

**AGENDA**  
**PLANNING & ZONING COMMISSION REGULAR MEETING**  
**TUESDAY, AUGUST 17, 2021 - 3:30 PM**  
**McALLEN PUBLIC LIBRARY, ROOMS A&B, 4100 NORTH 23<sup>RD</sup> STREET**  
**Web: <https://zoom.us/join> or phone: (346) 248-7799**  
**Meeting ID: 672 423 1883**

At any time during the course of this meeting, the Planning & Zoning Board may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code

**CALL TO ORDER**

**PLEDGE OF ALLEGIANCE**

**INVOCATION**

**1) MINUTES:**

- a) Minutes for Regular Meeting held August 3, 2021.

**2) PUBLIC HEARING**

a) **CONDITIONAL USE PERMITS:**

1. Request of Irma I. Montalvo, for a Conditional Use Permit, for one year, for a Home Occupation (Online Boutique) at Lot 75, Lark Landing Subdivision, Hidalgo County, Texas; 2500 Heron Avenue. **(CUP2021-0086)**
2. Request of Norma S. Pimentel on behalf of Catholic Charities of the Rio Grande Valley for a Conditional Use Permit, for life of use, for an institutional use (respite center) at W. 90' of Lots 13 and 14 & All of 15 and 16, Block 12, McAllen Addition Subdivision, Hidalgo County, Texas, 111 South 15th Street. **(CUP2021-0101)**
3. Request of Salvador De La Rosa, on behalf of Community Life, for a Conditional Use Permit, for one year, for an Institutional Use (church) at Lot 4, LAR-LIN Subdivision #7, Hidalgo County, Texas; 601 N. McColl Road, Suite B. **(CUP2021-0087)**
4. Request of Melden & Hunt, Inc., on behalf of Vaquero Ware Partners, LP, for a Conditional Use Permit, for life of the use, for a gasoline service station at the 1.421 acres out of the Lot 1, Ware Road Investments Subdivision, and Lot 76, R.E. Horn's Addition to McAllen First Suburban Citrus Groves Subdivision, Hidalgo County, Texas; 1520 S. Ware Road. **(CUP2021-0100)**
5. Request of Cristobal Moreno, for a Conditional Use Permit, for life of the use, for an automotive service & repair at the 0.52 acre tract of land out of Block 14, Trenton Park Estates Ph. 1 & 2 Subdivision lying west of Lot 219, Woodhollow Subdivision, Hidalgo County, Texas; 7500 N. 23rd Street. **(CUP2021-0080) TABLED ON 8/3/2021.**
6. Request of Mario A. Reyna, on behalf of Riverside Development Service, LLC, for a Conditional Use Permit, for life of the use, for a planned unit development at the 26.663 acre tract of land out of Lot 45 and 52, La Lomita Irrigation and Construction

Company's Subdivision, Hidalgo County, Texas; 8300 North Ware Road.  
**(CUP2021-0084) TABLED ON 8/3/2021.**

**b) REZONING:**

1. Rezone from C-3 (general business) District to R-1 (single-family residential) District: 0.14 acres out of Lot 6, Block 4, Hidalgo Canal Company's Survey, Hidalgo County, Texas; 6416 South 10th Street. **(REZ2021-0042)**
2. Initial zoning to R-3A (multifamily residential apartment) District: Lots 5 and 6, Resubdivision of Lots 46-11 & 46-12, West Addition to Sharyland Subdivision, Hidalgo County, Texas; 10100 North Bryan Road. **(REZ2021-0043)**

**3) SITE PLAN:**

- a) Site plan approval for lot 3, Jackson Commerce Development Subdivision Phase 3, and Lot 8A, Jackson Commerce Development Subdivision Phase 4, Hidalgo County, Texas; 1201 & 1113 E. Highway 83. **(SPR2021-0024)**

**4) SUBDIVISIONS:**

- a) Best Subdivision, 4515 Mile 8 Road, Donald Wade Best **(SUB2021-0084)(PRELIMINARY)SE**
- b) Habitat Estates Subdivision, 1001 E. Cedar Avenue, Habitat Developers, LLC **(SUB2021-0083)(FINAL)SE**
- c) McAllen Northwest Industrial, Lot 2A Subdivision, 2100 Industrial Drive, NBY-MC Industry **(SUB2021-0080)(FINAL)M&H**
- d) Castillo Estates Subdivision, 9705 Mile 10 1/3, Jesus Castillo & Susana Castillo, **(SUB2021-0073)(PRELIMINARY)ROE**
- e) Cristina Arevalo Subdivision, 4129 Erie Avenue, Cristina Arevalo **(SUB2021-0082)(PRELIMINARY)SE**
- f) Gosmar Subdivision, 217 North 22nd Street, Luis Carlos Gonzalez **(SUB2021-0081)(PRELIMINARY)CLH**
- g) Mission Village Subdivision, 10100 North Bryan Street, Ezequiel Moya/Paradise Investments **(SUB2021-0078)(PRELIMINARY)MAS**
- h) Garcia Estates, 2901 Gumwood Avenue, Sonia Garcia/Erik J. Mora **(SUB2020-0048)(TABLED ON 6/3/2021)M&H**

**5) INFORMATION ONLY:**

- a) City Commission Actions: August 9, 2021

**ADJOURNMENT:**

IF ANY ACCOMMODATIONS FOR A DISABILITY ARE REQUIRED, PLEASE NOTIFY THE PLANNING DEPARTMENT (681-1250) 72 HOURS BEFORE THE MEETING DATE. WITH REGARD TO ANY ITEM, THE PLANNING & ZONING COMMISSION MAY TAKE VARIOUS ACTIONS, INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR PARTICULAR ACTION AT A FUTURE DATE.



STATE OF TEXAS  
COUNTY OF HIDALGO  
CITY OF McAllen

The McAllen Planning and Zoning Commission convened in a Regular Meeting & Public Hearing on Tuesday, August 3, 2021 at 3:34p.m. in the Las Palmas Community Center, 1921 North 25<sup>th</sup> Street, McAllen, Texas.

<b>Present:</b>	<b>Daniel Santos</b> <b>Michael Fallek</b>	<b>Chairperson</b> <b>Vice-Chairperson</b> <b>(Via Zoom)</b>
	<b>Michael Hovar</b> <b>Michael Fallek</b> <b>Gabriel Kamel</b>	<b>Member</b> <b>Member</b> <b>Member</b>
<b>Absent:</b>	<b>Jose Saldana</b> <b>Emilio Santos Jr.</b>	<b>Member</b> <b>Member</b>
<b>Staff Present:</b>	<b>Evaristo Garcia</b> <b>Edgar Garcia</b> <b>Luis Mora</b> <b>Juan Martinez</b> <b>Rodrigo Sanchez</b> <b>Omar Sotelo</b> <b>Jose Humberto De La Garza</b> <b>Berenice Gonzalez</b> <b>Carlos Garza</b> <b>Kaveh Forghanparast</b> <b>Liliana Garza</b> <b>Hebert Camacho</b> <b>Katia Sanchez</b> <b>Porfirio Hernandez</b> <b>Julian Hernandez</b> <b>Magda Ramirez</b>	<b>Assistant City Attorney</b> <b>Planning Director</b> <b>Planning Deputy Director</b> <b>Development Coordinator</b> <b>Senior Planner</b> <b>Senior Planner</b> <b>Planner III</b> <b>Planner III</b> <b>Planner II</b> <b>Planner II</b> <b>Planner II</b> <b>Planner I</b> <b>Planner I</b> <b>Planning Technician II</b> <b>Planning Technician I</b> <b>Administrative Assistant</b>

**CALL TO ORDER- Chairman Daniel Santos**

**Meeting held via Teleconference and Video Conference.**

**PLEDGE OF ALLEGIANCE**

**INVOCATION- Michael Hovar**

**1) MINUTES:**

**a) Minutes for Regular Meeting held on July 20, 2021**

The minutes for the regular meeting held on July 20, 2021 were approved as submitted. The motion to approve was made by Vice-Chair Michael Fallek & Board Member Marco Suarez seconded the motion, which carried unanimously with 4 members present and voting. Fifth member, Gabriel Kamel entered the meeting at 3:39pm.

## 2) PUBLIC HEARING:

### a) REZONING:

1. Rezone from C-1 (office) District to C-2 (neighborhood commercial) District: 2.35 acres out of the Lot 5, Block 15, Steele & Pershing Subdivision of the east ½ of Portion 66 and all of Portion 67, Hidalgo County, Texas; 2408 & 2416 S. McColl Rd. **(REZ2021-0038)**

Ms. Garza stated that the property is located on the northwest corner of S. McColl Road and E. Yuma Avenue. The tract has 330 ft. of frontage along S. McColl Road with a depth of 310 ft. for a lot size of 2.35 acres. The applicant is requesting to rezone the property to C-2 (neighborhood commercial) District in order to construct a gasoline service station. A feasibility plan has been submitted. The adjacent zoning is R-1 (single family residential) District to the west, C-3 (general commercial) District to the north, R-3A (multifamily apartment) District to the east, and C-3L (light commercial) District to the south. The property is currently vacant. Surrounding land uses are commercial buildings, single-family residential, apartments and vacant land. The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Commercial and Suburban Commercial, which is comparable to C-1 (office) to C-3 (general business) Districts and C-1 (office) to C-3L (light commercial) District. The development trend for this area along McColl Road and Yuma Avenue is a mix of residential and commercial. The property was zoned C-1 (office) District upon annexation in November 1995. There have been no rezoning requests on the property since that time. Adjacent property to the north was zone C-3 (general business) District in August 2002. The requested zoning conforms to the Auto Urban Commercial and Suburban Commercial land use designation as indicated on the Foresight McAllen Comprehensive Plan. The subject property is off a minor arterial street as per Foresight Thoroughfare Plan. A recorded subdivision plat and approved site plan are required prior to building permit issuance. Gasoline service stations or retail outlets where gasoline products are sold require a Conditional Use Permit as well. Section 110-49 (a) Vegetation Ordinance requires a masonry screen eight ft. in height where a commercial, industrial or multifamily use has a side or rear property line in common with a single-family use or zone.

Staff has not received any calls or emails in opposition.

Staff recommends approval of the rezoning request to C-2 (neighborhood commercial) District.

Chairperson Daniel Santos asked if there was anyone present in opposition of the proposed Rezone request, there were none.

Being no discussion, Mr. Michael Fallek moved to approve. Mr. Michael Hovar seconded the motion, which was approved with four members present and voting.

**Mr. Gabriel Kamel entered the meeting at 3:39p.m.**

2. Rezone from C-3 (General Business) District to R-3T (Multifamily Residential Townhouse) District: 2.00 Acre Tract of land out of Lot 62, La Lomita Irrigation and Construction Company Subdivision, Hidalgo County, Texas; 2700 Trenton Road. **(REZ2021-0037)**

Mr. Garza stated that the property is located on the north side of Trenton road, approximately 580 ft. east of 29th Street. The tract is an irregular-shaped lot with 304.70 ft. of frontage along Trenton road and the maximum depth of 657.35 ft. for a lot size of 2.00 acres. The applicant is requesting to rezone the property to R-3T (multifamily residential townhouses) District in order to construct townhouses. An application for a subdivision for the subject property under the name of Habitat Village has been submitted and will be presented at the Planning and Zoning Commission Meeting of August 03, 2021. The adjacent zoning is R-1 (single family residential) District to the north and south, A-O (agriculture and open space) District to the east and south, C-3 (general business) District to the south, C-1 (office building) District to the west, and C-3L (light commercial) District to the north. The property is currently vacant. Surrounding land uses are commercial buildings, single-family residential and vacant land. The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Single Family, which is comparable to R-1 District. The development trend for this area along Trenton Road is a mix of residential and commercial. The property was zoned A-O (agricultural-open space) District upon annexation in 1989. In October 26, 2009, the City Commission voted to disapprove a rezoning request from A-O (office building) District to C-3 District and alternatively approved for C-1 (office building) District at 2700 Trenton Road. In October 22, 2012, the City Commission voted to approve a rezoning request from C-1 (office building) District to C-3 District at 2700 Trenton Road. The requested zoning does not conform to the Auto Urban Single Family land use designation as indicated on the Foresight McAllen Comprehensive Plan. The subject property is off a principal arterial street as per Foresight Thoroughfare Plan. Multifamily residential apartment uses are more suitable in arterial intersections due to high traffic volume and visibility. The maximum density in R-3T (multifamily residential townhouses) District is 20 units per acre. Therefore, the maximum number of units for the subject property is approximately 40 units. Section 110-49 (a) Vegetation Ordinance requires a masonry screen eight ft. in height where a commercial, industrial or multifamily use has a side or rear property line in common with a single-family use or zone. A recorded subdivision plat and approved site plan are required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

Staff has not received any calls or emails in opposition.

Staff recommends approval of the rezoning request to R-3T (multifamily residential townhouses) District.

Chairperson Daniel Santos asked if there was anyone present in opposition of the proposed Rezone request, there were none.

Being no discussion, Mr. Michael Fallek moved to approve. Mr. Michael Hovar seconded the motion, which was approved with five members present and voting.

**The following items 2a3-2a8 were discussed together and voted as one.**

3. Rezone from R-3C (multifamily condominiums) District to R-3A (multifamily apartments) District: 3.842 acres consisting of 3 acres out of Lot 15, southeast  $\frac{1}{4}$  Section 7 out of Hidalgo Canal Company Subdivision and 0.842 acres out of Lot 16, and the west 109 ft. of Lot 14 out of Hollenbeck Subdivision, Hidalgo County, Texas; 2105 South 10th Street. **(REZ2021-0010)**

Mr. Camacho stated that the property consists of two tracts; one tract (consisting of lot 16 & lot 14) is located on the south side along Uvalde Avenue, approximately 950 ft. east of South 10th Street with a width of 267 ft. and depth of 113 ft. The second tract is an interior tract located approximately 901 ft. east of South 10th Street and approximately 113 ft. south of Uvalde Avenue. The subject properties consists 3.842 acres total. The applicant is requesting to rezone the properties to R-3A (multifamily apartments) District in order to construct multifamily apartments. Funding for 102 Units was approved by TDHCA. The adjacent zoning is C-3 (general business) District to the south and west, R-2 (duplex-fourplex) District to the north and west, and R-3T (multifamily townhouses) District to the east. The property is currently vacant. Surrounding land uses include single-family residences, apartments, townhouses, La Placita Commercial Plaza that holds Retail stores, Lone Star National Bank and BBVA Compass Bank, Hotels, restaurants, a parking lot and vacant land. The Foresight McAllen Comprehensive Plan designates the future land use for the property along Uvalde Avenue as Urban Single Family which is comparable to R-1 (single-family residential) District and the interior tract as Auto Urban Commercial which is comparable to C-1 (office) District to C-3 (general business) District. The development trend for this area along Uvalde Avenue is single-family residential, duplexes and commercial plazas. An attempt to rezone from R-1 District to R-3A District was requested in 1993 for Hollenbeck subdivision Lot 17; however, this request was disapproved. Interior Tract: The property was initially zoned C-3 District during the comprehensive zoning in May 1979. On the City Commission meeting of August 27, 2007, the board approved a rezoning request to rezone from C-3 District to R-3C (multifamily condominiums). There has been no other rezoning request for the subject property since then. Tract along Uvalde Avenue: The property was initially zoned R-1 (single-family residential) District during the comprehensive zoning in May 1979. In 1997, a rezoning request for Hollenbeck Subdivision Lot 14 was submitted; the request was to rezone from R-1 District to C-3 District, the request was disapproved. On November 28, 1997, there was a city-initiated zoning for 21 properties in the 600 to 900 block of Uvalde Avenue presented to the P&Z Board to rezone from R-1 District to C-1 (office) District; the request was disapproved, but the Board recommended the approval for R-2(duplex-fourplex) District. On City Commission's meeting of January 12, 1998, the board voted to alternative approved the request to R-2 District. In 1999, a rezoning request for Hollenbeck Subdivision Lot 16 was submitted; the request was to rezone from R-2 District to C-2 (neighborhood commercial) District, the request was disapproved. In 2012, a rezoning request for the current tract was submitted, the request was to rezone from R-2 District to R-3C District, and the request was approved. There has been no other rezoning request for the subject property since then. The requested zoning does not conform to the Urban Single-family and Auto Urban Commercial land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, it follows the rezoning and development trend to multifamily residences in the area. This is part of six rezoning cases in the area; the development is for a proposed apartment complex. A subdivision and site plan review process is required prior to building permit issuance. The proposed development is approximately 7 acres (305,000 square feet), based on the maximum density per gross acres in the R-3 multifamily residential district: 305-one bedroom units, 244-two bedroom units or 203-three bedroom units will be allowed. Seven thousand square feet represents the minimum lot area for any R-3 multifamily residential district, exclusive of townhouse. Max allowable density per acre will be defined on site plan approval, once a final subdivision plat is recorded. The proposed development as awarded by state was 102 units. Traffic analysis will be review under the Subdivision and Site Plan Review process. Uvalde Avenue has 50 ft. of ROW dedication; the curb-to-curb starts at approximately 35 ft. closest to south 10th Street and as the street travels east, it decreases to 30 ft. Uvalde Avenue would be consider a Local street due to its dimensions.

Staff has received a phone call in concern about property taxes and a walk-in with concerns about traffic along Uvalde Avenue.

Staff recommends approval of the rezoning request to R-3A (multifamily apartments) District.

Chairperson Daniel Santos asked if there was anyone present in opposition of the proposed Rezone request. There were five citizens that represented their concerns. Before the citizens spoke on their oppositions, Chairperson Daniel Santos requested Mr. Mario Reyna, Developer for Melden and Hunt, to speak in regards to the proposed plan presenting to the board and the citizens. The following were the oppositions:

Citizens, who all reside at 500 Wichita, Hector Villarrea (Unit #78), Yolanda Heartfield (Unit #67), Sylvia Villareal (Unit #34), Vicente Garza (Unit #78), and Marica Rolstch (Unit #84) had concerns with traffic congestion on Uvalde, drainage and crime.

Renee Armstrong, property owner of 500 Wichita Los Amigos #1 questioned funding. Mr. Fallek stated the development will be funded by HUD and private funding and Mr. Reyna stated the property will not be a Section 8 development.

Mr. Mario Reyna addressed their concerns.

Mr. Michael Hovar questioned Mr. Reyna if the zoning of the site plan will be locked in as multifamily. Mr. Reyna said it will be since the project will be funded by HUD and private funding.

Mr. Marco Suarez stated that if the board was to approve and the citizens were to agree with what is being proposed, the issue of having another developer propose commercial development may be a future issue instead of locking in a multifamily development.

After a lengthy discussion, Mr. Gabriel Kamel moved to approve items 2a3-2a8. Mr. Michael Hovar seconded the motion, which was approved with five members present and voting. Chairman Santos stated to the public to share their concerns with Commissioner Pepe Cabeza de Vaca, City Commission and the developer.

4. Rezone from R-2 (duplex-fourplex) District to R-3A (multifamily apartments) District: the west half of Lot 10 and the east 10 ft. of Lot 8, Hollenbeck Subdivision, Hidalgo County, Texas; 801 Uvalde Avenue. **(REZ2021-0008)**

Mr. Camacho stated that the property is located on the south side along Uvalde Avenue, approximately 576 ft. east of South 10th Street. The subject property consists of approximately 10,039 square feet (0.282 acres). The applicant is requesting to rezone the property to R-3A (multifamily apartments) District in order to construct multifamily apartments. Funding for 102 Units was approved by TDHCA. The adjacent zoning is C-3 (general business) District to the south and west and R-2 (duplex-fourplex) District to the east and north. The property is currently vacant. Surrounding land uses include single-family residences, apartments, La Placita Commercial Plaza that holds Retail stores, Lone Star National Bank and BBVA Compass Bank, and vacant land. The Foresight McAllen Comprehensive Plan designates the future land use for this property as Urban Single Family which is comparable to R-1 (single-family residential) District. The development trend for this area along Uvalde Avenue is single-family residential, duplexes and commercial plazas.

The property was initially zoned R-1 (single-family residential) District during the comprehensive zoning in May 1979. On November 28, 1997, there was a city-initiated zoning for 21 properties in the 600 to 900 block of Uvalde Avenue presented to the P&Z Board to rezone from R-1 District to C-1 (office) District; the request was disapproved, but the Board recommended the approval for R-2(duplex-fourplex) District. On City Commission's meeting of January 12, 1998, the board voted to alternative approved the request to R-2 District. There has been no other rezoning request for the subject property since then. The requested zoning does not conform to the Urban Single-family land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, it follows the rezoning and development trend to multifamily residences in the area. This is part of six rezoning cases in the area; the development is for a proposed apartment complex. A subdivision and site plan review process is required prior to building permit issuance. The proposed development is approximately 7 acres (305,000 square feet), based on the maximum density per gross acres in the R-3 multifamily residential district: 305-one bedroom units, 244-two bedroom units or 203-three bedroom units will be allowed. Seven thousand square feet represents the minimum lot area for any R-3 multifamily residential district, exclusive of townhouse. Max allowable density per acre will be defined on site plan approval, once a final subdivision plat is recorded. The proposed development as awarded by state was 102 units. Traffic analysis will be review under the Subdivision and Site Plan Review process. Uvalde Avenue has 50 ft. of ROW dedication; the curb-to-curb starts at approximately 35 ft. closest to south 10th Street and as the street travels east, it decreases to 30 ft. Uvalde Avenue would be consider a Local street due to its dimensions.

Staff has not received a phone call or email in opposition to the rezoning request.

Staff recommends approval of the rezoning request to R-3A (multifamily apartments) District.

5. Rezone from C-3 (general business) District to R-3A (multifamily apartments) District: 2.396 acres out of Lot 15, of Southeast ¼ Section 7, Hidalgo Canal Company Subdivision, Hidalgo County, Texas; 2101 South 10th Street.  
**(REZ2021-0009)**

Mr. Camacho stated that the property is an interior tract with not street access, the property located approximately 113 ft. south of Uvalde Avenue and approximately 510 ft. east of South 10th Street. The subject property consists of 104,355 square feet (2.396 acres). The applicant is requesting to rezone the property to R-3A (multifamily apartments) District in order to construct multifamily apartments. Funding for 102 Units was approved by TDHCA. The adjacent zoning is C-3 (general business) District to the south and west, R-2 (duplex-fourplex) District to the north, and R-3C (multifamily condominiums) District to the east. The property is currently vacant. Surrounding land uses include single-family residences, apartments, La Placita Commercial Plaza that holds Retail stores, Lone Star National Bank and BBVA Compass Bank, and vacant land. The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Commercial, which is comparable to C-1 (office) District to C-3 (general business). The development trend for this area along Uvalde Avenue is single-family residential, duplexes and commercial plazas. The property was initially zoned C-3 District during the comprehensive zoning in May 1979. There has been no other rezoning request for the subject property since then. The requested zoning does not conform to the Auto Urban Commercial land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, it follows the rezoning and development trend to multifamily residences in the area.

This is part of six rezoning cases in the area; the development is for a proposed apartment complex. A subdivision and site plan review process is required prior to building permit issuance. The

proposed development is approximately 7 acres (305,000 square feet), based on the maximum density per gross acres in the R-3 multifamily residential district: 305-one bedroom units, 244-two bedroom units or 203-three bedroom units will be allowed. Seven thousand square feet represents the minimum lot area for any R-3 multifamily residential district, exclusive of townhouse. Max allowable density per acre will be defined on site plan approval, once a final subdivision plat is recorded. The proposed development as awarded by state was 102 units. Traffic analysis will be review under the Subdivision and Site Plan Review process. Uvalde Avenue has 50 ft. of ROW dedication; the curb-to-curb starts at approximately 35 ft. closest to south 10th Street and as the street travels east, it decreases to 30 ft. Uvalde Avenue would be consider a Local street due to its dimensions.

Staff has not received a phone call or email in opposition to the rezoning request.

Staff recommends approval of the rezoning request to R-3A (multifamily apartments) District.

6. Rezone from R-2 (duplex-fourplex) District to R-3A (multifamily apartments) District: 0.405 acres out of the east half of Lot 12 and the west 49 ft. of Lot 14, Hollenbeck Subdivision, Hidalgo County, Texas; 709 Uvalde Avenue. **(REZ2021-0011)**

The property is located on the south side along Uvalde Avenue, approximately 820 ft. east of South 10th Street. The subject property consists 0.405 acres. The applicant is requesting to rezone the property to R-3A (multifamily apartments) District in order to construct multifamily apartments. Funding for 102 Units was approved by TDHCA. The adjacent zoning is C-3 (general business) District to the south and west, R-2 (duplex-fourplex) District to the west, east and north, and R-3C (multifamily condominiums) District to the east. The property is currently vacant. Surrounding land uses include single-family residences, apartments, La Placita Commercial Plaza that holds Retail stores, Lone Star National Bank and BBVA Compass Bank, and vacant land. The Foresight McAllen Comprehensive Plan designates the future land use for this property as Urban Single Family which is comparable to R-1 (single-family residential) District. The development trend for this area along Uvalde Avenue is single-family residential, duplexes and commercial plazas. The property was initially zoned R-1 (single-family residential) District during the comprehensive zoning in May 1979. On November 28, 1997, there was a city-initiated zoning for 21 properties in the 600 to 900 block of Uvalde Avenue presented to the P&Z Board to rezone from R-1 District to C-1 (office) District; the request was disapproved, but the Board recommended the approval for R-2(duplex-fourplex) District. On City Commission's meeting of January 12, 1998, the board voted to alternative approved the request to R-2 District. There has been no other rezoning request for the subject property since then. The requested zoning does not conform to the Urban Single-family land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, it follows the rezoning and development trend to multifamily residences in the area. This is part of six rezoning cases in the area; the development is for a proposed apartment complex. A subdivision and site plan review process is required prior to building permit issuance. The proposed development is approximately 7 acres (305,000 square feet), based on the maximum density per gross acres in the R-3 multifamily residential district: 305-one bedroom units, 244-two bedroom units or 203-three bedroom units will be allowed. Seven thousand square feet represents the minimum lot area for any R-3 multifamily residential district, exclusive of townhouse. Max allowable density per acre will be defined on site plan approval, once a final subdivision plat is recorded. The proposed development as awarded by state was 102 units. Traffic analysis will be review under the Subdivision and Site Plan Review process. Uvalde Avenue has 50 ft. of ROW dedication; the

curb-to-curb starts at approximately 35 ft. closest to south 10th Street and as the street travels east, it decreases to 30 ft. Uvalde Avenue would be consider a Local street due to its dimensions.

Staff has not received a phone call or email in opposition to the rezoning request.

Staff recommends approval of the rezoning request to R-3A (multifamily apartments) District.

7. Rezone from R-2 (duplex-fourplex) District to R-3A (multifamily apartments) District: the west 69 ft. of the east half Lot 8, Hollenbeck Subdivision, Hidalgo County, Texas; 807 Uvalde Avenue. **(REZ2021-0012)**

The property is located on the south side along Uvalde Avenue, approximately 510 ft. east of South 10th Street. The subject property consists of 7,783.20 square feet (0.1787 acres). The applicant is requesting to rezone the property to R-3A (multifamily apartments) District in order to construct multifamily apartments. Funding for 102 Units was approved by TDHCA. The adjacent zoning is C-3 (general business) District to the south and west, R-2 (duplex-fourplex) District to the west, east. The property is currently occupied by a single-family house. Surrounding land uses include single-family residences, apartments, La Placita Commercial Plaza that holds Retail stores, Lone Star National Bank and BBVA Compass Bank, and vacant land. The Foresight McAllen Comprehensive Plan designates the future land use for this property as Urban Single Family which is comparable to R-1 (single-family residential) District. The development trend for this area along Uvalde Avenue is single-family residential, duplexes and commercial plazas. The property was initially zoned R-1 (single-family residential) District during the comprehensive zoning in May 1979. On November 28, 1997, there was a city-initiated zoning for 21 properties in the 600 to 900 block of Uvalde Avenue presented to the P&Z Board to rezone from R-1 District to C-1 (office) District; the request was disapproved, but the Board recommended the approval for R-2(duplex-fourplex) District. On City Commission's meeting of January 12, 1998, the board voted to alternative approved the request to R-2 District. There has been no other rezoning request for the subject property since then. The requested zoning does not conform to the Urban Single-family land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, it follows the rezoning and development trend to multifamily residences in the area. This is part of six rezoning cases in the area; the development is for a proposed apartment complex. A subdivision and site plan review process is required prior to building permit issuance. The proposed development is approximately 7 acres (305,000 square feet), based on the maximum density per gross acres in the R-3 multifamily residential district: 305-one bedroom units, 244-two bedroom units or 203-three bedroom units will be allowed. Seven thousand square feet represents the minimum lot area for any R-3 multifamily residential district, exclusive of townhouse. Max allowable density per acre will be defined on site plan approval, once a final subdivision plat is recorded. The proposed development as awarded by state was 102 units. Traffic analysis will be review under the Subdivision and Site Plan Review process. Uvalde Avenue has 50 ft. of ROW dedication; the curb-to-curb starts at approximately 35 ft. closest to south 10th Street and as the street travels east, it decreases to 30 ft. Uvalde Avenue would be consider a Local street due to its dimensions.

Staff has not received a phone call or email in opposition to the rezoning request.

Staff recommends approval of the rezoning request to R-3A (multifamily apartments) District.east and north, and R-3C (multifamily condominiums) District to the east.

8. Rezone from R-2 (duplex-fourplex) District to R-3A (multifamily apartments)



District: the east half of Lot 10, Hollenbeck Subdivision, Hidalgo County, Texas; 725 Uvalde Avenue. **(REZ2021-0013)**

The property is located on the south side along Uvalde Avenue, approximately 660 ft. east of South 10th Street. The subject property consists of 8,911.20 square feet (0.2046 acres). The applicant is requesting to rezone the property to R-3A (multifamily apartments) District in order to construct multifamily apartments. Funding for 102 Units was approved by TDHCA. The adjacent zoning is C-3 (general business) District to the south and west, R-2 (duplex-fourplex) District to the west, east and north, and R-3C (multifamily condominiums) District to the east. The property is currently occupied by a single-family house. Surrounding land uses include single-family residences, apartments, La Placita Commercial Plaza that holds Retail stores, Lone Star National Bank and BBVA Compass Bank, and vacant land. The Foresight McAllen Comprehensive Plan designates the future land use for this property as Urban Single Family which is comparable to R-1 (single-family residential) District. The development trend for this area along Uvalde Avenue is single-family residential, duplexes and commercial plazas. The property was initially zoned R-1 (single-family residential) District during the comprehensive zoning in May 1979. On November 28, 1997, there was a city-initiated zoning for 21 properties in the 600 to 900 block of Uvalde Avenue presented to the P&Z Board to rezone from R-1 District to C-1 (office) District; the request was disapproved, but the Board recommended the approval for R-2(duplex-fourplex) District. On City Commission's meeting of January 12, 1998, the board voted to alternative approved the request to R-2 District. There has been no other rezoning request for the subject property since then. The requested zoning does not conform to the Urban Single-family land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, it follows the rezoning and development trend to multifamily residences in the area. This is part of six rezoning cases in the area; the development is for a proposed apartment complex. A subdivision and site plan review process is required prior to building permit issuance. The proposed development is approximately 7 acres (305,000 square feet), based on the maximum density per gross acres in the R-3 multifamily residential district: 305-one bedroom units, 244-two bedroom units or 203-three bedroom units will be allowed. Seven thousand square feet represents the minimum lot area for any R-3 multifamily residential district, exclusive of townhouse. Max allowable density per acre will be defined on site plan approval, once a final subdivision plat is recorded. The proposed development as awarded by state was 102 units. Traffic analysis will be review under the Subdivision and Site Plan Review process. Uvalde Avenue has 50 ft. of ROW dedication; the curb-to-curb starts at approximately 35 ft. closest to south 10th Street and as the street travels east, it decreases to 30 ft. Uvalde Avenue would be consider a Local street due to its dimensions.

Staff has not received a phone call or email in opposition to the rezoning request.

Staff recommends approval of the rezoning request to R-3A (multifamily apartments) District.

9. Initial zoning to R-1 (single-family residential) District: 18.298 acres out of Lot 445, John H. Shary Subdivision, Hidalgo County, Texas; 9400 North Shary Road. **(REZ2021-0039)**

Mr. Forghanparast stated that the property was located on the east side of North Shary Road, 90 ft. south of Mile 6 Road. The tract had 619.92 ft. of frontage along North Shary Road with a depth of 1,259.92 ft. for a lot size of 18.298 acres. The tract was outside the City limits and was undergoing voluntary annexation. The initial zoning to R-1 (single-family residential) District would become effective upon the annexation of the tract into the City. The applicant was requesting R-1

District for a proposed 90-lot subdivision under the name of The Pioneer Estates Subdivision which was approved in preliminary form on July 8, 2021, by the Planning and Zoning Commission. The adjacent properties to the subject property were outside McAllen City limits. There was a vacant house on the subject property which was built in 1961 according to the Hidalgo County Appraisal District records. Surrounding land uses include single-family residences, agricultural land, Sharyland Pioneer High School, and vacant land. The Foresight McAllen Comprehensive Plan designated the future land use for this property as Estate Residential, which was comparable to R-1 District. The development trend for this area along North Shary Road was single-family residential. The tract had been in the City's Extra-Territorial Jurisdiction (ETJ) since October 1, 1981. A subdivision application for the subject property were submitted on June 14, 2021, which was approved in preliminary form on July 8, 2021, by the Planning and Zoning Commission. An annexation and initial zoning requests for the subject property were scheduled to be heard at the City Commission meeting of August 23, 2021. The requested zoning conformed to the Estate Residential land use designation as indicated on the Foresight McAllen Comprehensive Plan. It also followed the development trend in the surrounding area. A recorded subdivision plat was required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat. The R-1 District designation permitted continuation of the subdivision process for a residential subdivision.

Staff had not received any calls or emails in opposition to the initial zoning request.

Staff recommended approval of the initial zoning request to R-1 (single-family residential) District.

Chairperson Daniel Santos asked if there was anyone present in opposition of the proposed Rezone request, there were none.

Being no discussion, Mr. Gabriel Kamel moved to approve. Mr. Michael Fallek seconded the motion, which was approved with five members present and voting.

10. Initial zoning to R-3A (multifamily residential apartment) District: 17.043 acres out of Lot 445, John H. Shary Subdivision, Hidalgo County, Texas; 9000 North Shary Road. **(REZ2021-0040)**

Mr. Forghanparast stated that the property was located on the east side of North Shary Road, 709.92 ft. south of Mile 6 Road. The tract had 509.09 ft. of frontage along North Shary Road with a depth of 1,259.92 ft. for a lot size of 17.043 acres. The tract was outside the City limits and was undergoing voluntary annexation. The initial zoning to R-3A (multifamily residential apartment) District would become effective upon the annexation of the tract into the City. The applicant was requesting R-3A District in order to build detached duplexes. A proposed 55-lot subdivision under the name of The Hills at Sharyland Subdivision was approved in preliminary form for the subject property on July 8, 2021, by the Planning and Zoning Commission. The adjacent properties to the subject property were outside McAllen City limits. The property was vacant. Surrounding land uses included single-family residences, agricultural land, Sharyland Pioneer High School, and vacant land. The Foresight McAllen Comprehensive Plan designates the future land use for this property as Estate Residential, which was comparable to R-1 District. The development trend for this area along North Shary Road was single-family residential. The tract had been in the City's Extra-Territorial Jurisdiction (ETJ) since April 16, 1979. A subdivision application for the subject property was submitted on June 14, 2021, which was approved in preliminary form on July 8, 2021, by the Planning and Zoning Commission. An annexation and initial zoning requests for the subject

property were scheduled to be heard at the City Commission meeting of August 23, 2021. The requested zoning does not conform to the Estate Residential land use designation as indicated on the Foresight McAllen Comprehensive Plan; however, the rezoning request provided opportunities for a variety of housing types throughout the city that responded to the residents' economic and social lifestyles. The proposed development would be in proximity to compatible uses, Sharyland High School, since institutional uses are located within residential neighborhoods. A recorded subdivision plat was required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit was required prior to recording a subdivision plat. The R-3A District designation permitted continuation of the subdivision process for a residential subdivision.

Staff had not received any calls or emails in opposition to the initial zoning request.

Staff recommended approval of the initial zoning request to R-3A (multifamily residential apartment) District.

Chairperson Daniel Santos asked if there was anyone present in opposition of the proposed Rezone request, there were none.

Being no discussion, Mr. Marco Suarez moved to approve. Mr. Gabriel Kamel seconded the motion, which was approved with five members present and voting.

11. Rezone from R-1 (single-family residential) District to R-3A (multifamily residential apartment) District: 0.544 acre tract of land out of Lot 1, Resubdivision of Lots 15 and 16, Block 2, C. E. Hammond's Subdivision, Hidalgo County, Texas; 1500 North Bentsen Road. **(REZ2021-0041)**

Mr. Forghanparast stated that the property was located on the east side of North Bentsen Road, approximately 210 ft. north of Pecan Boulevard. The irregularly shaped tract has 488.26 ft. of frontage along North Bentsen Road with a depth of 97.05 ft. at its deepest point for a lot size of 0.544 acres. The applicant is requesting to rezone the property to R-3A (multifamily residential apartments) District in order to construct a duplex and a fourplex. A proposed 1-lot subdivision under the name of Twin Subdivision was approved in preliminary form for the subject property on December 3, 2020, by the Planning and Zoning Commission. The adjacent zoning is A-O (agricultural and open space) District to the north and east and R-1 (single-family residential) District to the west and south. The subject property is currently vacant. Surrounding land uses include single-family residences, Hidalgo County Water District No. 1 Canal R.O.W., Hope of Glory Fellowship Church, VFW Post 8788, McAllen ISD offices, James Nikki Rowe High School, Shary Estates Apartments, and vacant land. The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Single Family which was comparable to R-1 (single-family residential) District. The development trend for this area was single-family residences, apartments, and commercial use. The tract was zoned A-O (agricultural and open space) District during the comprehensive zoning in 1979. A rezoning request to R-2 (duplex-fourplex residential) District for the subject property was disapproved by the City Commission on November 25, 2002. A rezoning request to R-1 (single-family residential) District for the subject property was approved by the City Commission on February 24, 2003. A rezoning request to R-3A (multifamily residential) District for the subject property was withdrawn by the applicant on November 8, 2005. There has been no other rezoning request for the subject property since then. A rezoning request to R-3A District for Shary Estate Subdivision located at 4701 Pecan Boulevard was approved by the City

Commission on March 27, 2017. A rezoning request to R-3A District for a property located at 3804 Pecan Boulevard was approved by the City Commission on August 24, 2015. The requested zoning does not conform to the Auto Urban Single Family land use designation; however, it followed the rezoning and development trend to R-3A District in the area. The rezoning request provided opportunities for a variety of housing types throughout the city that responds to the residents' economic and social lifestyles. The proposed development would be in proximity to compatible uses, James Nikki Rowe High School, since institutional uses are located within residential neighborhoods. A recorded subdivision plat and approved site plan is required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit was required prior to recording a subdivision plat.

Staff had not received a letter or call in opposition to the rezoning request.

Staff recommended approval of the rezoning request to R-3A (multifamily residential apartment) District.

Chairperson Daniel Santos asked if there was anyone present in opposition of the proposed Rezone request, there were none.

Being no discussion, Mr. Marco Suarez moved to approve. Mr. Gabriel Kamel seconded the motion, which was approved with five members present and voting.

**Chairman Daniel Santos proceeded to the Subdivision section before the Conditional Use Permits of the Agenda.**

**b) SUBDIVISIONS:**

- 1) Magnolia Farm Subdivision, 9309 North Ware Road, John Tagle **(SUB2021-0076) (Preliminary) MAS**

Mr. De la Garza stated N. Ware Road: Proposing 35 ft. dedication for 75 ft. ROW from centerline for 150 ft. ROW Paving: by the state Curb & gutter: by the state. Verify alignment of N. Ware Road with the state to finalize ROW, prior to final. COM Thoroughfare Plan. Paving, Curb & gutter. Front: 45 ft. or greater for easements or in line with average setback of existing structures; whichever is greater. Zoning Ordinance: Section 138-356. Rear: Proposing 15 ft. or greater for easements. Zoning Ordinance: Section 138-356. Sides: 6 ft. or greater for easements. Plat shows 15 ft. private drainage easement along property lines. Please revise plat accordingly. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setbacks is requires; greater setback applies. Please revise plat note prior to final as shown above. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved. 5 ft. wide minimum sidewalk required on North Ware Road. 5 ft. sidewalk requirement as per Engineering Department. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Common Areas, private streets/drives, private drainage easement, must be maintained by the lot owners and not the City of McAllen. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be

responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-72 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Minimum lot width and lot area. Zoning Ordinance: 138-1. Lots fronting public streets. Zoning Ordinance: Section. 138-356. ZONING/CUP Existing: ETJ Proposed: ETJ. If annexation and initial zoning are requested, processes must be finalized prior to final plat review. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Zoning Ordinance: Article V. Comments: Must comply with City's Access Management Policy. If annexation and initial zoning are requested, processes must be finalized prior to final plat review. Provide any gate details proposed for staff to review prior to final. Please provide ownership maps to verify that no landlocked properties exist prior to final.

Staff recommends approval of subdivision in preliminary. Form subject to conditions noted, utilities and drainage approvals.

Being no discussion, Mr. Michael Hovar moved to approve as preliminary form subject to conditions noted. Mr. Marco Suarez seconded the motion, which was approved with five members present and voting.

- 2) Cris-Auto Services Subdivision, 7500 North 23rd Street, Cristobal Moreno,  
**(SUB2021-0040)(Final) MAS – THE CORRECTED Case # should be  
SUB2021-0079**

Ms. Gonzalez stated N. 23rd Street: 10 ft. dedicated for 60 ft. from centerline for 120 ft. ROW. Paving: By the state Curb & gutter: By the state. Show ROW from centerline and total ROW on N. 23rd Street to new property line after accounting for ROW dedication prior to final. COM Thoroughfare Plan. Warbler Avenue: 60 ft. ROW. Paving: 40 ft. Curb & gutter: Both sides. Monies must be escrowed if improvements are not built prior to recording. Show document number of instrument where ROW for Warbler Avenue was dedicated. Subdivision Ordinance: Section 134-105. Paving, curb & gutter ROW: 24 ft. Paving: 24 ft. Alley/service drive easement required for commercial properties. Note #17 indicates a min. 24 ft. wide service drive will be extended once adjacent property develops. Subdivision Ordinance: Section 134-106. Front: North 23rd Street: 60 ft. or in accordance with Zoning Ordinance or greater for easements or approved site plan. Revise plat as noted above Zoning Ordinance: Section 138-356. Rear: In accordance with zoning Ordinance or greater for easements or approved site plan. Please revise plat note as shown above prior to final. Zoning Ordinance: Section 138-356. Interior Sides: In accordance with zoning Ordinance or greater for easements or approved site plan. Please revise plat note as shown above prior to final. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 5 ft. wide minimum sidewalk required on N. 23rd Street and 4 ft. wide minimum sidewalk required on Warbler Ave. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Add plat note as shown above prior to final. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along N. 23rd Street with access only from Warbler Avenue indicated on plat note #15. City's Access Management Policy. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Please remove plat note #8 since is not required. Common Areas

for commercial developments provide for common parking, access, setbacks, landscaping, etc. Common areas, private streets/service drives must be maintained by the lot owners and not the City of McAllen. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Minimum lot width and lot area. Zoning Ordinance: 138-1. Lots fronting public streets. Zoning Ordinance: Section. 138-356. Existing: C-3 Proposed: C-3. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation has been approved. Comments: Must comply with City's Access Management Policy. CUP2021-0080 needs to be finalized prior to recording. Business is not able to operate until CUP is granted.

Staff recommends approval of the subdivision in final form.

After a brief discussion, Mr. Marco Suarez moved to approve. Mr. Michael Fallek seconded the motion, which was approved with five members present and voting

3) Garcia Estates, 2901 Gumwood, Sonia Garcia/Erik J. Mora(SUB2020-0048)(**TABLED ON 6/3/2021**)M&H

To remain tabled until next Planning and Zoning meeting.

**c) CONDITIONAL USE PERMITS:**

1. Request of Rosalinda Raabe on behalf of Iglesia Camino Del Rey Upper Valley, A Texas Non-Profit Corporation, for a Conditional Use Permit for life of the use, for an Institutional Use (Church) at Lot "A", Daffodil Gardens Subdivision Unit No. 1, save and except the East 159.1 feet thereof of Lot "A", the West three (3) acres of Lot 25, Wayne Court Subdivision Extended, and 0.66 acres out of Lot 25, Wayne Court Subdivision Extended, Hidalgo County, Texas; 504 and 508 Harvey Drive. (**CUP2021-0069**)

Mr. Michael Hovar recused himself from voting.

Ms. Sanchez stated that the subject property is located along the north side of Harvey Drive between North 4th and North 6th Streets. The property is zoned R-1 (Single Family Residential) District, and the adjacent zoning is R-1 (Single Family) District to the north, south, west, and R-3T (Multifamily Residential Townhouse) District to the east. Surrounding land uses include single family residential homes and Andrew Jackson Elementary School. A conditional use is permitted in an R-1 zone with a conditional use permit and in compliance with requirements.

Harvey Drive Church of Christ requested the initial Conditional Use Permit for the property which was approved for life of the use by the Planning and Zoning Commission on July 5, 1994 and the Board of Commissioners on July 25, 1994. A new application for a Conditional Use Permit for the property was approved for one year by the Planning and Zoning Commission on August 2, 2016 for a daycare to operate on church grounds of the subject property.

Since 2016 the permit was renewed annually; the last Conditional Use Permit for the property was issued in 2019. There are currently four main buildings on the property as shown in the submitted

site plan. Building "A", located at the front of the property, will consist of an auditorium, classrooms, and two restrooms, which will be used as a chapel. Building "B" will consist of an auditorium, two restrooms, reception area, a break area, a kitchen, one office, two classrooms, one storage room, and a room with the air conditioning unit as displayed on the submitted site plan, which will be used as a hall and a church. Building "C", located at the rear of the property, consists of two restrooms, storage rooms as shown on the submitted site plan, which will be used for religious services. A fourth building on property will be used as a parsonage and has an address of 504 Harvey Drive.

The applicant proposes church services for Iglesia Camino De Rey Upper Valley on Tuesdays from 6:00 PM to 8:30 PM in building "C", Friday's from 7:00 PM to 9:30 PM, Saturday's from 10:00 AM to 1:00 PM in building "B", and on Sunday's from 9:00 AM to 1:00PM in building "A". As per the applicant, if one building is being utilized, the remaining two buildings will not be utilized on the same day. The seating arrangement of the church varies per building. Currently in building "A" there are 24 pews, with the church proposing a seating capacity of 6 persons per pew or 144 seats. The proposed seating for building "B" is 70 seats. The proposed seating arrangement for building "C" is 200 seats. There are presently 140 parking spaces on the subject property. Parking must comply with Section 138-395 (2), one parking space for each 4 seats in main auditorium is required, as per the Zoning Ordinance. The Fire Department has conducted the necessary inspection for this property and is in compliance with applicable code requirements. Should the conditional use permit be approved, the applicant would be required to sign the application acknowledging and agreeing to all conditions of the permit. The proposed use must also comply with the zoning ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial.
- 2) The proposed use shall comply with the McAllen Off-Street Parking and Loading. Ordinance and make provisions to prevent the use of street parking, especially in residential areas. The church will have a seating capacity of 414 seats if all three buildings were to be used simultaneously, 104 parking spaces are required; 140 parking spaces are provided on the property.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the building shall be restricted to the existing seating capacity for the building.

Staff recommends approval of the request, for life of the use, subject to compliance with the Zoning Ordinance, Building Permits and Fire Department requirements.

Chairperson Daniel Santos asked if there was anyone present in opposition of the proposed Conditional Use Permit, there were none.

Being no discussion, Mr. Michael Fallek moved to approve with conditions noted. Mr. Marco Suarez seconded the motion, which was approved with four members present and voting.

2. Request of Eric U. Young for a Conditional Use Permit, for One Year, for a Portable Food Concession Stand (Snow Cone Stand) at Lots 4 through 6, Block 1, La Lomita Terrace Subdivision, Hidalgo County, Texas; 1905 N 23rd Street. **(CUP2021-0082)**

The subject property is located at the northwest corner of North 23rd Street and Sycamore Avenue. The property is zoned C-3 (general business) District, and the adjacent zoning is C-3 (general business) District to the north, south, and southeast, there is R-1 (single family residential) District to the east and west. Surrounding land uses include Via Executive Suites, Burger King, Solo Car Wash, H&R Block, McAllen High School, and single family residential homes. A snow cone stand is permitted in a C-3 zone with a conditional use permit and in compliance with requirements.

The initial Conditional Use Permit for the property was approved for one year by the Planning and Zoning Commission on April 6, 1993. It should be noted that the use of the property continued 2 under regular operation. On November 28, 2005, Code Enforcement had informed the occupant of the property that the conditional use permit must be renewed every year, to which the occupant had stated that he did not know the conditional use permit was to be renewed every year, the occupant then stated that only the Health permit was being renewed. On November 29, 2005, the occupant applied for a new Conditional Use Permit for a Portable Food Concession Stand (Snow Cone Stand), and the Conditional Use Permit for the property was approved for one year by the Planning and Zoning Commission on January 3, 2006. The occupant applied for a renewal of the Conditional Use Permit for two consecutive years following the Conditional Use Permit of 2006, on April 18, 2007, and May 2, 2008. The use of the property continued under regular operation. A stop work order was issued on April 21, 2021 due to a carport placed on the property without a building. The code enforcement department found there was no Conditional Use Permit for the snow cone stand; the last Conditional Use Permit for the business was issued in 2009. There is a 21-foot by 28-foot portable food concession stand on the subject property. A carport measuring 26 feet by 18 feet provides shade for the seating area. The seating area has five tables, which seat four people per table. In regards to the parking area, there are 15 parking spaces. The applicant is proposing to continue to operate the portable food concession stand (snow cone stand); since the Conditional Use Permit lapsed, it must be considered by the Planning and Zoning Commission as a new request. The applicant is proposing to operate the business Monday through Saturday from 12:00 p.m. to 10:00 p.m. The snow cone stand requires eight parking spaces based on the square footage of the snow cone stand building and the seating area. Parking must comply with Section 138-400 as per the Zoning Ordinance. The Fire and Health Department has conducted the necessary inspections for this property and is in compliance with applicable code requirements. Should the conditional use permit be approved, the applicant would be required to sign the application acknowledging and agreeing to all conditions of the permit. The snow cone stand must also meet the requirements set forth in Section 138-118(9) of the Zoning Ordinance as follows:



- 1) The proposed use shall not be located in a residentially zoned area. The property is zoned C-3 (general business) District.
- 2) The proposed use shall be inspected by Building Inspection Department and meet applicable building codes.
- 3) Must have paved off-street parking available over and above what is required for the business to which it is adjacent; eight parking spaces are required and 15 are provided.
- 4) Portable building must be anchored to the ground properly;
- 5) Must meet setback requirements of the zoning district in which it is located; and
- 6) Water and sewer facilities shall be required to the tract and may be required to the Proposed used.

Staff recommends approval of the request, for one year, subject to compliance with requirements of the Zoning Ordinance, Building Permit, Health and Fire Department requirements

Chairperson Daniel Santos asked if there was anyone present in opposition of the proposed Conditional Use Permit, there were none.

Being no discussion, Mr. Marco Suarez moved to approve. Mr. Michael Hovar seconded the motion, which was approved with five members present and voting

3. Request of John A. Simon, For a Conditional Use Permit, for one year, for a bar at Lot 23 Continental Trade Center Subdivision, Hidalgo County, Texas; 2007 Orchid Avenue **(CUP2021-0070)**

Mr. Garza stated that the property is located on the south side of Orchid Avenue, approximately 100 ft. west of North Bicentennial Boulevard and is zoned C-3 (general business) District. The surrounding zoning is C-3 District in all directions. Surrounding land uses include the IMAS museum, gymnasium, dance studio, offices, retail, nightclubs and vacant properties. A bar is allowed in a C-3 zone with a conditional use permit and in compliance with requirements.

The initial conditional use permit for this establishment (Simon Sez II) was approved by the Planning and Zoning Commission on March 16, 1993 and has been renewed annually. The last permit was approved for renewal on April 21, 2020. The applicant is proposing to continue to operate a bar from the existing building. The hours of operation will continue to be from 4:00 p.m. to 2:00 a.m. Monday through Friday and 6:00 p.m. through 2:00 a.m. Saturday.

Attached is the Police Activity report for service calls from July 01, 2020 to July 14, 2021. No concerns or complaints have been received by the Planning Department. The Fire and Health Departments have inspected the location; no violations were found. Staff has not received any calls in opposition to the request. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of those businesses having late hours (after 10:00 p.m.) must be at least

300 ft. from the nearest residence, church, school or publicly-owned property or must provide sufficient buffer and sound insulation of the building such that the building is not visible and cannot be heard from the residential areas. The establishment is within 300 ft. of the McAllen International Museum; however, staff has not received any complaints from the McAllen International Museum Board.

2) The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The establishment has direct access to Orchid Avenue and is near Nolana Avenue.

3) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional on site parking. Based on the square footage of the building, 24 parking spaces are required. Seven parking spaces are provided on site. Parking agreements were submitted to meet parking requirements with a total of 27 spaces. The parking agreements are currently valid and have an expiration date of August 31, 2021 (five-year term).

4) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties by providing, when necessary, fences, hedges or reorientation of entrances and exits under the vegetation ordinance. The unpaved areas (east side) cannot be used for parking. This area is not fenced off.

5) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;

6) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and

7) The above mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director. The allowable number of persons within the building shall be restricted to 96 persons.

Staff recommends approval of the request, for one year, subject to the conditions noted, renewal of the parking agreement, and compliance with requirements in Section 138-118(4) of the Zoning Ordinance, and Health and Fire Department requirements.

Chairperson Daniel Santos asked if there was anyone present in opposition of the proposed Conditional Use Permit, there were none.

Being no discussion, Mr. Gabriel Kamel moved to approve. Mr. Michael Fallek seconded the motion, which was approved with five members present and voting.

4. Request of Liza Salinas, for a Conditional Use Permit, for one year, for a bar at Lot 1, A&A Subdivision, Hidalgo County, Texas; 5204 North 10th Street.  
**(CUP2021-0071)**

Mr. Garza stated that the property is located at the northeast corner of North 10th Street and Zinnia

Avenue, and is zoned C-3 (general business) District. The adjacent zoning is R-1 (single family residential) District to the east and C-3 (general business) District to the north, south, and west. Surrounding land uses include commercial businesses, offices, restaurants, and single-family residences. A bar is allowed in a C-3 zone with a Conditional Use Permit and in compliance with requirements.

The applicant is proposing to operate a bar (Kiss and Fly) from the proposed 3600 sq. ft. The proposed hours of operation will be from 5:00 p.m. to 12:00 a.m. Monday through Friday.

The Fire Department and Health Department has inspected the establishment, and the property is in compliance. The police activity report is attached, which indicates service calls from July 2020 to present. The Planning Department has not received any calls in opposition to the request. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

- a) The property line of the lot of any of the above mentioned businesses must be at least 400 ft. from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The proposed establishment is within 400 ft. of residential zones;
- b) The abovementioned businesses must be as close as possible to a major arterial, and shall not allow the traffic generated by such businesses onto residential streets, or allow such traffic to exit into and disrupt residential areas. The property has direct access to 10th Street and Zinnia Avenue;
- c) The abovementioned businesses must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. Currently there is a multi-tenant commercial building on the property. The shopping center is a mixture of office, retail, vacant suites, and restaurants. The proposed bar is required 36 parking spaces; 90 parking spaces are provided on the common parking area in the front and rear of the building. As per section 138-400(a) of the Off-Street Parking and Loading requirements, all off-street parking must be clearly striped and free of potholes.
- d) The abovementioned businesses must do everything possible to prevent the unauthorized parking by the patrons of such businesses on adjacent business or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances;
- e) The abovementioned businesses should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility as much as possible of the site from a public street;
- f) The abovementioned businesses must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties;
- g) The abovementioned businesses shall restrict the number of persons within the building to those allowed by the planning and zoning commission at the time of permit issuance, after having

taken into account the recommendations of the fire marshal, building official and director of planning. The occupancy load for this establishment will be established by the Building department as part of the building permit review.

Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(4) of the Zoning Ordinance.

Chairperson Daniel Santos asked if there was anyone present in opposition of the proposed Conditional Use Permit, there were none.

Being no discussion, Mr. Gabriel Kamel moved to disapprove with a favorable recommendation. Mr. Michael Hovar seconded the motion, which was approved with five members present and voting.

