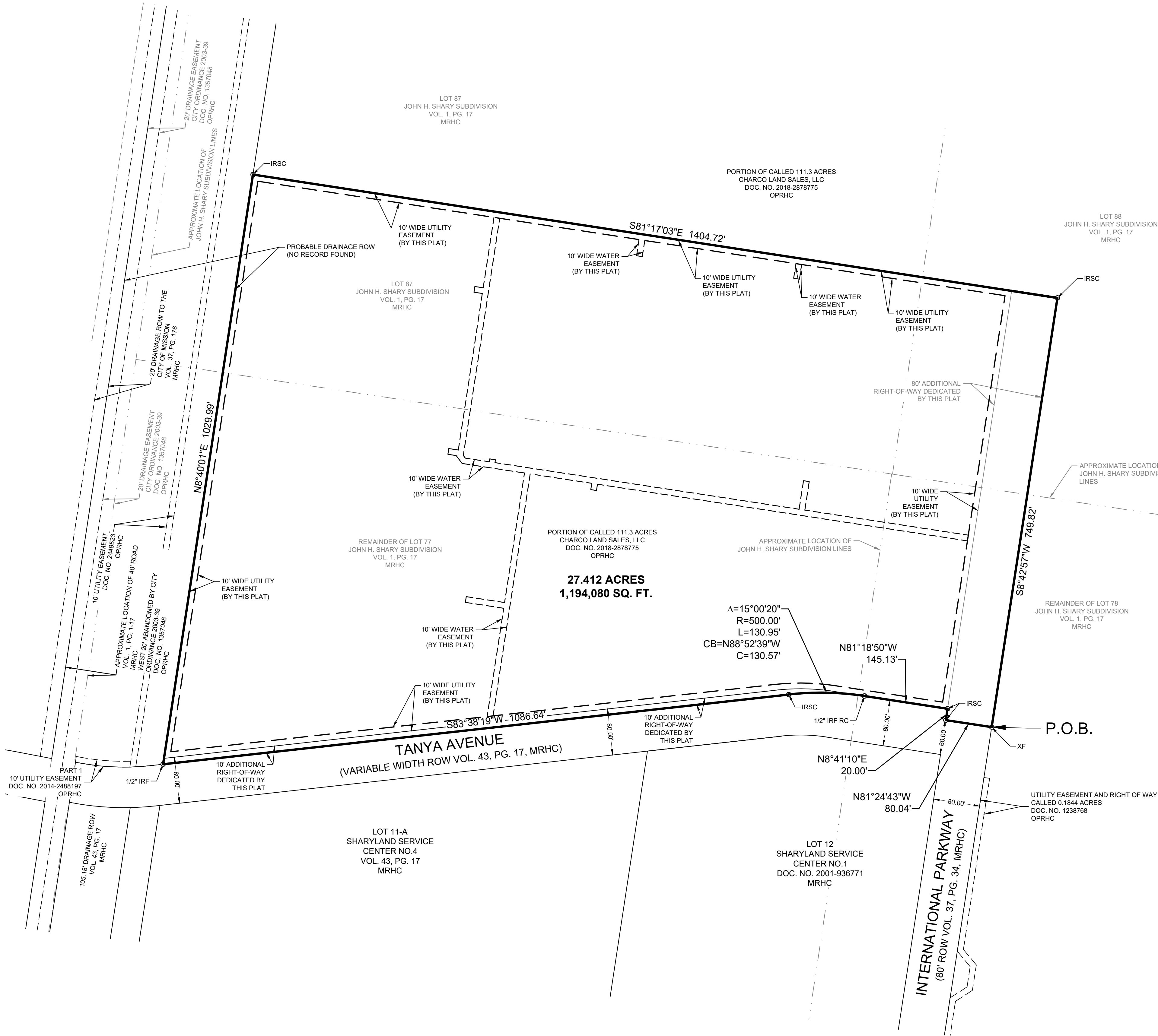
CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, AND
A PORTION OF CALLED 111.3 ACRE TRACT DESCRIBED
TO CHARCO LAND SALES, LLC, RECORDED IN
DOCUMENT NO. 2018-2878775 OF THE OFFICIAL PUBLIC
RECORDS OF HIDALGO COUNTY, TEXAS AND A
REMAINDER OF LOTS 77, 78, 87 AND 88 OF THE JOHN H.
SHARY SUBDIVISION RECORDED IN VOLUME 1, PAGE 17,
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

Kimley»Horn

10101 Reunion Place, Suite 400
San Antonio, Texas 78216 FIRM # 10193973

Tel. No. (210) 541-9166
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	SAB	JLJ	Apr 2025	249613000	1 OF 2



STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CHARCO LAND SALES, LLC KNOWN TO ME BY THE PERSON (S) WHOSE NAME (S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSED AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC
MY COMSTUART EXPIRES _____

I, THE UNDERSIGNED, MAYOR TO THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR (CITY OF MCALLEN) _____ ATTEST: CITY SECRETARY
DATE: _____

I, THE UNDERSIGN CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN, TEXAS HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISIONS REGULATIONS OF THE CITY OF MCALLEN WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN PLANNING AND ZONING COMMISSION
DATE: _____

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL

I, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF SHARYLAND BUSINESS PARK - PROJECT CIRCLE WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY RIGHT OF WAY DEPARTMENT ON _____, _____.

HIDALGO COUNTY RIGHT OF WAY DIRECTOR _____ DATE _____

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL

I, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF SHARYLAND BUSINESS PARK - PROJECT CIRCLE WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON _____, _____.

HIDALGO COUNTY RIGHT OF WAY DIRECTOR _____ DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, MARY SALMONSEN, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

MARY SALMONSEN _____ DATE _____
LICENSED PROFESSIONAL ENGINEER NO. 148333

STATE OF TEXAS
COUNTY OF HIDALGO

I, JAY L. JANISSE, A REGISTER PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THE MAP ON THIS SHEET SHOWING THE LOTS, EASEMENTS, AND STREETS OF SHARYLAND BUSINESS PARK - PROJECT CIRCLE AND ITS METES AND BOUNDS DESCRIPTION WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON OCTOBER 24, 2024.

JAY L. JANISSE _____ DATE _____
REGISTERED PROFESSIONAL SURVEYOR NO. 6663
KIMLEY-HORN
10101 REUNION PLACE, SUITE 400
SAN ANTONIO, TX 78216
PHONE: 805-234-1823

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE § 232.028(a)

WE THE UNDERSIGNED CERTIFY THAT THIS PLAT OF SHARYLAND BUSINESS PARK - PROJECT CIRCLE WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON _____, _____.

_____ HIDALGO COUNTY JUDGE _____ DATE _____

ATTEST: _____ HIDALGO COUNTY JUDGE _____ DATE _____

I, _____, COUNTY CLERK OF HIDALGO, CERTIFY THAT THE PLAT BEARING THIS CERTIFICATE WAS FILED FOR RECORD AT _____ O'CLOCK _____ ON _____, _____, AND WAS RECORDED IN BOOK _____, SHEET (S) _____, THE PLAT RECORDS OF HIDALGO COUNTY AT _____ O'CLOCK _____, ON _____, _____.

THIS PLAN IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. _____ SUBJECT TO THE CONDITION THAT IF IRRIGATION FROM SAID DISTRICT IS DESIRED TO THE INDIVIDUAL LOTS IN SAID SUBDIVISION, PROVISION SHALL BE MADE FOR APPROPRIATE EASEMENT FOR THE INSTALLATION OF NECESSARY IRRIGATION FACILITIES TO SUCH LOTS FROM INDIVIDUAL LOTS IN SAID SUBDIVISION, PROVISION SHALL BE MADE FOR APPROPRIATE EASEMENT FOR THE INSTALLATION OF NECESSARY IRRIGATION FACILITIES TO SUCH LOTS FROM THE CLOSEST WATER DISTRICT DELIVERY POINT AND IT SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY TO INSTALL SUCH NECESSARY FACILITIES.

HIDALGO COUNTY IRRIGATION DISTRICT NO. _____ ATTEST: CITY SECRETARY
PRESIDENT _____ DATE: _____

HIDALGO COUNTY DRAINAGE DISTRICT NO. _____ HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE 49.211 (c). THE DISTRICT HAS NOT REVIEW AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

BY _____
HIDALGO COUNTY DRAINAGE DISTRICT NO. _____

GENERAL PLAT NOTES AND RESTRICTIONS:

- TITLE COMMITMENT NOTES: THIS SURVEY WAS PERFORMED UTILIZING THAT CERTAIN TITLE REPORT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NO. 4300112408820 (ISSUE DATE: OCTOBER 25, 2024, EFFECTIVE DATE: OCTOBER 11, 2024) AND REFLECTS ONLY THOSE EASEMENTS AND ENCUMBRANCES OF RECORD MENTIONED THEREIN. KIMLEY-HORN DID NOT ABSTRACT THE PUBLIC RECORDS. THE SURVEYED TRACT MAY BE SUBJECT TO ADDITIONAL GOVERNMENT REGULATIONS AND RESTRICTIONS PRIOR TO FURTHER SITE DEVELOPMENT.
- BY GRAPHICAL PLOTTING, THE PARCEL DESCRIBED HEREON LIES WITHIN ZONE 'B' AS DELINEATED ON THE HIDALGO COUNTY, TEXAS FLOOD INSURANCE RATE MAP, PANEL NO. 480334 0400 C DATED NOVEMBER 16, 1992, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. ZONE 'B' IS DEFINED AS 'AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD, OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD, (MEDIUM SHADING);
- SETBACKS:

FRONT (INTERNATIONAL PARKWAY): IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES.

SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES.

REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES.

TANYA AVENUE: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES.
- GENERAL NOTE FOR COMMERCIAL LOTS:
PORTIONS OF LOTS 77, 78, 87 AND 88 SHALL BE FOR COMMERCIAL USE ONLY. LAND USE SHALL COMPLY WITH THE CITY OF MCALLEN'S COMPREHENSIVE PLAN. APPLICATIONS FOR CONSTRUCTION APPROVED BY THE PLANNING DEPARTMENT, HEALTH DEPARTMENT AND FIRE MARSHALL ARE REQUIRED PRIOR TO OCCUPYING THE LOT.
- MINIMUM FINISH FLOOR NOTE:
MINIMUM FINISH FLOOR ELEVATION SHALL BE AT AN ELEVATION OF 105.5' OR 18" ABOVE BACK OF CURB, WHICHEVER IS GREATER. HOWEVER ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION TO VERIFY PRE AND POST CONSTRUCTION FINISH FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.
- BENCHMARK NOTE:
BM#100 - 'X' CUT IN CONCRETE SET IN CONCRETE CURB AT THE INTERSECTION OF INTERNATIONAL PARKWAY AND TANYA AVENUE BEING APPROXIMATELY 286± FEET EAST OF A DRAINAGE MANHOLE ON AN INLET.
ELEV. = 103.26'

BM#101 - 'X' CUT IN CONCRETE SET IN SIDEWALK ON THE SOUTH SIDE OF TANYA AVENUE AT THE STREET NAME CHANGE OF TANYA AVENUE AND SAN GABRIEL BEING APPROXIMATELY 390± FEET SOUTHWEST FROM A FIRE HYDRANT.
ELEV. = 103.94'
- DRAINAGE SWALE EASEMENTS NOTE:
NO FILL OR PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN ANY DRAINAGE SWALE EASEMENT. EACH DRAINAGE SWALE EASEMENT SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, PLANTINGS, AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATION OF THE DRAINAGE SWALE EASEMENT. THE LOT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SWALE.
- THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, SHEDS, SHRUBS, TREES AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- AN OFF-STREET PARKING LOT SITE PLAN & DRAINAGE PLAN APPROVAL BY THE CITY OF MCALLEN PLANNING DEPARTMENT SHALL BE REQUIRED FOR COMMERCIAL INDUSTRIAL & MULTIFAMILY USE AT THE TIME OF APPLICATION FOR CONSTRUCTION PRIOR TO THE ISSUANCE OF A BUILDING AND/OR DEVELOPMENT PERMIT. NO WATER OR LIGHT CLEARANCES SHALL BE ISSUED UNTIL THE SITE PLAN, DRAINAGE PLAN AND OSSF PLAN ARE APPROVED AND PROPOSED IMPROVEMENTS ARE CONSTRUCTED IN ACCORDANCE WITH COUNTY AND STATES.
- ALL LOTS IN SHARYLAND BUSINESS PARK - PROJECT CIRCLE ARE HEREBY GRANTED A "DRAINAGE SWALE EASEMENT" WITH RESPECT TO SURFACE WATER RUN-OFF FROM ALL LOTS IN SHARYLAND BUSINESS PARK - PROJECT CIRCLE TO THE AREA DEPICTED ON THE SUBDIVISION PLAT AS THE "DRAINAGE SWALE" AREAS. LOT OWNERS OF SHARYLAND BUSINESS PARK - PROJECT CIRCLE THEIR ASSIGNS AND ANY SUBSEQUENT OWNER OF THE REAL PROPERTY DESIGNATED ON THE SUBDIVISION PLAT ARE RESPONSIBLE FOR THE MAINTENANCE OF THE DRAINAGE SWALES. THE CITY OF MCALLEN AND THE DRAINAGE DISTRICT NUMBER 1 ("DRAINAGE DISTRICT") MAY ENFORCE THIS PLAT NOTE BY INJUNCTION OR ANY OTHER REMEDY PROVIDED BY LAW, AND THE COUNTY AND / OR THE DRAINAGE DISTRICT ARE ALSO ENTITLED TO RECOVER ALL ENFORCEMENT COSTS AND / OR MAINTENANCE COSTS FROM THE LOT OWNERS IN VIOLATION. IN THE EVENT THE DRAINAGE SWALES DEPICTED ON THE SUBDIVISION PLAT ARE NO LONGER NECESSARY FOR DRAINAGE OF THE LOTS COMPRISING SHARYLAND BUSINESS PARK - PROJECT CIRCLE BECAUSE AN ALTERNATE DRAINAGE SYSTEM, CONSTRUCTED AND MAINTAINED BY A POLITICAL SUBDIVISION IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL LAWS AND REGULATIONS, IS FULLY OPERATIONAL AND ACTUALLY SERVING ALL THE LOTS IN SHARYLAND BUSINESS PARK - PROJECT CIRCLE, THE COUNTY AND THE DRAINAGE DISTRICT ARE HEREBY GRANTED THE RIGHT AND THE AUTHORITY (AND EACH LOT OWNER, BY THE ACCEPTANCE OF A DEED TO LOT IN SHARYLAND BUSINESS PARK - PROJECT CIRCLE ACKNOWLEDGES AND AGREES THAT THE COUNTY AND THE DRAINAGE DISTRICT HAS THE RIGHT AND AUTHORITY), TO RELEASE THE DRAINAGE EASEMENT BURDENING THE DRAINAGE SWALES PURSUANT TO THIS PLAT NOTE, BY AN INSTRUMENT IN WRITING RECORDED IN THE OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.
- 4 FOOT WIDE MINIMUM SIDEWALK REQUIRED ON INTERNATIONAL PARKWAY AND TANYA AVENUE.
- 6 FOOT OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES.
- 8 FOOT MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- COMMON AREAS, ANY PRIVATE DRIVES, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF MCALLEN.
- A MINIMUM 24 FT. PRIVATE SERVICE DRIVE WILL BE ESTABLISHED AS PART OF THE SITE PLAN AND MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF MCALLEN.

METES AND BOUNDS DESCRIPTION

BEING A 27.412 ACRE (1,194,080 SQUARE FEET) TRACT OF LAND SITUATED IN THE YLDEFONSO QUIROGA SURVEY, ABSTRACT NO. 43, HIDALGO COUNTY, TEXAS, BEING A PORTION OF THE REMAINDER OF LOT 77, A PORTION OF LOTS 78, 87, AND 88 OF THE JOHN H. SHARY SUBDIVISION RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS, HIDALGO COUNTY, TEXAS, BEING A PORTION OF A CALLED 111.3 ACRES DESCRIBED IN SPECIAL WARRANTY DEED TO CHARCO LAND SALES, LLC RECORDED IN DOCUMENT NO. 2018-2878775, OFFICIAL PUBLIC RECORDS, HIDALGO COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A "X" CUT IN CONCRETE FOUND AT THE EAST TERMINUS RIGHT OF WAY LINE OF INTERNATIONAL PARKWAY (A 80-FOOT RIGHT-OF-WAY) AND THE NORTH TERMINUS RIGHT OF WAY LINE OF TANYA AVENUE (A VARIABLE WIDTH RIGHT-OF-WAY), AN INNER ELL CORNER OF SAID 111.3 ACRE TRACT, THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT:

THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE OF TANYA AVENUE, A SOUTH LINE OF SAID 111.3 ACRE TRACT, THE FOLLOWING FIVE (5) CALLS:

- NORTH 81°24'43" WEST, 80.04 FEET TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR CORNER;
- NORTH 08°41'10" EAST, 20.00 FEET TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR CORNER;
- NORTH 81°18'50" WEST, 145.13 FEET TO A 1/2" IRON ROD WITH RED PLASTIC CAP AT THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT WITH A RADIUS OF 500.00 FEET, A CENTRAL ANGLE OF 15°00'20", AND A CHORD BEARING AND DISTANCE OF NORTH 88°52'39" WEST, 130.57 FEET;
- IN A WESTERLY DIRECTION, WITH SAID NON-TANGENT CURVE TO THE LEFT, AN ARC DISTANCE OF 130.95 FEET TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR CORNER;
- SOUTH 83°38'19" WEST, 1,086.64 FEET TO A 1/2" IRON ROD FOUND FOR A SOUTHWEST CORNER OF SAID 111.3 ACRE TRACT, THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE NORTH 08°40'01" EAST, 1,029.99 FEET DEPARTING SAID NORTH RIGHT-OF-WAY LINE OF TANYA INTERNATIONAL PARKWAY, ALONG THE WEST LINE OF SAID 111.3 ACRE TRACT TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE DEPARTING SAID WEST LINE OF THE 111.3 ACRE TRACT AND OVER AND ACROSS SAID 111.3 ACRE TRACT THE FOLLOWING TWO (2) CALLS:

- SOUTH 81°17'03" EAST, 1,404.72 FEET TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;
- SOUTH 08°42'57" WEST, 749.82 FEET TO THE POINT OF BEGINNING AND CONTAINING 1,194,080 SQUARE FEET OR 27.412 ACRES OF LAND.

STATE OF TEXAS
COUNTY OF HIDALGO

OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I, CHARCO LAND SALES, LLC, AS OWNER (S) OF THE 27.412 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED SHARYLAND BUSINESS PARK - PROJECT CIRCLE, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATED TO PUBLIC USE THE STREET, PARK, AND EASEMENTS SHOWN HEREIN.

I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE 232.032 AND THAT:

- THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.
 - SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET, THE MINIMUM REQUIREMENTS OF THE STATE STANDARDS;
 - ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEETS, OR WILL MEET, THE MINIMUM STATE STANDARDS; AND
 - GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.
- I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

BY _____ DATE _____
CHARCO LAND SALES, LLC

SUBDIVISION PLAT OF SHARYLAND BUSINESS PARK - PROJECT CIRCLE

BEING A 27.412 ACRE TRACT OF LAND SITUATED IN THE YLDEFONSO QUIROGA SURVEY, ABSTRACT NO. 43, PORCION NO. 60

CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, AND A PORTION OF CALLED 111.3 ACRE TRACT DESCRIBED TO CHARCO LAND SALES, LLC, RECORDED IN DOCUMENT NO. 2018-2878775 OF THE OFFICIAL PUBLIC RECORDS OF HIDALGO COUNTY, TEXAS AND A REMAINDER OF LOTS 77, 78, 87 AND 88 OF THE JOHN H. SHARY SUBDIVISION RECORDED IN VOLUME 1, PAGE 17, OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

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Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
NA	SAB	JLJ	Apr 2025	249613000	2 OF 2



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 4/15/2025

SUBDIVISION NAME: SHARYLAND BUSINESS PARK - PROJECT CIRCLE

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Tanya Ave: dedication as needed for 80 ft. ROW

Paving: 52 ft. - 65 ft. Curb & gutter: both sides

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Applied

International Parkway: dedication as needed for 80 ft. total ROW

Paving: 52 ft. - 65 ft. Curb & gutter: both sides

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Applied

South Taylor Road: Dedication as required for 80 ft. total ROW

Paving: 52 ft. - 65 ft. Curb & gutter: both sides

- Documents for South Taylor Road are being reviewed by staff to establish requirements if applicable.

- Engineer must clarify ownership of probable drainage ROW.

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

NA

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Applied

* 1,200 ft. Block Length

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac

**Subdivision Ordinance: Section 134-105

Applied

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

- Plat note #16 states "A minimum 24 ft. private service drive will be established as part of the site plan and must be maintained by the lot owners and not the City of McAllen", prior to final.

*Alley/service drive easement required for commercial properties

**Subdivision Ordinance: Section 134-106

Applied

SETBACKS

* Front (International Parkway): In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.

**Zoning Ordinance: Section 138-356

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. **Zoning Ordinance: Section 138-356 * Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. **Zoning Ordinance: Section 138-356 * Tanya Avenue: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. **Zoning Ordinance: Section 138-356 * Garage **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN 	Applied
	Applied
	Applied
	NA
	Applied
SIDEWALKS	
<ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on International Parkway and Tanya Avenue - Sidewalk requirements may increase to 5 ft. as per Engineering Department. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time. 	Applied
	Required
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements. 	Applied
	Applied
	Required
NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. * Common Areas, any private drives, etc. must be maintained by the lot owners and not the City of McAllen. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	Applied
	Applied
	Applied
	Applied
	NA

<ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	NA
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets **Subdivision Ordinance: Section 134-1 	Applied
<ul style="list-style-type: none"> * Minimum lot width and lot area **Zoning Ordinance: Section 138-356 	Applied
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: I-1 Proposed: I-1 ***Zoning Ordinance: Article V 	Applied
<ul style="list-style-type: none"> * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V 	NA
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. Commercial developments do not apply to Parks. 	NA
<ul style="list-style-type: none"> * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Commercial developments do not apply to Parks. 	NA
<ul style="list-style-type: none"> * Pending review by the City Manager's Office. Commercial developments do not apply to Parks. 	NA
TRAFFIC	
<ul style="list-style-type: none"> * As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. - As per Traffic Department, Trip Generation is approved, TIA level I is approved with conditions. 	Applied
<ul style="list-style-type: none"> * Traffic Impact Analysis (TIA) required prior to final plat. - As per Traffic Department, TIA level1 approved with conditions. 	Applied
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> - Any abandonments must be done by separate process, not by plat. If Canal ROW is abandoned, label with appropriate document number, prior to final. - Signature blocks on plat must comply with Section 134-61 of the Subdivision Ordinance. - Remove signature blocks that pertain to Hidalgo County for plat approval as they are not needed. - Submitted survey and plat show differing dimensions. - Include interior lot dimensions and label area as lot 1. - Engineer must clarify ownership of probable drainage ROW. *Must comply with City's Access Management Policy. 	Applied
RECOMMENDATION	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO THE CONDITIONS NOTED.</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



LOCATION

SANITARY SEWER
STABILIZATION POND

87

PROPOSED SHARYLAND
BUSINESS PARK
PROJECT CIRCLE

SHARY SUBDIVISION

TANYA AVE

77

SAN GABRIEL ST

S TAYLOR RD

LOT 11-A

LOT 11-B

LOT 12

SHARYLAND SERVICE

CENTER No. 1

S INTERNATIONAL PKWY

SHARY

LOT 17A

City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information

Subdivision Name Amistad ; McAllen Subdivision
 Legal Description JOHN H SHARY 2.63AC-E1095'-N193.77' LOT 317 2.63AC
and JOHN H SHARY W225'-N193.8'-LOT 317 1.0AC GR 0.82AC NET
 Location 1,162 feet north of the intersection of Nolana Loop and Taylor Rd
 City Address or Block Number 4120 N Taylor Rd
 Total No. of Lots 2 Total Dwelling Units 1 Gross Acres 7.39 Net Acres 7.39
☒ Public Subdivision/☐ Private and Gated /☐ Private but Not Gated within ETJ: ☐ Yes/☒ No
 For Fee Purposes: ☒ Commercial (6.61 Acres) / ☒ Residential (1 Lots) Replat: ☐ Yes/☒ No
0.784c.
 Existing Zoning R-1 & AO Proposed Zoning _____ Applied for Rezoning ☐ No/☒ Yes: Date _____
 Existing Land Use Agriculture Openland Proposed Land Use Residential + Church
 Irrigation District # U. I. D. Water CCN: ☐ MPU/☐ Sharyland Water SC Other _____
 Agricultural Exemption: ☐ Yes/☐ No Parcel # _____
 Estimated Rollback Tax Due _____ Tax Dept. Review _____

Owner

Name Amistad McAllen Phone _____
 Address 4120 N Taylor Rd E-mail _____
 City McAllen State Tx Zip 78504

Developer

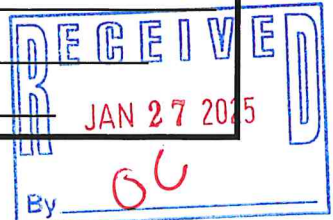
Name Same as Owner Phone (956) 650-0169
 Address _____ E-mail _____
 City _____ State _____ Zip _____
 Contact Person _____

Engineer

Name Trimad Consultants Phone (956) 534-4110
 Address 1803 Mozelle St E-mail aguzman@trimadstx.com
 City Pharr State Tx Zip 78577
 Contact Person Alfonso Guzman

Surveyor

Name Mario Gonzalez-Rio Delta Phone _____
 Address _____ E-mail _____
 City _____ State _____ Zip _____



VAR 2025-0009



City of McAllen

Planning Department

VARIANCE TO SUBDIVISION PROCESS APPLICATION

311 North 15th Street
McAllen, TX 78501
P. O. Box 220

McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project	Legal Description <u>John H Shary W225'-N193.8'-L0+317 1.0 AC GR0.82A NET</u> <u>John H Shary 2.24 AC Out of E1095'-N193.77' Lot 317 2.24 AC</u>
	Proposed Subdivision (if applicable) <u>Amisted McAllen Subdivision</u>
	Street Address <u>4120 N Taylor Rd, McAllen Tx 78504</u>
	Number of lots <u>3</u> Gross acres <u>7.39</u>
	Existing Zoning <u>B-1 DAO</u> Existing Land Use _____ <input type="checkbox"/> Current Survey and Metes and Bounds (required if the legal description is a portion of a lot)
Applicant	Name <u>TRIMAD Consultants LLC</u> Phone <u>956 534 4110</u>
	Address <u>1803 Mozelle St</u> E-mail _____
	City <u>Pharr</u> State <u>Tx</u> Zip <u>78577</u>
Owner	Name <u>Amisted McAllen</u> Phone _____
	Address <u>4120 N Taylor Rd</u> E-mail _____
	City <u>McAllen</u> State <u>Tx</u> Zip <u>78504</u>
Authorization	To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated? <input type="checkbox"/> Yes <input type="checkbox"/> No
	I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.
	Signature <u>[Signature]</u> Date <u>March 21, 2025</u> Print Name <u>Alfonso Guzman</u> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Authorized Agent
Office	*FOR OFFICE USE ONLY*
	APPLICATION FILING FEE: <input checked="" type="checkbox"/> \$250.00
	Accepted by <u>J.C.</u> Payment received by _____ Date _____ Rev 06/21





City of McAllen

Planning Department

REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are not an eligible standing for a variance. Please submit for consideration and review any combination of the following: (If necessary, please use an additional page to complete responses)

**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

(Primrose Variance)

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

AG The issue is the dedication of 60 ft. R.O.W. for the Collector^{the} street 'Primrose Ave.' on the North side of the proposed property. North side is the only way to have access into the property, and the owner just purchased that land from U.I.D. By Giving up R.O.W. owner's purchase will be in vain. ^{Proposed} _{driveway}

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

AG The proposed development is for a church, placing a major arterial road will put families in danger due to high volume traffic. This variance is necessary to preserve the safety of the children and families that will be assisting the church services

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

AG The variance will have no negative impact to public health, safety, or welfare or injurious to the legal rights of other property owners. The variance is being made to ensure that the safety of the public is a priority.

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

AG The development is going to be for a church, not a commercial business, the area surrounding it needs to be a safe place. Property is located along Taylor Rd. and is right next city limits of McAllen. Primrose cannot

continue west.



City of McAllen

Planning Department

REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are not an eligible standing for a variance. Please submit for consideration and review any combination of the following: (If necessary, please use an additional page to complete responses)

**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

Variance request for allowance of the maximum block length to be 1,320 ft instead of 1,200 ft. There is a block connection at the east side of the property (N. 48th St) so there is no need for another block connector.

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

The variance is necessary to keep the integrity of the proposed subdivision and surrounding subdivisions. There is a proposed N. 48th St at the 1320 ft mark on the East of the property.

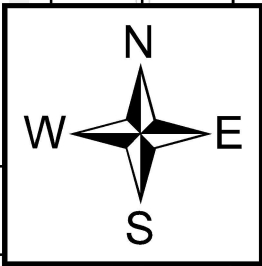
3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

The variance will not have a negative impact and will help the neighboring subdivision by keeping the street alignment at N. 48th St.

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

There is a proposed N. 48th St on the west side of the property so that will serve as the block collector road.

1,200 Block Length Variance



327

LOCATION

LOT 1
VICENTE SUBDIVISION

N TAYLOR RD

PROPOSED AMISTAD
MCALLEN SUBDIVISION

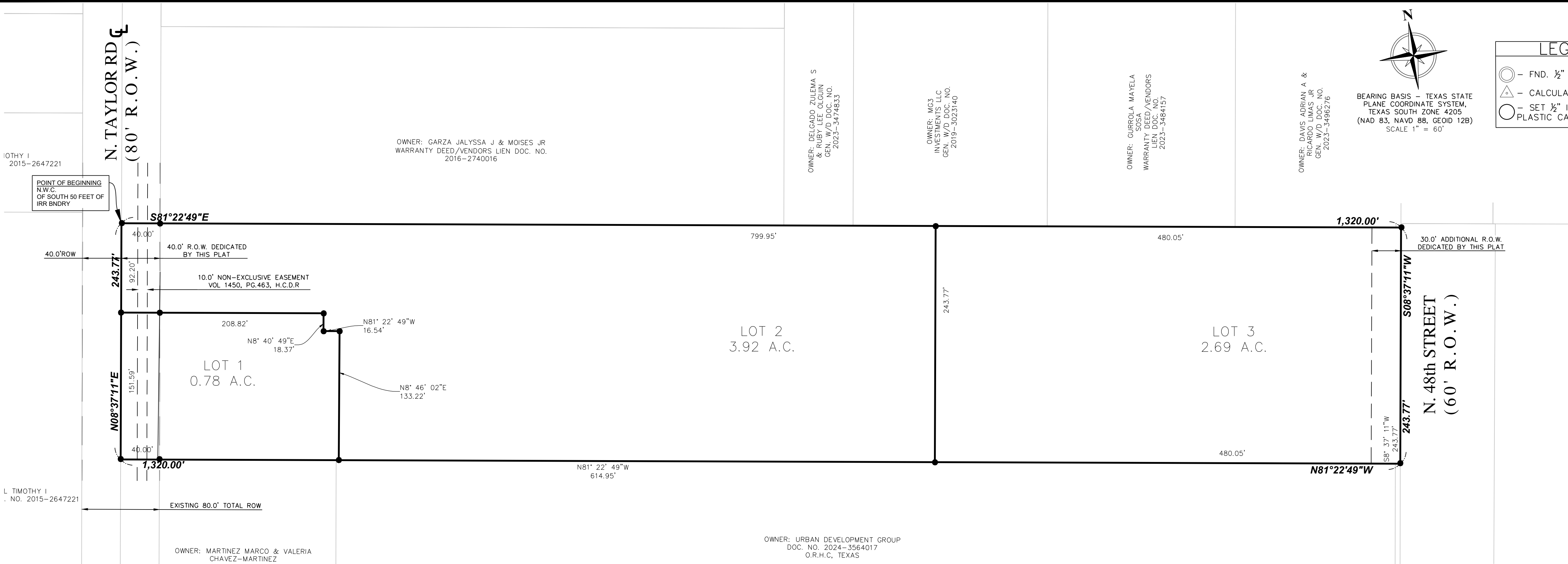
TAYLOR CREEK VILLAGES
SUBDIVISION

317

KREIDLER
MEMORIAL
CHAPEL

NOLANA AVE





METES AND BOUNDS

A 7.385 TRACT OF LAND OUT OF 19.49 ACRES OUT OF LOT 317, JOHN H. SHARY SUBDIVISION, CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, AS PER MAP RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS OF HIDALGO COUNTY, TEXAS, SAID 19.49 ACRES ARE VESTED TO JIMMY K. JONES FROM H.P. TRUHE, JR. AND WIFE LOIS TRUHE BY VIRTUE OF A WARRANTY DEED WITH VENDOR'S LIEN DATED MARCH 16, 1977 RECORDED IN VOLUME 1527, PAGE 74, DEED RECORDS OF HIDALGO COUNTY, TEXAS AND 1.515 ACRE TRACT OF LAND OUT OF 3.03 ACRES OUT OF UNITED IRRIGATION DISTRICT CANAL RIGHT OF WAY BETWEEN LOT 317 AND LOT 327 (DOC NO. 2024-3529429). SAID 7.385 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS

COMMENCING IN THE NORTHWEST CORNER OF LOT 317, JOHN H. SHARY SUBDIVISION AND BEING THE CENTERLINE INTERSECTION OF NORTH TAYLOR ROAD AND BEING THE NORTHWEST CORNER OF THE SOUTH 50 FEET OF THE UNITED IRRIGATION DISTRICT FOOT CANAL RIGHT OF WAY (HAVING COORDINATE VALUES OF X = 1059201.3050 Y = 166665.7367 BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83) (FOUND IN DOC NO. 2024-3529429) FOR THE NORTHWEST CORNER OF THIS TRACT OF LAND AND THE POINT OF BEGINNING;

THENCE, SOUTH 81° 22' 49.01" EAST, ALONG THE SOUTH BOUNDARY OF THE NORTH 50 FEET OF THE UNITED IRRIGATION DISTRICT (FOUND IN DOC NO. 2024-3529429) A DISTANCE OF 39.41 FEET PASS AN UNFOUND IRON ROD CAPPED MEDINA AT THE APPARENT EAST RIGHT OF WAY LINE OF NORTH TAYLOR ROAD, CONTINUING FOR A TOTAL DISTANCE OF 1320.09 TO A MAGNETIC NAIL SET AT THE CENTERLINE INTERSECTION OF NORTH TAYLOR ROAD FOR THE NORTHWEST CORNER OF THIS TRACT LAND;

THENCE, SOUTH 08° 42' 33.39" WEST, ALONG THE EAST LINE OF SAID LOT 317 A DISTANCE OF 243.39 FEET TO A ROD SET (WITH A PLASTIC CAP STAMPED RGEC) FOR THE SOUTHEAST CORNER OF CORNER OF THIS TRACT OF LAND;

THENCE, SOUTH 81° 24 '17.47" EAST, ALONG THE SOUTH LINE OF SAID LOT 317, A DISTANCE OF 1281.80 FEET PASS A ROD SET (WITH A PLASTIC CAP STAMPED ASE5 4802) AT THE APPARENT EAST RIGHT OF WAY LINE OF NORTH TAYLOR ROAD, CONTINUING FOR A TOTAL DISTANCE OF 1320.09 TO A MAGNETIC NAIL SET AT THE CENTERLINE INTERSECTION OF NORTH TAYLOR ROAD FOR THE NORTHWEST CORNER OF THIS TRACT LAND;

THENCE, NORTH 8° 43' 51.17" EAST, ALONG THE WEST LINE OF SAID LOT 317, A DISTANCE OF 243.74 FEET TO THE POINT OF BEGINNING AND CONTAINING 7.385 ACRES OF LAND, MORE OR LESS.

STATE OF TEXAS
COUNTY OF HIDALGO

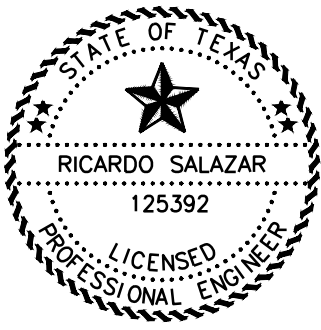
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.

RICARDO SALAZAR, P.E.
P.E. No. 125392
TBPELS FIRM REGISTRATION No. F-18526

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.

PABLO SOTO JR., R.P.L.S.
R.P.L.S. No. 4541
TBPELS FIRM REGISTRATION No. F-20208



HIDALGO COUNTY IRRIGATION DISTRICT No. 2

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 2 ON THIS THE ____ DAY OF ____ 20__.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES AND BUILDINGS), SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT No. 2 RIGHTS OF WAY OR EASEMENTS.

PRESIDENT _____ ATTEST: SECRETARY _____

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT No. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE 49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

BY: _____ DATE: _____
GENERAL MANAGER
RAUL E. SESIN, P.E., C.F.M.

SHARYLAND WATER CORPORATION

I, CARLOS LIMA, HEREBY CONDITIONALLY CERTIFY THAT POTABLE WATER SERVICE IS AVAILABLE FOR THE AMISTAD MCALLEN SUBDIVISION LOCATED AT CITY OF MCALLEN, IN HIDALGO COUNTY TEXAS, SUBJECT TO THE SUBDIVISION POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DEVELOPERS DESIGN ENGINEER, ALL APPLICABLE RULES AND REGULATIONS OF SHARYLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE AND FEDERAL AGENCIES

DEVELOPER AND ITS DESIGN ENGINEER SHALL BE FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER SYSTEM IS CONSTRUCTED WITHIN THE DESIGNATED SHARYLAND WATER SUPPLY CORPORTATION EXCLUSIVE EASEMENT

CARLOS LIMA _____ DATE _____

CITY OF MCALLEN
PLANNING & ZONING COMMISSION

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORM TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRPERSON, PLANNING AND ZONING COMMISSION _____ DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, (WE) THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE AMISTAD MCALLEN SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME(S) IS (ARE) SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, EASEMENTS, DRAINS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

AMISTAD MCALLEN
DIRECTOR
ANTONIO E. DE LIZARDI
4120 N. TAYLOR ROAD
MCALLEN, TEXAS 78504-4557
HIDALGO COUNTY

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ANTONIO E. DE LIZARDI, KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20__.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS
MY COMMISSION EXPIRES: _____

CITY OF MCALLEN
MAYOR CERTIFICATION

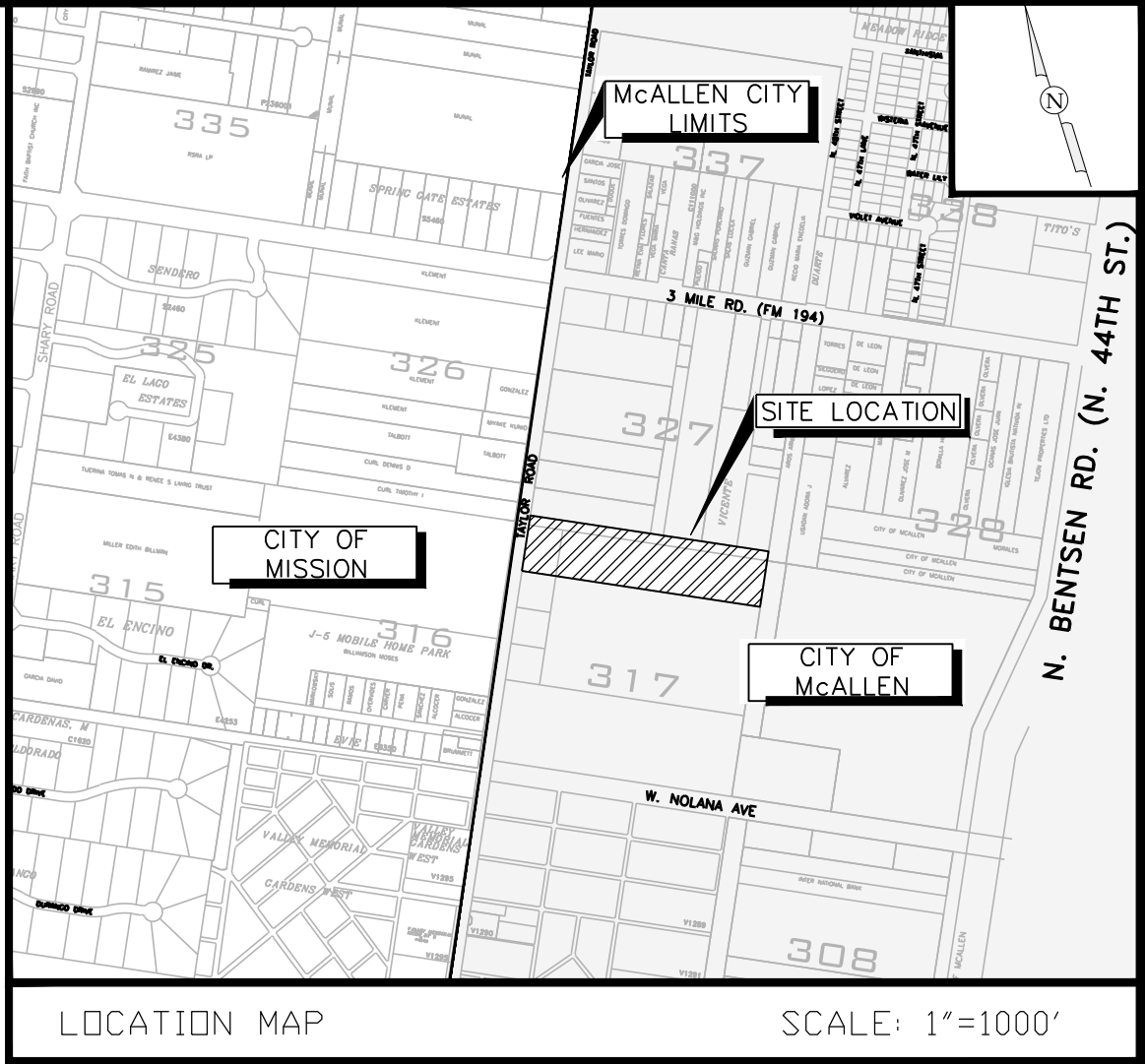
I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN _____ DATE _____

CITY SECRETARY _____ DATE _____

PRINCIPAL CONTACTS:

	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	AMISTAD MCALLEN	4120 N. TAYLOR RD	MCALLEN, TEXAS 78504	(956) _____	_____
ENGINEER:	RICARDO SALAZAR, P.E.	1803 MOZELLE ST.	PHARR, TEXAS 78577	(956) 688-8860	_____
SURVEYOR:	PABLO SOTO JR.	1206 S. IRONWOOD	PAHRR, TEXAS 78577	(956) 782-8277	_____



GENERAL NOTES

- FLOOD ZONE DESIGNATION: ZONE "B" AREAS BETWEEN LIMITS OF THE 100-YEAR AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE (1) SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. (MEDIUM SHADING) COMMUNITY-PANEL NUMBER 480334 0425 C MAP REVISED: NOVEMBER 16, 1982
- MINIMUM FINISH FLOOR ELEVATION: 18" ABOVE THE TOP OF PAVEMENT.
- MINIMUM BUILDING SETBACK LINES:
FRONT: 25.00' OR GREATER FOR EASEMENTS
SIDE: 6.00' OR GREATER FOR EASEMENTS
REAR: 10.00' OR GREATER FOR EASEMENTS
CORNER: 10.00' OR GREATER FOR EASEMENTS
- NO BUILDING SHALL BE CONSTRUCTED OVER ANY EASEMENT OR LOT LINE.
- A MINIMUM 4' SIDEWALK IS REQUIRED ALONG N. TAYLOR ROAD, N.48TH STREET, AND BOTH SIDES OF ALL INTERIOR STREETS.
- ALL SUBDIVISION IMPROVEMENTS SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SW3P) REQUIRED AND T.P.D.E.S.
- THIS SUBDIVISION SHALL BE REQUIRED TO DETAIN A TOTAL OF 30,073 CUBIC FEET (OR 0.6904 ACRE-FEET) OF DRAINAGE RUNOFF.
- FOLLOW LANDSCAPE ORDINANCE AS PER CITY REQUIREMENTS.
- 6FT OPAQUE BUFFER IS REQUIRED FROM ADJACENT/BETWEEN MULTIFAMILY RESIDENTIAL AND COMMERCIAL, OR INDUSTRIAL ZONE/USES, AND ALONG N. TAYLOR ROAD AND N. 48TH STREET.
- 8FT. MASONRY WALL REQUIRED FRO, ADJACENT/BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTIFAMILY RESIDENTIAL ZONE/USES
- HOMEOWNERS ASSOCIATION SHALL MAINTAIN DETENTION AREAS, INCLUDING THE DETENTION POND.
- THE DRAINAGE SWALES ARE PRIVATE AND SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION, SO THAT THE APPROVED DRAINAGE PLAN RETAINS ITS ENGINEERED INTEGRITY AND FUNCTIONALITY. SHOULD THE SWALES BE FILLED-IN WITHOUT ANY CITY ASSESSMENT/APPROVAL, THE CITY OF SAN JUAN SHALL ACTIVATE THE CODE ENFORCEMENT PROCESS TO REGAIN THE FUNCTIONALITY OF THE SWALE.
- ALL GREEN SPACE LOCATED AT THE ENTRANCE OF THE SUBDIVISION AND WITHIN RIGHT-OF-WAYS, OUTSIDE OF PROPERTY LINES TO BE CLEAN AND MAINTAINED BY HOMEOWNERS ASSOCIATION.
- ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
- NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.
- NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IN SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
- NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG N. TAYLOR ROAD.
- COMMON AREAS, ANY PRIVATE STREETS/DRIVES, GATE AREAS, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF MCALLEN.