5. Request of Maria I. Ewens for a conditional use permit, for a year, for an event center at the 2.77 acres out of lot 11, La Lomita (HOIT) Subdivision, Hidalgo County Texas, 3501 State Highway 107. **(CUP2021-0072)**

Mr. Garza stated that the property is located on the south side of State Highway 107, approximately 500 ft. east of La Lomita Road. A portion is zoned C-3 (general business) District and the other portion is zone R-1 (single family residential). The adjacent zoning is C-3 District to the east and west, and R-1 District to the south and A-O (agricultural & open space) and R-1 District to the north. An event center is permitted in a C-3 zone with a conditional use permit and in compliance with requirements.

The initial conditional use permit for this establishment was approved by the Planning and Zoning Commission on July 02, 2019. A renewal was not done for the year 2020.

There is an approximately 4,000 sq. ft. building on the property with a car lot office, a vacant suite, and a proposed event center. The applicant is proposing to utilize a 2,146 sq. ft. suite for an event center. The operation hours will be from Monday to Sunday from 6:00 P.M. to 12:00 A.M.

Attached is the Police Activity report for service calls from July 01, 2020 to July 14, 2021. The Fire Department have inspected the location, and the establishment is in compliance. The Health Department inspection is still pending. Staff has not received any calls in opposition to the request. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of the lot of any of the abovementioned businesses must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The property is within 400 ft. of residential zones or uses;
- 2) The abovementioned businesses must be as close as possible to a major arterial, and shall not allow the traffic generated by such businesses onto residential streets, or allow such traffic to exit into and disrupt residential areas. The property fronts State Highway 107 and it does not generate traffic into residential areas;
- 3) The abovementioned businesses must provide parking in accordance with the city off-street

parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking; Based on the 2,146 sq. ft. suite where the event center is proposing to operate, 22 parking spaces are required; 30 parking spaces are provided on site. The proposed operation hours of the event center do not interfere with the operation hours of the car lot. For the whole building to operate at the same time, 35 parking spaces would be required.

4) The abovementioned businesses must do everything possible to prevent the unauthorized parking by the patrons of such businesses on adjacent business or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances.;

5) The abovementioned businesses should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility of as much as possible of the site from a public street.;

6) The abovementioned businesses must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties;

7) The abovementioned businesses shall restrict the number of persons within the building to those allowed by the planning and zoning commission at the time of permit issuance, after having taken into account the recommendations of the fire marshal, building official and director of planning. This number cannot exceed the number provided for in existing city ordinances.

Staff recommends disapproval of the request, for one year, subject to non-compliance with requirement #1 (distance) of Section 138-118 (4) of Zoning Ordinance.

Chairperson Daniel Santos asked if there was anyone present in opposition of the proposed Conditional Use Permit, there were none.

Being no discussion, Mr. Gabriel Kamel moved to disapprove with favorable recommendation. Mr. Michael Hovar seconded the motion, which was approved with five members present and voting

6. Request of Jesus Henry Saenz for a Conditional Use Permit for one year, for a portable building greater than 10' X 12' (office) at Lots 2 and 3, Block 55, McAllen Addition Subdivision, Hidalgo County, Texas; 616 South 16th Street  
**(CUP2021-0083)**

Mr. Garza stated that the property is located on the west side of South 16th Street, approximately 70 ft. north of Galveston Avenue. The property is zoned C-3 (general business) District. The adjacent zoning is C-3 to the east, west, and south, and R-3A (apartments) District to the north. Surrounding land uses include commercial businesses, single and multi-family residences. A portable building is allowed in a C-3 District with a Conditional Use Permit and in compliance with requirements.

The initial conditional use permit for a portable building was approved for one year on November 18, 2014 by the Planning and Zoning Commission. The last conditional use permit for a portable building was disapproved on April 11, 2016 by the City Commission for a Conditional Use Permit

for One Year for a Portable Building Greater than 10ft. X 12ft. for an office for a tow truck business.

The applicant is proposing to operate an existing portable building on site, which will be used as an office for an AC repair business. The applicant is proposing to utilize the 24.33 ft. by 14.25 ft. portable building on the property as the office for the proposed AC repair business. The Fire Department has inspection is still pending. The portable building must also meet the requirements set forth in Section 138-118(3) of the Zoning Ordinance as follows:

- 1) Portable buildings must not be used for living quarters. The building will be used for office purposes;
- 2) Must be located in such a manner as to have access to a public right-of-way within 200 ft. The property fronts South 16th Street;
- 3) The proposed use and adjacent businesses shall comply with the off-street parking and loading ordinance. Based on the square footage, 5 parking spaces are required for the proposed portable building. The site plan provides 6 parking spaces. Access to the site is from South 16th Street and the paved alley at the rear of the lot;
- 4) Must provide for garbage and trash collection and disposal;
- 5) Must be connected to an approved water distribution and sewage disposal system;
- 6) No form of pollution shall emanate beyond the immediate property line of the permitted use; and no outside storage of equipment or material.
- 7) Additional reasonable restrictions or conditions such as increased open space, loading and parking requirements, suitable landscaping, curbing, sidewalks or other similar improvements may be imposed in order to carry out the spirit of the Zoning Ordinance or mitigate adverse effects of the proposed use.

Staff recommends approval of the request, subject to Section 138-118(3) of the Zoning Ordinance, Building Permit and Fire Department requirements.

Chairperson Daniel Santos asked if there was anyone present in opposition of the proposed Conditional Use Permit, there were none.

Being no discussion, Mr. Gabriel Kamel moved to approve. Mr. Marco Suarez seconded the motion, which was approved with five members present and voting

7. Request of Denny Meline on behalf of the City of McAllen for an amendment of a Conditional Use Permit, for the life of the use, for an institutional use (park) at 17.51 acres out of Lot 4, Block 12, Steele and Perishing Subdivision, Hidalgo County, Texas, 100 Highway 83. **(CUP2021-0085)**

Mr. Garza stated that the property is on the northeast corner of U.S. Highway 83 and North 2nd Street and is Zoned I-1 (light industrial) District. The adjacent zoning is I-1 District to the east, C-3 (general business) District to the south and west, and R-4 (mobile and modular homes) District to

the north. Surrounding land uses include University Draft House, Texas Thrift Store, Core & Main, Paradise Park, and other commercial properties. An institutional use is permitted in an I-1 zone with a conditional use permit and in compliance with requirements.

The initial conditional use permit for life of the use for an institutional use (park) was approved by the City Commission meeting of December 13, 2010.

The applicant is proposing to construct an 8 ft. by 20 ft. concession stand in the existing Fireman's Park. The park approximately 17.51 acres contains a pavilion, restrooms, recreational water-based facility for fishing, boating, birding and nature observation, and a hike and bike trail. The park is scheduled to operate from Sunday- Saturday 6 a.m. to 11 a.m.

The Fire Department inspection is still pending. Should the conditional use permit be approved, the applicant would be required to sign the application acknowledging and agreeing to all conditions of the permit. The proposed use must also comply with the zoning ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The property has direct access to North 1st Street, which connects to Highway 83 to the south;
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking, especially in residential areas. 84 common parking spaces are proposed on site. The parking must be clear of potholes and properly striped per city requirements.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the building shall be determined by the Building Inspections Department and shall maintain the existing capacity; and
- 7) Sides adjacent to commercially and residentially zoned or use property shall be screened by a 6 ft. opaque fence.

Staff recommends approval of the amendment request, for life of the use, subject to compliance with requirements in Section 138-118, with the conditions noted, Zoning Ordinance and building permit requirements

Chairperson Daniel Santos asked if there was anyone present in opposition of the proposed Conditional Use Permit, there were none.

Being no discussion, Mr. Michael Fallek moved to approve. Mr. Michael Hovar seconded the

motion, which was approved with five members present and voting

8. Request of Katherine L. Zeigler, on behalf of William A. Schwarz, for a Conditional Use Permit, for life of the use, for a gasoline service station at the 2.35 acres out of the Lot 5, Block 15, Steele & Pershing Subdivision of the east ½ of Portion 66 and all of Portion 67, Hidalgo County, Texas; 2408 & 2416 S. McColl Rd. **(CUP2021-0081)**

Ms. Garza stated that the property is located on the northwest corner of S. McColl Road and E. Yuma Avenue. The tract has 330 ft. of frontage along S. McColl Road with a depth of 310 ft. for a lot size of 2.35 acres. The property is zone C-1 (office) District. The adjacent zoning is R-1 (single family residential) District to the west, C-3 (general commercial) District to the north, R-3A (multifamily apartment) District to the east, and C-3L (light commercial) District to the south. Surrounding land uses are commercial buildings, single-family residential, apartments and vacant land.

The applicant has applied to rezone from C-1 to C-2 (neighborhood commercial) District. A gasoline service station is allowed in a C-2 zone with a conditional use permit and in compliance with requirements.

The property is vacant is currently going through rezoning process from C-1 District to C-2 District. The property will have to go through the subdivision process and site plan review prior to any building permit issuance.

The applicant is proposing to construct a canopy with gas pumps on the property, which will be part of a 4,650 sq. ft. gas station convenience store. A proposed site plan has been submitted; however, it is subject to change based on the subdivision plat and the Development Team requirements. A site plan must be approved by city staff prior to issuance of building permit. All building permit requirements must be met including parking, landscaping, setbacks, etc.

Access to the property will be from proposed curb cuts along E. Yuma Avenue and S. McColl Road; however, curb cuts must meet Traffic Department requirements. The Fire Department will conduct the final inspection once a building permit is issued. The Planning Department has not received any calls in opposition to the request. The use must comply with Section 138-257 – 138-261 and 138-167 of the Zoning Ordinance and specific requirements as follows:

- 1) Activities are limited to sale of gasoline, oil, and minor accessories and incidental services;
- 2) Ingress or egress shall not be permitted at locations where it will tend to create traffic hazards. Entrances shall not be permitted within 25 ft. of a street intersection. Two curb cuts are proposed one located at S. McColl Road and the other located at E. Yuma Avenue;
- 3) Front yard building setbacks, not including gas pumps or driveway covers (canopy), shall be 60 feet. Proposed setbacks are approximately 54 feet to the rear, 116 feet facing S. McColl Road, 50 feet facing E. Yuma Avenue, and +65 feet on the north side;
- 4) All lighting shall be shielded from adjacent residential districts;
- 5) A 6 ft. opaque buffer shall be provided where abutting or adjacent to residential districts. However, section 110-49 (a) Vegetation Ordinance requires a masonry screen eight ft. in height



where a commercial, industrial or multifamily use has a side or rear property line in common with a single-family use or zone. The property does abut a residential district to the west;

6) Gasoline service stations that have facilities for the repair or servicing of automobiles shall be a minimum of 13,000 square feet. Retail outlets for gasoline, oil, and minor accessories, without repair facilities, may be permitted on lots less than 13,000 square feet. The lot size is approximately 2.35 acres (102,300 square feet);

7) Gas pumps/islands shall be set back at least 13 ft. from the property line or 18 ft. from the curb, whichever is greater. Gas pumps will be approximately 30 ft. from the property line on S. McColl Road and 42 ft. from the property line on E. Yuma Avenue.

8) Gas pump canopy shall be set back at least 9 ft. from the property line or 10 ft. from the curb, whichever is greater. Gas pump canopy is approximately 30 ft. from the property line on S. McColl Road and 42 ft. from the property line on E. Yuma Avenue.; and

9) Gas pumps shall not be located within 100 ft. of a residential district. Applicant has modified the site so that gas pumps are not located within 100 ft. of a residential district.

If site plan changes, conditional use permit will need to be amended to resemble the approved Site Plan.

Staff recommends approval of the request, for life of the use, subject to the conditions noted, Sections 138-167 and 138-257 – 138-261 of the Zoning and Subdivision Ordinance, Site Plan Review requirements, Development Departments (Traffic, Fire, Utility, Public Works, Engineering, and Planning) requirements and building permit requirements.

Chairperson Daniel Santos asked if there was anyone present in opposition of the proposed Conditional Use Permit, there were none.

Being no discussion, Mr. Michael Fallek moved to approve. Mr. Gabriel Kamel seconded the motion, which was approved with five members present and voting

9. Request of Mario A. Reyna, on behalf of Riverside Development Service, LLC, for a Conditional Use Permit, for life of the use, for a planned unit development at the 26.663 acre tract of land out of Lot 45 and 52, La Lomita Irrigation and Construction Company's Subdivision, Hidalgo County, Texas; 8300 North Ware Road. **(CUP2021-0084)**

To remain tabled until next Planning and Zoning meeting. Mr. Gabriel Kamel approved with Mr. Michael Hovar seconding and five members present and voting.

10. Request of Cristobal Moreno, for a Conditional Use Permit, for life of the use, for an automotive service & repair at the 0.52 acre tract of land out of Block 14, Trenton Park Estates Ph. 1 & 2 Subdivision lying west of Lot 219, Woodhollow Subdivision, Hidalgo County, Texas; 7500 N. 23rd Street. **(CUP2021-0080)**

To remain tabled until next Planning and Zoning meeting. Mr. Gabriel Kamel approved with Mr.

Michael Hovar seconding and five members present and voting.

No information was announced. As per Edgar Garcia, Planning Director, no Rezoning or Conditional Use Permit items were presented to City Commission.

There was no discussion.

**ADJOURNMENT:**

There being no further business to come before the Planning & Zoning Commission, Michael Hovar adjourned the meeting at 4:48 p.m. and Mr. Gabriel Kamel. seconded the motion, which carried unanimously with five members present and voting.

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Chairperson, Daniel Santos

ATTEST: \_\_\_\_\_  
Magda Ramirez, Administrative Assistant

# Planning Department

## Memo

**TO:** Planning and Zoning Commission

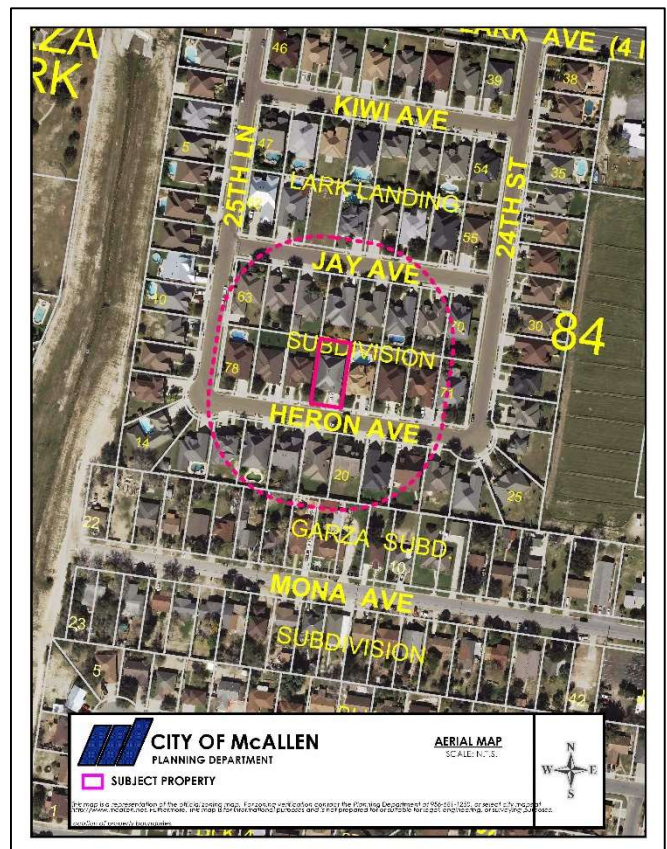
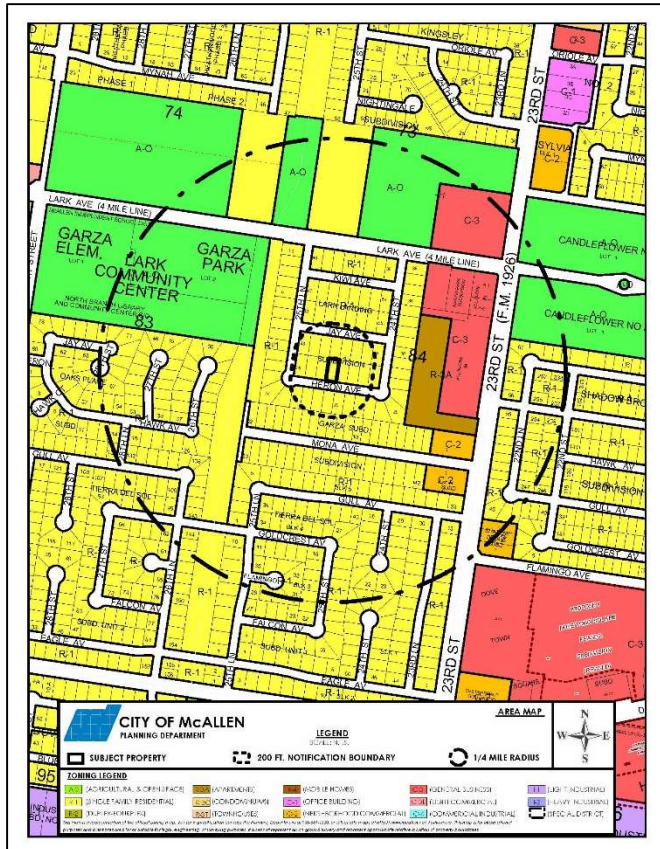
**FROM:** Planning Staff

**DATE:** August 10, 2021

**SUBJECT:** REQUEST OF IRMA I. MONTALVO, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR A HOME OCCUPATION (ONLINE BOUTIQUE) AT LOT 75, LARK LANDING SUBDIVISION, HIDALGO COUNTY, TEXAS; 2500 HERON AVENUE. (CUP2021-0086)

### BRIEF DESCRIPTION:

The property is located on the north side of Heron Avenue, 184 ft. east of North 25<sup>th</sup> Lane. It is zoned R-1 (single-family residential) District. The adjacent zoning is R-1 (single-family residential) District in all directions. Surrounding land use is single family residential. A home occupation is allowed in the R-1 District with a Conditional Use Permit and in compliance with requirements.



**REQUEST ANALYSIS:**

Currently, there is an existing 2,360 sq. ft. single family home on the property. The applicant is proposing to operate an online boutique (The Pink House Boutique, LLC) from the existing residence. The online boutique will consist of the sales of women's apparel and accessories. The applicant will utilize a 9 ft. by 9 ft. designated area as shown on the submitted site plan. The proposed days and hours of operation vary as this is an online business, and orders are processed by the applicant after work and during weekends. Transactions will take place online and the applicant will use a shipping company to ship out orders.

Should the conditional use permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The establishment must also comply with requirements set forth in Section 138-118(a)(1) of the Zoning Ordinance and other specific requirements as follows:

- 1) The home occupation must be clearly secondary to the residential use. The applicant lives in the residence;
- 2) No signs are permitted. No signs are proposed;
- 3) There shall be no exterior display or alterations indicating that the building is being used for any purpose other than that of a dwelling. The applicant proposes no exterior display or alterations;
- 4) There shall be no more than one additional unrelated employee other than immediate members of the family residing on the premises;
- 5) There shall be no outside storage of materials or products. The applicant proposes no outside storage;
- 6) The permitted use shall not create frequent or heavy traffic, not greater than ten percent (10%) of the average load per hour as determined by the city traffic engineer. No traffic will be generated as proposed.
- 7) No retail sales (items can be delivered). All retail sales will take place online;
- 8) No additions to the residence or accessory building specifically to accommodate the business. The applicant proposes no additions or accessory buildings;
- 9) The business must take place in the primary residential structure on the property rather than in a detached garage or separate accessory building;
- 10) The activity must take place at the location of which the permit was issued.

**RECOMMENDATION:**

Staff recommends approval of the request for one-year subject to compliance with requirements in Section 138-118(a)(1) of the Zoning Ordinance and Fire Department requirements.



P+2 8.17.21



CITY OF McALLEN, TEXAS  
311 NORTH 15<sup>TH</sup> STREET, McALLEN, TX 78501  
P. O. BOX 220, McALLEN, TEXAS 78505-0220 • (956) 681-1250 • FAX (956) 681-1279

Cup 2021-0086

Permit No. \_\_\_\_\_

**HOME OCCUPATION**

CONDITIONAL USE PERMIT APPLICATION

(Please print or type)

Application Date 7 / 12 / 21

MPU ACCOUNT NUMBER: \_\_\_\_\_

Irma I Montalvo

PHONE NO: (956) 358-9313

Applicant (first) (initial) (last)

2500 Heron Ave McAllen TX 78504

Mailing Address (city) (state) (zip)

Irma Irene Montalvo

PHONE NO: (956) 358-9313

Property Owner (first) (initial) (last)

2500 Heron Ave McAllen TX 78504

Mailing Address (city) (state) (zip)

2500 Heron Ave

Property Location (street address)

Lark Landing Lot 75

Property Legal Description (if metes and bounds, attach survey of the property) (subdivision) (block) (lot)

Residential

Current use of property

Online Boutique

Proposed use of property

The Pink House Boutique, LLC

TERM OF PERMIT: X 1 YEAR

**FLOOR PLAN & SITE PLAN** (attach a drawing of the property showing the following)

\_\_\_\_\_ Scale, north arrow, legal description of property

\_\_\_\_\_ Location and height of all structures

\_\_\_\_\_ Setback from property lines and between structures

\_\_\_\_\_ Proposed changes and uses

\_\_\_\_\_ Landscaping and fencing of yard

\_\_\_\_\_ Off-street parking and loading

\_\_\_\_\_ Driveway location & design

\_\_\_\_\_ Location, type, height and lighting of all signs

Irma J. Montalvo

(Applicant signature)

7-12-21

(date)

Irma J. Montalvo

(Property owner signature)

7-12-21

(date)

Hours of Operation \_\_\_\_\_ Number of Employees 1 self

**GENERAL INFORMATION**

**NOTIFICATION AND PUBLIC HEARING:** Property owners within 200' of the subject property shall be notified within at least 10 working days of the Planning and Zoning Commission public hearing. Upon considering the recommendation of the Director of Planning, the Planning and Zoning Commission shall approve or disapprove the application.

**APPEALS PROCEDURE:** Any decision of the Planning and Zoning Commission may be appealed to the City Commission by presenting a petition to the City Commission within 10 days after the decision of the Planning and Zoning Commission and specifying the grounds for the appeal. A vote of 3/4 of the City Commission is required to overrule a vote of the Planning and Zoning Commission denying a conditional use permit.

**CANCELLATION:** A conditional use permit is automatically cancelled if not used within 6 months.

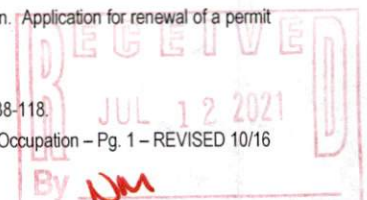
**REVOCAION:** A conditional use permit may be revoked by the Planning and Zoning Commission at a public hearing upon failure of the applicant to remedy a violation of the conditions of the permit within a specified time period (10 to 30 days) as specified in a written notice to the applicant by the Code Enforcement Officer or Building Inspector.

**RENEWAL PERIOD:** A conditional use permit shall expire within 1 year unless otherwise specified by the Planning and Zoning Commission. Application for renewal of a permit shall be made prior to 20 days before permit expiration. A permit for more than 1 year shall be approved by the City Commission.

**DEFINITIONS**

Home Occupation - An activity carried on by a member of the immediate family residing on the premises that meets the provision of Section 138-118.

Home Occupation - Pg. 1 - REVISED 10/16



LG.



FOR OFFICIAL USE ONLY  
APPLICATION FILING FEE: ☒ \$300.00 One Year ☐ \$150.00 APPEAL  
cash/check # \_\_\_\_\_ Amount paid \_\_\_\_\_

**ZONING DISTRICT REQUIREMENTS**

REQUIRED ZONING DISTRICT: A-O TO I-2  
REZONING REQUIRED: \_\_\_\_\_ NO  
SETBACKS: FRONT \_\_\_\_\_ SIDE \_\_\_\_\_ REAR \_\_\_\_\_  
MINIMUM LOT SIZE: \_\_\_\_\_

CURRENT ZONING DISTRICT:  
\_\_\_\_\_ YES, attach rezoning application  
MAXIMUM HEIGHT: \_\_\_\_\_

**CONDITIONAL USE REQUIREMENTS**

The proposed use meets all the minimum standards established in applicable city ordinances; and will not be detrimental to the health, welfare and safety of the surrounding neighborhood or its occupants, nor be substantially or permanently injurious to neighboring properties.

**GENERAL REQUIREMENTS:**

1. No form of pollution shall emanate beyond the immediate property line of the permitted use.
2. Additional reasonable restrictions or conditions such as increased open space, loading and parking requirements, suitable landscaping, curbing, sidewalks or other similar improvements may be imposed in order to carry out the spirit of the Zoning Ordinance or mitigate adverse effects of the proposed use.

**SPECIFIC REQUIREMENTS:**

1. The home occupation shall be clearly secondary to the residential use.
2. Signs shall not be permitted except a nameplate bearing the person's name or occupation; and attached against the wall of the main building; and exceeding 2 square feet located within R-2 to R-4 districts and 12 square feet located within an A-O, C-1 and C-2 districts.
3. No exterior display or alterations indicating that the building is being used for any purpose other than residential shall be permitted.
4. No more than 1 additional unrelated employee other than immediate family members residing on the premises shall be permitted.
5. No outside storage of materials or products shall be permitted.
6. Traffic generated by the proposed use shall not exceed 10% of the average load per hour per street.
7. No retail sales shall be permitted. (Items may be delivered)
8. No additions to the residence or accessory building specifically to accommodate the use shall be permitted.
9. The proposed use shall take place in the primary residential structure rather than a detached garage or accessory building.
10. The proposed use shall take place at the location specified on the permit.

**DEPARTMENTAL REQUIREMENTS**

REQUIRED CONDITIONS	DEPARTMENT	MONTH/DAY
Complies with regulations	Health Inspection	/
Meet standard requirements	Fire Inspection	/
Subject to section: 138-118 ( )	Planning	/
Permit #	Building/Electrical/Plumbing	/
	Other	/

**CITY BOARD REQUIREMENTS**

PLANNING & ZONING COMMISSION DATE \_\_\_\_/\_\_\_\_/\_\_\_\_ APPROVED \_\_\_\_\_ DISAPPROVED \_\_\_\_\_ 1 YEAR \_\_\_\_\_ OTHER \_\_\_\_\_  
REQUIRED CONDITIONS: \_\_\_\_\_

CITY COMMISSION DATE \_\_\_\_/\_\_\_\_/\_\_\_\_ APPROVED \_\_\_\_\_ DISAPPROVED \_\_\_\_\_ 1 YEAR \_\_\_\_\_ OTHER \_\_\_\_\_  
REQUIRED CONDITIONS: \_\_\_\_\_

**ACKNOWLEDGEMENT AND AGREEMENT TO CONDITIONS**

Note: Approval of this permit does not constitute approval to construct, alter or repair. Appropriate building permits must be obtained. The foregoing is a true and correct description of the existing conditions and contemplated action and I will have full authority over the operation and/or construction of same, and hereby agree to comply with all ordinances of the City and applicable Deed Restrictions and assume all responsibility for such compliance. I further agree to discontinue any violations of the conditions of the permit upon notice given to me or anyone in charge of the above property by the Code Enforcement Officer. If the permit is revoked I agree to cease operation of the use upon notification of revocation. I understand that any violation of this ordinance is subject to a Five Hundred Dollar (\$500.00) fine for each day of violation. Please note that approval of this permit may result in a higher sanitation rate on your utility bill. Customer must notify the City that Conditional Use Permit is not in use for removal of charges.

\_\_\_\_\_  
(Applicant signature)

\_\_\_\_\_  
(date)

In consideration of the above application, a permit is hereby granted for the above action conditioned upon the terms and specifications set forth above, and the faithful observance of all provisions of the City Building Code, Zoning Ordinance, and all other ordinances applicable to the same.

\_\_\_\_\_  
City Manager (or Agent)

\_\_\_\_\_  
(date)





# ART SALINAS

## ENGINEERING & SURVEYING

1524 DOVE AVENUE,

McALLEN, TEXAS 78504

PH: (956) 618-5565

FAX: (956) 618-5540

**LOT 65****LOT 66****LOT 67**

S81°17'30"E 60.0'

SCALE:

1"=20'

10' UTILITY EASEMENT

WOODEN FENCE

TEL. PED.

WOODEN FENCE

WOODEN FENCE

128.0'

10' UTILITY EASEMENT

128.0'

10' REAR SETBACK

5' UTIL. ESMT.  
(DOC. #963609 &  
#981234, H.C.O.R.)**LOT 76**

6' SIDE SETBACK

**LOT 75**

(7,680 S.F.)

6' SIDE SETBACK

**LOT 74**

BRICK RESIDENCE

9x9

WOODEN FENCE

N8°42'30"E

25' FRONT &amp; GARAGE SETBACK

ROW

BOC

184.0' TO N. 26th ST.

N81°17'30"W 60.0'

S8°42'30"W

LEGEND

- DENOTES FOUND 1/2" ROD
- - - DENOTES SET 1/2" ROD
- DENOTES NO MONUMENT
- DENOTES RIGHT OF WAY
- - - DENOTES BACK OF CURB

ROW

BOC

**HERON AVE.**

(50' ROW-VOL. 37, PG. 61B, H.C.M.R.)

**FLOOD ZONE DESIGNATION:** The property shown hereon lies in Zone "B". Zone "B" areas lie between limits of the 100-year flood and 500-year flood; or certain areas subject to 100-year flooding with average depths less than one (1) foot or where the contributing drainage area is less than one square mile; or areas protected by levees from the base flood as per F.E.M.A. Flood Insurance Rate Map Panel No. 480343-0005-C dated 11-02-82.

**PLAT NOTES:**

- There are no discrepancies, conflicts, shortages in area or boundary lines, encroachments, overlapping of improvements or visible or apparent easements except as shown on this plat.
- This survey plat is prepared in connection with Title Policy G.F. # 169603 and does not guarantee title. This survey is for the exclusive use of the client named hereon and may not be copied or transferred to another party without the express written consent of the surveyor.
- This survey must contain an embossed seal and an original signature to be valid as per Section 661.46 and Section 663.19 of the "The Professional Land Surveying Practices Act".
- This is a standard survey and does not include the location or subsurface investigation of underground utility, irrigation and/or gas lines.
- Statutory easements, rules, regulations and rights in favor of Hidalgo County, including...







NOTICE  
HOME  
OCCUPATION  
FOR  
THIS PROPERTY  
CUP2021-0086  
CITY OF MCALLEN PLANNING DEPT.  
WWW.MCALLENNET.NET



## Planning Department

### Memo

**TO:** Planning and Zoning Commission

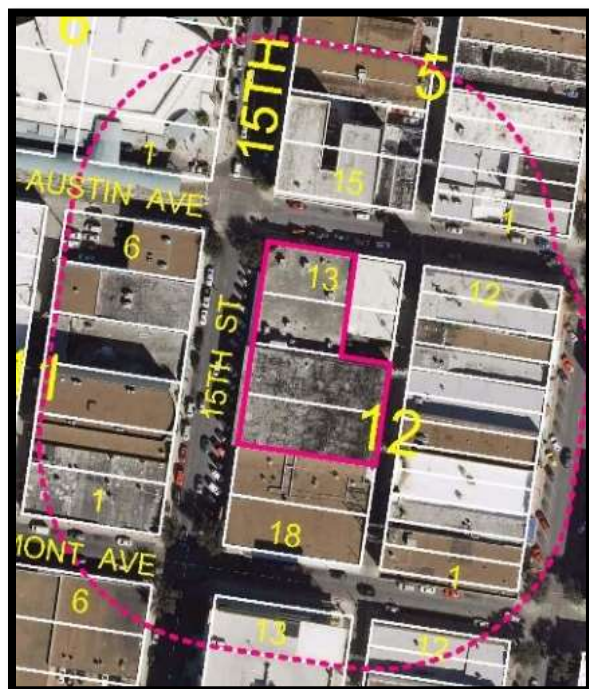
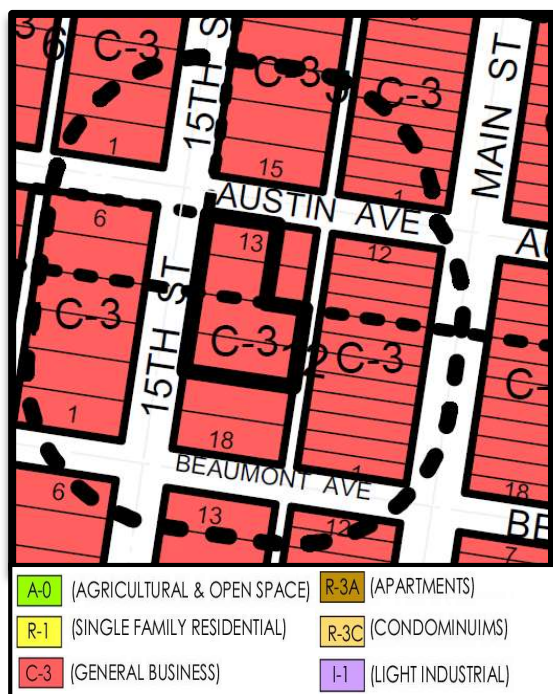
**FROM:** Planning Staff

**DATE:** August 12, 2021

**SUBJECT: REQUEST OF NORMA S. PIMENTEL ON BEHALF OF CATHOLIC CHARITIES OF THE RIO GRANDE VALLEY FOR A CONDITIONAL USE PERMIT, FOR LIFE OF USE, FOR AN INSTITUTIONAL USE (RESPITE CENTER) AT W. 90' OF LOTS 13 AND 14 & ALL OF 15 AND 16, BLOCK 12, MCALLEN ADDITION SUBDIVISION, HIDALGO COUNTY, TEXAS, 111 SOUTH 15TH STREET. (CUP2021-0101)**

#### DESCRIPTION:

The property is located on the southeast corner of South 15<sup>th</sup> Street and Austin Avenue, and is zoned C-3 (general business) District. The adjacent zoning is C-3 (general business) District on all directions. Surrounding land uses include retail, offices, McAllen Central Bus Station, restaurants, and other commercial establishments. An institutional use is permitted in the C-3 zone with a Conditional Use Permit and in compliance with requirements.



**HISTORY:**

The initial conditional use permit for a Respite Center under a different applicant for this location was approved for 18 months by the City Commission on April 22, 2019. There was a second conditional use permit for a respite center that was approved by the City Commission on August 12, 2019 for the life of use at this location. The approval of the conditional use permit was subject to compliance with Section 138-118 of the Zoning Ordinance, Fire, Health, and other departments' requirements and conditions. The applicant has applied for another conditional use permit since they would like to expand their operations to the second story of the building; therefore, requiring for the request to be presented before the Planning Zoning Commission and the City Commission.

**REQUEST/ANALYSIS:**

The applicant, Norma S. Pimentel on behalf of Catholic Charities of the Rio Grande Valley, has requested to continue using this property as a Respite Center. It will continue operating 24/7, and volunteers from Catholic Charities will continue to take care of the daily operations of the center. Daily operations include registration, family contact, providing of meal as a one-time event, and helping with general wellness (hygiene) to help meet the needs of the individuals attending the Respite Center. There is an existing 42,400 sq. ft. building on the subject property. The first story of the building consists of approximately 28,000 sq. ft., and the second story currently consists of approximately 14,400 sq. ft. warehouse area. The applicant would like to utilize the second story as sleeping quarters for overnight stays. It will only be used when additional space is needed. Should the conditional use permit be approved, building/remodeling permits would be required as applicable.

The City's Parking Garage located on South 15<sup>th</sup> street is utilized for any required parking for staff and volunteers of the respite center.

Staff has received one letter in opposition to the request from a neighboring business owner with concerns regarding the pedestrian traffic, garbage litter and the off street parking of commercial transportation vehicles(buses) in public parking spaces.

The Health Department is pending inspection. The Fire Department has inspected the building and is pending compliance with safety codes and regulations. The institutional use must comply with the Zoning Ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas. The property has direct access to South 15<sup>th</sup> Street and Austin Avenue, and is located approximately 340 ft. south of U.S. Highway 83.
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking, especially in residential areas. No parking exists on site; thus, parking for volunteers and other personnel to be provided as needed in the City's Parking Garage located on 221 South 15<sup>th</sup> Street.

- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences. The City's Parking Garage located on South 15th street is utilized for any required parking for staff and volunteers of the respite center.
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities.
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas.
- 6) The number of persons within the building shall be restricted to the capacity for the building set by the Fire Marshal and Building Official.

**RECOMMENDATION:**

Staff recommends approval of the request, for life of the use, subject to compliance with Section 138-118 of the Zoning Ordinance, Fire, Health, and other departments' requirements and conditions, providing security to maintain activities on site, and building and other permits as required.

## INSTITUTIONAL USES

CONDITIONAL USE PERMIT APPLICATION

(Please print or type)

Application Date 07 / 20 / 2021

Norma S. Pimentel on Behalf of Catholic Charities of the Rio Grand Valley PHONE NO: 956-702-4088

Applicant (first) (initial) (last)

P O Box 1306 San Juan Texas 78589

Mailing Address (city) (state) (zip)

Catholic Charities of the Rio Grande Valley PHONE NO: 956-702-4088

Property Owner (first) (initial) (last)

PO Box 1306 San Juan Texas 78589

Mailing Address (city) (state) (zip)

111 S. 15th St. McAllen, Texas 78501

Property Location (street address)

W. 90' OF LOTS 13 AND 14 & ALL OF LOT 15 AND 16 BLOCK 12 McALLEN ADDITION SUBDIVISION

Property Legal Description (if metes and bounds, attach survey of the property) (subdivision) (block) (lot)

Humanitarian Respite Center

Current use of property

Humanitarian Respite Center

Proposed use of property

TERM OF PERMIT: 1 YEAR

☒ MORE THAN 1 YEAR (requires City Commission approval)

### SITE PLAN & FLOOR PLAN (attach a drawing of the property & buildings showing the following)

Scale, north arrow, legal description of property

Location and height of all structures

Setback from property lines and between structures

Proposed changes and uses

Landscaping and fencing of yard

Off-street parking and loading

Driveway location & design

Location, type, height and lighting of all signs

(Applicant signature)

7/20/2021  
(date)

(Property owner signature)

(date)

### GENERAL INFORMATION

**NOTIFICATION AND PUBLIC HEARING:** Property owners within 200' of the subject property shall be notified within at least 10 working days of the Planning and Zoning Commission public hearing. Upon considering the recommendation of the Director of Planning, the Planning and Zoning Commission shall approve or disapprove the application.

**APPEALS PROCEDURE:** Any decision of the Planning and Zoning Commission may be appealed to the City Commission by presenting a petition to the City Commission within 10 days after the decision of the Planning and Zoning Commission and specifying the grounds for the appeal. A vote of 3/4 of the City Commission is required to overrule a vote of the Planning and Zoning Commission denying a conditional use permit.

**CANCELLATION:** A conditional use permit is automatically cancelled if not used within 6 months.

**REVOCATION:** A conditional use permit may be revoked by the Planning and Zoning Commission at a public hearing upon failure of the applicant to remedy a violation of the conditions of the permit within a specified time period (10 to 30 days) as specified in a written notice to the applicant by the Code Enforcement Officer or Building Inspector.

**RENEWAL PERIOD:** A conditional use permit shall expire within 1 year unless otherwise specified by the Planning and Zoning Commission. Application for renewal of a permit shall be made prior to 20 days before permit expiration. A permit for more than 1 year shall be approved by the City Commission.

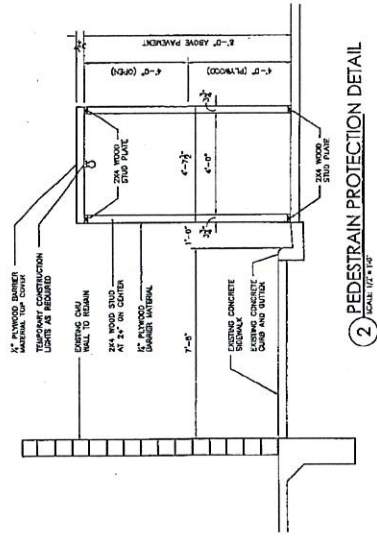
### DEFINITIONS

Institutional - A nonprofit organization or building, public or private, for the benefit of the public; or educational facilities, churches, temples, hospitals, clubs, fire stations, police stations, libraries, museums, city offices, etc.





1. **QUESTIONS:** OBTAIN CLARIFICATION FROM THE INSTRUCTOR AS TO THE MEANING OF ANY WORDS OR PHRASES THAT ARE NOT CLEAR.
2. **NOTES:** WRITE THE DEFINITION OF ANY WORDS REQUIRED FOR THE SOLUTION OF EQUIPMENT REPAIRS. CONTINUE WITH THE TASK.
3. **REPAIRS:** REPAIR THE VEHICLE BEFORE EXERCISING MANEUVERS AND PROCEEDING WITH THE WORK.
4. **REFUEL:** USE THE PROPER METHOD FOR A SPECIFIED DESCRIPTION OF FUELING. STAY ON THE SIDE OF THE ROAD. USE THE PROPER METHOD OF OBTAINING FUEL. OBTAINING FUEL FROM A CONDUIT OR FROM A MANAGEMENT WALL. OBTAINING FUEL FROM A WALL UNIT.
5. **MANEUVER:** EXERCISES INCLUDING REARWARD SHALL BE PERFORMED IN THE FOLLOWING ORDER:
  - a. REARWARD
  - b. REARWARD AND RECOVERY FOR REVERSE
  - c. RECOVERY OF WALL AND CLIMBING MANEUVER
  - d. CLIMBING
6. **GENERAL:** ALL WORK IN WALLS AND CLIMBING MANEUVERS SHALL BE TAPERED.
7. **ALL LEADING REPAIRS AND OTHER TASKS WHICH ARE NOT THE FIRST PART OF THE TAPING SHALL BE TAPERED.**
8. **THE COMPLETION SHALL THROUGHLY ACCOUNT FOR ALL LEADING REPAIRS AND OTHER TASKS WHICH ARE NOT THE FIRST PART OF THE TAPING.**
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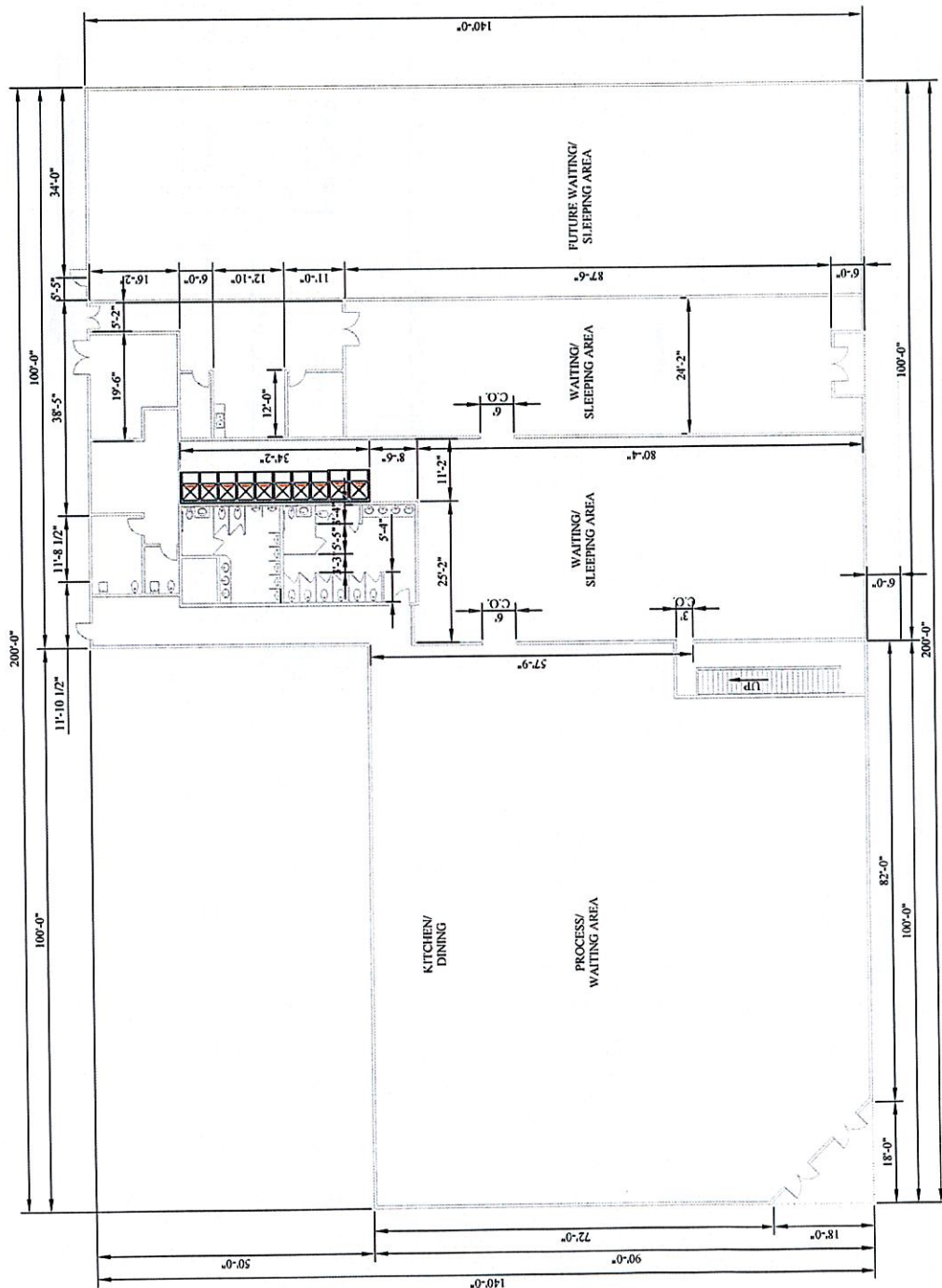


**2** PEDESTRAIN PROTECTION DETAIL  
SCALE: 1/2" = 1'-0"

RECEIVED

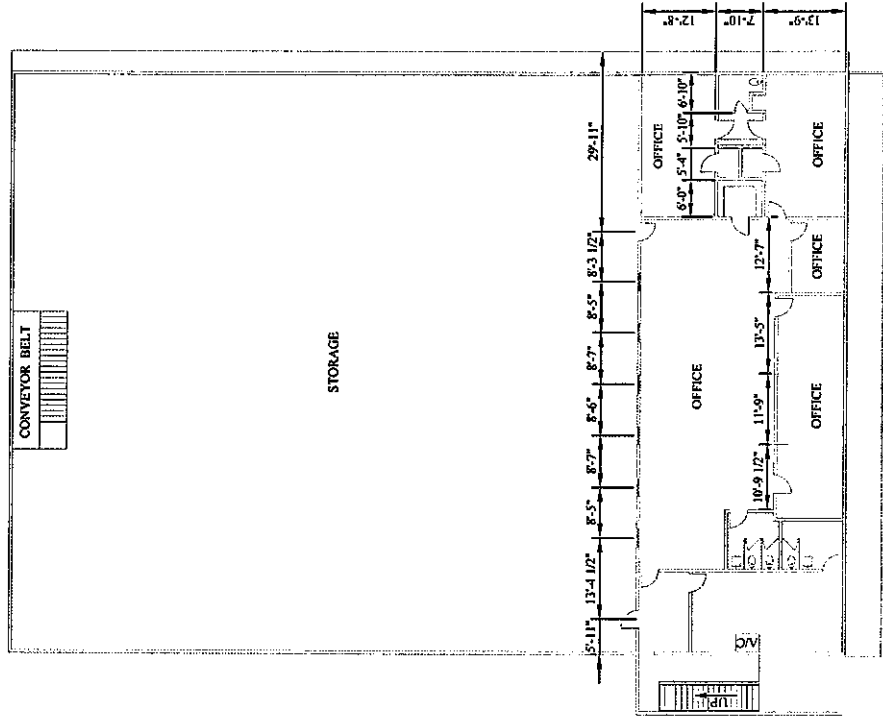
Jul 2 2021

# BY



1 EXISTING FIRST FLOOR PLAN  
SCALE: 1" = 20'

**RECEIVED**  
 JUL 22 2021  
 BY: .....



1 EXISTING SECOND FLOOR PLAN  
SCALE 1" = 20'









Catholic  
Charities  
RGV  
HUMANITARIAN RESPITE CENTER  
*Restoring Human Dignity*



NOTICE  
INSTITUTIONAL  
USE  
THIS PROPERTY  
CUP2021-0101

TEXAS  
JPW-4473



## Memo

**TO:** Planning and Zoning Commission

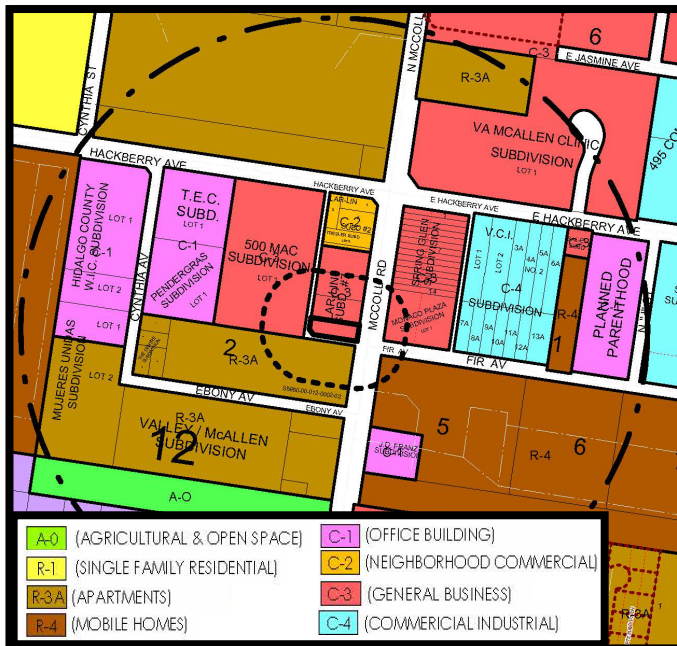
**FROM:** Planning Staff

**DATE:** August 10, 2021

**SUBJECT:** Request of Salvador De La Rosa, on behalf of Community Life, for a Conditional Use Permit, for one year, for an Institutional Use (church) at Lot 4, LAR-LIN Subdivision #7, Hidalgo County, Texas; 601 N. McColl Road, Suite B. (CUP2021-0087)

### BRIEF DESCRIPTION:

The property is located on the west side of N. McColl Road, approximately 535 ft. south of Hackberry Avenue, and is zoned C-3 (general business) District. The adjacent zoning is R-3A District to the south and C-3 (general business) District to the north, west, and east. An institutional use is permitted in the C-3 zone with a conditional use permit and in compliance with requirements.



### REQUEST/ANALYSIS:

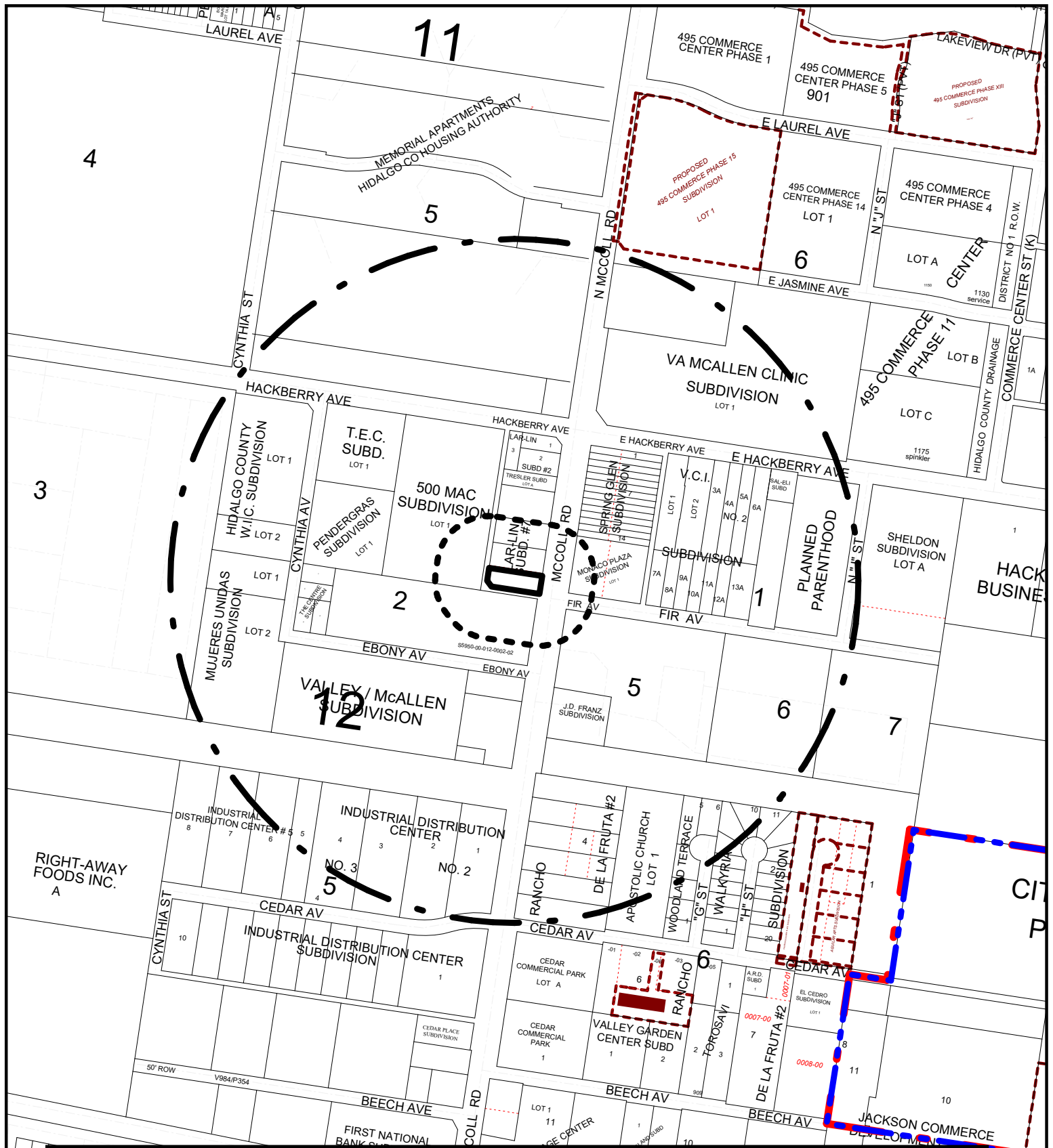
The property is part of a commercial/office plaza. The applicant is proposing to use a vacant lease space (Suite B) with approximately 1,468 sq. ft. for a church. Based on the seating capacity of 35 in the main sanctuary, 9 parking spaces are required and are provided on the common parking area of the plaza. The hours of operation are 3 p.m. to 10 p.m. on Saturday and 5 p.m. to 10 p.m. from Sunday to Friday.

The Fire Department inspection is pending. The Planning Department has not received any phone calls in opposition of the request. The establishment must also meet the requirements set forth in Section 138-118 of the Zoning Ordinance and specific requirement as follows:

1. The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The property fronts North McColl Road and does not generate traffic into residential areas.
2. The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking, especially in residential areas. Based on the seating capacity of 35, 9 parking spaces are required and 46 parking spaces are provided in the common area. The parking must be clear of potholes and be properly striped per city requirements.
3. The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits;
4. The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
5. Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
6. The number of persons within the building shall be determined by the Building Inspection Department and shall maintain the existing seating capacity for the main sanctuary; and
7. Sides adjacent to commercially and residentially zoned or use properties shall be screened by a 6 ft. opaque fence.

**RECOMMENDATION:**

Staff recommends approval of the request, for one year, subject to compliance with the conditions noted, requirements in Section 138-118 and Section 138-400 of the Zoning Ordinance, Building Permit, and Fire Department requirements.