AMISTAD MCALLEN
SUBDIVISION

A 7.39 ACRE (321,908.40 SQ. FT.) GROSS, 7.39 ACRE (321,908.40 SQ. FT.) NET, MORE OR LESS TRACT OF LAND OUT OF 19.49 ACRES OUT OF LOT 317, JOHN SHARY SUBDIVISION, CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, AS PER MAP RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS OF HIDALGO COUNTY, TEXAS.



TBPELS FIRM REGISTRATION No. F-18526

1803 MOZELLE ST.
PHARR, TEXAS 78577
(956) 688-8860

DATE OF PREPARATION: MARCH 20, 2025



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 4/15/2025

SUBDIVISION NAME: AMISTAD MCALLEN SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

N. Taylor Rd. - Dedication for 40 ft. from centerline for 80 ft. Total R.O.W.

Paving: 52 B-B Curb & gutter: Both Sides

Revisions Needed:

- Please add/separate your labels to show the following: Existing R.O.W., Total R.O.W., Total R.O.W. after dedication, etc. Add these arrow annotations.
- Need to provide Doc. No. on the plat for the apparent Existing 80 ft. R.O.W. located on N. Taylor Rd. Provide R.O.W. Recorded Docs. for staff review, prior to final.
- Disclaimer: Please clarify any existing easements that are being shown inside of the R.O.W. and provide Documents for Staff review prior to final.
- Disclaimer: Abandonment of easements cannot be done by plat, must be done by a separate instrument/document.

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final.

**COM Thoroughfare Plan"

Non-compliance

N. 48th St.: 30 ft. of R.O.W. dedication required for 60 ft. of R.O.W.

Paving: 40 ft. Curb & gutter: Both Sides

Revisions Needed:

- Need to provide an Area map to verify for street alignments/offsets.
- Disclaimer: Abandonment of easements cannot be done by plat, must be done by a separate instrument/document.

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan"

Required

Primrose Ave. - 35 ft. of dedication needed for 70 ft. of R.O.W.*

Paving: 44 ft. Curb & gutter: Both Sides

Revisions Needed:

- Need to provide staff with an Area map to verify for street alignments/offsets/landlocked parcels.

*The Engineer submitted a Variance application (VAR2025-0009) on March 21, 2025. The application includes a variance for:

- Not to dedicate street R.O.W. for Primrose Ave. To be presented at the April22, 2025 Planning & Zoning Meeting.

*Disclaimer: Recorded Subdivision located directly north "Vicente Subdivision" provided 35 ft. of 'Future Road R.O.W.'

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan"

Non-compliance

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>Paving _____ Curb & gutter _____</p> <p>**Subdivision Ordinance: Section 134-105</p> <p>**Monies must be escrowed if improvements are required prior to final</p> <p>**COM Thoroughfare Plan</p> <p>* 1,200 ft. Block Length.</p> <p>*The Engineer submitted a Variance application (VAR2025-0009) on March 21, 2025. The application includes a variance for:</p> <p>- 1,200 ft. block length requirement, to be presented at the April 22, 2025 Planning & Zoning Meeting.</p> <p>**Subdivision Ordinance: Section 134-118</p> <p>* 900 ft. Block Length for R-3 Zone Districts.</p> <p>**Subdivision Ordinance: Section 134-118</p> <p>* 600 ft. Maximum Cul-de-Sac</p> <p>**Subdivision Ordinance: Section 134-105</p>	NA
	Non-compliance
	NA
	NA
ALLEYS	
<p>R.O.W.: 20 ft. Paving: 16 ft.</p> <p>*Alley/service drive easement required for commercial properties.</p> <p>**Subdivision Ordinance: Section 134-106</p>	NA
SETBACKS	
<p>Lot 1: * Front: 25 ft. or greater for easements, whichever is greater applies.</p> <p>Lots 2&3: * Front: In Accordance with the Zoning Ordinance or greater for easements.</p> <p>Revisions Needed:</p> <p>-Needs to add setbacks as shown above prior to final.</p> <p>**Zoning Ordinance: Section 138-356</p> <p>Lot 1: * Rear: 10 ft. or greater for easements, whichever is greater applies.</p> <p>Lots 2&3: * Rear: In Accordance with the Zoning Ordinance or greater for easements.</p> <p>Revisions Needed:</p> <p>-Needs to add setbacks as shown above prior to final.</p> <p>**Zoning Ordinance: Section 138-356</p> <p>Lot 1: * Sides: 6 ft. or greater for easements, whichever is greater applies.</p> <p>Lots 2&3: * Sides: In Accordance with the Zoning Ordinance or greater for easements.</p> <p>Revisions Needed:</p> <p>-Needs to add setbacks as shown above prior to final.</p> <p>**Zoning Ordinance: Section 138-356</p> <p>Lot 1: * Corner: 10 ft. or greater for easements, whichever is greater applies.</p> <p>Lots 2&3: * Rear: In Accordance with the Zoning Ordinance or greater for easements.</p> <p>Revisions Needed:</p> <p>-Needs to add setbacks as shown above prior to final.</p> <p>**Zoning Ordinance: Section 138-356</p> <p>Lot 1: * Garage: 18 ft. except where greater setback is required, greater setback applies.</p> <p>-Add the plat note as shown above prior to final.</p> <p>**Disclaimer: Only applies to Residential lot 1.</p> <p>**Zoning Ordinance: Section 138-356"</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Non-compliance
	Non-compliance
	Non-compliance
	Non-compliance
	Non-compliance
	Applied

SIDEWALKS	
<p>* A 4 ft. wide minimum sidewalk required on N. Taylor Rd. , N. 48th St. & Primrose Ave. on both sides of interior streets. Revisions Needed: - Needs to add plat note as shown above prior to final. *The Engineer submitted a Variance application (VAR2025-0009) on March 21, 2025. The application includes a variance for: - Not to dedicate street R.O.W. for Primrose Ave. To be presented at the April22, 2025 Planning & Zoning Meeting. **Disclaimer: Sidewalk requirements may increase to 5 ft. prior to recording per Engineering Department requirements, finalize prior to Final. ***Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	<p>Non-compliance</p> <p>Required</p>
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. - Plat submitted on March 20, 2025 proposes: "6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along N. Taylor Rd. & N. 48th Street." **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements.</p>	Applied
	Applied
	Required
NOTES	
<p>* No curb cut, access, or lot frontage permitted along N. Taylor Rd. **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	Applied
	NA
	Applied
	NA
	NA
	NA

LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets. * Lots cannot be landlocked, access to a public street is required. Please clarify Lot 3 since it needs to have access to the street. **Subdivision Ordinance: Section 134-1 * Minimum lot width and lot area. **Zoning Ordinance: Section 138-356 	Required
	Applied
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: R-1 (Single-Family Residential District) & A-O (Agricultural and Open Space District) Proposed: Institutional Use * Disclaimer: For a church, you will need to submit an application for a Conditional Use Permit (CUP) that will need to be reviewed by the Planning & Zoning Commission and by the City Commission. ***Zoning Ordinance: Article V * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V 	Compliance
	NA
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Park Fee applies to Residential properties, for a 1 Lot residential property, fee would be \$700.00 * Pending review by the Parkland Dedication Advisory Board and CC. 	NA
	Required
	NA
TRAFFIC	
<ul style="list-style-type: none"> * As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. * Traffic Impact Analysis (TIA) required prior to final plat. 	Required
	TBD

COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> - Need to provide copies of documents for all existing R.O.W. doc's being shown on the plat for staff review prior to final. - Update location map with an updated hidalgo county parcel maps, add the recorded subdivisions surrounding it (i.e. Taylor Creek Villages, etc.). - Clarify the overlap of easements into the R.O.W. <p>*The Engineer submitted a Variance application (VAR2025-0009) on March 21, 2025. The application includes a variance for:</p> <ol style="list-style-type: none"> 1. Not to dedicate street R.O.W. for Primrose Ave. 2. Variance to the 1,200 ft. Block length requirement. <p>* To be presented at the April 22, 2025 Planning & Zoning Meeting.</p> <ul style="list-style-type: none"> - Need to verify Metes & Bounds that it matches with the Bearings and Distances on the Plat, there are some sections that are different. - Need to add 'crows-feet' wherever applicable, as per Metes and Bounds. - Need to add parcel information of the Taylor Creek Villages Plat on the South, and add parcel information of areas West of N. Taylor Rd., they seem to be cut-off. - Need to correct the Planning & Zoning Commission chairman's Signature Block with correct wording, it should read; <p>Chairman, Planning & Zoning Commission DATE</p> <ul style="list-style-type: none"> - On the City Mayor's Signature block, you can remove the signature line for the City Secretary, this part is not required. - Please verify the acreage being mentioned in the legal description, it refers to 7.385 acres on the metes and bounds, and under the title it refers to 7.9 acres. <p>* Disclaimer: At the Planning & Zoning Commission meeting of February 18, 2025, subdivision was approved in Preliminary Form subject to conditions noted, drainage & utilities approvals.</p> <p>* Disclaimer: For a church, you will need to submit an application for a Conditional Use Permit (CUP) that will need to be reviewed by the Planning & Zoning Commission and by the City Commission.</p> <p>* Disclaimer: You may want to verify the signature block of the Irrigation district, it mentions H.C.I.D. #2 however on the plat notes it mentions United Irrigation (U.I.D.) as the Irrigation district.</p> <p>* Disclaimer: Any abandonment of easements must be done by a separate instrument/document, cannot be abandoned by plat.</p> <p>**Must comply with City's Access Management Policy and access spacing as specified by the Traffic Department</p> <p>***Additional notes as needed prior to final regarding maintenance responsibilities of any common areas.</p> <p>****Must comply with Fire, Public Works and other departments as may be applicable at time of Conditional Use Permit review, including site plan requirements related to the C.U.P.</p>	Non-compliance
RECOMMENDATION	
<p>RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE & UTILITIES APPROVAL.</p> <p>STAFF RECOMMENDS DISAPPROVAL OF VARIANCE REQUEST TO NOT DEDICATE R.O.W. FOR FUTURE (N/W COLLECTOR STREET) PRIMEROSE AVE.</p> <p>STAFF RECOMMENDS APPROVAL OF VARIANCE TO THE 1,200 FT. BLOCK LENGTH.</p>	Applied



327

LOCATION

VICENTE SUBDIVISION

LOT 1

PROPOSED AMISTAD
MCALLEN SUBDIVISION

N TAYLOR RD

N TAYLOR RD

N TAYLOR RD

N TAYLOR RD

N TAYLOR RD

TAYLOR CREEK VILLAGES
SUBDIVISION

317

ORCHID AVE

OLEANDER AVE

OLEANDER AVE

NERINE AVE

NERINE AVE

NOLANA AVE

RUSH DR

KREIDLER
MEMORIAL
CHAPEL

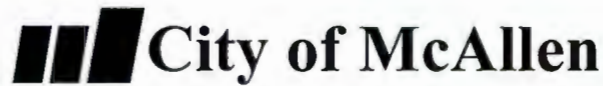
DETENTION AREA LOT B

DETENTION AREA LOT A

N 48TH ST

N 48TH ST

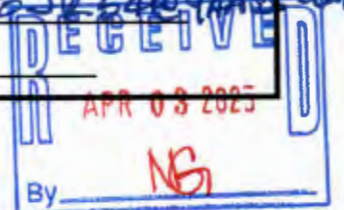
N 47TH ST



City of McAllen Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name	<u>HOBB'S FARM SUBDIVISION</u>		
	Legal Description	<u>A 0.90 ACRE TRACT OF LAND OUT OF LOT 10, EBONY HEIGHTS CITRUS GROVES UNIT NO. 1</u>		
	Location	<u>INTERSECTION OF HOBBS DR & 2ND ST. SOUTHWEST</u>		
	City Address or Block Number	<u>309 Hobbs Dr</u>		
	Total No. of Lots	<u>1</u>	Total Dwelling Units	<u>1</u>
	Gross Acres	<u>0.90</u>	Net Acres	<u>0.80</u>
	<input type="checkbox"/> Public Subdivision/ <input checked="" type="checkbox"/> Private and Gated/ <input type="checkbox"/> Private but Not Gated		within ETJ: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial (<u> </u> Acres)/ <input checked="" type="checkbox"/> Residential (<u>1</u> Lots)		Replat: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No	
	Existing Zoning	<u>R1</u>	Proposed Zoning	<u>R1</u>
	Applied for Rezoning	<input type="checkbox"/> No/ <input type="checkbox"/> Yes: Date <u> </u>		
Existing Land Use	<u>Vacant</u>			
Proposed Land Use	<u>Guest House</u>			
Irrigation District #	<u>NO. 2</u>	Water CCN: <input checked="" type="checkbox"/> MPU/ <input type="checkbox"/> Sharyland Water SC	Other <u> </u>	
Agricultural Exemption: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No	Property ID: <u> </u>			
Estimated Rollback Tax Due	<u> </u>		Tax Dept. Review <u> </u>	
Owner	Name	<u>ALVARO GONZALEZ</u>		
	Address	<u>201 W. HOBBS DR.</u>		
	City	<u>Mc EDINBURG</u>	State	<u>TX</u>
Developer	Name	<u>SAME AS ABOVE</u>		
	Address	<u> </u>		
	City	<u> </u>	State	<u> </u>
	Zip	<u> </u>		
	Contact Person	<u> </u>		
Engineer	Name	<u>PABLO SOTO, JR</u>		
	Address	<u>1208 S. IRONWOOD ST.</u>		
	City	<u>PHARR</u>	State	<u>TX.</u>
	Zip	<u>78577</u>		
Surveyor	Name	<u>PABLO SOTO, JR.</u>		
	Address	<u> </u>		
	City	<u> </u>	State	<u> </u>
	Zip	<u> </u>		



07/26/25

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- ~~Title Report~~
- 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or blueline copies and Location Maps
- 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements (Preferred)

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & the width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature

Date

4/3/2025

Print Name

PABLO SOTO, JR

 Owner ☐

 Authorized Agent ☒

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

Proposed Plat Submittal

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Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature *Ismael Gonzalez* Date 4-23-2025

Print Name ISMAEL GONZALEZ

Owner ☒ Authorized Agent ☐

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
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Owner(s) Signature(s)

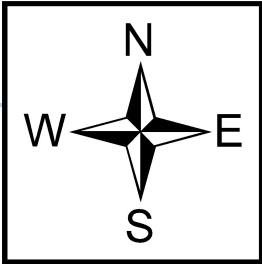
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 4-03-2025

Print Name ALVARO GONZALEZ

Owner ☒ Authorized Agent ☐

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion



LOCATION



N 2ND ST

HOBBS DR.

PROPOSED HOBBS'S
FARM SUBDIVISION

9

10

LOT 1
CAROLINA
SUBDIVISION

PLAT OF
HOBB'S FARM SUBDIVISION

A 0.90 ACRE TRACT OF LAND OUT OF LOT 10, EBONY HEIGHTS CITRUS GROVES UNIT NO. ONE, HIDALGO COUNTY, TEXAS, AS PER MAP RECORDED IN VOLUME 5, PAGE 39, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

PREPARED BY: PABLO SOTO JR. P.E.

DATE: MARCH 10, 2025

METES AND BOUNDS

A 0.90 ACRE TRACT OF LAND OUT OF LOT 10, EBONY HEIGHTS CITRUS GROVES UNIT NO. 1, HIDALGO COUNTY, TEXAS, AS PER MAP RECORDED IN VOLUME 5, PAGE 39, MAP RECORDS OF HIDALGO COUNTY, TEXAS, SAID 0.90 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT 10, EBONY HEIGHTS CITRUS GROVES UNIT NO. 1, THENCE SOUTH 81 DEGREES 32 MINUTES 28 SECONDS EAST, WITH THE NORTH LINE OF LOT 10, EBONY HEIGHTS CITRUS GROVES UNIT NO. 1, A DISTANCE OF 5.00 FEET TO THE NORTHWEST CORNER OF THIS TRACT OF LAND AND THE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 81 DEGREES 32 MINUTES 28 SECONDS EAST, WITH THE NORTH LINE OF SAID LOT 10, EBONY HEIGHTS CITRUS GROVES UNIT NO. 1, A DISTANCE OF 106.08 FEET TO THE NORTHEAST CORNER OF THIS TRACT OF LAND;

THENCE SOUTH 08 DEGREES 36 MINUTES 03 WEST, AT 20.00 FEET PASS A HALF (1/2) INCH IRON ROD FOUND AT THE SOUTH RIGHT OF WAY LINE OF HOBBS DRIVE, AT A TOTAL DISTANCE OF 372.03 FEET TO THE SOUTHEAST CORNER OF THIS TRACT OF LAND;

THENCE NORTH 81 DEGREES 23 MINUTES 57 SECONDS WEST, A DISTANCE OF 106.03 FEET TO THE SOUTHWEST CORNER OF THIS TRACT OF LAND;

THENCE NORTH 08 DEGREES 36 MINUTES 03 SECONDS EAST, AT A DISTANCE OF 351.76 FEET PASS A HALF (1/2) INCH IRON ROD FOUND AT THE SOUTH RIGHT OF WAY LINE OF SAID HOBBS DRIVE, AT A TOTAL DISTANCE OF 371.76 FEET TO THE POINT OF BEGINNING, CONTAINING 0.90 OF AN ACRE, MORE OR LESS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, **ALVARADO GONZALEZ**, OWNER OF THE LAND SHOWN, AND DESIGNATED HERE AS **HOBB'S FARM SUBDIVISION** AND WHOSE NAME(S) IS(ARE) SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREET, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED.

ALVARADO GONZALEZ
ADDRESS
MCALLEN TEXAS 78501

DATE

THE STATE OF TEXAS-COUNTY OF HIDALGO
PUBLIC NOTARY CERTIFICATE

BEFORE ME, the undersigned notary public, on this day personally appeared **XXXXXXXX** proved to me through her Texas Department of Public Safety Driver License to be the person whose name is subscribed to the foregoing instrument, who, being by me first duly sworn, de-clared that the statements therein are true and correct and acknowledged that she executed the same for the purposed and consideration thereby expressed.

Given under my hand and seal of office this _____ day of _____, 2025.

NOTARY PUBLIC- STATE OF TEXAS

HIDALGO COUNTY IRRIGATION DISTRICT NO 2.

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO 2.
ON THIS THE _____ DAY OF _____, 20____

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT NO 2 RIGHT OF WAY OR EASEMENTS.

ATTEST:

PRESIDENT

SECRETARY

HIDALGO COUNTY DRAINAGE DISTRICT No. 1

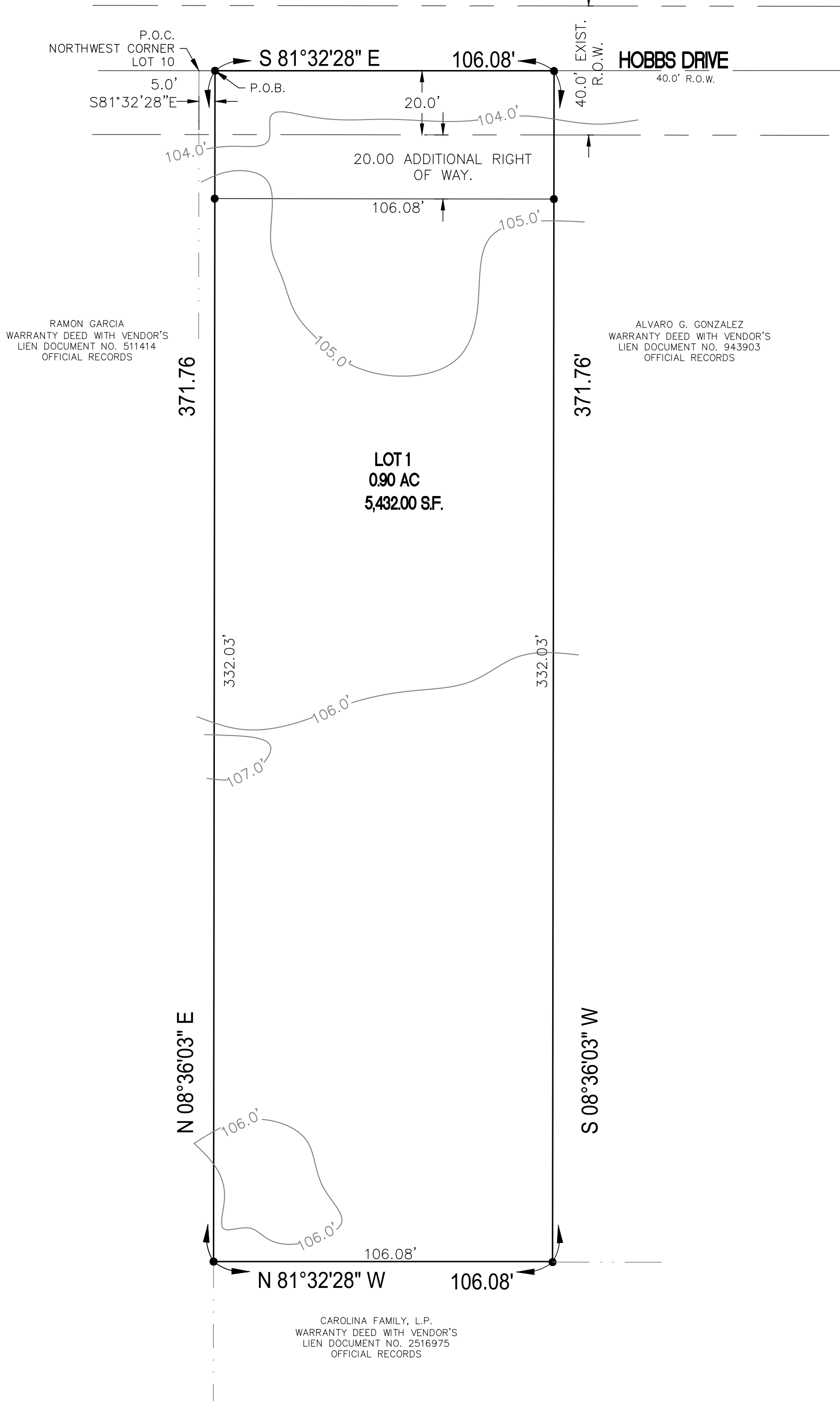
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE

PRINCIPAL CONTACTS:			
Name	Address	City & Zip	Phone
OWNER:			
ENGINEER:	PABLO SOTO JR	1208 S. IRONWOOD ST. PHARR, TX 78577	(956) 460-1605
SURVEYOR:	PABLO SOTO JR	1208 S. IRONWOOD ST. PHARR, TX 78577	(956) 460-1605



BEARING SHOWN BIASED
ON RECORD PLAT
SCALE: 1" = 30'

LEGEND	
○	- FD. 5/8" IRON ROD
●	- FD. 1/2" IRON ROD

GENERAL SUBDIVISION PLAT NOTES:

1.- FLOOD ZONE DESIGNATION:
ZONE "B" AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD;
CERTAIN AREAS SUBJECT TO AN AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE
THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS;
PROTECTED BY LEVEES FROM THE BASE FLOOD.
COMMUNITY-PANEL NUMBER 480344 0001 B, MAP REVISED: JULY 16, 1979.

2.-SETBACK LINES AS FOLLOWS:
FRONT: 25.0 FEET OR EASEMENT, WHICHEVER IS GREATER
SIDE: 6.0 FEET OR EASEMENT, WHICHEVER IS GREATER
REAR: 10.0 FEET OR EASEMENT, WHICHEVER IS GREATER

3.-MINIMUM FINISH FLOOR ELEVATION SHALL BE A MINIMUM OF 18 INCHES ABOVE THE TOP OF THE CURB LOCATED IN THE CENTER FRONT OF THE LOT, MINIMUM FINISH FLOOR ELEVATION IS: 18 INCHES ABOVE HIGHEST NATURAL GROUND, WHICHEVER IS HIGHER.
(MINIMUM FINISH FLOOR ELEVATION: 90.60

4.-NO BUILDING IMPROVEMENTS SHALL BE PERMITTED ON OR WITHIN ANY EASEMENT IN THIS SUBDIVISION.

5.-DETENTION AREAS THAT ARE 3 FEET OR DEEPER WILL REQUIRE PERIMETER FENCE.

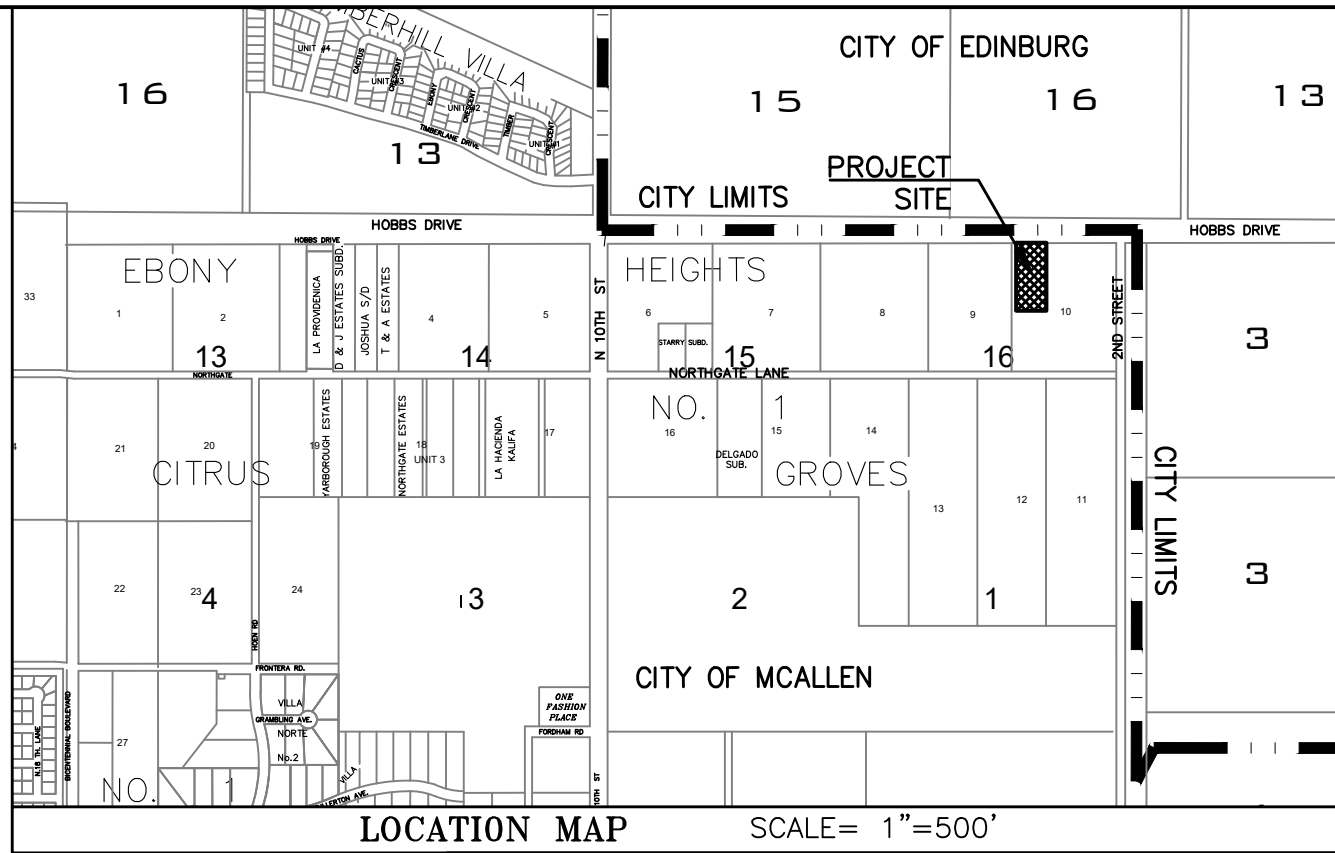
6.-STORM WATER DETENTION IS REQUIRED FOR THIS PROPERTY. THE ENGINEER OF RECORD FOR THIS SUBDIVISION PLAT HAS ESTIMATED THAT AN AREA OF APPROXIMATELY _____ CUBIC FEET OR ____ ACRE-FEET OF DRAINAGE RUNOFF WILL BE REQUIRED.

7.-BENCHMARK ELEVATION:
THE FOLLOWING BENCHMARK IS IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS.
B.M. No. 1-ELEV-

8.-THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED AT THE DEVELOPMENT PERMIT STAGE THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED IN THIS PLAT, DUE TO THE IMPERVIOUS ARE BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.

9.-H.C.D.D. NO 1 DISCHARGE PERMIT WILL BE REQUIRED.

10.-ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SW3P) REQUIREMENTS.



STATE OF TEXAS
CITY OF MCALLEN

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN PLANNING COMMISSION DATE

CITY OF MCALLEN
CERTIFICATE OF APPROVAL

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR DATE

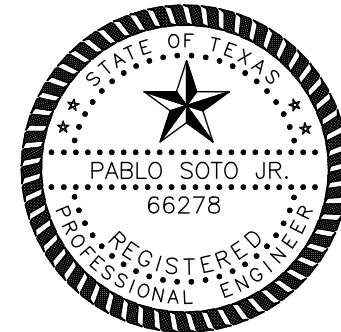
STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, PABLO SOTO, JR., A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT AS HERIN SHOWN.

DATED THIS _____ DAY OF _____, 2025

PRELIMINARY PURPOSE ONLY

REGISTERED PROFESSIONAL ENGINEER No. 66278



I, PABLO SOTO JR., CERTIFY THAT THE ABOVE PLAT IS AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY SUPERVISION AND THAT THERE ARE NO VISIBLE EASEMENTS OR ENCROACHMENTS EXCEPT AS SHOWN AND THAT ALL CORNERS HAVE BEEN LOCATED AS INDICATED.

PRELIMINARY PURPOSE ONLY

PABLO SOTO JR. DATE
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4541



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

PABLO SOTO, JR. P.E.

CIVIL ENGINEER & LAND SURVEYOR

1208 S. IRONWOOD ST. PHARR, TEXAS-78577
(TEL) 956-460-1605 (FAX) 956-782-8277

T.B.P.E.
FIRM No. F-20208



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 4/15/2025

SUBDIVISION NAME: HOBBS FARM SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Hobbs Drive: 20 ft. of R.O.W. dedication for 40 ft. from Centerline for 80 ft. of R.O.W.
Paving: 52 ft. - 65 ft. Curb & gutter: Both Sides

Revisions needed:

- Need to Label the Centerline & Total R.O.W. after accounting for dedication.
- Label dedication as "20 ft. additional R.O.W. Dedicated by Plat"
- Needs to provide R.O.W. documents on the plat, and provide copies for staff review prior to final.

- Needs to label any existing easements.

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed for improvements not built prior to recording.

**COM Thoroughfare Plan"

Non-compliance

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

NA

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

NA

* 1,200 ft. Block Length

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts _____

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac .

**As per Fire Department requirements, 96 ft. of paving face-to face required. 10 ft. of R.O.W. back of curb around Cul-de-Sac required.

**Subdivision Ordinance: Section 134-105

Non-compliance

Compliance

NA

ALLEYS

R.O.W.: 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial properties and multi-family development.

*Disclaimer: Application calls for a residential single family development, if proposed use changes, requirement for alley will apply as applicable.

**Subdivision Ordinance: Section 134-106

NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SETBACKS	
<p>* Front: 25 ft. or in line with existing structures or easements, whichever is greater applies. Revisions Needed: -Need to revise the plat note as shown above prior to final. *Proposing: 25 ft. or easement, whichever is greater **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Rear: 10 ft. or greater for easements, whichever is greater applies. Revisions Needed: - Needs to add setback note as shown above prior to final. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Sides: 6 ft. or greater for easements, whichever is greater applies. Revisions Needed: -Needs to add setbacks as shown above prior to final. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Corner: 10 ft. or greater for easements, whichever is greater applies. Revisions Needed: -Needs to add setback note as shown above prior to final, plat note is missing. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Garage: 18 ft. except where greater setback is required, greater setback applies. Revisions Needed: -Add the plat note as shown above prior to final, plat note is missing. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on Hobbs Drive. Revisions Needed: - Need to add plat note as shown above prior to final. *Disclaimer: Sidewalk requirements may increase to 5 ft. prior to recording, as per Engineering Department requirements. ****Subdivision Ordinance: Section 134-120</p>	Non-compliance
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Required
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Revisions Needed: Needs to add plat note as shown above prior to final. **Landscaping Ordinance: Section 110-46</p>	Non-compliance
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Revisions Needed: -Need to add plat note as shown above prior to final. **Landscaping Ordinance: Section 110-46</p>	Non-compliance
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Required
NOTES	
<p>* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy</p>	TBD

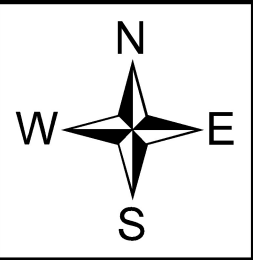
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions Needed: Add plat note as shown above prior to final. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Revisions Needed: - Add plat note as shown above prior to final. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	Applied
	Non-compliance
	NA
	Non-compliance
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets **Subdivision Ordinance: Section 134-1 * Minimum lot width and lot area. **Zoning Ordinance: Section 138-356 	Required
	Required
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: R-1 (Single-Family Residential District) Proposed: R-1 (Single-Family Residential District) ***Zoning Ordinance: Article V * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V 	Applied
	NA
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. - Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Park Fee applies to Residential properties, for a 1 Lot residential property, fee would be \$700.00 * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording * Pending review by the Parkland Dedication Advisory Board and CC. 	Required
	Required
	NA
TRAFFIC	
<ul style="list-style-type: none"> * As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. * Traffic Impact Analysis (TIA) required prior to final plat. 	Required
	TBD

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

COMMENTS		
<p>Comments:</p> <ul style="list-style-type: none"> - Needs to label existing easements, R.O.W. documents, etc. on the plat prior to final. - Needs to provide document numbers for staff review prior to final. - If subdivision will be private, needs to add the words " (Private Subdivision) " under the Plat name of the subdivision. - Verify the Bearing distances and M+B as some of the dimensions show differ from the survey. (i.e. there are some dimensions that differ in bearings & distances) - Needs to add parcel information of properties surrounding the subdivision. (i.e. Carolina Subdivision on the South side, also for properties located directly on the North side of Hobbs Drive. - Update location map with an updated hidalgo county parcel maps. - Clarify any overlap of easements in to the existing R.O.W. <p>-Need to correct the Planning & Zoning Commission chairman's Signature Block with correct wording, as it should read;</p> <hr/> <div style="display: flex; justify-content: space-between;"> Chairman, Planning & Zoning Commission DATE </div> <p>-Need to correct the Mayor's Signature Block with correct wording, as it should read;</p> <hr/> <div style="display: flex; justify-content: space-between;"> Mayor, City of McAllen DATE </div> <p>Needs to add all relevant signatures for the Owner's Signature Line. (i.e. Alvarado Gonzalez & Irma Gonzalez require two different signature lines. Needs to come in to revise application for the PROPOSED USE of the subdivision, prior to final.</p> <p>*Disclaimer: The City of McAllen does not require the Irrigation district's signature block, but if its presented on the physical mylar, you must provide for their signature & required recording documents (i.e. H.C.I.D. #2 Tax Certificates) *Disclaimer: Any variances that may be requested must be finalized prior to final and will establish additional requirements as needed prior to finalizing the plat. *Disclaimer: Any abandonment of easements must be done by a separate instrument/document, cannot be abandoned by plat. *Must comply with City's Access Management Policy.</p>		Non-compliance
RECOMMENDATION		
<p>RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE & UTILITIES APPROVAL.</p>		Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



LOCATION

HOBBS DR

N 2ND ST

PROPOSED HOBBS'S
FARM SUBDIVISION

9

10

LOT 1
CAROLINA
SUBDIVISION

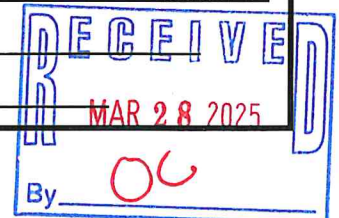


City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>De Rios Subdivision</u>	
	Legal Description <u>0.19 Gross Acre Tract o/o Lot 6, Block 16, Steele and Pershing Subd.</u>	
	Location <u>3021 S. "J" St., McAllen TX 78503</u>	
	City Address or Block Number <u>3021 S "J" St</u>	
	Total No. of Lots <u>1</u> Total Dwelling Units <u>1</u> Gross Acres <u>0.19</u> Net Acres <u>0.17</u>	
	<input checked="" type="checkbox"/> Public Subdivision/ <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial (<u> </u> Acres)/ <input checked="" type="checkbox"/> Residential (<u>1</u> Lots) Replat: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R-1</u> Proposed Zoning <u>R-1</u> Applied for Rezoning <input type="checkbox"/> No/ <input type="checkbox"/> Yes: Date <u> </u>	
	Existing Land Use <u>Open</u> Proposed Land Use <u>Single Family Residential</u>	
	Irrigation District # <u>2</u> Water CCN: <input checked="" type="checkbox"/> MPU/ <input type="checkbox"/> Sharyland Water SC Other <u> </u>	
Agricultural Exemption: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No Parcel # <u>273940</u>		
Estimated Rollback Tax Due <u>N/A</u> Tax Dept. Review <u>gh</u>		
Owner	Name <u>Tomas Rios Jr.</u> Phone <u>956-529-2003</u>	
	Address <u>7804 N. Bentsen Palm Dr.</u> E-mail <u> </u>	
	City <u>Mission</u> State <u>TX</u> Zip <u>78574</u>	
Developer	Name <u>Same as Owner</u> Phone <u> </u>	
	Address <u> </u> E-mail <u> </u>	
	City <u> </u> State <u> </u> Zip <u> </u>	
	Contact Person <u> </u>	
Engineer	Name <u>Salinas Engineering & Associates</u> Phone <u>956-682-9081</u>	
	Address <u>2221 Daffodil Ave.</u> E-mail <u>dsalinas@salinasengineering.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>msalinas@salinasengineering.com</u>	
	Contact Person <u>David/Mick Salinas</u> <u>78501</u>	
Surveyor	Name <u>Same as Engineer</u> Phone <u> </u>	
	Address <u> </u> E-mail <u> </u>	
	City <u> </u> State <u> </u> Zip <u> </u>	



Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

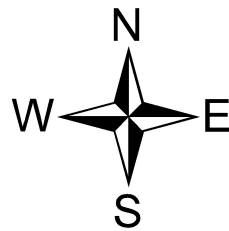
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 3-28-25

Print Name David Salinas

Owner ☐ Authorized Agent ☒

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion



5

S. "J" ST.

LOCATION

7

8

PROPOSED

9

DE RIOS
SUBDIVISION

LOT 1

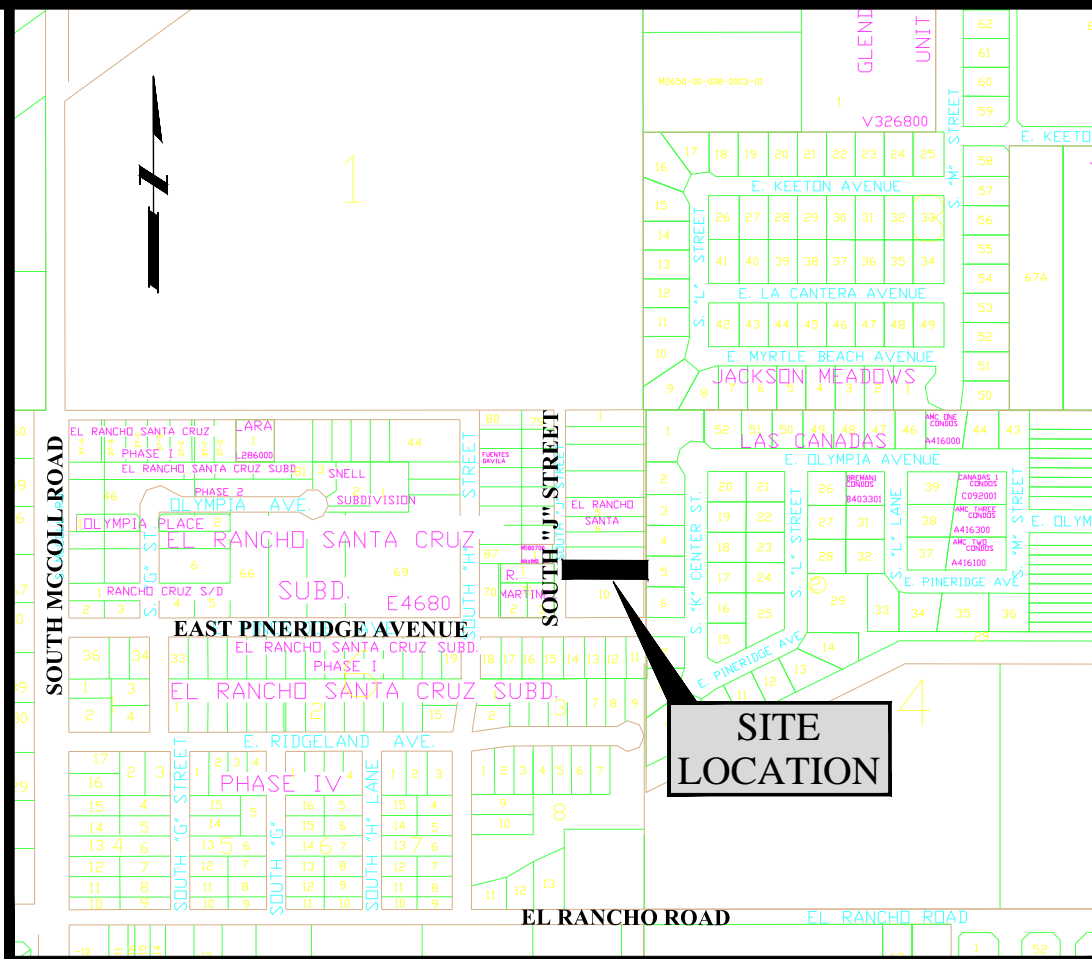
R. MARTINEZ

FAMILY SUBDIVISION

LOT 2

HCAD
2012

E PINERIDGE AVE



METES AND BOUNDS DESCRIPTION

- (1) THENCE, NORTH 08 DEGREES 38 MINUTES EAST, A DISTANCE OF 39.67 FEET TO A ½ INCH DIAMETER IRON ROD FOUND FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;
- (2) THENCE, SOUTH 81 DEGREES 05 MINUTES 32 SECONDS EAST, A DISTANCE OF 212.25 FEET TO A ½ INCH DIAMETER IRON ROD FOUND FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;
- (3) THENCE, SOUTH 08 DEGREES 38 MINUTES WEST, A DISTANCE OF 39.15 FEET TO A POINT ON THE NORTHEAST CORNER OF LOT 4 OF SAID R. MARTINEZ FAMILY SUBDIVISION FOR THE SOUTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT; SAID POINT IS MONUMENTED BY A ½ INCH DIAMETER IRON ROD FOUND NORTH 81 DEGREES 14 MINUTES WEST, A DISTANCE OF 1.20 FEET FROM SAID POINT;
- (4) THENCE, NORTH 81 DEGREES 14 MINUTES WEST, COINCIDENT WITH THE NORTH LINE OF SAID R. MARTINEZ FAMILY SUBDIVISION, A DISTANCE OF 212.25 FEET TO THE POINT OF BEGINNING, CONTAINING 0.19 ACRES OF LAND, MORE OR LESS.

FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

BY: _____ DEPUTY _____

PREPARED BY: SALINAS ENGINEERING & ASSOC.
DATE OF PREPARATION: MARCH 27, 2025.
JOB NUMBER: SP-25-26290
OWNER: TOMAS RIOS JR.
7804 N. BENTSEN PALM DR.,
MISSION, TEXAS 78574

SEA
SALINAS ENGINEERING & ASSOC.
(F-6675) (TBPLS-10065700)
CONSULTING ENGINEERS & SURVEYORS
2221 DAFFODIL - McALEEN, TEXAS 78501
(366) 682-9081 (666) 686-1489 (FAX)
TBPLS 12100 PARK 35 CIRCLE BLDG. A, SUITE 156, MC-230, AUSTIN, TEXAS 78753 (512) 239-

DAVID O. SALINAS, R.P.L.S.
REG. PROFESSIONAL LAND SURVEYOR #5782

DATE _____

THIS PLAN IS
ACTUAL SURVEY

DATE _____



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 4/11/2025

SUBDIVISION NAME: DE RIOS SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
South "J" Street: 10 ft. from centerline for 50 ft. total ROW Paving: Existing 30 ft. Curb & gutter: both sides - No ROW dedication is shown, existing subdivisions dedicated 10 ft. ROW - Engineer must clarify 20 ft. reserved for ROW notation on plat. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Non-compliance
Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Applied
* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118	Applied
* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118	NA
* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105	NA
ALLEYS	
ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106	NA
SETBACKS	
* Front: 25 ft. or greater for easements or in line with existing structures, whichever is greater applies **Zoning Ordinance: Section 138-356	Applied
* Rear: 10 ft. or greater for easements **Zoning Ordinance: Section 138-356	Applied
* Sides: 6 ft. or greater for easements **Zoning Ordinance: Section 138-356	Applied
* Corner **Zoning Ordinance: Section 138-356	NA
* Garage: 18 ft. except where greater setback is required; greater setback applies - Include a setback note as shown above, prior to final. **Zoning Ordinance: Section 138-356	Non-compliance
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SIDEWALKS	
<ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on South "J" Street - Sidewalk may increase to 5 ft. per Engineering Department **Subdivision Ordinance: Section 134-120 	Applied
<ul style="list-style-type: none"> * Perimeter sidewalks must be built or money escrowed if not built at this time. 	Required
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46 	Applied
<ul style="list-style-type: none"> * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46 	Applied
<ul style="list-style-type: none"> *Perimeter buffers must be built at time of Subdivision Improvements. 	Required
NOTES	
<ul style="list-style-type: none"> **Must comply with City Access Management Policy 	Applied
<ul style="list-style-type: none"> * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. 	Applied
<ul style="list-style-type: none"> * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. - Remove plat note as it wouldn't be needed for a 1 lot single family subdivision. 	Non-compliance
<ul style="list-style-type: none"> * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. 	NA
<ul style="list-style-type: none"> * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	NA
<ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	NA
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets **Subdivision Ordinance: Section 134-1 	Applied
<ul style="list-style-type: none"> * Minimum lot width and lot area - Lot doesn't meet minimum lot width for single family residential zone. An variance application was submitted on April 3, 2025 (ZBA2025-001) to allow a 39.67 lot width instead of the required 50 ft. **Zoning Ordinance: Section 138-356 	Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ZONING/CUP	
* Existing: R-1 Proposed: R-1 ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA
PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Fees are payable prior to recording and can go up or down; they are dependent on the amount of units. Must comply with Parkland dedication ordinance requirements prior to recording.	Required
* Pending review by the City Manager's Office.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.	Applied
- As per Traffic Department Trip Generation is waived for 1 lot single family home.	
* Traffic Impact Analysis (TIA) required prior to final plat.	NA
COMMENTS	
Comments: - Any abandonments must be done by separate process not by plat, prior to final. - Engineer must clarify Reservation for ROW along South "J" Street. - Location map must reflect with surrounding recorded subdivisions. *Must comply with City's Access Management Policy.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVAL.	Applied



Sub 2025-0053



City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

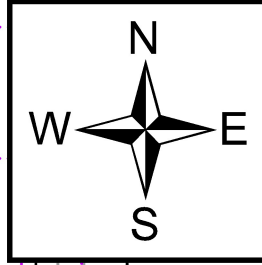
Project Information	Subdivision Name	Russell Creek Phase I		
	Legal Description	A 18.326 Acre Tract of Land being out of the remaining Land out of a Tract of Land described as Tract 1, out of Lot 3, Section 233, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas		
	Location	Approximately 300-ft West of Russell Road/N. Depot Road intersection		
	City Address or Block Number	13701 N 23rd St (N Depot Rd)		
	Total No. of Lots	101	Total Dwelling Units	101
	Gross Acres	18.55	Net Acres	15.97
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No			
	For Fee Purposes: <input type="checkbox"/> Commercial (___ Acres) / <input checked="" type="checkbox"/> Residential (101 Lots) Replat: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No			
	Existing Zoning	R-1	Proposed Zoning	R-1
	Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____			
Existing Land Use	Vacant			
Proposed Land Use	Single Family Residential			
Irrigation District #	HCID1	Water CCN:	<input type="checkbox"/> MPU / <input checked="" type="checkbox"/> Sharyland Water SC Other _____	
Agricultural Exemption:	<input type="checkbox"/> Yes / <input type="checkbox"/> No		Parcel #	294701
Estimated Rollback Tax Due	14,901.63		Tax Dept. Review	UPG
Owner	Name	Jane Cross Enterprises, Inc		Phone _____
	Address	13201 N. 23rd Street		E-mail _____
	City	Edinburg	State	TX Zip 78541
Developer	Name	Elite Development 786, LLC		Phone 956-283-7474
	Address	3244 Turquia		E-mail _____
	City	Brownsville	State	TX Zip 78520
	Contact Person	Mobeen Ahmed		
Engineer	Name	M2 Engineering, PLLC		Phone 956-600-8628
	Address	1810 E. Griffin Parkway		E-mail milo@m2-engineers.com
	City	Mission	State	TX Zip 78572
	Contact Person	Emigdio Salinas		
Surveyor	Name	Manuel Carrizales		Phone 956-567-2167
	Address	_____		E-mail mannyrpls@cls.land
	City	Edinburg	State	TX Zip 78542

KF

MAR 28 2025

CW

LOCATION



RUSSELL RD (9MILE)

DEPO
STATION
LOT 1

N 23RD ST (N DEPOT RD)

CHAISES DE JARDIN
SUBDIVISION
LOT 1

PROPOSED
RUSSEL CREEK PHASE 1
SUBDIVISION

HEAD

21

22

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36

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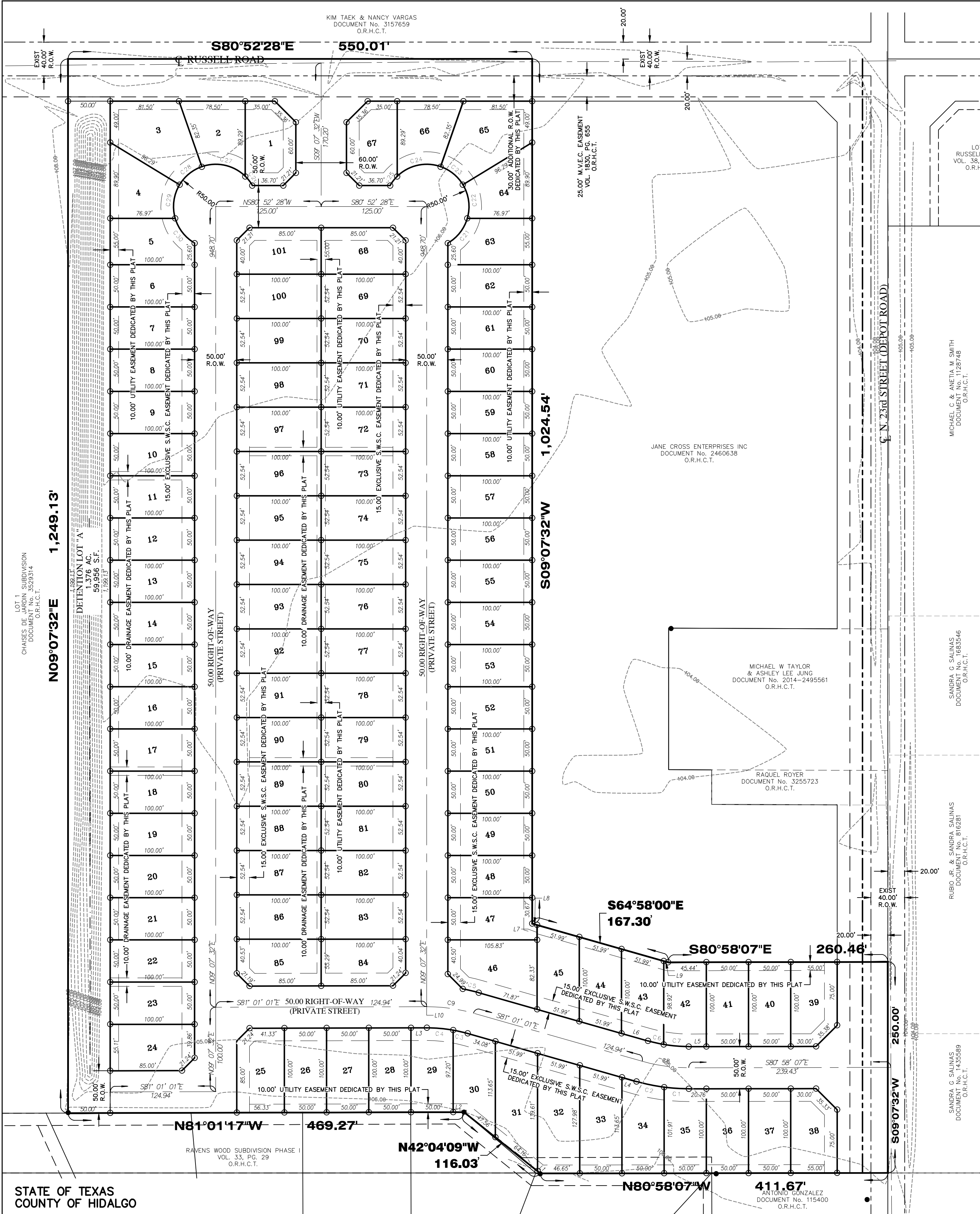
33

10

13

(PRIVATE)

(PRIVATE)



CURVE TABLE					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	29.32	225.00	7° 27' 58"	S77° 14' 08"E	29.30
C2	33.52	225.00	8° 32' 09"	S69° 14' 04"E	33.49
C3	17.68	175.00	5° 47' 23"	N67° 51' 41"W	17.68
C4	31.34	175.00	10° 15' 39"	N75° 53' 12"W	31.30
C5	19.55	224.95	4° 58' 48"	N67° 36' 01"W	19.55
C6	19.08	175.00	6° 14' 48"	S68° 05' 24"E	19.07
C7	29.80	175.00	9° 45' 19"	S78° 05' 27"E	29.76
C8	55.86	200.00	16° 00' 07"	S72° 58' 03"E	55.88
C9	56.03	200.00	16° 03' 02"	S72° 59' 31"E	55.84

Line Table		
Line #	Direction	Length
L1	N42° 04' 08.64"W	4.30'
L2	N81° 01' 01.44"W	12.94'
L3	S81° 01' 01.44"E	18.82'
L4	S64° 57' 59.67"E	17.88'
L5	N80° 58' 06.55"W	20.84'
L6	N64° 57' 59.67"W	32.65'
L7	S9° 07' 35.71"W	17.67'
L8	S64° 57' 58.95"E	6.06'
L9	S64° 58' 00.52"E	5.26'
L10	S81° 01' 01.45"E	0.09'

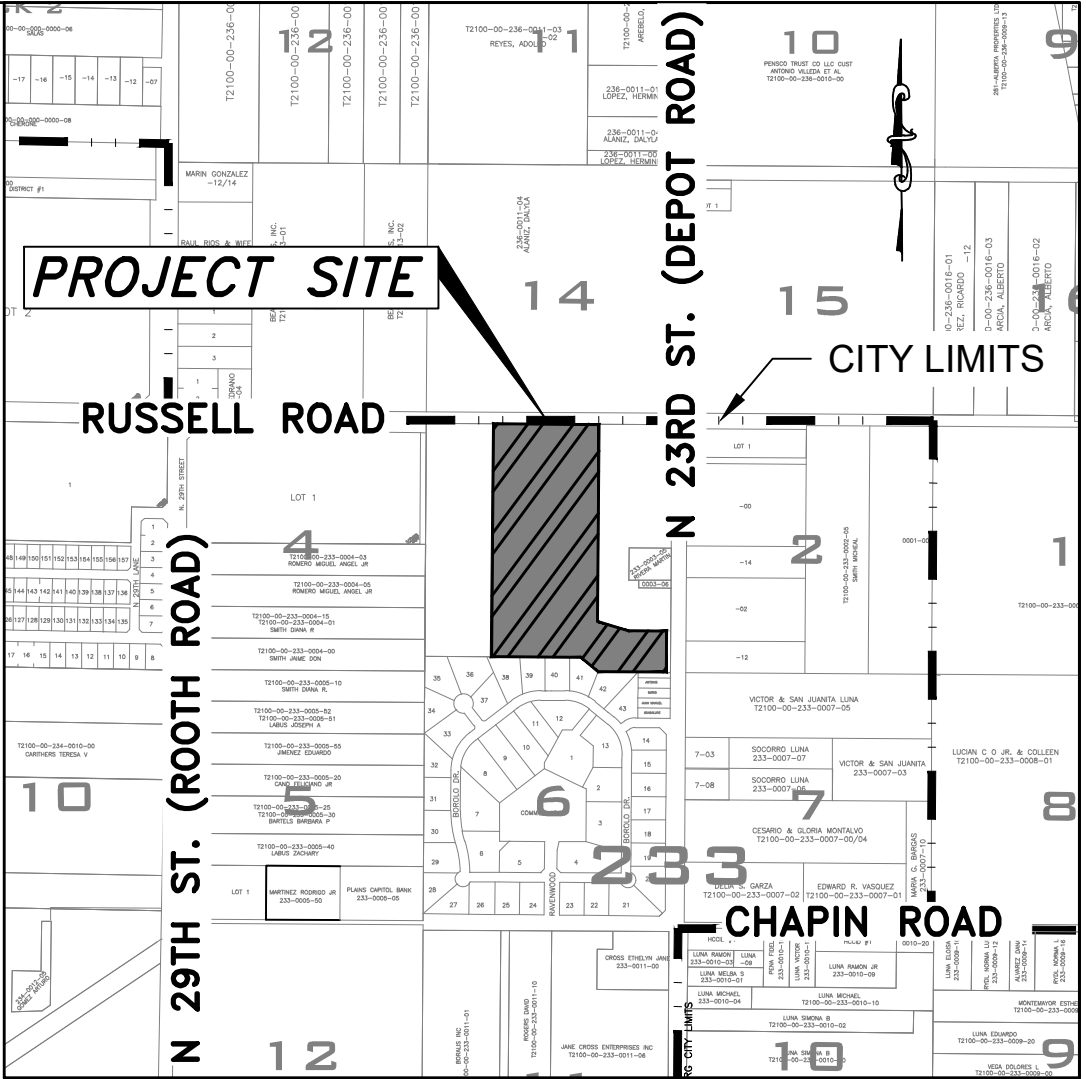
LOT AREAS		
LOT No.	AC	SQFT
1	0.127	5526
2	0.117	5081
3	0.167	7284
4	0.118	5119
5	0.116	5071
6-23	0.115	5000
24	0.124	5386
25	0.127	5520
26-28	0.115	5000
29	0.114	4971
30	0.117	5096
31	0.145	6332
32	0.155	6753
33	0.139	6041
34	0.123	5353
35	0.115	5019
36	0.115	5000
37	0.115	5000
38	0.119	5188
39	0.119	5188
40	0.115	5000
41	0.115	5000
42	0.115	5029
43	0.115	4993
44	0.115	5000
45	0.115	5000
46	0.161	7029
47	0.117	5108
48-62	0.115	5000
63	0.116	5071
64	0.118	5119
65	0.167	7284
66	0.117	5081
67	0.127	5526
68	0.124	5388
69-83	0.121	5254
84	0.124	5404
85	0.125	5428
86	0.121	5254
86-100	0.124	5387

SCALE: 1"=80'
BEARING BASIS
TEXAS STATE PLANE COORDINATE SYSTEM,
TEXAS SOUTH ZONE 4205

METES AND BOUNDS
DESCRIPTION A 19.555 ACRE TRACT
A 19.555 ACRE TRACT OF LAND BEING OUT OF THE REMAINING LAND OUT OF A TRACT OF LAND DESCRIBED AS TRACT 1, OUT OF LOT 3, SECTION 233, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 12, MAP RECORDS, HIDALGO COUNTY, TEXAS, AS CONVEYED TO JANE CROSS ENTERPRISES, INC., A TEXAS CORPORATION, BY VIRTUE OF WARRANTY DEED RECORDED IN INSTRUMENT NUMBER: 2013-2460638, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS (ORHCT), AND A PORTION OF LAND OUT OF A CALLED TRACT 2 AS DESCRIBED AND CONVEYED TO RAVENSWOOD LTD, BY VIRTUE OF DOCUMENT NUMBER 612063, DEED RECORDS OF HIDALGO COUNTY, TEXAS, 19.555 ACRES ABOVE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:
COMMENCING AT A COTTON PICKER SPINDLE FOUND AT THE INTERSECTION OF RUSSELL ROAD AND N. DEPOT ROAD (23RD STREET) FOR THE NORTHEAST CORNER OF SAID LOT 3, AND OF SAID TRACT 1, THENCE, NORTH 80 DEGREES 52 MINUTES 28 SECONDS WEST ALONG THE NORTH LINE OF SAID LOT 3, BEING THE NORTH LINE OF SAID TRACT 1, A DISTANCE OF 371.35 FEET TO A CALCULATED POINT [N16646190.5623, E1074639.9511] FOR THE NORTHEAST CORNER OF THIS TRACT OF LAND AND THE POINT OF BEGINNING;
THENCE, SOUTH 09 DEGREES 07 MINUTES 32 SECONDS WEST, OVER AND ACROSS SAID TRACT 1 AT A DISTANCE OF 20.00 FEET PASS A 1/2 INCH IRON ROD WITH PINK CAP STAMPED "CLS RPLS 6388" SET AT THE SOUTH RIGHT OF WAY LINE OF SAID RUSSELL ROAD, CONTINUING A TOTAL DISTANCE OF 1024.46 FEET TO A 1/2 INCH IRON ROD WITH PINK CAP STAMPED "CLS RPLS 6388" SET FOR AN INTERIOR CORNER OF THIS TRACT OF LAND;
THENCE, SOUTH 64 DEGREES 58 MINUTES 00 SECONDS EAST, OVER AND ACROSS SAID TRACT 1 A DISTANCE OF 167.30 FEET TO A 1/2 INCH IRON ROD WITH PINK CAP STAMPED "CLS RPLS 6388" SET FOR AN INTERIOR CORNER OF THIS TRACT OF LAND;
THENCE, SOUTH 80 DEGREES 58 MINUTES 07 SECONDS EAST, OVER AND ACROSS SAID TRACT 1, AT 180.46 FEET PASS A 1/2 INCH IRON ROD WITH PINK CAP STAMPED "CLS RPLS 6388" SET AT THE WEST RIGHT OF WAY LINE OF SAID N. DEPOT ROAD, CONTINUING A TOTAL DISTANCE OF 210.46 FEET TO A CALCULATED POINT LOCATED AT THE EAST LINE OF SAID LOT 3 AND THE EAST LINE OF SAID TRACT 1 FOR THE MOST EASTERLY NORTHEAST CORNER OF THIS TRACT OF LAND;
THENCE, SOUTH 09 DEGREES 07 MINUTES 32 SECONDS WEST, ALONG THE EAST LINE OF SAID LOT 3 AND OF SAID TRACT 1, A DISTANCE OF 250.00 FEET TO A CALCULATED POINT FOR THE NORTHEAST CORNER OF SAID LOT 3 AND OF SAID TRACT 1, FOR THE SOUTHEAST CORNER OF THIS TRACT OF LAND;
THENCE, NORTH 80 DEGREES 58 MINUTES 07 SECONDS WEST, ALONG THE SOUTH LINE OF SAID TRACT 1 AND THE SOUTH LINE OF SAID TRACT 2 BEING THE SOUTH LINE OF SAID LOT 3, A DISTANCE OF 411.67 FEET TO A COMMON NORTH LINE OF SAID RAVENS WOOD SUBDIVISION, A DISTANCE OF 411.67 FEET TO AN IRON ROD FOUND AT THE NORTHWEST CORNER OF LOT 42, RAVENS WOOD SUBDIVISION, PHASE I AS PER MAP OR PLAT RECORDED IN VOLUME 33, PAGE 29, MAP RECORDS OF HIDALGO COUNTY, TEXAS;
THENCE, NORTH 42 DEGREES 04 MINUTES 09 SECONDS WEST, WITHIN AND ACROSS SAID LOT 3 AND OF SAID TRACT 1, ALONG A COMMON NORTH LINE OF SAID RAVENS WOOD SUBDIVISION, A DISTANCE OF 116.03 FEET TO A HALF (1/2)-INCH IRON ROD FOUND FOR AN INTERIOR CORNER OF THIS TRACT OF LAND;
THENCE, NORTH 81 DEGREES 01 MINUTES 17 SECONDS WEST, WITHIN AND ACROSS SAID LOT 3 AND OF SAID TRACT 1, AND ALONG A COMMON NORTH LINE OF SAID RAVENS WOOD SUBDIVISION, AT A DISTANCE OF 419.27 PASS A 1/2 INCH IRON ROD WITH PINK CAP STAMPED "CLS RPLS 6388" SET AT THE EAST LINE OF A 50.0 FOOT DRAINAGE EASEMENT, CONTINUING A TOTAL DISTANCE OF 469.27 FEET TO A CALCULATED POINT FOR THE WESTMOST SOUTHWEST CORNER OF THIS TRACT OF LAND;
THENCE, NORTH 09 DEGREES 07 MINUTES 32 SECONDS EAST, WITHIN AND ACROSS SAID LOT 3 AND OF SAID TRACT 1, ALONG THE WEST LINE OF SAID 50.0 FOOT DRAINAGE EASEMENT, AT A DISTANCE OF 1229.13 FEET PASS AN IRON ROD FOUND AT THE SOUTH RIGHT OF WAY LINE OF SAID RUSSEL ROAD, CONTINUING A TOTAL DISTANCE OF 1249.13 FEET TO A CALCULATED POINT ON THE NORTH LINE OF SAID LOT 3 AND OF SAID TRACT 1, FOR THE NORTHWEST CORNER OF THIS TRACT OF LAND;
THENCE, SOUTH 80 DEGREES 52 MINUTES 28 SECONDS EAST, ALONG THE NORTH LINE OF SAID LOT 3 AND OF SAID TRACT 1, A DISTANCE OF 600.00 FEET TO THE POINT OF BEGINNING, AND CONTAINING 19.555 ACRES OF LAND MORE OR LESS.
ALL COORDINATES, BEARINGS, AND DISTANCES NOTED WITHIN THIS METES AND BOUNDS DESCRIPTION ARE IN U.S. SURVEY FEET AND REFERENCE THE TEXAS STATE PLANE COORDINATE SYSTEM SOUTH ZONE 4205 AND IN GRID COORDINATES.

GENERAL NOTES:

- FLOOD ZONE STATEMENT:
FLOOD ZONE DESIGNATION: ZONE "X"
ZONE "X" AREAS: AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN (NO SHADING).
ACCORDING TO COMMUNITY-PANEL NO. 480334 0325 D, DATED JUNE 6, 2000
MAP REVISED: MAY 17, 2001, TO REFLECT LOMR 01-06-1095P-480334
- SETBACKS:
FRONT: 20.00 FEET OR EASEMENT WHICHEVER IS GREATER
REAR: 10.00 FEET OR EASEMENT WHICHEVER IS GREATER
SIDE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER
CORNER 10.00 FEET OR EASEMENT WHICHEVER IS GREATER
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE THE CENTER LINE OF STREET AND NO LOWER THAN THE HIGHEST FINISH FLOOR IN THE SURROUNDING NEIGHBORING PROPERTY, WHICHEVER IS GREATER.
- BENCH MARK NOTE:
HORIZONTAL COORDINATES AND VERTICAL ELEVATION:
TEXAS STATE PLAN SOUTH ZONE (4205), NAD 83, NAVD 88 US SURVEY FEET
MC 34 - DESCRIPTION: SOUTHWEST CORNER OF THE INTERSECTION OF BOROLO LANE AND 23RD ST.
TYPE OF MATERIAL: 30" ALUMINUM PIPE WITH A 3-3/4" BRASS MONUMENT CAP ON TOP.
N:16644511.4151
E:1074905.50377
- IN ACCORDANCE WITH THE CITY OF McALLEN AND HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF _____ CUBIC- FEET OR _____ ACRE-FEET OF STORM WATER RUNOFF.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- THE LOT SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE CENTER OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 0.25 % SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY SUBDIVISION RULES APPENDIX 3.1.4.1.
- A 4 FOOT WIDE MINIMUM SIDEWALK REQUIRED ON NORTH BENTSEN DRIVE, AND BOTH SIDES OF ALL INTERIOR STREETS.
- A 6 FOOT OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL OR INDUSTRIAL ZONES/USES. PERIMETER BUFFERS MUST BE BUILT AT TIME OF SUBDIVISION IMPROVEMENTS.
- AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT, WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS.
- 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR SUNSET VALLEY SUBDIVISION RECORDED UNDER DOCUMENT NUMBER _____ HIDALGO COUNTY OFFICIAL RECORDS, DEVELOPER/OWNER ASSOCIATION/OWNER, THEIR SUCCESSORS AND/OR ASSIGNS, AND NOT THE CITY OF McALLEN SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 134-168 OF THE CODE OF ORDINANCE OF THE CITY OF McALLEN, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND DETENTION PONDS, ANY AMENDMENT TO DECLARATION THAT CONFLICTS WITH THE REQUIREMENTS OF SECTION 134-168 SHALL BE NULL AND VOID.
- NO CURB CUT, ACCESS OR LOT FRONTAGE PERMITTED ALONG NORTH BENTSEN ROAD.
- DETENTION/COMMON AREAS, ANY PRIVATE STREET/ALLEY, PRIVATE DRIVES, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.
- ALL EASEMENTS ARE DEDICATED BY THIS PLAT, UNLESS STATED OTHERWISE.
- 25 FT. X 25 FT. SIGHT OBSTRUCTION EASEMENT IS REQUIRED AT ALL STREET INTERSECTIONS.



- LEGEND
- 1/2" CAPPED IRON ROD FOUND "CIRF"
 - 1/2" IRON ROD FOUND "IRF"
 - PIPE FOUND "PF"
 - 1/2" IRON ROD SET WITH PINK CAP "CIRS"
 - (50'00"00"0.00) - RECORD BEARING & DISTANCE
 - MAG NAIL SET "MNS"
 - CALCULATED POINT "CP"

RUSSELL CREEK SUBDIVISION PHASE I

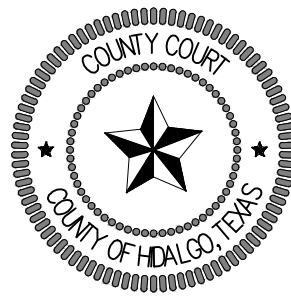
PRIVATE SUBDIVISION

A 19.555 ACRE TRACT OF LAND BEING OUT OF THE REMAINING LAND OUT OF A TRACT OF LAND DESCRIBED AS TRACT 1, OUT OF LOT 3, SECTION 233, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS



TBPELS FIRM REGISTRATION F-19545

1810 E. GRIFFIN PARKWAY
MISSION TX 78572
956-600-8628



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

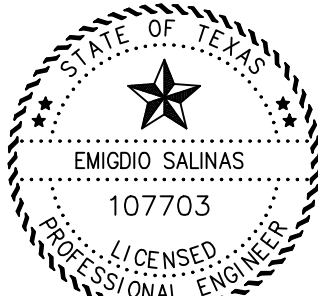
BY: _____ DEPUTY

NAME	ADDRESS	CITY & ZIP	PHONE
OWNER: MOBEEN AHMED	3244 TURQUIA	BROWNSVILLE, TEXAS 78520	(956) 283-7474
ENGINEER: EMIGDIO "MILO" SALINAS, P.E.	1810 E. GRIFFIN PARKWAY	MISSION, TEXAS 78572	(956) 600-8628
SURVEYOR: MANUEL CARRIZALES, R.P.L.S.	4807 GONDOLA AVE.	EDINBURG, TEXAS 78542	(512) 470-1489

STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, EMIGDIO "MILO" SALINAS, P.E., A LICENSED PROFESSIONAL ENGINEER, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

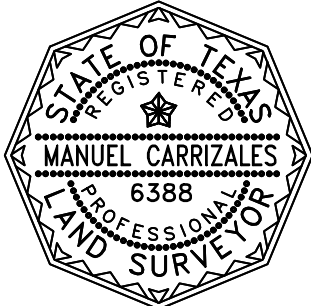
EMIGDIO "MILO" SALINAS, P.E. DATE _____
LICENSED PROFESSIONAL ENGINEER No. 107703
FIRM REGISTERED No. F-19545



STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, MANUEL CARRIZALES, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE CITY OF McALLEN SUBDIVISION ORDINANCE AND ALL STATE STATUTES GOVERNING SURVEYS.

MANUEL CARRIZALES, R.P.L.S. DATE _____
TEXAS R.P.L.S. No. 6388
TEXAS REG. SURVEYING FIRM No. 101194417



HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. DATE _____
GENERAL MANAGER

HIDALGO COUNTY IRRIGATION DISTRICT No. 1

THIS PLAT HAS BEEN APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 1 ON THIS _____ DAY OF _____ 2025.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UNDER HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 RIGHT-OF-WAY OR EASEMENT.

PRESIDENT SECRETARY

STATE OF TEXAS CITY OF McALLEN PLANNING AND ZONING COMMISSION

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION DATE _____

CITY OF McALLEN MAYOR APPROVAL

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN HEREBY CERTIFY TAHT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN DATE _____

ATTESTED BY:

CITY SECRETARY DATE _____

STATE OF TEXAS COUNTY OF HIDALGO

OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED AS RUSSELL CREEK SUBDIVISION PHASE I, TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, DO HEREBY GRANT AN ACCESS AND UTILITY EASEMENT TO THE CITY OF McALLEN AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY THE USE OF THE STREET(S) ALLEY(S) AND EASEMENT(S) THEREON SHOWN, SURFACE USE OF THE STREET(S) AND ALLEY(S) IS RESTRICTED TO THE EMPLOYEES OR AGENTS OF THE CITY OF McALLEN OR THE EMPLOYEES OR UTILITIES OPERATING UNDER FRANCHISE TO THE CITY OF McALLEN AND RESIDENTS OF THE SUBDIVISION AND THEIR GUEST, THE OWNER DOES HEREBY DEDICATE THE USE OF THE PUBLIC THE PORTION OF N. BENTSEN ROAD FOR THE USE AS STREET RIGHT OF WAY DEDICATED TO THE CITY OF McALLEN BY THIS PLAT.

ELITE DEVELOPMENT 786, LLC
MOBEEN AHMED, MANAGING MEMBER
3244 TURQUIA
BROWNSVILLE, TEXAS 78520

DATE: _____

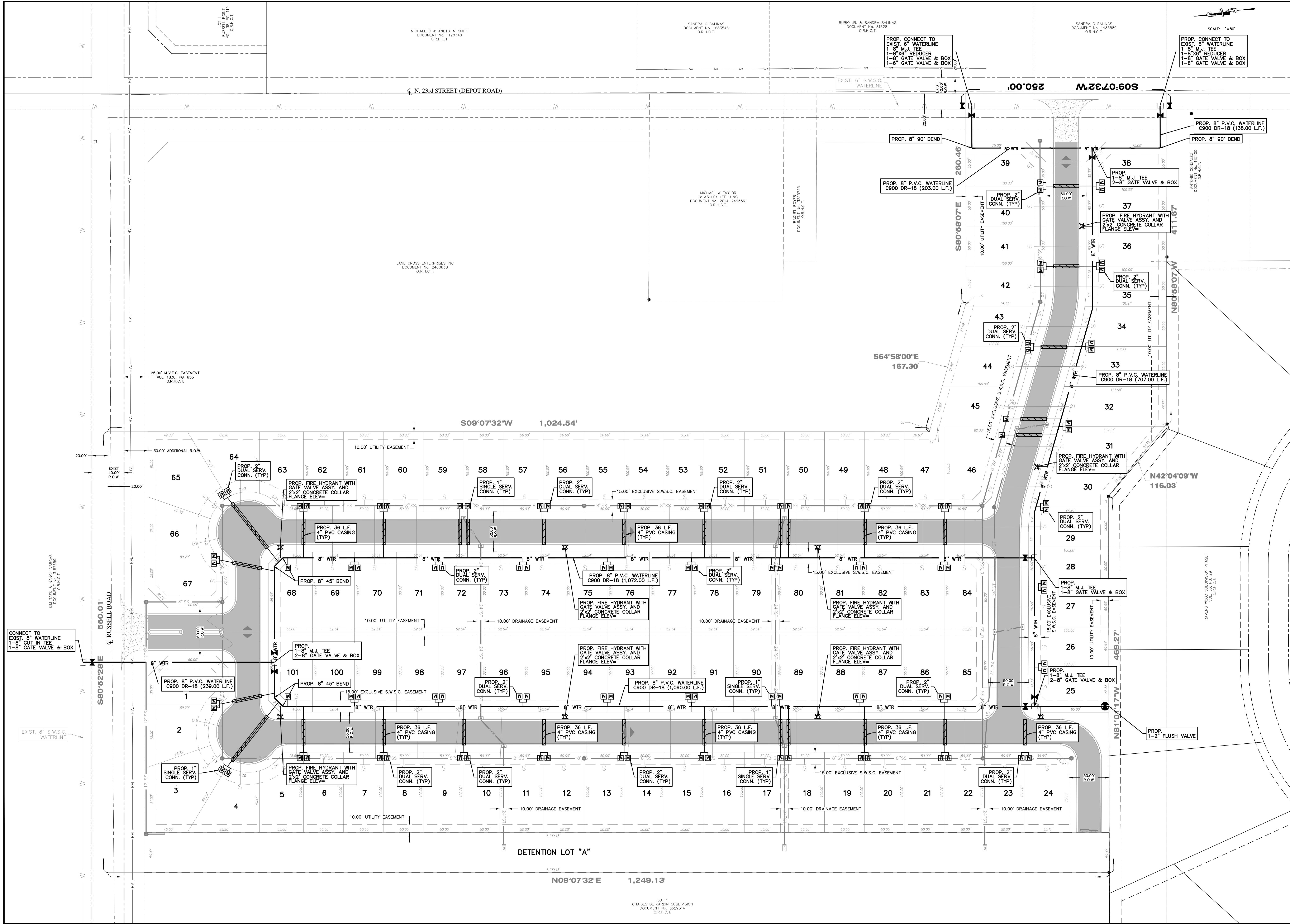
STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MOBEEN AHMED, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____ 2025

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS

DATE MY COMMISSION EXPIRES _____

S:\M2 Engineering (Server)\5 Projects\Hidalgo McAllen\207 Russell Heights Subdivision\04_DWG_Design Files\02_Russell Creek Subdivision PH 1-Water.dwg Mar. 29.2025 - 11:16AM CAD TECH



1810 E. GRIFFIN PARKWAY
MISSION TX 78572
956.600.8628
www.m2engineers.com
FIRM REGISTRATION # F-19545

M2 Engineering, PLLC
TBPELS FIRM REGISTRATION F-19545

WATER DISTRIBUTION LAYOUT

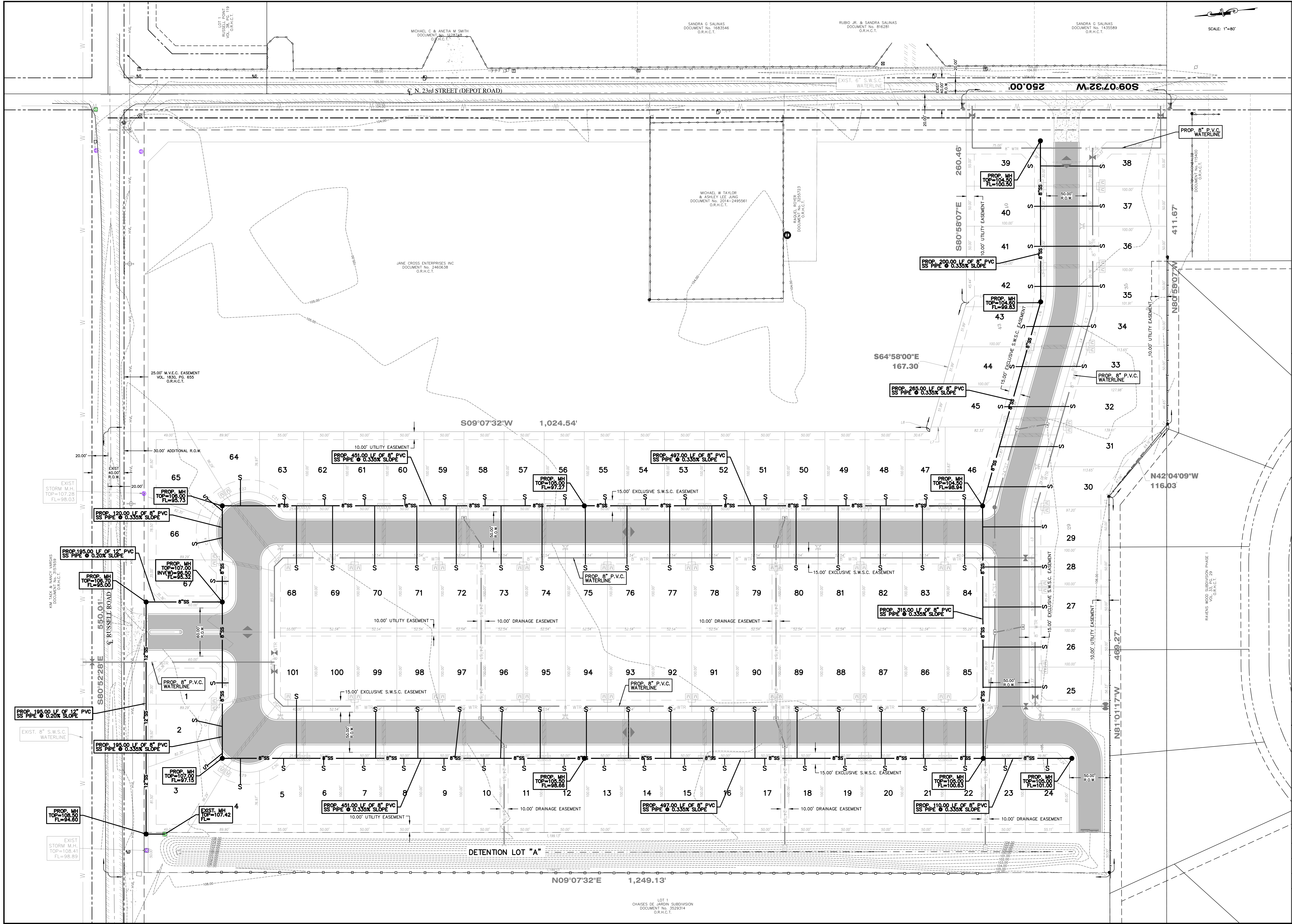
RUSSELL CREEK SUBDIVISION PHASE I

MCALLEN, TEXAS


THIS DOCUMENT IS
RELEASED FOR THE
PURPOSE OF INTERIM
REVIEW UNDER THE
AUTHORITY OF
EMIGDIO "MILO" SALINAS
P.E. 107703 ON
03/28/25
IT IS NOT TO BE USED
FOR CONSTRUCTION.

SCALE:	
DRAWN BY:	DI
CHECKED BY:	
SURVEYED BY:	
SHEET:	2 OF 6

S:\M2 Engineering (Server)\5 Projects\Uddigo\Wcllen\p- 207 Russell Heights Subdivision\04_DWG_Design Files\02_Russell Creek Subdivision PH 1-SEWER.dwg Mar. 29.2025 - 11:09AM CAD TECH



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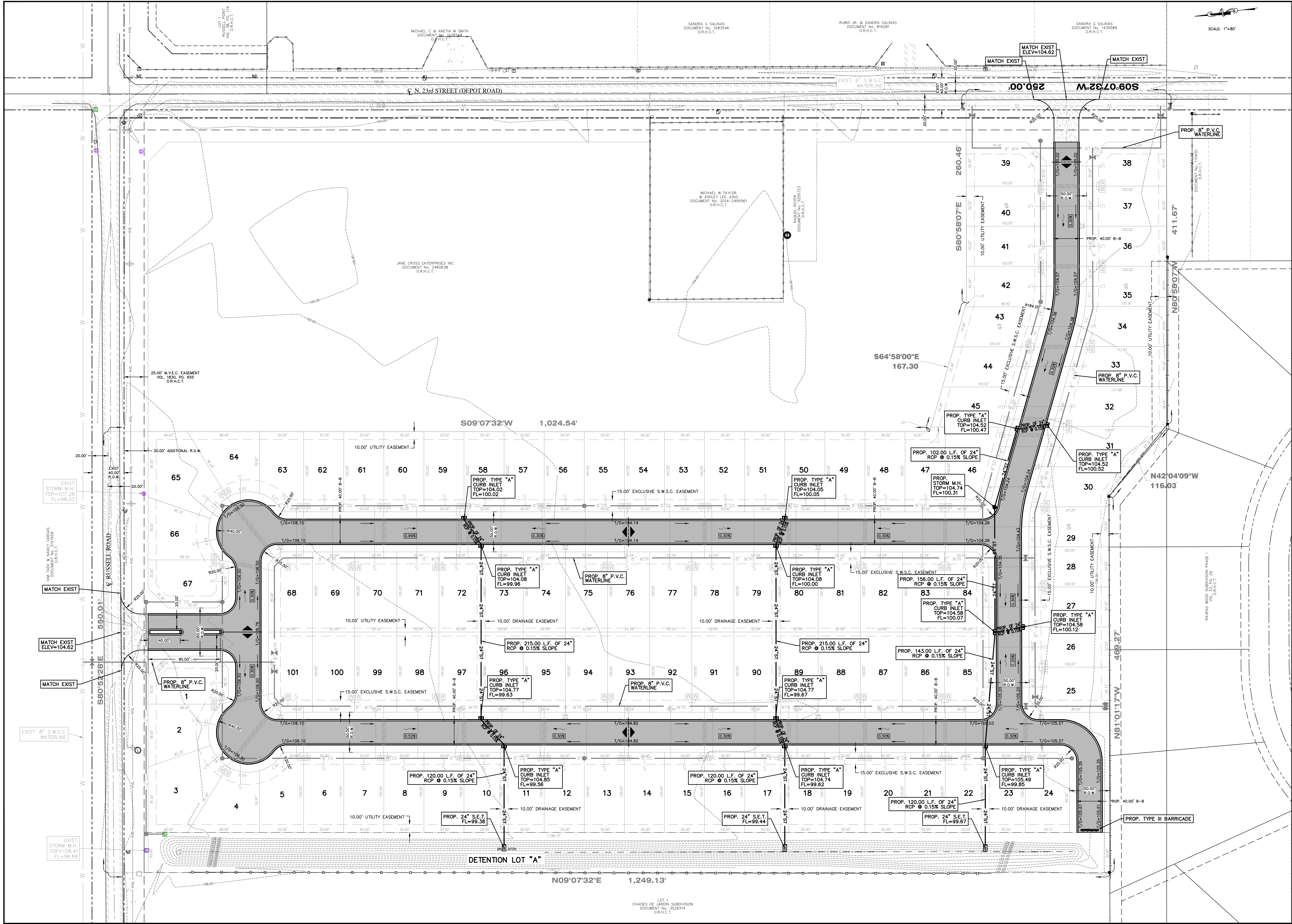


M2 Engineering, PLLC
TBPELS FIRM REGISTRATION F-19545

SANITARY SEWER LAYOUT
RUSSELL CREEK SUBDIVISION PHASE I
MCALLEN, TEXAS

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P.E. 107703 ON
03/28/25
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FOR CONSTRUCTION.

SCALE:
DRAWN BY: DI
CHECKED BY:
SURVEYED BY:
SHEET: 3 OF 6



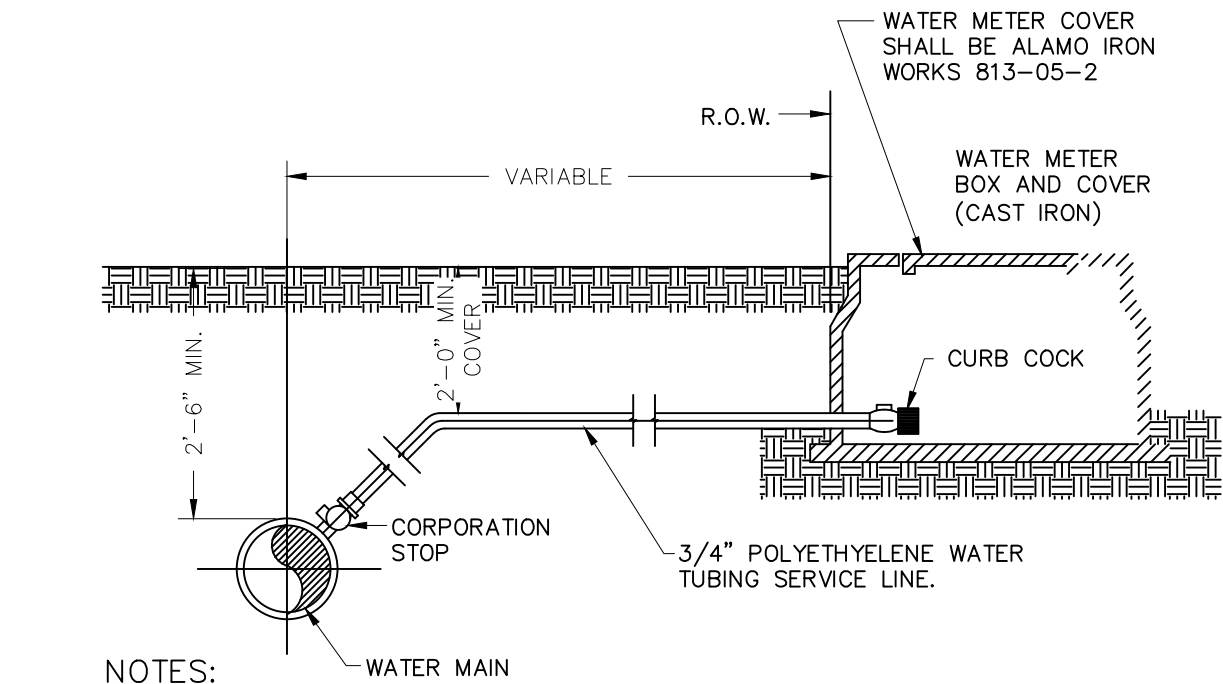
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M2 Engineering, PLLC
TBPELS FIRM REGISTRATION F-19545

PAVING AND DRAINAGE LAYOUT
RUSSELL CREEK SUBDIVISION PHASE I
MCALLEN, TEXAS

THIS DOCUMENT IS
RELEASED FOR THE
PURPOSE OF INTERIM
REVIEW UNDER THE
AUTHORITY OF
EMIGDIO "MILO" SALINAS
P.E. 107703 ON
03/28/25
IT IS NOT TO BE USED
FOR CONSTRUCTION.

SCALE:	
DRAWN BY:	DI
CHECKED BY:	
SURVEYED BY:	
SHEET:	4 OF 6



NOTES:

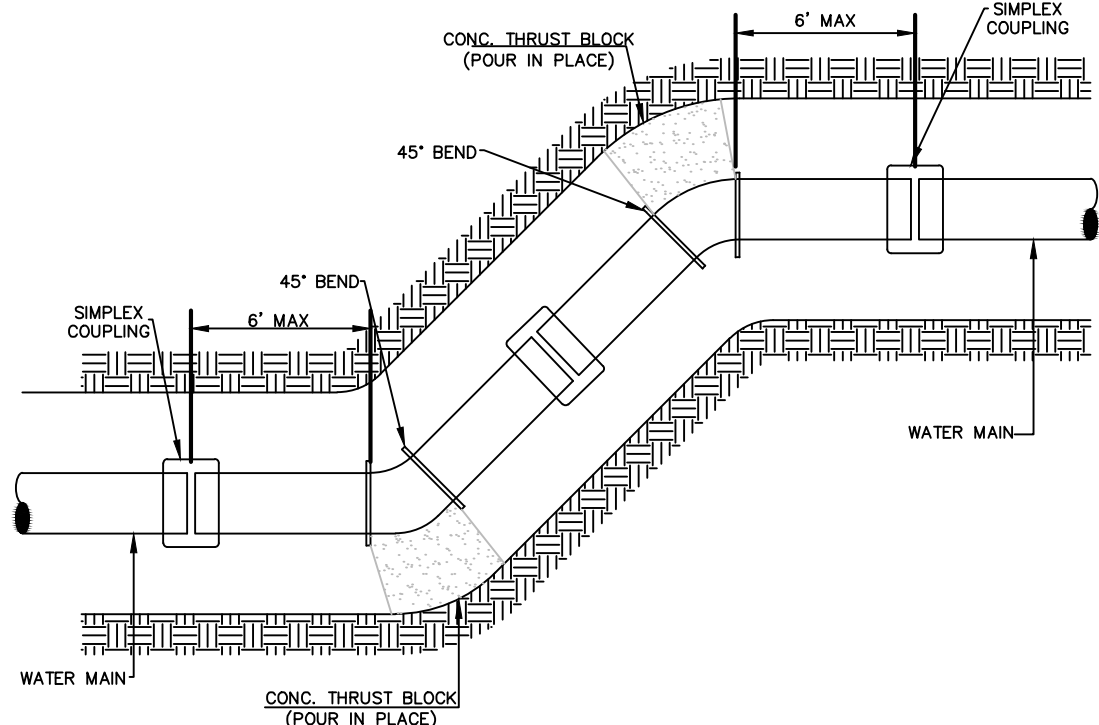
1. ALL SERVICE CONNECTIONS NEED TO HAVE A MIN. 2'-0" COVER FROM FINISHED GRADE.
2. WATER METER COVER SHALL BE ALAMO IRON WORKS 813-05-2
3. ALL WATER MAINS HAVE 4 FT OF COVER FROM FINISHED GRADE.
4. METER BOX SHALL BE CAST IRON.
5. ALL CONCRETE TO HAVE A MIN. 28 DAYS COMPRESSIVE STRENGTH OF 3,000 P.S.I.
6. 2" GATE VALVE ONLY REQUIRED FOR 2" SERVICE.
7. POLYETHYLENE TUBING ACCEPTABLE FOR LINE SIZES 2" OR LESS.

CONSTRUCTION NOTES:

- A. WATER COVER
- B. CURB COCK
- C. METER BOX & METER PROVIDED
- D. WATER TUBING SERVICE LINE
- E. CORPORATION STOP
- F. WATER MAIN

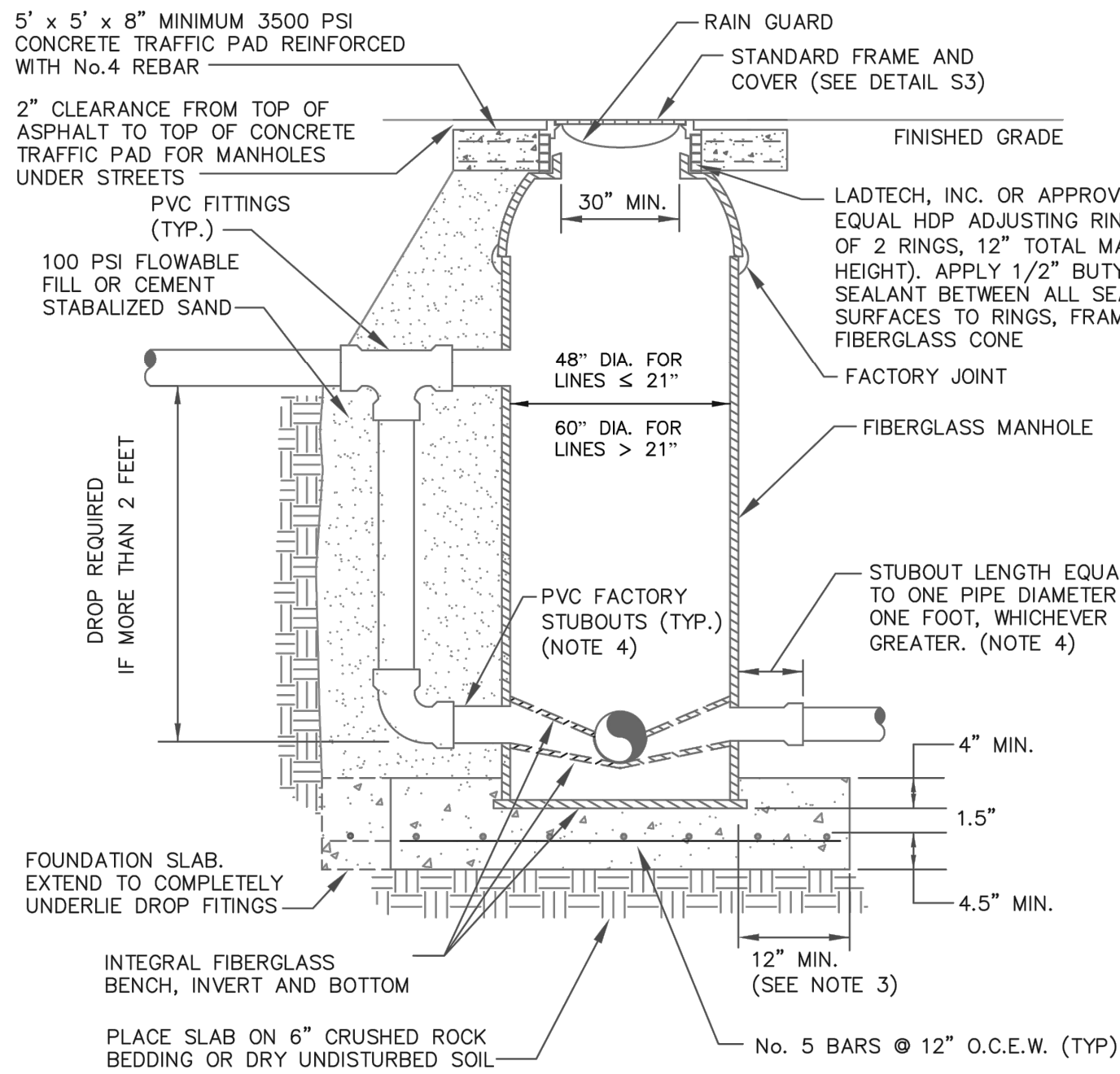
TYPICAL SERVICE CONNECTION WITH METER BOX

N.T.S.



WATERLINE OFFSET DETAIL

N.T.S.

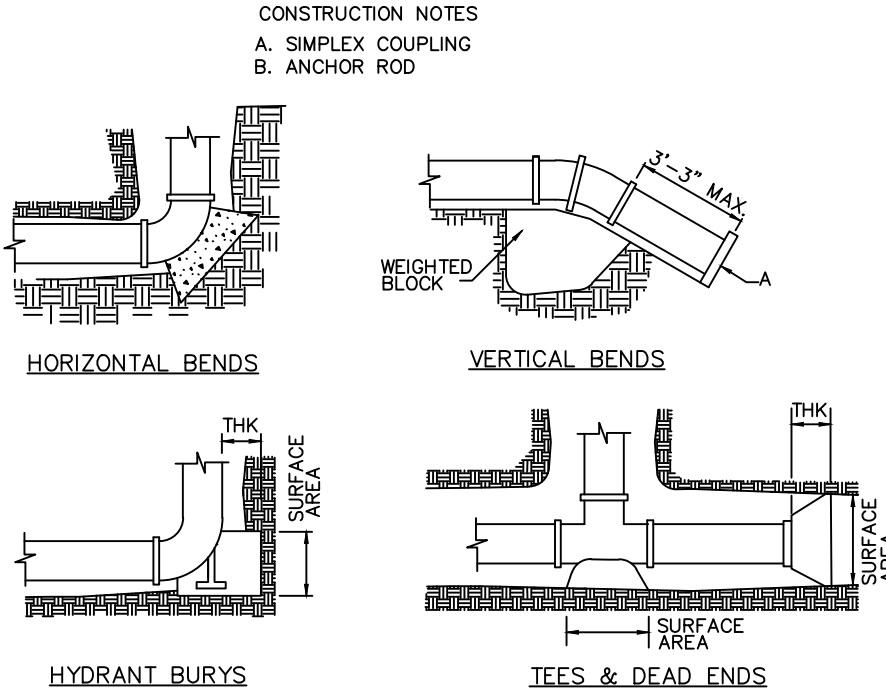


NOTES:

1. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
2. ~~BASE SLAB SHALL BE SAND COMPACTED TO 95% STANDARD PROCTOR OR 95% RELATIVE DENSITY. (SEE NOTE 3)~~
3. BASE SLAB SHALL BE 4 FT. LARGER THAN MANHOLE DIAMETER WHERE SOIL BEARING CAPACITY < 2000 PSF, WATER TABLE < 5 FT., OR DEPTH > 20 FT. SLAB SHALL BE DESIGNED TO PREVENT FLOTATION OF MANHOLE.
4. OUTLET STUBOUT SHALL BE SPIGOT END. INLET STUBOUTS SHALL BE BELL END EXCEPT FOR DROP CONNECTIONS.
5. CONCRETE FOUNDATION SHALL BE POURED IN PLACE BELOW GROUND.

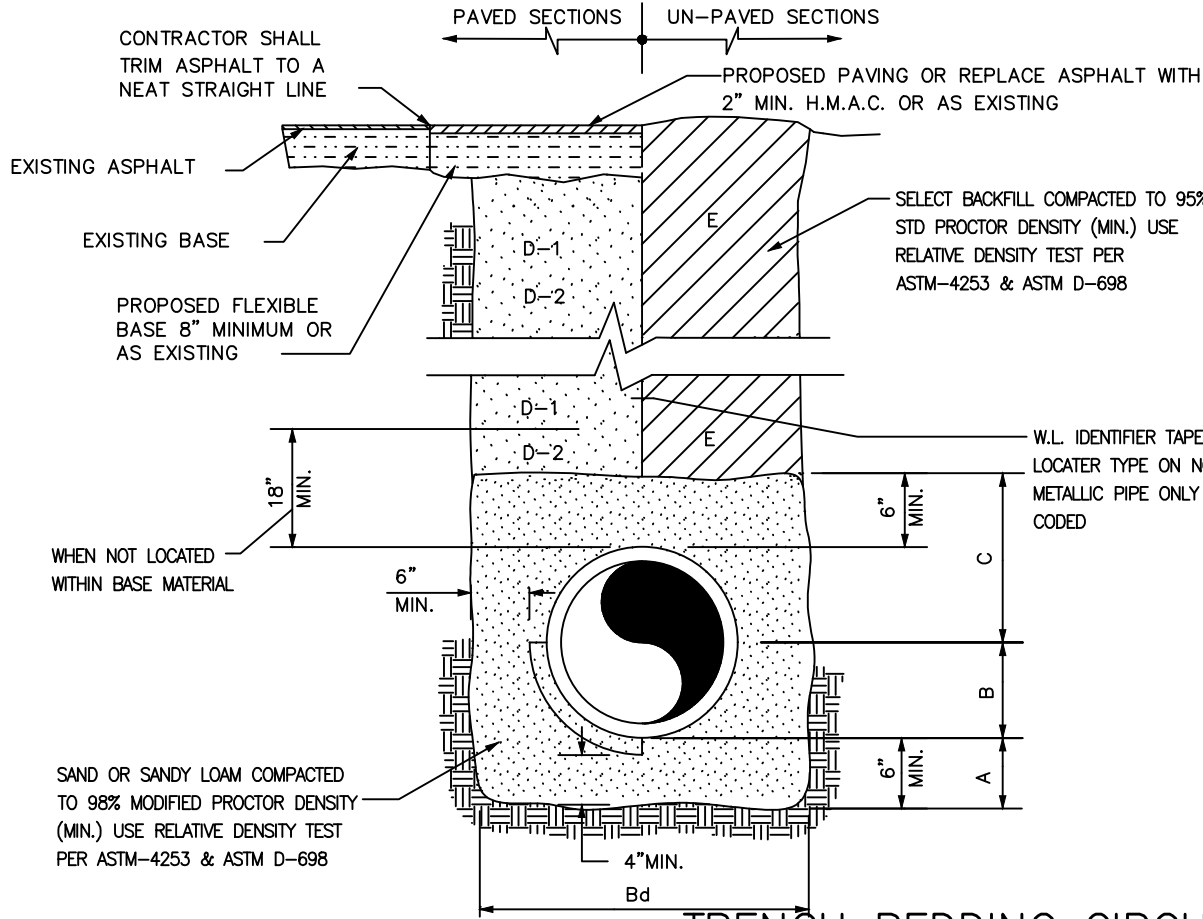
TYPICAL FIBERGLASS MANHOLE

N.T.S.



CONCRETE THRUST BLOCK DETAILS

N.T.S.



TRENCH BEDDING CIRCULAR PIPE (WATER)

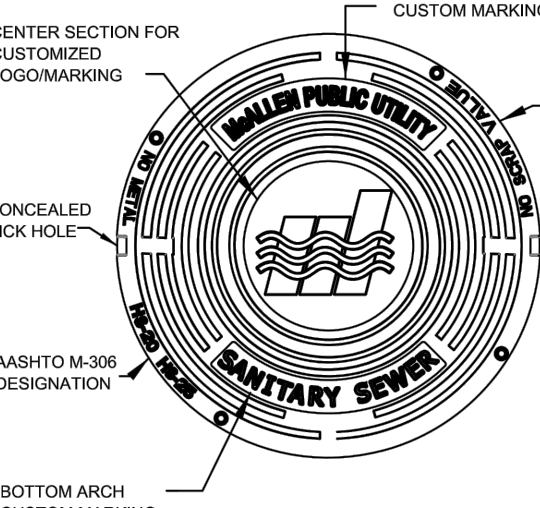
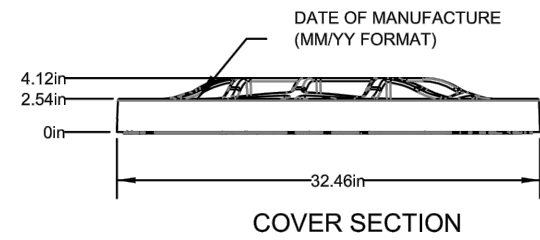
N.T.S.

THRUST BLOCK SIZE				
DIAMETER OF PIPE INCHES	HORIZONTAL BEND SURFACE AREA SQ. FEET	THICKNESS INCHES	WEIGHT AT VERTICAL BENDS-LBS	
22-1/2" BENDS				
6 OR LESS	2	8	1700	
8	3	8	3,000	
10	3.5	12	4,500	
12	4	14	6,600	
14	5	18	9,000	
16	6	18	11,800	
48" BENDS				
6 OR LESS	4	12	3,200	
8	5	14	5,800	
10	6	18	9,000	
12	7	18	13,000	
14	8	24	17,000	
16	11.5	24	23,200	
90° BENDS				
6 OR LESS	6	12	6,000	
8	8	15	10,700	
10	10	18	16,700	
12	12	18	24,000	
14	18	24	32,600	
16	21	24	42,700	
TEES & DEAD ENDS				
6 OR LESS	3	12		
8	4	15		
10	6	18		
12	8.5	18		
14	11.5	24		
16	15	24		

GENERAL NOTES:

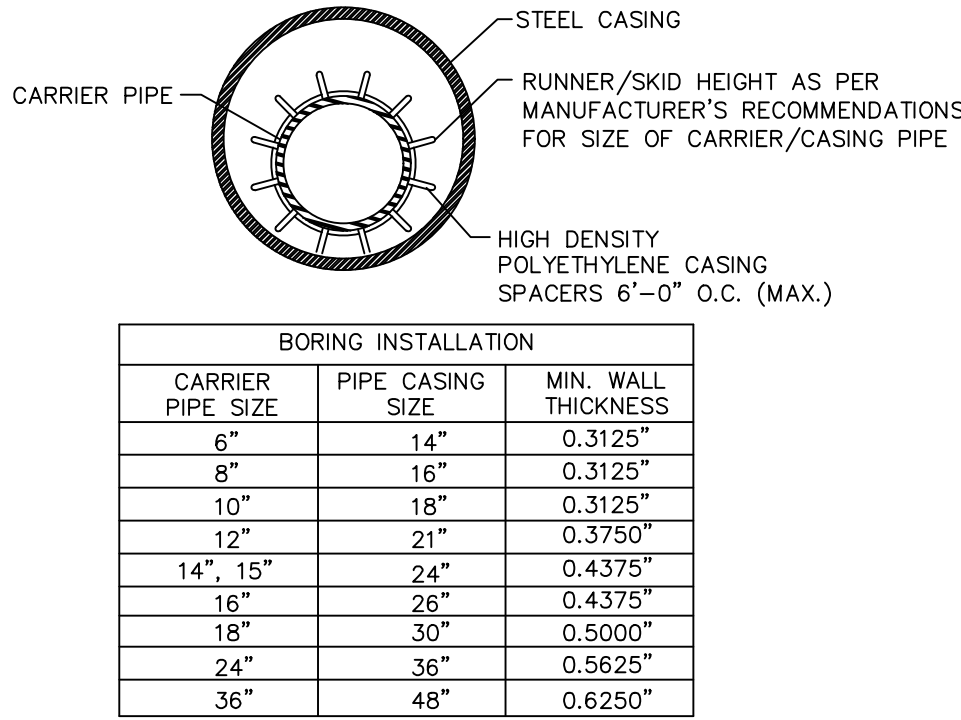
1. SEE THRUST BLOCK SIZE CHART FOR PROPER THICKNESS AND SURFACE AREAS. (SHEET 2 OF 2)
2. THE LOCATION OF THRUST BLOCKS DEPENDS UPON THE DIRECTION OF THRUST AND TYPE FITTINGS.

- A. SAND OR SANDY LOAM BEDDING PLACED BEFORE PIPE IS LAID UP TO FLOW LINE OF PIPE. (MIN. THICKNESS= 6")
- B. SAND OR SANDY LOAM BACKFILL PLACED AFTER PIPE IS LAID FROM BOTTOM OF PIPE TO SPRING LINE OF PIPE. (4" LIFTS, HAND TAMPED) B4 TRENCH WIDTHS SHALL BE PIPE O.D. + 12" OR IN ACCORDANCE WITH ASTM 2321 FOR PVC PIPE.
- C. SAND OR SANDY LOAM BACKFILL PLACED FROM SPRING LINE OF PIPE TO 6" ABOVE TOP OF PIPE. (6" LIFTS, HAND TAMPED)
- D-1. (CITY STREETS, PARKING AREA, SELECT EXCAVATED BACKFILL MATERIAL COMPACTED TO 98% SPD. (8" LIFTS, MECHANICAL COMPACTION)
- D-2. (STATE MAINTAINED ROADWAY) COMPACTED SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT COMPACTED AS PER ASTM D-4253 AND ASTM D-698.
- E. SELECT EARTH BACKFILL COMPACTED TO 92% SPD. (12" LIFTS, MECHANICAL COMPACTION) FOUNDATION PREPARATION (WELLPONTS, GRAVEL OR CEMENT STABILIZATION, OR APPROVED SUBSTITUTE) SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE. BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, MOISTENED AS REQUIRED TO APPROXIMATE OPTIMUM MOISTURE CONTENT, AND COMPACTED TO 95% STD. PROCTOR DENSITY (USE RELATIVE DENSITY TEST PER ASTM D-4253 & ASTM D-698). THE THICKNESS OF EACH LOOSE LAYER SHALL NOT EXCEED 6". STRUCTURE BACKFILL MATERIAL SHALL BE SAND, APPROVED SITE SOIL, OR OTHER APPROVED SUBSTITUTE.



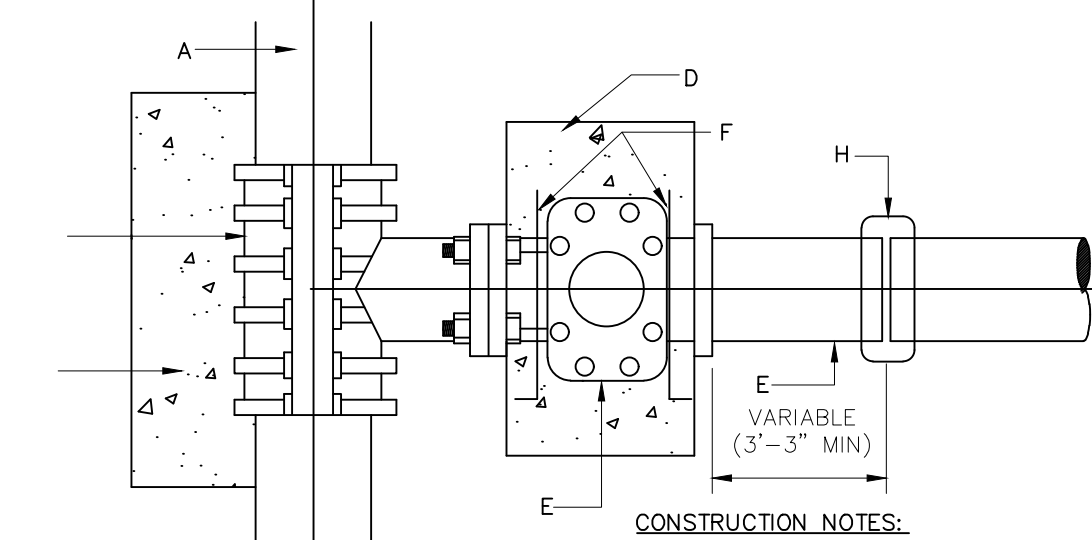
COMPOSITE SEWER MANHOLE RING AND COVER DETAIL

N.T.S.



UTILITY PIPE ENCASEMENT

N.T.S.



WATER TAPPING SLEEVE & VALVE INSTALLATION

N.T.S.

GENERAL NOTES:

1. ALL STEEL CASING SHALL BE WELDED.
2. STEEL CASING SHALL BE CLOSED AT EACH END USING USING SYNTHETIC RUBBER END SEALS.
3. CASING SPACERS SHALL BE USED TO INSTALL THE CARRIER PIPE INSIDE THE ENCASEMENT PIPE. CASING SPACERS SHALL FASTEN TIGHTLY ON THE CARRIER PIPE TO PREVENT RELATIVE MOVEMENT ON PIPE DURING INSTALLATION. CASING SPACERS SHALL BE DOUBLED ON EACH END OF THE ENCASEMENT.
4. PROJECTION TYPE CASING SPACERS SHALL BE CONSTRUCTED SECTIONS OF HIGH DENSITY POLYETHYLENE.
5. INSTALLATION AND SIZE OF SPACERS SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.

CONSTRUCTION NOTES:

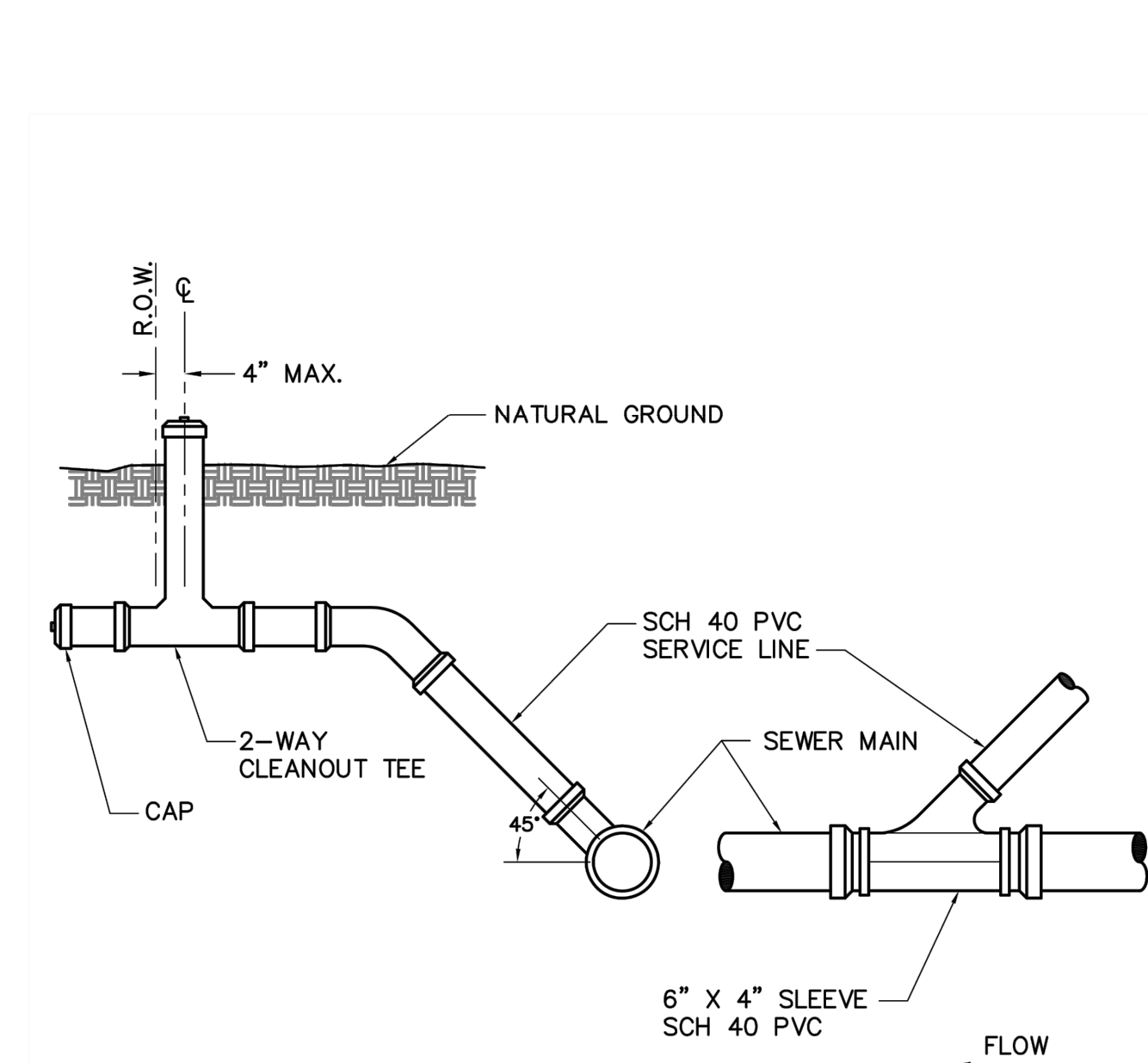
1. ALL CONCRETE TO HAVE A MINIMUM OF 28 DAYS COMPRESSIVE STRENGTH OF 3,000 P.S.I.

- A. WATER MAIN. (SEE PLANS AND SPECIFICATION)
- B. TAPPING SLEEVE. (SIZE AS REQUIRED).
- C. CONCRETE SUPPORT UNDER TAPPING SLEEVE AND BEHIND.
- D. THRUST BLOCK AS PER SPECIFICATIONS.
- E. FLANGED & HUB ENDS "O" RING SEALS WITH 2" SQUARE WRENCH NUT GATE VALVE.
- F. ANCHOR RODS.
- G. PVC PIPE.
- H. SIMPLEX COUPLING.

CONSTRUCTION NOTES:

1. CAST IRON BOOT TO BE USED IN HEAVY TRAFFIC AREAS CONCRETE BLOCK (POURED IN PLACE)

N.T.S.

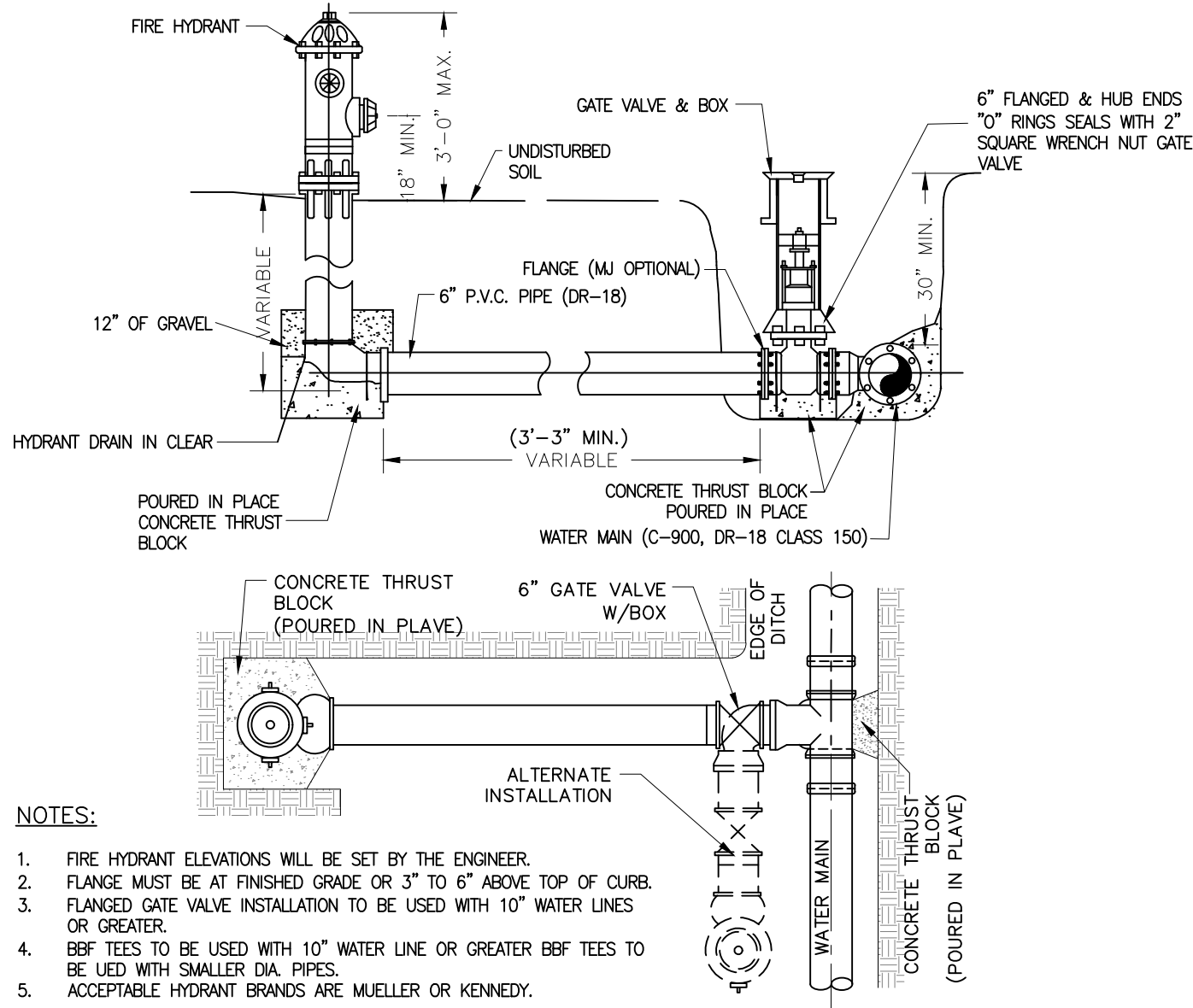


NOTES:

1. INDIVIDUAL SERVICE LATERALS TO BE PROVIDED TO EACH LOT.
2. SINGLE FAMILY SERVICE SHALL BE 4" MIN. MULTI-FAMILY, COMMERCIAL, AND INDUSTRIAL SERVICE SHALL BE 6" OR GREATER AS REQUIRED.

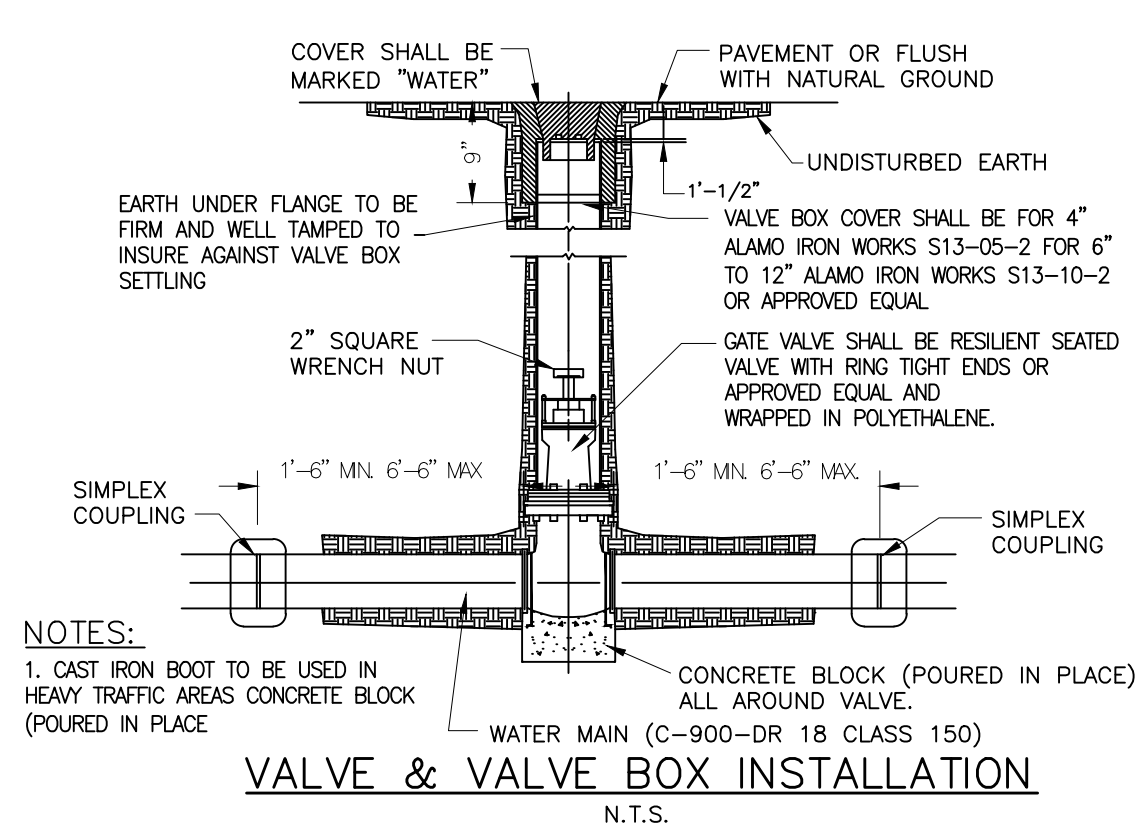
SEWER SERVICE CONNECTION

N.T.S.



FIRE HYDRANT INSTALLATION DETAIL

N.T.S.



VALVE & VALVE BOX INSTALLATION

N.T.S.

NOTES:

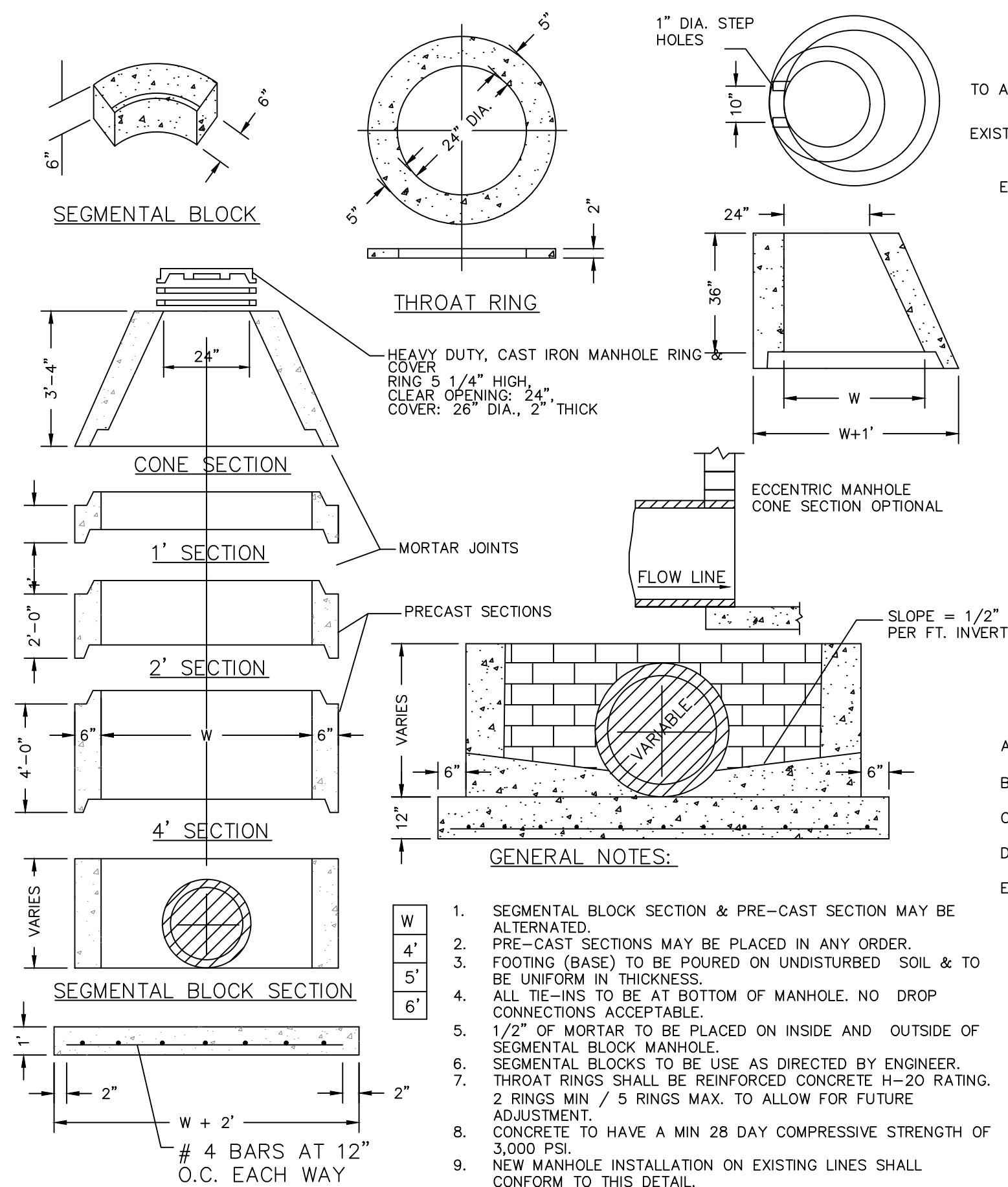
1. FIRE HYDRANT ELEVATIONS WILL BE SET BY THE ENGINEER.
2. FLANGE MUST BE AT FINISHED GRADE OR 3" TO 6" ABOVE TOP OF CURB.
3. FLANGED GATE VALVE INSTALLATION TO BE USED WITH 10" WATER LINES OR GREATER.
4. BFF TEES TO BE USED WITH 10" WATER LINE OR GREATER BFF TEES TO BE USED WITH SMALLER DIA. PIPES.
5. ACCEPTABLE HYDRANT BRANDS ARE MUELLER OR KENNEDY.