# **CITY OF McALLEN** PLANNING DEPARTMENT

**LEGEND**  
SCALE: N.T.S.

**AREA MAP**



**SUBJECT PROPERTY**

**200 FT. NOTIFICATION BOUNDARY**

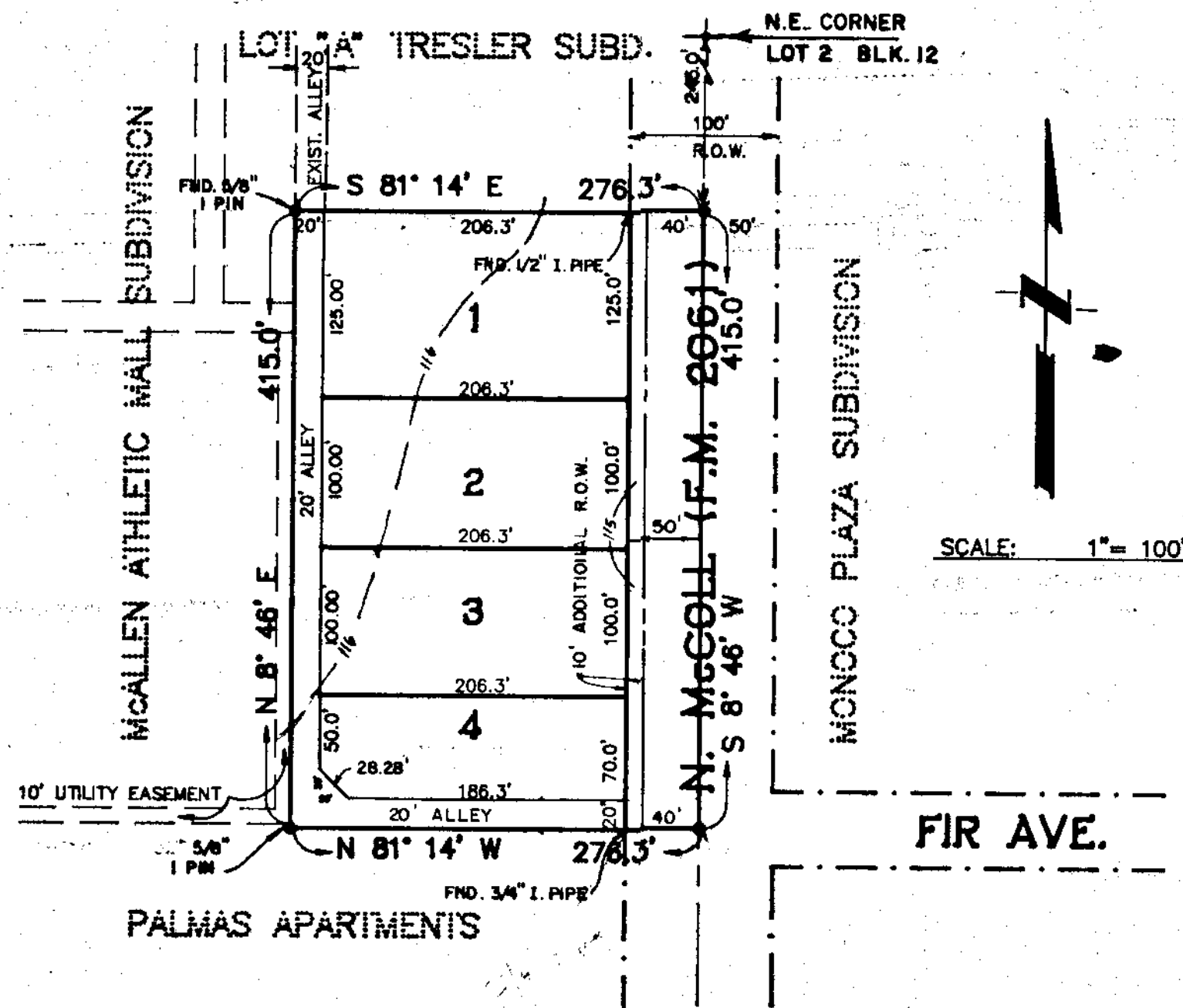
**1/4 MILE RADIUS**

## **ZONING LEGEND**

A-O (AGRICULTURAL & OPEN SPACE)	R-3A (APARTMENTS)	R-4 (MOBILE HOMES)	C-3 (GENERAL BUSINESS)	I-1 (LIGHT INDUSTRIAL)
R-1 (SINGLE FAMILY RESIDENTIAL)	R-3C (CONDOMINIUMS)	C-1 (OFFICE BUILDING)	C-3L (LIGHT COMMERCIAL)	I-2 (HEAVY INDUSTRIAL)
R-2 (DUPLEX-FOURPLEX)	R-3T (TOWNHOUSES)	C-2 (NEIGHBORHOOD COMMERCIAL)	C-4 (COMMERCIAL INDUSTRIAL)	(SPECIAL DISTRICT)

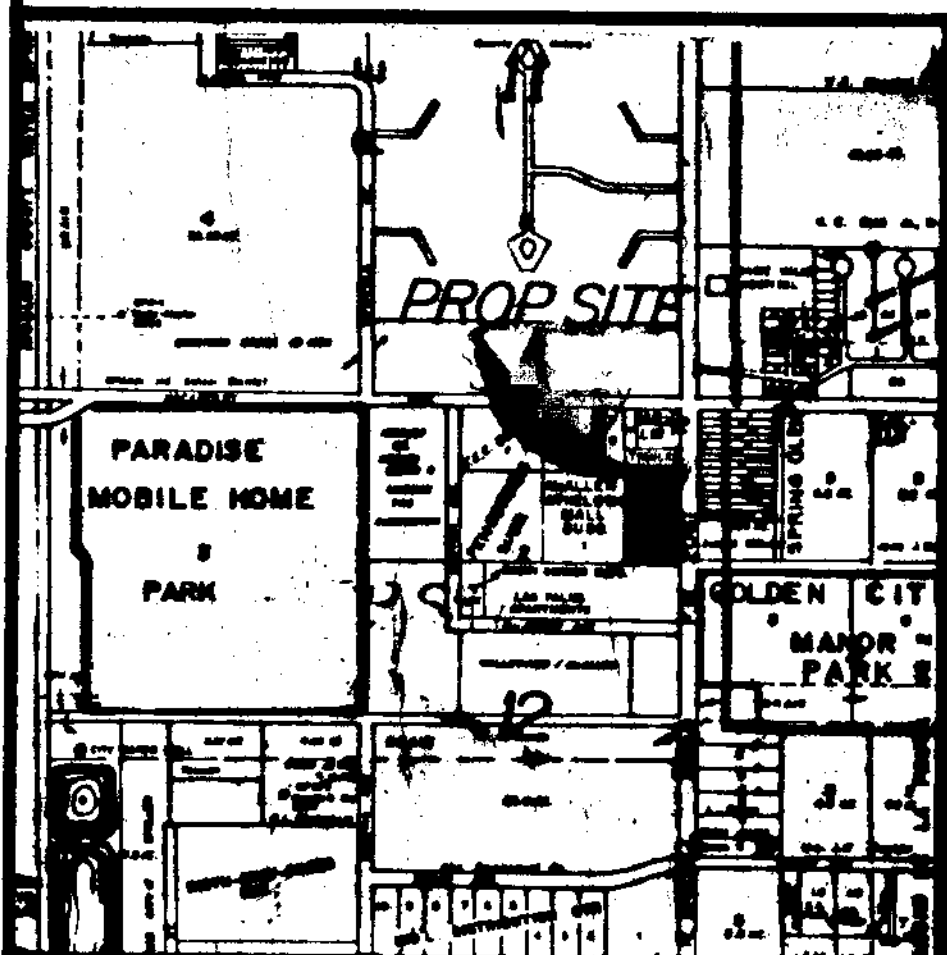
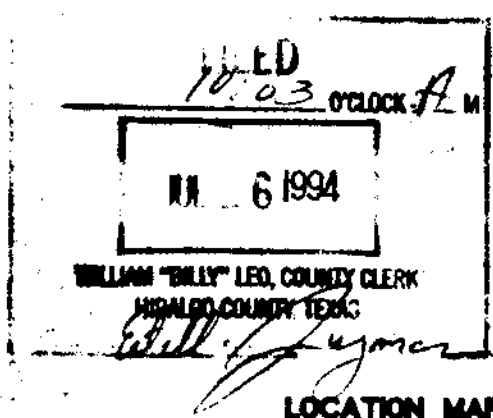
This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.





## LAR-LIN SUBDIVISION # 7

396095



APPROVED FOR RECORDING  
BY  
COMMISSIONERS' COURT  
This the 5<sup>th</sup> day of July 1994  
WILLIAM "BILLY" LEO, County Clerk  
Hidalgo County, Texas  
By *[Signature]* Deputy

APPROVED FOR RECORDING  
HIDALGO CO. PLANNING DEPT.  
BY: *[Signature]*  
DATE: 6-24-94

Recorded In Volume 29 Page 91A  
of the map records of Hidalgo  
County, Texas  
Melden and Hunt, Inc.  
County Surveyors



### GENERAL PLAT NOTES:

1. MINIMUM FINISH FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB
2. THIS SUBDIVISION IS IN ZONE "C" ON A FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 480343 0005C, REVISED NOVEMBER 2, 1982
3. SETBACKS: REAR: 5.0'; AND SIDES SHALL BE AS PER CITY ORDINANCE; FRONT: 50.00' OR IN LINE WITH EXISTING STRUCTURES OR PER APPROVED SITE PLAN, WHICHEVER REQUIRES THE GREATER SETBACK.
4. CENTRAL POWER AND LIGHT CO. HEREBY GRANTED AN EASEMENT AND RIGHT-OF-WAY ON EACH LOT IN SAID SUBDIVISION FOR AN UNDERGROUND ELECTRIC SERVICE LATERAL TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS FOR SUCH PURPOSE AT THE RIGHT LOCATION WHERE SUCH SERVICE LATERAL IS TO BE OR IS INSTALLED AND MAINTAINED FROM TIME TO TIME.



LOT LINE  
3' X 3' EASEMENT TO CPL FOR PEDESTAL SPACE SPECIFIC LOCATION SHOWN ON MAP BY THIS SYMBOL



LOT LINE  
6' X 6' EASEMENT TO CPL FOR TRANSFORMER SPACE SPECIFIC LOCATION SHOWN ON MAP BY THIS SYMBOL

5. A TOTAL OF 0.15 ACRE FEET OF DETENTION IS REQUIRED FOR THIS SUBDIVISION AND ENGINEERING DETENTION PLAN WILL BE SUBMITTED PRIOR TO BUILDING PERMIT.
6. A 4' WIDE SIDEWALK IS REQUIRED ALONG THE WEST SIDE OF MCCOLL ROAD.
7. A 6' BUFFER REQUIRED FROM ADJACENT RESIDENTIAL USES.
8. A SITE PLAN MUST BE APPROVED FOR EACH LOT BY THE PLANNING AND ZONING COMMISSION PRIOR TO ISSUANCE OF BUILDING PERMIT FOR EACH LOT.
9. ONE CURB CUT FOR LOT 1 OR AS APPROVED BY THE PLANNING AND ZONING COMMISSION. ONE CURB CUT FOR LOT 2 AND ONE CURB CUT SHARED BY LOTS 3 & 4.
10. A 10' X 10' CORNER CLIP EASEMENT REQUIRED AT ALLEY-STREET INTERSECTIONS.

CHECKED FOR DRAINAGE  
BY: *[Signature]* 6/24/94

### METES AND BOUNDS DESCRIPTION

A 2.632 ACRE TRACT OF LAND OUT OF LOT 2 BLOCK 12 STEELE AND PERSHING SUBDIVISION OF PORCIONES 66 AND 67 AS RECORDED IN VOLUME 8 PAGE 115 OF THE DEED RECORDS OF HIDALGO COUNTY, TEXAS AND BEING MORE SPECIFICALLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A POINT ALONG THE EAST LINE OF SAID LOT 2 BLOCK 12 FOR THE NORTHEAST CORNER OF THIS TRACT; SAID POINT BEING ON THE CENTERLINE OF MCCOLL ROAD AND BEING S 08°46'00" W, 245.00 FEET FROM THE NORTHEAST CORNER OF SAID LOT 2 BLOCK 12;

THENCE S 08°46'00" W ALONG THE CENTERLINE OF MCCOLL ROAD A DISTANCE OF 415.00 FEET TO A POINT FOR THE SOUTHEAST CORNER OF THIS TRACT;

THENCE N 81°14'00" W AT 40.00 FEET THE WEST RIGHT OF WAY LINE OF MCCOLL, IN ALL A DISTANCE OF 276.30 FEET TO A POINT FOR SOUTHWEST CORNER OF THIS TRACT;

THENCE N 08°40'00" E A DISTANCE OF 415.00 FEET TO A POINT FOR THE NORTHWEST CORNER OF THIS TRACT;

THENCE S 81°14'00" E AT 236.30 FEET THE WEST RIGHT OF WAY LINE OF MCCOLL ROAD, IN ALL A DISTANCE OF 276.30 FEET TO THE POINT OF BEGINNING AND CONTAINING 2.632 ACRES OF LAND, MORE OR LESS.

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR # 2448 IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

REGISTERED PROFESSIONAL LAND SURVEYOR No. 2448  
LEO L. RODRIGUEZ, JR. RPLS

## SUBDIVISION PLAT OF LAR-LIN SUBDIVISION # 7

BEING A 2.632 ACRE TRACT OF LAND OUT OF LOT 2 BLK. 12 STEELE AND PERSHING SUBDIVISION OF PORCIONES 66 AND 67 AS RECORDED IN VOL. 8, PAGE 115, DEED RECORDS OF HIDALGO COUNTY, TEXAS.

PREPARED BY: K K ENGINEERING CONSULTANTS  
DATE: APRIL 27, 1994

OWNER:  
LARRY BEAKEY  
P.O. BOX 99  
McALLEN, TEXAS.

STATE OF TEXAS  
COUNTY OF HIDALGO

I (WE) THE UNDERSIGNED OWNER (S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE LAR-LIN SUBD. # 7 TO THE CITY OF McALLEN, AND WHOSE NAME (S) IS (ARE) SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREET, ALLEYS, PARKS, SEWER LINES, WATER COURSES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN ALL THE SAME FOR THE PURPOSE THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN, TEXAS.

LARRY BEAKEY  
OWNER: LARRY BEAKEY  
ONE PARK PLACE, SUITE 650  
M C ALLEN, TEXAS

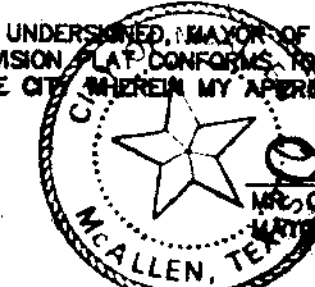
STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED LARRY BEAKEY, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE 17<sup>th</sup> DAY OF June, 1994.

Bonnie Taylor  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES 9-26-96

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL THE REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.



STATE OF TEXAS  
COUNTY OF HIDALGO

THIS SUBDIVISION PLAT OF LAR-LIN SUBD. # 7 HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, TEXAS, AND IS HEREBY APPROVED BY SUCH COMMISSION.

DATED THIS 17<sup>th</sup> DAY OF June, 1994

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED ON HCID #2 RIGHTS-OF-WAY OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE HCID #2. THIS PLAT APPROVED BY HIDALGO COUNTY WATER IMPROVEMENTS DISTRICT No. 2 ON THIS 5<sup>th</sup> DAY OF May, 1994.

BOB WILLIS  
SECRETARY

BOB WILLIS  
PRESIDENT

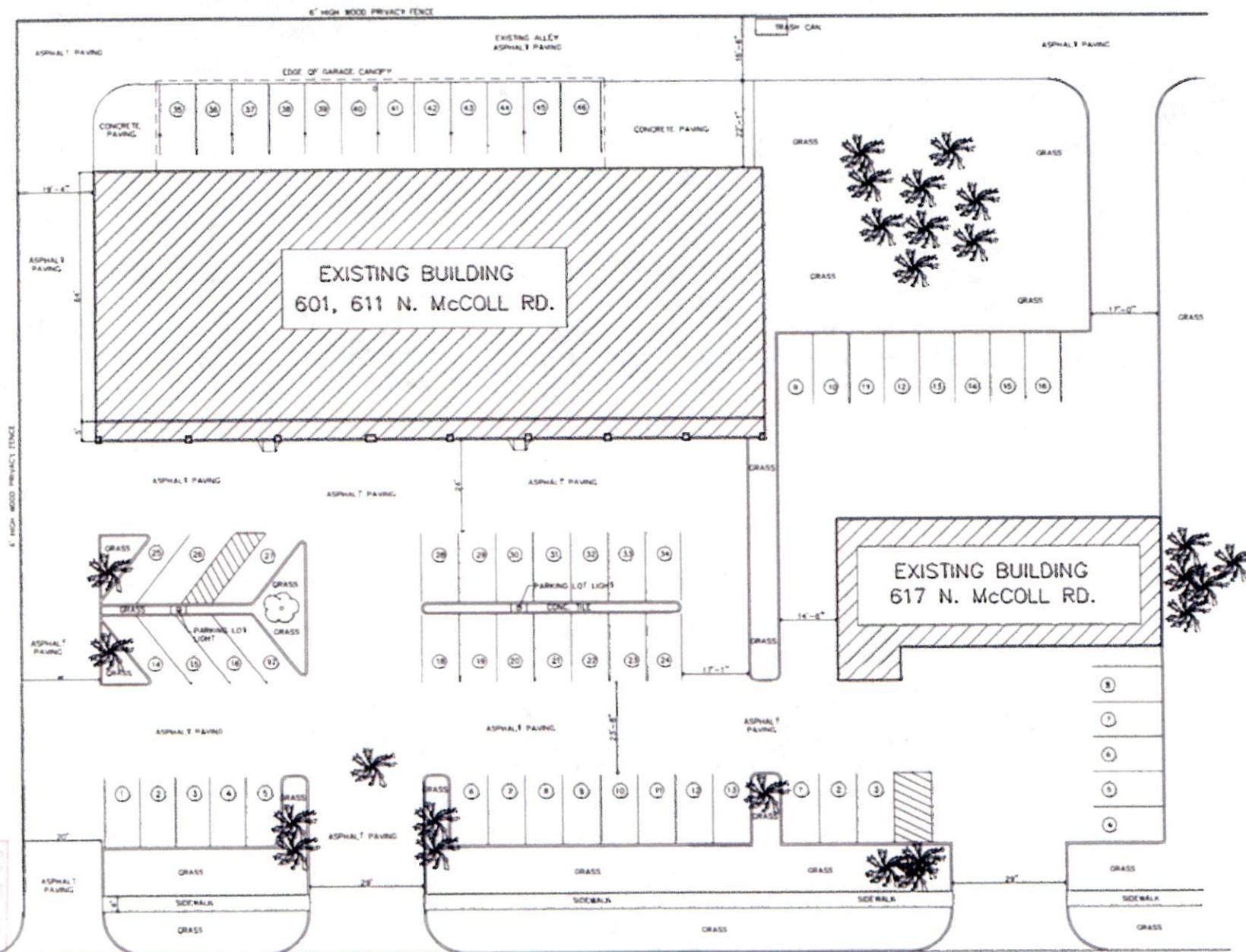
STATE OF TEXAS  
COUNTY OF HIDALGO

CHECKED FOR DRAINAGE  
BY: *[Signature]*

I, KAMRIZ S. KHADEMI, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

KAMRIZ S. KHADEMI  
KAMRIZ S. KHADEMI, P.E.  
REG. PROFESSIONAL ENGINEER # 57787

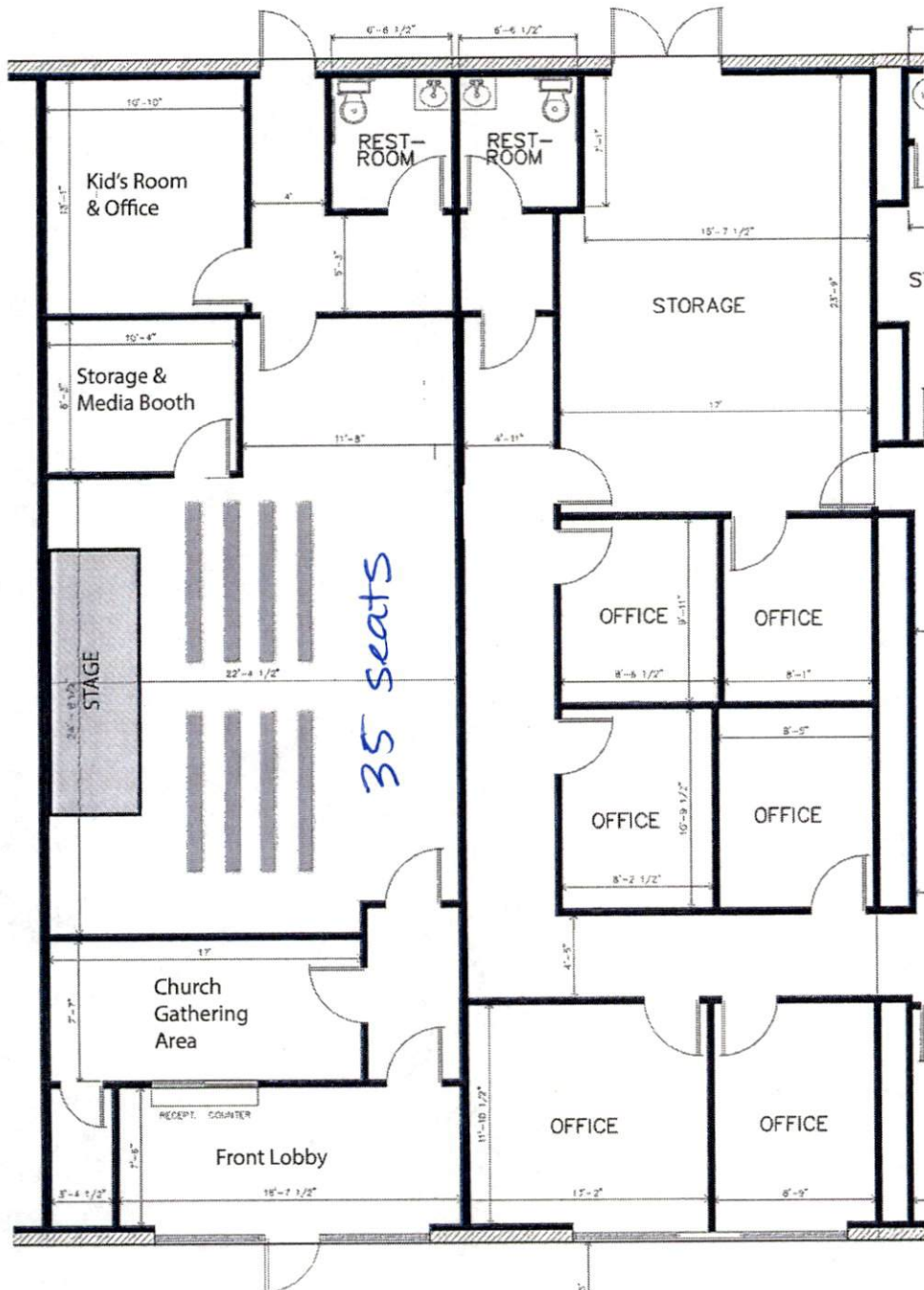
**K K Engineering Consultants**  
GENERAL PROFESSIONAL CIVIL ENGINEERING SERVICES  
Kamrizz Khademi, P.E.  
Principal  
P.O. BOX 3462  
McALLEN, TEXAS 78502  
(210) 630 2126



601, 611 & 617 N. McCOLL RD.



# Proposed floor plan



SUITE 601B  
1,468 TOTAL SF

SUITE 601C  
1,457 TOTAL SF

601 N. McCOLL RD.  
SCALE: 1/4" = 1'-0"

SUITE 601B, 601C & 611A  
4,308 TOTAL SF







Lima Dental

601 Suite A



601 Suite B

Partially visible sign

DSS  
DRYWALL • SUSPENSION • SYSTEMS

611 Suite A

Murphree Insurance Services

611 Suite B



NOTICE  
INSTITUTIONAL  
USE  
FOR  
THIS PROPERTY  
CUP2021-0087



## Memo

**TO:** Planning and Zoning Commission

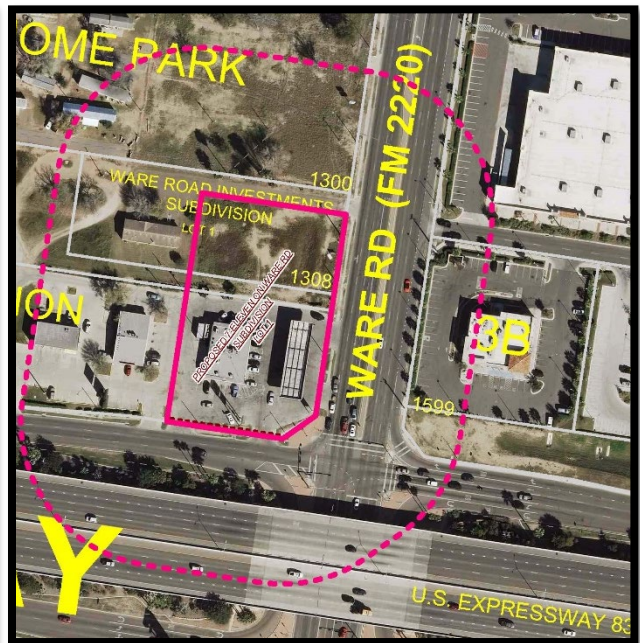
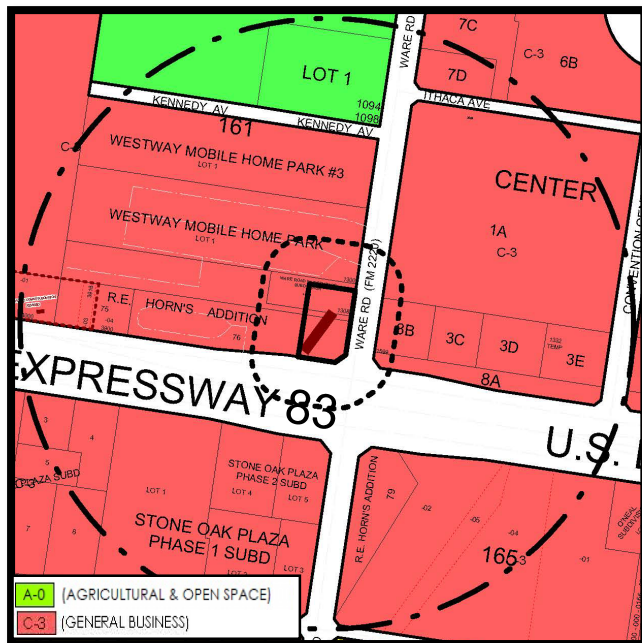
**From:** Planning Staff

**DATE:** August 10, 2021

**SUBJECT:** Request of Melden & Hunt, Inc., on behalf of Vaquero Ware Partners, LP, for a Conditional Use Permit, for life of the use, for a gasoline service station at the 1.421 acres out of the Lot 1, Ware Road Investments Subdivision, and Lot 76, R.E. Horn's Addition to McAllen First Suburban Citrus Groves Subdivision, Hidalgo County, Texas; 1520 S. Ware Road. (CUP2021-0100)

### BRIEF DESCRIPTION:

The property is located on the northwest corner of U.S. Expressway 83 and S. Ware Road. The tract has 277.67 ft. of frontage along S. Ware Road with a depth of 200 ft. for a lot size of 1.421 acres. The property is zone C-3 (general business) District. The adjacent zoning is C-3 (general commercial) District in all directions. Surrounding land uses are commercial business, restaurants, and vacant land. A gasoline service station is allowed in a C-3 zone with a conditional use permit and in compliance with requirements.



### HISTORY:

The applicant is in the process of redeveloping the property. The existing convenience store will be torn down and be replaced with a new one with new gasoline pumps. The pumps are currently located along the east side in front of the store and are now proposed to be located along the south side.

**REQUEST/ANALYSIS:**

The applicant is proposing to demolish the existing convenience store and construct a canopy with gas pumps on the property, which will be part of a 4,650 sq. ft. gas station convenience store. A proposed site plan has been submitted; however, it is subject to change based on the subdivision plat and the Development Team requirements. A site plan must be approved by city staff prior to issuance of building permit. All building permit requirements must be met including parking, landscaping, setbacks, etc.

Access to the property will be from existing curb cuts along U.S. Expressway 83 and S. Ware Road and a new curb cut on the north along Ware Road; however, access agreement for the new curb cut on the north must be provided. The Fire Department will conduct the final inspection once a building permit is issued. The Planning Department has not received any calls in opposition to the request. The use must comply with Section 138-257 – 138-261 and 138-167 of the Zoning Ordinance and specific requirements as follows:

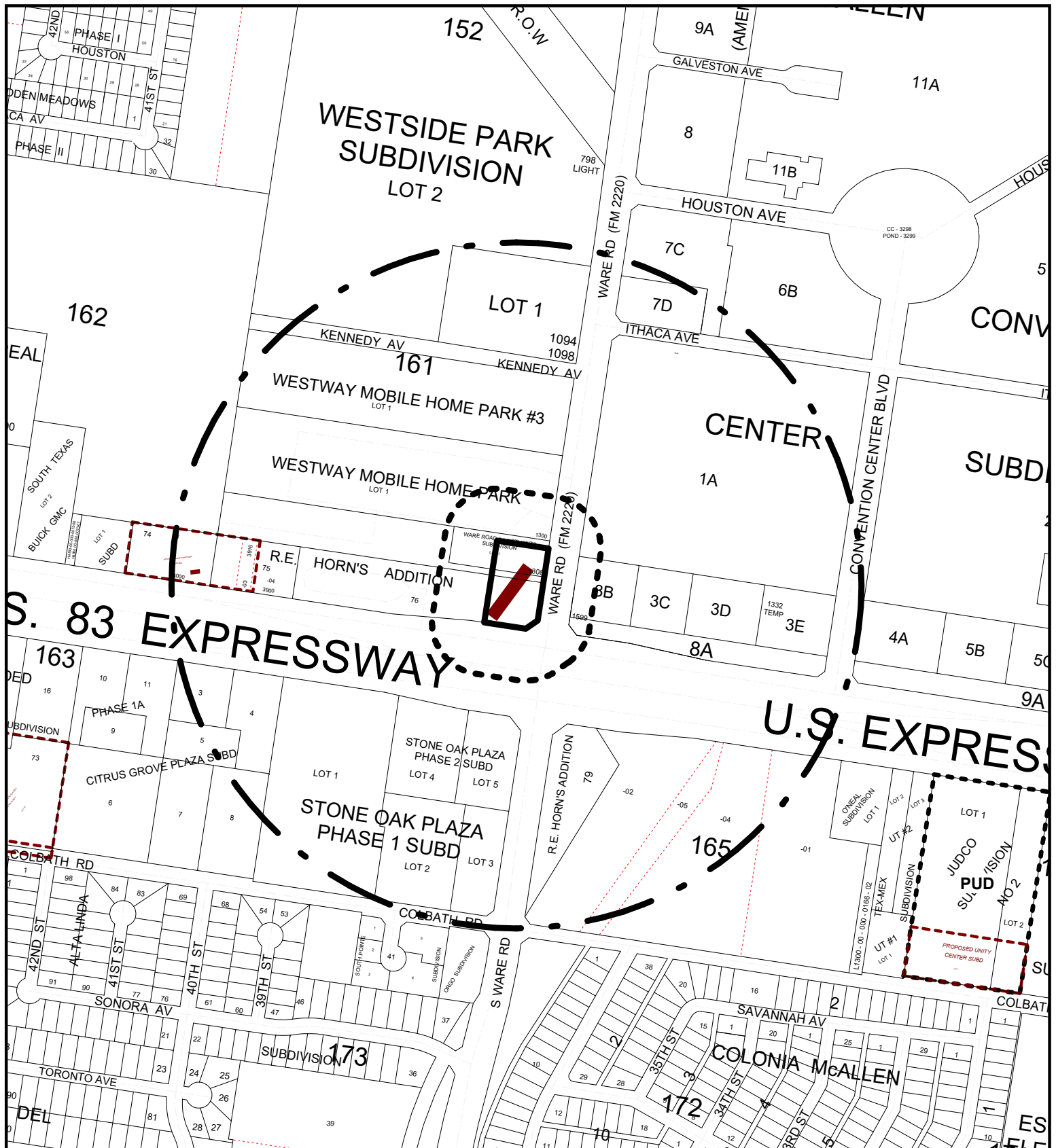
- 1) Activities are limited to sale of gasoline, oil, and minor accessories and incidental services;
- 2) Ingress or egress shall not be permitted at locations where it will tend to create traffic hazards. Entrances shall not be permitted within 25 ft. of a street intersection. Two curb cuts exist along U.S. Expressway 83 and S. Ware Road and another is proposed on the north along S. Ware Road;
- 3) Front yard building setbacks, not including gas pumps or driveway covers (canopy), shall be 60 feet. Proposed setbacks are approximately 53 feet to the rear, 148 feet facing U.S. Expressway 83, 54 feet facing S. Ware Road, and 114 feet on the north side;
- 4) All lighting shall be shielded from adjacent residential districts;
- 5) A 6 ft. opaque buffer shall be provided where abutting or adjacent to residential districts. However, section 110-49 (a) Vegetation Ordinance requires a masonry screen eight ft. in height where a commercial, industrial or multifamily use has a side or rear property line in common with a single-family use or zone. The property does not abut a residential district;
- 6) Gasoline service stations that have facilities for the repair or servicing of automobiles shall be a minimum of 13,000 square feet. Retail outlets for gasoline, oil, and minor accessories, without repair facilities, may be permitted on lots less than 13,000 square feet. The lot size is approximately 1.421 acres (218,990 square feet);
- 7) Gas pumps/islands shall be set back at least 13 ft. from the property line or 18 ft. from the curb, whichever is greater. Gas pumps will be approximately 53 ft. from the property line on U.S. Expressway 83 and 37 ft. from the property line on S. Ware Road.

- 8) Gas pump canopy shall be set back at least 9 ft. from the property line or 10 ft. from the curb, whichever is greater. Gas pump canopy is approximately 53 ft. from the property line on U.S. Expressway 83 and 37 ft. from the property line on S. Ware Road; and
- 9) Gas pumps shall not be located within 100 ft. of a residential district. Gas pumps are not located within 100 ft. of a residential district.

If site plan changes, conditional use permit will need to be amended to resemble the approved Site Plan. Subdivision Plat must be recorded prior to any building permit issuance.

**RECOMMENDATION:**

Staff recommends approval of the request, for life of the use, subject to the conditions noted, Sections 138-167 and 138-257 – 138-261 of the Zoning and Subdivision Ordinance, Site Plan Review requirements, Development Departments (Traffic, Fire, Utility, Public Works, Engineering, and Planning) requirements, recording of the subdivision plat, and building permit requirements.



**CITY OF McALLEN**  
PLANNING DEPARTMENT

**LEGEND**  
SCALE: N.T.S.

**AREA MAP**




 **SUBJECT PROPERTY**

 **200 FT. NOTIFICATION BOUNDARY**

 **1/4 MILE RADIUS**

**ZONING LEGEND**

A-O (AGRICULTURAL & OPEN SPACE)	R-3A (APARTMENTS)	R-4 (MOBILE HOMES)	C-3 (GENERAL BUSINESS)	I-1 (LIGHT INDUSTRIAL)
R-1 (SINGLE FAMILY RESIDENTIAL)	R-3C (CONDOMINIUMS)	C-1 (OFFICE BUILDING)	C-3L (LIGHT COMMERCIAL)	I-2 (HEAVY INDUSTRIAL)
R-2 (DUPLEX-FOURPLEX)	R-3T (TOWNHOUSES)	C-2 (NEIGHBORHOOD COMMERCIAL)	C-4 (COMMERCIAL INDUSTRIAL)	 (SPECIAL DISTRICT)

This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.

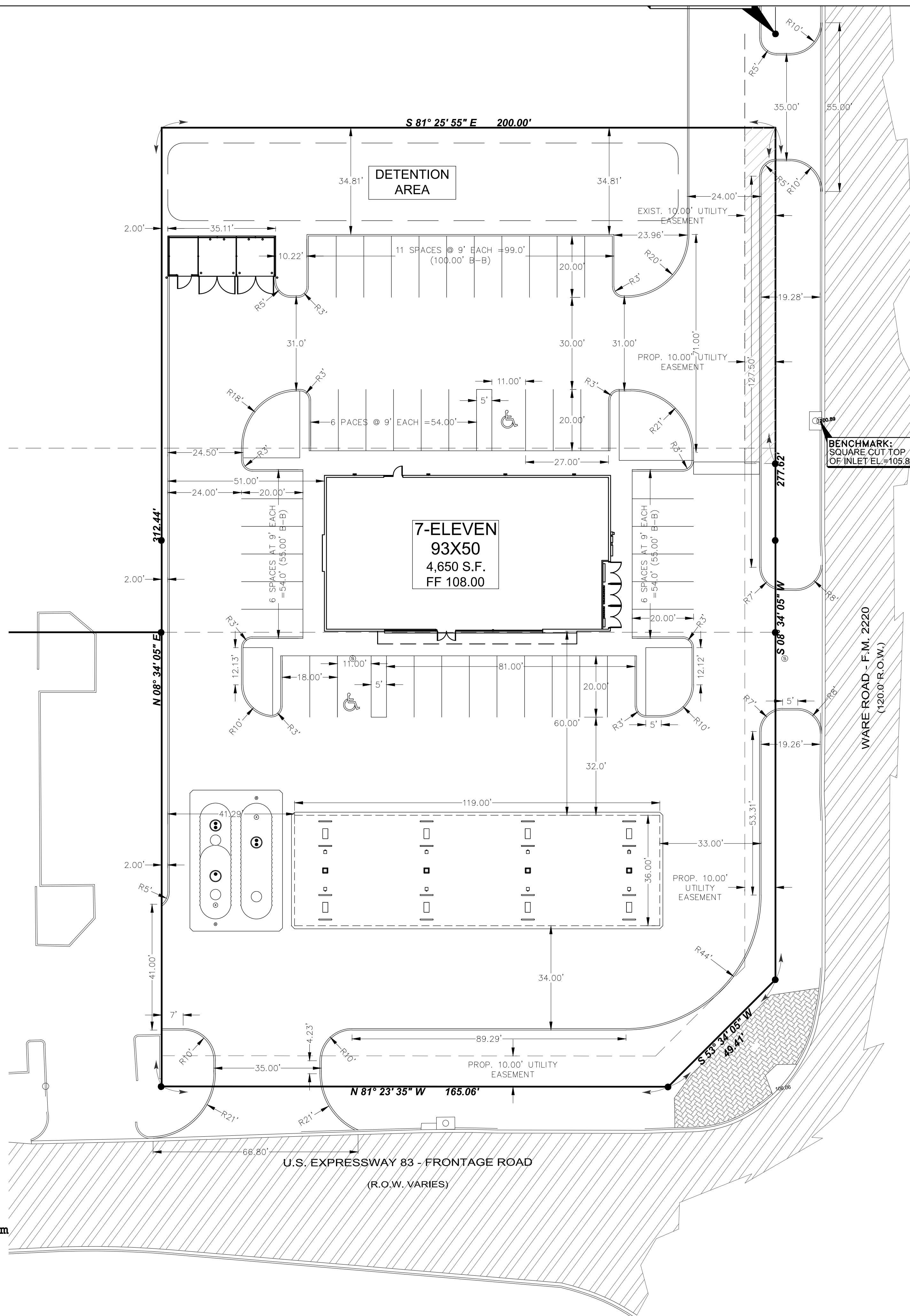






The bottom of the Accessible parking sign with the international logo on it can be moved up to a maximum of 80" AFF. This would allow you to move the NEW required Towing sign to a higher height if 48" interfered with walkways.

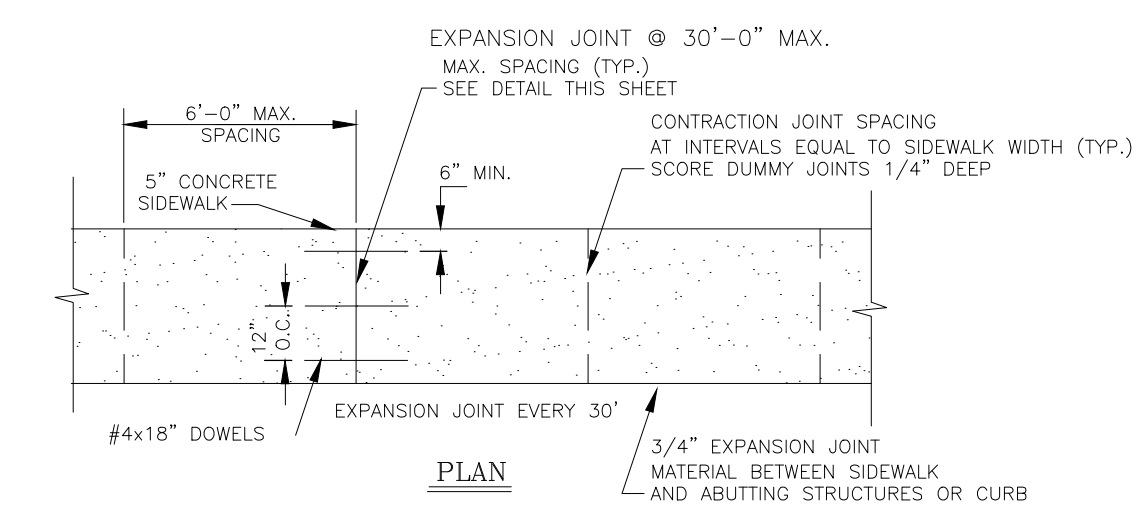
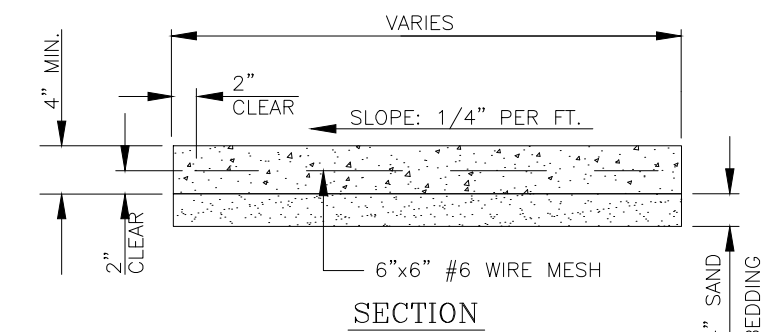
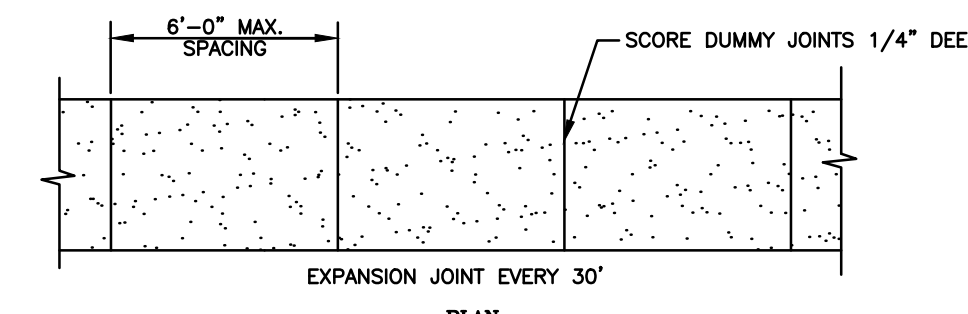
The towing/Fine sign is required at all accessible parking spaces.



1 INCH = 20 FT.

GENERAL NOTES:

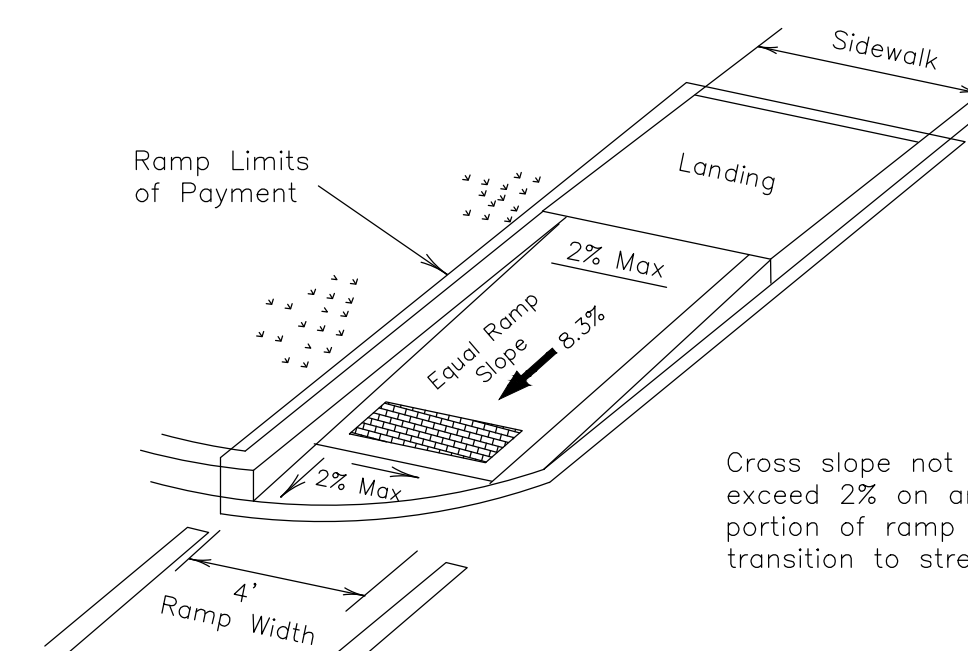
1. WHEELCHAIR RAMPS ARE TO BE LOCATED AT CROSSWALK AREAS AS DESIGNATED ON THE PLAN. ENGINEER CAN ADJUST LOCATIONS FOR SAFETY OR UTILITY CLEARANCE.
2. SURFACE TEXTURE OF WHEELCHAIR RAMP SHALL BE OBTAINED BY TOOL FINISH TRANSVERSE TO THE SLOPE OF THE RAMP.
3. SLOPES SHALL BE UNIFORM WITH NO ABRUPT CHANGES IN GRADES, NORMAL GUTTER LINE PROFILE SHOULD BE MAINTAINED THROUGH THE AREA OF THE RAMP.
4. WHEEL CHAIR RAMPS SHALL BE MEASURED AND PAID AS CONCRETE SIDEWALK AND CONCRETE CURB AND GUTTER, AS APPLICABLE.
5. CONCRETE RAMP SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. ALL CONCRETE WORK SHALL BE TREATED WITH MEMBRANE CURING COMPOUND AFTER SURFACE TEXTURE HAS BEEN COMPLETED.
6. 6" WIRE MESH SHALL BE USED FOR REINFORCING.
8. ALL RAMPS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, DARK VERSUS LIGHT. THE MATERIAL USED TO PROVIDE THE CONTRAST SHALL BE AN INTEGRAL PART OF THE RAMP.



## SIDEWALK DETAILS

NOTE "A":

1. PROPOSED FIRE LANE MUST STRIPPING TO BE AT LEAST 3-IN. TALL  
"FIRE LANE NO PARKING TOW AWAY ZONE"
2. POST ADDRESS NUMBER VISIBLE FROM STREET IN SIZE 8-INCH OR GRATER  
AND 4-INCH OR GRATER ON THE REAR DOOR.
3. ALL ADA ACCESS STRIPING SHALL HAVE NO PARKING AS SHOWN ON DETAIL "H"



## HANDICAP RAMP DETAIL

**7 - ELEVEN ON WARE RD  
SUBDIVISION**

BEING A SUBDIVISION OF 1.421 ACRES SITUATED IN THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING PART OR PORTION OUT OF LOT 1 WARE ROAD INVESTMENTS SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 43, PAGE 139, HIDALGO COUNTY MAP RECORDS, AND LOT 76, R.E. HORN'S ADDITION TO MCALLEN FIRST SUBURBAN CITRUS GROVES SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 5, PAGE 26, HIDALGO COUNTY MAP RECORDS





CITGO

**NOTICE  
SERVICE  
STATION  
FOR  
THIS PROPERTY  
CUP2021-0100**

 CITY OF MCALLEN PLANNING DEPT.  
956-681-1250  
WWW.MCALLE.NET





## Memo

**TO:** Planning and Zoning Commission

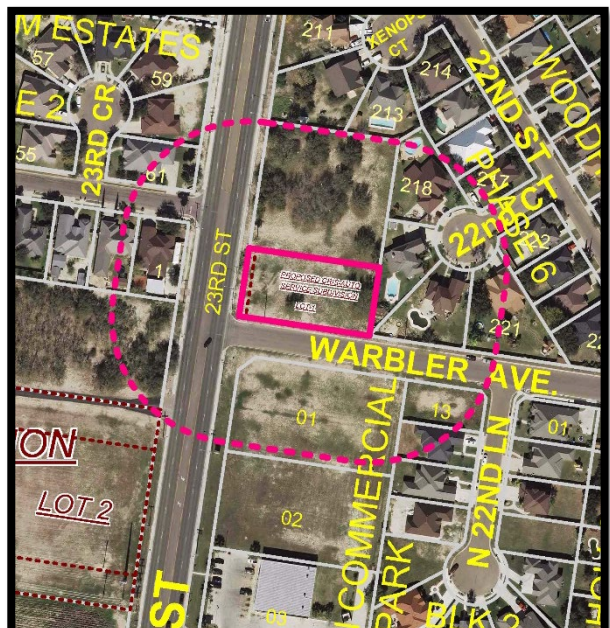
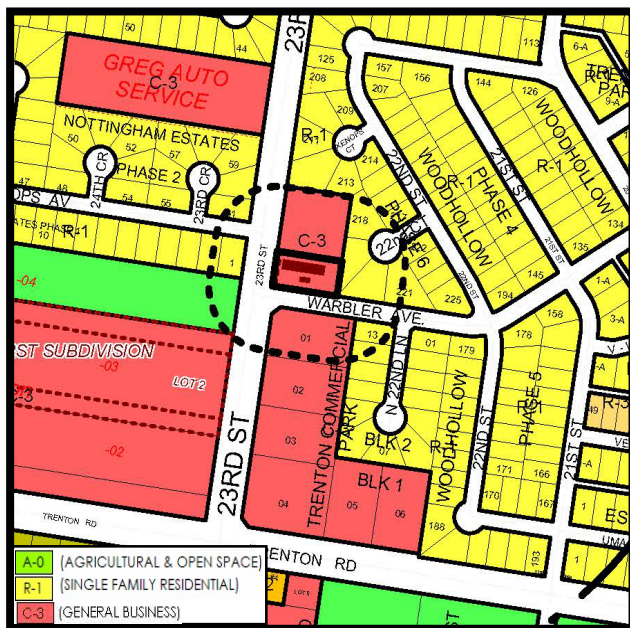
**FROM:** Planning Staff

**DATE:** August 12, 2021

**SUBJECT:** Request of Cristobal Moreno, for a Conditional Use Permit, for life of the use, for an automotive service & repair at the 0.52 acre tract of land out of Block 14, Trenton Park Estates Ph. 1 & 2 Subdivision lying west of Lot 219, Woodhollow Subdivision, Hidalgo County, Texas; 7500 N. 23rd Street. (CUP2021-0080)

### BRIEF DESCRIPTION:

The property is located on the northeast corner of N. 23rd Street and Warbler Avenue. The tract has 110 ft. of frontage along N. 23rd Street with a depth of 197.05 ft. for a lot size of 0.498 acres. The property is zone C-3 (general commercial) District. The adjacent zoning is R-1 (single family residential) District to the west and east, and C-3 (general commercial) District to the north and south. Surrounding land uses are commercial buildings, single-family residential, and vacant land. An automotive service and repair shop is allowed in the C-3 District with a Conditional Use Permit and in compliance with requirements.



### HISTORY:

The property is vacant and is part of the proposed Cris-Auto Service Subdivision. The subdivision received preliminary approval on May 4, 2021 by the Planning and Zoning Commission. The proposed subdivision will have to be recorded and site plan review will have to get approval from Development Departments prior to any building permit issuance. A site plan has been submitted; however, it is still pending requirements.

**REQUEST/ANALYSIS:**

The applicant is proposing to construct an auto-service repair shop with a combined floor space of 3,841.77 sq. ft. of office and workshop area. The office consists of 1,168.07 sq. ft., and the workshop area is 2,673.70 sq. ft. Based on the floor area, 13 parking spaces are required and must comply with city standards. The proposed days and hours of operations are Monday through Friday from 8:00 AM to 5:00 PM and Saturday from 8:00 AM to 12:00 PM.

A proposed site plan has been submitted; however, it is subject to change based on the subdivision plat and the Development Team requirements. A site plan must be approved by city staff prior to issuance of building permit. All building permit requirements must be met including parking, landscaping, setbacks, etc. Must comply with Front/N. 23<sup>rd</sup> St. setback of 60 ft. or greater for easement, Rear setback of 5 ft. or greater for easements, North side setback of half the building height or 0 ft. to property line with firewall, and South side setback of 10 ft. or greater for easements. The Fire Department will conduct the final inspection once a building permit is issued.

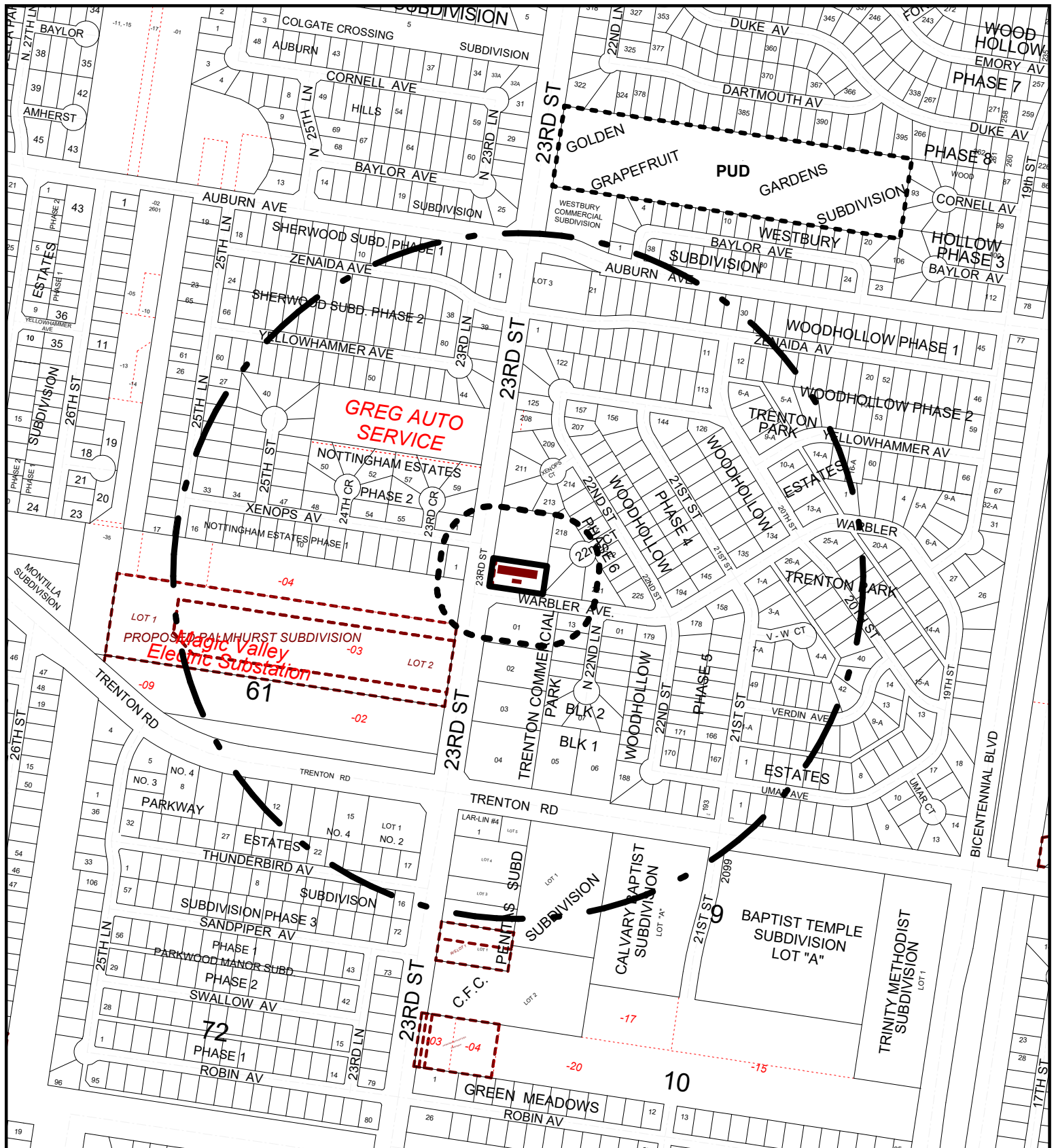
The Planning Department has not received any calls in opposition to the request. The business must meet the requirements set forth in Section 138-281 of the Zoning Ordinance and specific requirements as follows:

- 1) A minimum lot size of 10,000 sq. ft. is required. The subject property is approximately 21,675.50 sq. ft.
- 2) All service, repair, maintenance, painting and other work shall take place within an enclosed area. The work will be performed in the workshop area;
- 3) Outside storage of materials is prohibited.
- 4) The building where the work is to take place shall be at least 100 ft. from the nearest residence. The automotive service and repair establishment is approximately 80 ft. to the nearest residence.
- 5) A 6 ft. opaque fence buffered the proposed use from any residential use or residentially zoned area is required. An 8 ft. buffer along the east side property is required as per proposed subdivision process.
- 6) New buildings and conversions of existing buildings shall meet current building and fire code requirements concerning separation of high hazard uses from other occupancy use classifications.

If site plan changes, conditional use permit will need to be amended to resemble the approved Site Plan.

**RECOMMENDATION:**

Staff recommends disapproval of the request subject to noncompliance with requirement #4 (distance). However, if request is approved, it must comply with Section 138-281 of the Zoning and Subdivision Ordinance, Site Plan Review requirements, Development Departments (Traffic, Fire, Engineering, Utility, Public Works, and Planning) requirements and building permit requirements. And if site plan changes, conditional use permit will need to be amended to resemble approved Site Plan.



**CITY OF McALLEN**  
PLANNING DEPARTMENT

**LEGEND**  
SCALE: N.T.S.

**AREA MAP**

 **SUBJECT PROPERTY**

 **200 FT. NOTIFICATION BOUNDARY**

 **1/4 MILE RADIUS**

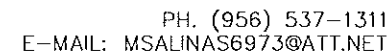


**ZONING LEGEND**

A-O (AGRICULTURAL & OPEN SPACE)	R-3A (APARTMENTS)	R-4 (MOBILE HOMES)	C-3 (GENERAL BUSINESS)	I-1 (LIGHT INDUSTRIAL)
R-1 (SINGLE FAMILY RESIDENTIAL)	R-3C (CONDOMINIUMS)	C-1 (OFFICE BUILDING)	C-3L (LIGHT COMMERCIAL)	I-2 (HEAVY INDUSTRIAL)
R-2 (DUPLEX-FOURPLEX)	R-3T (TOWNHOUSES)	C-2 (NEIGHBORHOOD COMMERCIAL)	C-4 (COMMERCIAL INDUSTRIAL)	(SPECIAL DISTRICT)

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NOTICE  
AUTO REPAIR  
FOR  
THIS PROPERTY  
CUP2021-0080



## Planning Department

### Memo

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

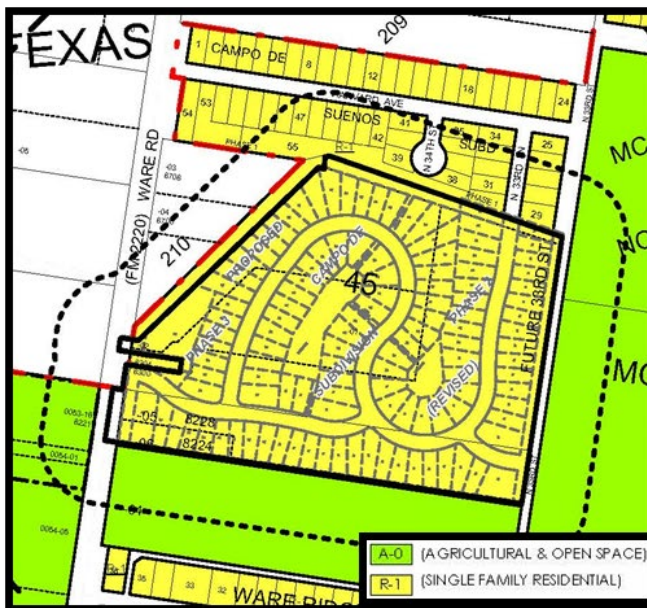
**DATE:** August 12, 2021

**SUBJECT:** Request of Mario A. Reyna, on behalf of Riverside Development Service, LLC, for a Conditional Use Permit, for life of the use, for a planned unit development at the 26.663 acre tract of land out of Lot 45 and 52, La Lomita Irrigation and Construction Company's Subdivision, Hidalgo County, Texas; 8300 North Ware Road. (CUP2021-0084)

**STAFF RECOMMENDS TABLING THE REQUEST BASED ON ADDITIONAL INFORMATION REQUIRED.**

#### BRIEF DESCRIPTION:

The subject property is located on the east side of North Ware Road, approximately 1,250 ft. north of Auburn Avenue. The irregularly-shaped tract in question is described by metes and bound for a lot size of 26.663 acres and is being subdivided into two proposed subdivisions under the names of Campo de Sueños Phase II and Campo de Sueños Phase III. The property zoning is R-1 (single family residential) District. The adjacent zoning is A-O (agricultural-open space) District to the south, east and west, R-1 District to the north, and ETJ (Extra-Territorial Jurisdiction) to the west. Surrounding land use include single-family residential, Texas Ranch Apartments, baseball field, elementary school and vacant land. A Planned Unit Development is permitted in an R-1 District with a conditional use permit and in compliance with Article IV Planned Developments of the Subdivision Ordinance.



**HISTORY:**

The Planning and Zoning Commission Board voted to approve the proposed subdivisions in revised preliminary form subject to staff recommendations and variances with conditions noted on January 19, 2021. A variance request to the block length requirement at Campo de Sueños Phase II was approved by City Commission on February 22, 2021. Annexation and initial zoning to R-1 District for the portion of the tract that was outside City limits was approved by City Commission on May 24, 2021. The applicant applied for a variance request to allow a lot width less than 50 ft. for proposed Campo de Sueños Phase II subdivision and proposed Campo de Sueños Phase III subdivision; however, they withdrew the request in favor of a Planned Unit Development.

**REQUEST/ANALYSIS:**

Currently, the property is vacant. The property is part of Campo de Sueños Phase II Subdivision and Campo de Sueños Phase III Subdivision, which consist of one hundred eighteen (118) lots, with one being a common area. The applicant is proposing to develop a Planned Unit Development, which will include single family residences and common areas.

Planned unit developments allow a variety of land uses that complement each other within the development and with existing land uses in the vicinity. Specific requirements for approval are specified in the Ordinance creating a Planned Unit Development for the subject property and summarized as the following:

1. CONCEPTUAL SITE PLAN: Development and use of the property must comply with the conditional use permit conceptual site plan.
2. PERMITTED USES: Permitted uses are uses permitted in the R-1 District for buildings designated as residential. The applicant is proposing single family residences and common areas.
3. OFF-STREET PARKING AND LOADING: Parking in compliance with Chapter 134 Article VI, which requires two parking spaces per unit, with one being located beyond the front yard setback. Must provide floor plan with garage to determine if in compliance.
4. LANDSCAPING: Each lot requires 10% landscaping in an R-1 zone. Based on the lot area of 1,030,760.28 sq. ft., 103,076 sq. ft. of landscaping is required. Also, 50% of the required front yard must be landscape, including the sideyard setback areas. A minimum of one tree is required. Must provide front landscaping area and trees to determine if in compliance. Some lots show driveway on one side of the sideyard setback, it is not in compliance.
5. STREETS AND SETBACKS: Additional 35 ft. right-of-way dedication required along Ware Road. Provide minimum of 50 ft. right-of-way and 40 ft. of pavement width for Duke Avenue. Provide minimum of 50 ft. right-of-way and 32 ft. of pavement for N. 33<sup>rd</sup> Lane. Setbacks are Front: Duke Avenue – 25 ft. or greater for easements, whichever is greater; Front: 20 ft. or greater for easements, whichever is greater; Rear: 10 ft. or greater or easements; Sides: 5 ft. or greater

for easements; Corner: 10 ft. or greater for easements; and Garage: 18 ft. except where greater setback is required. An R-1 zone requires a front yard setback of 25 ft. on interior streets. The development is proposing less than 25 ft. of front yard setback along Duke Avenue and less than 20 ft. of front setback along N. 33<sup>rd</sup> Lane. Provide setback lines with building envelope on site plan A 5 ft. wide minimum sidewalk required on Ware Road and a 4 ft. wide minimum sidewalk required on N. 33<sup>rd</sup> Street and both sides of all interior street. Must provide sidewalk width dimension on site plan.

6. DRAINAGE: During the Campo de Sueños Phase II Subdivision and Campo de Sueños Phase III Subdivision process final drainage detention and design and drainage plan must be submitted and in accordance with City of McAllen Standard Design Guide.
7. ADDITIONAL PROVISIONS: Conditional Use Permit site plan controls if there is conflict with other City ordinances. A decision by the Planning Director may be reviewed by Planning and Zoning Commission for recommendation to Board of Commissioners for final determination. The Conditional Use Permit calls for mixed use and a minimum of five (5) acres. The development has 23.663 acres and is providing mixed uses, which include single family residences and common area.
8. Owner, Engineer and Surveyor certification and signature block needs to be shown on the PUD site plan. The site plan does not show the required acknowledgements.
9. A recorded subdivision plat and Planned Unit Development site plan is required prior to issuance of building permits. Therefore, Campo de Sueños Phase II Subdivision and Campo de Sueños Phase III Subdivision process must be completed, and recorded together with the site plan.

If subdivision layout changes, conditional use permit will need to be amended to resemble the approved Subdivision Plat.

**RECOMMENDATION:**

Staff recommends tabling the request based on additional information required for requirement #3 (off-street parking), #4 (landscaping), #5 (street pavement/setbacks), and #9 (required acknowledgements) of Section 134-171 of the Subdivision Ordinance.

## Memo

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

**DATE:** August 12, 2021

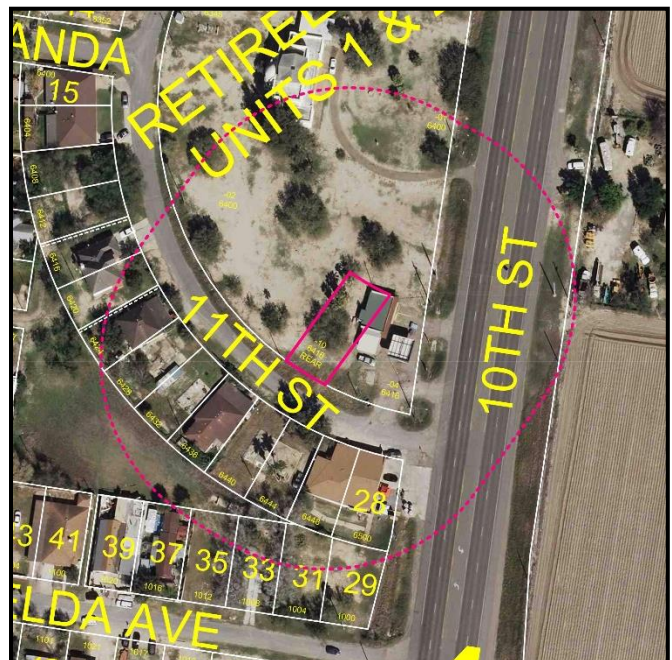
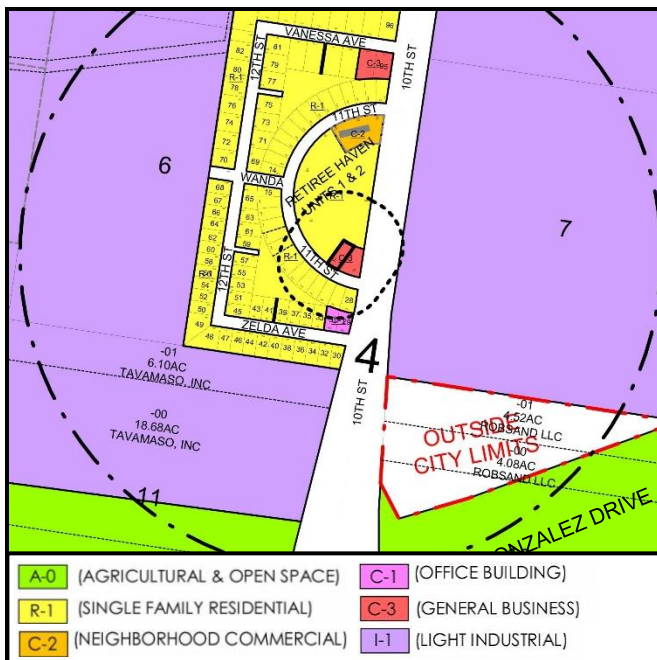
**SUBJECT: REZONE FROM C-3 (GENERAL BUSINESS) DISTRICT TO R-1 (SINGLE-FAMILY RESIDENTIAL) DISTRICT: 0.14 ACRES OUT OF LOT 6, BLOCK 4, HIDALGO CANAL COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS; 6416 SOUTH 10TH STREET. (REZ2021-0042)**

**LOCATION:** The property is located on the north side of South 11<sup>th</sup> Street, 41.11 ft. west of South 10<sup>th</sup> Street. The tract has 50 ft. of frontage along South 11<sup>th</sup> Street with a depth of 119.96 ft. at its deepest point for a lot size of 0.14 acres (5,896.82 sq. ft.).

**PROPOSAL:** The applicant is requesting to rezone the property to R-1 (single-family residential) District in order to construct a single-family residence. A feasibility plan has not been submitted.

**ADJACENT ZONING:** The adjacent zoning is C-3 (general business) District to the east and R-1 (single-family residential) District to the north, west, and south.

**LAND USE:** There is a vacant commercial building on the subject property, proposed to be demolished. Surrounding land uses include single-family residences, retail store, Zuniga's Cars and Trucks Dealership, agricultural, and vacant land.





COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Urban Single Family which is comparable to R-1 (single-family residential) District.

DEVELOPMENT TRENDS: The development trend for this area along South 10<sup>th</sup> Street is single-family residential and commercial.

HISTORY: The tract was annexed into the city and initially zoned R-1 (single-family residential) District on December 18, 1989. A rezoning request to C-3 District for the subject property was approved by the City Commission on April 23, 2001. There has been no other rezoning request for the subject property since then.

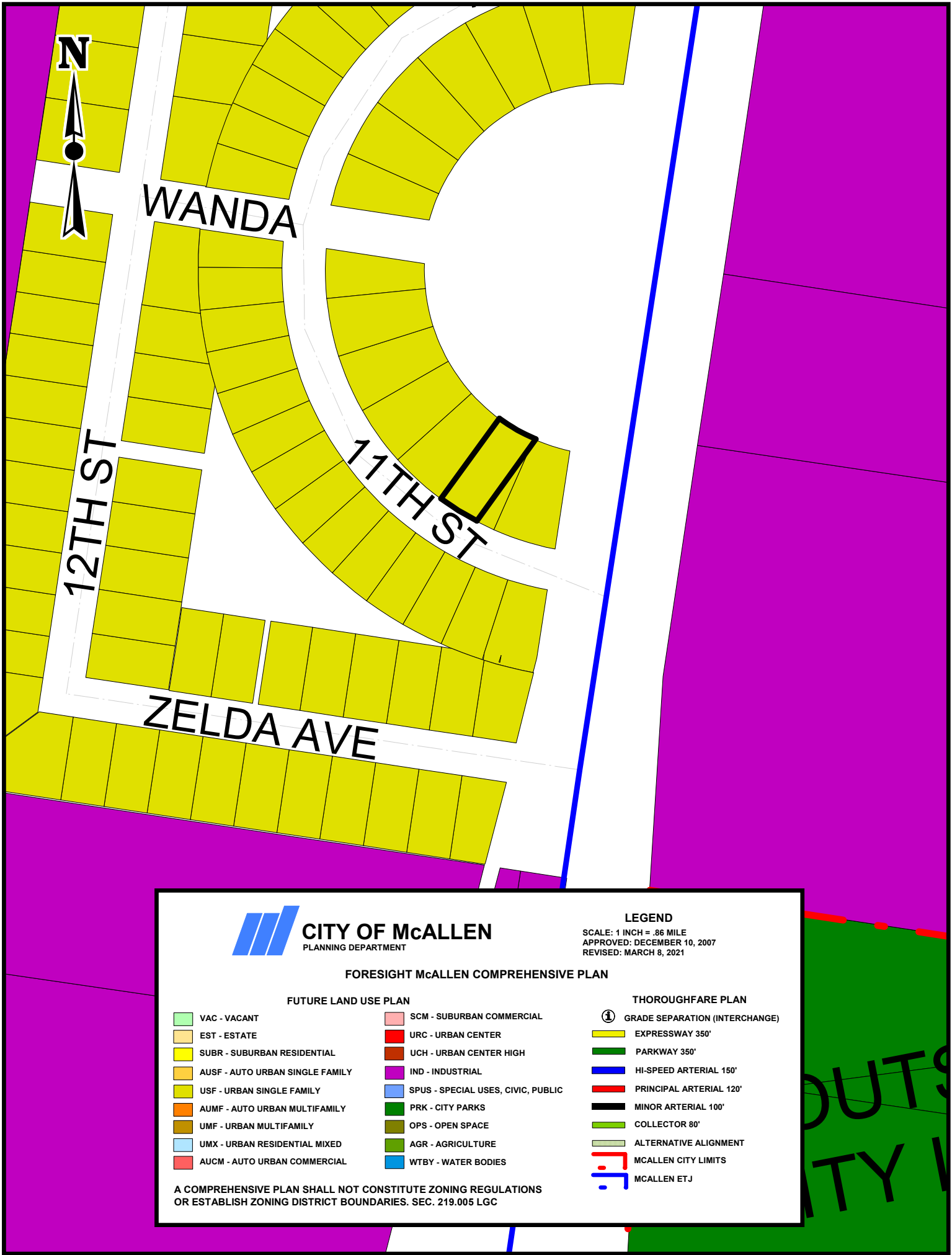
ANALYSIS: The requested downzoning conforms to the Urban Single Family land use designation as indicated on the Foresight McAllen Comprehensive Plan. It is also compatible with the adjacent zoning to the north, west, and south.

Section 110-49 (a) Vegetation Ordinance requires a masonry screen eight ft. in height where a commercial, industrial, or multifamily use has a side or rear property line in common with a single-family use or zone.

A recorded subdivision plat is required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

Staff has not received a phone call or email in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to R-1 (single-family residential) District.



**SALINAS ENGINEERING & ASSOCIATES**  
**CONSULTING ENGINEERS & SURVEYORS**  
**2221 DAFFODIL AVE. - MCALLEN, TEXAS 78501**  
**(956) 682-9081 (956) 686-1489 (FAX)**

**dsalinas@salinasengineering.com**

TBPLS 12100 PARK 35 CIRCLE BLDG. A, SUITE 155, MC-230, AUSTIN, TEXAS 78573 (512) 239-5263

CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING
*C1*	41.17'	220.00'	10°43'20"	N72°22'57"W 41.11'
*C2*	50.00'	338.00'	08°28'33"	N58°14'15"W 49.95'
*C3*	50.00'	220.00'	13°01'18"	S60°30'38"E 49.89'

P.O.C.  
N.E.C.  
LOT 6,  
BLOCK 4

ADJOINER:  
OWNER: UNDETERMINED  
PROPERTY I.D. NO.: UNDETERMINED  
WARRANTY DEED  
DOCUMENT NO. UNDETERMINED

N81°27'25"W  
54.25'

S08°32'35"W  
816.20'

NORTHEAST CORNER  
0.32 ACRE TRACT

P.O.B.

NORTHWEST CORNER  
0.32 ACRE TRACT

ADJOINER:  
OWNER: BETTE JO INGRAM ET AL  
PROPERTY I.D. NO.: 269756  
RETIREE HAVEN  
2.75 AC. IRR. TR. A/K/A TR 6 & 7  
OF UNNUMBERED LOTS LYING  
EAST OF CAMINO CENTRAL RD. UNIT 1  
PROBATED WILL  
PG.-30, 798, H.C.O.R.

**TRACT-I**  
5,896.82 SQ.FT.  
0.14 GROSS ACRES

LOT 6, BLOCK 4

HIDALGO CANAL  
COMPANY'S  
SUBDIVISION  
VOL. "Q", PG. 177,  
H.C.D.R.

SOUTHWEST CORNER  
0.32 ACRE TRACT

CAMINO CENTRAL  
(SOUTH 11TH. STREET)  
(50.00' R.O.W.)

LOT 24

LOT 25

RETIREE HAVEN  
VOL. 16, PG. 33,  
H.C.M.R.

LOT 26

LOT 27

LOT 28

**GENERAL PLAT NOTES:**

- Bearing Basis: Warranty Deed with Vendor's Lien conveyance from Henry Novell and wife, Graciela P. Novell unto Eva Josefina Briones Ibarra, dated September 9, 1993, and recorded in Document Number 355029, Hidalgo County Deed Records.
- This survey was prepared without the benefit of a title policy. The research of any easements is not within the scope of this boundary/improvement survey. Any easement shown herein were taken directly from the plat of record. This survey is for the exclusive use of the client named hereon and may not be copied or transferred to another party without the express written consent of the surveyor.
- There are no discrepancies, conflicts, excesses or shortages in area, encroachments or any overlapping improvements, visible or apparent easements except as shown or noted hereon.
- The surveyor has made no attempt to locate or define wetlands, hazardous waste areas, habitats, endangered species or any other environmentally sensitive areas on the tract of land shown hereon; Nor does this survey make any representations of being an environmental assessment of the tract of land shown hereon.
- The surveyor has made no attempt to locate or define archeological sites, historical sites or undocumented cemeteries on the tract of land shown hereon; Nor does this survey make any representations of being an archeological or historical survey of the tract of land shown hereon.
- The surveyor has made no attempt to locate abandoned, or plugged oil and gas wells, or any other wells on the tract of land shown hereon; Nor has the surveyor made any attempt to research same with the Railroad Commission of Texas or any other State agency; Nor has the surveyor investigated any mineral or royalty interests in the tract of land shown hereon.
- This is a standard survey and does not include a subsurface utility or topographic investigation.
- If this survey does not bear an original seal and signature it is **INVALID** as per Section 661.46 and Section 663.19 of the "The Professional Land Surveying Practices Act" enacted under Article 5282c, Vernon's Texas Civil Statutes.

**METES AND BOUNDS DESCRIPTION**

BEING A 0.14 ACRE TRACT OF LAND, MORE OR LESS, CONSISTING OF ALL OF THE WEST 50.0 FEET OUT OF AND FORMING A PART OF THAT CERTAIN 0.32 ACRE TRACT OUT OF LOT 6, BLOCK 4, HIDALGO CANAL COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME Q, PAGE 177, DEED RECORDS OF HIDALGO COUNTY, TEXAS; SAID 0.14 ACRE TRACT IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 6 LOCATED WITHIN THE RIGHT-OF-WAY OF S.H. 336 (S. 10TH. STREET); THENCE,

SOUTH 08 DEGREES 32 MINUTES 35 SECONDS WEST, COINCIDENT WITH THE EAST LINE OF SAID LOT 6 LOCATED WITHIN THE RIGHT-OF-WAY OF SAID S.H. 336, A DISTANCE OF 816.20 FEET TO A POINT; THENCE,

NORTH 81 DEGREES 27 MINUTES 25 SECONDS WEST, A DISTANCE OF 54.25 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND ON THE NORTHEAST CORNER OF SAID 0.32 ACRE TRACT LOCATED ON INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF SAID S.H. 336 AND FURTHER BEING ON THE BEGINNING OF A CURVE TO THE RIGHT WHOSE RADIUS IS 220.0 FEET; THENCE,

IN A NORTHWESTERLY DIRECTION TO THE RIGHT WITH SAID FIRST CURVE, AN ARC LENGTH DISTANCE OF 41.17 FEET TO A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" SET FOR THE NORTHEAST CORNER AND **POINT OF BEGINNING** OF THIS HEREIN DESCRIBED TRACT;

(1) THENCE, SOUTH 35 DEGREES 52 MINUTES 55 SECONDS WEST, A DISTANCE OF 119.96 FEET TO A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" SET ON INTERSECTION WITH THE SOUTH LINE OF SAID 0.32 ACRE TRACT SAME BEING THE NORTH RIGHT-OF-WAY LINE OF CAMINO CENTRAL (AKA S. 11TH. STREET) AND FURTHER BEING ON A SECOND CURVE TO THE RIGHT WHOSE RADIUS IS 338.0 FEET FOR THE SOUTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;

(2) THENCE, TO THE RIGHT IN A NORTHWESTERLY DIRECTION AND BEING COINCIDENT WITH THE SOUTH LINE OF SAID 0.32 ACRE TRACT AND THE NORTH RIGHT-OF-WAY LINE OF SAID CAMINO CENTRAL, AN ARC LENGTH DISTANCE OF 50.0 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND ON THE SOUTHWEST CORNER OF SAID 0.32 ACRE TRACT FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;

(3) THENCE, NORTH 36 DEGREES 00 MINUTES 00 SECONDS EAST, COINCIDENT WITH THE WEST LINE OF SAID 0.32 ACRE TRACT, A DISTANCE OF 118.0 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND ON THE NORTHWEST CORNER OF SAID 0.32 ACRE TRACT LOCATED ON INTERSECTION WITH SAID FIRST CURVE FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;

(4) THENCE, TO THE LEFT COINCIDENT WITH THE NORTH LINE OF SAID 0.32 ACRE TRACT AND WITH SAID FIRST CURVE, AN ARC LENGTH DISTANCE OF 50.0 FEET TO THE **POINT OF BEGINNING**, CONTAINING 0.14 ACRES OF LAND, MORE OR LESS.

BASIS OF BEARING: DEED  
N:SUBDIVISIONPLATSVORGEARELLANO.SUB0.14.072021.REZONING

This is to certify that I have, this date, made a careful and accurate standard land survey on the ground of property which is located at 6416 S. 10TH. STREET in McAlLEN, Texas, described as follows: BEING A 0.14 ACRE TRACT OF LAND, MORE OR LESS, CONSISTING OF ALL OF THE WEST 50.0 FEET OUT OF AND FORMING A PART OF THAT CERTAIN 0.32 ACRE TRACT OUT OF (SEE METES AND BOUNDS DESCRIPTION)

Lot 6, Block 4, of HIDALGO CANAL COMPANY'S SUBDIVISION

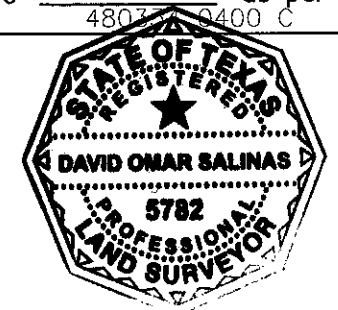
HIDALGO CO.

Texas, according to the plat recorded in Volume "Q", Page 177, of the MAP Records of Hidalgo County, Texas. I further certify that this property lies in Zone "B" as per FIRM (Flood Insurance Rate Map) dated NOV. 16, 1982 Community Panel No. 4807-0400 C

A.E.

DRN. BY  
JULY 20, 2021  
DATE

SP-21-25493A  
JOB NO.



REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5782





TIRES

NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ2021-0042

OFICINA



## Memo

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

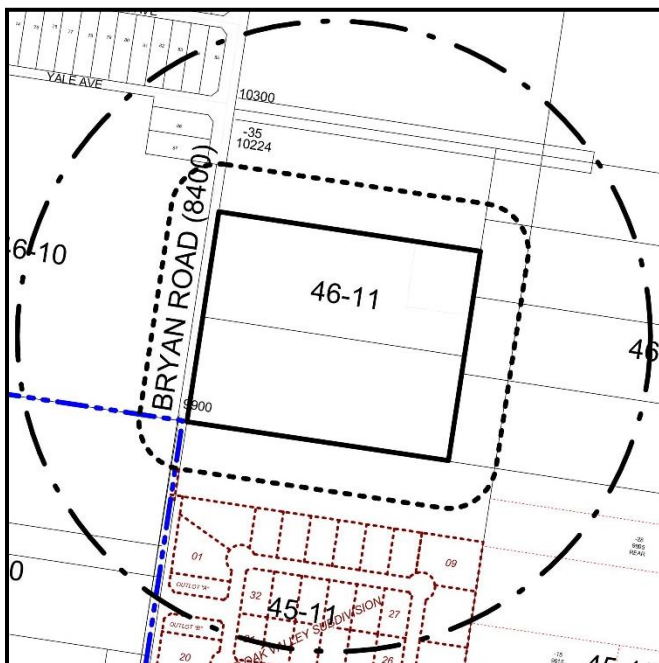
**DATE:** August 12, 2021

**SUBJECT: INITIAL ZONING TO R-3A (MULTIFAMILY RESIDENTIAL APARTMENT)  
DISTRICT: LOTS 5 AND 6, RESUBDIVISION OF LOTS 46-11 & 46-12, WEST  
ADDITION TO SHARYLAND SUBDIVISION, HIDALGO COUNTY, TEXAS;  
10100 NORTH BRYAN ROAD (REZ2021-0043)**

**LOCATION:** The property is located on the east side of North Bryan Road, approximately 1,300 ft. north of Mile 6 Road. The tract has 886.1 ft. of frontage along North Bryan Road with a depth of 1,120.08 ft. at its deepest point (1,120 ft. on plat).

**PROPOSAL:** The tract is currently outside the City limits and is undergoing voluntary annexation. The initial zoning to R-3A (multifamily residential apartment) District will become effective upon the annexation of the tract into the City. The applicant is requesting R-3A District in order to build detached duplexes. A proposed 71-lot subdivision under the name of Mission Village Subdivision for the subject property is scheduled to be heard in preliminary form by the Planning and Zoning Commission on August 17, 2021.

**ADJACENT ZONING:** The adjacent properties to the subject property are outside McAllen City limits.





LAND USE: The property is currently vacant. Surrounding land uses include single-family residences, agricultural, and vacant land.

COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Single Family, which is comparable to R-1 (single-family residential) District.

DEVELOPMENT TRENDS: The development trend for this area along North Bryan Road is single-family residential.

HISTORY: The tract has been in the City's Extra-Territorial Jurisdiction (ETJ) since October 1, 1981. An annexation and initial zoning request to R-3A District for the subject property was submitted on July 20, 2021. A subdivision application for the subject property is scheduled to be heard by the Planning and Zoning Commission on August 17, 2021. An annexation request for the subject property is scheduled to be heard at the City Commission meeting of September 13, 2021.

ANALYSIS: The requested zoning does not conform to the Auto Urban Single Family land use designation as indicated on the Foresight McAllen Comprehensive Plan; however, the rezoning request provides opportunities for a variety of housing types throughout the city that responds to the residents' economic and social lifestyles.

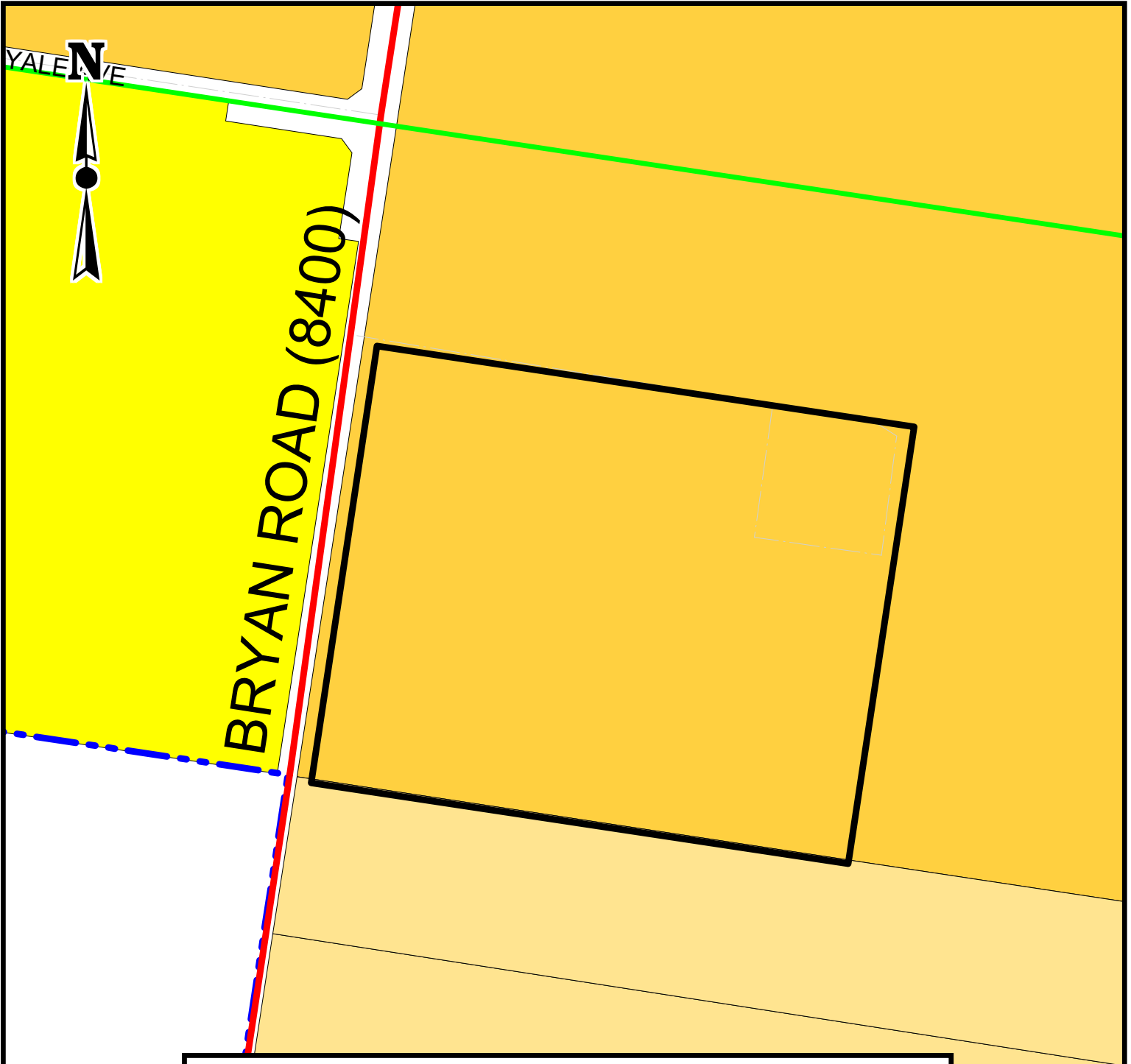
A recorded subdivision plat is required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

The R-3A District designation permits continuation of the subdivision process for a residential subdivision.

Staff has not received any calls or emails in opposition to the initial zoning request.

RECOMMENDATION: Staff recommends approval of the initial zoning request to R-3A (multifamily residential apartment) District.





# **CITY OF McALLEN** PLANNING DEPARTMENT

## **FORESIGHT McALLEN COMPREHENSIVE PLAN**

### **FUTURE LAND USE PLAN**

VAC - VACANT	SCM - SUBURBAN COMMERCIAL
EST - ESTATE	URC - URBAN CENTER
SUBR - SUBURBAN RESIDENTIAL	UCH - URBAN CENTER HIGH
AUSF - AUTO URBAN SINGLE FAMILY	IND - INDUSTRIAL
USF - URBAN SINGLE FAMILY	SPUS - SPECIAL USES, CIVIC, PUBLIC
AUMF - AUTO URBAN MULTIFAMILY	PRK - CITY PARKS
UMF - URBAN MULTIFAMILY	OPS - OPEN SPACE
UMX - URBAN RESIDENTIAL MIXED	AGR - AGRICULTURE
AUCM - AUTO URBAN COMMERCIAL	WTBY - WATER BODIES

A COMPREHENSIVE PLAN SHALL NOT CONSTITUTE ZONING REGULATIONS OR ESTABLISH ZONING DISTRICT BOUNDARIES. SEC. 219.005 LGC

### **LEGEND**

SCALE: 1 INCH = .86 MILE  
APPROVED: DECEMBER 10, 2007  
REVISED: MARCH 8, 2021

### **THOROUGHFARE PLAN**

	GRADE SEPARATION (INTERCHANGE)
	EXPRESSWAY 350'
	PARKWAY 350'
	HI-SPEED ARTERIAL 150'
	PRINCIPAL ARTERIAL 120'
	MINOR ARTERIAL 100'
	COLLECTOR 80'
	ALTERNATIVE ALIGNMENT
	MCALLEN CITY LIMITS
	MCALLEN ETJ

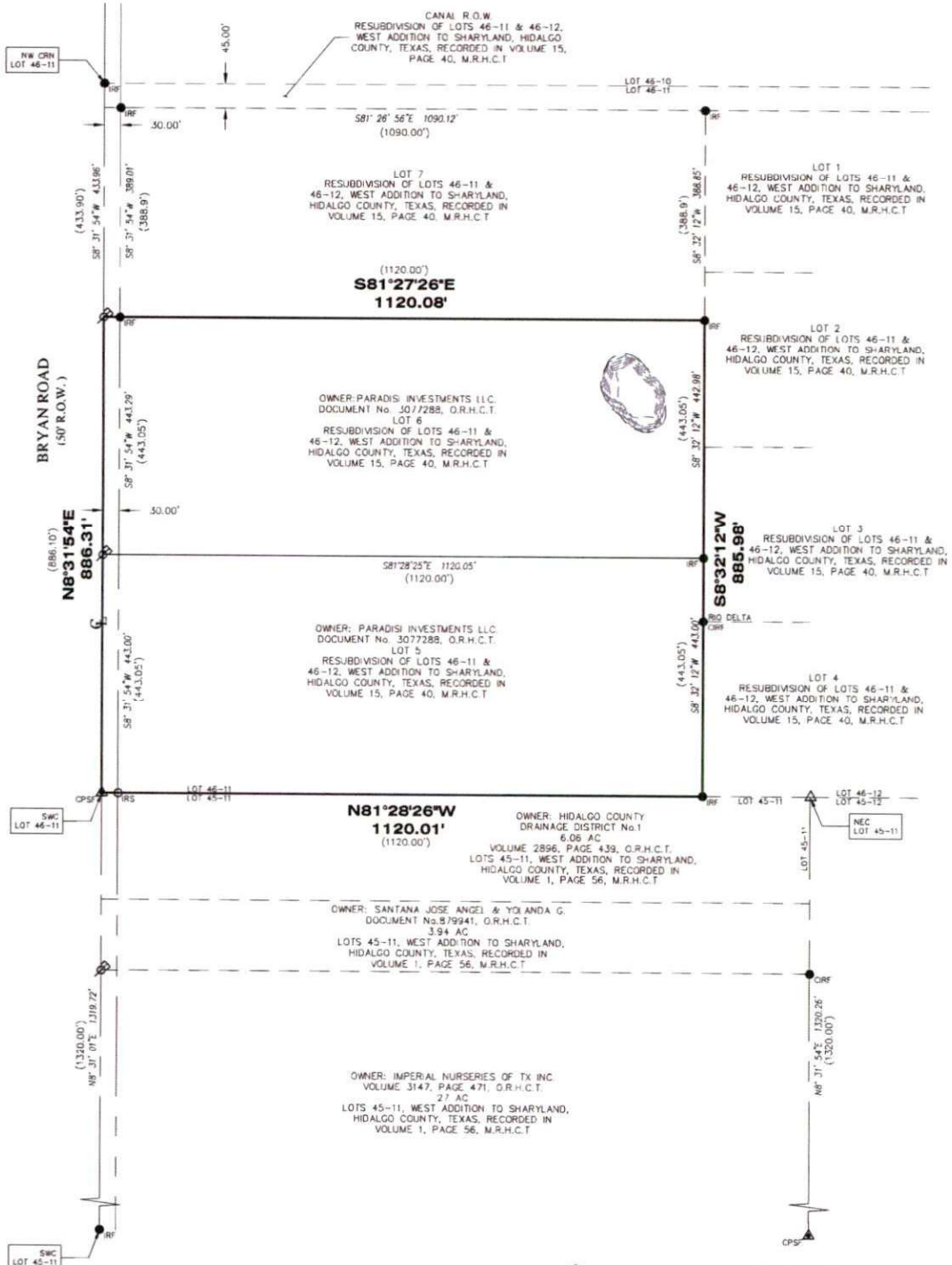
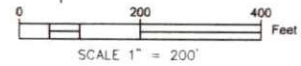


**SURVEY OF LOTS 5 AND 6,  
RESUBDIVISION OF LOTS 46-11 &  
46-12, WEST ADDITION TO SHARYLAND,  
HIDALGO COUNTY, TEXAS, RECORDED IN  
VOLUME 15, PAGE 40, MAP RECORDS OF  
HIDALGO COUNTY, TEXAS**

**LEGEND**

- FENCE POST FOUND
- 1/2" IRON ROD FOUND "IRF"
- 1/2" IRON ROD SET W/PINK CAP "IRS"
- (50'00"00"W 0.0') - RECORD BEARING & DISTANCE
- ⬢ 600 NAIL FOUND
- △ CALCULATED POINT
- ▲ COTTON PICKER SPINDLE FOUND "CPSF"

BEARING BASIS  
TEXAS STATE PLANE  
COORDINATE SYSTEM,  
TEXAS SOUTH  
ZONE 4205



**NOTES:**

1. SURVEY DONE WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
2. NO IMPROVEMENTS WERE LOCATED AT THE REQUEST OF THE CLIENT.
3. NO EASEMENT RESEARCH WAS PERFORMED BY THIS SURVEYOR.



*M.C.*  
MANUEL CARRIZALES  
R.P.L.S. #6388

6-9-2021  
DATE



**Carrizales  
and  
Surveying, LLC**

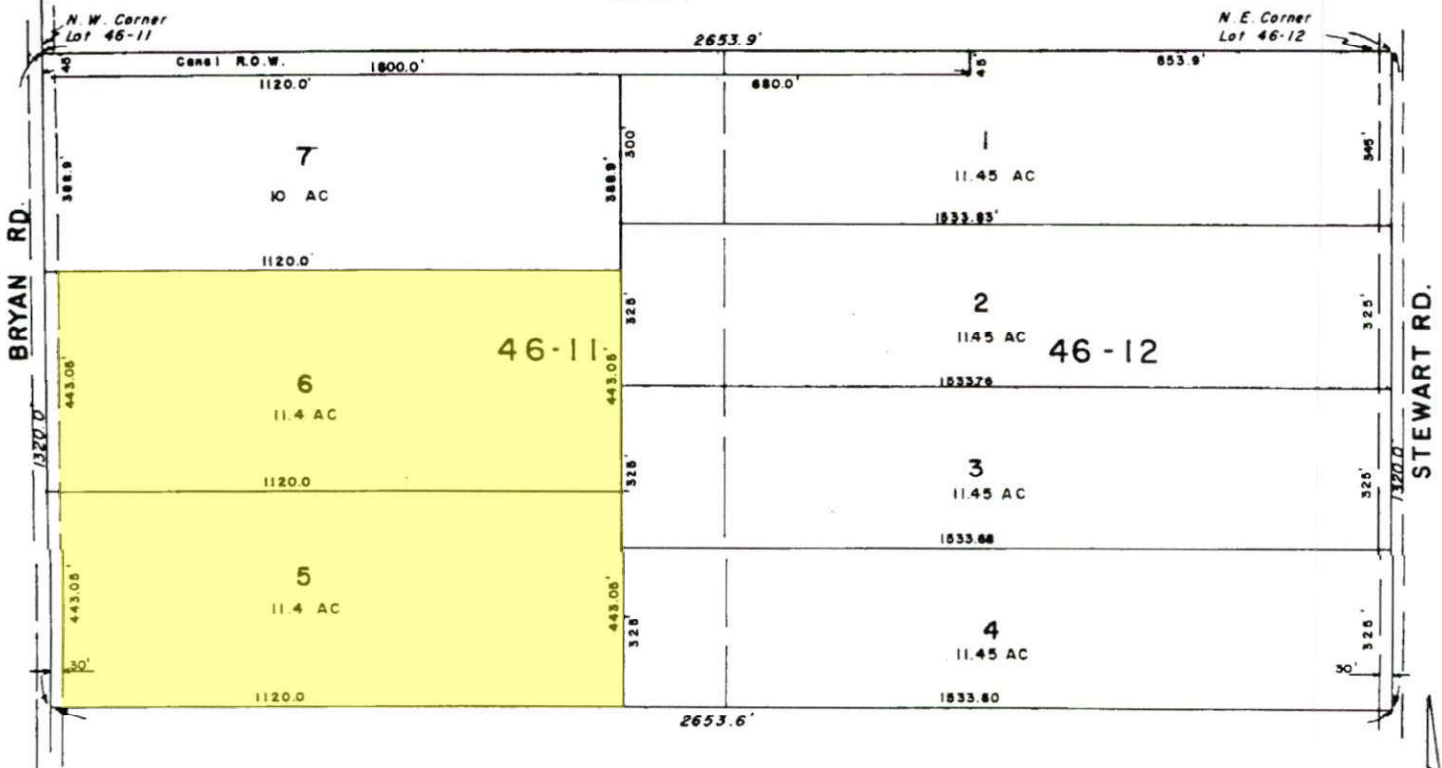
Texas Registered Surveying Firm  
TSPRS 0084 No. 30234417  
Office: 512-470-1489  
mccad@gmail.com

JOB No. 21-098



15261

1511



RESUBDIVISION OF  
LOTS 46-11 & 46-12  
WEST ADDITION TO SHARYLAND

APPROVED FOR RECORDING  
BY  
COMMISSIONERS' COURT  
This the 7th day of Sept. 19 65  
JULIO GUZMAN County Clerk  
By *Samuel B. Smith* Deputy

I, CHARLES L. MELDEN, A REGISTERED PUBLIC SURVEYOR, DO HEREBY CERTIFY THE ACCOMPANYING MAP TO BE A TRUE AND CORRECT REPRESENTATION OF THE LANDS HEREON DESCRIBED AS SURVEYED AND SUBDIVIDED UNDER MY DIRECTION.

*Charles L. Melden*  
CHARLES L. MELDEN  
REGISTERED PUBLIC SURVEYOR  
EDINBURG, TEXAS  
AUGUST 5, 1965



STATE OF TEXAS:  
COUNTY OF HIDALGO:

KNOW ALL MEN BY THESE PRESENTS:  
THE PALM SHORES, INC., OWNER OF THE LAND HEREWITH DESCRIBED AND HAVING CAUSED SAME TO BE SUBDIVIDED, DOES HEREBY APPROVE, ACCEPT, AND ADOPT THE ACCOMPANYING MAP OF SAID SUBDIVISION AND DOES HEREBY DEDICATE TO THE PUBLIC THE SURFACE USE OF THE ROADS THEREON SHOWN.

PALM SHORES INC.

*W. T. Ellis*  
W. T. ELLIS, PRESIDENT

STATE OF TEXAS:  
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED W. T. ELLIS, PRESIDENT OF PALM SHORES, INC., TO ME KNOWN AS SUCH AND KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED IN THE CAPACITY THEREIN STATED.  
GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE 11th DAY OF AUGUST, A.D., 1965.



FILED FOR RECORD THIS DATE  
At 1155 o'clock a M

SEP 1965

JULIO GUZMAN  
County Clerk  
*Theresa L. Smith*

*W. L. Cross* W. L. CROSS  
NOTARY PUBLIC IN AND FOR  
HIDALGO COUNTY, TEXAS

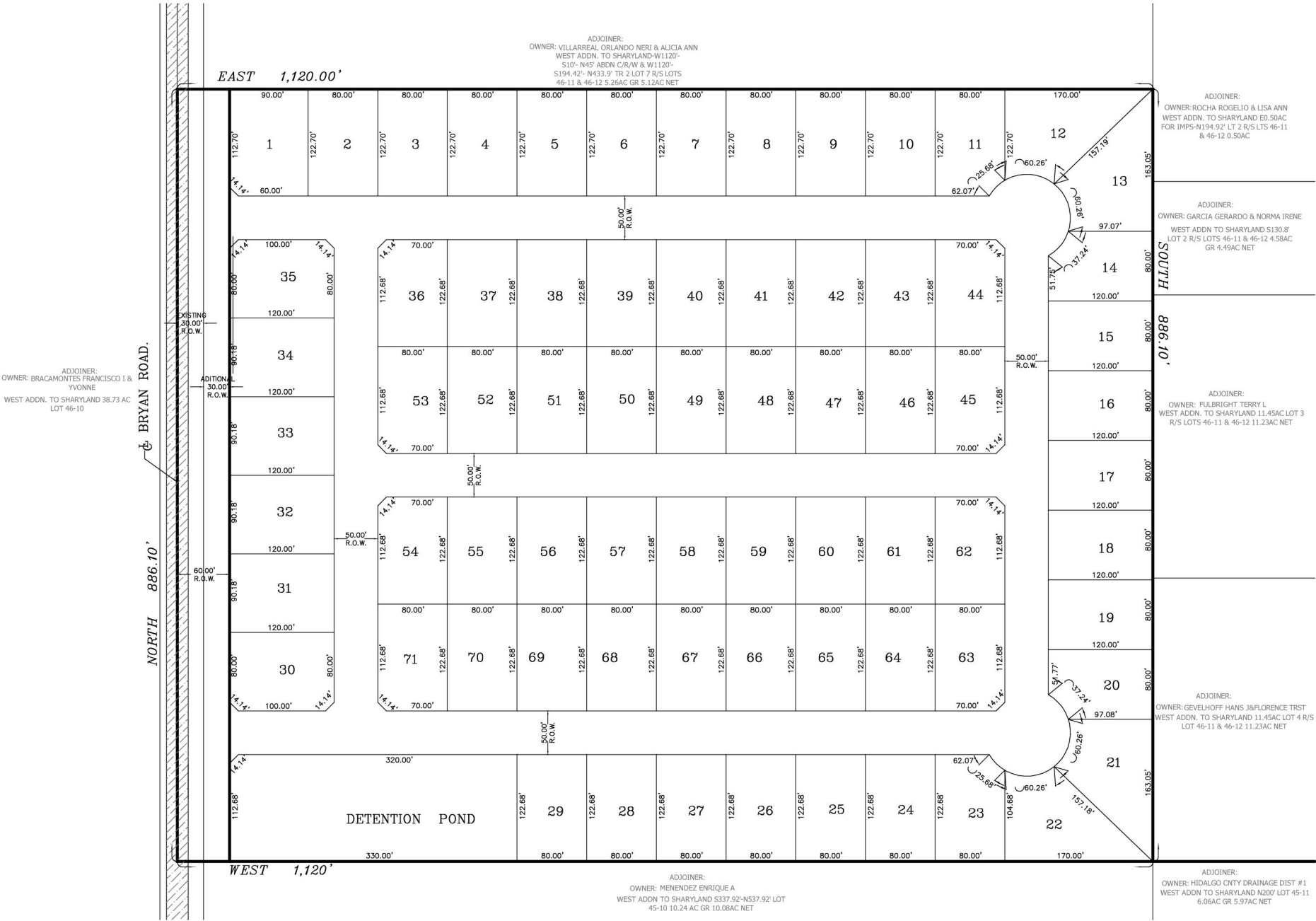




MAP  
OF  
MISSION VILLAGE SUBDIVISION  
HIDALGO COUNTY, TEXAS



A 22.8 ACRE TRACT OUT OF ALL LOTS 5 AND 6, RESUBDIVISION OF LOTS 46-11 & 46-12, WEST ADDITION TO SHARYLAND, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP RECORDED IN VOLUME 15, PAGE 40, MAP RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE ALL PURPOSES.



DATE OF PREPARATION JUNE-01-21

**MAS ENGINEERING LLC.**  
CONSULTING ENGINEERING  
FIRM NO. F-15499  
3911 N. 10TH STREET, SUITE H  
MCALLEN, TEXAS. 78501  
PH. (956) 537-1311  
E-MAIL: MSALINAS6973@ATT.NET





NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ2021-0043

 CITY OF DALLAS  
PLANNING DEPARTMENT  
400 WEST 10TH STREET  
DALLAS, TEXAS 75201  




## Planning Department

### Memo

**TO:** Planning and Zoning Commission

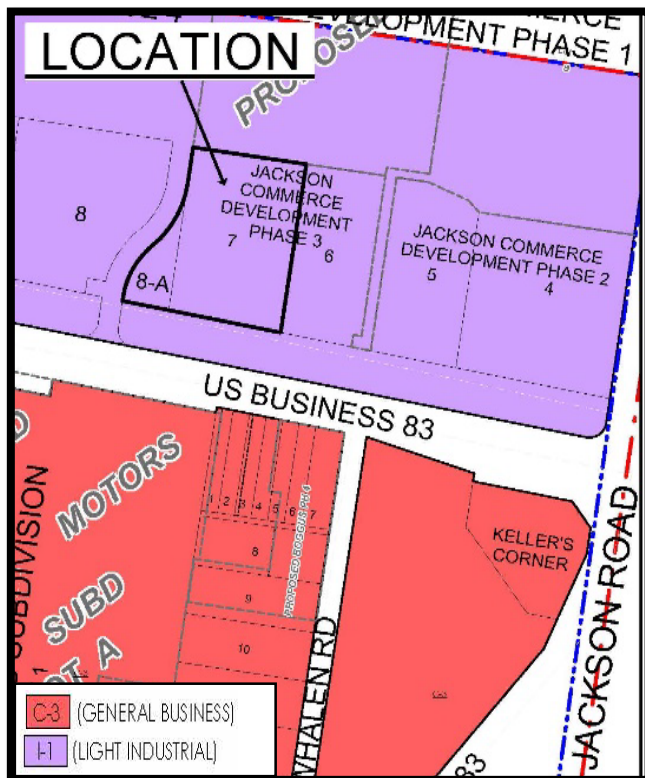
**FROM:** Planning Staff

**DATE:** August 9, 2021

**SUBJECT:** SITE PLAN APPROVAL FOR LOT 3, JACKSON COMMERCE DEVELOPMENT SUBDIVISION PHASE 3, AND LOT 8A, JACKSON COMMERCE DEVELOPMENT SUBDIVISION PHASE 4, HIDALGO COUNTY, TEXAS; 1201 & 1113 E. Highway 83. (SPR2021-0024)

**LOCATION:** The subject property is located on the north side of Highway 83, approximately 618 ft. west of Jackson Road and is zoned I-1 (light industrial) District. The adjacent zoning is I-1 District to the north, east and west, and C-3 (general business) district to the south. Surrounding land uses include commercial retail, restaurants, and offices. Jackson Commerce Development Subdivision Phase 3 was recorded on August 21, 1997 and has a note indicating a Site Plan must be approved by the Planning and Zoning Commission prior to building permit issuance.

**PROPOSAL:** The applicant is proposing to construct a 13,000 sq. ft. office.





**ANALYSIS:** The applicant is proposing to construct a 13,000 sq. ft. dental office building consisting of 12,432 sq. ft. of office space and 568 sq. ft. of storage space. Based on 12,432 sq. ft. of office use, 66 parking spaces are required and are provided on site. Three of the provided parking spaces must be accessible, one which must be van accessible with an 8 ft. wide aisle. Access proposed from the private drive on the north and the private drive on the west of Lot 8A, access agreement is on file. Required landscaping is 7,075 sq. ft. with trees required as follows: 21 -2 ½" caliper trees, or 11 -4" caliper trees, or 6 -6" caliper trees, or 8 palm trees (not to exceed 80%). A minimum 10 ft. wide landscape strip is required inside the property line along the Private Access Drive to the West and North. Fifty percent of the landscaping must be visible in front areas, and each parking space must be within 100 ft. of a landscaped area with a tree, as required by ordinance. No structures are permitted over easements. All setbacks will comply with the plat note requirements and the zoning ordinance.

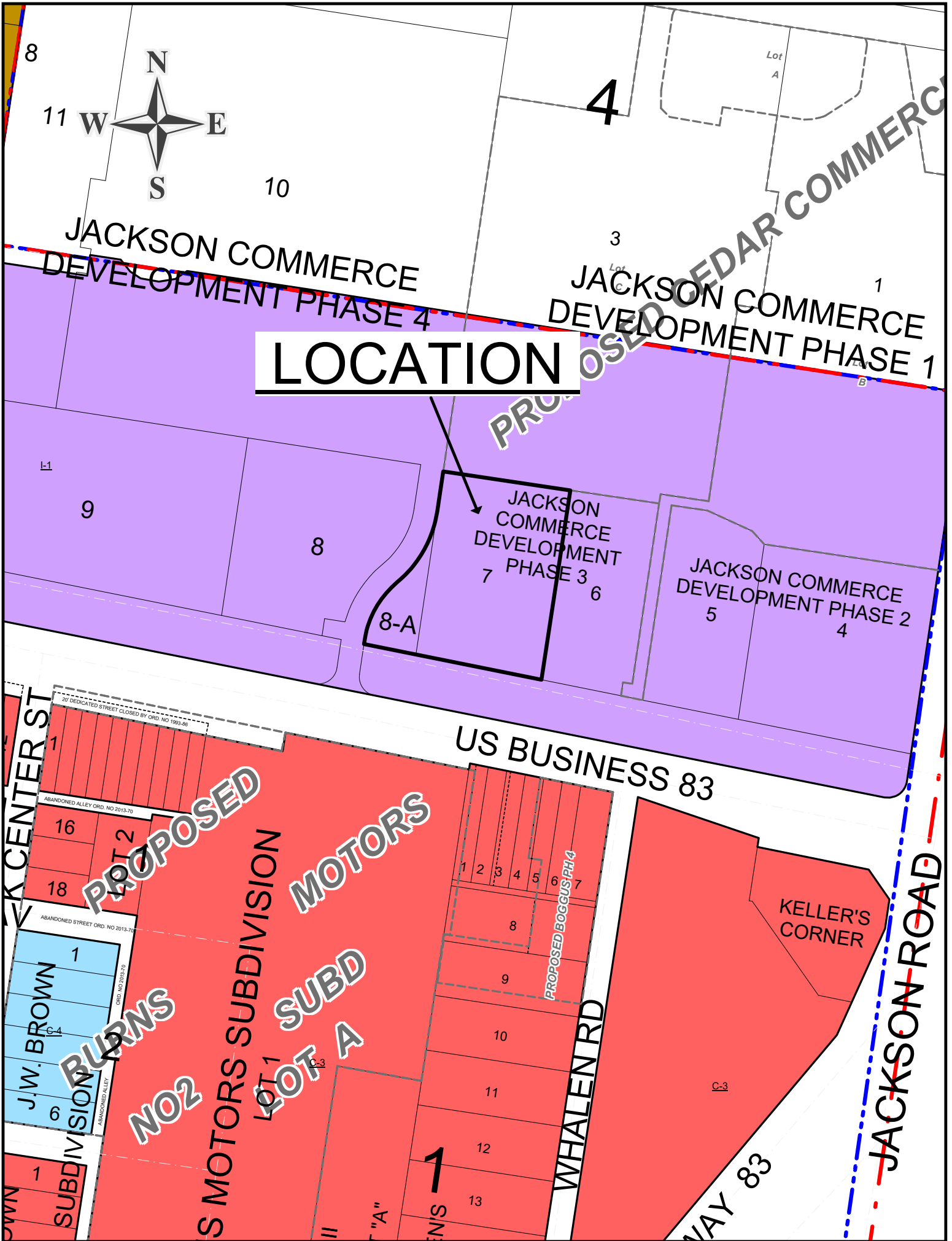
The Building Permit Site Plan must comply with requirements noted on the Development Team Review sheet. Cross-section plan of the parking lot areas proposed for stormwater detention must be provided at the time of building permit and if approved by the Engineering Department, applicant will be required to install signage letting the customers know of the dual usage of the parking areas.