DETAILS

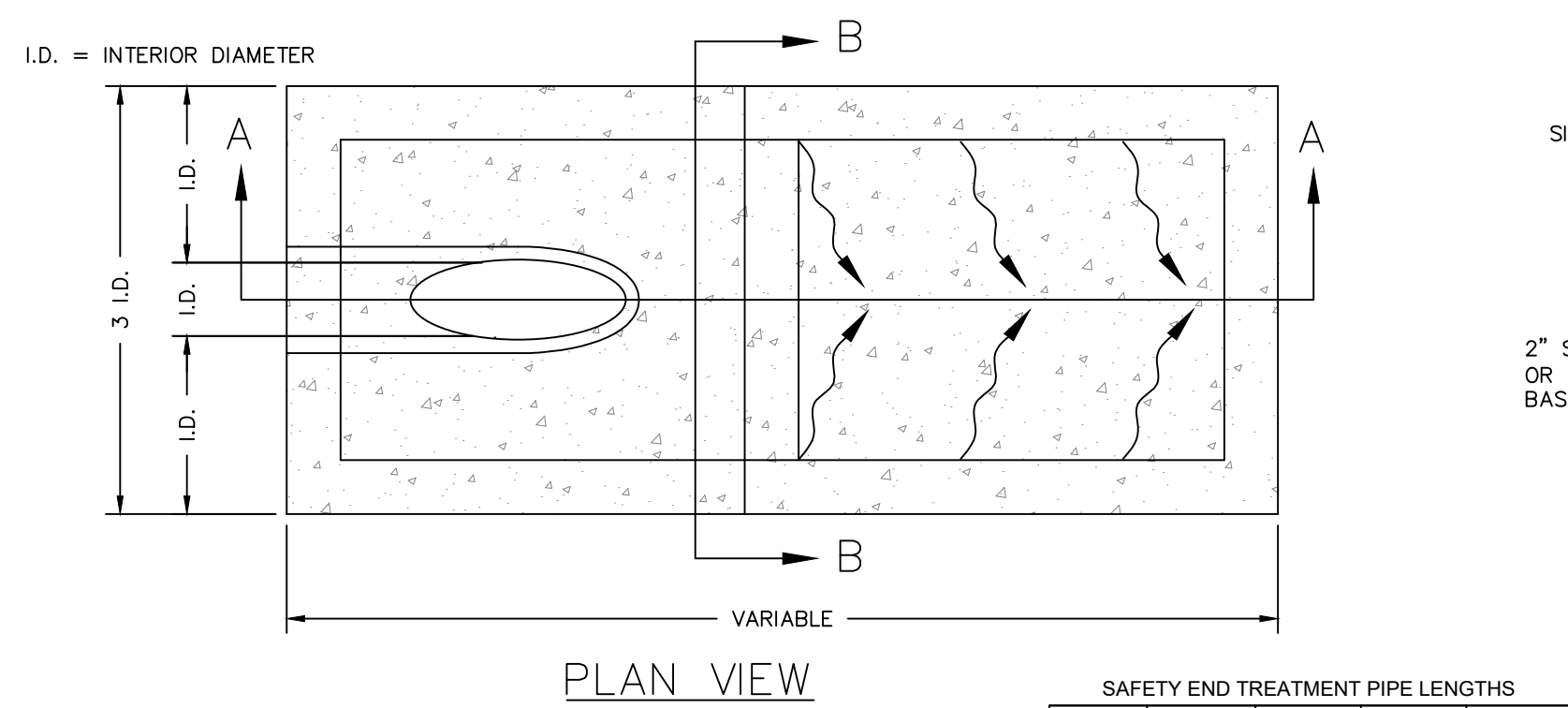
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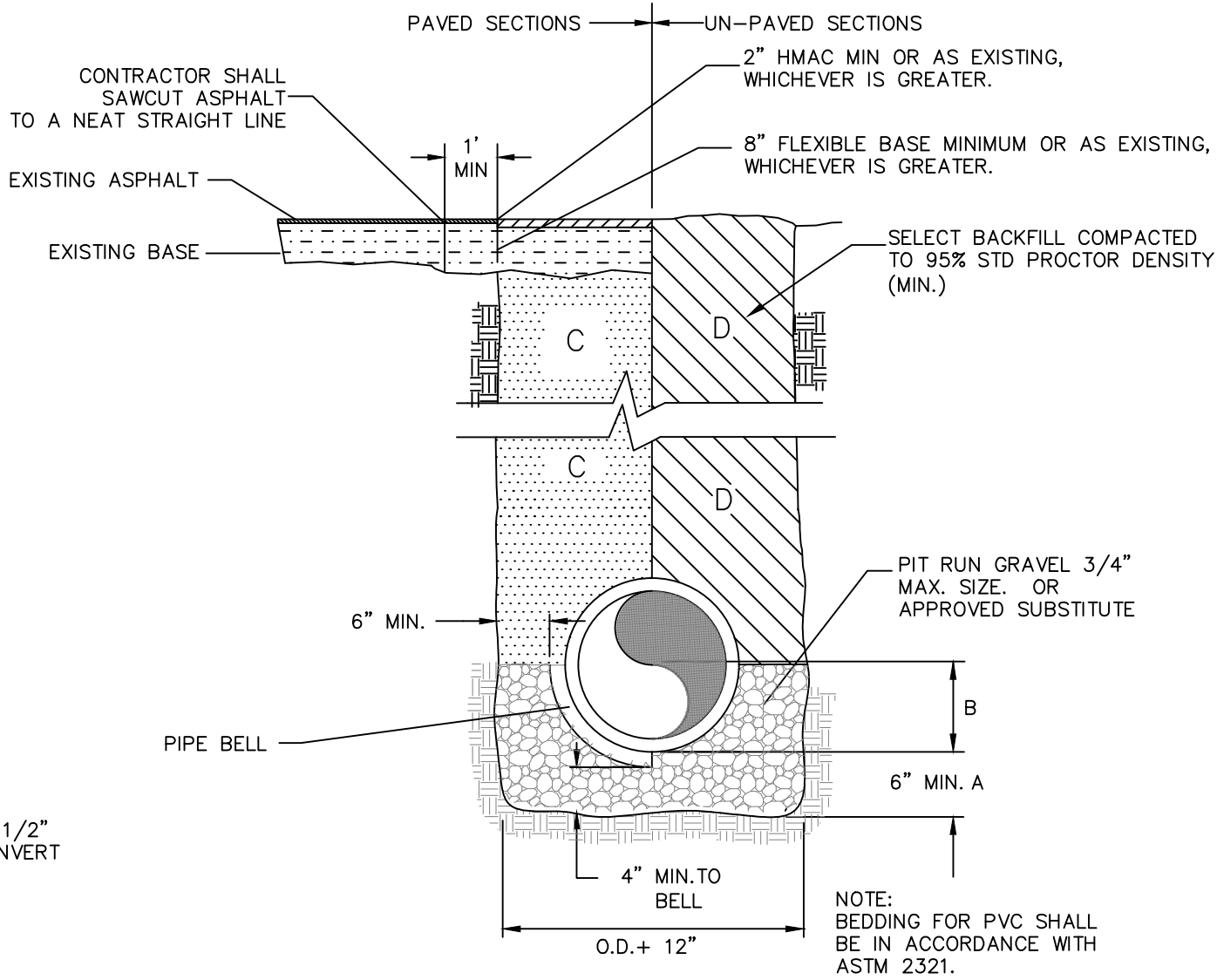
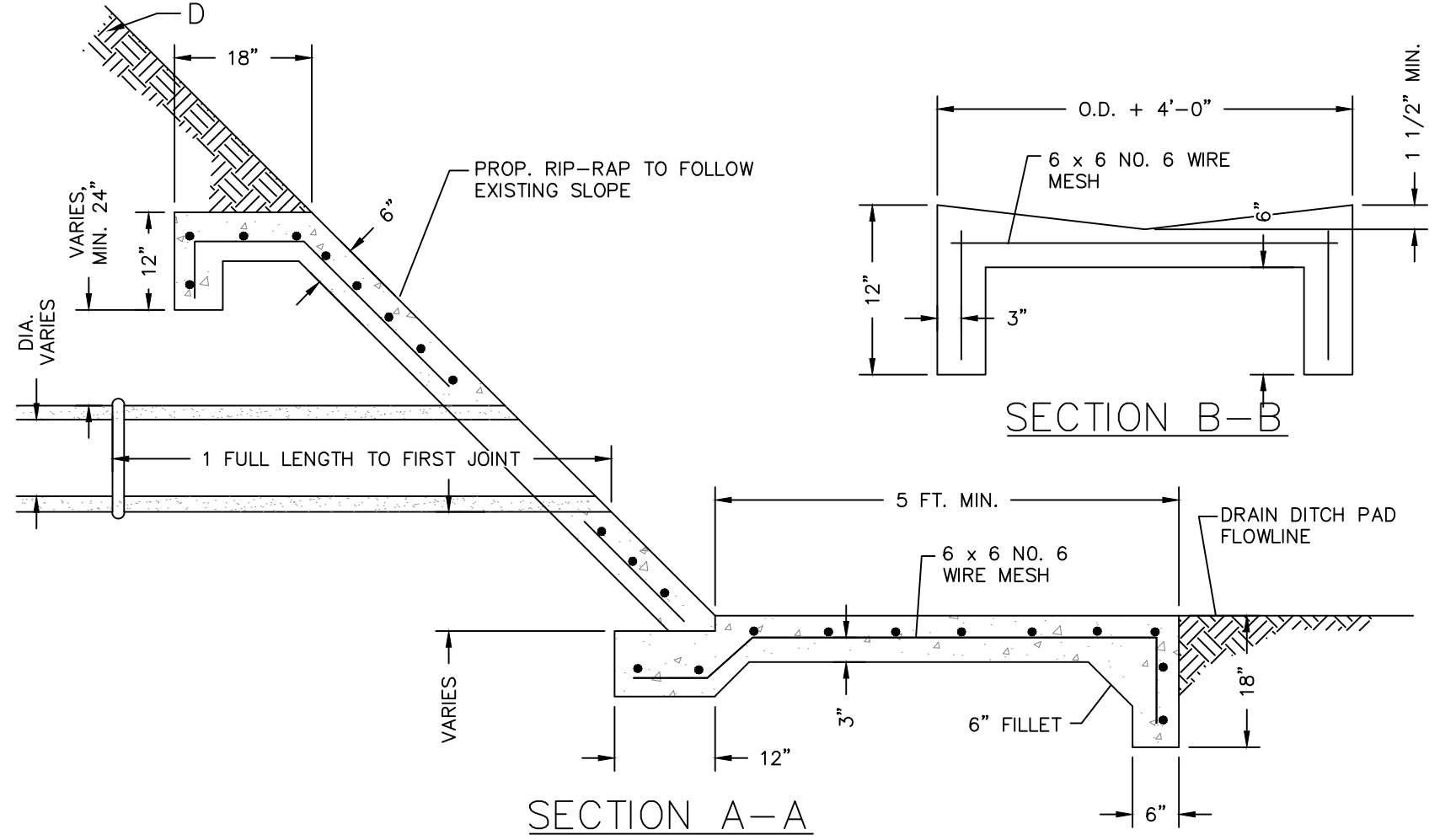


TYPICAL CONCRETE STORM MANHOLE
N.T.S.

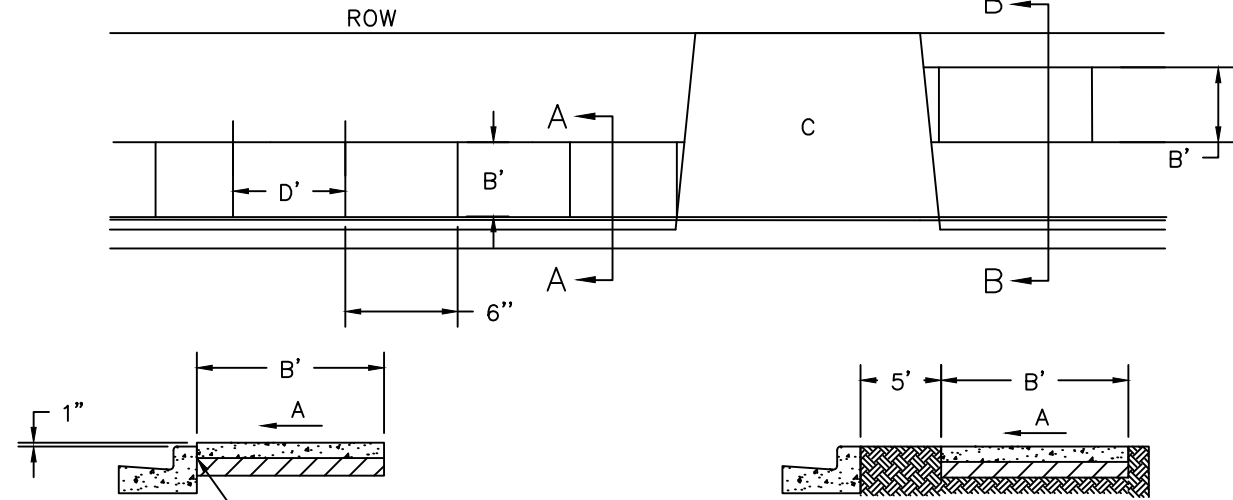


- GENERAL NOTES:**
1. CONCRETE TO HAVE 3000 P.S.I. MIN. AT 28 DAY COMPRESSIVE STRENGTH.
 2. ALL STEEL TO BE GRADE 60.
 3. MIN. 90% COMPACTION STD. PROCTOR DENSITY
 4. STANDARD DETAIL FOR CITY OF MCALLEN DITCHES

SAFETY END TREATMENT PIPE LENGTHS				
PIPE DIA. (IN.)	3:1	4:1	5:1	6:1
12"	2'-0"	2'-8"	3'-4"	4'-0"
15"	2'-9"	3'-8"	4'-7"	5'-6"
18"	3'-6"	4'-8"	5'-10"	7'-0"
24"	5'-2"	6'-10"	8'-6"	10'-3"
30"	6'-10"	9'-2"	11'-6"	13'-9"
36"	8'-6"	11'-4"	14'-2"	17'-0"

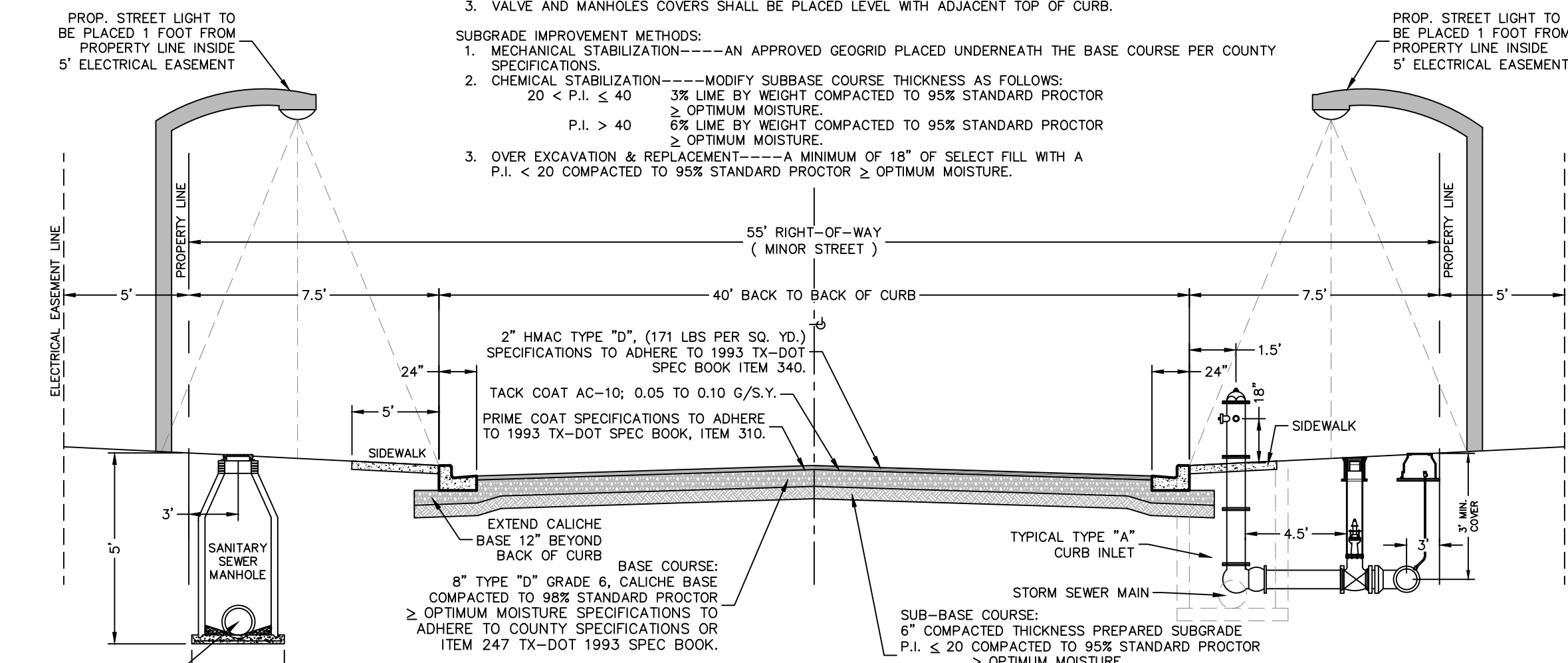


- GENERAL NOTES:**
- A. GRAVEL BEDDING PLACED BEFORE PIPE IS LAID UP TO FLOW LINE OF PIPE (MIN. THICKNESS=6") PIT RUN GRAVEL 3/4" MAX. SIZE.
 - B. GRAVEL PLACED AFTER PIPE IS LAID, FROM BOTTOM OF PIPE TO THE SPRING LINE. PIT RUN GRAVEL 3/4" MAX. SIZE OR APPROVED SUBSTITUTE.
 - C. CITY STREETS PARKING AREA, DRIVEWAYS: SELECT EXCAVATED BACK FILL COMPACTED 95% STD, 8" LIFTS, MECHANICAL COMPACTION.
 - D. STATE MAINTAINED ROADWAYS: COMPACTED SAND/CEMENT STABILIZED BACK FILL 7% PORTLAND CEMENT COMPACTED AS PER ASTM D-4253 AND ASTM D-698.
 - E. SELECT EARTH BACKFILL COMPACTED TO 95% STD. PROCTOR DENSITY (12" LIFTS, MECHANICAL COMPACTION) FOUNDATION PREPARATION (WELLPOINTS, GRAVEL OR CEMENT STABILIZATION, OR APPROVED SUBSTITUTE) SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE. BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, MOISTENED AS REQUIRED TO APPROXIMATE OPTIMUM MOISTURE CONTENT, AND COMPACTED TO 95% STD. PROCTOR DENSITY (USE RELATIVE DENSITY TEST PER ASTM D-4253 & ASTM D-698). THE THICKNESS OF EACH LOOSE LAYER SHALL NOT EXCEED 8". STRUCTURE BACK FILL MATERIAL SHALL BE SAND, EXCAVATED MATERIAL, OR OTHER APPROVED SUBSTITUTE.



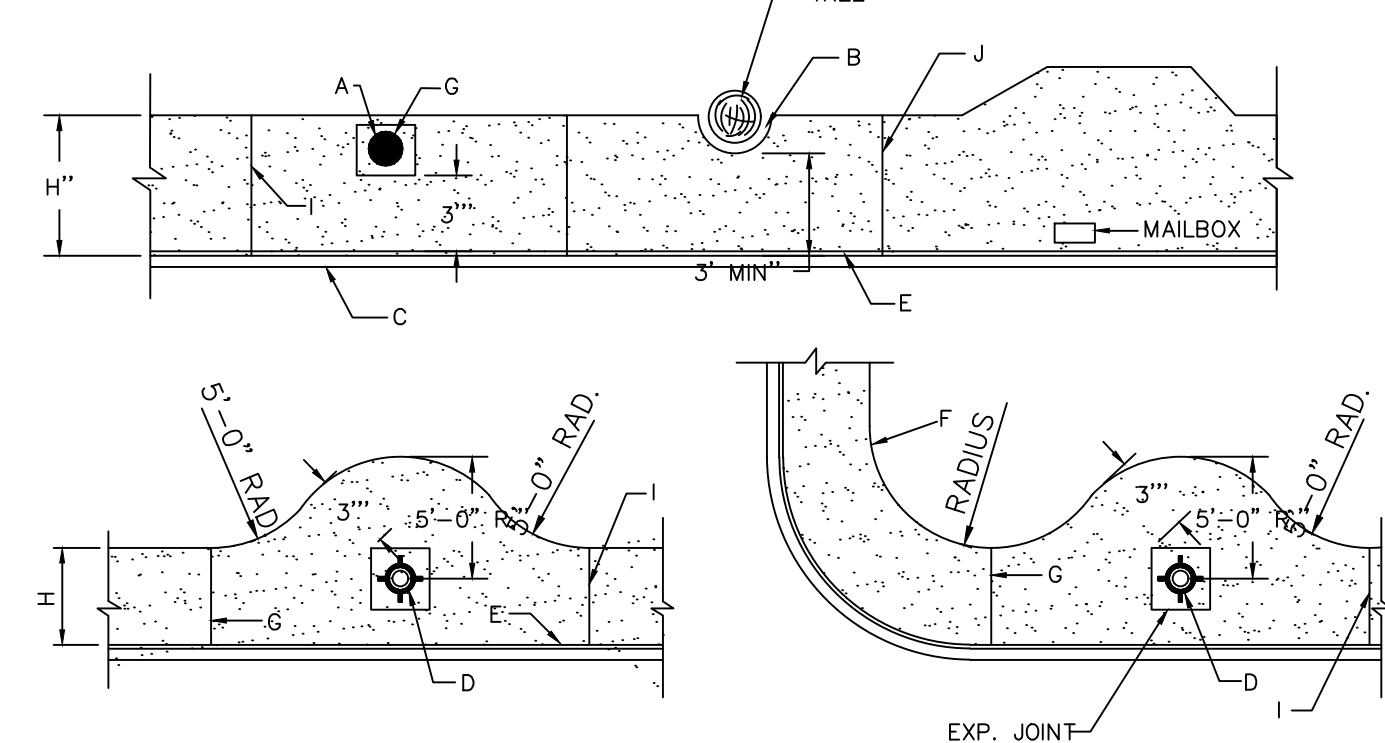
- GENERAL NOTES:**
1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
 2. SIDEWALK SHALL BE CONSTRUCTED WITHIN STREET R.O.W.
 3. PROVIDE 5' X 5' PASSING SPACE AT A MAXIMUM 200' INTERVALS, IF SIDEWALK IS LESS THAN 5' ON WIDTH (DRIVEWAY IS CONSIDERED A PASSING SPACE)
- CONSTRUCTION NOTES:**
- A. CROSS-SLOPE AT 1.5% USUAL AND 2.0% MAX.
 - B. SIDEWALK, WIDTH VARIES. 4 FT MINIMUM WHEN SETBACK 5 FT FROM THE CURB. 5 FT MINIMUM WHEN ADJACENT TO THE CURB.
 - C. SEE DRIVEWAY APRON DETAIL.
 - D. CONTRACTION JOINTS EVERY 6 FT.; EXPANSION JOINT EVERY 30 FT. AND ALONG CURB AND GUTTER WHEN SIDEWALK ADJACENT TO CURB AND ALONG ANY STRUCTURE EXISTING.
 - E. 1/2" EXPANSION JOINT.

TYPICAL SIDEWALK DETAILS
N.T.S.



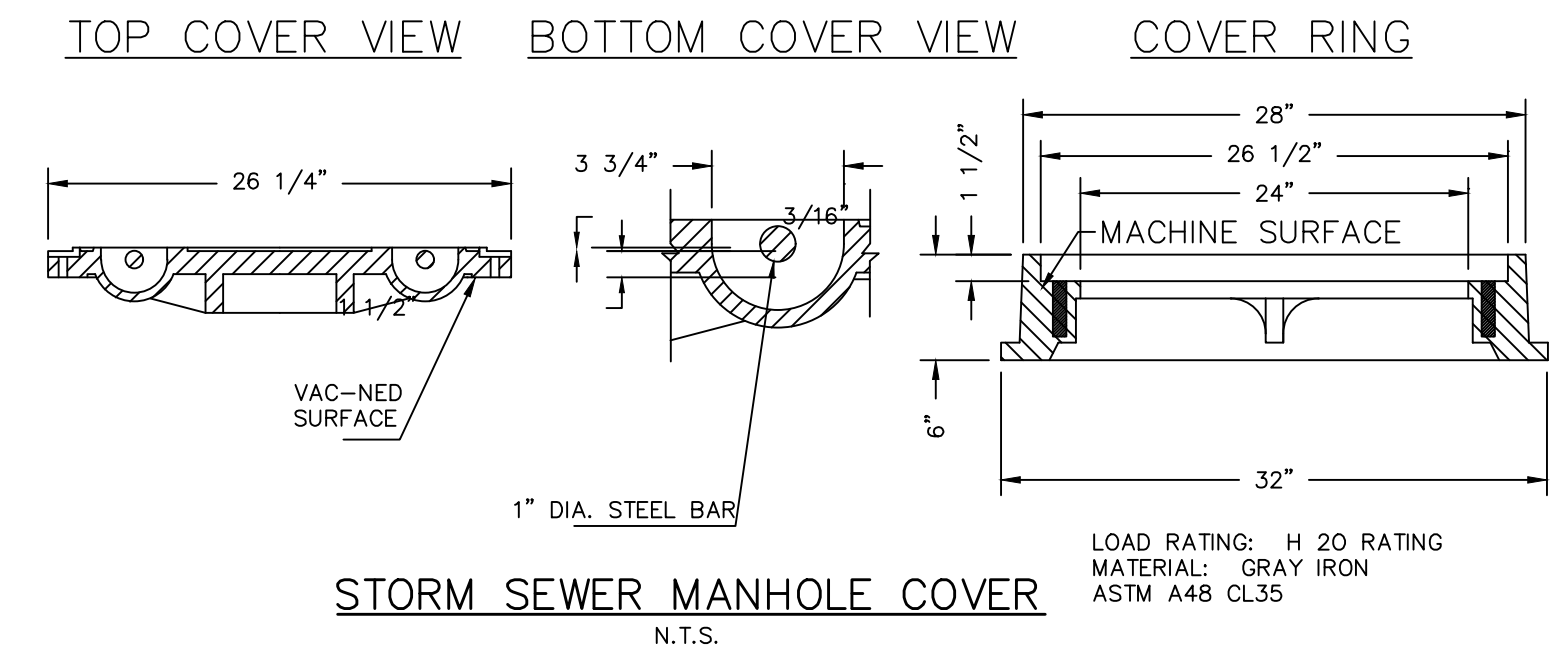
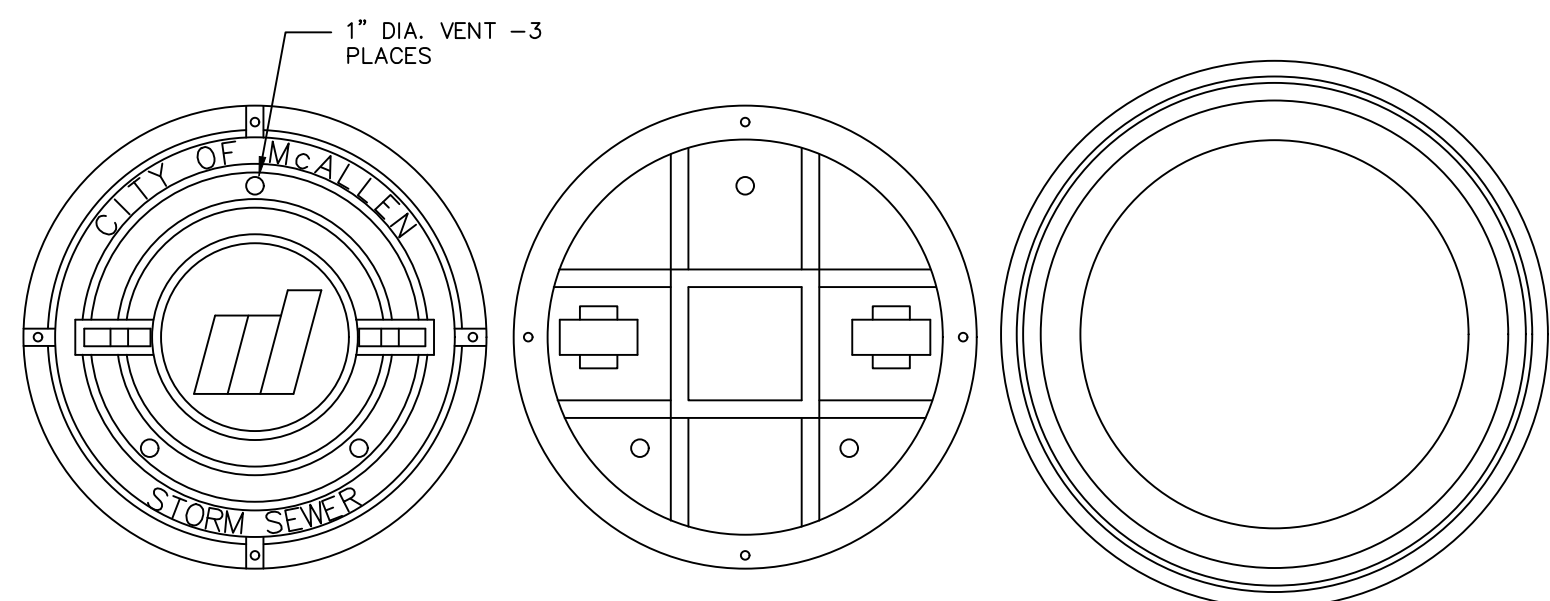
TYPICAL 40' BACK TO BACK STREET CROSS-SECTION DETAIL
N.T.S.

- CONSTRUCTION NOTES:**
- A. POWER POLE OR OTHER OBSTRUCTION.
 - B. LEAVE 6" CLEARANCE AROUND TREE TRUNKS.
 - C. TOP OF CURB.
 - D. FIRE HYDRANT.
 - E. BACK OF CURB.
 - F. EXTERIOR EDGE OF SIDEWALK TO BE TANGENT TO ARCS.
 - G. PROVIDE 1/2" PREFORMED EXPANSION JOINT MATERIAL WHERE SIDEWALK ABUTS POWER POLES, FIRE HYDRANTS, MAILBOXES OR OTHER IMMOVABLE OBJECTS.
 - H. SIDEWALK WIDTH.
 - I. CONTRACTION JOINT.
 - J. EXPANSION JOINT.

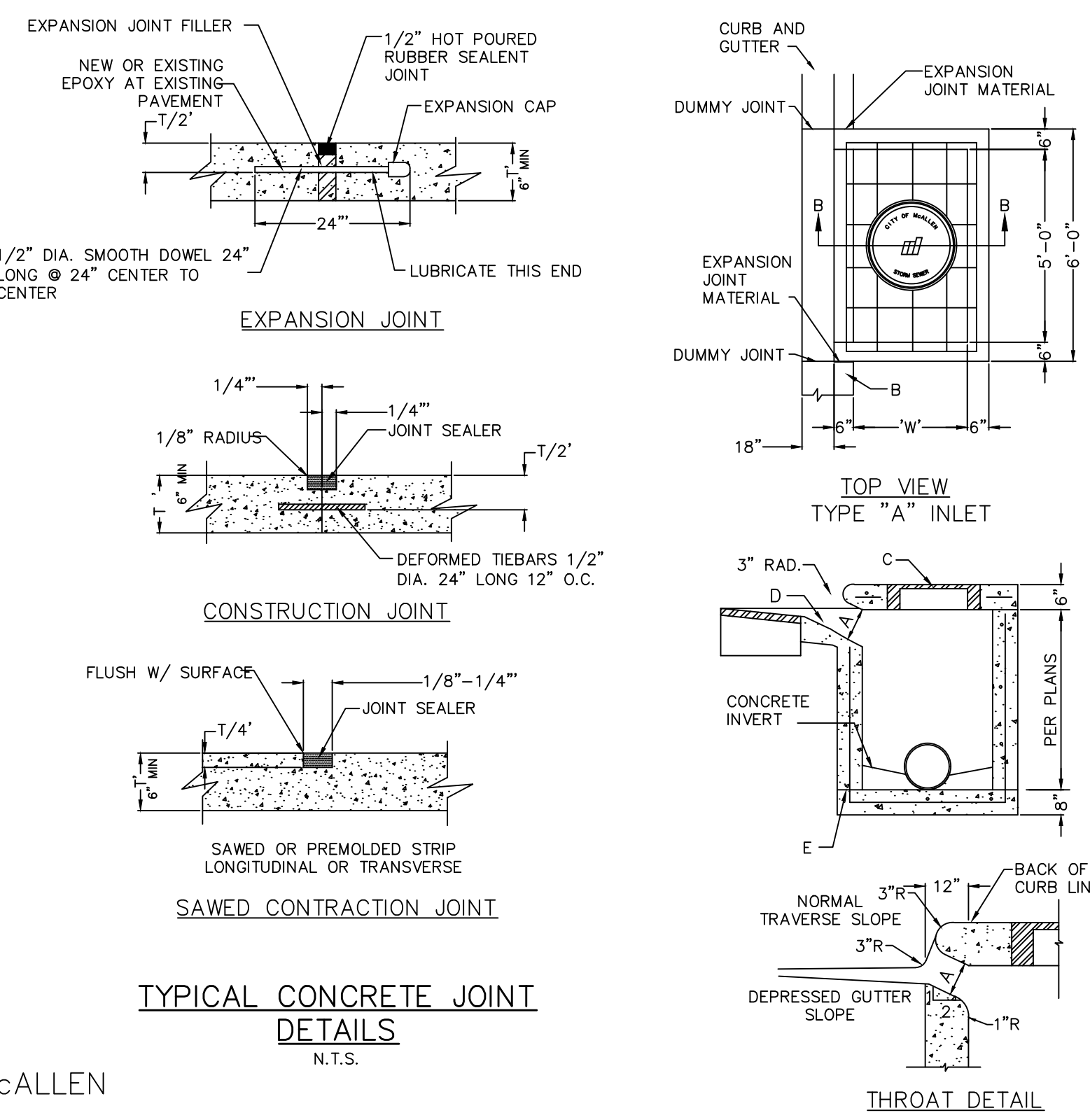


TYPICAL SIDEWALK DETAILS OBSTRUCTIONS
N.T.S.

WATER TIGHT COVER AND RING FOR CITY OF MCALLEN



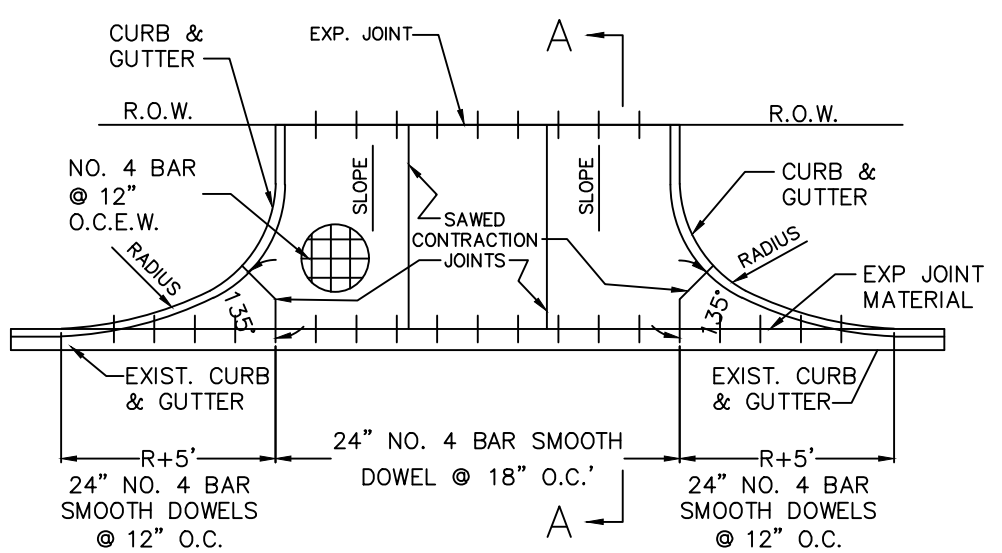
- GENERAL NOTES:**
1. IN LIEU OF THE ABOVE BASE DESIGN, AN ALTERNATE BASE MAY BE USED THAT USES 5" OF TYPE "A" GRADE 1 (CRUSHED LIMESTONE) COMPACTED TO STANDARD PROCTOR \geq OPTIMUM MOISTURE AS PER ITEM 247 1993 TX-DOT SPEC BOOK.
 2. IT IS THE DEVELOPER'S RESPONSIBILITY THRU HIS ENGINEER AND CONTRACTOR THAT NO FIRE HYDRANTS, GATE VALVES, STREET LIGHTS, MANHOLES, ECT. BE PLACED WITHIN THE PROP. LOCATION FOR SIDEWALKS.
 3. VALVE AND MANHOLES COVERS SHALL BE PLACED LEVEL WITH ADJACENT TOP OF CURB.
- SUBGRADE IMPROVEMENT METHODS:**
1. MECHANICAL STABILIZATION-----AN APPROVED GEOTGRID PLACED UNDERNEATH THE BASE COURSE PER COUNTY SPECIFICATIONS.
 2. CHEMICAL STABILIZATION-----MODIFY SUBBASE COURSE THICKNESS AS FOLLOWS:
20 < P.I. \leq 40 3% LIME BY WEIGHT COMPACTED TO 95% STANDARD PROCTOR \geq OPTIMUM MOISTURE
P.I. > 40 6% LIME BY WEIGHT COMPACTED TO 95% STANDARD PROCTOR \geq OPTIMUM MOISTURE
 3. OVER EXCAVATION & REPLACEMENT-----A MINIMUM OF 18" OF SELECT FILL WITH A P.I. < 20 COMPACTED TO 95% STANDARD PROCTOR \geq OPTIMUM MOISTURE.



INLET TYPE	W	MAX. PIPE SIZE ALLOW (DIA.)
A	3'-0"	24"
A-1	4'-0"	36"
A-2	5'-0"	48"
A-3	6'-0"	60"

- GENERAL NOTES:**
1. TRANSITION NORMAL GUTTER TO INLET FLOW SLOPE APPROX. 3".
 2. INLETS SHALL BE COMPOSED OF PRE-CAST SECTIONS, CAST IN PLACE OR A COMBINATION OF BOTH.
 3. 6" GRAVEL BEDDING IS REQUIRED IF UNSTABLE SOIL OR GROUND WATER IS FOUND.
- CONSTRUCTION NOTES:**
- A. 5" CLEAR OPENINGS.
 - B. CURB & GUTTER SECTION.
 - C. C.I. MANHOLE RING & COVER SHALL BE ALAMO 860-22 OR EQUAL 20, 3/8"
 - D. DEPRESS 2" BELOW NORMAL GUTTER.
 - E. ALL REINFORCING NO. 4 BARS 12" O.C.E.W.

TYPE "A" INLET
N.T.S.

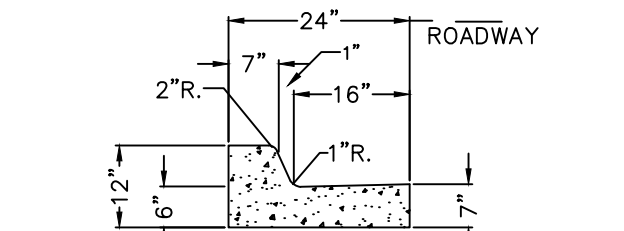


- NOTE:**
- DRIVEWAY FOR INDUSTRIAL ZONED PROPERTY TO BE APPROVED BY CITY ENGINEER.

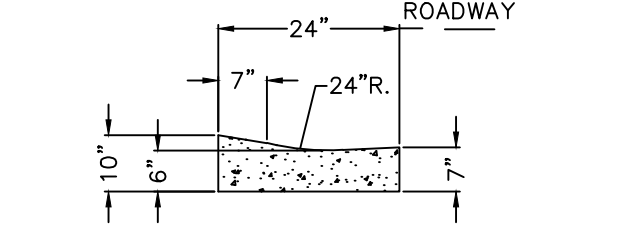
CONCRETE APRON TYPICAL JOINT LAYOUT
N.T.S.

- GENERAL NOTES:**
1. CURBS AND GUTTERS TO BE CONSTRUCTED OF 3000 PSI CONCRETE.
 2. FOR NON-REINFORCED STANDARD CURB OR CURB & GUTTER PROVIDE SAWED CONTRACTION JOINTS 10' O.C. MAX. ALSO PROVIDE 1/2" EXPANSION JOINTS AT 30' O.C. MAX. AT POINTS OF CURVATURE, CURB INLETS, BOX CULVERTS, AT EACH SIDE OF DRIVEWAYS, AND ADJACENT TO SIDEWALKS.
 3. FOR REINFORCED STANDARD CURB OR CURB & GUTTER PROVIDE SAWED CONTRACTION JOINTS 10' O.C. MAX AND EXPANSION JOINTS SHALL BE SPACED AT 120' O.C. MAX. AT POINTS OF CURVATURE, CURB INLETS, BOX CULVERTS, AT EACH SIDE OF DRIVEWAYS, AND ADJACENT TO SIDEWALKS.
 4. EDGES NOT SPECIFIED WITH DIMENSIONS SHALL BE EDGED WITH A 3/8" EDGING TOOL.
 5. A MEMBRANE CURING COMPOUND SHALL BE APPLIED TO EXPOSED CURB OR CURB & GUTTER AFTER THE SURFACE FINISH HAS BEEN COMPLETED AT A MIN. RATE OF 1 GAL/180 S.F. OF SURFACE AREA.
 6. DESIGN ELEVATIONS TO BE GIVEN AT PC, PT AND MID POINT OF THE CURB RADII (FLOW OF CURB ELEVATION) AND AT INTERSECTIONS OF PROJECTED FLOWLINES (FLOWLINE ELEVATION).
 7. ON UPSTREAM AND DOWNSTREAM ENDS OF THE INTERSECTION, VALLEY GUTTER CONSTRUCTION SHALL EXTEND TO THE END OF RETURNS.
 8. THE VALLEY GUTTER TO BE REINFORCED WITH 6" X 6" X NO. 6 GA. WIRE MESH. OR NO. 3 @ 12" O.C.E.W. 4. INVERT OF VALLEY GUTTER TO EXTEND FROM FLOWLINE OF UPSTREAM CURB RETURN TO FLOWLINE OF DOWNSTREAM CURB RETURN.
 9. FOR NEW CONSTRUCTION, VALLEY GUTTER SHALL BE CONSTRUCTED PRIOR TO ADJACENT PAVEMENT.
 10. PRIOR TO CONSTRUCTION OF NEW VALLEY GUTTER ON EXISTING ACCEPTED STREETS, PAVEMENT SHALL BE REMOVED AS SHOWN ON PLANS.
 11. FOR HANDICAP RAMP, SEE DETAIL.
 12. EXISTING CURB OR PAVEMENT SHALL BE SAWCUT WHERE NECESSARY TO CONNECT TO PROPOSED VALLEY GUTTER.

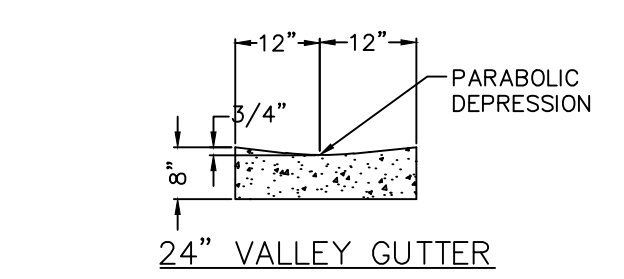
STANDARD CURB & GUTTER TYPE A



STANDARD CURB & GUTTER TYPE B



LAYDOWN CURB & GUTTER



CONCRETE CURB & GUTTER
N.T.S.