Any proposed signage must be within premises and additional permits will be required.

**RECOMMENDATION:**

Staff recommends approval of the site plan subject to the conditions noted, Development Department (Traffic, Fire, Utility, Public Works, Engineering and Planning) requirements, paving and Building Permit requirements, and the subdivision and zoning ordinances.









LOCATION

JACKSON COMMERCE  
DEVELOPMENT PHASE 4

JACKSON COMMERCE  
DEVELOPMENT PHASE 1

PROPOSED CEDAR COMMERCE

JACKSON  
COMMERCE  
DEVELOPMENT  
PHASE 3

JACKSON COMMERCE  
DEVELOPMENT PHASE 2

US BUSINESS 83

PROPOSED

MOTORS

BURNS  
NO2

SUBD  
LOT A

IS MOTORS SUBDIVISION

WHALEN RD

KELLER'S  
CORNER

JACKSON ROAD

VAC CENTER ST

J.W. BROWN  
SUBDIVISION

T "A" S

ENS 1

PROPOSED BOGGUS PH 4

WAY 83

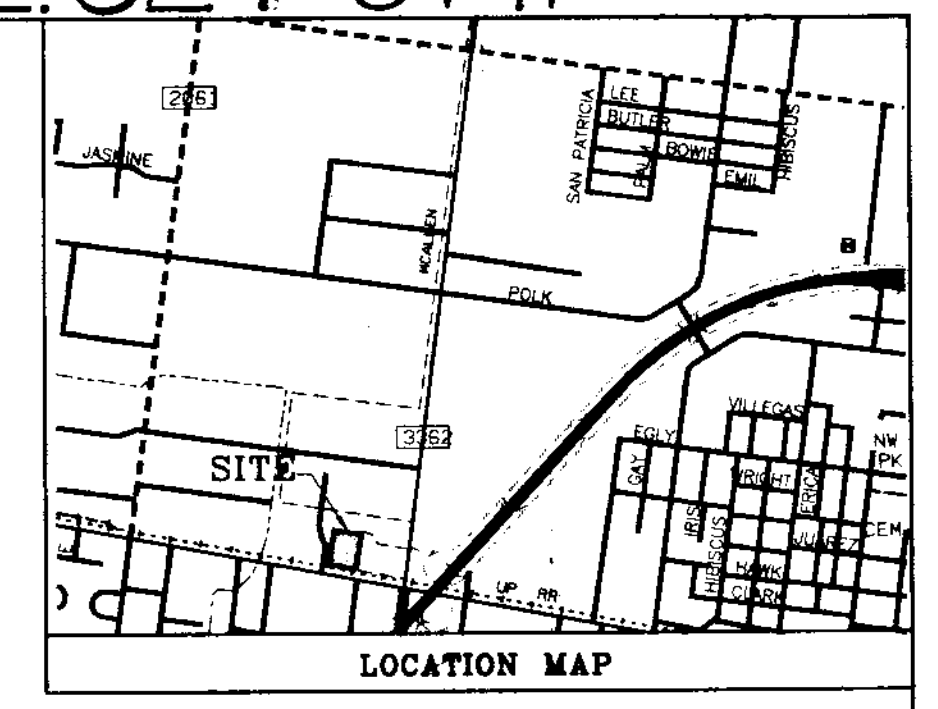


# MAP OF JACKSON COMMERCE DEVELOPMENT SUBDIVISION PHASE III

McALLEN, TEXAS

BEING A SUBDIVISION OF A 2.41 AC. TRACT, IF AND, OUT OF 4, BLOCK 6, A.J. MCCOLL SUBDIVISION, OF PORTION 68, HIDALGO COUNTY, TEXAS, ACCORDING TO PLAT RECORDED IN VOL. 21, PG. 598, DEED RECORDS, HIDALGO COUNTY, TEXAS.

PREPARED BY:  
FABIAN, NELSON & MEDINA, INC.  
320 N. 15TH STREET, McALLEN, TEXAS  
SCALE: 1"=50' DATE: 6-27-96



618440  
Filed for Record in  
Hidalgo County, Texas  
by Jose Eloy Pulido  
County Clerk  
On: Aug 21, 1997 at 11:37A  
As a  
Map - Large  
Document Number: 618440  
Total Fees: 91.00  
Receipt Number - 105964  
By: Bea Cruz

STATE OF TEXAS  
COUNTY OF HIDALGO

I, (WE), THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE JACKSON COMMERCE DEVELOPMENT SUBDIVISION PHASE III, SUBDIVISION OF THE CITY OF McALLEN, TEXAS, AND WHOSE NAME(S) IS (ARE) SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWER, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR I (WE), WILL CAUSE TO BE INSTALLED HEREON SHOWN OR NOT SHOWN IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

G.J. PALMER, JR.  
G.J. PALMER, JR. PRES.  
JEAN T. CRAVENS  
ONE PARK PLACE, SUITE 830  
McALLEN, TEXAS 78503

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED G.J. PALMER, JR., KNOWN TO ME TO BE THE PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT(S) HE (THEY), EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE 14th DAY OF June, 1997.

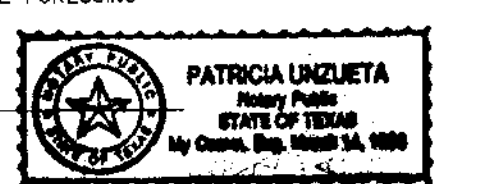
Jane Ellen Ros  
NOTARY PUBLIC



STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JEAN T. CRAVENS, KNOWN TO ME TO BE THE PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT(S) HE (THEY), EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE 14th DAY OF June, 1997.

Patricia Urquiza  
NOTARY PUBLIC



STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR (S) 1590 IN THE STATE OF TEXAS HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

PLINY C. MEDINA  
REGISTERED PROFESSIONAL LAND SURVEYOR  
McALLEN, TEXAS

STATE OF TEXAS  
COUNTY OF HIDALGO

I, STEPHEN SPOOR, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN TO THIS PLAT.

6-12-97  
REGISTERED PROFESSIONAL ENGINEER  
P.E. REGISTRATION NO. 56782

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL, IS REQUIRED.

Leo Montalvo  
MAYOR, CITY OF McALLEN

THIS PLAT, APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 2, ON THIS 2nd DAY OF July, 1997, A.D. 1997.

SECRETARY

STATE OF TEXAS  
COUNTY OF HIDALGO

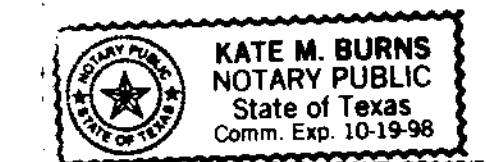
I/WE, THE UNDERSIGNED, HOLDER(S) (OR DULY AUTHORIZED OFFICER(S) OF THE HOLDER(S)) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE JACKSON COMMERCE DEVELOPMENT SUBDIVISION PHASE III OF THE CITY OF McALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

Mayfair Minerals, Inc., a Texas Corporation

F.E. BUTLER, EXEC. V. PRES.

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED F.E. BUTLER, KNOWN TO ME TO BE THE PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT(S) HE (THEY), EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE 14th DAY OF July, 1997.



KATE M. BURNS  
NOTARY PUBLIC

STATE OF  
COUNTY OF

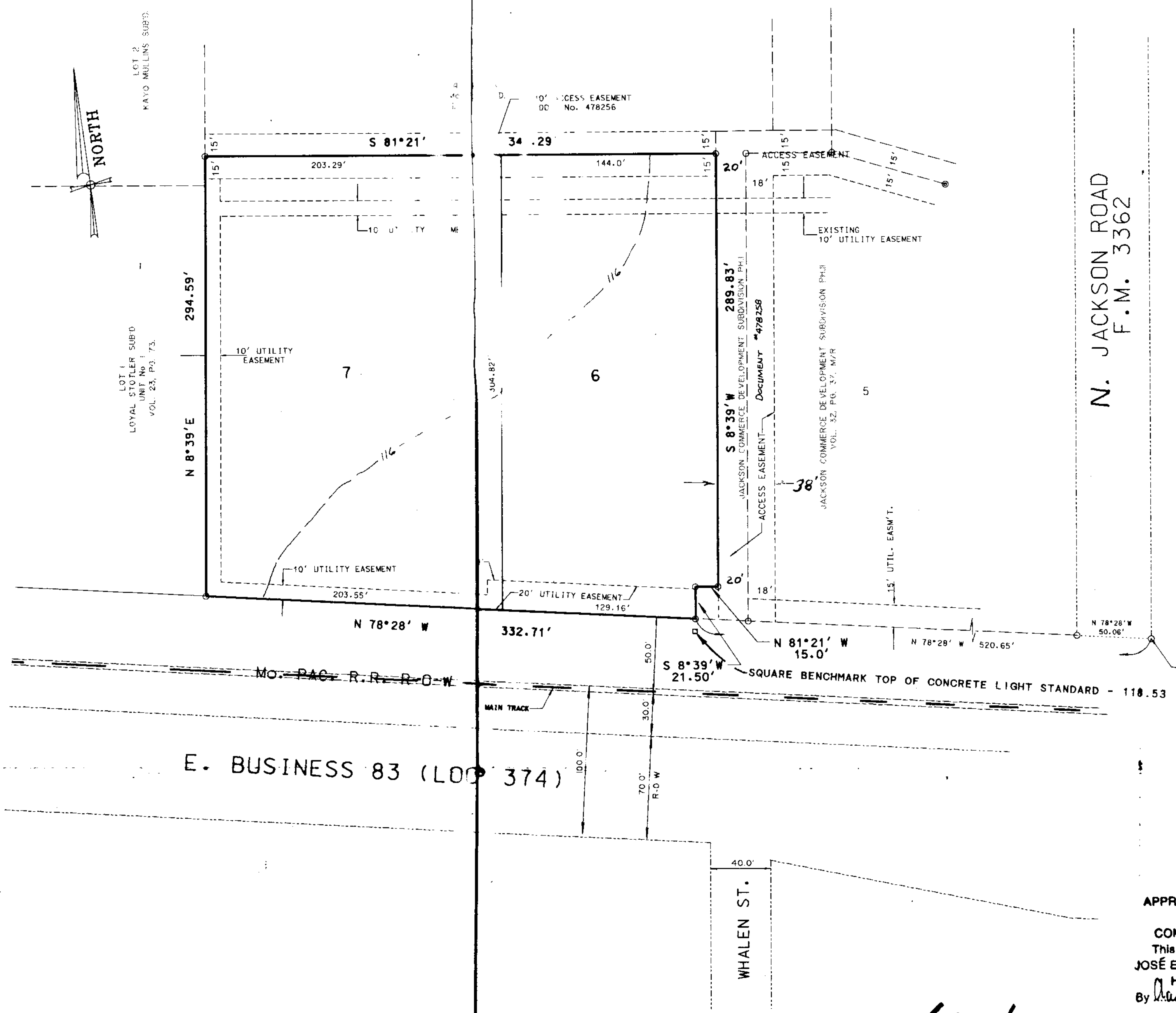
I/WE, THE UNDERSIGNED, HOLDER(S) (OR DULY AUTHORIZED OFFICER(S) OF THE HOLDER(S)) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE JACKSON COMMERCE DEVELOPMENT SUBDIVISION PHASE III OF THE CITY OF McALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

James P. Shawlin, Assistant Vice President

STATE OF  
COUNTY OF

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED James P. Shawlin, KNOWN TO ME TO BE THE PERSON(S) WHOSE NAME(S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT(S) HE (THEY), EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE 26th DAY OF June, 1997.

C.R. Markline Fulburn  
NOTARY PUBLIC, N.C.  
My Commission Expires: January 17, 2001



N. JACKSON ROAD  
F.M. 3362

APPROVED FOR RECORDING  
BY  
COMMISSIONERS' COURT  
This the 14th day of June 1997  
JOSE ELOY PULIDO, County Clerk  
Hidalgo County, Texas  
By: [Signature] Deputy

CHECKED FOR  
BY: [Signature]  
8-4-97

APPROVED FOR RECORDING  
HIDALGO CO. PLANNING DEPT.  
BY: [Signature]  
DATE: 8-19-97

APPROVED:  
Hidalgo County  
and HCDD #1

Recorded in Volume 32 Page 141  
of the map records of Hidalgo  
County, Texas  
Melden and Hunt, Inc.

APPROVED:  
Hidalgo County ROW DEPT.

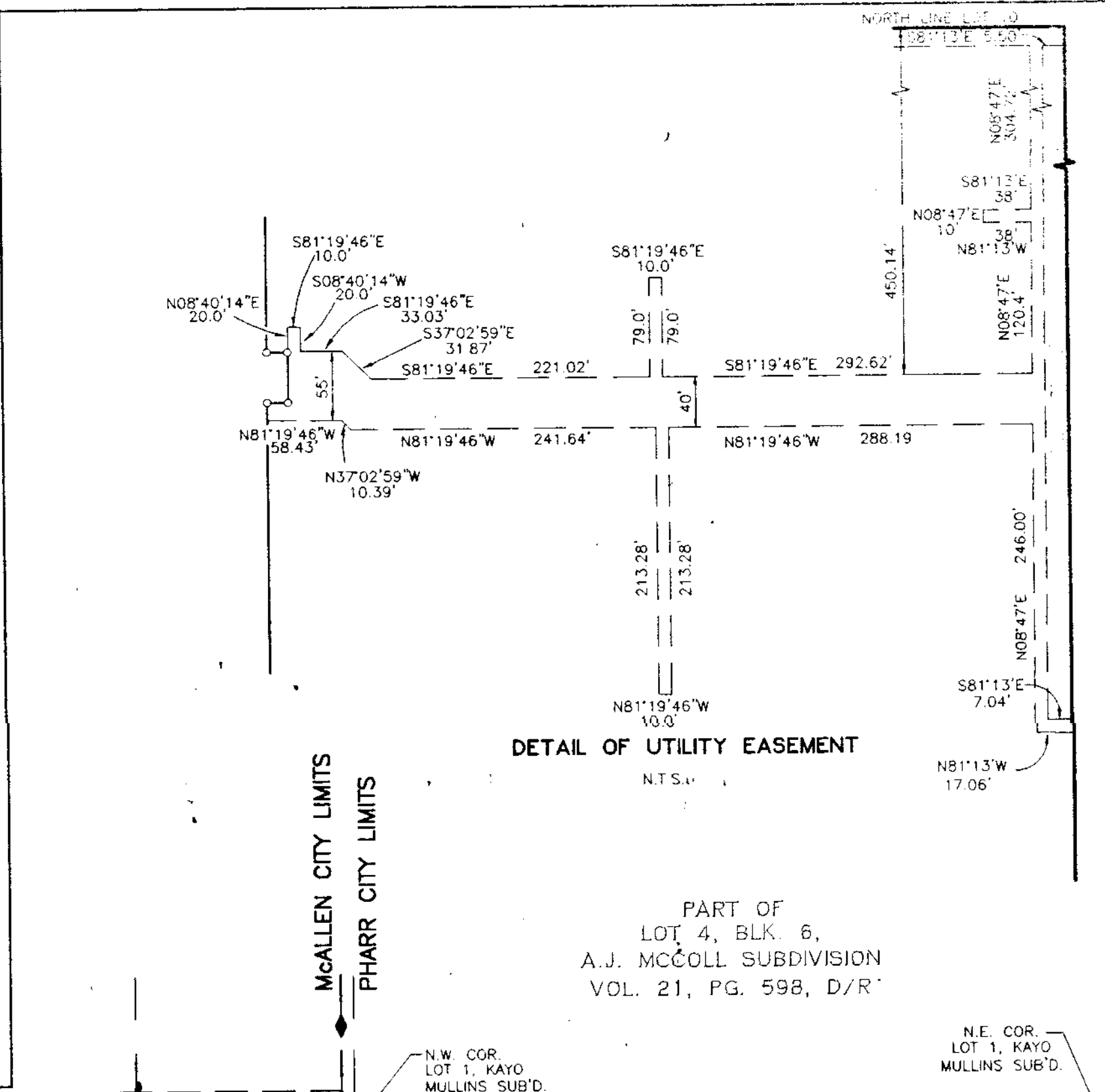
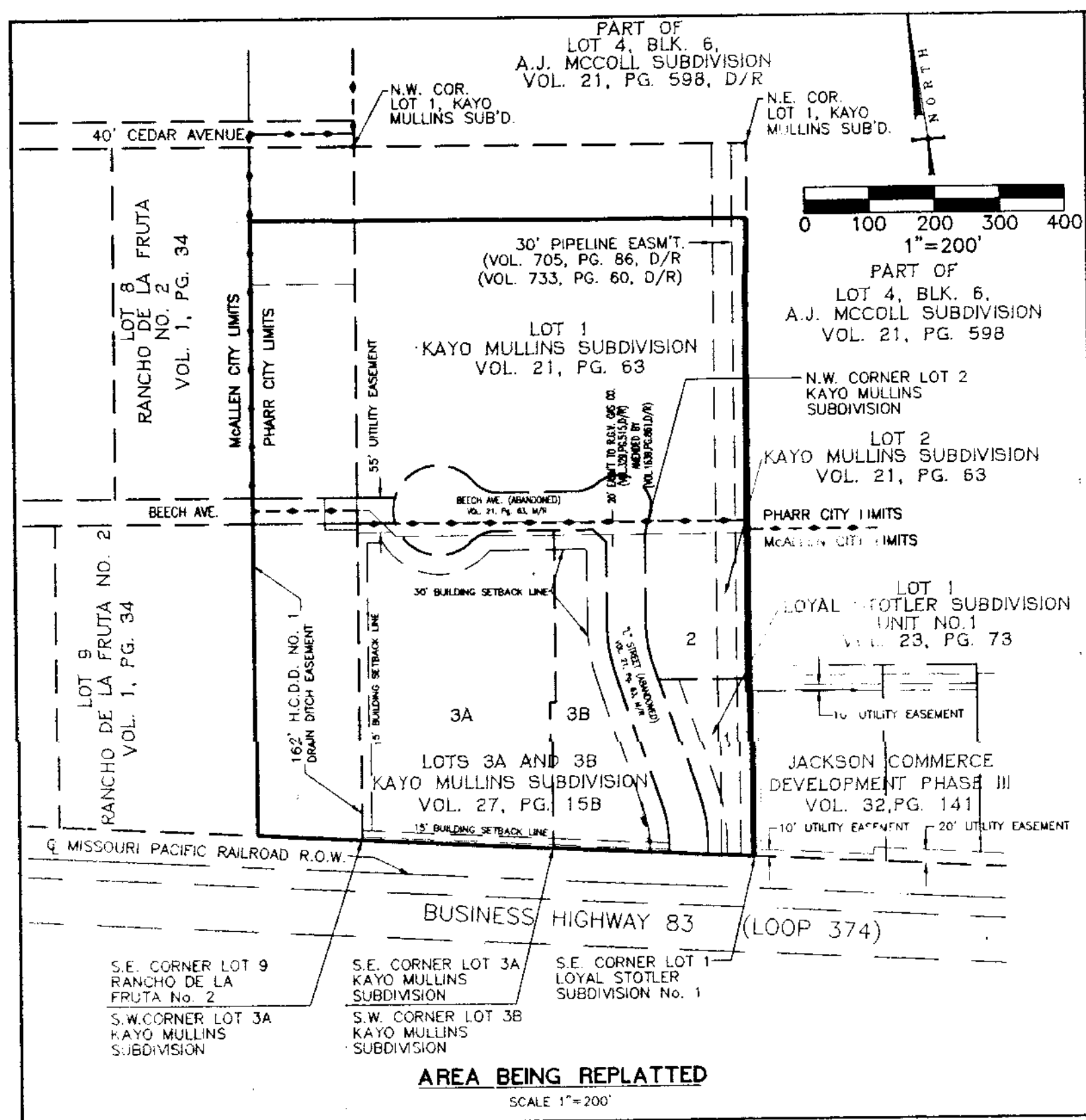
JR115-AUM241  
A 2.41 ACRE TRACT OF LAND OUT OF LOT 4, BLOCK 6, A.J. MCCOLL SUBDIVISION, OF PORTION 68, HIDALGO COUNTY, TEXAS, ACCORDING TO PLAT RECORDED IN VOL. 21, PG. 598, DEED RECORDS, HIDALGO COUNTY, TEXAS.  
BEGINNING at a point on the South line of Lot 4, North 78 Deg. 28 Min. West, 520.65 feet from the Southeast corner of Lot 4, for the most Southerly Southeast corner of the following described tract of land: said point being on the North line of Missouri-Pacific Railroad right-of-way.  
THENCE, with the South line of Lot 4 and the North line of said railroad right-of-way, North 78 Deg. 28 Min. West, 332.72 feet to the Southwest corner of a certain 20.87 acre tract, for the Southwest corner hereof; said point being the Southeast corner of Lot 1, Loyal Stortler Subdivision, Unit No. 1, City of McAllen, recorded in Vol. 23, Pg. 73, Map Records.  
THENCE, with the West line of said 20.87 acre tract, and the East line of Lot 1, and its projection, and the East line of Lot 2, Kaya Mullins Subdivision, and its projection, North 8 Deg. 39 Min. East, at 275.0 feet pass the Northeast corner of Lot 1, Loyal Stortler Subdivision, Unit No. 1, and at 294.58 feet a point, for the Northeast corner hereof.  
THENCE, South 81 Deg. 21 Min. East, 347.29 feet to a point, for the Northeast corner hereof.  
THENCE, parallel to the East line of Lot 4, South 8 Deg. 39 Min. West, 289.83 feet to a point, for the most Northerly Southeast corner hereof.  
THENCE, North 81 Deg. 21 Min. West, 15.0 feet to a point, for an interior corner hereof.  
THENCE, parallel to the East line of Lot 4, South 8 Deg. 39 Min. West, 21.50 feet to the PLACE OF BEGINNING, Containing 2.41 acres of land, more or less.

- JD114-JAC00111
1. MINIMUM BUILDING SETBACK LINES SHALL BE IN ACCORDANCE WITH ZONING ORDINANCES OR EASEMENT LINES, OR APPROVED SITE PLAN WHICHEVER REQUIRES THE GREATER SETBACK.
  2. MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18 INCHES ABOVE TOP OF CURB MEASURED AT FRONT CENTER OF LOT.
  3. THIS PROPERTY FALLS IN ZONE "B" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 480343 0010 C, DATED NOVEMBER 2, 1982.
  4. OWNER IS REQUIRED TO PROVIDE AN ENGINEERED DETENTION PLAN APPROVED BY THE ENGINEERING DEPT. PRIOR TO APPLICATION FOR BUILDING PERMIT.
  5. A 6 FT. HIGH OPAQUE BUFFER IS REQUIRED FROM ADJACENT RESIDENTIAL ZONE/USE.
  6. SITE PLAN MUST BE APPROVED BY THE PLANNING AND ZONING COMMISSION PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
  7. DRAINAGE DETENTION OF 0.14 AC-FT IS REQUIRED ON THIS PROPERTY.

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THE SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION



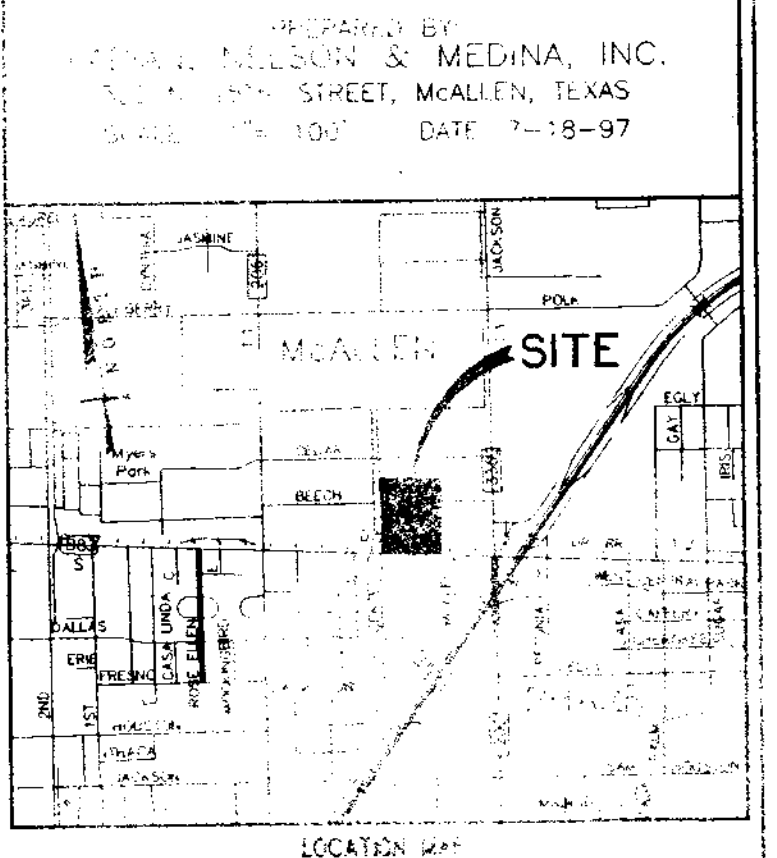


# JACKSON COMMERCE DEVELOPMENT SUBDIVISION PHASE IV

McALLEN, TEXAS

BEING A SUBDIVISION OF 17.14 AC. TRACT OF LAND SITUATED IN THE CITY OF McALLEN, AND IN THE CITY OF PHARR, HIDALGO COUNTY, TEXAS, CONSISTING OF A PORTION OF LOT 1 AND ALL OF LOT 2, KAYO MULLINS SUBDIVISION, AS RECORDED IN VOL. 21, PG. 63, M/R HIDALGO COUNTY, TEXAS, ALL OF LOTS 3A AND 3B, KAYO MULLINS SUBDIVISION, AS RECORDED IN VOL. 27, PG. 158, M/R HIDALGO COUNTY, TEXAS, A PORTION OF LOTS 8 AND 9, RANCHO DE LA FRUTA NO. 2, CUT OF LOT 6, BLOCK 12, STEELE & PERSHING SUBDIVISION, HIDALGO COUNTY, TEXAS, AS RECORDED IN VOL. 1, PG. 34 M/R, ALL OF LOT 1, LOYAL STOTLER SUB'D UNIT NO. 1, HIDALGO COUNTY, AS RECORDED IN VOL. 23, PG. 73, M/R, AND A PORTION OF BEECH AVE. AND "L" STREET RIGHT-OF-WAY, AS SHOWN ON RECORDED PLAT OF KAYO MULLINS SUBDIVISION, RECORDED IN VOL. 21, PG. 63 M/R HIDALGO COUNTY TEXAS.

33 34



**METES AND BOUNDS**

A 17.14 ACRE TRACT OF LAND SITUATED IN THE CITY OF McALLEN, AND THE CITY OF PHARR, HIDALGO COUNTY, TEXAS, CONSISTING OF A PORTION OF LOT 1 AND ALL OF LOT 2, KAYO MULLINS SUBDIVISION, AS RECORDED IN VOL. 21, PG. 63, MAP RECORDS, HIDALGO COUNTY, TEXAS, ALL OF LOTS 3A AND 3B, KAYO MULLINS SUBDIVISION, AS RECORDED IN VOL. 27, PG. 158, MAP RECORDS, HIDALGO COUNTY, TEXAS, A PORTION OF LOTS 8 AND 9, RANCHO DE LA FRUTA NO. 2, CUT OF LOT 6, BLOCK 12, STEELE & PERSHING SUBDIVISION, AS RECORDED IN VOL. 1, PG. 34, MAP RECORDS, HIDALGO COUNTY, TEXAS, ALL OF LOT 1, LOYAL STOTLER SUBDIVISION, UNIT NO. 1, AS RECORDED IN VOL. 23, PG. 73, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND A PORTION OF BEECH AVENUE AND "L" STREET RIGHT-OF-WAY, AS SHOWN ON RECORDED PLAT OF KAYO MULLINS SUBDIVISION, RECORDED IN VOL. 21, PG. 63, MAP RECORDS, HIDALGO COUNTY, TEXAS.

BEGINNING AT A POINT ON THE SOUTH LINE OF LOT 9, RANCHO DE LA FRUTA SUBDIVISION NO. 2, NORTH 78 DEG. 29 MIN. WEST, 162.21 FEET FROM THE SOUTHEAST CORNER OF LOT 9, FOR THE SOUTHWEST CORNER OF THE FOLLOWING DESCRIBED TRACT OF LAND, SAID POINT BEING THE INTERSECTION OF THE NORTH LINE OF MISSOURI PACIFIC RAILROAD RIGHT-OF-WAY, AND THE WEST LINE OF HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 DRAIN DITCH EASEMENT;

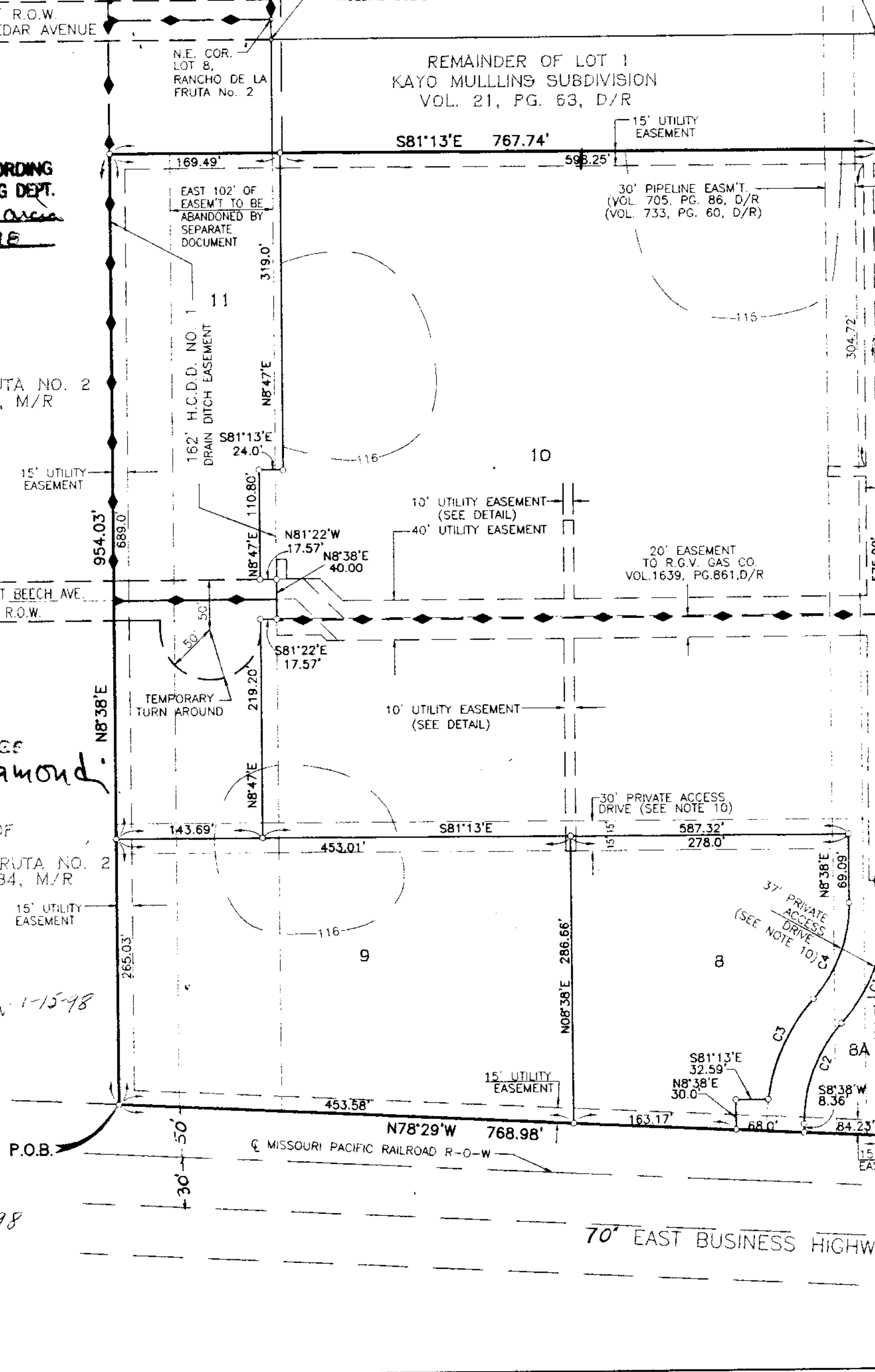
THENCE, WITH THE WEST LINE OF SAID DRAIN DITCH EASEMENT, NORTH 8 DEG. 38 MIN. EAST, AT 483.84 FEET PASS THE SOUTH LINE OF BEECH AVENUE, AT 501.84 FEET PASS THE DIVISION LINE BETWEEN LOTS 9 AND 8, RANCHO DE LA FRUTA SUBDIVISION NO. 2, AT 523.84 FEET PASS THE NORTH LINE OF BEECH AVENUE, AND AT 954.03 FEET A POINT, FOR THE NORTHEAST CORNER HEREOF;

THENCE, PARALLEL TO THE NORTH LINE OF LOT 1, KAYO MULLINS SUBDIVISION, SOUTH 81 DEG. 13 MIN. EAST, AT 162.0 FEET PASS THE DIVISION LINE BETWEEN LOT 8, RANCHO DE LA FRUTA NO. 2 AND LOT 1, KAYO MULLINS SUBDIVISION, AND THE EAST LINE OF SAID DRAIN DITCH EASEMENT, ADD AT 167.24 FEET A POINT ON THE EAST LINE OF LOT 1, KAYO MULLINS SUBDIVISION, FOR THE NORTHEAST CORNER HEREOF;

THENCE, WITH THE EAST LINE OF SAID LOT 1, SOUTH 8 DEG. 33 MIN. WEST, 183.00 FEET TO A POINT ON THE EAST LINE HEREOF;

THENCE, CONTINUING WITH THE EAST LINE OF LOT 1, AND WITH THE EAST LINE OF LOT 2, KAYO MULLINS SUBDIVISION, AND THE EAST LINE OF LOT 1, LOYAL STOTLER SUBDIVISION, UNIT NO. 1, SOUTH 8 DEG. 38 MIN. WEST, 871.70 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1, FOR THE SOUTHEAST CORNER HEREOF, SAID POINT BEING ON THE NORTH LINE OF MISSOURI PACIFIC RAILROAD RIGHT-OF-WAY;

THENCE, WITH THE SOUTH LINE OF SAID LOT 1, AND THE SOUTH LINE OF LOTS 3A AND 3B, KAYO MULLINS SUBDIVISION, AND THE SOUTH LINE OF SAID RAILROAD RIGHT-OF-WAY, NORTH 78 DEG. 29 MIN. WEST, 768.98 FEET TO THE PLACE OF BEGINNING, CONTAINING 17.14 ACRES OF LAND, MORE OR LESS.



**APPROVED FOR RECORDING**  
**HIDALGO CO. PLANNING DEPT.**  
BY: *Amelia Garcia*  
DATE: *1-12-98*

**CHECKED FOR ENGINEERING**  
BY: *Manaf M. Hamoud*

**NOTES:**

- MINIMUM BUILDING SETBACK LINES SHALL BE IN ACCORDANCE WITH ZONING ORDINANCE OR EASEMENT LINES, OR APPROVED SITE PLAN WHICHEVER REQUIRES THE GREATER SETBACK.
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18 INCHES ABOVE TOP OF CURB ON ACCESS EASEMENT AT FRONT OR REAR OF EACH LOT.
- THIS PROPERTY FALLS IN ZONE "B" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 480343 0010 C, DATED NOVEMBER 2, 1982.
- OWNER IS REQUIRED TO PROVIDE AN ENGINEERED DETENTION PLAN APPROVED BY THE ENGINEERING DEPT. PRIOR TO APPLICATION FOR BUILDING PERMIT.
- A 6 FT HIGH GRADE BUFFER IS REQUIRED FROM ADJACENT RESIDENTIAL ZONE USE.
- SITE PLAN MUST BE APPROVED BY THE PLANNING AND ZONING COMMISSION PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
- DRAINAGE DETENTION OF 1.11 AC-FT IS REQUIRED ON THIS PROPERTY.
- DRAINAGE DETENTION TO BE PRO-RATED AS FOLLOWS:  
LOT 8 AND 8A - 0.19 AC-FT  
LOT 9 - 0.23 AC-FT  
LOT 10 - 0.52 AC-FT  
LOT 11 - 0.17 AC-FT
- LOT 8A SHALL HAVE NO BUILDINGS/STRUCTURES ALLOWED AND SHALL BE LIMITED TO LANDSCAPING AND PARKING ONLY. THE MAINTENANCE WILL BE RESPONSIBILITY OF THE OWNER.
- THE PRIVATE ACCESS DRIVES SHOWN HEREON PROVIDE INGRESS AND EGRESS TO AND FROM THE LOTS CREATED BY THIS SUBDIVISION, AND ARE INTENDED FOR THE USE AND BENEFIT OF THE OWNERS OF LOTS IN THIS SUBDIVISION, THEIR RESPECTIVE TENANTS, CONTRACTORS, EMPLOYEES, AGENTS, CUSTOMERS, LICENSEES AND INVITEES.
- ALL OF THE RIGHT-OF-WAY OF "L" STREET AND BEECH STREET CONTAINED WITHIN THE BOUNDARIES OF THIS PLAT ARE HEREBY ABANDONED.

**STATE OF TEXAS  
COUNTY OF HIDALGO**

WE, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED AS THE JACKSON COMMERCE DEVELOPMENT SUBDIVISION PHASE IV, IN McALLEN, TEXAS, AND THE CITY OF PHARR, TEXAS, AND WHOSE NAMES ARE SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC, ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINAGE, WATER LINES, SEWER LINES, STORM DRAINAGE, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED THEREIN SHOWN OR NOT SHOWN OR OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN AND THE CITY OF PHARR, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN AND THE CITY OF PHARR.

**STATE OF TEXAS  
COUNTY OF CAMERON**

I, THE UNDERSIGNED HOLDER(S) OR FULLY AUTHORIZED OFFICER(S) OF THE HOLDER(S) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS JACKSON COMMERCE DEVELOPMENT SUBDIVISION PHASE IV, OF THE CITY OF McALLEN, TEXAS, AND THE CITY OF PHARR, TEXAS, IN HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATING OF THE PROPERTY AS PROVIDED FOR HEREIN.

**STATE OF TEXAS  
COUNTY OF CAMERON**

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MANUEL GARCIA, JR., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 12 DAY OF JAN, 1998.

**STATE OF TEXAS  
COUNTY OF HIDALGO**

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED G.J. PALMER, JR., PRESIDENT OF SOUTHWEST PINNACLE PROPERTIES, INC. KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 12 DAY OF JAN, 1998.

**STATE OF TEXAS  
COUNTY OF HIDALGO**

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOHN FREELAND, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 12 DAY OF JAN, 1998.

**STATE OF TEXAS  
COUNTY OF HIDALGO**

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ORAJA CRUZ GARZA, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 12 DAY OF JAN, 1998.

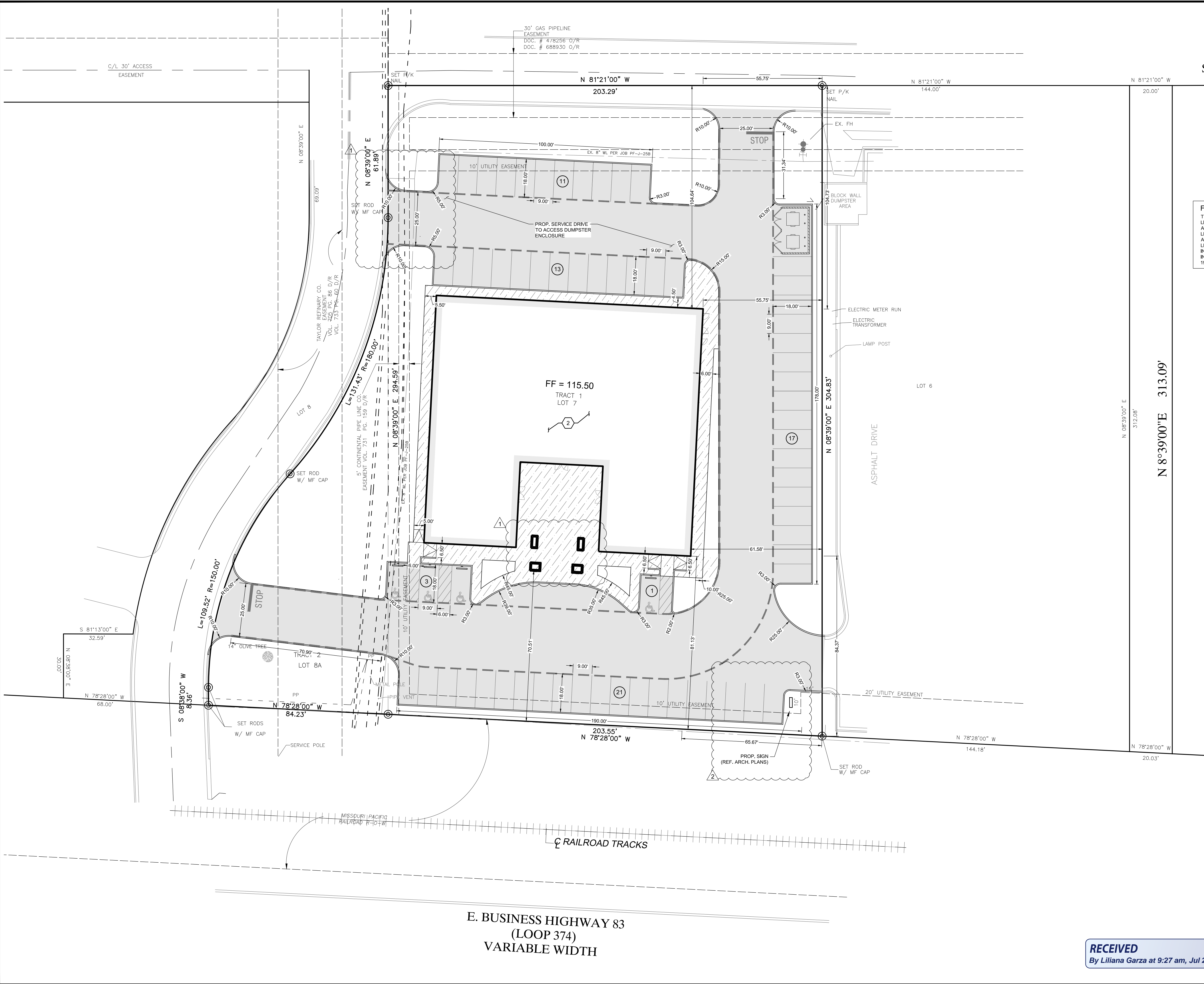
**STATE OF TEXAS  
COUNTY OF HIDALGO**

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOHN FREELAND, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 12 DAY OF JAN, 1998.

**CURVE TABLE**

NO.	BEARING	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	41°50'06"	180.00	131.43	126.53	S29°33'03"W
C2	41°50'06"	150.00	107.11	109.84	S29°33'03"W
C3	34°59'31"	187.00	111.49	109.84	N33°23'20"E
C4	41°50'06"	143.00	104.41	102.11	N29°33'03"E





**FLOOD PLAIN NOTE:**  
THIS SUBJECT TRACT LIES IN SHADED ZONE "B" (AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD) AS DELINEATED ON THE FLOOD INSURANCE MAP FOR HIDALGO COUNTY, TEXAS AND INCORPORATED AREAS, MAP NO. 4803430005C DATED NOVEMBER 2, 1982.

- SHEET NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
  - ALL CURB RADI TO BE 3' (FEET) UNLESS OTHERWISE SHOWN ON PLAN.
  - PROPOSED HANDICAP SIGN SEE PAVEMENT DETAILS.
  - PROPOSED SIGN, REFERENCE LANDSCAPE ARCHITECT PLANS FOR DETAILS.
  - CONTRACTOR SHALL REFERENCE THE LANDSCAPE ARCHITECTURAL PLANS FOR ALL COURTYARD DETAILS.
  - EXISTING SURVEY WAS DONE BY MICHAEL FABIAN SURVEYING, INC. WITH THEIR CONTACT INFORMATION AS FOLLOWS:  
**MICHAEL FABIAN SURVEYING, INC.**  
1203 E. HACKBERRY AVE. MCALLEN, TX 78501  
Phone (956) 630-1432 Fax (956) 687-4660

**SITE DEMOLITION NOTES:**  
ALL EXISTING FACILITIES, AS DEPICTED ON THE TOPOGRAPHIC SURVEY, BOTH ABOVE GROUND AND UNDERGROUND, TO BE REMOVED BY CONTRACTOR UNLESS OTHERWISE NOTED. CONTRACTOR TO CONTACT 811 (CITY OF HOUSTON) OR LOCAL EQUIVALENT PRIOR TO DIGGING OR REMOVAL OF ANY WET OR DRY UTILITIES.  
CONTRACTOR TO COORDINATE GAS, ELECTRIC, AND COMMUNICATION REMOVAL/RELOCATION WITH THE PROPER PUBLIC & PRIVATE JURISDICTIONAL AGENCIES. WGA DOES NOT GUARANTEE THE LOCATION OR STATUS OF ANY EXISTING UTILITIES SHOWN.

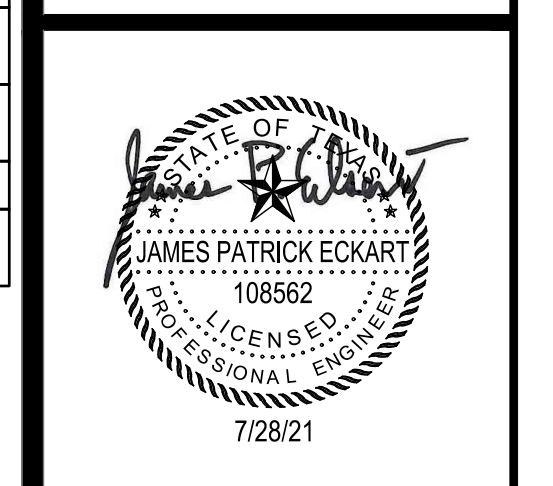
**NOTE:**  
AS PER UDC SECTION 35-506(a)(1)(C)(2) EXISTING SIDEWALKS, CURBS, AND DRIVE APPROACHES SHALL COMPLY WITH TEXAS ACCESSIBILITY STANDARDS AND CURRENT CITY OF SAN ANTONIO DESIGN STANDARDS.

LEGEND:	
	EXISTING PAVEMENT (CONCRETE/ASPHALT AS NOTED)
	PROPOSED 4" CONCRETE PAVEMENT (SIDEWALK)
	PROPOSED CONCRETE PAVEMENT REF. PAVING DETAILS SHEET
	PROPOSED BUILDING
FIRE LANE LEGEND:	
	PROPOSED FIRE LANE

**LUNA MIDDLEMAN ARCHITECTS**  
9639 McCullough Ave.  
San Antonio, TX 78216  
Tel. 210.340.2400  
LUNAMIDDLEMAN.COM

Revisions		
Number	Description	Date
1	CITY COMMENTS	6/4/2021
2	CITY COMMENTS	7/28/2021

**CANO HEALTH BUILDING**  
1201 US 83  
MCALLEN, TX 78501



THIS DRAWING IS PROVIDED AS AN INSTRUMENT OF SERVICE BY THE ARCHITECT AND IS INTENDED FOR USE ON THIS PROJECT ONLY. THE DRAWING REMAINS THE PROPERTY OF THE ARCHITECT AND SHALL BE RETURNED TO HIM/HER UPON COMPLETION OF THE CONSTRUCTION WORK. PURSUANT TO THE ARCHITECTURAL WORKS COPYRIGHT PROTECTION ACT OF 1990, ALL DRAWINGS, SPECIFICATIONS, IDEAS, AND DESIGNS, INCLUDING THE OVERALL FORM, ARRANGEMENT, AND COMPOSITION OF SPACES, AND ELEMENTS APPEARING HEREIN, CONSTITUTE THE COPYRIGHT WORK OF THE ARCHITECT. ANY REPRODUCTION, USE, OR DISCLOSURE OF INFORMATION CONTAINED HEREIN WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT IS STRICTLY PROHIBITED.

project #:	20001
date:	Issue Date
reviewed by:	JPE
drawn by:	JAI
drawing title:	DIMENSION CONTROL PLAN
drawing number:	C3.2



**RECEIVED**  
By Liliana Garza at 9:27 am, Jul 29, 2021



## 1. MINIMUM REQUIRED LANDSCAPING

- 

GENERAL NOTES:

- URBAN DEER NOTES:

- OVERHEAD ELECTRIC NOTES:

- 
- Diagram illustrating the components and specifications for a tree planting pit:
- NEW TREE
  - MIN. (2) 4'-0" STAKES
  - INSTALL IN UNDISTURBED SOIL OUTSIDE PLANT PIT
  - 6" DEEP PLANT MIX RING @ BASE OF TREE - TOP WITH 4" MULCH
  - ROUGHEN SIDES AND BOTTOM OF PLANT PIT
  - 2X WIDTH OF ROOTBALL
  - BACKFILL W/ PLANT MIX PER SPECIFICATIONS
  - FINISH GRADE
  - ARBOR-TIE TREE GUYS

## SHRUB PLANTING DETAIL

OWNER

PROJECT

## REVISIONS

- PROJECT NUMBER

Drawn By: mc

Checked By: jr

Sheet Title:

Sheet Number:

Issue Date:

May 12, 2021





City of McAllen  
Planning Department

APPLICATION FOR  
SUBDIVISION PLAT REVIEW

311 North 15<sup>th</sup> Street  
McAllen, TX 78501  
P. O. Box 220  
McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

Project Description

Subdivision Name Best Subdivision  
Location South Side of Mile 8 Road, approximately 550 feet west of Bentsen Road  
City Address or Block Number 4515 Mile 8 Road Edinburg, Texas 78541  
Number of lots 1 Gross acres 1.15 Net acres 1.15  
Existing Zoning n/a Proposed n/a Rezoning Applied For ☐ Yes ☒ No Date         
Existing Land Use Mobile Home Proposed Land Use Single Family Irrigation District # UID  
Residential Replat Yes ☐ No ☒ Commercial Replat Yes ☐ No ☒ ETJ Yes ☒ No ☐  
Agricultural Tax Exempt Yes ☐ No ☒ Estimated Rollback tax due N/A  
Parcel No. 1311364 Tax Dept. Review         
Legal Description 1.15 acres out of Lot 528, John H. Shary Subdivision

Owner

Name Donald Wade Best Phone 956-607-9233  
Address 4515 Mile 8 Road  
City Edinburg State Texas Zip 78541  
E-mail wadebest12@aim.com

Developer

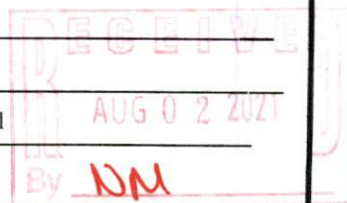
Name Same as Owner Phone         
Address         
City        State        Zip         
Contact Person         
E-mail       

Engineer

Name Spoor Engineering Consultants, Inc. Phone 956-683-1000  
Address 202 S. 4th Street  
City McAllen State Texas Zip 78501  
Contact Person Steve Spoor  
E-mail sec@spooreng.com

Surveyor

Name CVQ Land Surveyors Phone 956-618-1551  
Address 517 Beaumont Ave.  
City McAllen State Texas Zip 78501





## Proposed Plat Submittal

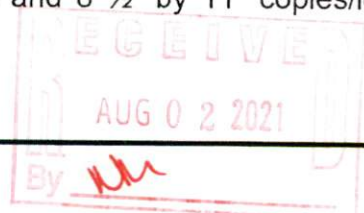
Minimum Developer's Requirements Submitted with Application

- \_\_\_\_\_ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- \_\_\_\_\_ Title Report
- \_\_\_\_\_ 8 ½" by 11" Original Sealed Survey showing existing structures/ easements or 3 blueline copies
- \_\_\_\_\_ 2 Location Maps
- \_\_\_\_\_ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- \_\_\_\_\_ 6 Folded blueline prints of the proposed plat
- \_\_\_\_\_ 2 Warranty Deeds (Identifying owner on application)
- \_\_\_\_\_ Autocad 2005 DWG file and PDF of plat
- \_\_\_\_\_ Letter of Authorization from the owner, if applicable
- \_\_\_\_\_ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

### PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.



Owner's Signature

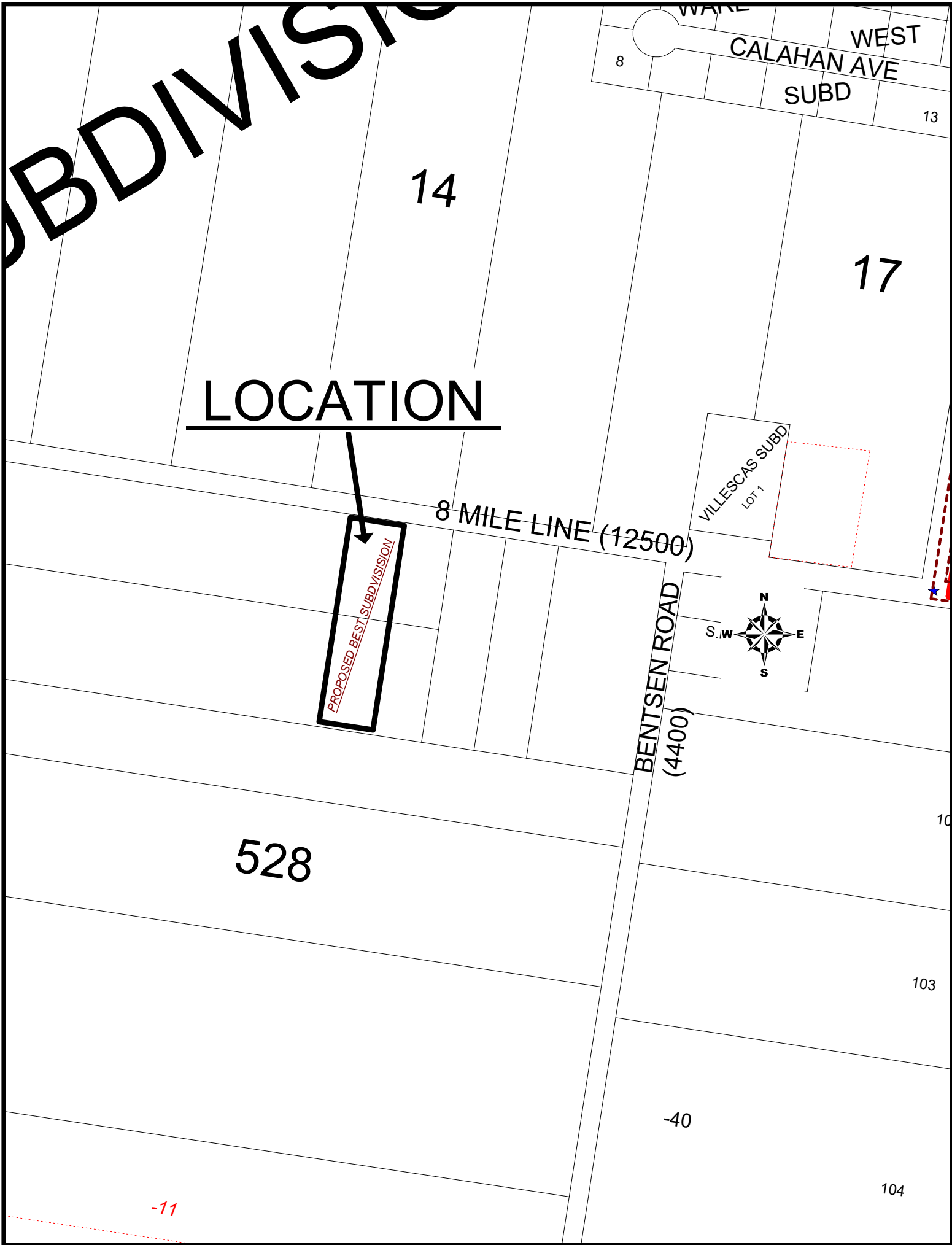
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 7/2/21  
 Print Name Steve Spoor, P.E.

Owner ☐

Authorized Agent ☒





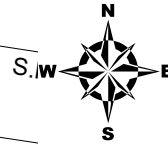
LOCATION

PROPOSED BEST SUBDIVISION

8 MILE LINE (12500)

BENTSEN ROAD  
(4400)

VILLEGAS SUBD  
LOT 1



WEST  
CALAHAN AVE  
SUBD

8

13

14

17

528

10

103

-40

104

-11



$$\frac{\text{LOT } 13}{\text{LOT } 14}$$

LOT 14 LOT 15

**NW** Corner  
Lot 4

300

S 81° 12' 31" E

 $\overline{77}$ 

25' ROAD R.O.W.  
VOL. 12. PG. 19. M/R

\_\_\_\_\_ MILE 8 NORTH RD.

40' MILE 8 N. ROAD ( 0.818 AC. )  
BY R.O.W. DEDICATION DEED.  
INST. # 2796325. O/R

15.0' R.O.W. EASEMENT TO  
SHARYLAND WATER SUPPLY  
CORPORATION  
( VOL. 1967, PG. 976 , D/R )

POB

435.75'

N8°41'10"E

N81°18'50"W 114.50

LOT 528,  
JOHN H. SEARY SUBDIVISION  
VOL. 1, PG. 17, M/R

1.23 AC. LOT 523,  
JOHN H. SHARY  
SUBDIVISION  
VOL. 2304, PG. 167, D/E

**SE** Corner  
5.76 Ac  
Tract

MAP  
OF

## BEST SUBDIVISION

County of Hidalgo, Texas.

BEING A SUBDIVISION OF A 1.15 ACRE  
TRACT OF LAND, OUT OF LOT 528,  
JOHN H. SHARY SUBDIVISION,  
Hidalgo County, Texas;  
according to plat recorded in  
vol. 01, page 17, Map Records  
Hidalgo County, Texas



**July 20, 2021**





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 8/11/2021

### SUBDIVISION NAME: BEST SUBDIVISION

#### REQUIREMENTS

##### STREETS AND RIGHT-OF-WAYS

Mile 8 North Road: 40 ft. from centerline for 80 ft. ROW  
Paving: 52 ft. Curb & gutter: Both sides  
\*\*Monies must be escrowed if improvements are not built prior to recording  
\*\*\*\*Please provide copy of document for 15 ft. ROW Easement to Sharyland Water Supply Corp. for staff to review prior to final. Engineer must clarify if easement will remain or if it will be abandoned prior to recording of subdivision. If easement will be abandoned, it must be done by a separate instrument and not by plat prior to final.  
\*\*\*\*\*City of McAllen Thoroughfare Plan

Paving \_\_\_\_\_ Curb & gutter \_\_\_\_\_

\* 800 ft. Block Length.  
\*\*Subdivision Ordinance: Section 134-118

\* 600 ft. Maximum Cul-de-Sac.  
\*\*Subdivision Ordinance: Section 134-105

Required

Applied

NA

NA

##### ALLEYS

ROW: 20 ft. Paving: 16 ft.  
\*Alley/service drive easement required for commercial properties  
\*\*Subdivision Ordinance: Section 134-106

NA

##### SETBACKS

\* Front: 45 ft. or in line with average setback of existing structures, or easement, whichever is greater  
\*\*Please revise plat note as shown above prior to final.  
\*\*\*\*Zoning Ordinance: Section 138-356

\* Rear: 15 ft. or greater for easements (Proposed)  
\*\*Setbacks will be finalized prior to final.  
\*\*\*\*Zoning Ordinance: Section 138-356

\* Interior Sides: 15 ft. or greater for easements.  
\*\*Setbacks will be finalized prior to final.  
\*\*\*\*Zoning Ordinance: Section 138-356

\* Corner.

\* Garage: 18 ft. except where greater setbacks are required; greater setback applies.  
\*\*Setbacks will be finalized prior to final.  
\*\*\*\*Zoning Ordinance: Section 138-356

\*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN

Required

Applied

Applied

NA

Applied

Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<b>SIDEWALKS</b>	
* 4 ft. wide minimum sidewalk required along Mile 8 North Road. ****Subdivision Ordinance: Section 134-120	Applied
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
<b>BUFFERS</b>	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Please add plat note as shown above prior to final. **Landscaping Ordinance: Section 110-46	Non-compliance
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Please add plat note as shown above prior to final. **Landscaping Ordinance: Section 110-46	Non-compliance
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
<b>NOTES</b>	
* No curb cut, access, or lot frontage permitted along.	NA
* Site plan must be approved by the Planning and Zoning Commission prior to building permit issuance.	NA
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. **Residential use proposed.	NA
* Common Areas, private drives/streets must be maintained by the lot owners and not the City of McAllen. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Applied
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets **Engineer must clarify number of units prior to final to determine requirements.	Required
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Applied
<b>LOT REQUIREMENTS</b>	
* Minimum lot width and lot area. **Zoning Ordinance: Section. 138-356	Applied
* Lots fronting public streets. ***Please submit ownership map prior to final to verify no landlocked properties exist. **Zoning Ordinance: 138-1	Required
<b>ZONING/CUP</b>	
* Existing: ETJ Proposed: Residential **If annexation is proposed, process must be finalized prior to final along with initial zoning process. **Zoning Ordinance	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



* Rezoning Needed Before Final Approval **If annexation is proposed, process must be finalized prior to final along with initial zoning process. **Zoning Ordinance	Applied
<b>PARKS</b>	
* Land dedication in lieu of fee. As per Parks Department, properties in ETJ are not subject to Parks Department requirements.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, properties in ETJ are not subject to Parks Department requirements.	Applied
* Pending review by the Parkland Dedication Advisory Board and CC. As per Parks Department, properties in ETJ are not subject to Parks Department requirements.	NA
<b>TRAFFIC</b>	
* As per Traffic Department, TG waived for one single-family residence. No TIA required.	Complete
As per Traffic Department, TG waived for one single-family residence. No TIA required.	Applied
<b>COMMENTS</b>	
Comments: Must comply with City's Access Management Policy ***Engineer must clarify use and number of dwelling units to determine requirements prior to final. ****Please provide ownership map to verify that no landlocked properties exist prior to final.	Applied
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIIONS NOTED, DRAINAGE AND UTILITY APPROVALS.	Applied





LOCATION

8 MILE LINE (12500)

BENTSEN ROAD  
(4400)



CALAHAN AVE  
SUBD

14

17

VALESCAS SUBD  
LOT 1

528

PROPOSED BEST SUBDIVISION

40

104



SUB2021-0015



City of McAllen  
Planning Department  
**APPLICATION FOR  
SUBDIVISION PLAT REVIEW**

311 North 15<sup>th</sup> Street  
McAllen, TX 78501  
P. O. Box 220  
McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

Project Description	Subdivision Name <u><del>Cedar Place Subdivision</del> Habitat Estates</u> <i>88 07-29-21</i> Location <u>East Cedar Avenue</u> City Address or Block Number <u>1001 E. CEDAR AVE</u> Number of lots <u>1</u> Gross acres <u>1.0</u> Net acres <u>0.97</u> Existing Zoning <u>R3A</u> Proposed <u>R3A</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____ Existing Land Use <u>vacant</u> Proposed Land Use <u>residential</u> Irrigation District # <u>2</u> Residential Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due _____ Parcel No. <u>267085</u> Tax Dept. Review _____ Legal Description <u>1.0 acre out of Lot 2, Rancho de la Fruta No. 2</u>
Owner	Name <u>Habitat Developers, LLC</u> Phone <u>956-578-3913</u> Address <u>8916 N. 21st Street</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u> E-mail <u>daniel@habitatdevelopers.com</u>
Developer	Name <u>same as owner</u> Phone _____ Address _____ City _____ State _____ Zip _____ Contact Person <u>Daniel Martinez</u> E-mail _____
Engineer	Name <u>Spoor Engineering Consultants, Inc.</u> Phone <u>956-683-1000</u> Address <u>202 So. 4th Street</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u> Contact Person <u>Steve Spoor, P.E.</u> E-mail <u>SEC@SpoorEng.com</u>
Surveyor	Name <u>CVQ Land Surveyors</u> Phone <u>(956)618-1551</u> Address <u>517 Beaumont Avenue</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>

**RECEIVED**  
FEB 08 2021  
CM

BY: Beb



## Proposed Plat Submittal


- \_\_\_\_\_ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- \_\_\_\_\_ Title Report
- \_\_\_\_\_ 8 ½" by 11" Original Sealed Survey showing existing structures/  
easements or 3 blueline copies
- \_\_\_\_\_ 2 Location Maps
- \_\_\_\_\_ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- \_\_\_\_\_ 6 Folded blueline prints of the proposed plat
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- \_\_\_\_\_ Autocad 2005 DWG file and PDF of plat
- \_\_\_\_\_ Letter of Authorization from the owner, if applicable
- \_\_\_\_\_ Proof of authority of person signing application on behalf of  
partnership/corporation, if applicable

### PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and  
surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width  
from centerline)

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I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

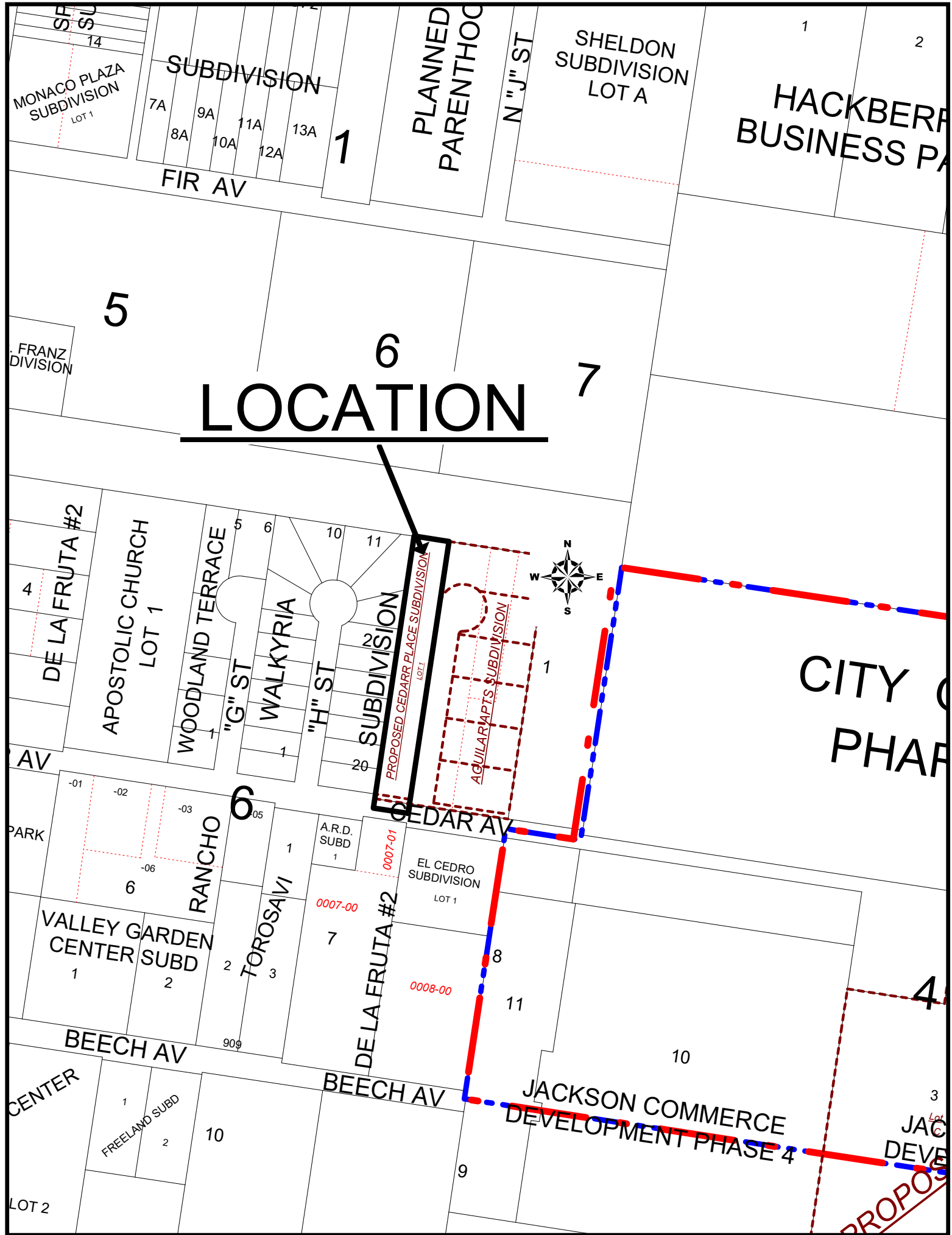
Signature  Date 02-01-21

Print Name Stephen Spoor P.E.

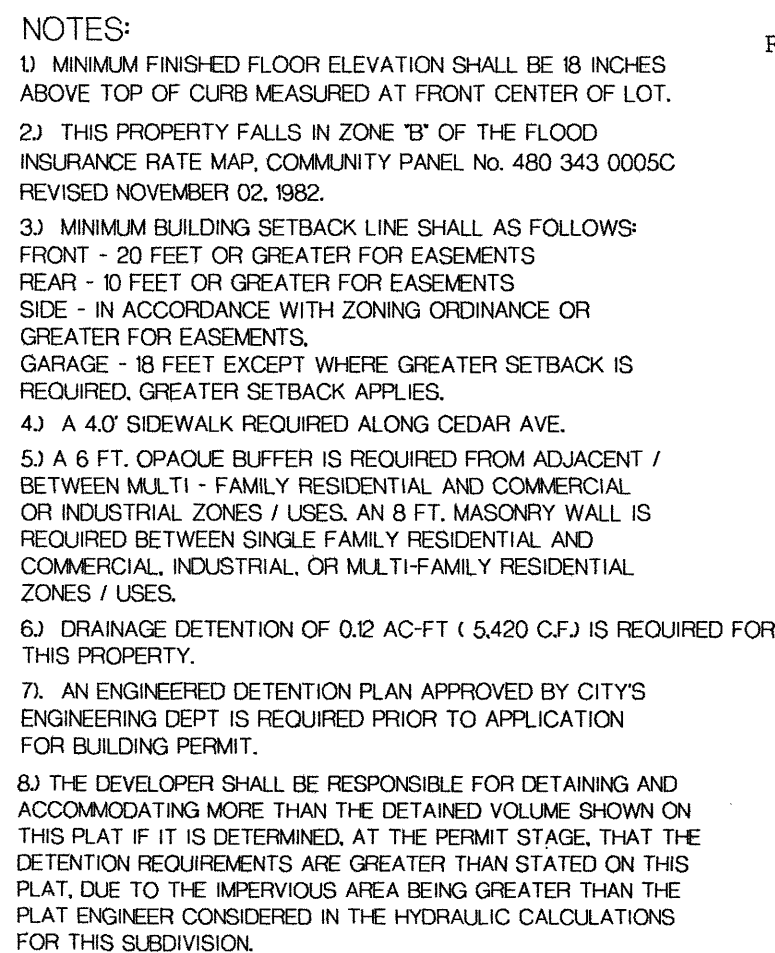
Owner ☐

Authorized Agent ☒









THE EAST 1 ACRE OF LOT 2, RANCHO DE LA FRUTA SUBDIVISION NO. 2, BEING A RESUBDIVISION OF LOT 6, BLOCK 12, STEEL & PERSHING SUBDIVISION HIDALGO COUNTY, TEXAS, ACCORDING TO MAP THEREOF RECORDED IN VOLUME 1, PAGE 34, MAP RECORDS, HIDALGO COUNTY, TEXAS.

BEGINNING at a steel rod found at the Northeast corner of Lot 2, for the Northeast corner of the following described tract of land, said point being on the South line of McAllen Southeast drain ditch right of way;

THENCE, with the East line of said Lot 2, South 08 Deg. 35 Min. 55 Sec. West, at 564.76 feet pass a steel rod set on the North line of East Cedar Avenue, and at 584.76 feet the Southeast corner of said Lot 2, for the Southeast corner hereof;

THENCE, with the South line of said Lot 2, in East Cedar Avenue, North 81 Deg. 24 Min. 05 Sec. West 74.57 feet to a point for the Southwest corner hereof; said point being on the projection of the East line of Lot 20, Walkyria Terrace.

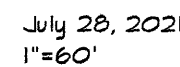
City of McAllen, recorded in Volume 29, Page 121A, Map Records;

THENCE, with the East line of Lots 20, 19, 18, 17, 16, 15, 14, 13, and 12, and their projections, North 08 Deg. 35 Min. 55 Sec. East, at 20.0 feet pass the North line of East Cedar Avenue,

at 30.0 feet pass the southeast corner of said Lot 20, and at 584.76 feet a point on the North line of Lot 2, for the Northwest corner hereof; said point being on the South line of said drain ditch right of way and being the Northeast corner of said Lot 12, Walkyria Terrace.

THENCE, with the North line of Lot 2, and the South line of said drain ditch right of way; South 81 Deg. 24 Min. 05 Sec. East, 74.57 feet to the POINT OF BEGINNING; containing 100 acre of land, more or less, of which the South 20.0 feet, comprising 0.03 acre, lies in East Cedar Avenue.

- 9). BENCHMARK •MC79 LOCATED AT THE NORTHEAST CORNER OF BUSINESS 83 AND McCOLL RD. - ELEV:16.20
- 10.) COMMON AREAS, LANDSCAPE EASEMENTS, AND PRIVATE SERVICE DRIVES MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.



*By Beto De la Garza at 11:00 am, Jul 29, 2021*

McALLEN, TEXAS  
BEING A SUBDIVISION OF THE EAST 1 ACRE OF LOT 2,  
RANCHO DE LA FRUTA SUBDIVISION NO. 2, BEING A RESUBDIVISION  
OF LOT 6, BLOCK 12, STEELE & PERSHING SUBDIVISION  
HIDALGO COUNTY, TEXAS,  
ACCORDING TO MAP THEREOF RECORDED  
IN VOLUME 1, PAGE 34, MAP RECORDS,  
HIDALGO COUNTY, TEXAS.

STATE OF TEXAS:  
COUNTY OF HIDALGO:

1. (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED AS THE HABITAT ESTATES SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME(S) IS (ARE) SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE), WILL CAUSE TO BE INSTALLED THEREON SHOWN OR NOT SHOWN IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

HABITAT DEVELOPERS, LLC, a Texas Limited Liability Co.

BY: Ricardo D. Martinez, Managing Manager  
8916 N. 21st. St.  
McAllen, Texas 78504

STATE OF TEXAS:  
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ricardo D. Martinez, KNOWN TO ME TO BE THE PERSONS WHOSE NAMES IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO HE THAT SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED.  
GIVEN UNDER MY HAND AND SEAL OF OFFICE. THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

NOTARY PUBLIC

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION DATE

STATE OF TEXAS:  
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, CARLOS VASQUEZ A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE CITY OF PHARR SUBDIVISION ORDINANCE AND ALL STATE STATUTES GOVERNING SURVEYS.

CARLOS VASQUEZ, RPLS # 4608  
CVQ LAND SURVEYORS  
517 BEAUMONT ST.  
McALLEN, TEXAS 78501  
TBPELS FIRM # 10119600

STATE OF TEXAS:  
COUNTY OF HIDALGO:

I, STEPHEN SPOOR, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

1. THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

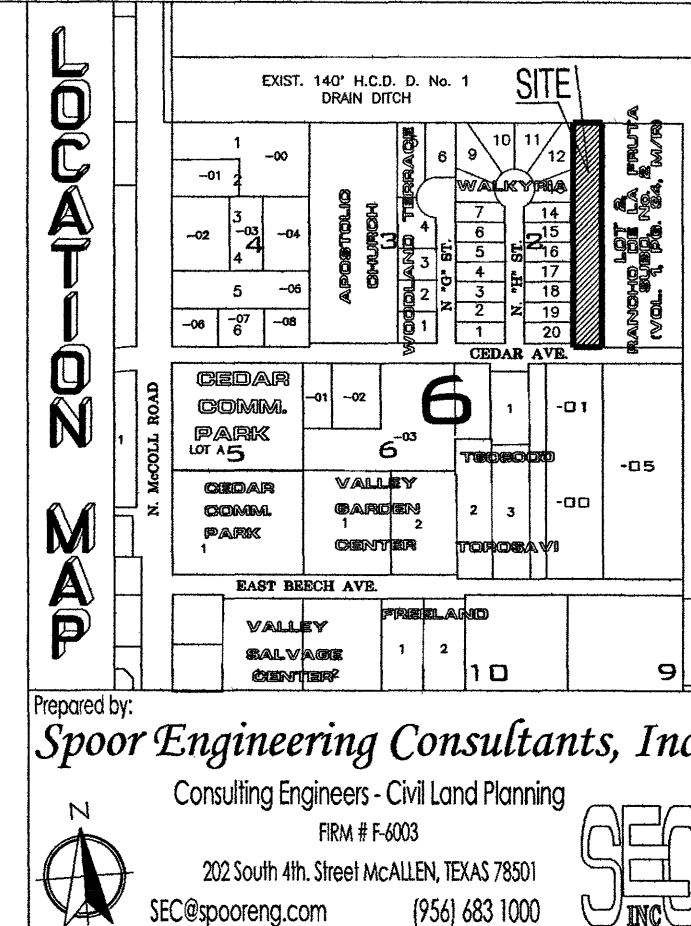
MAYOR, CITY OF McALLEN DATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE 49.211(c) THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

BY: RAUL E. SESIN, P.E., C.F.M.  
GENERAL MANAGER

DATE: \_\_\_\_\_







# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 8/12/2021

<b>SUBDIVISION NAME: HABITAT ESTATES SUBDIVISION</b>	
<b>REQUIREMENTS</b>	
<b>STREETS AND RIGHT-OF-WAYS</b>	
East Cedar Avenue: 10 ft. dedication for 30 ft. from centerline for 60 ft. of ROW Paving: 40 ft. Curb & gutter: Both sides **Monies must be escrowed if improvements are not built prior to recording. ***Please add "East" to Cedar avenue wherever is applicable prior to final. *****Subdivision Ordinance: Section 134-105 Paving _____ Curb & gutter _____	Applied
* 800 ft. Block Length. **Subdivision Ordinance: Section 134-118	Applied
* 600 ft. Maximum Cul-de-Sac. **Subdivision Ordinance: Section 134-105	NA
	Applied
<b>ALLEYS</b>	
ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties ** 24 ft. private service drive to provide city services required. It will be maintained by the property owners, and not the City of McAllen. It will be on the site plan and also on the plat as may be needed, prior to recording. Plat note will be required to be noted on the plat regarding the service drive, prior to recording. **Subdivision Ordinance: Section 134-106	Required
<b>SETBACKS</b>	
* Front: 20 ft. or greater for easements or approved site plan. **Please revise plat note as shown above prior to final. **Zoning Ordinance: Section 138-356	Required
* Rear: 10 ft. or greater for easements or approved site plan. **Please revise plat note as shown above prior to recording. **Zoning Ordinance: Section 138-356	Required
* Sides: In Accordance with Zoning Ordinance or greater for easements or approved site plan. **Please revise plat note #3 as shown above. ***Zoning Ordinance: Section 138-356	Required
* Corner.	NA
* Garage: 18 ft. except where greater setback is required; greater setback applies. **Zoning Ordinance: Section 138-356	Applied
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
<b>SIDEWALKS</b>	
* 4 ft. wide minimum sidewalk required along East Cedar Avenue. *****Subdivision Ordinance: Section 134-120	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



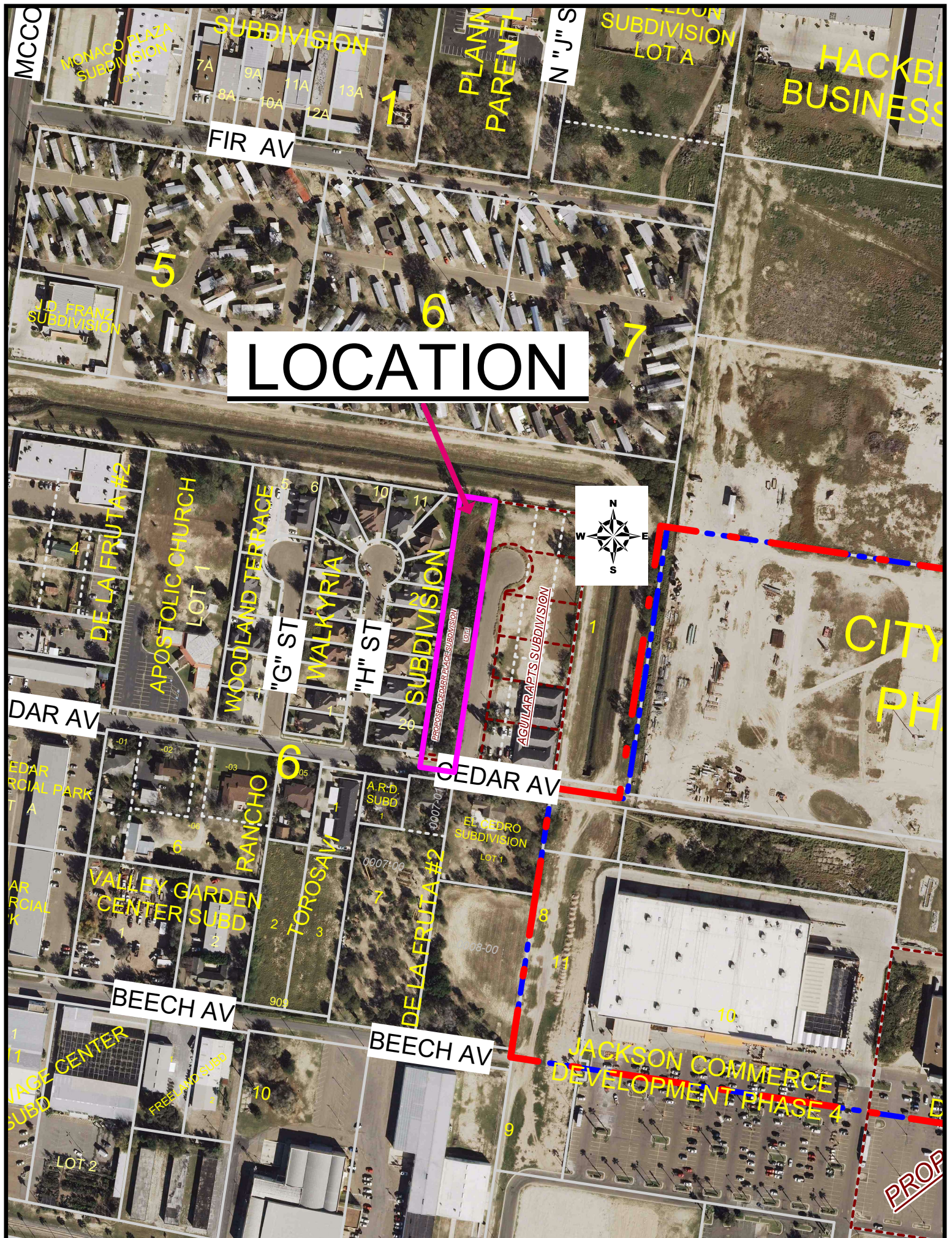
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
<b>BUFFERS</b>	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
<b>NOTES</b>	
* No curb cut, access, or lot frontage permitted along.	NA
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	Required
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	Required
* Common Areas, private drives/streets, etc. must be maintained by the lot owners and not the City of McAllen **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Required
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if subdivision is proposed to be public. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Applied
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **HOA will be recorded simultaneously with plat. **Subdivision Ordinance: Section 110-72	Required
<b>LOT REQUIREMENTS</b>	
* Minimum lot width and lot area. **Zoning Ordinance: Section. 138-356	Compliance
* Lots fronting public streets. **Zoning Ordinance: 138-1	Compliance
<b>ZONING/CUP</b>	
* Existing: R-3A Proposed: R-3A ***Zoning Ordinance: Article V	Compliance
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA
<b>PARKS</b>	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As Per Parks Department, Park fees must be paid prior to recording.	Required

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



* Pending review by the Parkland Dedication Advisory Board and CC.	NA
<b>TRAFFIC</b>	
* As per Traffic Department, Trip Generation waived for 5 units. No TIA required.	Complete
* Traffic Impact Analysis (TIA) required prior to final plat.	NA
<b>COMMENTS</b>	
Comments: Comments: Must comply with City's Access Management Policy ****Provide gate details prior to recording if applicable. *****Provide document number for gas easement located at the north property line prior to recording. *****Subdivision formerly known as "Cedar Place Subdivision"	Applied
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED.	Applied





MCCO

MONACO PLAZA SUBDIVISION LOT 1

SUBDIVISION

7A 9A 11A 13A 8A 10A 12A

FIR AV

1

PLANW PARENTH

N "J" S

WELDON SUBDIVISION LOT A

HACKB BUSINESS

J.D. FRANZ SUBDIVISION

5

6

7

LOCATION

DE LA FRUITA #2 APOSTOLIC CHURCH LOT 1

WOODLAND TERRACE

"G" ST

WALKYRIA

"H" ST

SUBDIVISION

PROPOSED CEDAR PLAZA SUBDIVISION

AGUILAR APTS SUBDIVISION



CITY PH

DAR AV

EDAR RIAL PARK T A

AR RIAL K

VALLEY GARDEN CENTER SUBD

RANCHO

TOROSAV

A.R.D. SUBD

DE LA FRUITA #2

EL CEDRO SUBDIVISION LOT 1

CEDAR AV

BEECH AV

BEECH AV

JACKSON COMMERCE DEVELOPMENT PHASE 4

PROP



SUB2021-0031

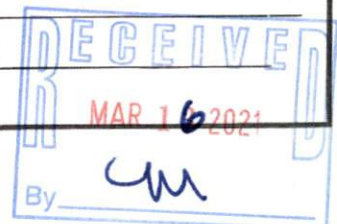


City of McAllen  
Planning Department

APPLICATION FOR  
SUBDIVISION PLAT REVIEW

311 North 15<sup>th</sup> Street  
McAllen, TX 78501  
P. O. Box 220  
McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

Project Description	<p>Subdivision Name <u>BA Industrial Drive</u> <u>Lot 2A, McAllen Northwest Industrial Subdivision</u> <span style="float: right;">PT</span></p> <p>Location <u>Industrial Drive &amp; North 23rd Street</u></p> <p>City Address or Block Number <u>2100 INDUSTRIAL DR</u></p> <p>Number of lots <u>2</u> Gross acres <u>17.589</u> Net acres <u>15.894</u></p> <p>Existing Zoning <u>I-1</u> Proposed <u>I-1</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>Vacant</u> Proposed Land Use <u>Office</u> Irrigation District # <u>1</u></p> <p>Residential Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Commercial Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>0</u></p> <p>Parcel No. <u>20827313/20827315</u> Tax Dept. Review _____</p> <p>Legal Description <u>20.918 Acres being all of Tract 1 and out of Tract 2, McAllen Northwest Industrial Subdivision, Volume 19, Page 158, H.C.M.R</u></p>
Owner	<p>Name <u>NBY-MC Industrial</u> Phone <u>c/o(956) 381-0981</u></p> <p>Address <u>4629 Macro Drive</u></p> <p>City <u>San Antonio</u> State <u>TX</u> Zip <u>78218</u></p> <p>E-mail _____</p>
Developer	<p>Name <u>BH Properties</u> Phone _____</p> <p>Address <u>1410 E Renner Rd Ste 260</u></p> <p>City <u>Richardson</u> State <u>TX</u> Zip <u>75082</u></p> <p>Contact Person <u>Scott Henry</u></p> <p>E-mail <u>scott.henry@bhproperties.com</u></p>
Engineer	<p>Name <u>Melden &amp; Hunt, Inc</u> Phone <u>(956) 381-0981</u></p> <p>Address <u>115 W McIntyre Street</u></p> <p>City <u>Edinburg</u> State <u>TX</u> Zip <u>78541</u></p> <p>Contact Person <u>Robert Tamez</u></p> <p>E-mail <u>robert@meldenandhunt.com</u></p>
Surveyor	<p>Name <u>Melden &amp; Hunt, Inc</u> Phone <u>(956) 381-0981</u></p> <p>Address <u>115 W McIntyre Street</u></p> <p>City <u>Edinburg</u> State <u>TX</u> Zip <u>78541</u></p>





## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- \_\_\_\_\_ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- \_\_\_\_\_ Title Report
- \_\_\_\_\_ 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies
- \_\_\_\_\_ 2 Location Maps
- \_\_\_\_\_ 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- \_\_\_\_\_ 6 Folded blueline prints of the proposed plat
- \_\_\_\_\_ 2 Warranty Deeds (Identifying owner on application)
- \_\_\_\_\_ Autocad 2005 DWG file and PDF of plat
- \_\_\_\_\_ Letter of Authorization from the owner, if applicable
- \_\_\_\_\_ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

### PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 1/2" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

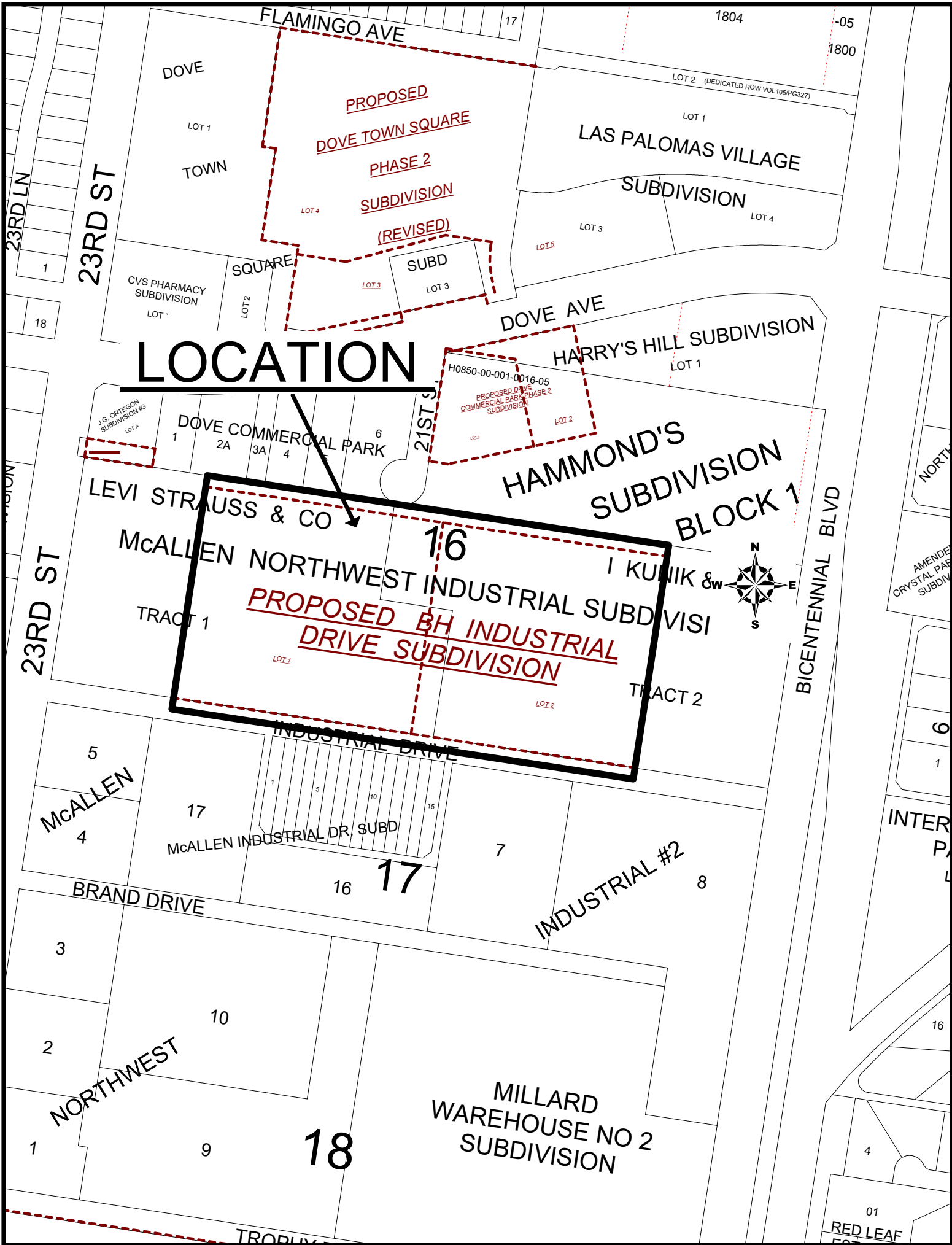
Signature  Date 3-12-21

Print Name Robert Tamez

Owner ☐

Authorized Agent ☒





**LOCATION**

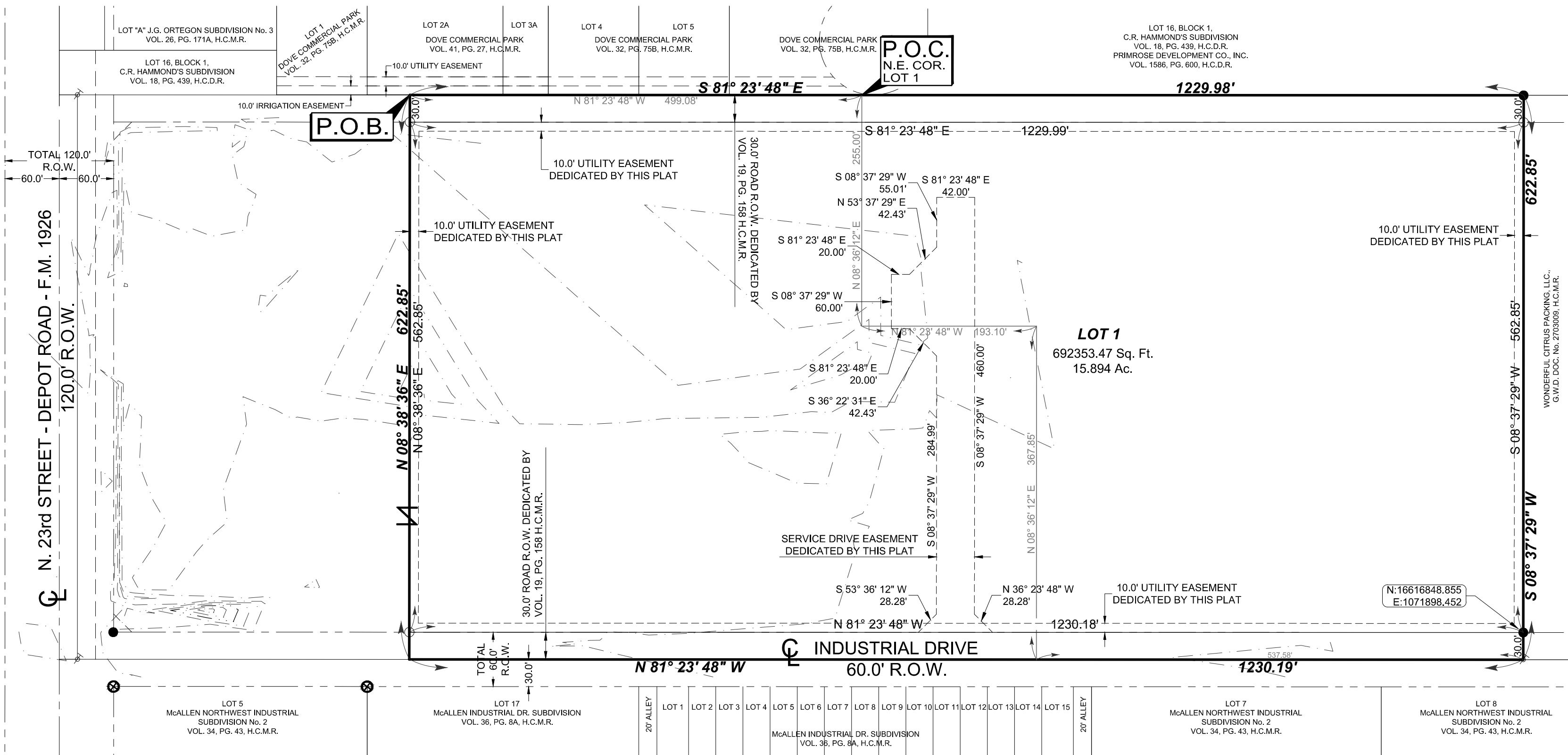
**16**  
**PROPOSED BH INDUSTRIAL DRIVE SUBDIVISION**



# LOT 2A, MCALLEN NORTHWEST INDUSTRIAL SUBDIVISION

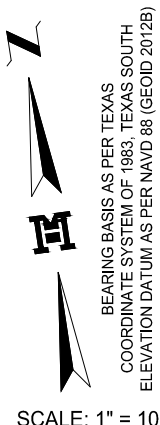
BEING A SUBDIVISION OF 17.589 ACRES BEING A PART OR PORTION OUT OF TRACTS 1 AND 2, McALLEN NORTHWEST INDUSTRIAL SUBDIVISION, VOLUME 19, PAGE 158, H.C.M.R., CITY OF McALLEN, HIDALGO COUNTY, TEXAS, SAID 17.589 ACRES WERE CONVEYED TO NBY-MC INDUSTRIAL, L.L.C., A TEXAS LIMITED LIABILITY COMPANY BY VIRTUE OF A SPECIAL WARRANTY DEED DOCUMENT NUMBER 3174965, HIDALGO COUNTY OFFICIAL RECORDS

RECEIVED: 7.30 BETO



## LEGEND & ABBREVIATIONS

- FOUND No. 4 REBAR
- ⊗ FOUND No. 5 REBAR
- SET No. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
- ⊙ SET MAIL
- AC - OF ONE ACRE
- DOC - DOCUMENT
- E - EASTING
- G.W.D. - GENERAL WARRANTY DEED
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- N - NORTH
- N.E. COR. - NORTH EAST CORNER
- No. - NUMBER
- PG - PAGE
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCING
- R.O.W. - RIGHT-OF-WAY
- Sq. Ft. - SQUARE FEET
- VOL. - VOLUME
- CENTER LINE
- SAME OWNER



SCALE: 1" = 100'

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION

DATE

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN

DATE

## METES AND BOUNDS DESCRIPTION:

BEING A SUBDIVISION OF A TRACT OF LAND CONTAINING 17.589 ACRES SITUATED IN THE CITY OF McALLEN, COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF TRACTS 1 AND 2, McALLEN NORTHWEST INDUSTRIAL SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 19, PAGE 158, HIDALGO COUNTY MAP RECORDS, WHICH SAID 17.589 ACRES WERE CONVEYED TO NBY-MC INDUSTRIAL, L.L.C., A TEXAS LIMITED LIABILITY COMPANY BY VIRTUE OF A SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 3174965, HIDALGO COUNTY OFFICIAL RECORDS, SAID 17.589 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID TRACT 1;

THENCE, N 81° 23' 48" W ALONG THE NORTH LINE OF SAID TRACT 1, A DISTANCE OF 499.08 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

- THENCE, S 81° 23' 48" E ALONG THE NORTH LINES OF SAID TRACTS 1 AND 2, AT A DISTANCE OF 499.08 FEET PASS THE NORTHEAST CORNER OF SAID TRACT 1 AND A NORTHWEST CORNER OF SAID TRACT 2, CONTINUING A TOTAL DISTANCE OF 1,229.98 FEET TO A NO. 4 REBAR FOUND FOR THE NORTHEAST CORNER OF THIS TRACT;
- THENCE, S 08° 37' 29" W AT A DISTANCE OF 30.00 FEET PASS A NO. 4 REBAR SET ON THE SOUTH LINE OF A CERTAIN 30.00-FOOT RIGHT-OF-WAY, AT A DISTANCE OF 592.85 FEET PASS A NO. 4 REBAR FOUND [N-16616848.855, E-1071898.452] ON THE EXISTING NORTH-RIGHT-OF-WAY LINE OF INDUSTRIAL DRIVE, CONTINUING A TOTAL DISTANCE OF 622.85 FEET TO A NAIL SET ON THE SOUTH LINE OF SAID TRACT 2, FOR THE SOUTHEAST CORNER OF THIS TRACT;
- THENCE, N 81° 23' 48" W ALONG THE SOUTH LINES OF SAID TRACTS 1 AND 2 AND WITHIN THE EXISTING RIGHT-OF-WAY OF INDUSTRIAL DRIVE, AT A DISTANCE OF 537.58 FEET PASS THE SOUTHWEST CORNER OF SAID TRACT 2 AND THE SOUTHEAST CORNER OF SAID TRACT 1, CONTINUING A TOTAL DISTANCE OF 1,230.19 FEET TO A NAIL SET FOR THE SOUTHWEST CORNER OF THIS TRACT;
- THENCE, N 08° 38' 36" E AT A DISTANCE OF 30.00 FEET PASS A NO. 4 REBAR SET ON THE EXISTING NORTH RIGHT-OF-WAY LINE OF INDUSTRIAL DRIVE, AT A DISTANCE OF 592.85 FEET PASS A NO. 4 REBAR SET ON THE SOUTH RIGHT-OF-WAY LINE OF A CERTAIN 30.00-FOOT RIGHT-OF-WAY, CONTINUING A TOTAL DISTANCE OF 622.85 FEET TO THE POINT OF BEGINNING AND CONTAINING 17.589 ACRES, OF WHICH 0.847 OF ONE ACRE LIES WITHIN THE EXISTING RIGHT-OF-WAY OF INDUSTRIAL DRIVE, LEAVING A NET OF 16.742 ACRES OF LAND, MORE OR LESS.

## GENERAL NOTES :

- THIS SUBDIVISION IS IN FLOOD ZONE "B" DEFINED AS "AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD, OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE, OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD." COMMUNITY-PANEL NUMBER: 480343 0005 C MAP REVISED: NOVEMBER 16, 1982
- MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE THE FRONT TOP OF CURB MEASURED FROM THE CENTER OF THE LOT.
- MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF McALLEN ZONING CODE: FRONT - IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS REAR - IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS SIDES - IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS
- REQUIRED STORM SEWER RUNOFF DETENTION FOR THIS SUBDIVISION AS PER THE APPROVED DRAINAGE REPORT: 67.238 C.F. (1.544 Ac-Ft.) TO BE PROVIDED WITHIN GREEN AREAS OF THIS PLAT. THIS IS AN ESTIMATE ONLY AND DETAILED ANALYSIS MAY REVEAL DIFFERENT REQUIREMENTS.
- AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF McALLEN ENGINEERING DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.
- NO BUILDING ALLOWED OVER ANY EASEMENT.
- SITE PLAN MUST BE APPROVED BY THE PLANNING AND ZONING COMMISSION PRIOR TO BUILDING PERMIT ISSUANCE.
- THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS: —CITY OF McALLEN BENCHMARK "MC 48" FROM THE CITY OF McALLEN G.P.S. REFERENCE MARKS LIST PREPARED BY GLICK, LINK ON OCTOBER 6, 1999, BEING LOCATED ON THE SOUTHEAST CORNER OF THE INTERSECTION OF WARE ROAD (F.M. 2220) AND MILE 5 NORTH ROAD (AUBURN AVENUE), 22 FEET FROM THE EDGE OF PAVEMENT OF WARE ROAD (F.M. 2220) AND 43 FEET SOUTH FROM MILE 5 NORTH ROAD (AUBURN AVENUE), MONUMENT BEHIND A STREET LIGHT CONTROL PANEL. NORTHING: 16626507.814, EASTING: 1066370.956, ELEVATION = 115.95 (TEXAS SOUTH 4205).
- 4 FT. WIDE MINIMUM SIDEWALK REQUIRED ON INDUSTRIAL DRIVE.
- 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES.
- 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- PRIVATE DRAINAGE SYSTEM TO BE MAINTAINED BY PROPERTY OWNERS.

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 1 ON THIS, THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

HIDALGO COUNTY IRRIGATION DISTRICT No. ONE WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION, THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS.

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON THE HCID#1 RIGHT-OF-WAYS OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HCID#1.

PRESIDENT

SECRETARY

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE, §48.211 (G). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT No. 1

RAUL E. SESIN, P.E., C.F.M.  
GENERAL MANAGER

DATE

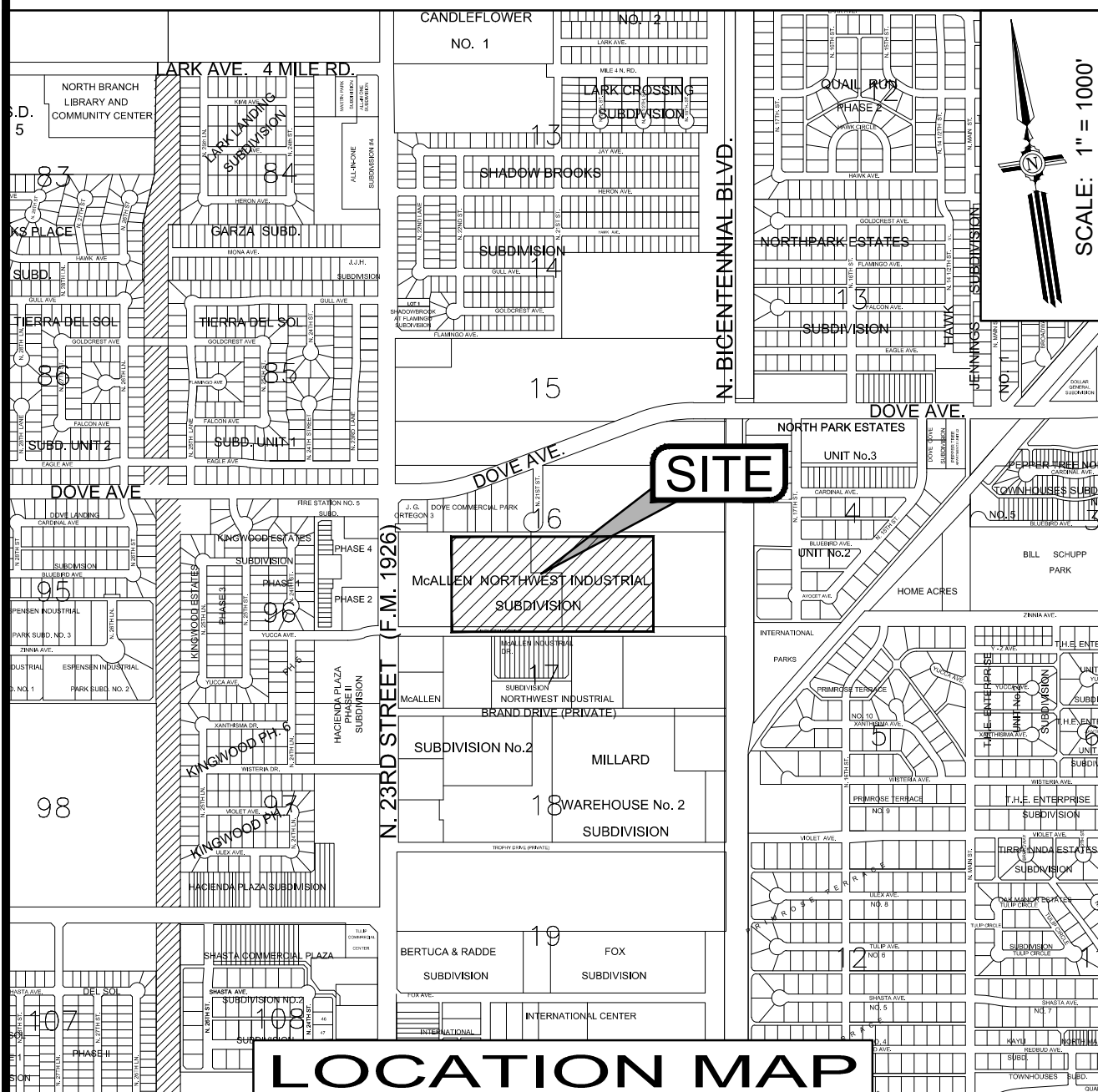


FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM

INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY



MELDEN & HUNT INC.  
CONSULTANTS • ENGINEERS • SURVEYORS

115 W. McIntyre - EDINBURG, TX 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - www.meldenandhunt.com

DRAWN BY: S.A. DATE: 3-12-21  
SURVEYED, CHECKED DATE  
FINAL CHECK DATE





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 8/12/2021

### SUBDIVISION NAME: MCALLEN NORTHWEST INDUSTRIAL 2A

#### REQUIREMENTS

##### STREETS AND RIGHT-OF-WAYS

Industrial Drive: 30 ft. from centerline for 60 ft. ROW  
 Paving: 40 ft. required Curb & gutter: Both sides  
 \*\*Engineer to clarify paving width prior to final to verify if any additional paving is required.  
 \*\*\*\*\*Subdivision Ordinance: Section 134-105

Paving \_\_\_\_\_ Curb & gutter \_\_\_\_\_

\* 800 ft. Block Length.

\*\*Subdivision Ordinance: Section 134-118

\* 600 ft. Maximum Cul-de-Sac.

\*\*Subdivision Ordinance: Section 134-105

Applied

Applied

NA

NA

##### ALLEYS

ROW: 20 ft. Paving: 16 ft.  
 \*\*Please clarify service drive width prior to recording. Service drive must be at least 24 width with 20 ft. of paving.  
 \*\*\*Abandonment must be finalized prior to recording, and document number must be referenced on plat.  
 \*\*\*\*Subdivision Ordinance: Section 134-106

Applied

##### SETBACKS

\* Front: In accordance with the Zoning Ordinance or greater for easements or approved site plan.

\*\*Zoning Ordinance: Section 138-356

\* Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan.

\*\*Rear setback might be affected by outcome of abandonment request for the 30 ft. strip of ROW located at the north boundary of subdivision.

\*\*Zoning Ordinance: Section 138-356

\* Interior Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan.

\*\*Zoning Ordinance: Section 138-356

\* Corner.

\*\*Zoning Ordinance: Section 138-356

\* Garage.