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 4/14/2025

SUBDIVISION NAME: RUSSELL CREEK PHASE I

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Russell Road: 30 ft. dedication for 50 ft. from centerline for 100 ft. total ROW
 Paving: 65 ft. Curb & gutter: Both Sides
 - Please label how existing ROW was dedicated. Provide document numbers for existing ROW dedications, and provide a copy for staff review.
 - Label ROW dedications from centerline to new plat boundary, total, existing, etc., prior to recording.
 - Existing transmission powerline poles along Russell Road appear to be within the ROW dedication. Need to finalize dedication requirements or relocation of transmission powerline poles as applicable, prior to final.
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to recording.
 **COM Thoroughfare Plan

Non-compliance

North 23rd Street (Depot Road): Dedication required for 60 ft. from centerline for 120 ft. total ROW
 Paving: 65 ft. Curb & gutter: both sides
 - No annotation of ROW dedication is shown on plat.
 - Label ROW dedications from centerline to new plat boundary, total, existing, etc., prior to recording.
 - Please label how existing ROW was dedicated. Provide document numbers for existing ROW dedications, and provide a copy for staff review.
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

Non-compliance

8-3/4 Mile Road (E/W 1/4 Mile Collector): Dedication as needed for 60 ft. total ROW
 Paving: 40 ft. Curb & gutter: both sides
 - Revise street name as shown above, prior to final.
 - Street will need to punch thru and connect, plat submitted appears to show missing linework along the detention area, prior to final.
 - The project engineer submitted a variance application (VAR2025-0013) on April 9, 2025 to request the interior E/W street to be considered the 1/4 Mile Collector and for the paving to be 32 ft.. back to back instead of the required 40 ft.
 - Street jogs with centerline offsets of less than 125 feet shall be avoided. If not revised a variance application must be submitted, prior to final.
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>Interior Streets: 50 ft. ROW Paving: 32 ft. Curb & gutter: both sides - Street names to be finalized, prior to final. - There have been discussions with our Engineering Department that a stub out to the property to the northeast may be required for connectivity for a secondary access that is under review and must be finalized prior to final. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan * 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118 * 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118 * 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	Non-compliance
	Applied
	NA
	NA
ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106</p>	NA
SETBACKS	
<p>* Front: 25 ft. or greater for easements - Revise front setback as shown above, prior to final. **Zoning Ordinance: Section 138-356 * Rear: 10 ft. or greater for easements - Revise rear setback as shown above, prior to final. **Zoning Ordinance: Section 138-356 * Sides: 6 ft. or greater for easements - Revise side setback as shown above, prior to final. **Zoning Ordinance: Section 138-356 * Corner: 10 ft. or greater for easements - Revise corner setback as shown above, prior to final. **Zoning Ordinance: Section 138-356 * Garage: 18 ft. except where greater setback is required; greater setback applies - Include a plat note as shown above, prior to final. **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Non-compliance
	Non-compliance
	Non-compliance
	Non-compliance
	Non-compliance
	Non-compliance
	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required along Russell Road, North 23rd Street (Depot Road), 8 -3/4 Mile Road, and both sides of all interior streets - Revise plat note #8 as shown above, wording to be finalized, prior to final. - Sidewalk requirements may increase to 5 ft. per Engineering Department. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Non-compliance
	Required

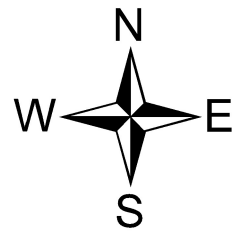
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses along Russell Road and North 23rd Street (Depot Road) - Revise plat note #9 as shown above, prior to final. **Landscaping Ordinance: Section 110-46 	Non-compliance
<ul style="list-style-type: none"> * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46 	Applied
<ul style="list-style-type: none"> *Perimeter buffers must be built at time of Subdivision Improvements. 	Required
NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along Russell Road, North 23rd Street (Depot Road), and 8-3/4 Mile Road. - Revise plat note #13 as shown above, prior to final. **Must comply with City Access Management Policy 	Non-compliance
<ul style="list-style-type: none"> * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. 	Applied
<ul style="list-style-type: none"> * Common/Detention Areas, etc. must be maintained by the lot owners/HOA and not the City of McAllen. - Revise plat note#14 as shown above, prior to final. 	Non-compliance
<ul style="list-style-type: none"> * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. 	NA
<ul style="list-style-type: none"> * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	Required
<ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	Required
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets **Subdivision Ordinance: Section 134-1 	Applied
<ul style="list-style-type: none"> * Minimum lot width and lot area - Need to provide more information on the curve table as there appears to be missing curve dimensions to determine if minimum lot width is compliance. - Lots 29 and 43 don't have the minimum 5,000 sq. ft. for a R-1 single family zone. **Zoning Ordinance: Section 138-356 	Non-compliance
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: R-1 Proposed: R-1 ***Zoning Ordinance: Article V 	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA
PARKS	
* Land dedication in lieu of fee. Based on the submitted application and plat, 101 dwelling units/lots are proposed. As per Parks Department, park land dedication of 1.6059 acres will be required prior to final. If park fee in lieu of park land dedication is proposed, a letter must be submitted to the Planning Director and reviewed by the City Manager, prior to final.	Required
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Based on the submitted application and plat, 101 dwelling units/lots are proposed. As per Parks Department, park land dedication of 1.6059 acres will be required prior to final. If park fee in lieu of park land dedication is proposed, a letter must be submitted to the Planning Director and reviewed by the City Manager, prior to final.	Required
* Pending review by the City Manager's Office. Based on the submitted application and plat, 101 dwelling units/lots are proposed. As per Parks Department, park land dedication of 1.6059 acres will be required prior to final. If park fee in lieu of park land dedication is proposed, a letter must be submitted to the Planning Director and reviewed by the City Manager, prior to final.	Required
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.	Required
* Traffic Impact Analysis (TIA) required prior to final plat.	TBD
COMMENTS	
Comments: - Any abandonments must be done by separate process and not by plat, prior to final. - Application states this is a public subdivision but plat has indications of subdivision being private, engineer must clarify if subdivision will be public or private. - Subdivision plat and survey show conflicting information for the subdivision boundary dimensions. Also, some easements shown on survey aren't shown on the plat. *Must comply with City's Access Management Policy.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVAL.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOCATION



RUSSELL RD (9MILE)

DEPO
STATIC
LOT 1

CHAISES DE JARDIN
SUBDIVISION
LOT 1

PROPOSED
RUSSEL CREEK PHASE 1
SUBDIVISION

N 23RD ST (N DEPOT RD)

23RD ST

(PRIVATE)

BOROLO LN

SUB 2025 - 0054

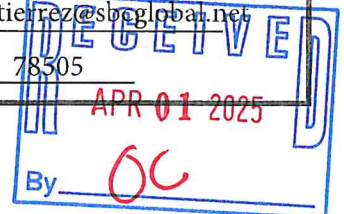


City of McAllen

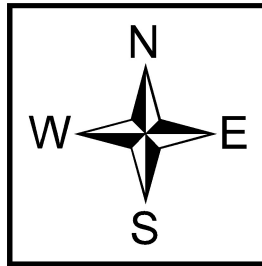
Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>THE PALMS HOMES SUBDIVISION</u>	
	Legal Description <u>5.57 Acre Tract out of Lot 47, Addition to McAllen First Suburban Citrus Grove Subdivision</u>	
	Location <u>Southeast Corner of Colbath Rd. and S Bentsen Rd.</u>	
	City Address or Block Number <u>4313 Colbath Ave</u>	
	Total No. of Lots <u>1</u> Total Dwelling Units <u>47</u> Gross Acres <u>5.57</u> Net Acres <u>4.93</u>	
	<input type="checkbox"/> Public Subdivision / <input checked="" type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input checked="" type="checkbox"/> Commercial (<u>5.57</u> Acres) <input checked="" type="checkbox"/> Residential (<u>1</u> Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R-3C</u> Proposed Zoning <u>R3</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Townhomes Condos</u>	
	Irrigation District # <u>1</u> Water CCN: <input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other _____	
Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # <u>20406865</u>		
Estimated Rollback Tax Due <u>N/A</u> Tax Dept. Review <u>I.D.L</u>		
Owner	Name <u>MILIMEX DEVELOPMENT LLC</u> Phone <u>956-502-0238</u>	
	Address <u>4217 Colbath Ave</u> E-mail <u>admin@effective.rulesstate</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78503</u>	
Developer	Name <u>Same as Above</u> Phone _____	
	Address _____ E-mail _____	
	City _____ State _____ Zip _____	
	Contact Person _____	
Engineer	Name <u>Barrera Infrastructure Group INC</u> Phone <u>956-687-3355</u>	
	Address <u>3525 W. Freddy Gonzalez Ave, Suite B2</u> E-mail <u>rene@big-engineering.com</u>	
	City <u>Edinburg</u> State <u>TX</u> Zip <u>78539</u>	
	Contact Person <u>Rene Barrera, PE</u>	
Surveyor	Name <u>Homero L. Gutierrez</u> Phone <u>956-369-0988</u>	
	Address <u>P.O. BOX 548</u> E-mail <u>homero_gutierrez@sbcglobal.net</u>	
	City <u>McALLEN</u> State <u>TX</u> Zip <u>78505</u>	



LOCATION



COLBATH RD

S BENTSEN RD

LOT 1

**PROPOSED THE PALMS
HOMES SUBDIVISION**

47

THE PALMS TOWER PHASE 1

1

2

3

4

5

6

7

8

PLAT OF
THE PALMS HOMES SUBDIVISION

McALLEN, TEXAS

A 5.57-ACRES GROSS OUT OF LOT 47, ADDITION TO McALLEN FIRST
SUBURBAN CITRUS GROVE SUBDIVISION, AS PER THE MAP OR PLAT
THEREOF RECORDED IN VOLUME 5, PAGE 25, MAP RECORDS IN THE OFFICE
OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF HIDALGO

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN
AS THE PALMS HOMES SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS
SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS,
WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS
AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED OR
DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME
FOR THE PURPOSE THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES
OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

MILIMEX DEVELOPMENT, LLC
4217 COLBATH AVE.
McALLEN, TEXAS 78503

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED _____
KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED
TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME
FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____,
20____.

NOTARY PUBLIC IN AND FOR HIDALGO COUNTY, TEXAS
EXPIRATION DATE: _____

STATE OF TEXAS
CITY OF McALLEN

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE
CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAN CONFORMS TO ALL
REQUIREMENTS OF THE SUBDIVISION OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN

DATE

STATE OF TEXAS
CITY OF McALLEN

I THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT
THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION
REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR
CITY OF McALLEN

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

I, HOMERO L. GUTIERREZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF
TEXAS, HEREBY CERTIFY THAT THIS PLAT IS MADE AND IS PREPARED FROM AN ACTUAL SURVEY
ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND OF THE PROPERTY LEGALLY
DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS,
OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN
ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE
PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS
OF THE CITY OF McALLEN, TEXAS.

HOMERO L. GUTIERREZ, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR No. 2791

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

I, RENE BARRERA, P.E., A LICENSED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN
THE STATE TEXAS, LICENSE NUMBER TX. 86862, DO HEREBY CERTIFY THAT THIS PLAT HAS
BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

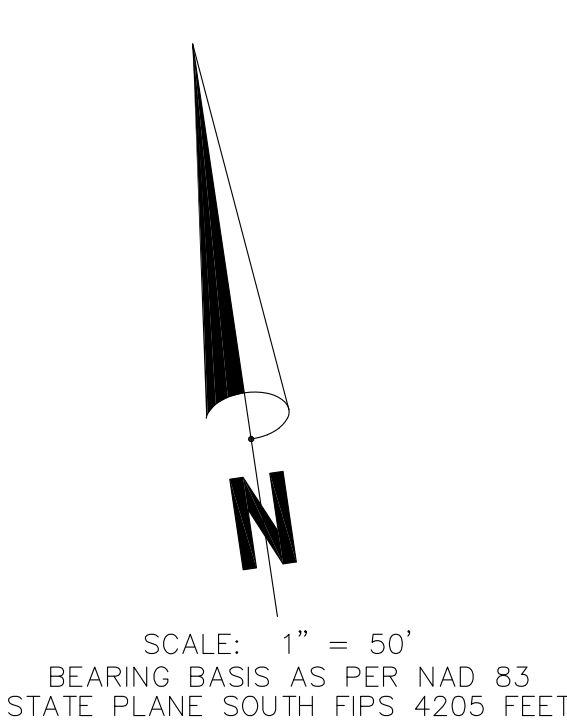
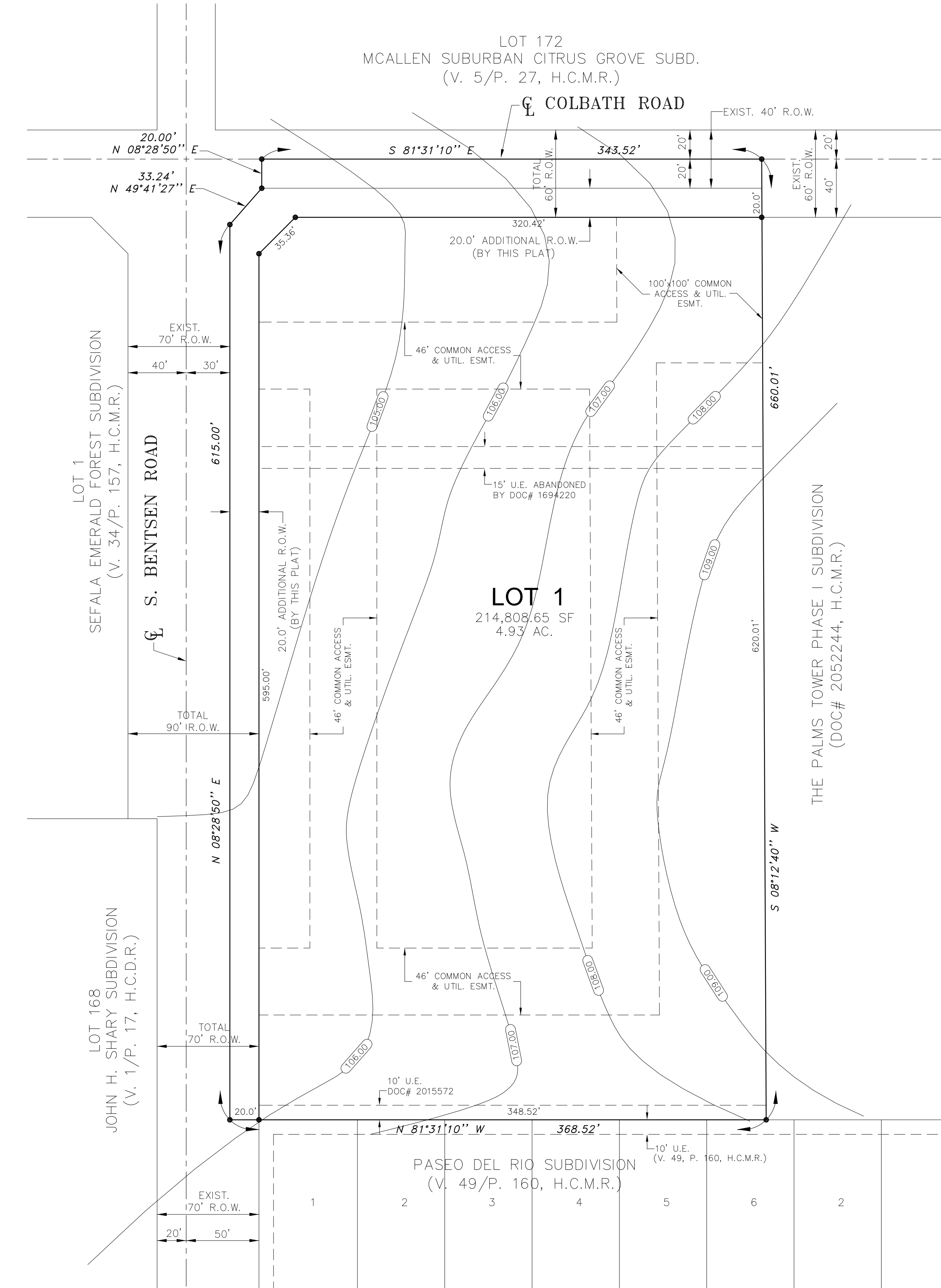
RENE BARRERA, P.E.

For Review Only
3-27-25

LICENSED PROFESSIONAL ENGINEER No. 86862



PRINCIPAL CONTACTS:			FIRM REG. NO. 6435
NAME	ADDRESS	CITY & ZIP	PHONE
OWNER: MILIMEX DEVELOPMENT LLC	4217 COLBATH AVE.	McALLEN, TX. 78503	
ENGINEER: RENE BARRERA, P.E.	3525 W. FREDDY GONZALEZ AVE.	EDINBURG, TX. 78539	956-687-3355
SURVEYOR: HOMERO L. GUTIERREZ	P.O. BOX 548	McALLEN, TX. 78505	



LEGEND
● - DENOTES FOUND 1/2" IRON ROD
⊗ - DENOTES FOUND 1/2" IRON PIPE
⊙ - DENOTES SET 1/2" IRON ROD
○ - DENOTES NO MONUMENT

GENERAL PLAT NOTES:

- MINIMUM SETBACK LINES:
ALL SETBACKS ARE IN ACCORDANCE WITH ZONING ORDINANCE OR GRATER FOR
SITE PLAN OR EASEMENTS
***ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED
SITE PLAN
- FLOOD ZONED DESIGNATION: ZONE "B"
COMMUNITY PANEL NO. 480334-0400 C
MAP REVISED: NOV. 16, 1982
COMMUNITY PANEL NO. 480343-0010 C
MAP REVISED: NOV. 2, 1982
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB AS
MEASURED AT FRONT AND CENTER OF LOT.
- THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF _____ AC-FT
OF STORM RUNOFF.
- AN ENGINEERED DETENTION PLAN APPROVED BY CITY'S ENGINEERING DEPT IS
REQUIRED PRIOR TO APPLICATION FOR BUILDING PERMIT.
- SITE PLAN APPROVAL REQUIRED BY PLANNING AND ZONING COMMISSION IF THE
PROPERTY DEVELOPS FOR COMMERCIAL USE.
- UNLESS OTHERWISE NOTED ON THIS PLAT, THE LOTS ARE MONUMENTED BY
1/2 INCH WIDE BY 18" LONG IRON RODS.
- BENCHMARK: McALLEN SURVEY CONTROL POINT NO. 48 - LOCATED AT THE
SOUTHEAST CORNER OF WARE ROAD AND MILE 5 ROAD; ELEVATION =115.95
(NAVD 88)
- A 6-FOOT OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY
RESIDENTIAL, AND COMMERCIAL, OR INDUSTRIAL ZONES/USES.
- AN 8-FOOT MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL
AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.

METES AND BOUNDS DESCRIPTION

(AS SHOWN ON DEED / DIFFERENT FROM SURVEY: NEED TO RECONCILE)

A TRACT OF LAND CONTAINING 5.554 ACRES SITUATED IN THE CITY OF McALLEN, COUNTY-- OF HIDALGO,
TEXAS, BEING A PART OR PORTION OUT OF LOT 47, ADDITION TO McALLEN FIRST SUBURBAN CITRUS
GROVES SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 5, PAGE 25, HIDALGO
COUNTY MAP RECORDS, SAID 5.554 ACRES BEING OUT OF A CERTAIN TRACT OF LAND CONVEYED TO AT3
DEVELOPMENTS, LLC, BY VIRTUE OF A SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NO.
1859894, HIDALGO COUNTY OFFICIAL RECORDS, SAID 5.554 ACRES ALSO BEING MORE PARTICULARLY
DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 47 AND WITHIN THE EXISTING RIGHT-OF-WAY OF
S. BENTSEN AND COLBATH ROADS;

THENCE, S 81°24'00" E ALONG THE NORTH LINE OF SAID LOT 47 AND WITHIN THE EXISTING
RIGHT-OF-WAY OF S. BENTSEN AND COLBATH ROADS, A DISTANCE OF 35.00 FEET TO A NAIL SET FOR
THE NORTHWEST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

THENCE, S 81°24'00" E ALONG THE NORTH LINE OF SAID LOT 47 AND WITHIN THE RIGHT-OF-WAY OF
COLBATH ROAD, A DISTANCE OF 342.72 FEET TO A NAIL SET, FOR THE NORTHEAST CORNER OF THIS
TRACT;

THENCE, S 08°35'10" W ALONG THE WEST LINE OF THE PALMS TOWER PHASE I, ACCORDING TO THE PLAT
THEREOF RECORDED IN DOCUMENT NUMBER 2052244, HIDALGO COUNTY MAP RECORDS, AT A DISTANCE
OF 30.00 FEET PASS A NO. 4 REBAR SET ON THE SOUTH RIGHT-OF-WAY LINE OF COLBATH ROAD, AT A
DISTANCE OF 658.87 FEET PASS A NO. 4 REBAR FOUND IN LINE, CONTINUING A TOTAL DISTANCE OF
660.00 FEET TO A NO. 4 REBAR SET FOR THE SOUTHEAST CORNER OF THIS TRACT;

THENCE, N 81°24'00" W ALONG THE NORTH LINE OF PASEO DEL RIO SUBDIVISION, ACCORDING TO THE
PLAT THEREOF RECORDED IN VOLUME 49, PAGE 160, HIDALGO COUNTY MAP RECORDS, A DISTANCE OF
367.87 FEET TO A NO. 4 REBAR FOUND [NORTHING: 16594962.897, EASTING: 1058925.495] ON THE
EXISTING EAST RIGHT-OF-WAY LINE OF S. BENTSEN ROAD, FOR THE SOUTHWEST CORNER OF THIS TRACT;

THENCE, N 08°36'00 E ALONG THE EXISTING EAST RIGHT-OF-WAY LINE OF S. BENTSEN ROAD, A
DISTANCE OF 615.01 FEET TO A NO. 5 REBAR FOUND (NORTHING: 16595570.988, EASTING: 1059017.459]
FOR AN OUTSIDE CORNER OF THIS TRACT;

THENCE, N 08°36'00" E A DISTANCE OF 20.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 5.554
ACRES OF LAND, MORE OR LESS.

HIDALGO COUNTY DRAINAGE DISTRICT No. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS
FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED
UNDER TEXAS WATER CODE 49.211(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT
CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE
SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE
RESPONSIBILITY OF DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT. NO. 1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE

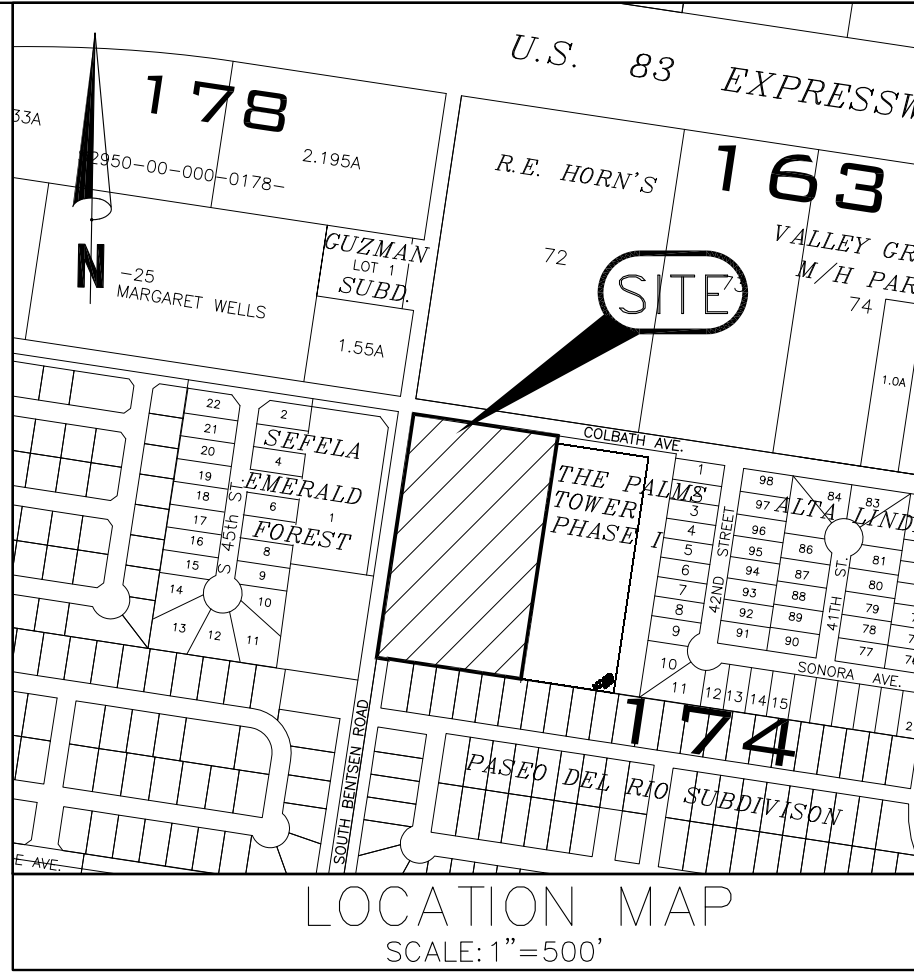


FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

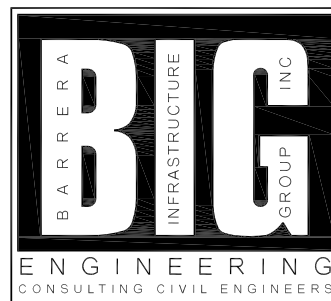
ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY



PLAT OF THE PALMS HOMES SUBDIVISION IS LOCATED WITHIN
CITY LIMITS OF McALLEN, TEXAS, IN CENTRAL HIDALGO COUNTY
AND IS FURTHER LOCATED AT THE SOUTHEAST CORNER OF THE
INTERSECTION OF COLBATH RD. AND S. BENTSEN RD.



3525 W. FREDDY GONZALEZ AVE.
SUITE "B2"
EDINBURG, TX 78539
TEL: 956-687-3355
FAX: 956-992-8801
TEXAS FIRM NO. 6435



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 4/15/2025

SUBDIVISION NAME: THE PALMS HOMES SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>South Bentsen Road: Dedication as needed for 40 ft. from centerline for 80 ft. total ROW Paving: 52 ft. Curb & gutter: both sides</p> <ul style="list-style-type: none"> - Please label how existing ROW was dedicated. Provide document numbers for existing ROW dedications, and provide a copy for staff review. - Label ROW dedication from centerline to new plat boundary, total, existing. etc., prior to final. - Ensure there are no issues with gas company easement and ROW dedications, prior to final. <p>**Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>Colbath Avenue: Dedication as needed for 40 ft. from centerline for 80 ft. total ROW Paving: 52 ft. Curb & gutter: both sides</p> <ul style="list-style-type: none"> - Please label how existing ROW was dedicated. Provide document numbers for existing ROW dedications, and provide a copy for staff review. - Label ROW dedication from centerline to new plat boundary, total, existing. etc., prior to final. - Revise street name as shown above, prior to final. - Ensure there are no issues with Hidalgo County Street Roadway and ROW dedications, prior to final. <p>**Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>Paving _____ Curb & gutter _____</p> <p>**Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	NA
ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft.</p> <ul style="list-style-type: none"> - Engineer must clarify if alley or service drive will be provide, prior to final. Alley or service drive cannot dead-end. - If service drive is proposed a plat note stating "A minimum 24 ft. private service drive will be established as part of the site plan and must be maintained by the lot owners and not the City of McAllen", prior to final. <p>*Alley/service drive easement required for commercial/multi-family properties **Subdivision Ordinance: Section 134-106</p>	Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SETBACKS	
<ul style="list-style-type: none"> * Front: In Accordance with the Zoning Ordinance or in line with existing structures or greater for approved site plan or easements - Include a setback note as shown above, prior to final. **Zoning Ordinance: Section 138-356 	Non-compliance
<ul style="list-style-type: none"> * Rear: In Accordance with the Zoning Ordinance or greater for approved site plan or easements - Include a setback note as shown above, prior to final. **Zoning Ordinance: Section 138-356 	Non-compliance
<ul style="list-style-type: none"> * Sides: In Accordance with the Zoning Ordinance or greater for approved site plan or easements - Include a setback note as shown above, prior to final. **Zoning Ordinance: Section 138-356 	Non-compliance
<ul style="list-style-type: none"> * Corner: In Accordance with the Zoning Ordinance or greater for approved site plan or easements - Include a setback note as shown above, prior to final. **Zoning Ordinance: Section 138-356 	Non-compliance
<ul style="list-style-type: none"> * Garage: 18 ft. except where greater setback is required; greater setback applies - Include a setback note as shown above, prior to final. **Zoning Ordinance: Section 138-356 	Non-compliance
<ul style="list-style-type: none"> *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN 	Applied
SIDEWALKS	
<ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on South Bentsen Road and Colbath Avenue - Include a plat note as shown above, prior to final. - Sidewalk requirement may increase to 5 ft. per Engineering Department **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time. 	Non-compliance
	Required
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46 	Applied
<ul style="list-style-type: none"> * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46 	Applied
<ul style="list-style-type: none"> *Perimeter buffers must be built at time of Subdivision Improvements. 	Required
NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. - Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development. **Zoning Ordinance: Section 138-210 	TBD
	Required

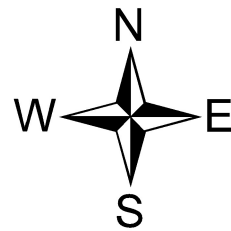
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Common Areas, any private drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. - Include a plat note as shown above wording to be finalized, prior to final. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	Non-compliance
	NA
	Required
	Required
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets **Subdivision Ordinance: Section 134-1 * Minimum lot width and lot area **Zoning Ordinance: Section 138-356 	Applied
	Applied
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: R-3C Proposed: R-3C ***Zoning Ordinance: Article V * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V 	Applied
	Applied
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. Based on the submitted application, 47 dwelling units are proposed, As per Parks Department, park land dedication of 0.7473 acres will be required prior to final. If park fee in lieu of park land dedication is proposed, a letter must be submitted to the Planning Director and reviewed by the City Manager, prior to final. * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Based on the submitted application, 47 dwelling units are proposed, As per Parks Department, park land dedication of 0.7473 acres will be required prior to final. If park fee in lieu of park land dedication is proposed, a letter must be submitted to the Planning Director and reviewed by the City Manager, prior to final. * Pending review by the City Manager's Office. Based on the submitted application, 47 dwelling units are proposed, As per Parks Department, park land dedication of 0.7473 acres will be required prior to final. If park fee in lieu of park land dedication is proposed, a letter must be submitted to the Planning Director and reviewed by the City Manager, prior to final. 	Required
	Required
	Required
TRAFFIC	
<ul style="list-style-type: none"> * As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. * Traffic Impact Analysis (TIA) required prior to final plat. 	Required
	TBD

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none">- Any abandonments must be done by separate process, not by plat, prior to final.- Remove plat note #6 as it is not required.- Dimensions and easements on survey and plat don't appear to reflect the same information.- Owner's signature block must comply with Section 134-61. <p>*Must comply with City's Access Management Policy.</p>	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVAL.	Applied

LOCATION



COLBATH RD

S BENTSEN RD

LOT 1

PROPOSED THE PALMS
HOMES SUBDIVISION

47

THE PALMS TOWER PHASE 1

1

2

3

4

5

6

7

8

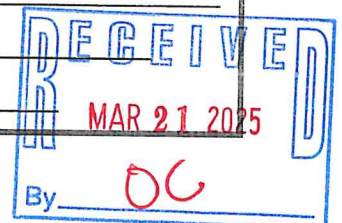


City of McAllen

Planning Department

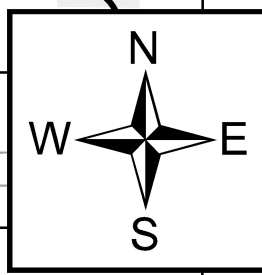
311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>The Villas at Jonquil</u>	
	Legal Description <u>A 0.82 Acre Tract out of the East 126.79 feet of the West 286.79 feet of Lot 9, Wayne Court Subdivision</u>	
	Location <u>W. Jonquil Ave Between 6th Ave. and 4th Ave.</u>	
	City Address or Block Number <u>512 Jonquil Ave</u>	
	Total No. of Lots <u>4</u> Total Dwelling Units <u>4</u> Gross Acres <u>0.82</u> Net Acres <u>0.82</u>	
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial (<u> </u> Acres) / <input checked="" type="checkbox"/> Residential (<u>4</u> Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R-1</u> Proposed Zoning <u>R-1</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date <u> </u>	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Single Family Residential</u>	
	Irrigation District # <u>3</u> Water CCN: <input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other <u> </u>	
Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # <u> </u> Property ID: 321160		
Estimated Rollback Tax Due <u>N/A</u> Tax Dept. Review <u>J.D.L.</u>		
Owner	Name <u>John C. Osteen</u> Phone <u> </u>	
	Address <u>P.O. BOX 1547</u> E-mail <u> </u>	
	City <u>GLADEWATER</u> State <u>TX</u> Zip <u>75647</u>	
Developer	Name <u>Effective Real Estate</u> Phone <u>956-502-0238</u>	
	Address <u>2212 Primrose Ave.</u> E-mail <u>admin@effective.realestate</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u>	
	Contact Person <u>Esteban Flores</u>	
Engineer	Name <u>Barrera Infrastructure Group</u> Phone <u>956-687-3355</u>	
	Address <u>3525 W. Freddy Gonzalez Ave, Suite B2</u> E-mail <u>rene@big-engineering.com</u>	
	City <u>Edinburg</u> State <u>TX</u> Zip <u>78539</u>	
	Contact Person <u>Rene Barrera, P.E.</u>	
Surveyor	Name <u>Honorio L. Gutierrez</u> Phone <u> </u>	
	Address <u>P.O. Box 548</u> E-mail <u> </u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78505</u>	



N. 6TH ST.

172
LOCATION



171

170

169

168

167

JONQUIL
HEIGHTS
LOT 1A

HCAD
2020

LOT 1

ANAYA

SUBDIVISION

HCAD
2015

**PROPOSED
VILLAS AT JONQUIL
SUBDIVISION**

159

160

161

JONQUIL AVE

158

157

156

DAFFOD

146

GARDENS No

147

148

149

150

IRIS AV

PLAT OF
THE VILLAS AT JONQUIL

McALLEN, TEXAS

A 0.884 ACRE TRACT OF LAND, MORE OR LESS, OUT OF LOT 9,
WAYNE COURTS SUBDIVISION, OF PART OF SECTION 10, HIDALGO
CANAL COMPANY'S SUBDIVISION, OF PORCIONES 64,65 AND 66,
HIDALGO COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF HIDALGO

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN
AS THE VILLAS AT JONQUIL SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS
SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS,
WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS
AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED OR
DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME
FOR THE PURPOSE THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES
OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

JOHN C. OSTEEN
PO BOX 1547
GLADEWATER, TX. 75647

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED
TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME
FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____,
20____.

NOTARY PUBLIC IN AND FOR HIDALGO COUNTY, TEXAS
EXPIRATION DATE: _____

STATE OF TEXAS
CITY OF McALLEN

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE
CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAN CONFORMS TO ALL
REQUIREMENTS OF THE SUBDIVISION OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN _____ DATE _____

STATE OF TEXAS
CITY OF McALLEN

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT
THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION
REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR _____ DATE _____
CITY OF McALLEN

STATE OF TEXAS
COUNTY OF HIDALGO

I, HOMERO L. GUTIERREZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF
TEXAS, HEREBY CERTIFY THAT THIS PLAT IS MADE AND IS PREPARED FROM AN ACTUAL SURVEY
ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND OF THE PROPERTY LEGALLY
DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS,
OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN
ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE
PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS
OF THE CITY OF McALLEN, TEXAS.

HOMERO L. GUTIERREZ, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR No. 2791

DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, RENE BARRERA, P.E., A LICENSED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN
THE STATE TEXAS, LICENSE NUMBER TX. 86862, DO HEREBY CERTIFY THAT THIS PLAT HAS
BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

For Review Only
3-12-25
RENE BARRERA, P.E.
LICENSED PROFESSIONAL ENGINEER No. 86862



PRINCIPAL CONTACTS:		FIRM REG. NO. 6435
NAME	ADDRESS	PHONE
OWNER: JOHN C. OSTEEN	PO BOX 1547	GLADEWATER, TX. 75647
ENGINEER: RENE BARRERA, P.E.	3525 W. FREDDY GONZALEZ AVE.	EDINBURG, TX. 78539
SURVEYOR: HOMERO L. GUTIERREZ	P.O. BOX 548	McALLEN, TX. 78505

HIDALGO COUNTY DRAINAGE DISTRICT No. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR
THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED
UNDER TEXAS WATER CODE 49.211(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT
CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE
SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE
RESPONSIBILITY OF DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1
RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE _____

DAFFODIL GARDENS UNIT NO. 10
(V. 19/P. 66, H.C.M.R.)

LOT 169

LOT 168

JONQUIL HEIGHTS SUBD.
(DOC. #3001133, H.C.M.R.)

LOT 1A

DAFFODIL GARDENS UNIT NO. 9
(V. 19/P. 63, H.C.M.R.)

LOT 159

LOT 160

ANAYA SUBDIVISION
(DOC #2495818, H.C.M.R.)

LOT 1

LOT 158

LOT 157

DAFFODIL GARDENS UNIT NO. 9
(V. 19/P. 63, H.C.M.R.)

LOT 147

LOT 148

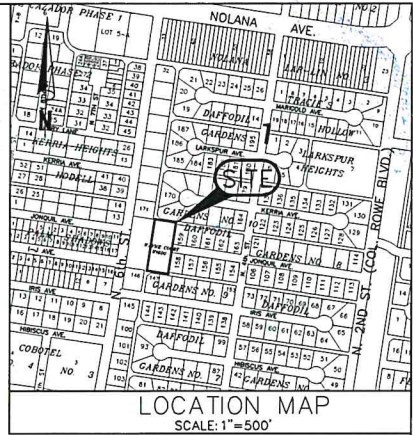
DAFFODIL GARDENS UNIT NO. 9
(V. 19/P. 63, H.C.M.R.)

GENERAL PLAT NOTES:

- MINIMUM SETBACK LINES:
ALL SETBACKS ARE IN ACCORDANCE WITH ZONING ORDINANCE OR GRATER FOR SITE PLAN OR
EASEMENTS
***ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN
- FLOOD ZONED DESIGNATION: ZONE "B"
COMMUNITY PANEL NO. 480334-0010 C
MAP REVISED: NOV. 2, 1982
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB AS MEASURED AT FRONT
AND CENTER OF LOT.
- THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF _____ AC-FT OF STORM RUNOFF.
- AN ENGINEERED DETENTION PLAN APPROVED BY CITY'S ENGINEERING DEPT IS REQUIRED PRIOR TO
APPLICATION FOR BUILDING PERMIT.
- SITE PLAN APPROVAL REQUIRED BY PLANNING AND ZONING COMMISSION IF THE PROPERTY
DEVELOPS FOR COMMERCIAL USE.
- UNLESS OTHERWISE NOTED ON THIS PLAT, THE LOTS ARE MONUMENTED BY 1/2 INCH WIDE BY 18"
LONG IRON RODS.
- BENCHMARK: McALLEN SURVEY CONTROL POINT NO. XX - LOCATED AT THE SOUTHEAST CORNER OF
WARE ROAD AND MILE 5 ROAD; ELEVATION =115.95 (NAVD 88)
- A 6-FOOT OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL, AND
COMMERCIAL, OR INDUSTRIAL ZONES/USES.
- AN 8-FOOT MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL,
INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.

SCALE: 1" = 30'
BEARING BASIS AS PER NAD 83
STATE PLANE SOUTH FIPS 4205 FEET

LEGEND
● - DENOTES FOUND 1/2" IRON ROD
⊗ - DENOTES FOUND 1/2" IRON PIPE
⊙ - DENOTES SET 1/2" IRON ROD
○ - DENOTES NO MONUMENT



MINOR PLAT OF THE VILLAS AT JONQUIL SUBDIVISION IS LOCATED
WITHIN CITY LIMITS OF McALLEN, TEXAS, IN CENTRAL HIDALGO
COUNTY AND IS FURTHER LOCATED BETWEEN 4TH AND 6TH
STREET AT THE TERMINATION OF JONQUIL AVE.

METES AND BOUNDS DESCRIPTION

(NEED TO UPDATE)

A 1.63 ACRE TRACT OF LAND OUT OF LOT 9; WAYNE COURTS SUBDIVISION, OF PART OF
SECTION 10; HIDALGO CANAL COMPANY'S SUBDIVISION, OF PORCIONES 64, 65 AND 66,
HIDALGO COUNTY, TEXAS, AS SHOWN OUTLINED IN YELLOW ON EXHIBIT "A" ATTACHED HERETO
AND MADE A PART HEREOF, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 9; FOR THE SOUTHWEST CORNER OF
THE FOLLOWING DESCRIBED TRACT OF LAND, SAID POINT BEING 1IN THE CENTER OF 60.0
NORTH 6TH STREET RIGHT-OF-WAY IN THE CITY OF McALLEN, TEXAS.

THENCE, WITH THE SOUTH LINE OF LOT 9 AND THE NORTH LINE OF DAFFODIL GARDEN*
SUBDIVISION, UNIT NO. 8; SOUTH 81° 14' EAST, AT 30.0 FEET PASS AN IRON ROD ON THE
EAST RIGHT-OF-WAY LINE OF NORTH 6TH STREET; AT 143.82 FEET PASS AN IRON PIPE ON
THE WEST EDGE OF A 20.0 FOOT ALLEY AND AT 286.79 FEET A POINT, FOR THE SOUTHEAST
CORNER HEREOF. SAID POINT BEING 1IN THE CENTER OF SAID 20.0 FOOT ALLEY.

THENCE, PARALLEL TO THE WEST LINE OF LOT 9; NORTH 8° 44' EAST, AT 10.0 FEET PASS
AN IRON PIPE ON THE NORTH LINE OF 20.0 FOOT ALLEY, AT 293.76 FEET PASS AN IRON
PIPE ON THE SOUTH LINE OF ANOTHER 20.0 FOOT ALLEY AND AT 303.76 FEET A POINT ON
THE NORTH LINE OF LOT 9; FOR THE NORTHEAST CORNER HEREOF.

THENCE, WITH THE NORTH LINE OF LOT 9 AND THE SOUTH LINE OF DAFFODIL GARDENS
SUBDIVISION, UNIT NO. 10; ALONG THE CENTER OF 20.0 FOOT ALLEY; NORTH 81° 14' WEST,
126.79 FEET TO A POINT, FOR THE MOST EASTERLY NORTHWEST CORNER HEREOF. SAID POINT
BEING AT THE CENTERLINE INTERSECTION OF TWO ALLEYS.

THENCE, PARALLEL TO THE WEST LINE OF LOT 9; SOUTH 8° 44' WEST, AT 10.0 FEET PASS
AN IRON PIPE ON THE SOUTH LINE OF 20.0 FOOT ALLEY AND AT 119.43 FEET AN IRON
PIPE, FOR AN INTERIOR CORNER HEREOF.

THENCE, NORTH 66° 45' 55" WEST, 134.21 FEET TO, AN IRON PIPE ON THE EAST LINE OF
NORTH 6TH STREET, FOR A POINT IN A NORTH LINE HEREOF.

THENCE, PARALLEL TO THE NORTH LINE OF LOT 9; NORTH 81° 14' WEST, 30.0 FEET TO A
POINT ON THE WEST LINE OF LOT 9, FOR THE MOST WESTERLY NORTHWEST CORNER HEREOF.

THENCE, WITH THE WEST LINE OF LOT 9; IN NORTH 6TH STREET; SOUTH 8° 44' WEST, 217.86
FEET TO THE PLACE OF BEGINNING, CONTAINING 1.63 ACRES OF LAND, MORE OR LESS, OF
WHICH 0.15 ACRE LIES IN NORTH 6TH STREET RIGHT-OF-WAY AND 0.06 ACRE LIES IN ALLEY
EASEMENTS.

PRELIMINARY PLAT REVIEW
THIS DOCUMENT HAS BEEN RELEASED FOR
PLAT REVIEW BY RENE BARRERA, P.E. No. 86862.
3-12-25



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUERRERO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY



3525 W. FREDDY GONZALEZ AVE.
SUITE 192
EDINBURG, TX 78539
TEL: 956-687-3355
FAX: 956-992-8801
TEXAS FIRM NO. 6435





City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 4/16/2025

SUBDIVISION NAME: THE VILLAS AT JONQUIL

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Jonquil Avenue: Dedication as needed for 50 ft. total ROW
Paving: 32 ft. Curb & gutter: both sides
Revisions needed:
- Label to clarify if 50 ft. is existing ROW or dedicated by this plat. Add the document number for any existing
- The street may not dead-end or empty into an alley. Provide a Cul-de-Sac with 58 ft. radius (for 96 ft. of paving face to face as required by Fire Department and 10 ft. additional ROW behind the curb) prior to final.
- Show and label the existing ROW, centerline, and document number on the plat and provide a copy of the document for staff review prior to final.
- There seem to be a little offset on the north side ROW. Clarify/revise the layout prior to final.
- Revise the street name to "Jonquil Avenue" prior to final.
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan

Non-compliance

Paving _____ Curb & gutter _____
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan

Applied

* 1,200 ft. Block Length
**Subdivision Ordinance: Section 134-118
* 900 ft. Block Length for R-3 Zone Districts
**Subdivision Ordinance: Section 134-118

Applied

* 600 ft. Maximum Cul-de-Sac
- The street may not dead-end into an alley. Provide a Cul-de-Sac with 58 ft. radius (for 96 ft. of paving face to face as required by Fire Department and 10 ft. additional ROW behind the curb) prior to final.
**Subdivision Ordinance: Section 134-105

NA

Non-compliance

ALLEYS

ROW: 20 ft. Paving: 16 ft.
- Show and label the existing alley ROW and reference the document number prior to final.
- Show the dimension and label alley ROW dedicated by this plat to verify compliance prior to final.
*Alley/service drive easement required for commercial properties
**Subdivision Ordinance: Section 134-106

Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

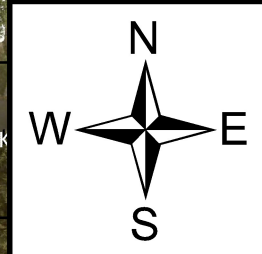
SETBACKS	
<ul style="list-style-type: none"> * Front: 25 ft. or greater for easements - Revise the setback note as shown above prior to final. - Proposing: All setbacks are in accordance with the Zoning Ordinance or greater for site plan or easements.***All setbacks are subject to increase for easements or approved site plan. **Zoning Ordinance: Section 138-356 	Non-compliance
<ul style="list-style-type: none"> * Rear: 10 ft. or greater for easements. - Revise the setback note as shown above prior to final. - Proposing: All setbacks are in accordance with the Zoning Ordinance or greater for site plan or easements.***All setbacks are subject to increase for easements or approved site plan. **Zoning Ordinance: Section 138-356 	Non-compliance
<ul style="list-style-type: none"> * Sides: In accordance with the Zoning Ordinance or greater for easements. - Revise the setback note as shown above prior to final. - Proposing: All setbacks are in accordance with the Zoning Ordinance or greater for site plan or easements.***All setbacks are subject to increase for easements or approved site plan. **Zoning Ordinance: Section 138-356 	Non-compliance
<ul style="list-style-type: none"> * Corner _____ **Zoning Ordinance: Section 138-356 	NA
<ul style="list-style-type: none"> * Garage: 18 ft. except where greater setback is required, greater setback applies. - Revise the setback note as shown above prior to final. - Proposing: All setbacks are in accordance with the Zoning Ordinance or greater for site plan or easements.***All setbacks are subject to increase for easements or approved site plan. **Zoning Ordinance: Section 138-356 	Non-compliance
<ul style="list-style-type: none"> *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN - Remove the above verbiage from the setback note. Although it is applied, it is not a required plat note. 	Required
SIDEWALKS	
<ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on both sides of Jonquil Avenue. - Add a plat note as shown above prior to final. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time. 	Non-compliance
	Applied
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements. 	Applied
	Applied
	Applied
NOTES	
<ul style="list-style-type: none"> **Must comply with City Access Management Policy 	Applied
<ul style="list-style-type: none"> * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. - Site plan review doesn't apply to single-family developments. 	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 110-72 of the Subdivision Ordinance, including but not limited to common areas and its private streets. - Add a plat note as shown above prior to final. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 *** As per Section 110-72 (e): All single-family residential subdivisions of four lots or more shall be required as part of the subdivision approval process to create by document filed in the official records of Hidalgo County a home owners association and provide in such document that such association shall be responsible for meeting the conditions of this article as it relates to common areas or areas not included in specific lots but those areas adjacent to the subdivision and that are unimproved and lie between the subdivision and adjacent paved public streets. * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. - A plat note to cross-reference the HOA document and the draft HOA will be needed for staff review prior to recording. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	NA
	NA
	Required
<ul style="list-style-type: none"> - Add a plat note to cross-reference the HOA document and the draft HOA will be needed for staff review prior to recording. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	Required
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets **Subdivision Ordinance: Section 134-1 * Minimum lot width and lot area - Finalize the ROW requirement and revise the plat to verify lot width and area compliance prior to final. **Zoning Ordinance: Section 138-356 	Applied
	TBD
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: R-1 Proposed: R-1 ***Zoning Ordinance: Article V * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V 	Applied
	NA
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. - The submitted application proposes 4 single-family lots. A park fee of \$2,800 (4 x \$700) must be paid prior to recording. If the number of dwelling units changes, the park fee will be adjusted accordingly. * Pending review by the City Manager's Office. 	NA
	Required
	NA
TRAFFIC	
<ul style="list-style-type: none"> * As per Traffic Department, Trip Generation is waived for 4-Lot single family houses. 	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

* Traffic Impact Analysis (TIA) required prior to final plat.	NA
COMMENTS	
Comments: - The subdivision dimension does not match the survey. clarify and revise the plat as applicable prior to final. - Provide a Cul-de-Sac and finalize the ROW requirements prior to final. - A 5 ft. easement and ROW shown on the survey is not shown on the plat. Clarify and show any existing easements and provide a copy for staff review prior to final. - No easements are shown on the lots. Clarify if any easements will be dedicated by this plat prior to final. *Must comply with City's Access Management Policy. *Any abandonment must be done by a separate process, not by plat.	Non-compliance
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVALS.	Applied



N. 6TH ST.

LOCATION

172

170

171

169

168

167

JONQUIL
HEIGHTS
LOT 1A

H/CAD
2020

LOT 1
ANAYA
SUBDIVISION

H/CAD
2015

PROPOSED
VILLAS AT JONQUIL
SUBDIVISION

159

160

JONQUIL AVE

158

157

DAFFOD

GARDENS NO

146

147

148

149

150

IRIS AVE

IRIS AV



City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

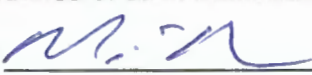
SUBDIVISION PLAT REVIEW APPLICATION

SUB2024-0117

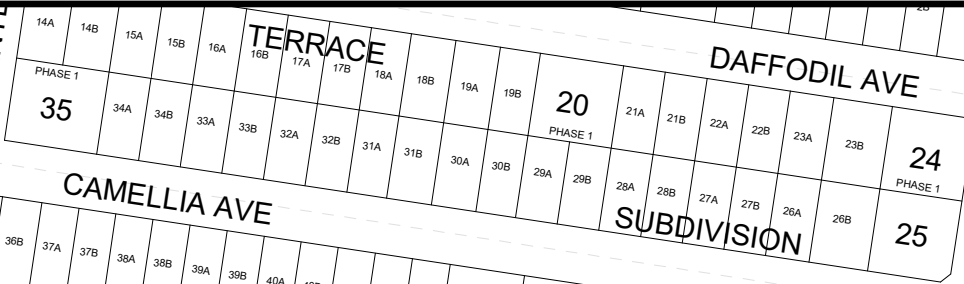
Project Information	Subdivision Name	<u>Enclave on Jackson</u>		
	Legal Description	<u>8.168 +/- out of Block 5, of A.J McColl Subdivision, Volume 21, Page 597-598 Hidalgo County, Texas</u>		
	Location	<u>N Jackson Rd</u>		
	City Address or Block Number	<u>2613 North Jackson Road</u>		
	Total No. of Lots	<u>80</u>	Total Dwelling Units	<u>78</u>
	Gross Acres	<u>8.168</u>	Net Acres	<u>8.168</u>
	<input type="checkbox"/> Public Subdivision/ <input type="checkbox"/> Private and Gated / <input checked="" type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No			
	For Fee Purposes: <input type="checkbox"/> Commercial (<u> </u> Acres)/ <input checked="" type="checkbox"/> Residential (<u>80</u> Lots) Replat: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No			
	Existing Zoning <u>AO&C3</u> Proposed Zoning <u>R-3T</u> Applied for Rezoning <input checked="" type="checkbox"/> No/ <input type="checkbox"/> Yes: Date <u> </u>			
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Town Homes</u>			
Owner	Irrigation District #	<u>HCID #2</u>	Water CCN: <input checked="" type="checkbox"/> MPU/ <input type="checkbox"/> Sharyland Water SC	Other <u> </u>
	Agricultural Exemption: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No Parcel # <u>231040</u>			
	Estimated Rollback Tax Due <u> </u> Tax Dept. Review <u> </u>			
	Name	<u>Ronald M. Beamsley Family Trust & Dorothy M. Beamsley Living Trust</u>		Phone <u>c/o 956-381-0981</u>
	Address	<u>2613 N Jackson Rd</u>		E-mail <u>mlopez@urbancitytx.com</u>
Developer	City	<u>McAllen</u>	State <u>TX</u>	Zip <u>78504</u>
	Name	<u>Vista Property Investment LLC</u>		Phone <u>c/o 956-381-0981</u>
	Address	<u>601 Pecan, Suite 150</u>		E-mail <u>mlopez@urbancitytx.com</u>
	City	<u>McAllen</u>	State <u>TX</u>	Zip <u>78504</u>
	Contact Person	<u>Marco Lopez</u>		
Engineer	Name	<u>Melden & Hunt, Inc.</u>		Phone <u>(956) 381-0981</u>
	Address	<u>115 West McIntyre Street, Edinburg, Texas 781</u>		E-mail <u>mario@meldenandhunt.com, beto@meldenandhunt.com and valeria@meldenandhunt.com</u>
	City	<u>Edinburg</u>	State <u>Texas</u>	Zip <u>78541</u>
	Contact Person <u>Mario A. Reyna, P.E., Beto De La Garza, and Valeria Garza</u>			
Surveyor	Name	<u>Melden & Hunt, Inc.</u>		Phone <u>(956) 381-0981</u>
	Address	<u>115 West McIntyre Street, Edinburg, Texas 781</u>		E-mail <u>robert@meldenandhunt.com</u>
	City	<u>Edinburg</u>	State <u>Texas</u>	Zip <u>78541</u>

RECEIVED
OCT 28 2024
By NG

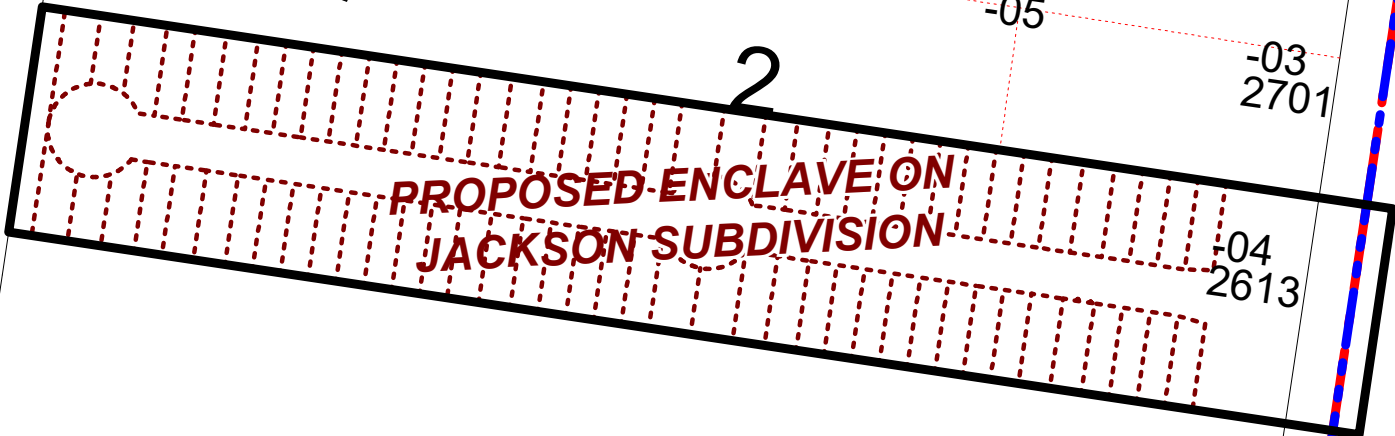
Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application	<p style="text-align: center;"><u>In Person Submittal Requirements</u></p> <ul style="list-style-type: none"> - Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes - Title Report - 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps - 2 8 ½" by 11" copies/legible copies of plat with name & north arrow - 6 Folded blue-line prints of the proposed plat - 2 Warranty Deeds (identifying owner on application) - AutoCAD 2005 DWG file and PDF of plat - Letter of Authorization from the owner (if applicable) - Proof of authority of person signing application on behalf of partnership/corporation (if applicable) 	<p style="text-align: center;"><u>Email Submittal Requirements</u></p> <ul style="list-style-type: none"> - Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes - Title Report - Sealed Survey - Location Map - Plat & Reduced Plat - Warranty Deed - DWG File - Letter of Authorization from the owner (if applicable) - Proof of authority of person signing application on behalf of partnership/corporation, if applicable <p><small>*Documents must be submitted in separate PDF files. <u>Each file must be less than 20 MB.</u> No scanned documents*</small></p> <p><small>*Submit documents to subdivisions@mcallen.net</small></p> <p style="text-align: center;">*ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL*</p>
	<p>PLAT TO SHOW:</p> <ul style="list-style-type: none"> - Metes and bounds - Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts - Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines - North arrow, scale and vicinity map - Name & dimension of adjoining street ROWs (total width & width from centerline) <p><small>Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. It is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net</small></p>	
Owner(s) Signature(s)	<p>I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.</p> <p>Signature <u></u> Date <u>10/25/2024</u></p> <p>Print Name <u>Mario A. Reyna, P.E.</u></p> <p>Owner <input type="checkbox"/> Authorized Agent <input checked="" type="checkbox"/></p> <p style="text-align: center; font-size: small;">The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion</p>	

N "K" CENTE



LOCATION



2721

-05

-03
2701

-04
2613

-00
2601

-01
2501

5

LA VISTA AVE

EXPANSION

LA ACRES

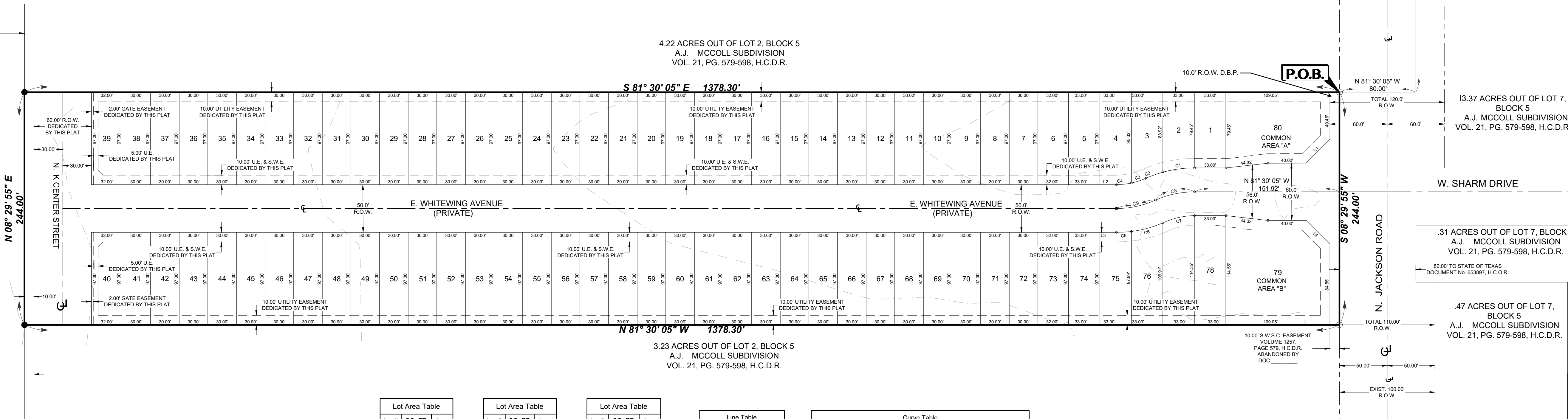
JACKSON RD

SUBDIVISION MAP OF
ENCLAVE ON JACKSON
SUBDIVISION

(A PRIVATE SUBDIVISION)

BEING A SUBDIVISION OF A 7.721 ACRES OF LAND SITUATED IN
THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, BEING A PART
OR PORTION OUT OF LOT 2, BLOCK 5, A.J. MCCOLL SUBDIVISION,
ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 21,
PAGE 579-598, HIDALGO COUNTY DEED RECORDS.

McCOLL COMMERCIAL PARK PHASE II
VOLUME 30, PAGE 76B, H.C.M.R.



Lot Area Table			
Lot #	SQ. FT.	Area	
1	2621.97	0.060	
2	2670.82	0.061	
3	2961.29	0.068	
4	3192.20	0.073	
5	3201.00	0.073	
6	3104.00	0.071	
7	2910.00	0.067	
8	2910.00	0.067	
9	2910.00	0.067	
10	2910.00	0.067	
11	2910.00	0.067	
12	2910.00	0.067	
13	2910.00	0.067	
14	2910.00	0.067	
15	2910.00	0.067	
16	2910.00	0.067	
17	2910.00	0.067	
18	2910.00	0.067	
19	2910.00	0.067	
20	2910.00	0.067	
21	2910.00	0.067	
22	2910.00	0.067	
23	2910.00	0.067	
24	2910.00	0.067	
25	2910.00	0.067	
26	2910.00	0.067	
27	2910.00	0.067	
28	2910.00	0.067	
29	2910.00	0.067	
30	2910.00	0.067	

Lot Area Table			
Lot #	SQ. FT.	Area	
31	2910.00	0.067	
32	2910.00	0.067	
33	2910.00	0.067	
34	2910.00	0.067	
35	2910.00	0.067	
36	2910.00	0.067	
37	2910.00	0.067	
38	2910.00	0.067	
39	3104.00	0.071	
40	3104.00	0.071	
41	2910.00	0.067	
42	2910.00	0.067	
43	2910.00	0.067	
44	2910.00	0.067	
45	2910.00	0.067	
46	2910.00	0.067	
47	2910.00	0.067	
48	2910.00	0.067	
49	2910.00	0.067	
50	2910.00	0.067	
51	2910.00	0.067	
52	2910.00	0.067	
53	2910.00	0.067	
54	2910.00	0.067	
55	2910.00	0.067	
56	2910.00	0.067	
57	2910.00	0.067	
58	2910.00	0.067	
59	2910.00	0.067	
60	2910.00	0.067	

Lot Area Table			
Lot #	SQ. FT.	Area	
61	2910.00	0.067	
62	2910.00	0.067	
63	2910.00	0.067	
64	2910.00	0.067	
65	2910.00	0.067	
66	2910.00	0.067	
67	2910.00	0.067	
68	2910.00	0.067	
69	2910.00	0.067	
70	2910.00	0.067	
71	2910.00	0.067	
72	2910.00	0.067	
73	3104.00	0.071	
74	3201.00	0.073	
75	3205.22	0.074	
76	3350.95	0.077	
78	3780.03	0.087	
C.A."A"	11742.03	0.270	
C.A."B"	7917.04	0.182	

Line Table			
Line #	Direction	Length	
L1	N 53° 29' 38" E	35.30'	
L2	S 81° 30' 05" E	17.21'	
L3	S 81° 30' 05" E	17.21'	
L4	N 36° 30' 30" W	35.30'	

Curve Table						
Curve #	Delta	Radius	Length	Tangent	Chord Length	Chord Direction
C1	019° 30' 51"	134.69'	33.40'	16.80'	33.30'	N 89° 12' 19" W
C2	008° 49' 52"	134.69'	19.22'	9.63'	19.20'	S 78° 42' 18" W
C3	012° 51' 42"	75.00'	15.74'	7.90'	15.72'	N 80° 20' 01" E
C4	012° 59' 04"	75.00'	15.91'	7.98'	15.88'	S 67° 34' 33" E
C5	007° 37' 34"	118.88'	15.82'	7.92'	15.81'	S 84° 42' 52" E
C6	016° 32' 43"	118.88'	34.33'	17.29'	34.21'	N 83° 11' 58" E
C7	024° 10' 45"	80.83'	34.11'	17.31'	33.86'	S 85° 28' 47" W
C8	024° 10' 45"	100.00'	42.20'	21.42'	41.89'	S 86° 24' 32" W
C9	024° 10' 45"	100.00'	42.20'	21.42'	41.89'	N 86° 24' 32" E

LEGEND
● FOUND No. 4 REBAR
○ FOUND CONCRETE MONUMENT
○ SET No. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
R.O.W. - RIGHT OF WAY
H.C.M.R. - HIDALGO COUNTY MAP RECORDS
H.C.D.R. - HIDALGO COUNTY DEED RECORDS
H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
H.C.I.D. - HIDALGO COUNTY IRRIGATION DISTRICT
N.W. COR. - NORTHWEST CORNER
P.O.B. - POINT OF BEGINNING
P.O.C. - POINT OF COMMENCEMENT
D.B.P. - DEDICATED BY PLAT
C.A. - COMMON AREA
S.W.E. - SIDEWALK EASEMENT
CL - CENTER LINE
D.B.P. - DEDICATED BY PLAT

SCALE: 1"= 60'



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

M MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS
115 W. McINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER: RODNEY BEAMSLEY	2613 NORTH JACKSON RD.	McALLEN, TEXAS 78501		
ENGINEER: MARIO A. REYNA, P.E.	1115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
SURVEYOR: RUBEN JAMES DE JESUS, R.P.L.S.	1115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839

SUBDIVISION MAP OF
ENCLAVE ON JACKSON
SUBDIVISION

(A PRIVATE SUBDIVISION)

BEING A SUBDIVISION OF A 7.721 ACRES OF LAND SITUATED IN
THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, BEING A PART
OR PORTION OUT OF LOT 2, BLOCK 5, A.J. MCCOLL SUBDIVISION,
ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 21,
PAGE 579-598, HIDALGO COUNTY DEED RECORDS.

GENERAL NOTES :

- THE SITE LIES IN ZONE "B". ZONE "B" IS DEFINED AS * AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD.
ZONE "B" SHOWN ON:
COMMUNITY-PANEL NUMBER: 480334 0425 C
MAP REVISED: NOVEMBER 16, 1982
- MINIMUM FINISH FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB AT CENTER OF LOT.
- MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF McALLEN ZONING CODE:

FRONT:	10 FEET OR GREATER FOR EASEMENTS
REAR:	IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS
CORNER:	10 FEET OR GREATER FOR EASEMENTS
SIDES:	IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS
GARAGE:	18 FEET EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES.
- REQUIRED DETENTION FOR STORM SEWER RUNOFF PER THE APPROVED DRAINAGE REPORT SHALL BE 62,353 CUBIC FEET. STORM WATER RUNOFF GENERATED FROM DEVELOPMENT SHALL BE DETAINED ON-SITE VIA A DETENTION POND WITH A CAPACITY OF 62,353 CUBIC FEET. WATER WILL THEN DISCHARGE THROUGH AN 24" BLEEDER LINE INTO AN EXISTING TxDOT STORM SEWER NETWORK LOCATED ON THE SOUTHEAST SIDE OF THE PROPERTY ALONG JACKSON ROAD.
- CITY OF McALLEN BENCHMARK: "MC 68" FROM THE CITY OF McALLEN G.P.S. REFERENCE MARKS LIST PREPARED BY GLICK, LINN ON OCTOBER 06, 1999. BEING LOCATED ON NORTHEAST CORNER OF THE INTERSECTION OF JACKSON ROAD & EL DORA ROAD, 30" ALUM. PIPE WITH A 3 1/2" BRASS MONUMENT CAP ON TOP AT ELEVATION = 111.23, NORTHING: 16608729.2851, EASTING: 1082910.61419 (NAV08).
- NO STRUCTURES PERMITTED TO BE BUILT OVER EASEMENTS.
- 25 X 25 SIGHT OBSTRUCTION CLIP REQUIRED AT ALL STREET INTERSECTIONS AND 10 X 10 CORNER CLIP REQUIRED AT ALL STREET AND ALLEY INTERSECTIONS.
- 4 FT. WIDE MINIMUM SIDEWALK REQUIRED ALONG WEST R.O.W. OF N. JACKSON ROAD, AND 4FT. WIDE MINIMUM SIDEWALK REQUIRED ALONG BOTH SIDES OF INTERNAL STREETS AND ALONG THE EAST R.O.W. OF N. K CENTER STREET
- 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES, AND ALONG NORTH JACKSON ROAD AND N. K CENTER STREET
- 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE-FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- SET No. 4 REBARS WITH PLASTIC CAP STAMPED MELDEN AND HUNT ON ALL LOT CORNERS.
- COMMON OR DETENTION AREAS, ANY PRIVATE STREET/ALLEYS, AND/OR GATES MUST BE MAINTAINED BY THE PROPERTY OWNERS/ HOA AND NOT THE CITY OF McALLEN.
- NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG NORTH JACKSON ROAD AND NORTH K CENTER STREET.
- AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS, FOR THE ENCLAVE ON JACKSON SUBDIVISION RECORDED UNDER DOCUMENT NUMBER _____, HIDALGO COUNTY OFFICIAL RECORDS, DEVELOPER/HOMEOWNERS ASSOCIATION/OWNER, THEIR SUCCESSORS AND/OR ASSIGNS, AND NOT THE CITY OF McALLEN SHALL BE RESPONSIBLE OF INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 134-168 OF THE CODE OF ORDINANCE OF THE CITY OF McALLEN, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND DETENTION PONDS. ANY AMENDMENT TO DECLARATION THAT CONFLICT WITH THE REQUIREMENTS OF SECTION 134-168 SHALL BE NULL & VOID.
- COMMON LOT A AND B, IDENTIFIED AS DETENTION AREAS SHALL BE MAINTAINED BY THE DEVELOPER WHO MAY TRANSFER SUCH MAINTENANCE OBLIGATION TO THE SUBDIVISION HOMEOWNERS ASSOCIATION, ENCLAVE ON JACKSON SUBDIVISION HOMEOWNERS ASSOCIATION UPON CONVEYANCE OF TITLE TO THE SAME, THEIR SUCCESSORS AND ASSIGNEES, AND NOT BY THE CITY OF McALLEN. NO BUILDINGS OR OTHER STRUCTURES SHALL BE ERECTED IN COMMON AREA A & B, WHICH SHALL BE USED EXCLUSIVELY AS DETENTION AREAS. AFTER COMMON AREAS A & B TRANSFER OF TITLE TO THE ENCLAVE ON JACKSON SUBDIVISION HOMEOWNERS ASSOCIATION THE SUBDIVISION LOT OWNERS PRO RATA SHARES OF THE COST OF MAINTENANCE SHALL BE DETERMINED BY THE ENCLAVE ON JACKSON SUBDIVISION HOMEOWNER'S ASSOCIATION. FAILING IN SUCH MAINTENANCE OBLIGATIONS, THE CITY OF McALLEN MAY, BUT SHALL NOT BE REQUIRED TO MAINTAIN THE SAME AT THE LOT OWNER'S COST, WHICH COST MAY BECOME A LIEN AGAINST THEIR PROPERTIES. PRIOR TO THE IMPOSITION OF ANY LIEN, THE CITY SHALL FIRST COMPLY WITH NOTICE REQUIREMENTS SIMILAR TO THOSE UNDER EXISTING ORDINANCE SECTION 134-168(a), AS THE SAME MAY BE AMENDED. THE SPECIFIC AND EXCLUSIVE USE OF COMMON AREAS A & B ARE THE OWNER'S MAINTENANCE OBLIGATION, AND THE CONSEQUENCES OF FAILURE TO MAINTAIN SHALL BE INCORPORATED INTO ANY DEED OR INSTRUMENT OF CONVEYANCE AS A DEED RESTRICTION. RECORDED IN INSTRUMENT No. _____ OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.
- ALL EASEMENTS TO BE DEDICATED BY THIS PLAT UNLESS STATED OTHERWISE.
- PARKLAND DEDICATION VARIANCE WITH THE FOLLOWING CONDITIONS WAS APPROVED FIFTY (50) PERCENT OF PARK FEES TO BE PAID UPFRONT PRIOR TO PLAT RECORDING THE REMAINING FIFTY (50) PERCENT OF PARK FEES TO BE PAID THROUGH THE BUILDING PERMIT APPLICATION PROPOSES. TOTAL PARK FEES FOR ENCLAVE ON JACKSON SUBDIVISION IS BASED ON \$700 PER LOT/DWELLING UNIT FOR EACH OF THE PROPOSED TOWNHOMES. A TOTAL OF 19 DWELLING UNITS FOR A TOTAL OF \$27,300.00 DOLLARS TO BE PAID BEFORE RECORDING. AFTER THE FEES RATE OF \$350 PER LOT/DWELLING UNIT WILL BE PAID AT THE TIME OF BUILDING PERMIT ISSUANCE UNTIL THE PARK FEES ARE PAID IN FULL VARIANCE OF "FEES IN LIEU OF LAND DEDICATION" WAS APPROVED ON _____ WITH THE CONDITIONS LISTED.

METES AND BOUNDS DESCRIPTION:

A TRACT OF LAND CONTAINING 7.721 ACRES SITUATED IN THE CITY OF McALLEN, COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF LOT 2, BLOCK 5, A.J. MCCOLL SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 21, PAGES 579-598, HIDALGO COUNTY MAP RECORDS, WHICH SAID 7.721 ACRE WERE CONVEYED TO DOROTHY M. BEAMSLEY, TRUSTEE OF THE RONALD M. BEAMSLEY FAMILY TRUST, BY VIRTUE OF A CORRECTION DEED RECORDED UNDER DOCUMENT NUMBER 2495249, HIDALGO COUNTY OFFICIAL RECORDS, SAID 7.721 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 2, BLOCK 5;

THENCE, S 08° 29' 55" W ALONG THE EAST LINE OF SAID LOT 2, BLOCK 5 AND WITHIN THE EXISTING RIGHT-OF-WAY OF N. JACKSON ROAD, A DISTANCE OF 353.43 FEET TO A POINT.

THENCE, N 81° 30' 05" W A DISTANCE OF 80.00 FEET TO A NO. 4 REBAR SET AT THE EXISTING WEST RIGHT-OF-WAY LINE OF N. JACKSON ROAD FOR THE NORTHEAST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

1. THENCE, S 08° 29' 55" W ALONG THE EXISTING WEST RIGHT-OF-WAY LINE OF N. JACKSON ROAD, A DISTANCE OF 244.00 FEET TO THE SOUTHEAST CORNER OF THIS TRACT;

2. THENCE, N 81° 30' 05" W A DISTANCE OF 1,378.30 FEET TO A NO. 4 REBAR SET FOR THE SOUTHWEST CORNER OF THIS TRACT;

3. THENCE, N 08° 29' 55" E ALONG THE WEST LINE OF LOT 2, BLOCK 5, A DISTANCE OF 244.00 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER OF THIS TRACT;

4. THENCE, S 81° 30' 05" E A DISTANCE OF 1,378.30 FEET TO THE POINT OF BEGINNING AND CONTAINING 7.721 ACRES OF LAND, MORE OR LESS.

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN

DATE

ATTEST:

CITY SECRETARY

DATE

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION

DATE

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 2 ON THIS,
THE ____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT No. 2 RIGHT OF WAYS OR EASEMENTS.

ATTEST:

PRESIDENT

SECRETARY

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

IWE, THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS ENCLAVE ON JACKSON SUBDIVISION, DO HEREBY GRANT AN ACCESS AND UTILITY EASEMENT TO THE CITY OF McALLEN AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY. THE USE OF THE STREET(S), ALLEY(S) AND EASEMENTS THEREON SHOWN, SURFACE USE OF THE STREET(S) AND ALLEY(S) IS RESTRICTED TO THE EMPLOYEES OR AGENTS OF THE CITY OF McALLEN TO THE EMPLOYEES OF UTILITIES OPERATING UNDER FRANCHISE TO THE CITY OF McALLEN AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. THE OWNER DOES HEREBY DEDICATE TO THE USE OF THE PUBLIC THE PORTION OF N. JACKSON ROAD AND N. "K" CENTER STREET FOR THE USE AS STREET RIGHT OF WAY DEDICATED TO THE CITY OF McALLEN BY THIS PLAT.

RONALD M BEAMSLEY FAMILY TRUST & DOROTHY M. BEAMSLEY LIVING TRUST
2613 NORTH JACKSON ROAD
McALLEN, TEXAS 78501

RUSSELL LAURENCE BEAMSLEY, TRUSTEE

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RODNEY BEAMSLEY KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND

SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20____.

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RUSSELL LAURENCE BEAMSLEY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND

AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20____.

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

STATE OF TEXAS
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.
DATED THIS THE ____ DAY OF _____, 20____.

MARIO A. REYNA, P.E. # 117368
DATE PREPARED: 10-03-2024
STATE OF TEXAS

DATE:

REVISED:
ENGINEERING JOB No. 24138.00

STATE OF TEXAS
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, RUBEN JAMES DE JESUS, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PRESENTED PLAT AND DESCRIPTION OF ENCLAVE ON JACKSON SUBDIVISION, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON 11-07-24, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.
DATED THIS THE ____ DAY OF _____, 20____.

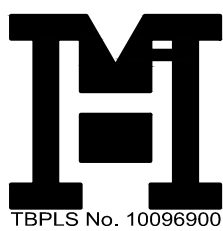
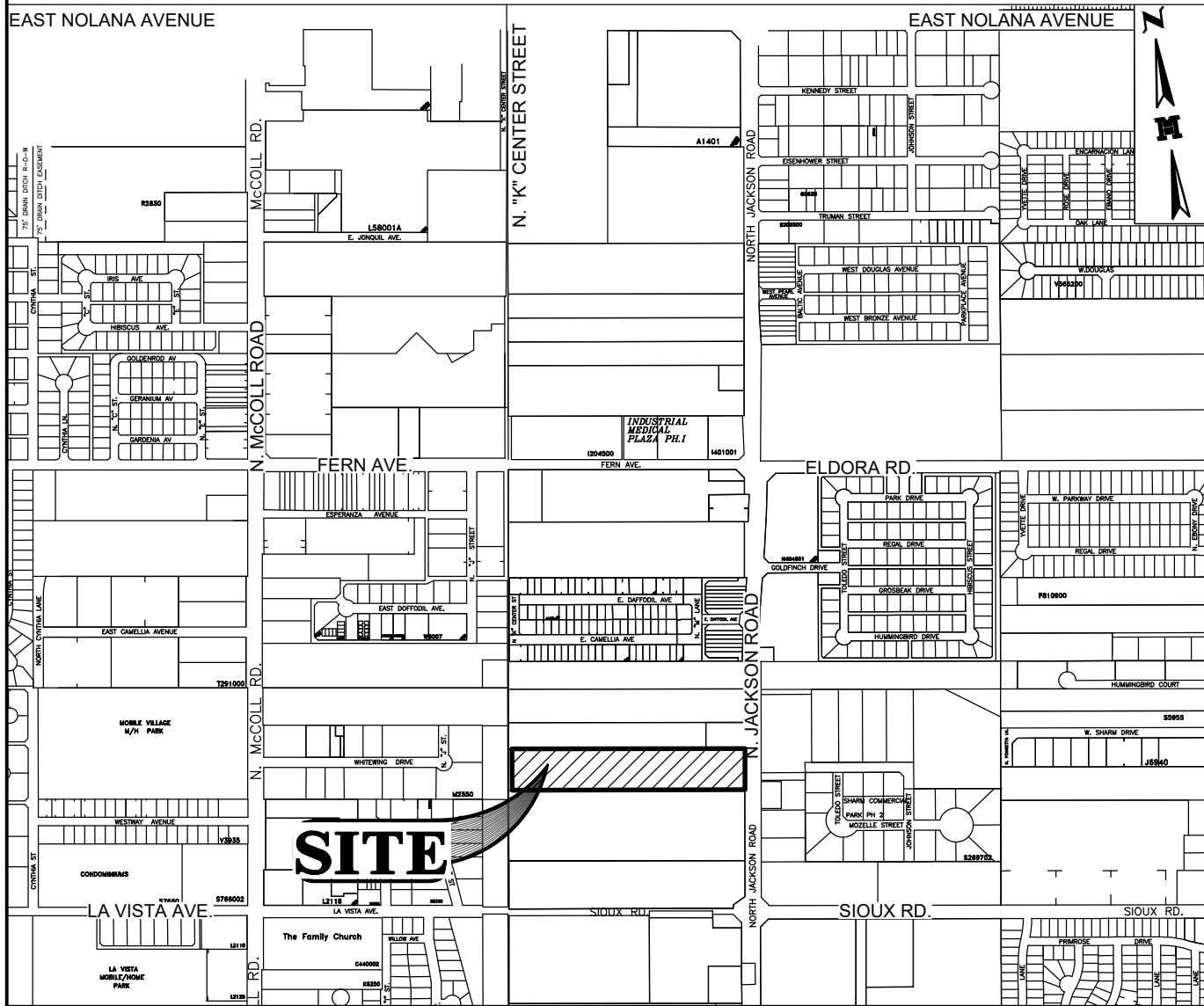
RUBEN JAMES DE JESUS, R.P.L.S. # 6813
STATE OF TEXAS

DATE:

DATE SURVEYED: 11-07-24
SURVEY JOB No. 24138.08

DRAWN BY: JOSH F./A.D. DATE 3-03-24
REVISED BY: DATE
SURVEYED, CHECKED DATE
FINAL CHECK DATE

LOCATION MAP
SCALE: 1"=1000'



MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS

115 W. McINTYRE - EDINBURG, TX. 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER: RODNEY BEAMSLEY	2613 NORTH JACKSON RD.	McALLEN, TEXAS 78501		
ENGINEER: MARIO A. REYNA, P.E.	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
SURVEYOR: RUBEN JAMES DE JESUS, R.P.L.S.	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 2/26/2025

SUBDIVISION NAME: ENCLAVE ON JACKSON

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

N. Jackson Road: Dedication needed for 60 ft. from centerline for 120 ft. total ROW
Paving: By State Curb & gutter: by State
Revisions needed:
- Provide a copy of referenced documents for staff review prior to final/recording.
**Ensure that ROW complies with State plans for N. Jackson Road, any acquisitions should be included with document number, dimensions, and labeling, finalize prior to final/recording.
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to recording.
**COM Thoroughfare Plan
**The project engineer had originally submitted a variance request to the ROW dedication requirement to N. Jackson Road. However, staff determined that the subdivision complied with City's requirement for ROW dedication to N. Jackson Road; therefore, a variance would not be needed.

Required

N/S quarter mile collector (on the west side): Dedication as needed for 60 ft. total ROW
Paving: 40 ft. Curb & gutter: both sides
Revisions needed:
- Clarify if the existing H.C.I.D. #2 easement inside this subdivision will be dedicated to the District prior to final/recording. Revise the layout as applicable prior to final/recording.
- If the easement is intended to be dedicated as street ROW, an abandonment will be needed by a separate process prior to final/recording.
- Provide a copy of the H.C.I.D. No. 2 easement document for staff review prior to final/recording.
- Name of the street will be finalized prior to final/recording.
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to recording.
**COM Thoroughfare Plan

Required

Interior Street: Dedication as needed for 60 ft. total ROW
Paving: 40 ft. Curb & gutter: both sides
Revisions needed:
- It seems that the centerline shown on W. Sharm Street is not drawn on the center. Clarify and revise as applicable prior to final/recording. As per Sec. 134-105, Street jogs with centerline offsets of less than 125 feet shall be avoided.
- Name of the street will be finalized prior to final/recording.
- As per the submitted application, the subdivision will be private but not gated. However, gate details have been submitted. The original application must be revised and gate details must be reviewed and approved by staff prior to final/recording.
- If the subdivision layout changes, a revised final approval will be needed by the Planning and Zoning Commission.
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to recording.
**COM Thoroughfare Plan

Required

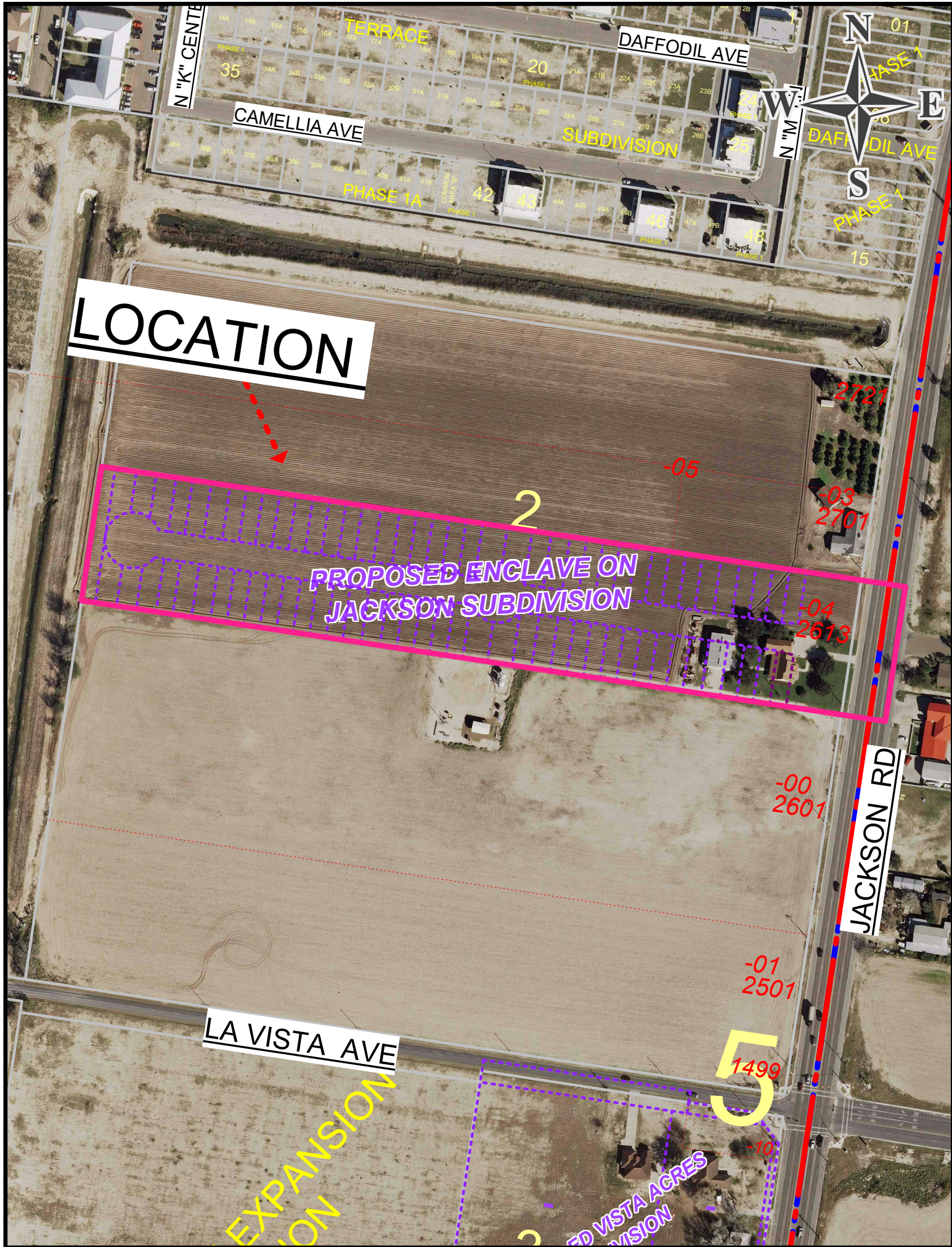
*** Project engineer submitted a variance application (VAR2025-0002) on behalf of the developer with the following requests:
1. Request to approve the proposed block length (approximately 1,340 ft.) in lieu of 900 ft. block length.
2. Request to allow interior street with 50 ft. ROW, 40 ft. paving, and 10 ft. sidewalk and utility easement on both sides, in lieu of 60 ft. ROW with 40 ft. paving.
**The originally submitted letter included a variance to ROW dedication to N. Jackson Road as

<p>well. However, staff determined that the subdivision complied with City's requirement for ROW dedication to N. Jackson Road; therefore, a variance would not be needed.</p> <p>*** The Planning and Zoning Commission considered the subdivision in revised preliminary form at their meeting of February 18, 2025. After a brief discussion, the Board approved the subdivision in preliminary form, subject to the conditions noted, drainage, and utilities approval, and recommended approval of the requested variances. City Commission approved the variance as requested by the applicant and recommended by Planning and Zoning Commission on March 24, 2025.</p>	
<p>Paving _____ Curb & gutter _____</p> <p>**Subdivision Ordinance: Section 134-105</p> <p>**Monies must be escrowed if improvements are required prior to final/recording</p> <p>**COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length</p> <p>**Subdivision Ordinance: Section 134-118</p>	NA
<p>* 900 ft. Block Length for R-3T & R-3C Zone Districts</p> <p>**Subdivision Ordinance: Section 134-118</p> <p>*** Project engineer submitted a variance application (VAR2025-0002) on behalf of the developer with the following requests:</p> <ol style="list-style-type: none"> 1. Request to approve the proposed block length (approximately 1,340 ft.) in lieu of 900 ft. block length. 2. Request to allow interior street with 50 ft. ROW, 40 ft. paving, and 10 ft. sidewalk and utility easement on both sides, in lieu of 60 ft. ROW with 40 ft. paving. <p>**The originally submitted letter included a variance to ROW dedication to N. Jackson Road as well. However, staff determined that the subdivision complied with City's requirement for ROW dedication to N. Jackson Road; therefore, a variance would not be needed.</p> <p>*** The Planning and Zoning Commission considered the subdivision in revised preliminary form at their meeting of February 18, 2025. After a brief discussion, the Board approved the subdivision in preliminary form, subject to the conditions noted, drainage, and utilities approval, and recommended approval of the requested variances. City Commission approved the variance as requested by the applicant and recommended by Planning and Zoning Commission on March 24, 2025.</p> <p>* 600 ft. Maximum Cul-de-Sac</p> <p>- Revised layout does not show a cul-de-sac anymore.</p> <p>**Subdivision Ordinance: Section 134-105</p>	Applied
ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft.</p> <p>- As per Public Works Department curbside collection was approved by Public Works Director subject to conditions. Must follow the conditions prior to final/recording.</p> <p>*Alley/service drive easement required for commercial and multifamily properties.</p> <p>**Subdivision Ordinance: Section 134-106</p>	Applied
SETBACKS	
<p>* Front: 10 ft. or greater for easements.</p> <p>**Zoning Ordinance: Section 138-356</p>	Applied
<p>* Rear: In accordance with the zoning ordinance or greater for easements</p> <p>**Zoning Ordinance: Section 138-356</p>	Applied
<p>* Sides: In accordance with the zoning ordinance or greater for easements or approved site plan</p> <p>**Zoning Ordinance: Section 138-356</p>	Applied
<p>* Corner: 10 ft. or greater for easements</p> <p>**Zoning Ordinance: Section 138-356</p>	Applied

* Garage: 18 ft. except where greater setback is required, greater setback applies	Applied
**Zoning Ordinance: Section 138-356	
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 5 ft. wide minimum sidewalk required on N. Jackson Road and 4 ft. wide minimum sidewalk required on both sides of all interior streets and N. K Center Street. - As per Engineering Department, 5 ft. wide minimum sidewalk is required on TxDOT roads. The setback note must be finalized prior to final/recording; however, 4 ft. wide minimum sidewalk is required on both sides of N. K Center Street. - Proposing: 4 ft. wide minimum sidewalk required along west ROW of N. Jackson Road and 4 ft. wide minimum sidewalk required along both sides of interior streets and the East ROW of N. K Center Street. **Subdivision Ordinance: Section 134-120	Required
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses AND along N. Jackson Road and N. K Center Street. - Plat note will be finalized once ROW dedication and street name for N/S quarter mile collector is finalized. **Landscaping Ordinance: Section 110-46	Required
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
NOTES	
* No curb cut, access, or lot frontage permitted along N. Jackson Road and N. K Center Street. - Plat note will be finalized once ROW dedication and street name for N/S quarter mile collector is finalized. **Must comply with City Access Management Policy	Required
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance for five or more attached dwelling units. **Section 138-210 requires that any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development. - A site plan is recommended to be submitted prior to final/recording to verify compliance with city codes including parking, landscaping, etc.	Applied
* Common Areas, any private streets/drives, etc. must be maintained by the lot owners/HOA and not the City of McAllen.	Applied
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Applied
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.	Required