\*\*Zoning Ordinance: Section 138-356

\*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN

Applied

Required

Applied

NA

NA

Applied

##### SIDEWALKS

\* 4 ft. wide minimum sidewalk required on Industrial Drive

\*\*Subdivision Ordinance: Section 134-120

Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



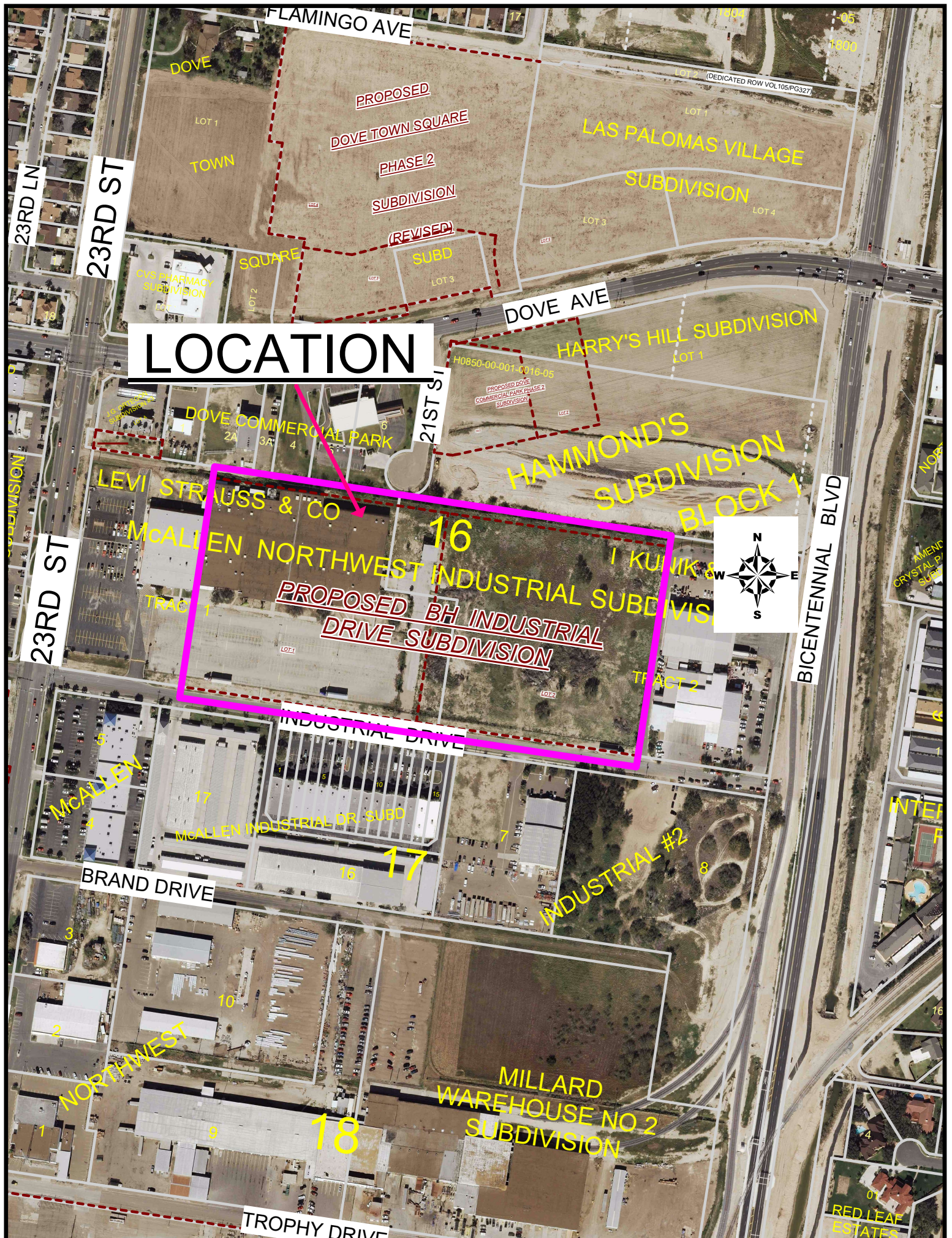
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
<b>BUFFERS</b>	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46	Compliance
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	Compliance
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
<b>NOTES</b>	
* No curb cut, access, or lot frontage permitted along. **City's Access Management Policy	NA
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	Required
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	Required
* Common Areas, any private streets/drives must be maintained by the lot owners and not the City of McAllen	Applied
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **HOA will be recorded simultaneously with plat. **Subdivision Ordinance: Section 110-72	NA
<b>LOT REQUIREMENTS</b>	
* Minimum lot width and lot area. **Zoning Ordinance: Section. 138-356	Compliance
* Lots fronting public streets. **Zoning Ordinance: 138-1	Compliance
<b>ZONING/CUP</b>	
* Existing: I-1 Proposed: I-1 **Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval **Zoning Ordinance: Article V	Applied
<b>PARKS</b>	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/ dwelling unit to be paid prior to recording	NA
* Pending review by the Parkland Dedication Advisory Board and CC.	NA

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<b>TRAFFIC</b>	
* As per Traffic Department, Trip Generation approved; TIA not required.	Completed
* As per Traffic Department, Trip Generation approved; TIA not required.	Completed
<b>COMMENTS</b>	
Comments: Must comply with City's Access Management Policy ***Abandonments must be done by a separate instrument/document and recorded prior to recording subdivision. Document number must be included in plat prior to recording. ****Revise reference "Lot 1" with "Lot 2A" shown within lot boundaries prior to recording. *****Subdivision formerly known as "BH Industrial Drive Subdivision"	Applied
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED AND ABANDONMENT BEING APPROVED.	Applied





# LOCATION

16

**PROPOSED BH INDUSTRIAL  
DRIVE SUBDIVISION**



17

18

**MILLARD  
WAREHOUSE NO 2  
SUBDIVISION**

**RED LEAF  
ESTATES**



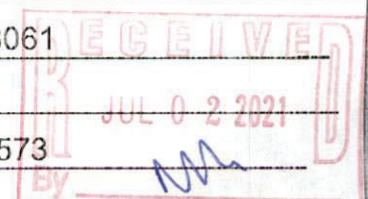


City of McAllen  
Planning Department  
APPLICATION FOR

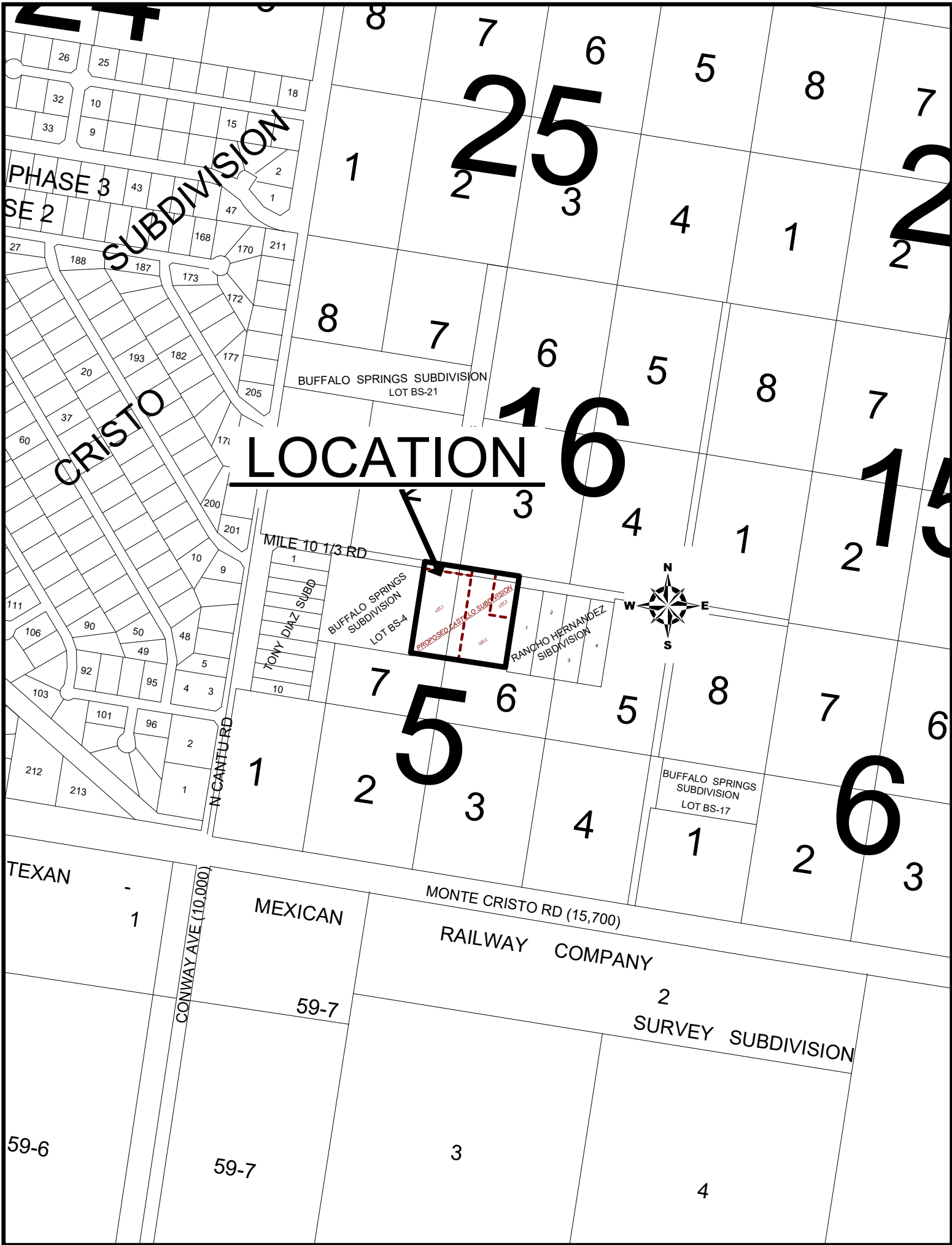
SUBDIVISION PLAT REVIEW

311 North 15<sup>th</sup> Street  
McAllen, TX 78501  
P. O. Box 220  
McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

Project Description	<p>Subdivision Name <u>Castillo Estates Subdivision</u></p> <p>Location <u>323 feet east from intersection of El Bienestar Rd and County Rd 4501</u></p> <p>City Address or Block Number <u>9705 Mile 10 1/3</u></p> <p>Number of lots <u>3</u> Gross acres <u>5.19</u> Net acres <u>5.03</u></p> <p>Existing Zoning <u>R-1</u> Proposed _____ Rezoning Applied For <input type="checkbox"/> Yes <input type="checkbox"/> No Date _____</p> <p>Existing Land Use _____ Proposed Land Use <u>X</u> Irrigation District # _____</p> <p>Residential Replat Yes <input type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input type="checkbox"/> ETJ Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due _____</p> <p>Parcel No. <u>555718</u> Tax Dept. Review _____</p> <p>Legal Description <u>A 5.19 ACRE TRACT OF LAND OUT OF LOT 7 AND LOT6 BLOCK 5, JACKSON SUBDIVISION, OF THE MELADO TRACT, HIDALGO COUNTY, TEXAS</u></p>
Owner	<p>Name <u>Jesus Castillo</u> <u>Susana Castillo</u> Phone <u>(956) 451-0339</u></p> <p>Address <u>9705 Mile 10 1/3</u></p> <p>City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u></p> <p>E-mail <u>sgarcia2jcastillo@yahoo.com</u></p>
Developer	<p>Name _____ Phone _____</p> <p>Address _____</p> <p>City _____ State _____ Zip _____</p> <p>Contact Person _____</p> <p>E-mail _____</p>
Engineer	<p>Name <u>RO Engineering, PLLC</u> Phone <u>(956) 205-3845</u></p> <p>Address <u>2705 E. Davis Rd</u></p> <p>City <u>Edinburg</u> State <u>Texas</u> Zip <u>78540</u></p> <p>Contact Person <u>San Isidro Navarro</u></p> <p>E-mail <u>isidro@incivildesigns.com</u></p>
Surveyor	<p>Name <u>William A. Mangum</u> Phone <u>(956) 249-8061</u></p> <p>Address <u>11809 Shary Rd</u></p> <p>City <u>Mission</u> State <u>Texas</u> Zip <u>78573</u></p>















# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 8/12/2021

<b>SUBDIVISION NAME: CASTILLO ESTATES SUBDIVISION</b>	
<b>REQUIREMENTS</b>	
<b>STREETS AND RIGHT-OF-WAYS</b>	
Mile 10 1/3 (County Road 4501): 20 ft. of additional ROW dedication for 35 ft. from centerline for a total 70 ft. ROW Paving: 44 ft. Curb & gutter: both sides *Revise street name as noted above **Reference any existing ROW dedicated by previously established subdivisions accordingly along the east and west boundaries ****Remove "proposed" from plat referencing ROW along front of Lot 1  N/S collector road: 35 ft. ROW require for future 70 ft. ROW collector road Paving: 44 ft. Curb & gutter: both sides *Location of future 1/4 mile collector road being reviewed to determine if property is impacted **City of McAllen Thoroughfare Plan  * 800 ft. Block Length **Subdivision Ordinance: Section 134-118  * 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105	Non-compliance           TBD           Applied           NA
<b>ALLEYS</b>	
ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106	Applied
<b>SETBACKS</b>	
* Front: Proposing 45 ft. or greater for easement or approved site plan *Revise plat as noted above **Zoning Ordinance: Section 138-356  * Rear: Proposing 30 ft. or greater for easement **Zoning Ordinance: Section 138-356  * Sides: 15 ft. or greater for approved site plan or easements *Revise plat as noted above **Zoning Ordinance: Section 138-356  * Corner: 10 ft. or greater for easements **Zoning Ordinance: Section 138-356  * Garage: 18 ft. or greater for easements **Zoning Ordinance: Section 138-356  *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Non-compliance           Applied           Non-compliance           TBD           TBD           Applied
<b>SIDEWALKS</b>	
* 4 ft. wide minimum sidewalk required on Mile 10 1/3 and N/S collector road. *Revise plat as noted above **Subdivision Ordinance: Section 134-120  * Perimeter sidewalks must be built or money escrowed if not built at this time.	Non-compliance           Required
<b>BUFFERS</b>	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<ul style="list-style-type: none"> <li>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses</li> <li>*Plat note required as noted above</li> <li>**Landscaping Ordinance: Section 110-46</li> <li>*Perimeter buffers must be built at time of Subdivision Improvements.</li> </ul>	Non-compliance
	Required
<b>NOTES</b>	
<ul style="list-style-type: none"> <li>* No curb cut, access, or lot frontage permitted along City's Access Management Policy</li> <li>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</li> <li>* Common areas, private streets, service drives, etc. must be maintained by the lot owners and not the City of McAllen</li> <li>* Common areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</li> <li>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</li> <li>*Section 110-72 applies for public subdivisions</li> <li>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</li> <li>**Subdivision Ordinance: Section 110-72</li> </ul>	NA
	Applied
	Applied
	Applied
	NA
	NA
<b>LOT REQUIREMENTS</b>	
<ul style="list-style-type: none"> <li>* Lots fronting public streets</li> <li>*Zoning Ordinance: 138-1</li> <li>* Minimum lot width and lot area</li> <li>*Zoning Ordinance: 138-1</li> </ul>	Compliance
	Compliance
<b>ZONING/CUP</b>	
<ul style="list-style-type: none"> <li>* Existing: ETJ Proposed: ETJ</li> <li>*No annexation applications on file</li> <li>* Rezoning Needed Before Final Approval</li> </ul>	TBD
	NA
<b>PARKS</b>	
<ul style="list-style-type: none"> <li>* Land dedication in lieu of fee</li> <li>* Park Fee of \$700 per x 3 proposed lots = \$2,100 to be paid prior to recording if land is annexed</li> <li>* Pending review by the Parkland Dedication Advisory Board and CC.</li> </ul>	NA
	TBD
	NA
<b>TRAFFIC</b>	
<ul style="list-style-type: none"> <li>* Trip Generation has been waived by Traffic Department.</li> <li>* Traffic Impact Analysis (TIA) required prior to final plat.</li> </ul>	NA
	NA
<b>COMMENTS</b>	
<p>Comments:</p> <ul style="list-style-type: none"> <li>*Must comply with City's Access Management</li> <li>**Revise street name for Mile 10 1/3 - County Road 4501</li> <li>****Revise setbacks as noted above</li> <li>*****Need note indicating 4 ft. minimum wide sidewalk required along Mile 10 1/3 and County Road 4501</li> </ul>	Applied
<b>RECOMMENDATION</b>	



Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, UTILITIES, AND DRAINAGE APPROVALS.	Applied
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LOCATION

MILE 10 1/3 RD

BUFFALO SPRINGS  
SUBDIVISION  
LOT BS-4

RANCHO HERNANDEZ  
SUBDIVISION

BUFFALO SPRINGS  
SUBDIVISION  
LOT BS-17

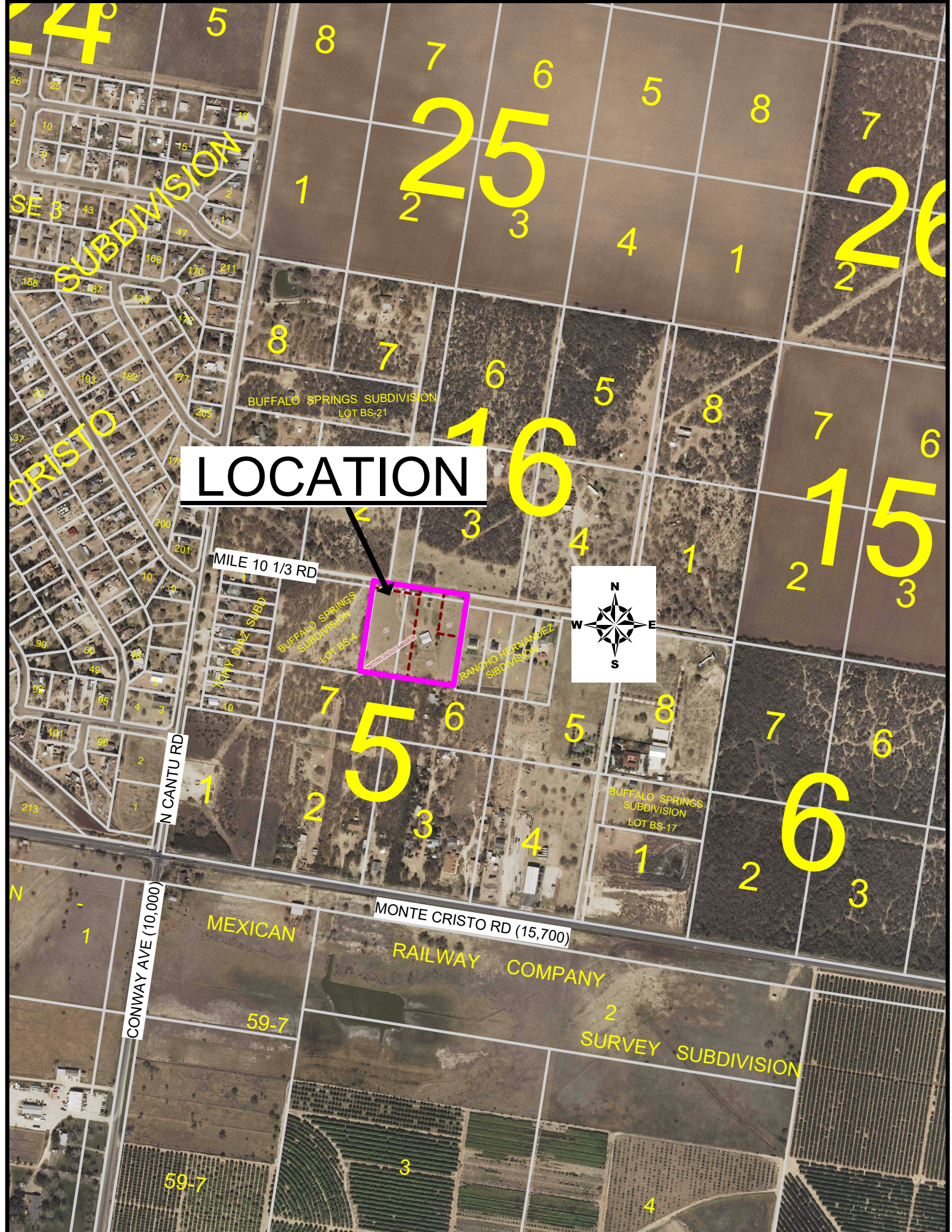
CONWAY AVE (10,000)

MONTE CRISTO RD (15,700)

MEXICAN

RAILWAY COMPANY

SURVEY SUBDIVISION





SUB2021-0082



City of McAllen  
Planning Department  
**APPLICATION FOR  
SUBDIVISION PLAT REVIEW**

311 North 15<sup>th</sup> Street  
McAllen, TX 78501  
P. O. Box 220  
McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

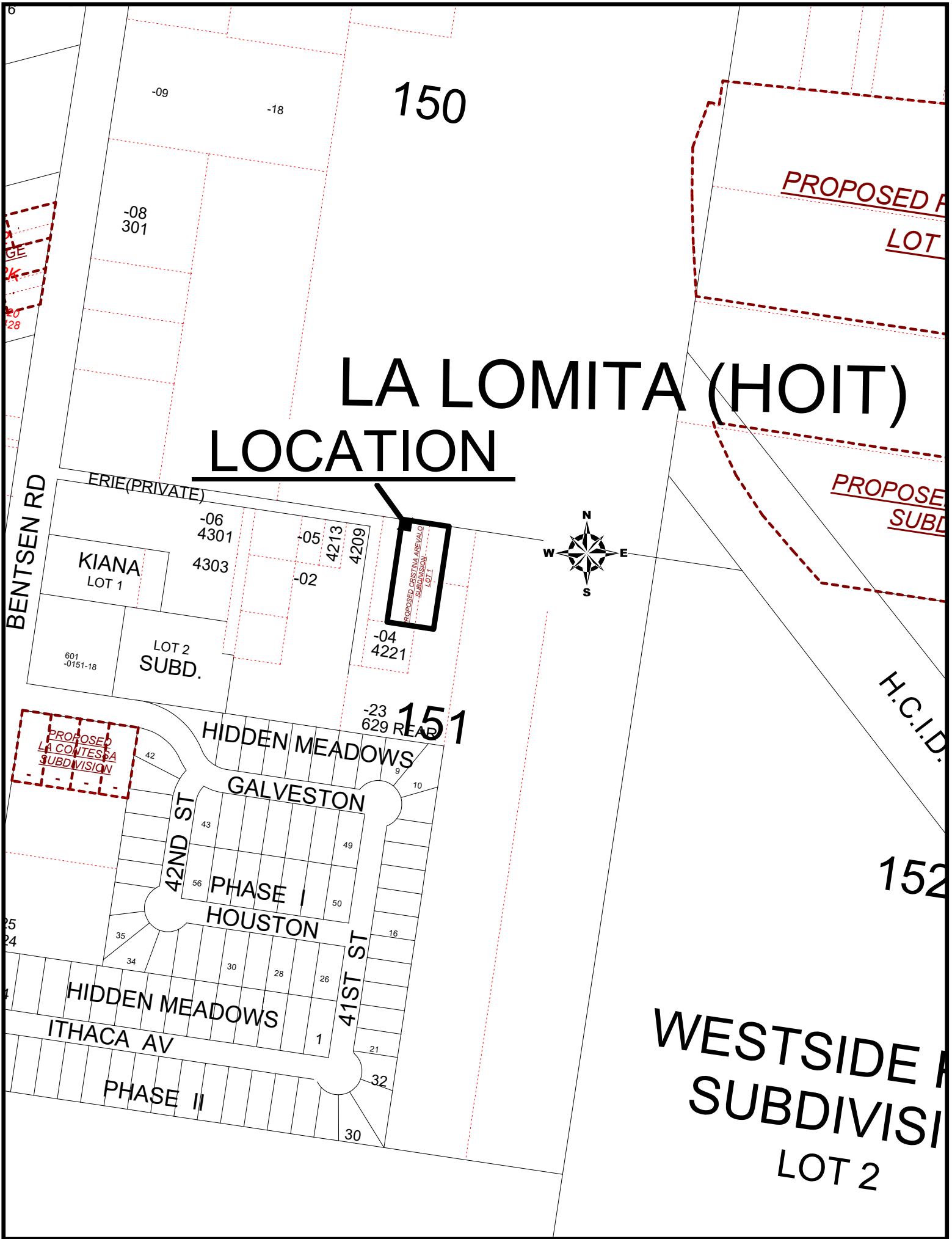
Project Description	<p>Subdivision Name <u>CRISTINA AREVALO SUBD.</u></p> <p>Location <u>+/- 600' E. OF S. BENTSEN ROAD MOULG S.</u></p> <p>City Address or Block Number <u>LOT ASSIGNED SIDE RIE AVE.</u></p> <p>Number of lots <u>1</u> Gross acres <u>0.51</u> Net acres <u>0.45</u></p> <p>Existing Zoning <u>R-1</u> Proposed <u>R-1</u> Rezoning Applied For <input type="checkbox"/> Yes <input type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>OPEN</u> Proposed Land Use <u>Residen</u> Irrigation District # _____</p> <p>Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due <u>1500<sup>00</sup></u></p> <p>Parcel No. <u>211040</u> Tax Dept. Review <u>1205720</u></p> <p>Legal Description <u>0.51 AC. o/o LOT 151, LA LOMITA</u> <u>IRRIG. AND CONST. COMPANY'S SUBD., 14 C.T.</u></p>
Owner	<p>Name <u>Cristina Arevalo.</u> Phone <u>956 560 5034</u></p> <p>Address <u>4200 N. chail apt 1011</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u></p> <p>E-mail <u>Cristinaarevalo2@gmail.com.</u></p>
Developer	<p>Name <u>SAME AS OWNER</u> Phone _____</p> <p>Address _____</p> <p>City _____ State _____ Zip _____</p> <p>Contact Person _____</p> <p>E-mail _____</p>
Engineer	<p>Name <u>David Salinas</u> Phone <u>682-9081</u></p> <p>Address <u>2221 DAFFODI</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u></p> <p>Contact Person <u>David Salinas</u></p> <p>E-mail <u>dsalinas@salinasengineering.com</u></p>
Surveyor	<p>Name <u>SAME AS ENGINEER</u> Phone _____</p> <p>Address _____</p> <p>City _____ State _____ Zip _____</p>

BHO

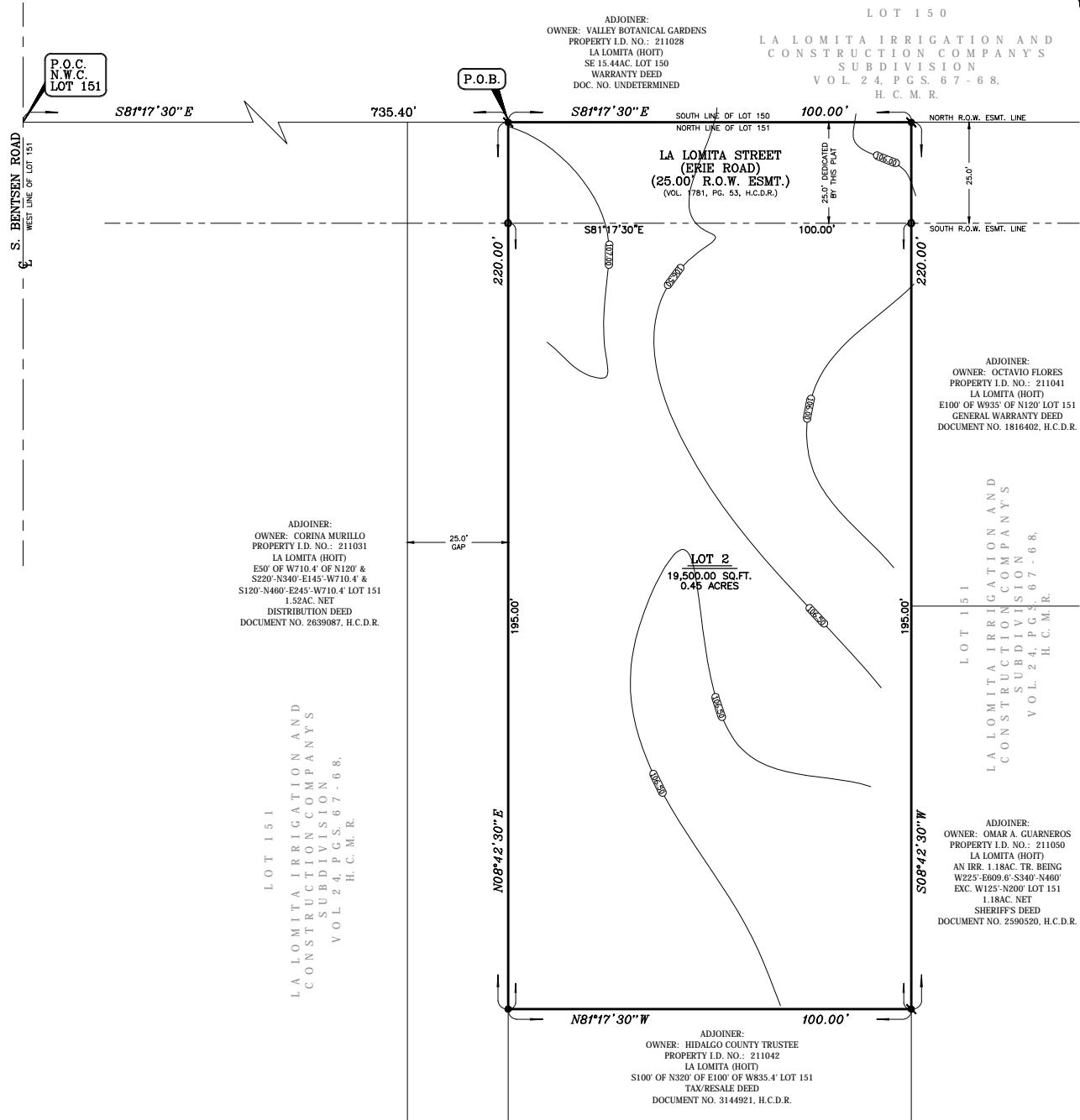




# LA LOMITA (HOIT) LOCATION







# CRISTINA AREVALO SUBDIVISION

AN ADDITION TO THE CITY OF MCALLEN,  
HIDALGO COUNTY, TEXAS.

BEING A 0.51 ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART  
OF LOT 151, LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY'S SUBDIVISION,  
HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME  
24, PAGES 67-68, DEED RECORDS OF HIDALGO COUNTY, TEXAS.

DISCLAIMER: THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM  
REVIEW BY THE CITY OF MCALLEN ONLY & BY NO OTHERS UNDER THE  
AUTHORITY OF DAVID OMAR SALINAS, P.E., TX. REG. NO. 71973 ON  
JULY 28, 2021. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

**SEA**  
**SALINAS ENGINEERING & ASSOCIATES**  
(F-6675) (10066700)  
CONSULTING ENGINEERS & SURVEYORS  
2221 DAFODIL - McALLEN, TEXAS 78501  
(956) 883-0081 (956) 886-1489 (FAX)  
TRPLS 12100 PARK 35 CIRCLE BLDG. A, SUITE 156, MC-230, AUSTIN, TEXAS 78753 (512) 239-5263





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 8/12/2021

<b>SUBDIVISION NAME: CRISTINA AREVALO</b>	
<b>REQUIREMENTS</b>	
<b>STREETS AND RIGHT-OF-WAYS</b>	
<p>Erie Avenue: 50 ft. ROW required.- 25 ft. private easement dedicated by instrument. ROW Dedication needed from adjacent property owners to convert easement into a public street.  Paving: 32 ft. Curb &amp; gutter: both sides  **Provide vicinity map for review  ***Money must be escrowed if improvements are not built prior to recording  ****City of McAllen Thoroughfare Plan</p>	Non-compliance
<p>S. 42nd Street: 25 ft. dedication required for total 50 ft. ROW  Paving: 32 ft. Curb &amp; gutter: both sides  *Revise plat accordingly and label street name instead of 25 ft. gap currently shown on plat  **Show instrument/document number -if any- related to the 25 ft. gap shown on plat  ***Provide vicinity map to avoid creating any landlocked parcels  ***Escrow required if improvements are not built prior to recording.  ****City of McAllen Thoroughfare Plan</p>	Non-compliance
Paving _____ Curb & gutter _____	Applied
* 800 ft. Block Length	Applied
**Subdivision Ordinance: Section 134-118	
* 600 ft. Maximum Cul-de-Sac	NA
**Subdivision Ordinance: Section 134-105	
<b>ALLEYS</b>	
<p>ROW: 20 ft. Paving: 16 ft.  *Alley/service drive easement required for commercial properties  **Subdivision Ordinance: Section 134-106</p>	NA
<b>SETBACKS</b>	
* Front: 25 ft. or greater for easements	Applied
**Zoning Ordinance: Section 138-356	
* Rear: 10 ft. or greater for easements	Applied
**Zoning Ordinance: Section 138-356	
* Interior Sides: In accordance with the zoning ordinance or greater for approved site plan or easements	Applied
**Zoning Ordinance: Section 138-356	
* Corner side: 10 ft. or greater for approved site plan or easements	Non-compliance
**Revise plat as noted above	
***Zoning Ordinance: Section 138-356	
* Garage: Proposing 18 ft. except where greater setback is required, greater setback applies.	Applied
**Zoning Ordinance: Section 138-356	
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
<b>SIDEWALKS</b>	
<p>* 4 ft. wide minimum sidewalk required on Erie Avenue, S. 42nd Street, and both sides of interior streets  **Revise note as shown above  ***Money must be escrowed if improvements are not built prior to recording</p>	Non-compliance

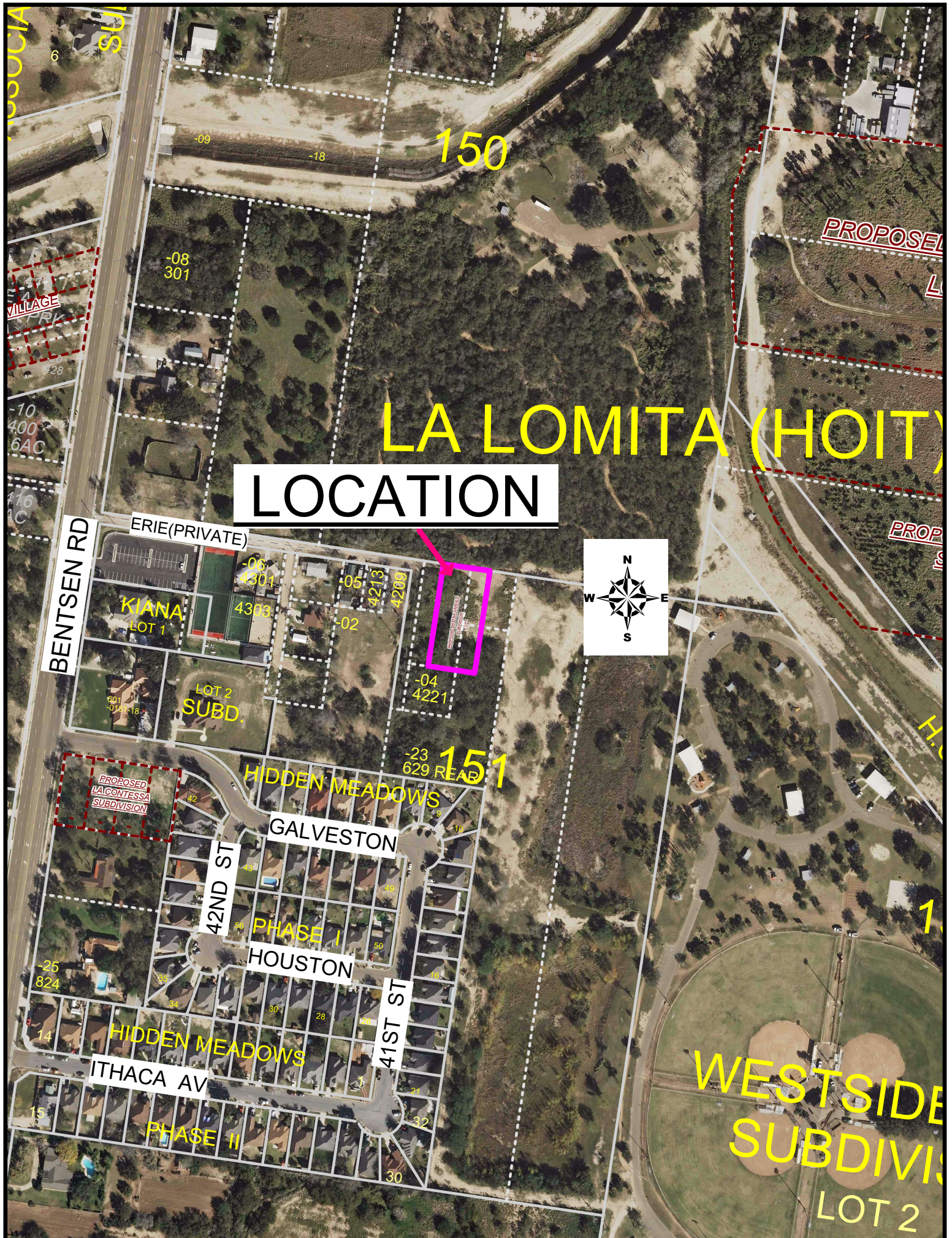


* Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
<b>BUFFERS</b>	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
<b>NOTES</b>	
* No curb cut, access, or lot frontage permitted along **Property does not front a public street	Non-compliance
* Site plan must be approved by the Planning and other Development Departments prior to building permit issuance.	Applied
* Common Areas, private streets, service drives, etc. must be maintained by the lot owners and not the City of McAllen **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Required
* Common areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. *Section 110-72 if subdivision is public	Applied
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Subdivision Ordinance: Section 110-72 if this is a public subdivision	NA
<b>LOT REQUIREMENTS</b>	
* Lots fronting public streets **Provide vicinity map to identify unsubdivided adjacent parcels ***Label street name as Erie Avenue - instead of La Lomita Street now shown. ****Easement recorded under Vol. 1781 page 53 appears to be a private *****ROW dedication from adjacent property owners to convert existing easement into a dedicated paved street may be required for emergency and other city services.	Non-compliance
* Minimum lot width and lot area **Zoning Ordinance: 138-1	Applied
<b>ZONING/CUP</b>	
* Existing: R-1 Proposed: R-1	Applied
* Rezoning Needed Before Final Approval	NA
<b>PARKS</b>	
* Land dedication in lieu of fee	NA
* Park Fee of \$700 per dwelling unit/lot to be paid prior to recording	Non-compliance
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
<b>TRAFFIC</b>	
* Trip Generation to determine if TIA is required, prior to final plat.	NA
* Traffic Impact Analysis (TIA) required prior to final plat.	NA
<b>COMMENTS</b>	



Comments: *Must comply with City's Access Management **Property does not front a public street ***Dedication is needed from adjacent properties to access proposed subdivision. The only access available is by virtue of a private easement recoded under volume 1781 page 53 ****Lot should be labeled 1 instead of 2 *****Paved access from S. Bentsen Road for Erie Avenue needed *****Temporary turnaround needed for Public Works	Applied
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS DISAPPROVAL DUE TO NO COMPLIANCE WITH ZONING ORDINANCE SECTION 138-356.	Applied





# LA LOMITA (HOIT)

## LOCATION



BENTSEN RD

ERIE (PRIVATE)

KIANA LOT 1

LOT 2 SUBD.

HIDDEN MEADOWS

GALVESTON

PHASE I

HOUSTON

HIDDEN MEADOWS

ITHACA AV

PHASE II

41ST ST

42ND ST

150

151

WESTSIDE SUBDIVISION LOT 2

PROPOSED

PROPOSED

VILLAGE

400 64C

16 C

28

10

6

09

18

08

301

05

4213

4209

02

04

4221

23

629 READ

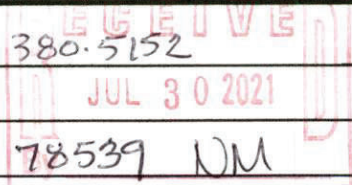




**City of McAllen**  
**Planning Department**  
**APPLICATION FOR**  
**SUBDIVISION PLAT REVIEW**

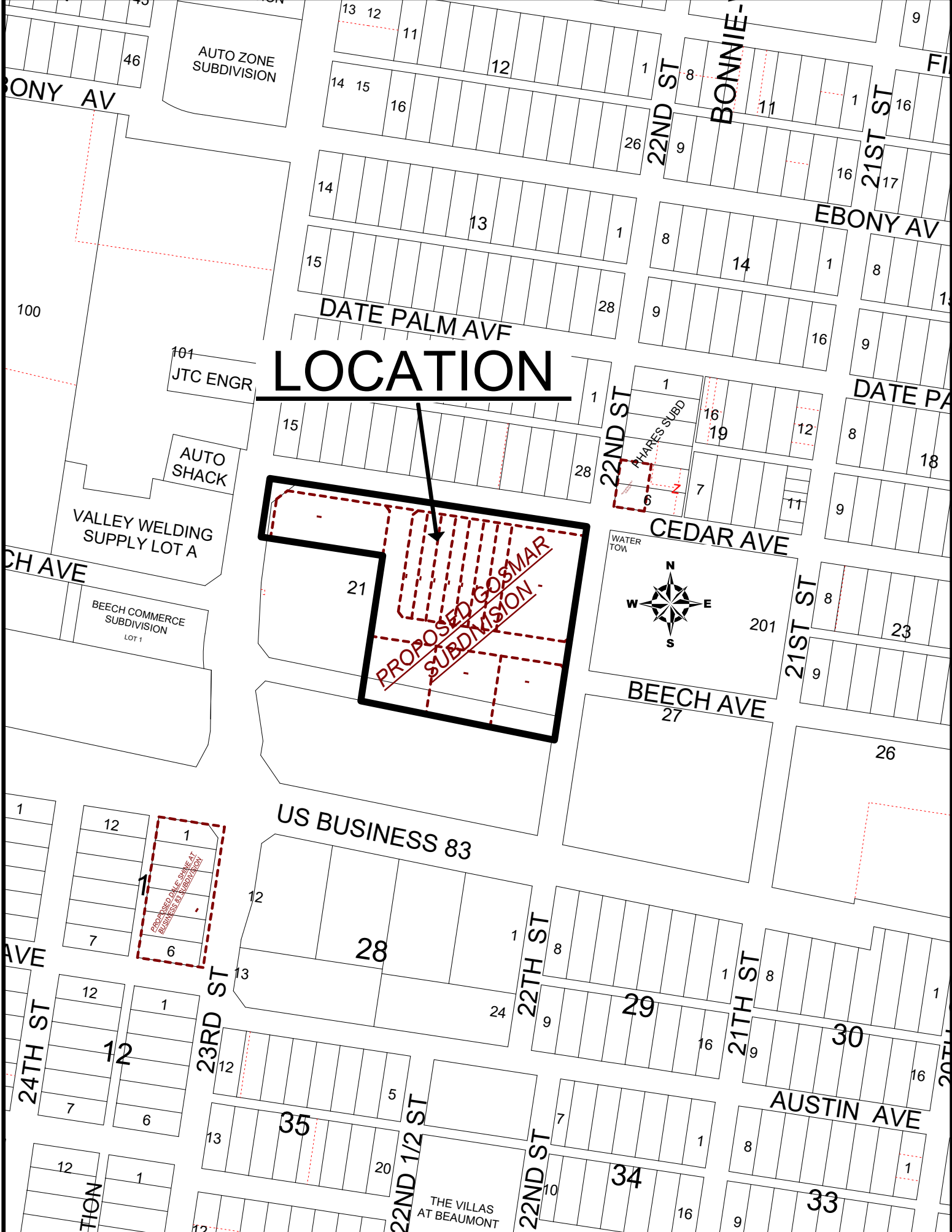
311 North 15<sup>th</sup> Street  
 McAllen, TX 78501  
 P. O. Box 220  
 McAllen, TX 78505-0220  
 (956) 681-1250  
 (956) 681-1279 (fax)

<b>Project Description</b>	Subdivision Name <u>Gosmar Subdivision</u> Location <u>Southwest corner of Cedar Ave &amp; 22<sup>nd</sup> St.</u> City Address or Block Number <u>217 N. 22<sup>nd</sup> St.</u> Number of lots <u>12</u> Gross acres <u>4.99</u> Net acres _____ Existing Zoning <u>C3</u> Proposed <u>C3</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____ Existing Land Use <u>Vac</u> Proposed Land Use <u>Business</u> Irrigation District # <u>1</u> Residential Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>0.</u> Parcel No. _____ Tax Dept. Review _____ Legal Description <u>A 4.99 acre tract of land, Being 3.84 acres out of 5 acres, out of Block 21, Hammonds Addition, City of McAllen, Vol 17 pg 187-188</u>
<b>Owner</b>	Name <u>Gosmar, LLC</u> <sup>Luis Carlos Gonzalez</sup> Phone <u>956-994-8334</u> Address <u>201 N. 10<sup>th</sup> St.</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u> E-mail <u>gosmarllc@hotmail.com</u>
<b>Developer</b>	Name <u>J Pena Construction</u> Phone <u>956-971-8705</u> Address <u>5808 N. 23<sup>rd</sup> St.</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u> Contact Person <u>Jose Pena</u> E-mail <u>JoseP@JPenaConstruction.com</u>
<b>Engineer</b>	Name <u>CLH Engineering, Inc.</u> Phone <u>956-222-5423</u> Address <u>701 S. 15<sup>th</sup> Street</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u> Contact Person <u>Cloromiro Hinojosa Jr.</u> E-mail <u>chinojosa@clhengineeringinc.com</u>
<b>Surveyor</b>	Name <u>Ivan Garcia</u> Phone <u>956-380-5152</u> Address <u>910 S. 10<sup>th</sup> Ave.</u> City <u>Edinburg</u> State <u>TX</u> Zip <u>78539 NM</u>





# LOCATION











# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 8/12/2021

<b>SUBDIVISION NAME: GOSMAR SUBDIVISION</b>	
<b>REQUIREMENTS</b>	
<b>STREETS AND RIGHT-OF-WAYS</b>	
N. 23rd Street (FM 1926): 25 ft. of additional ROW dedication required for 50 ft. from centerline for 100 ft. total ROW Paving: by the state Curb & gutter: by the state **Revise plat to show centerline and existing ROW on both sides. ***Need to show centerline to finalize dedication required for 50 ft. from centerline for 100 ft. ROW, prior to final. ****Plat shows a 20 ft. ROW & utility easement. No utility easements are allowed on the dedicated ROW, clarification needed prior to final approval *****City of McAllen Thoroughfare Plan	Non-compliance
Cedar Avenue: min. 60 ft. ROW; if commercial Paving: 40 ft. Curb & gutter: both sides *Is the 20 ft. ROW & utility easement shown proposed to be dedicated ROW for 70 ft.? *30 ft. easement shown along Cedar Avenue missing document number. **Clarification needed, if the 30 ft. easement shown is proposed by plat, existing, or will it be abandoned? ***City of McAllen Thoroughfare Plan	Non-compliance
Interior streets: 60 ft. ROW Paving: 40 ft. Curb & gutter: both sides *Need to finalize corner clips once ROW's are revised to 60 ft. **City of McAllen Thoroughfare Plan	Non-compliance
N. 22nd Street: 10 ft. ROW required for 60 ft. ROW Paving: 40 ft. Curb & gutter: both sides *Show centerline **City of McAllen Thoroughfare Plan	Non-compliance
* 800 ft. Block Length *Subdivision Ordinance: Section 134-118	NA
* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105	Applied
<b>ALLEYS</b>	
ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106	Non-compliance
<b>SETBACKS</b>	
* Front: Proposing 18 ft. at front entry garage 7.5 ft. at front for Lots 1-13 **Revise setbacks since the ones shown don't apply on this plat ***Variance letter required if proposed setbacks are less than the required by ordinance. ****Clarify proposed use to determine setbacks, application submitted indicates proposed use is C-3 **Zoning Ordinance: Section 138-356	Non-compliance
* Rear: Proposing 7.5 for Lots 14-21 Proposing 5 ft. for Lots 1-13 *Need to revise setbacks since the ones shown do not apply to this plat **Double fronting lots must comply with setbacks ***Zoning Ordinance: Section 138-356	Non-compliance

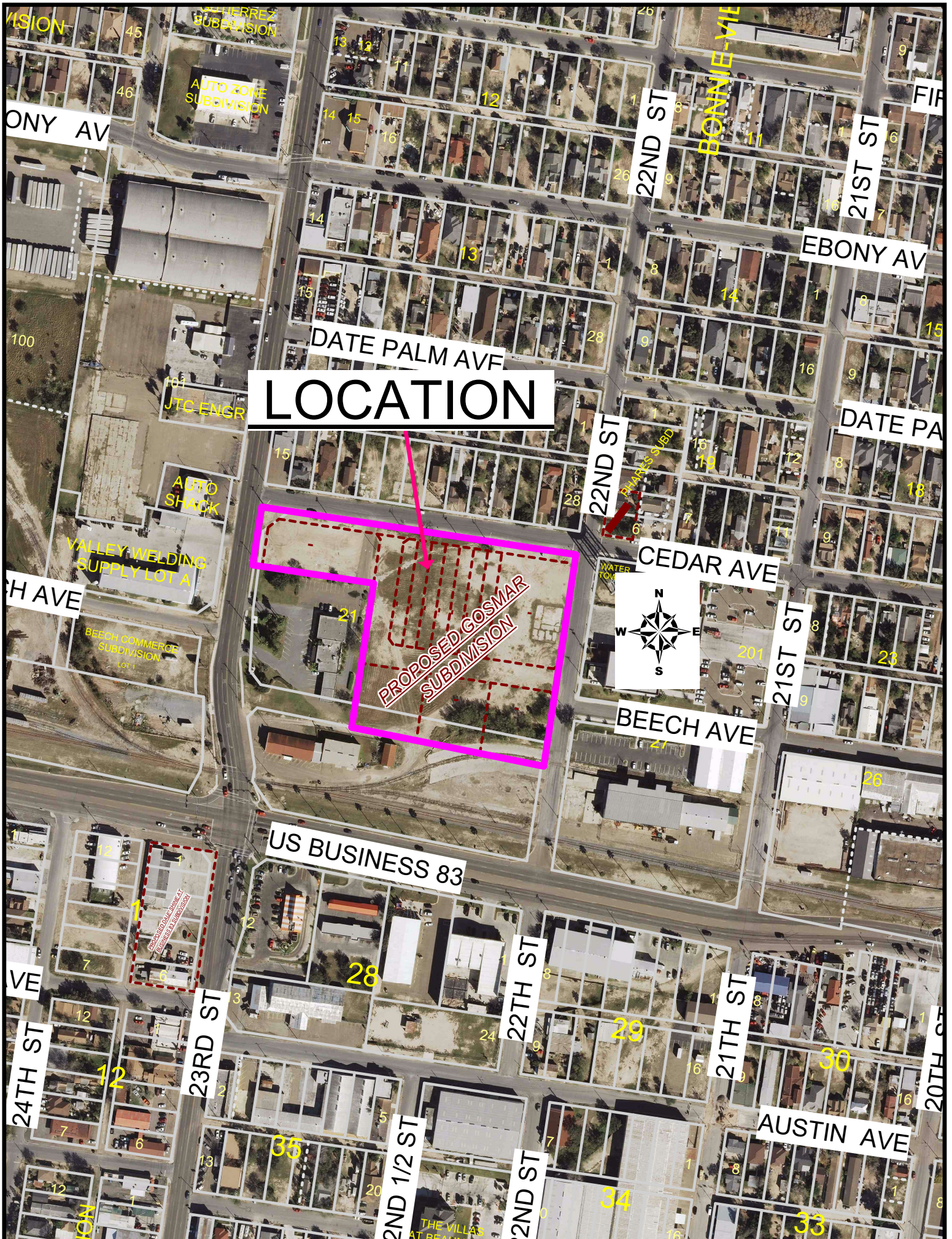


<ul style="list-style-type: none"> <li>* Sides: In accordance with the zoning ordinance or greater for approved site plan or easement</li> <li>**Zoning Ordinance: Section 138-356</li> <li>* Corner side: 10 ft. or greater for easements, or approved site plan, whichever is greater</li> <li>*Revise plat as noted above prior to final</li> <li>**Zoning Ordinance: Section 138-356</li> <li>* Garage: Proposing 18 ft. at front entry garage</li> <li>**Pending clarification on which lots are proposed to have a garage</li> <li>***Zoning Ordinance: Section 138-356</li> <li>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</li> </ul>	Applied
	Non-compliance
	Non-compliance
	Applied
<b>SIDEWALKS</b>	
<ul style="list-style-type: none"> <li>* 5 ft. wide minimum sidewalk required on N. 23rd Street, and a 4 ft. wide minimum sidewalk required along Cedar Avenue, N. 22nd Street, and both sides of interior streets</li> <li>**Revise plat as shown above. Note #3 references Dove Avenue.</li> <li>**Subdivision Ordinance: Section 134-120</li> <li>* Perimeter sidewalks must be built or money escrowed if not built at this time.</li> </ul>	Non-compliance
	Applied
<b>BUFFERS</b>	
<ul style="list-style-type: none"> <li>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses</li> <li>*Additional buffer as may be required, prior to final</li> <li>**Landscaping Ordinance: Section 110-46</li> <li>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses</li> <li>multi-family residential zones/uses.</li> <li>**Landscaping Ordinance: Section 110-46</li> <li>*Perimeter buffers must be built at time of Subdivision Improvements.</li> </ul>	Applied
	Required
	Applied
<b>NOTES</b>	
<ul style="list-style-type: none"> <li>* No curb cut, access, or lot frontage permitted along</li> <li>**City of McAllen Thoroughfare Plan</li> <li>* Site plan must be approved by the Planning and other Development Departments prior to final. Common site plan for parking, landscaping, needed to establish requirements prior to final.</li> <li>* Common Areas, private streets, service drives, etc. must be maintained by the lot owners and not the City of McAllen</li> <li>* Common areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</li> <li>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</li> <li>*Section 110-72 if public</li> <li>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</li> <li>**Pending clarification on proposed use.</li> <li>***HOA covenants need to be recorded simultaneously with plat.</li> <li>****Subdivision Ordinance: Section 110-72</li> </ul>	TBD
	Required
	Required
	Applied
	Applied
	TBD
<b>LOT REQUIREMENTS</b>	
<ul style="list-style-type: none"> <li>* Lots fronting public streets</li> <li>**Zoning Ordinance: Section. 138-356</li> </ul>	Compliance



* Minimum lot width and lot area **Lots shown with 30 ft. width do not meet minimum requirement of 50 ft. **Zoning Ordinance: 138-1	Non-compliance
<b>ZONING/CUP</b>	
* Existing: C-3 Proposed: C-3 **Pending clarification prior to final ***Rezoning needed if residential lots are proposed	Non-compliance
* Rezoning Needed Before Final Approval **Zoning Ordinance: Article V	Non-compliance
<b>PARKS</b>	
* Land dedication in lieu of fee	NA
* Park Fee of \$700 per dwelling unit/lot to be paid prior to recording **Pending clarification on number of proposed residential lots to establish fee to be paid prior to recording	Non-compliance
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
<b>TRAFFIC</b>	
* Trip Generation needed per Traffic Department to determine if TIA is required, prior to final plat.	Non-compliance
* Traffic Impact Analysis (TIA) required prior to final plat.	TBD
<b>COMMENTS</b>	
Comments: *Must comply with City's Access Management Policy **Label any ROW being dedicated as being dedicated by plat ***Show document numbers for easements referenced along Cedar Avenue and 50 ft. utility easement ****Pending clarification on proposed land use to establish use of property to determine setbacks prior to final approval. *****Clarification on environmental impact studies for testing previously done on proposed subdivision *****Rezoning needs to be approved prior to final approval *****If CUP's are needed, application needs to be submitted. *****HOA may be needed for the maintenance of any interior streets/detention areas, needed for review prior to final *****Does the survey show any gas easements? even if abandoned.- reference plat accordingly prior to final	Applied
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO CONDITIONS NOTED, UTILITIES, AND DRAINAGE APPROVALS.	Applied





LOCATION

PROPOSED GOSMAR  
SUBDIVISION





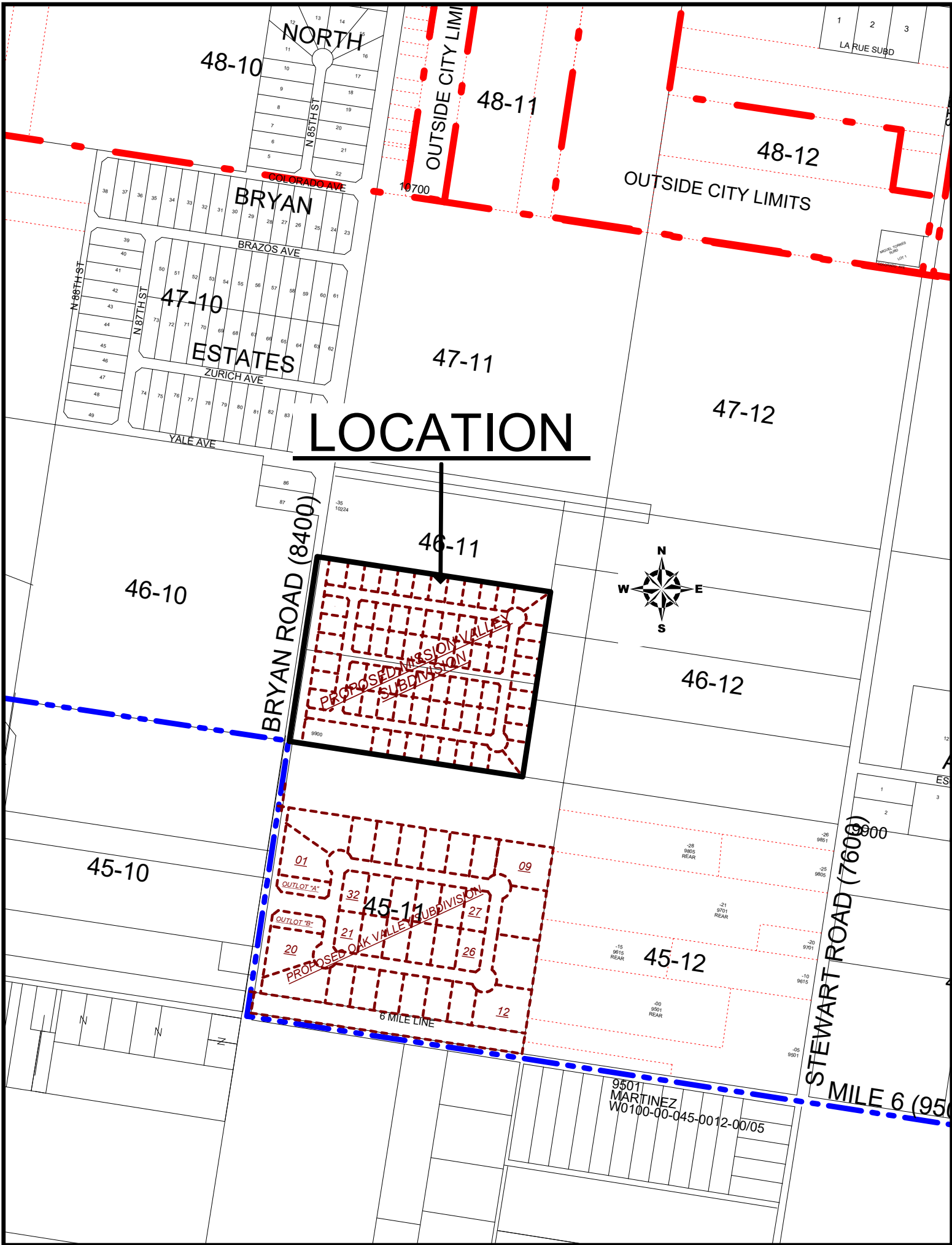


City of McAllen  
Planning Department  
**APPLICATION FOR  
SUBDIVISION PLAT REVIEW**