<ul style="list-style-type: none"> - Submit a copy of the draft HOA document prior to recording. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public/private streets **Subdivision Ordinance: Section 134-1 	Applied
<ul style="list-style-type: none"> * Minimum lot width and lot area **Zoning Ordinance: Section 138-356 	Applied
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: A-O & C-3 Proposed: R-3T - Two rezoning requests (REZ2024-0068 & REZ2024-0069) for the subject property to rezone A-O and C-3 Districts to R-3T was approved by the City Commission on 01/27/2025. The project engineer must verify if the lots boundaries are within the R-3T zone prior to final/recording. ***Zoning Ordinance: Article V 	Required
<ul style="list-style-type: none"> * Rezoning Needed Before Final Approval - Two rezoning requests (REZ2024-0068 & REZ2024-0069) for the subject property to rezone A-O and C-3 Districts to R-3T was approved by the City Commission on 01/27/2025. The project engineer must verify if the lots boundaries are within the R-3T zone prior to final/recording. ***Zoning Ordinance: Article V 	Required
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. - Based on the submitted application and plat, 78 townhomes are proposed. As per Parks Department, park land dedication of 1.24 acres will be required prior to final/recording. A variance request to pay half of the fees prior to final and the other half prior to building permit issuance has been submitted and is under review. If the variance request is approved, a plat note to reflect the approved variance will be required prior to recording. 	Required
<ul style="list-style-type: none"> * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. - Based on the submitted application and plat, 78 townhomes are proposed. As per Parks Department, park land dedication of 1.24 acres will be required prior to final/recording. A variance request to pay half of the fees prior to final and the other half prior to building permit issuance has been submitted and is under review. If the variance request is approved, a plat note to reflect the approved variance will be required prior to recording. 	Required
<ul style="list-style-type: none"> * Pending review by the City Manager's Office. - A variance request to pay half of the fees prior to final and the other half prior to building permit issuance has been submitted and is under review. If the variance request is approved, a plat note to reflect the approved variance will be required prior to recording. 	TBD
TRAFFIC	
<ul style="list-style-type: none"> * As per Traffic Department, Trip Generation was approved and no TIA is required. 	Applied
<ul style="list-style-type: none"> * Traffic Impact Analysis (TIA) required prior to final plat. 	NA
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> - Any abandonment must be done by a separate process, not by plat. - All lots may have only one number/letter. Correct any lots with two labels prior to final/recording (e.g. Lot 79/Common Area "A" & Lot 80/Common Area "B"). - Clarify if the existing H.C.I.D. #2 easement inside this subdivision will be dedicated to the District prior to final/recording. Revise the layout as applicable prior to final/recording. 	Required

<p>- If the easement is intended to be dedicated as street ROW, an abandonment will be needed by a separate process prior to final/recording.</p> <p>- If the subdivision layout changes, a revised final approval will be needed by the Planning and Zoning Commission.</p> <p>*Must comply with City's Access Management Policy.</p> <p>*** Project engineer submitted a variance application (VAR2025-0002) on behalf of the developer with the following requests:</p> <ol style="list-style-type: none"> 1. Request to approve the proposed block length (approximately 1,340 ft.) in lieu of 900 ft. block length. 2. Request to allow interior street with 50 ft. ROW, 40 ft. paving, and 10 ft. sidewalk and utility easement on both sides, in lieu of 60 ft. ROW with 40 ft. paving. <p>**The originally submitted letter included a variance to ROW dedication to N. Jackson Road as well. However, staff determined that the subdivision complied with City's requirement for ROW dedication to N. Jackson Road; therefore, a variance would not be needed.</p> <p>*** The Planning and Zoning Commission considered the subdivision in revised preliminary form at their meeting of February 18, 2025. After a brief discussion, the Board approved the subdivision in preliminary form, subject to the conditions noted, drainage, and utilities approval, and recommended approval of the requested variances. City Commission approved the variance as requested by the applicant and recommended by Planning and Zoning Commission on March 24, 2025.</p>	
RECOMMENDATION	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVAL.</p>	Applied



LOCATION

PROPOSED ENCLAVE ON JACKSON SUBDIVISION

LA VISTA AVE

DAFFODIL AVE

CAMELLIA AVE

JACKSON RD

EXPANSION

ED VISTA ACRES



SUB2022-0125

City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>North Ridge Estates Subdivision</u>	
	Location <u>West ROW of Nth 23rd Street and north of Oxford Avenue</u>	
	City Address or Block Number <u>9501 N. 23RD ST.</u>	
	Number of Lots <u>13</u>	Gross Acres <u>11.425</u> Net Acres _____ ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Existing Zoning <u>R1</u> Proposed Zoning <u>R1</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Residential</u> Irrigation District # <u>HCID#1</u>	
	Replat <input type="checkbox"/> Yes <input type="checkbox"/> No Commercial <u>N/A</u> Residential _____	
	Agricultural Exemption <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Estimated Rollback Tax Due <u>\$1,094.97 (ESTIMATE)</u>	
	Parcel # <u>297644</u> Tax Dept. Review <u>[Signature]</u>	
	Water CCN <input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____	
Legal Description <u>11.425 acres, being out of Lot 14, Section 279, Texas Mexican Railway Company Survey Subdivision, according to the plat thereof recorded in Volume 24, Page 168-171, H.C.D.R.</u>		
Owner	Name <u>Domain Development Corp</u> Phone <u>(956) 661-8888</u>	
	Address <u>100 East Nolana Avenue</u> E-mail <u>shavi@aurielinvestments.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>	
Developer	Name <u>Domain Development Corp</u> Phone <u>(956) 661-8888</u>	
	Address <u>100 East Nolana Avenue</u> E-mail <u>shavi@aurielinvestments.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>	
	Contact Person <u>Shavi Mahtani</u>	
Engineer	Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u>	
	Address <u>115 West McIntyre Street</u> E-mail <u>mario@meldenandhunt.com</u>	
	City <u>Edinburg</u> State <u>TX</u> Zip <u>78541</u>	
	Contact Person <u>Mario A Reyna and/or Della Robles</u>	
Surveyor	Name <u>Melden & Hunt, Inc.</u> Phone <u>956.381.0981</u>	
	Address <u>115 West McIntyre Street</u> E-mail <u>robert@meldenandhunt.com</u>	
	City <u>Edinburg</u> State <u>TX</u> Zip <u>78541</u>	

ENTERED

OCT 26 2022

Initial: Nm

Namb

7810-8802802

Proposed Plat Submittal

- ✓ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ✓ Title Report
- ✓ 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- ✓ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- ✓ 6 Folded blueline prints of the proposed plat
- ✓ 2 Warranty Deeds (identifying owner on application)
- ✓ AutoCAD 2005 DWG file and PDF of plat
- ✓ Letter of Authorization from the owner, if applicable
- ✓ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Minimum Developer's Requirements Submitted with Application

Owners Signature

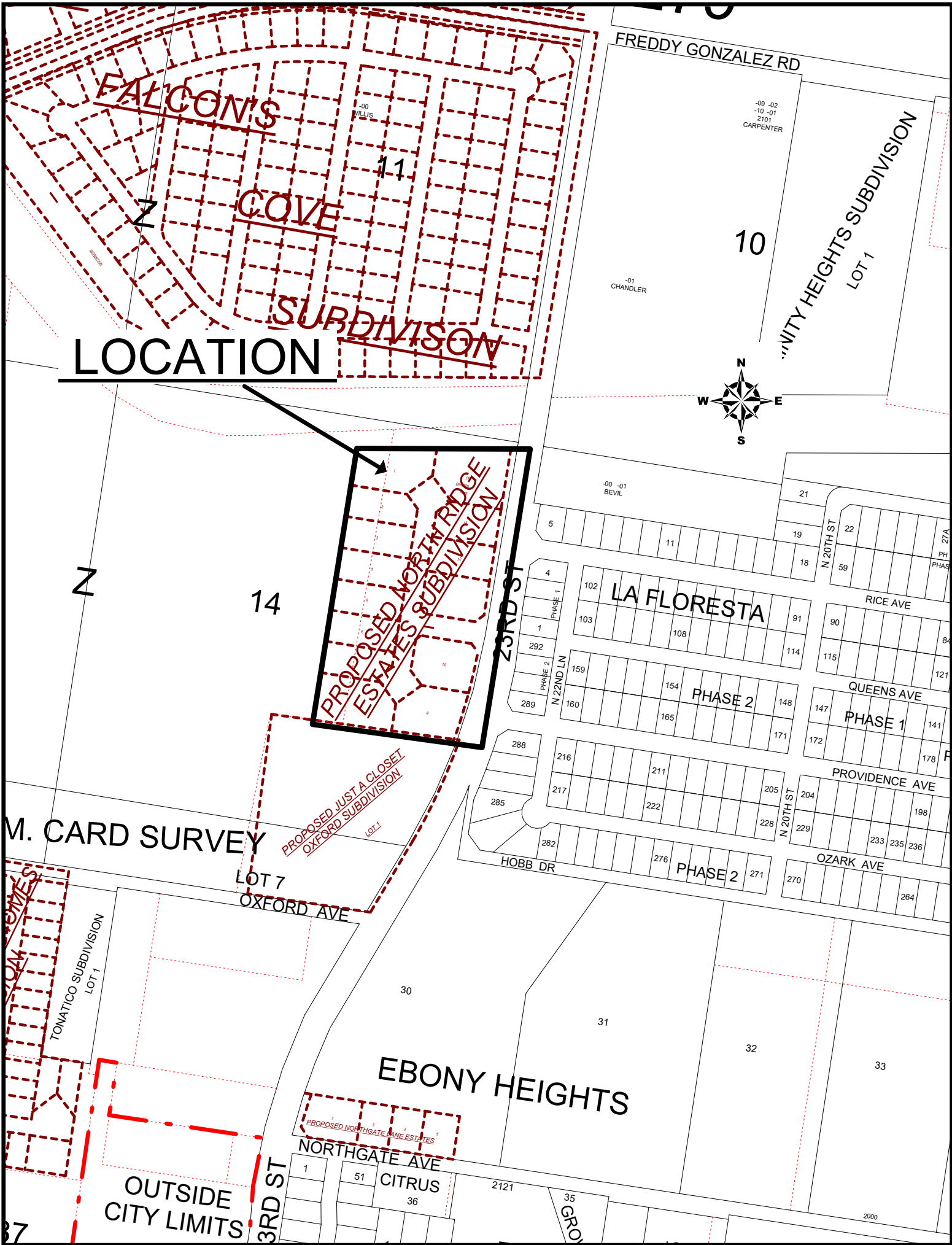
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

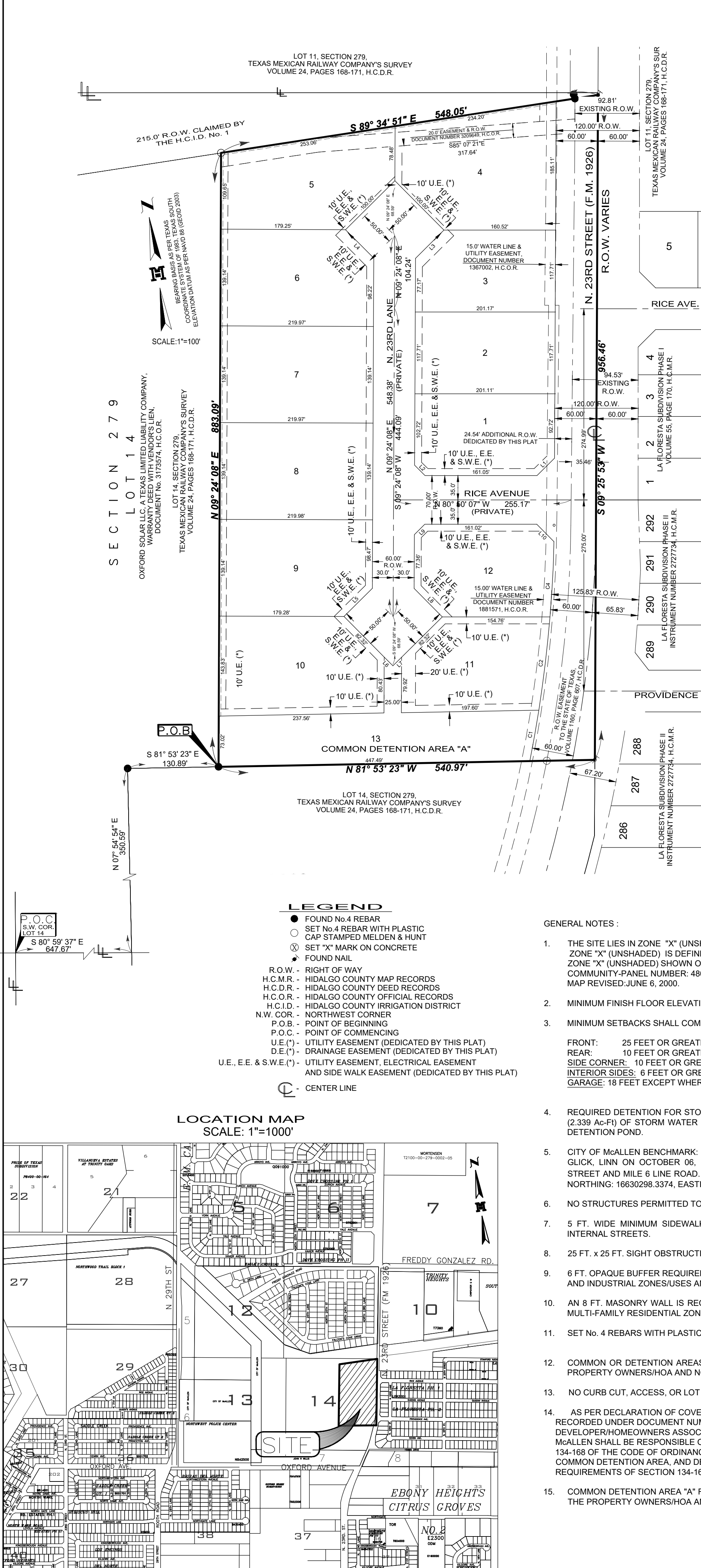
Signature  Date 10-24-20

Print Name Mario A. Reyna, P.E

Owner ☐

Authorized Agent ☒





Curve Table						
Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Tangent
C1	74.40'	1,845.93'	002° 18' 33"	N19° 12' 30"E	74.39'	37.20'
C2	135.17'	1,845.93'	004° 11' 44"	N15° 57' 22"E	135.14'	67.62'
C4	108.41'	1,500.11'	004° 08' 28"	N12° 10' 33"E	108.39'	54.23'

Boundary Line Table		
Line #	Direction	Length
L1	N 54° 17' 53" E	35.44'
L2	S 35° 43' 00" E	21.17'
L3	S 54° 24' 08" W	57.57'
L4	N 35° 35' 52" W	57.57'
L5	N 54° 24' 08" E	57.57'
L6	S 35° 35' 52" E	17.68'
L7	N 54° 24' 08" E	17.68'
L8	S 35° 35' 52" E	57.57'
L9	S 54° 17' 00" W	21.28'
L10	S 35° 21' 54" E	35.06'

Lot Area Table		
Lot #	SQ. FT.	Area
1	23245.07	0.534
2	23676.62	0.544
3	22858.44	0.525
4	36180.35	0.831
5	29849.60	0.685
6	29753.50	0.683
7	30606.07	0.703
8	30607.10	0.703
9	29780.23	0.684
10	31852.42	0.731
11	26333.83	0.605
12	25275.44	0.580
COM DET	34989.07	0.803

METES AND BOUNDS DESCRIPTION:

A TRACT OF LAND CONTAINING 11.425 ACRES SITUATED IN THE CITY OF McALLEN, TEXAS, BEING A PART OR PORTION OUT OF LOT 14, SECTION 279, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 24, PAGES 168-171, HIDALGO COUNTY DEED RECORDS, WHICH SAID 11.425 ACRES ARE OUT OF A CERTAIN TRACT CONVEYED TO DOMAIN DEVELOPMENT CORP., A TEXAS CORPORATION, BY VIRTUE OF A WARRANTY DEED WITH VENDORS LIEN RECORDED UNDER DOCUMENT NUMBER 3293889, HIDALGO COUNTY OFFICIAL RECORDS, SAID 11.425 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

- COMMENCING AT THE SOUTHWEST CORNER OF SAID LOT 14;
- THENCE, S 08° 59' 57" E ALONG THE SOUTH LINE OF SAID LOT 14, A DISTANCE OF 647.67 FEET;
- THENCE, N 07° 54' 54" E A DISTANCE OF 350.59 FEET
- THENCE, S 81° 53' 23" E A DISTANCE OF 130.89 FEET TO A NO. 4 REBAR FOUND FOR THE SOUTHWEST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;
1. THENCE, N 09° 24' 08" E A DISTANCE OF 883.09 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER OF THIS TRACT;
 2. THENCE, S 89° 34' 51" E AT A DISTANCE OF 514.59 PASS A NO. 4 REBAR FOUND ON THE WEST RIGHT-OF-WAY LINE OF N. 23rd STREET (F.M. 1926), CONTINUING A TOTAL DISTANCE OF 548.05 FEET TO A NAIL SET FOR THE NORTHEAST CORNER OF THIS TRACT;
 3. THENCE, S 09° 25' 53" W, ALONG THE EAST LOT LINE OF SAID LOT 14 AND WITHIN THE EXISTING RIGHT-OF-WAY OF N. 23rd STREET (F.M. 1926), A DISTANCE OF 956.46 FEET TO A NAIL SET FOR THE SOUTHEAST CORNER OF THIS TRACT;
 4. THENCE, N 81° 53' 23" W AT A DISTANCE OF 69.00 FEET PASS A NO. 4 REBAR SET AT THE EXISTING WEST RIGHT-OF-WAY LINE OF N. 23rd STREET, CONTINUING A TOTAL DISTANCE OF 540.97 FEET THE POINT OF BEGINNING AND CONTAINING 11.425 ACRES, OF WHICH 0.853 OF ONE ACRE LIES WITHIN THE RIGHT-OF-WAY OF N 23rd STREET (F.M. 1926), LEAVING A NET OF 10.572 ACRES OF LAND, MORE OR LESS.

- GENERAL NOTES :
1. THE SITE LIES IN ZONE "X" (UNSHADED). ZONE "X" (UNSHADED) IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN. ZONE "X" (UNSHADED) SHOWN ON: COMMUNITY-PANEL NUMBER: 480334 0325 D MAP REVISED-JUNE 6, 2000.
 2. MINIMUM FINISH FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB AT CENTER OF LOT.
 3. MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF McALLEN ZONING CODE:
FRONT: 25 FEET OR GREATER FOR EASEMENTS
REAR: 10 FEET OR GREATER FOR EASEMENTS
SIDE CORNER: 10 FEET OR GREATER FOR EASEMENTS
INTERIOR SIDES: 6 FEET OR GREATER FOR EASEMENTS
GARAGE: 18 FEET EXCEPT WHERE GREATER SETBACK IS REQUIRED, GREATER SETBACK APPLIES.
 4. REQUIRED DETENTION FOR STORM SEWER RUNOFF PER THE APPROVED DRAINAGE REPORT SHALL BE 101,882 C.F. (2,339 Ac-Ft) OF STORM WATER RUNOFF GENERATED FROM DEVELOPMENT SHALL BE DETAINED ON-SITE WITHIN A DETENTION POND.
 5. CITY OF McALLEN BENCHMARK: "MC 45" FROM THE CITY OF McALLEN G.P.S. REFERENCE MARKS LIST PREPARED BY GLICK, LINN ON OCTOBER 06, 1999, BEING LOCATED ON NORTHEAST CORNER OF THE INTERSECTION OF 10TH STREET AND MILE 6 LINE ROAD. 30" ALUM. PIPE WITH A 3" BRASS MONUMENT CAP ON TOP AT ELEVATION = 111.59, NORTHING: 16630298.3374, EASTING: 1072459.20393 (NAV/D88).
 6. NO STRUCTURES PERMITTED TO BE BUILT OVER EASEMENTS.
 7. 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ALONG NORTH 23RD STREET (F.M. 1926), AND BOTH SIDES OF ALL INTERNAL STREETS.
 8. 25 FT. x 25 FT. SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS.
 9. 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL AND INDUSTRIAL ZONES/USES AND ALONG NORTH 23RD STREET (F.M. 1926) .
 10. AN 8 FT. MASONRY WALL IS REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
 11. SET NO. 4 REBARS WITH PLASTIC CAP STAMPED MELDEN AND HUNT ON ALL LOT CORNERS.
 12. COMMON OR DETENTION AREAS, ANY PRIVATE STREET/ALLEYS, AND/OR GATES AREAS MUST MAINTAINED BY THE PROPERTY OWNERS/HOA AND NOT THE CITY OF McALLEN.
 13. NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG NORTH 23RD STREET (F.M. 1926).
 14. AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS, FOR THE NORTH RIDGE SUBDIVISION RECORDED UNDER DOCUMENT NUMBER _____, HIDALGO COUNTY OFFICIAL RECORDS, DEVELOPER/HOMEOWNERS ASSOCIATION/OWNER, THEIR SUCCESSORS AND/OR ASSIGNS, AND NOT THE CITY OF McALLEN SHALL BE RESPONSIBLE OF INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 134-168 OF THE CODE OF ORDINANCE OF THE CITY OF McALLEN, INCLUDING BUT NOT LIMITED TO COMMON AREAS, COMMON DETENTION AREA, AND DETENTION PONDS. ANY AMENDMENT TO DECLARATION THAT CONFLICT WITH THE REQUIREMENTS OF SECTION 134-168 SHALL BE NULL & VOID.
 15. COMMON DETENTION AREA "A" FOR LANDSCAPING AND DETENTION PURPOSES ONLY AND SHALL BE MAINTAINED BY THE PROPERTY OWNERS/HOA AND NOT THE CITY OF McALLEN.

SUBDIVISION MAP OF
NORTH RIDGE ESTATES
SUBDIVISION
(PRIVATE SUBDIVISION)

BEING A SUBDIVISION OF A 11.425 ACRES OF LAND SITUATED IN THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF LOT 14, SECTION 279, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 24, PAGES 168-171, HIDALGO COUNTY DEED RECORDS.

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN _____ DATE _____
ATTEST
CITY SECRETARY _____ DATE _____

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION _____ DATE _____

THIS PLAT APPROVED BY THE HIDALGO COUNTY IRRIGATION NO. 1 ON THIS THE _____ DAY OF _____, 20____.

HIDALGO COUNTY IRRIGATION DISTRICT NO. ONE WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION. THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS.

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON THE HCID#1 RIGHT-OF-WAYS OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HCID#1.

PRESIDENT _____ SECRETARY _____

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

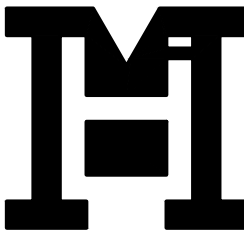
HIDALGO COUNTY DRAINAGE DISTRICT NO.1
RAUL E. SESIN, P.E., C.F.M. _____ DATE _____
GENERAL MANAGER

GENERAL NOTES :

16. COMMON DETENTION AREA "A", ANY PRIVATE STREETS/DRIVES, MAIL CENTER, GATE AREAS, ETC. MUST BE MAINTAINED BY THE DEVELOPER WHO MAY TRANSFER SUCH A MAINTENANCE OBLIGATION TO THE SUBDIVISION HOMEOWNERS ASSOCIATION, NORTH RIDGE ESTATES SUBDIVISION HOMEOWNER'S ASSOCIATION, UPON CONVEYANCE OF THE TITLE TO THE SAME. THEIR SUCCESSORS AND ASSIGNEES, AND NOT THE CITY OF McALLEN. NO BUILDINGS OR OTHER STRUCTURES SHALL BE ERRECTED IN OUTPARCEL "A", WHICH WILL BE USED EXCLUSIVELY AS DETENTION AREAS. AFTER COMMON DETENTION AREA "A" TRANSFER OF TITLE TO THE NORTH RIDGE ESTATES SUBDIVISION HOMEOWNERS ASSOCIATION THE SUBDIVISION LOT OWNERS PRO RATA SHARES OF THE COST OF MAINTENANCE SHALL BE DETERMINED BY THE NORTH RIDGE ESTATES SUBDIVISION HOMEOWNER'S ASSOCIATION. FAILING IN SUCH MAINTENANCE OBLIGATIONS, THE CITY OF McALLEN MAY, BUT SHALL NOT BE REQUIRED TO MAINTAIN THE SAME AT THE LOT OWNERS COST, WHICH COST MAY BECOME A LIEN AGAINST THEIR PROPERTIES. PRIOR TO THE IMPOSITION OF ANY LIENS, THE CITY SHALL FIRST COMPLY WITH NOTICE REQUIREMENTS SIMILAR TO THOSE UNDER EXISTING ORDINANCE SECTION 134-168(d), AS THE SAME MAY BE AMENDED. THE SPECIFICS AND EXCLUSIVE USE OF COMMON DETENTION AREA "A": THE OWNER'S MAINTENANCE OBLIGATION, AND THE CONSEQUENCES OF FAILURE TO MAINTAIN SHALL BE INCORPORATED INTO ANY DEED OR INSTRUMENT OF THE CONVEYANCE AS A DEED RESTRICTION RECORDED IN INSTRUMENT NO. _____ OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

DRAWN BY: R. DE JESUS _____ DATE 12-07-23
SURVEYED, CHECKED _____ DATE _____
FINAL CHECK _____ DATE _____

TBPE FIRM # F-1435



MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS
115 W. McINTYRE
EDINBURG, TX 78541
ESTABLISHED 1947
PH: (956) 381-0981
FAX: (956) 381-1839
www.meldenandhunt.com

THE STATE OF TEXAS
COUNTY OF HIDALGO

IWE, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE "NORTH RIDGE ESTATES SUBDIVISION" TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY GRANT AN ACCESS AND UTILITY EASEMENT TO THE CITY OF McALLEN AND THOSE WHO MAY NOW HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE USE OF THE STREET(S), ALLEY(S) THEREON, SHOWN, SURFACE USE OF THE STREET(S), ALLEY(S) AND EASEMENTS, IS RESTRICTED TO THE EMPLOYEES OR AGENTS OF THE CITY OF McALLEN, TO THE EMPLOYEES OF THE UTILITIES OPERATING UNDER FRANCHISE TO THE CITY OF McALLEN AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. THE OWNER COES HEREBY DEDICATE TO THE USE OF THE PUBLIC THE PORTION OF N. 23RD STREET FOR THE USE AS STREET RIGHT OF WAY TO THE CITY OF McALLEN BY THIS PLAT.

SHAVI MAHTANI, PRESIDENT _____ DATE _____
DOMAIN DEVELOPMENT CORPORATION
100 E. NOLANA AVE., STE. 130
McALLEN, TEXAS 78504

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED SHAVI MAHTANI, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND

SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES: _____

STATE OF TEXAS
COUNTY OF HIDALGO

IWE, THE UNDERSIGNED, HOLDER(S) (OR DULY AUTHORIZED OFFICERS OF THE HOLDER(S)) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED REAL PROPERTY, AS SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS NORTH RIDGE ESTATES SUBDIVISION, OF THE CITY OF McALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE REAL PROPERTY AS PROVIDED FOR UNDER THE PLAT, AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED REAL PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

TEXAS REGIONAL BANK _____ DATE _____
FRED GARZA, EXECUTIVE VICE PRESIDENT UPPER RGV
203 JACKSON ROAD
EDINBURG, TEXAS 78539

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED FRED GARZA, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND

AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES: _____

STATE OF TEXAS
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

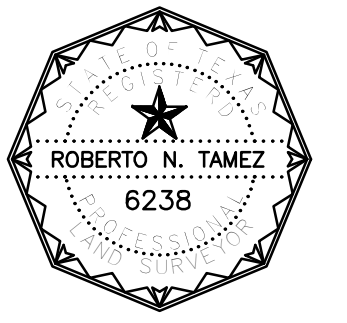
MARIO A. REYNA, PROFESSIONAL ENGINEER No. 117368 _____ DATE: _____
STATE OF TEXAS
DATE PREPARED: 05-03-2023
DATE REVISED 10-06-2023
ENGINEERING JOB NO. 22107



STATE OF TEXAS
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PRESENTED PLAT AND DESCRIPTION OF NORTH RIDGE ESTATES SUBDIVISION, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON 08-06-21, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

ROBERTO N. TAMEZ, REGISTERED PROFESSIONAL LAND SURVEYOR No. 6238 _____ DATE: _____
DATE SURVEYED: 06-14-22
SURVEY JOB NO. 22607-08



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 4/16/2025

SUBDIVISION NAME: NORTH RIDGE ESTATES SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

N. 23rd Street (F.M. 1926) : Dedication required for 60 ft. from centerline for 120 ft. total ROW
Paving: By the state Curb & gutter: By the state

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan
**Monies must be escrowed if improvements are required prior to recording.

Rice Avenue: Proposing 70 ft. total ROW.

Paving 32 ft. min Curb & gutter: Both Sides

*Boulevard islands are proposed 20ft. of paving from face to face is required.

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

***Monies must be escrowed if improvements are required prior to recording.

N. 23rd Lane: 50 ft. ROW

Paving: 32 ft. Curb & gutter: both sides

** The submitted plat exceeds the 600 ft. maximum cul-de-sac length. Engineer submitted a Variance request on October 9th, 2023 to the 600 ft. maximum cul-de sac length. City Commission approved the variance request on November 13th, 2023.

-Street name under review, finalize prior to recording/ Mylar printing.

**Plat proposes 60ft. total ROW, if boulevard islands are proposed 20ft. of paving from face to face is required. As per paving layout submitted October 6th, 2023 no boulevards proposed.

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

**Monies must be escrowed if improvements are required prior to recording.

E/W Quarter Mile Collector (Northern boundary):dedication as needed for 60 ft. total ROW

Paving: 40 ft. Curb & gutter: Both sides

*Engineer submitted variance request on August 10, 2023 regarding E/W Quarter mile requirement, request is under review, and plat will have to be adjusted as applicable prior to final once Board action or review is finalized. After review of the surrounding area due to the existing irrigation canal to the west and collector alignment, the E/W collector street along the western boundary is not feasible.

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

**Monies must be escrowed if improvements are required prior to recording.

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

**Monies must be escrowed if improvements are required prior to recording.

* 1,200 ft. Block Length.

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts.

**Subdivision Ordinance: Section 134-118

Applied

Applied

Required

Applied

NA

Compliance

NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

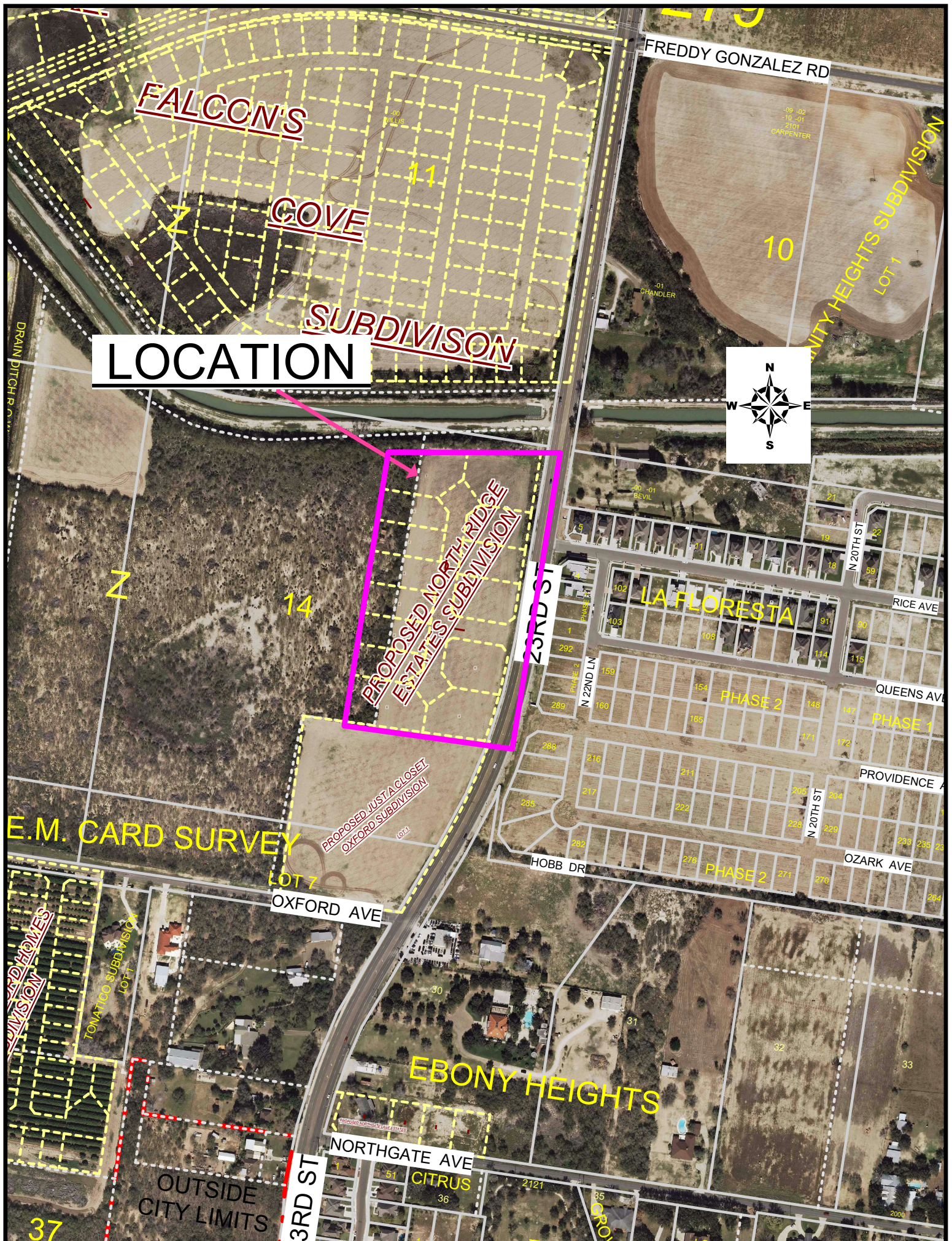
<p>* 600 ft. Maximum Cul-de-Sac. Revisions Needed: -Engineer submitted a variance request on October 9th, in reference to the the 10 ft. of ROW back of curb requirements around Cul-de Sac's proposing a 10 ft. U.E, E.E, and S.W Easement, in lieu of the required 10 ft. ROW back of Curb. Should the Variance be approved, it is recommended to require a minimum of 7 feet additional ROW for the diamond turn arounds, which would be used for sidewalk and placement of water meters and sewer service clean-outs. **As per Fire Department requirements, 96 ft. of paving face-to-face required for Cul-De-Sac turnaround area, minimum 10 ft. of ROW back of curb around Cul-De-Sac area. ***Subdivision Ordinance: Section 134-105</p>	Required
ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties and multi-family properties. **Subdivision is proposed to be single-family residential. ***Subdivision Ordinance: Section 134-106</p>	NA
SETBACKS	
* Front:25 feet or greater for easements. **Zoning Ordinance: Section 138-356	Applied
* Rear: 10 feet or greater for easements. **Zoning Ordinance: Section 138-356	Applied
* Sides:6 feet or greater for easements **Zoning Ordinance: Section 138-356	Applied
* Corner :10 feet or greater for easements. **Zoning Ordinance: Section 138-356	Applied
* Garage:18 ft. except where greater setback is required, great setback will applies. **Zoning Ordinance: Section 138-356	Applied
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
<p>*5 ft. wide minimum sidewalk required along North 23rd Street (F.M.1926), and a 4 ft. wide minimum sidewalk required along both sides of all internal streets. Revisions needed: -Revise note as shown above prior to recording. ***5 ft. sidewalk requirement as per engineering department. ****Subdivision Ordinance: Section 134-120</p>	Required
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along North 23rd Street (F.M. 1926). ***Landscaping Ordinance: Section 110-46</p>	Applied
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46</p>	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

NOTES	
<p>* No curb cut, access, or lot frontage permitted along North 23rd Street (F.M. 1926) ***Must comply with City Access Management Policy ****As per Traffic Department, access management policy along N. 23rd Street at 55 MPH is 425 ft. between access.</p> <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>*Proposing: Common or Detention Areas, any private streets/alleys, and or gates areas must be maintained by the property owners/HOA and not the City of McAllen.</p> <p>**Finalize wording for note prior to final. Please review note wording above.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</p> <p>**Section 134-168 applies if private subdivision is proposed. ***Section 110-72 applies if public subdivision is proposed. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Homeowner's Association Covenants must be submitted for staff review, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. *****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168</p>	Applied
	NA
	NA
	Required
	Required
LOT REQUIREMENTS	
<p>* Lots fronting public streets. **Subdivision is being processed as a private. ***Subdivision Ordinance: Section 134-1</p> <p>* Minimum lot width and lot area. **Outparcel A, must meet minimum lot frontages requirements of 25 ft. for Common Areas. As per plat submitted on October 6th,2023, outparcel A now exhibits 25 ft. of frontage. ***As per plat submitted on July 28th,2023, plat provides requested lot tables. ****Zoning Ordinance: Section 138-356</p>	Applied
	Applied
ZONING/CUP	
<p>* Existing: R-1 (Single-Family Residential) District Proposed: R-1 (Single-Family Residential) District ***Zoning Ordinance: Article V</p> <p>* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V</p>	Compliance
	NA
PARKS	
<p>* Land dedication in lieu of fee. As per R-1 plat submitted on July28th,2023 there are 13 total lots proposed, with out parcel A to be used for landscaping. In accordance with McAllen's Park Land Dedication and Parks Development Fees Ordinance, Park fees apply at rate of \$700 per lot/dwelling unit and payable prior to plat recording. In this case fees amount to \$8,400. (12X \$700). Fees are dependent on the number of lots/dwelling units, so fees can go up or down.</p>	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per R-1 plat submitted on July28th,2023 there are 13 total lots proposed, with out parcel A to be used for landscaping. In accordance with McAllen's Park Land Dedication and Parks Development Fees Ordinance, Park fees apply at rate of \$700 per lot/dwelling unit and payable prior to plat recording. In this case fees amount to \$8,400. (12X \$700). Fees are dependent on the number of lots/dwelling units, so fees can go up or down.</p> <p>* Pending review by the City Manager's Office. As per R-1 plat submitted on July28th,2023 there are 13 total lots proposed, with out parcel A to be used for landscaping. In accordance with McAllen's Park Land Dedication and Parks Development Fees Ordinance, Park fees apply at rate of \$700 per lot/dwelling unit and payable prior to plat recording. In this case fees amount to \$8,400. (12X \$700). Fees are dependent on the number of lots/dwelling units, so fees can go up or down.</p>	Required
	NA
TRAFFIC	
<p>* As per Traffic Department, Trip Generation is waived for a 13-lot single-family and 1 outparcel subdivision.</p> <p>* Traffic Impact Analysis (TIA) required prior to final plat.</p> <p>** As per Traffic Department, Trip Generation is waived for a 13-lot single-family and 1 outparcel subdivision.</p>	Completed
	Applied
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> - It seems that the easement lines around the Cul-de-Sac on the north side have been moved. Please revise the lines as applicable prior to recording. - Make sure all easements have correct labels prior to recording. <p>*Must comply with City's Access Management Policy.</p> <p>*HOA's need to be reviewed prior to recording.</p> <p>*Any abandonments must be done by separate process, not by plat.</p>	Required
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED FINAL FORM SUBJECT TO CONDITIONS NOTED.	Applied



LOCATION



PROPOSED NORTH RIDGE
ESTATES SUBDIVISION

FALCON'S
COVE

SUBDIVISION

LA FLORESTA

UNITY HEIGHTS SUBDIVISION
LOT 1

E.M. CARD SURVEY

PROPOSED JUST A CLOSET
OXFORD SUBDIVISION

EBONY HEIGHTS

OUTSIDE
CITY LIMITS

CITRUS

37

2025 ATTENDANCE RECORD FOR PLANNING AND ZONING COMMISSION MEETINGS									
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
2025 ATTENDANCE RECORD FOR PLANNING AND ZONING COMMISSION WORKSHOPS

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




PLANNING DEPARTMENT

311 N 15th Street McAllen, TX 78501
Phone: 956-681-1250 Fax: 956-681-1279









2025 P&Z CALENDAR

Meetings:  City Commission  Public Utility Board HPC - Historic Pres Council							Deadlines: D- Zoning/CUP Application N - Public Notification * Holiday - Office is closed						
 Planning & Zoning Board  Zoning Board of Adjustment													





JULY 2025

Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1	2	3	4 HOLIDAY	5						1	2
6	7 A-7/22 & 7/23	8	9 D - 8/5 & 8/6 N- 7/22 & 7/23	10	11	12	3	4 A-8/19 & 8/20	5	6 D-9/10 & 9/11 N-8/19 & 8/20	7	8	9
13	14 	15 	16	17	18	19	10	11 	12 	13	14	15	16
20	21 A-8/5 & 8/6	22	23 D-8/19 & 8/20 N- 8/5 & 8/6	24	25	26	17	18	19	20 D-9/24 & 9/25	21	22	23
27	28 	29 	30 HPC	31			24 31	25  A-9/10 & 9/11	26 	27 HPC N-9/10 & 9/11	28	29	30

SEPTEMBER 2025


Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
	1 HOLIDAY	2	3	4	5	6				1	2	3	4
7	8  A-9/24 & 9/25	9 	10 D- 10/7 & 10/8 N-9/24 & 9/25	11	12	13	5	6 A-10/21&10/22	7	8 D-11/4 & 11/5 N-10/21&10/22	9	10	11
14	15	16	17	18	19	20	12	13 	14 	15	16	17	18
21	22  A-10/7 & 10/8	23 	24 D-10/21 & 10/22 N-10/7 & 10/8	25	26	27	19	20 A-11/4 & 11/5	21	22 D-11/18&11/19 N-11/4 & 11/5	23	24	25
28	29	30					26	27 	28 	29 HPC	30	31	

NOVEMBER 2025









Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1		1 A-12/16 & 12/17	2	3 D-TBA N-12/16 & 12/17	4	5	6
2	3 A-11/18 & 11/19	4	5 D-12/2 & 12/3 N-11/18&11/19	6	7	8	7	8 	9 	10	11	12	13
9	10 	11 	12	13	14	15	14	15 A-TBA	16	17 D-TBA N-TBA	18	19	20
16	17 A-12/2 & 12/3	18	19 D-12/16&12/17 N-12/2 & 12/3	20	21	22	21	22	23	24 HOLIDAY	25 HOLIDAY	26	27
23 30	24 	25 	26	27 HOLIDAY	28	29	28	29	30	31			









Deadlines and Meeting Dates are subject to change at any time. Please contact the Planning Department at (956) 681-1250 if you have any questions.

2025 P&Z CALENDAR

Meetings:  City Commission  Public Utility Board HPC - Historic Pres Council							Deadlines: D- Zoning/CUP Application N - Public Notification * Holiday - Office is closed						
 Planning & Zoning Board													
 Zoning Board of Adjustment													

JANUARY 2025							FEBRUARY 2025						
Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1 HOLIDAY	2	3	4							1
5	6	7	8 D- 2/4 & 2/5 N-1/21 & 1/22	9	10	11	2	3	4	5 D- 3/4 & 3/5 N-2/18 & 2/19	6	7	8
	A-1/21 & 1/22							A-2/18 & 2/19					
12	13 ●	14 ▲	15	16	17	18	9	10 ●	11 ▲	12		14	15
19	20	21	22 D-2/18 & 2/19 N- 2/4 & 2/5	23	24	25	16	17	18	19 D-3/18 & 3/19 N- 3/4 & 3/5	20	21	22
	A-2/4 2/5							A-3/4 & 3/5					
26	27 ●	28 ▲	29 HPC	30	31		23	24 ●	25 ▲	26 HPC	27	28	

MARCH 2025							APRIL 2025						
Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1			1	2 D-5/6 & 5/7	3	4	5
2	3 A-3/18 & 3/19	4	5 D-4/1 & 4/2 N-3/18 & 3/19	6	7	8	6	7 A-4/22 & 4/23	8	9 N-4/22 & 4/23	10	11	12
9	10 	11 	12	13	14	15	13	14 	15 	16 D-5/21 & 5/22	17	18 HOLIDAY	19
16	17 A-4/1 & 4/2	18	19 D- 4/22 & 4/23 N-4/1 - 4/2	20	21	22	20	21 A-5/6 & 5/7	22	23 N-5/6 & 5/7	24	25	26
23 30	24 31 	25 	26 HPC	27	28	29	27	28 	29 	30 HPC			

MAY 2025							JUNE 2025						
Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
				1	2	3	1	2 A-6/17 & 6/18	3	4 D-7/8 - 7/9 A-6/17 & 6/18		6	7
4	5 A-5/20 & 5/21	6	7 D-6/3 & 6/4 N-5/20 & 5/21	8	9	10	8	9 	10 	11	12	13	14
11	12 	13 	14	15	16	17	15	16	17	18	19	20	21
18	19 A-6/3 & 6/4	20	21 D-6/17 & 6/18 N-6/3 & 6/4	22	23	24	22	23 	24	25 D-7/22 & 7/23 D-7/8 & 7/9	26	27	28
25	26 HOLIDAY	27 	28 	29	30	31	29	30	31 				
HPC							HPC						