1300 Houston Avenue  
McAllen, TX 78501  
P. O. Box 220  
McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

<b>Project Description</b>	<p>Subdivision Name <u>Mission Village Subdivision</u></p> <p>Location <u>1300 ft north of 6 mile line and Bryan Rd on East Side</u></p> <p>City Address or Block Number _____</p> <p>Number of lots <u>71</u> Gross acres <u>22.80</u> Net acres <u>21.60</u></p> <p>Existing Zoning <u>A0</u> Proposed <u>R-2</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>Vacant</u> Proposed Land Use <u>Fourplex</u> Irrigation District # _____</p> <p>Residential Replat Yes <input type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> ETJ Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></p> <p>Agricultural Tax Exemption Yes <input type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due _____</p> <p>Legal Description <u>22.80 Acres of 46-11, 46-12 of</u> <u>West Addition to Sherylend plantations Subdivision</u></p>
<b>Owner</b>	<p>Name <u>Paradisi Investment LLC / Gregail Moya</u> Phone <u>956-408-0267</u></p> <p>Address <u>6732 N. 4th St.</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u></p> <p>E-mail <u>zeke.moya@gmail.com</u></p>
<b>Developer</b>	<p>Name <u>North Bryan and Mile 6 LLC</u> Phone _____</p> <p>Address <u>8430 Blvd Heron Court</u></p> <p>City <u>Fort Worth</u> State <u>TX</u> Zip <u>76108</u></p> <p>Contact Person <u>Zac Henson</u></p> <p>E-mail <u>zhenson@gmail.com</u></p>
<b>Engineer</b>	<p>Name <u>MaS Engineering LLC</u> Phone <u>956-537-1311</u></p> <p>Address <u>3911 W 10th St Suite H</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u></p> <p>Contact Person <u>Mario Salinas</u></p> <p>E-mail <u>msalinas6973@att.net</u></p>
<b>Surveyor</b>	<p>Name <u>Salinas Engineering/Assocks</u> Phone _____</p> <p>Address <u>2221 Daffodil Ave</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u></p> <p>E-mail <u>asalinas@salinasengineering.com</u></p>





# LOCATION

46-11

46-10

46-12

45-10

45-12

45-11

48-10

48-11

48-12

47-10

47-11

47-12

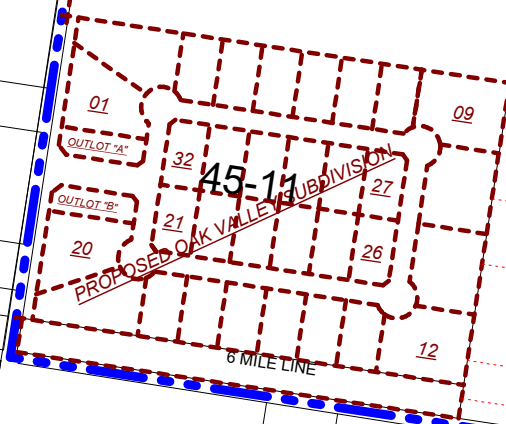
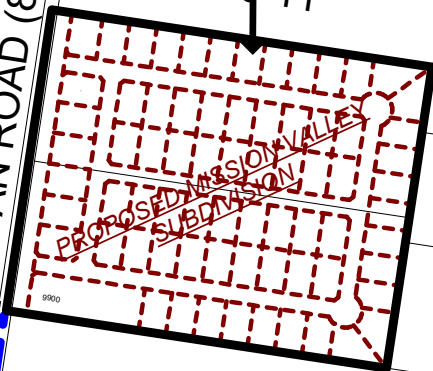
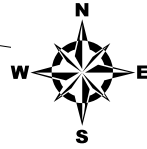
BRYAN

ESTATES

NORTH

1	2	3
LA RUE SUBD		

ES



STEWART ROAD (7600)  
MILE 6 (9500)

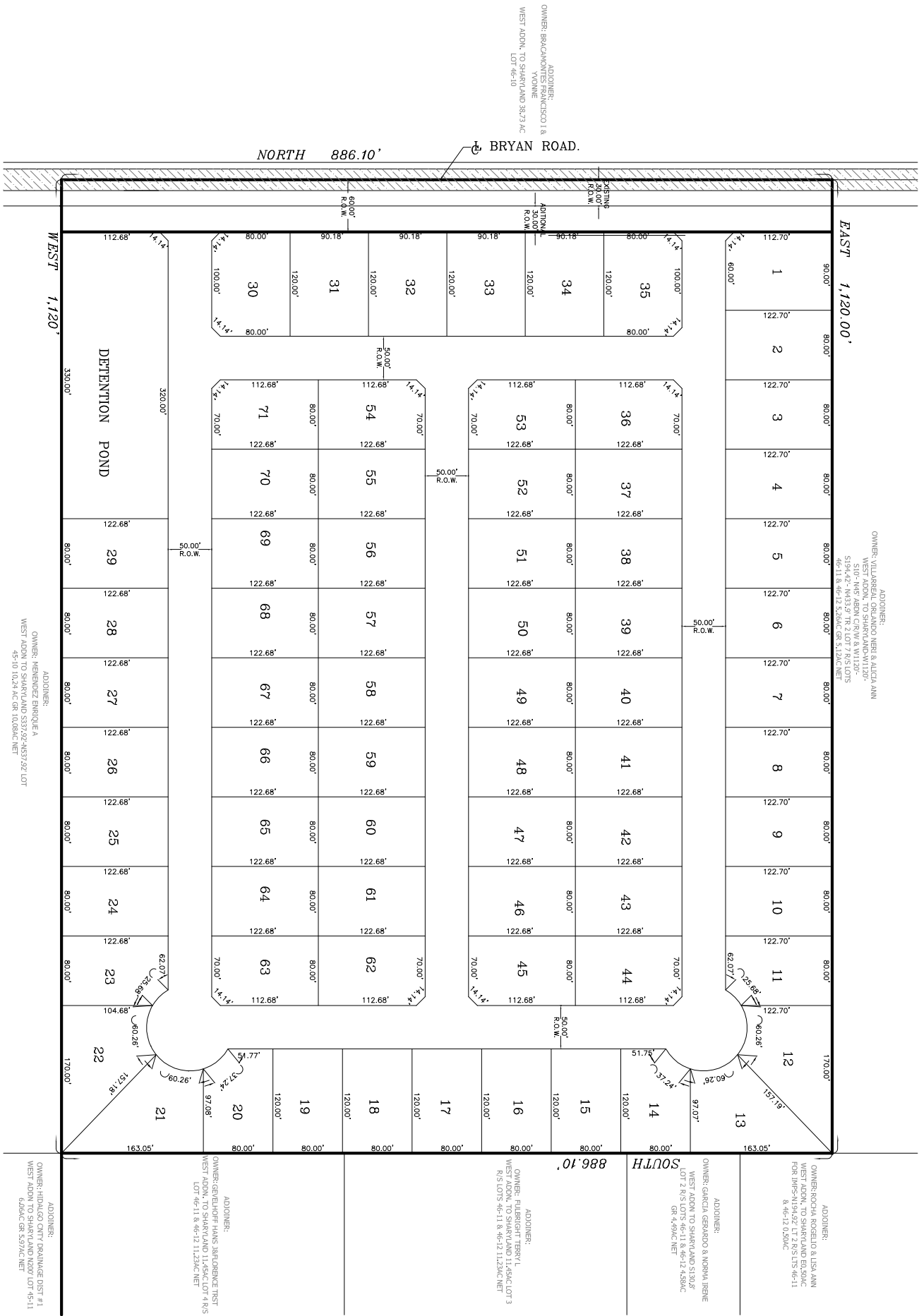
9501  
MARTINEZ  
W0100-00-045-0012-00/05



MAP  
OF  
MISSION VILLAGE SUBDIVISION  
HIDALGO COUNTY, TEXAS



A 22.8 ACRE TRACT OUT OF ALL LOTS 5 AND 6, RESUBDIVISION OF LOTS 46-11 & 46-12, WEST ADDITION TO SHARPLAND, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP RECORDED IN VOLUME 15, PAGE 40, MAP RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE ALL PURPOSES.



DATE OF PREPARATION JUNE-01-21





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 8/2/2021

### SUBDIVISION NAME: MISSION VILLAGE SUBDIVISION

#### REQUIREMENTS

##### STREETS AND RIGHT-OF-WAYS

N. Bryan Road: 30 ft. additional ROW dedication for 60 ft. from centerline for 120 ft. ROW  
Paving: 65 ft. Curb & gutter: both sides  
\*Remove shading from existing ROW shown along N. Bryan Road.  
\*Must escrow monies if improvements are not built prior to recording  
\*\*COM Thoroughfare Plan

Non-compliance

6 1/2 Mile North Road (south boundary): 40 ft. ROW dedication required for 80 ft. ROW  
Paving: 52 ft. Curb & gutter: both sides  
\*Revise plat accordingly to reflect required dedication for Mile 6 1/2 North Road shown on the City's Thoroughfare Plan  
\*\*Money needs to be escrowed if improvements are not built prior to recording  
\*\*\*City of McAllen Thoroughfare Plan

Non-compliance

Interior Streets: 60 ft. required ROW  
Paving: 40 ft. Curb & gutter: both sides  
\*Revise plat accordingly  
\*\*City of McAllen Thoroughfare Plan

Non-compliance

N/S collector (east boundary): 40 ft. ROW dedication required for 80 ft.  
Paving: 52 ft. Curb & gutter: both sides  
\*Provide vicinity map to confirm no future collector roads are impacting the proposed development.  
\*City of McAllen Thoroughfare Plan

Non-compliance

\* 800 ft. Block Length  
\*Subdivision Ordinance: Section 134-118

Applied

\* 600 ft. Maximum Cul-de-Sac  
\*Some streets appear to exceed 600 ft. in length. Label plat accordingly to determine if it needs to be revised prior to final, or if a variance will be requested  
\*\*Subdivision Ordinance: Section 134-105

Non-compliance

##### ALLEYS

ROW: 20 ft. Paving: 16 ft.  
\*Alley/service drive easement required for commercial properties  
\*\*Public Works reviewing requirements for R-3A use prior to final.  
\*\*\*Subdivision Ordinance: Section 134-106

TBD

##### SETBACKS

\* Front: Proposing 25 ft. or greater for easement  
\*Zoning Ordinance: Section 138-356  
\* Rear: Proposing 10 ft. or greater for easements, except 25 ft. for double fronting lots.  
\*\*Zoning Ordinance: Section 138-356  
\* Sides: Proposing 6 ft. or greater for easements  
\*\*Zoning Ordinance: Section 138-356

Applied

Non-compliance

Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<ul style="list-style-type: none"> <li>* Corner side: 10 ft. or greater for easements</li> <li>*Include corner setbacks reference on plat as shown above</li> <li>**Zoning Ordinance: Section 138-356</li> <li>* Garage: Proposing 18 ft. except where greater setback is required, grater setback applies</li> <li>*Revise note as shown above</li> <li>*Zoning Ordinance: Section 138-356</li> <li>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</li> </ul>	Non-compliance
	Non-compliance
	Applied
<b>SIDEWALKS</b>	
<ul style="list-style-type: none"> <li>* 4 ft. wide minimum sidewalk required on N. Bryan Road, Mile 6 1/2 North Road and both sides of all interior streets.</li> <li>**Will also apply for any N/S collector streets that may impact the proposed subdivision.</li> <li>*Revise plat as noted above</li> <li>**Subdivision Ordinance: Section 134-120</li> <li>* Perimeter sidewalks must be built or money escrowed if not built at this time.</li> </ul>	Non-compliance
	Required
<b>BUFFERS</b>	
<ul style="list-style-type: none"> <li>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, and along N. Bryan Rd. and Mile 6 1/2 North Road</li> <li>**Revise note as shown above</li> <li>***Also along any N/S collector road, if applicable</li> <li>****Landscaping Ordinance: Section 110-46</li> <li>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses</li> <li>**Landscaping Ordinance: Section 110-46</li> <li>*Perimeter buffers must be built at time of Subdivision Improvements.</li> </ul>	Non-compliance
	Applied
	Required
<b>NOTES</b>	
<ul style="list-style-type: none"> <li>* No curb cut, access, or lot frontage permitted along</li> <li>*City's Access Management Policy</li> <li>* Site plan must be approved by the Planning and other Development Departments prior to building permit issuance.</li> <li>* Common areas, private streets, service drives, etc. must be maintained by the lot owners and not the City of McAllen</li> <li>*Clarify if subdivision will be private or public</li> <li>**Section 110-72 applies if public subdivision is proposed</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>* Common areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</li> <li>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</li> <li>*Label detention pond with a letter or number, and indicate on the HOA's the responsible party for its maintenance</li> <li>**Vegetation Ordinance: Section 110-72, if public</li> <li>**Subdivision Ordinance: Section 134-168, if private</li> <li>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</li> <li>**Subdivision Ordinance: Section 110-72, if public</li> </ul>	TBD
	Required
	Non-compliance
	NA
	Non-compliance
	Applied

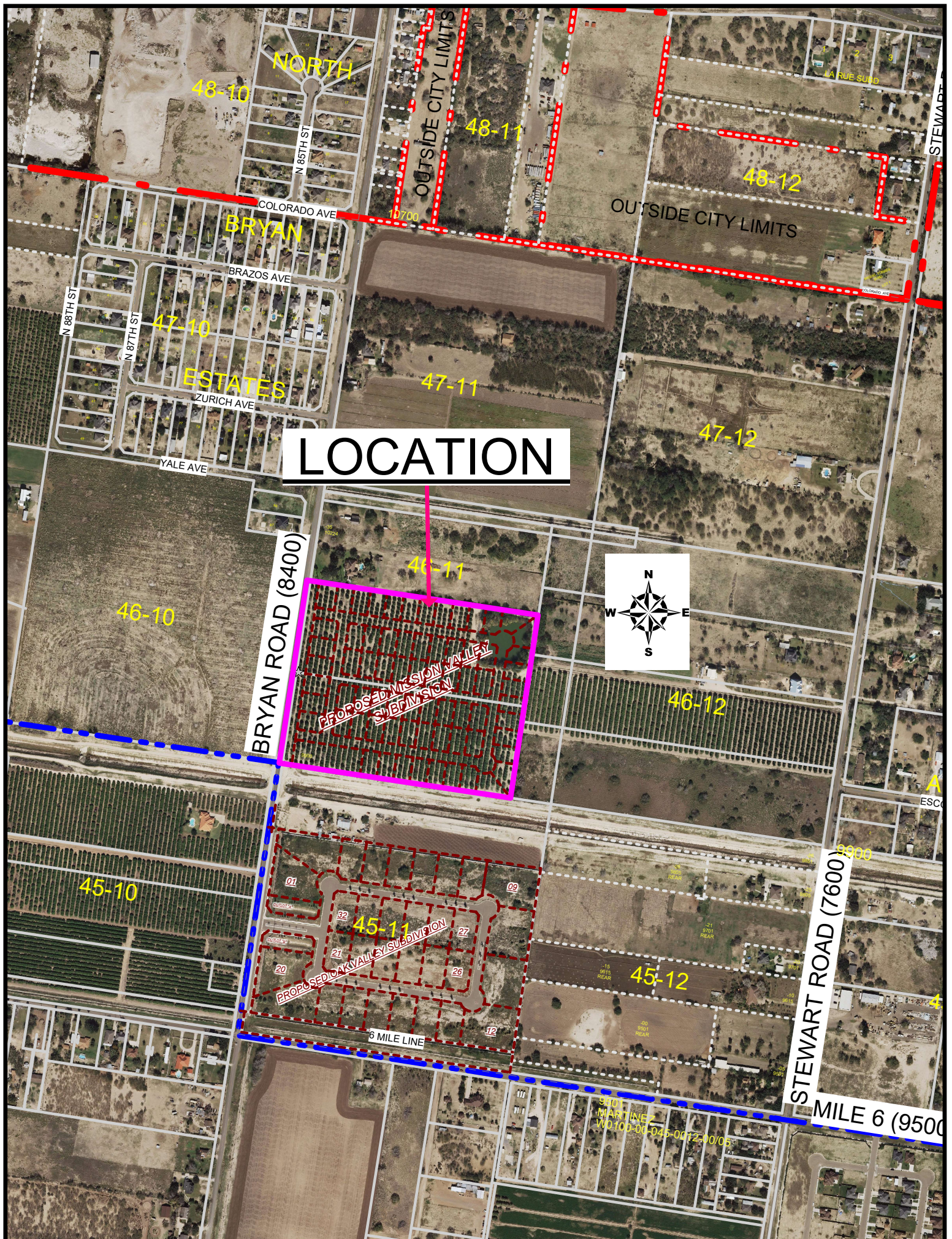
**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



LOT REQUIREMENTS	
* Lots fronting public streets **Zoning Ordinance: Section. 138-356	Compliance
* Minimum lot width and lot area **Zoning Ordinance: 138-1	Compliance
ZONING/CUP	
* Existing: ETJ Proposed: R-3A *Subdivision application shows proposed use to be R-2; rezoning application filed for R-3A to be presented at P&Z on August 17th, 2021 and City Commission on September 13, 2021. Application needs to be corrected.	Non-compliance
* Rezoning Needed Before Final Approval	Required
PARKS	
* Land dedication in lieu of fee	TBD
* Park Fee of \$700 per dwelling unit/lot to be paid prior to recording. Property is currently in the ETJ; annexation request, and rezoning application to R-3A have been filed. If 284 units are proposed x \$700 = \$198,800 are due prior to recording. Fees will be adjusted accordingly if number of units change. *Pending review by the Park Land Dedication Advisory Board once annexation is completed to determine if land dedication or fee will be required.	Non-compliance
* Pending review by the Parkland Dedication Advisory Board and CC. *Once annexation is completed, review by the Park Land Dedication Advisory Board is required prior to final approval.	Non-compliance
TRAFFIC	
* Trip Generation needed per Traffic Department to determine if TIA is required, prior to final plat.	Non-compliance
* Traffic Impact Analysis (TIA) required prior to final plat.	TBD
COMMENTS	
Comments: *Must comply with City's Access Management Policy **Surrounding property/ownership map to assure no landlock property exists or additional streets are required prior to final ***NE corner of plat - there appears to be a pond.- will it be removed? ****Wording for signature block to required on plat, as per City Ordinance. Revise plat accordingly prior to final and include signature block required. *****Revise width of interior streets to 60 ft, minimum required for multi-family *****Label street length for all interior streets *****40 ft. of ROW dedication required for Mile 6 1/2 North Road per City of McAllen Thoroughfare Plan. *****Pending review by the Park Land Dedication Advisory Board once annexation is completed *****Money needs to be escrowed if improvements are not built prior to recording	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO CONDITIONS NOTED, UTILITIES, AND DRAINAGE APPROVALS.	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**





# LOCATION



SUB2020-0048



City of McAllen  
Planning Department

311 North 15<sup>th</sup> Street  
McAllen, TX 78501  
P. O. Box 220  
McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

APPLICATION FOR

SUBDIVISION PLAT REVIEW

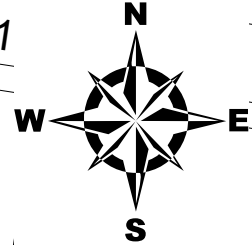
Project Description	<p>Subdivision Name <u>Garcia Estates</u></p> <p>Location <u>SW C Gumwood Avenue &amp; 29th St.</u></p> <p>City Address or Block Number <u>2901 Gumwood</u></p> <p>Number of lots <u>3</u> Gross acres <u>0.40</u> Net acres <u>0.40</u></p> <p>Existing Zoning <u>R1</u> Proposed <u>R1</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>vacant</u> Proposed Land Use <u>single family</u> Irrigation District # _____</p> <p>Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due <u>0</u></p> <p>Parcel No. <u>185437</u> Tax Dept. Review <u>Norma Guerra</u></p> <p>Legal Description <u>Approx. 0.40 ac. being East 1/2 Lot 1 of Reub. of N. 1/2 L 72 &amp; 73 BL 2 C &amp; Hammond aka Lot 1 Unicorn Acres</u></p>
Owner	<p>Name <u>Sonia Garcia / Erik J. Mora</u> Phone <u>956 (956) 381-0981</u></p> <p>Address <u>7608 N. 20th St.</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u></p> <p>E-mail <u>90ruben@meldenandhunt.com</u></p>
Developer	<p>Name <u>Sonia Garcia / Erik J. Mora</u> Phone <u>956 (956) 381-0981</u></p> <p>Address <u>7608 N. 20th St.</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u></p> <p>Contact Person <u>Sonia Garcia</u></p> <p>E-mail <u>sonia910@yahoo.com</u></p>
Engineer	<p>Name <u>Melden &amp; Hunt, Inc.</u> Phone <u>(956) 381-0981</u></p> <p>Address <u>115 W. McIntyre</u></p> <p>City <u>Edinburg</u> State <u>TX</u> Zip <u>78541</u></p> <p>Contact Person <u>Ruben James De Jesus</u></p> <p>E-mail <u>ruben@meldenandhunt.com</u></p>
Surveyor	<p>Name <u>Melden &amp; Hunt, Inc.</u> Phone <u>(956) 381-0981</u></p> <p>Address <u>115 W. McIntyre St.</u></p> <p>City <u>Edinburg</u> State <u>TX</u> Zip <u>78541</u></p>

Ret # 728117 Pd \$300

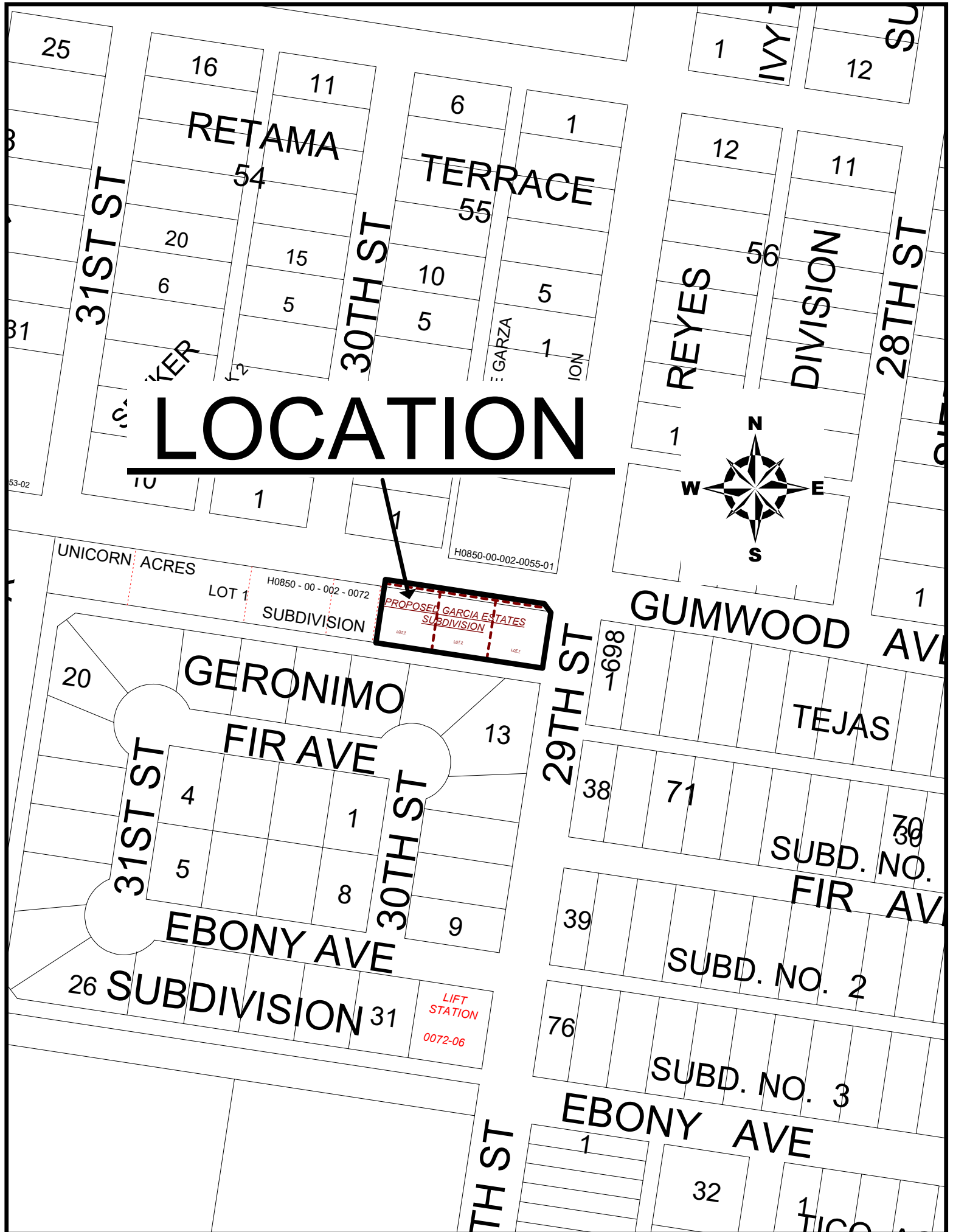




# LOCATION



PROPOSED GARCIA ESTATES  
SUBDIVISION





SPYKER SUBDIVISION,  
VOL. 15, PG. 7,  
H.C.M.R.

HINOJOSA ARTURO JR.

GUMWOOD AVENUE

P.O.B.

P.O.C.  
N.E. COR. LOT 1,  
UNICORN ACRES

THE FERNANDO GONZALEZ,  
TRUSTEE OF THE MODESTO GONZALEZ  
MANAGEMENT TRUST TRACT: THE EAST  
300.0 FEET OF THE WEST 60.0 FEET  
OF LOT 1, UNICORN ACRES,  
S.W.D. DOC. No. 2205761, H.C.O.R.

N 08° 15' 34" E

81.66'

3  
5490.864 SQ. FT.  
0.126 AC.

15.00' U.E. DEDICATED  
BY THIS PLAT

2  
5490.864 SQ. FT.  
0.126 AC.

1  
5490.864 SQ. FT.  
0.126 AC.

10.00' U.E.  
DEDICATED  
BY THIS PLAT

S 08° 23' 19" W

14.15'

THE CITY OF McALLEN TRACT:  
A 0.020 OF AN ACRE TRACT OUT OF  
LOT 1, UNICORN ACRES,  
W.D. DOC. No. 1112323, H.C.O.R.

N. 29TH STREET

N:16602719.974  
E:1065158.649

100' ALLEY

N:16602688.586  
E:1065371.416

16

15

GERONIMO SUBDIVISION,  
VOL. 20, PG. 169, H.C.M.R.

14

13



BEARING BASIS AS PER  
GERONIMO SUBDIVISION  
VOL. 20, PG. 169 H.C.M.R.

SCALE: 1" = 40'

# PLAT OF **GARCIA ESTATES SUBDIVISION**

BEING A RESUBDIVISION OF 0.40 OF ONE ACRE SITUATED IN THE CITY OF McALLEN,  
HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF LOT 1, UNICORN ACRES,  
ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 4, PAGE 3, HIDALGO  
COUNTY MAP RECORDS, AND ACCORDING TO WARRANTY DEED WITH VENDOR'S LIEN  
RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 2734788,  
HIDALGO COUNTY OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 8/12/2021

<b>SUBDIVISION NAME: GARCIA ESTATES</b>	
<b>STREETS AND RIGHT-OF-WAYS</b>	
N. 29th Street: 10 ft. ROW dedication required for 50 ft. from centerline required for 100 ft. total ROW Paving: min. 52 ft. Curb & gutter: Both sides *Variance letter submitted by engineer dedicating 5 ft. of additional ROW for N. 29th Street instead of the required 10 ft.	Non-compliance
Gumwood Avenue: 20 ft. dedication required for 40 ft. from centerline for a total of 80 ft. ROW Paving: min. 52 ft. Curb & gutter: Both sides *Variance letter received proposing 10 ft. of additional ROW instead of the required 20 ft. along Gumwood Avenue.	Non-compliance
* 800 ft. Block Length	Compliance
* 600 ft. Maximum Cul-de-Sac	NA
<b>ALLEYS</b>	
ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Existing alley to the south currently not paved. ***Review Sec. 134-106 re: alleys fronting collector/arterial roads	Non-compliance
<b>SETBACKS</b>	
* Front: 45 ft. or greater for approved site plan or easements **Please revise plat note as shown above prior to final.	Non-compliance
* Rear: 10 ft. or greater for approved site plan or easements	Applied
* Sides: 6 ft. or greater for approved site plan or easements	Applied
* Corner side: 25 ft. or greater for easements **Revise plat as noted above	TBD
* Garage: 18 ft. except where greater setback is required, greater setback applies	Applied
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
<b>SIDEWALKS</b>	
* 4 ft. wide minimum sidewalk required on Gumwood Avenue and N. 29th Street.	Applied
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
<b>BUFFERS</b>	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
<b>NOTES</b>	
* No curb cut, access, or lot frontage permitted along **Engineer to show access locations due to Gumwood Avenue being a collector road requiring 200 ft. spacing between accesses	TBD
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	NA



* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Common Areas, Private Streets, service drives, etc. must be maintained by the lot owners and not the City of McAllen	Applied
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies for public subdivisions	Applied
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **If proposed number of lots changes, new requirements might be triggered.	NA
<b>LOT REQUIREMENTS</b>	
* Minimum lot width and lot area	Compliance
* Lots fronting public streets	Compliance
<b>ZONING/CUP</b>	
* Existing: R-1 Proposed: R-1 (Single Family Residences)	Compliance
* Rezoning not required if proposed use is single family residences.	NA
<b>PARKS</b>	
* Land dedication in lieu of fee	NA
* Park Fee of \$700 per dwelling unit/lot to be paid prior to recording. Per parks Department \$700 x 3 lots = \$2,100	Required
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
<b>TRAFFIC</b>	
* As per Traffic Department, Trip Generation waived for three single family residences. No TIA required.	Completed
* As per Traffic Dept., Traffic Impact Analysis (TIA) not required prior to final plat.	NA
<b>COMMENTS</b>	
Comments: *Must comply with City's Access Management Policy **Clarify ROW dedication on Gumwood Avenue and N. 29th Street Subdivision was approved in preliminary form at the P&Z meeting of August 18, 2020. Plat needs to be revised to match variance letter request before it can be presented to P&Z Board. ***Provide an exhibit showing the ROW being dedicated, the existing ROW and where the missing ROW will be acquired from ****Review sec. 134-106 re: lots fronting collector/arterial roads	Applied
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM, SUBJECT TO CONDITIONS NOTED AND CLARIFICATION ON THE REQUESTED VARIANCES.	Applied




31ST ST

30TH ST

28TH ST



RETAMA



TERRACE

GUMWOOD AVE

# GERONIMO

FIR AVE

31ST ST

30TH ST

EBONY AVE 3

**SUBDIVISION**

29TH ST

FIR AVE

EBONY AVE

TS





TBPELS Firm # F-1435  
TBPELS # 10096900

MELDEN & HUNT INC.

CONSULTANTS • ENGINEERS • SURVEYORS

FRED L. KURTH • ALLAN F. BOOE • KELLEY A. HELLER-VELA • ROBERTO N. TAMEZ • MARIO A. REYNA • RUBEN JAMES DE JESUS

May 13, 2021

Edgar Garcia, Planning Director  
**CITY OF MCALLEN PLANNING DEPT.**  
311 N. 15<sup>TH</sup> St.  
McAllen, TX 78501

**RE: Variance for Additional R.O.W. Requirement - Garcia Estates**

Dear Mr. Garcia:

On behalf of the owners, Sonia Garcia & Erik Mora, Melden and Hunt, Inc. is requesting a variance to the additional right-of-way being required by City of McAllen Planning Department for **GARCIA ESTATES**.

We will dedicate an additional 10 feet of right of way in lieu of the required 20 feet on Gumwood Avenue. The dedicated 10 feet would complete a 50-foot road right-of-way for Gumwood Avenue fronting **GARCIA ESTATES** which will leave room for the future right-of-way to be 60-feet if the adjacent property to the north dedicates an additional 10 feet. In our observation of the Gumwood corridor at a minimum of a ¼ mile to the West and East of our site, there is a maximum right of way of 50 feet. Due to the nature of the existing improvements along this corridor an 80-foot right-of-way would not be feasible.

In addition, we will dedicate an additional 5 feet of right of way in lieu of the required 10 feet on 29<sup>th</sup> Street. The dedicated 5 feet would complete a 75-foot road right-of-way for 29<sup>th</sup> Street fronting **GARCIA ESTATES**.

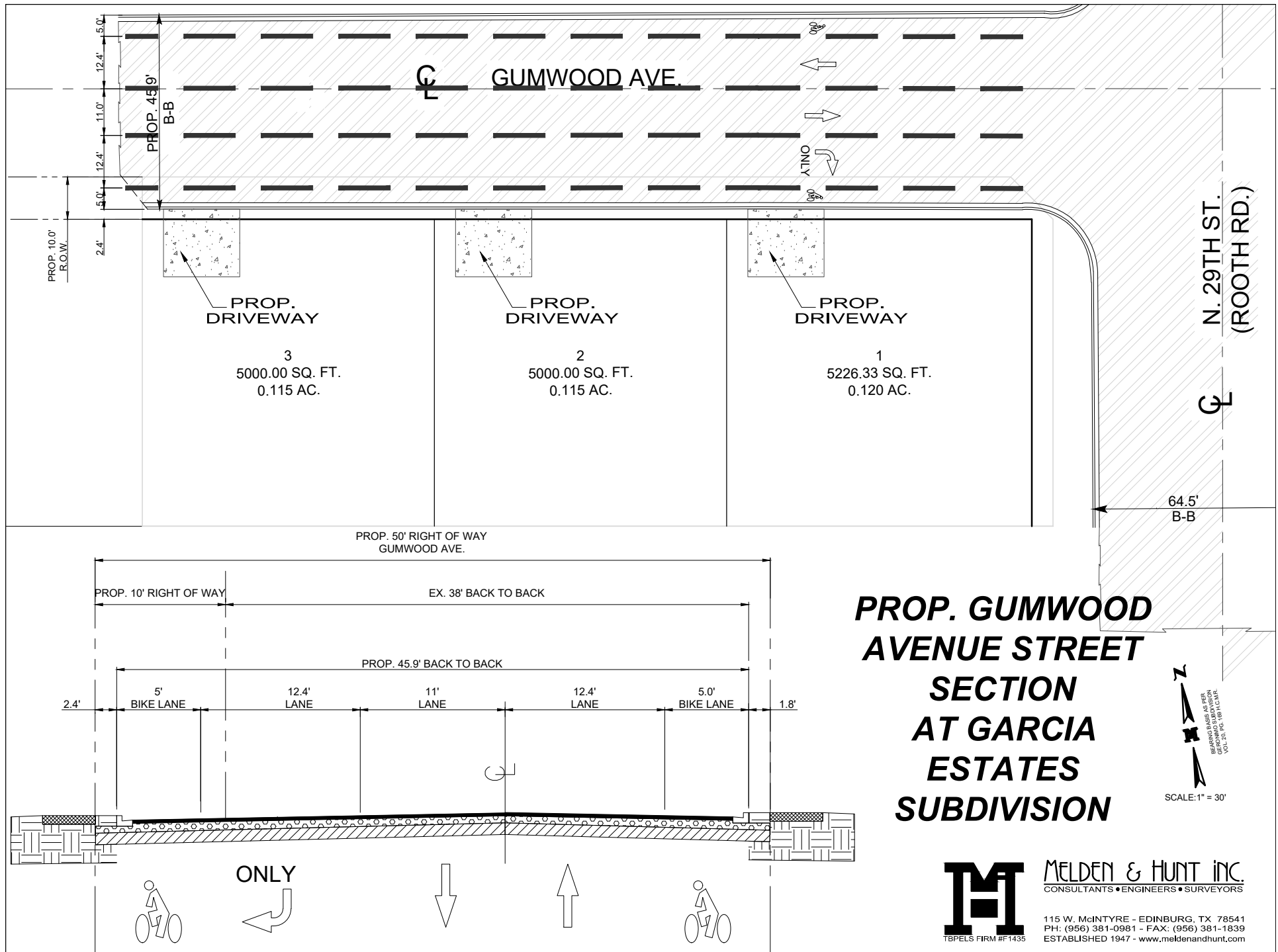
If you need additional information, please don't hesitate to contact us. We look forward to presenting this item at your next P&Z Meeting. Thank you.

Sincerely,

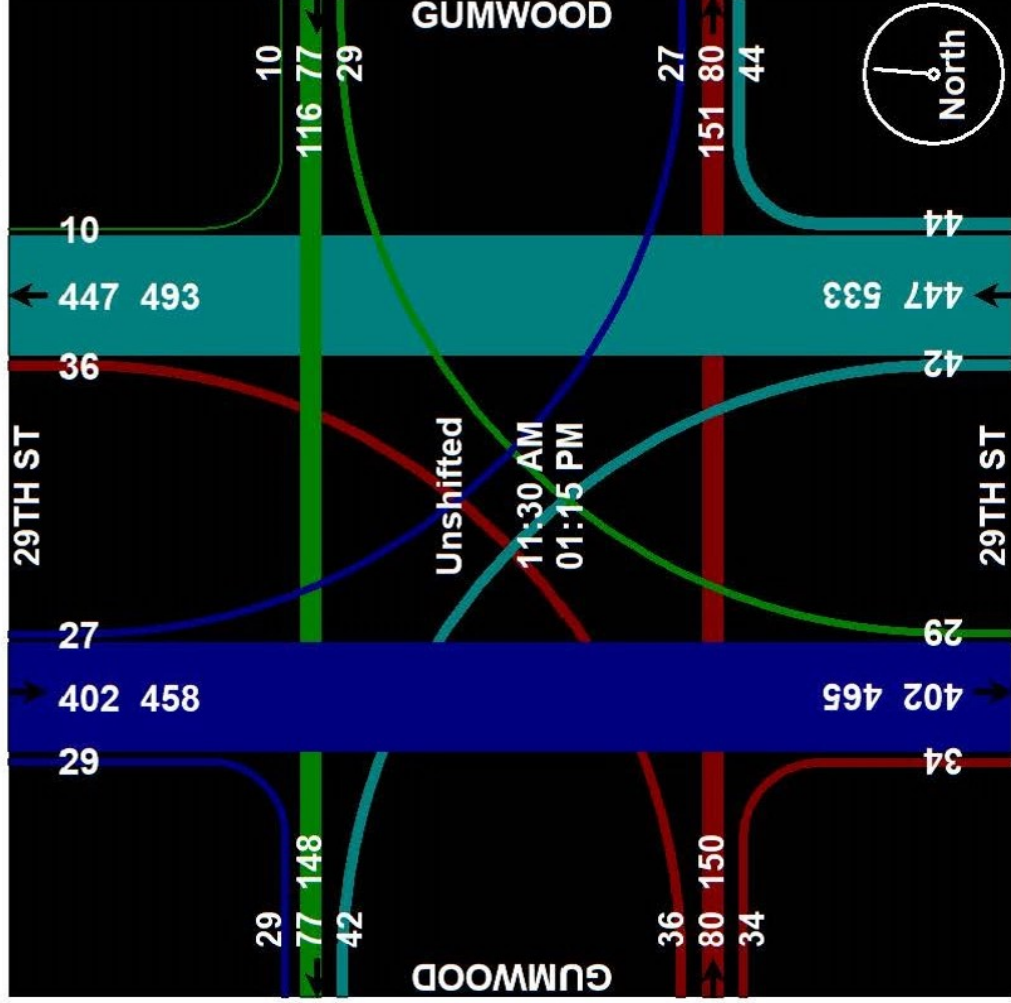


Ruben James De Jesus, P.E., R.P.L.S.  
Vice President











File Name : Noon Peak Hours  
Site Code : 00000000  
Start Date : 6/8/2021  
Page No : 3



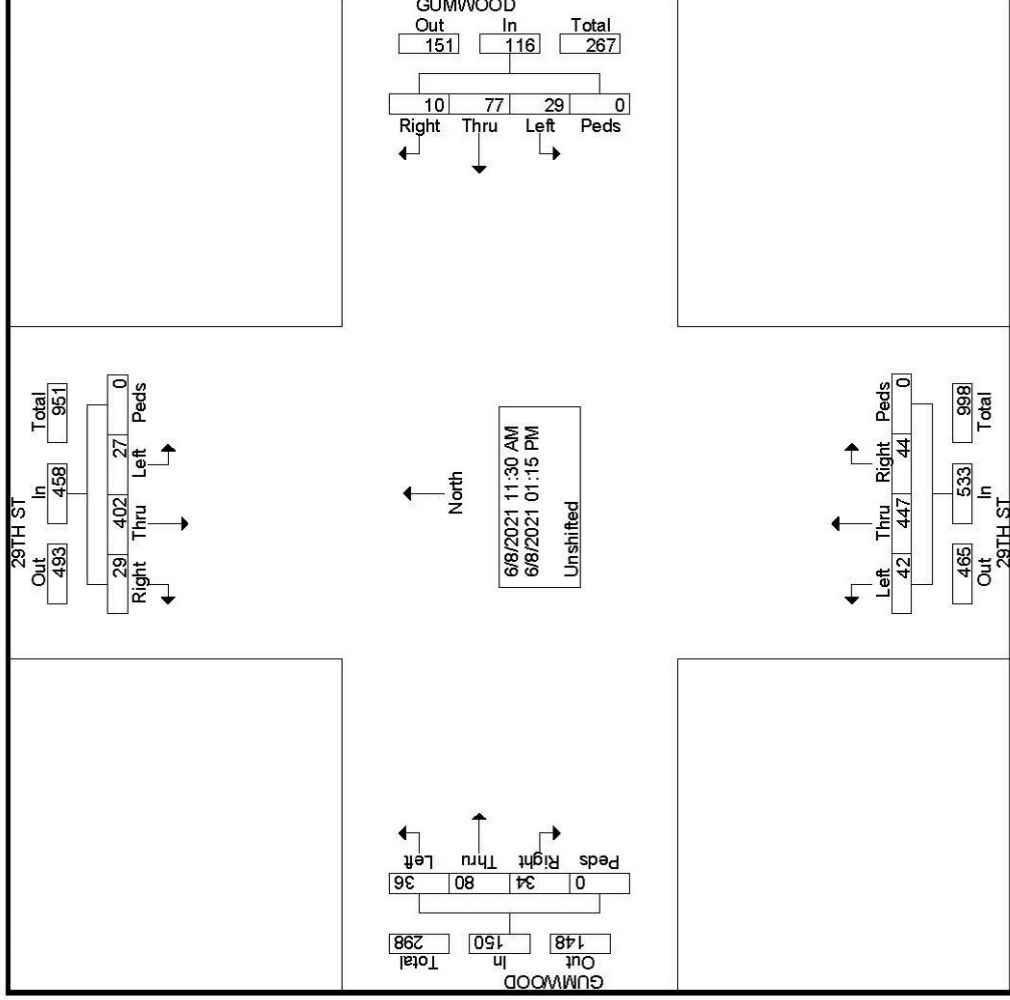


Default Comments  
Change These in The Preferences Window  
Select File/Preference in the Main Screenshot  
Then Click the Comments Tab

File Name : Noon Peak Hours  
Site Code : 00000000  
Start Date : 6/8/2021  
Page No : 1

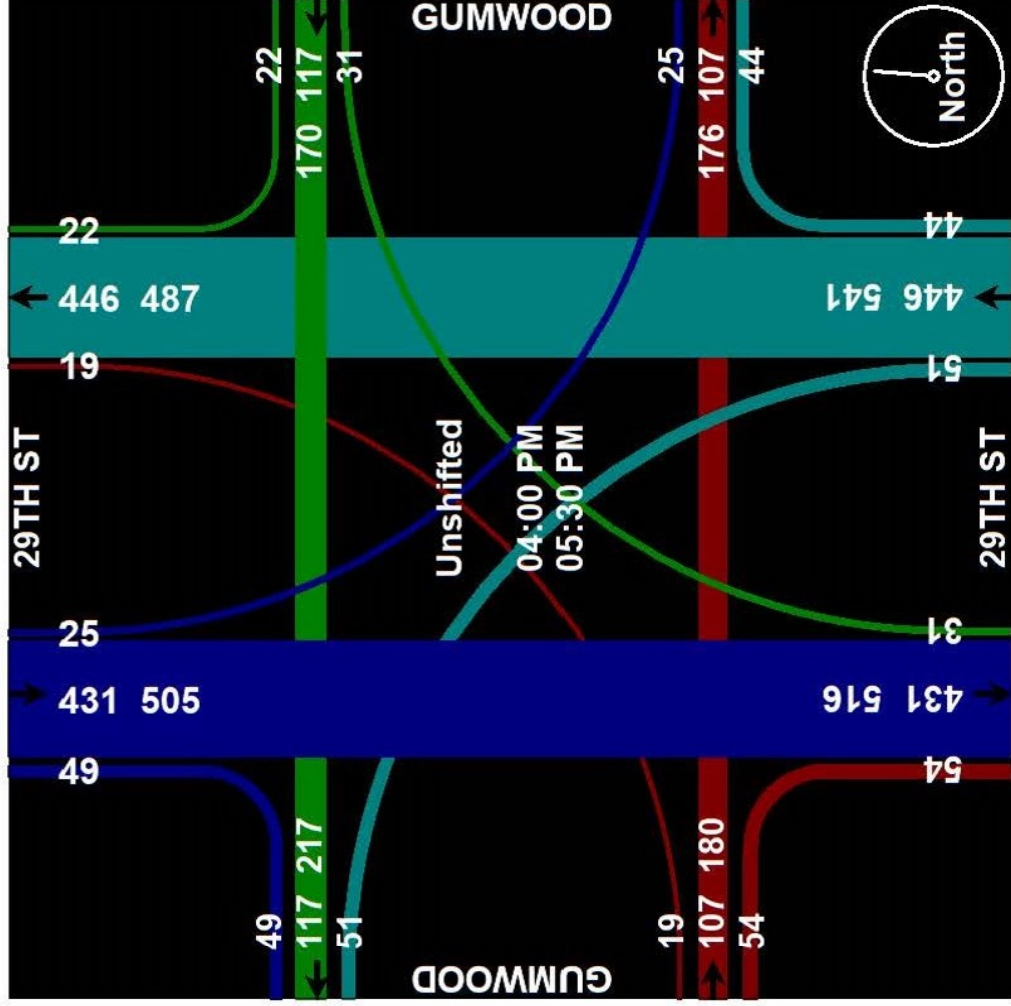
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	29TH ST					GUMWOOD					29TH ST					GUMWOOD				
Start Time	From North		From East		App. Total	From South		From West		Int. Total	From North		From East		App. Total	From South		From West		Int. Total
	Right	Thru	Left	Peds		Right	Thru	Left	Peds		Right	Thru	Left	Peds		Right	Thru	Left	Peds	
11:30 AM	6	53	2	0	61	2	7	1	0	10	7	53	4	0	64	3	12	5	0	20
11:45 AM	1	44	8	0	53	1	8	8	0	17	9	46	5	0	60	1	12	1	0	14
Total	7	97	10	0	114	3	15	9	0	27	16	99	9	0	124	4	24	6	0	34
12:00 PM	3	69	2	0	74	4	17	4	0	25	8	67	5	0	80	6	12	4	0	22
12:15 PM	3	55	3	0	61	0	13	2	0	15	2	63	2	0	67	4	11	3	0	18
12:30 PM	5	41	4	0	50	1	9	6	0	16	4	52	3	0	59	4	7	9	0	20
12:45 PM	2	45	1	0	48	0	10	6	0	16	4	50	7	0	61	4	14	7	0	25
Total	13	210	10	0	233	5	49	18	0	72	18	232	17	0	267	18	44	23	0	85
01:00 PM	6	48	2	0	56	1	4	1	0	6	4	59	6	0	69	7	7	5	0	19
01:15 PM	3	47	5	0	55	1	9	1	0	11	6	57	10	0	73	5	5	2	0	12
Grand Total	29	402	27	0	458	10	77	29	0	116	44	447	42	0	533	34	80	36	0	150
Approch %	6.3	87.8	5.9	0		8.6	66.4	25	0		8.3	83.9	7.9	0		22.7	53.3	24	0	
Total %	2.3	32	2.1	0	36.4	0.8	6.1	2.3	0	9.2	3.5	35.6	3.3	0	42.4	2.7	6.4	2.9	0	11.9





File Name : Evening Peak Hours  
Site Code : 00000000  
Start Date : 6/8/2021  
Page No : 2





File Name : Evening Peak Hours  
Site Code : 00000000  
Start Date : 6/8/2021  
Page No : 3

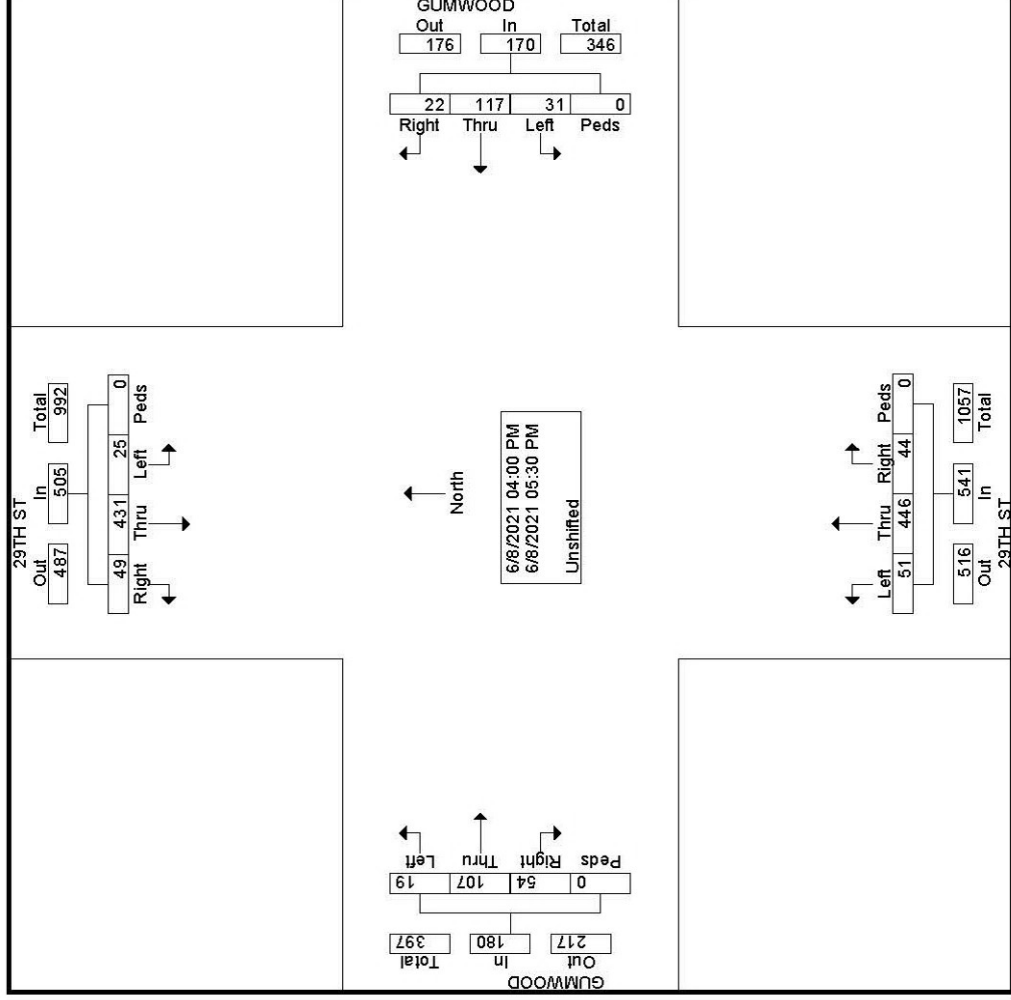




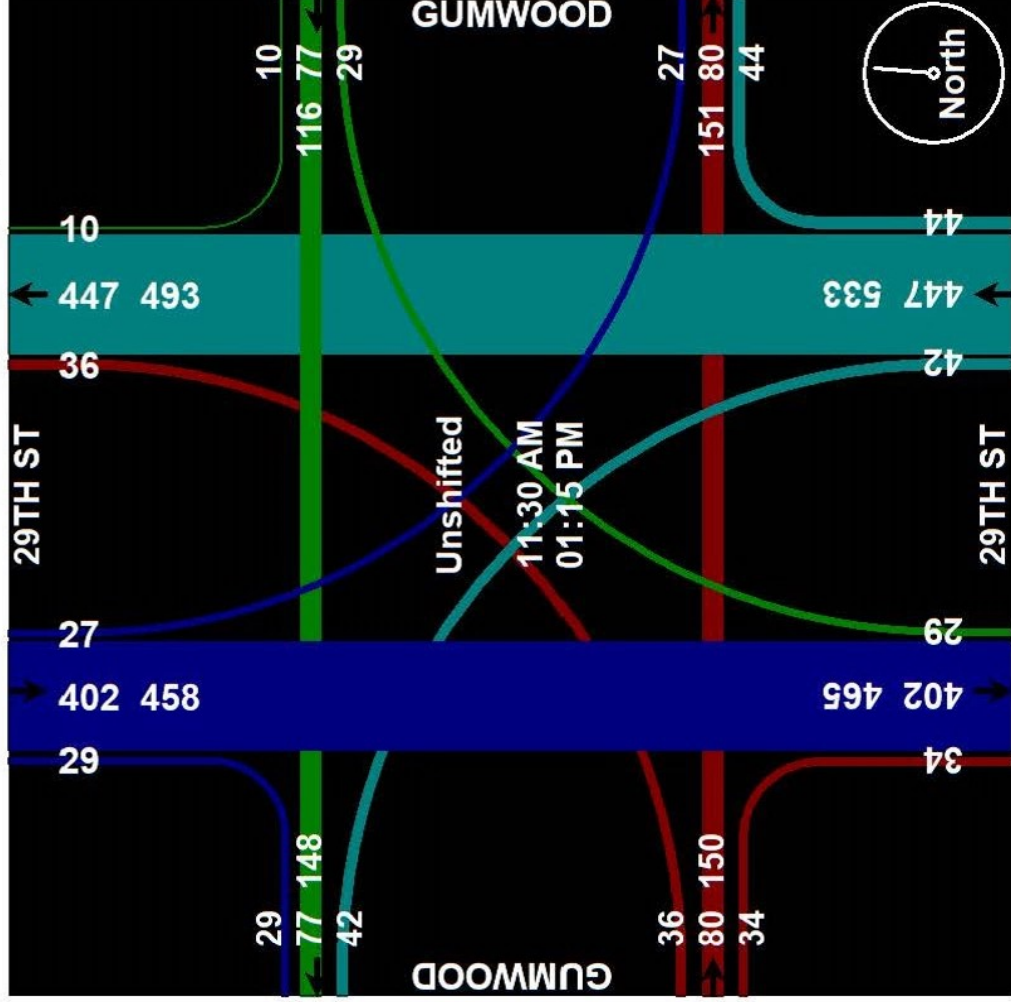
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Select File/Preference in the Main Scree  
Then Click the Comments Tab

File Name : Evening Peak Hours  
Site Code : 00000000  
Start Date : 6/8/2021  
Page No : 1

Start Time	29TH ST					GUMWOOD					29TH ST					GUMWOOD					From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
04:00 PM	1	57	2	0	60	6	13	2	0	21	9	53	3	0	65	8	9	5	0	22	8	9	5	0	22	168
04:15 PM	5	62	4	0	71	4	19	4	0	27	6	76	7	0	89	6	16	3	0	25	6	16	3	0	25	212
04:30 PM	3	58	7	0	68	4	18	4	0	26	6	51	12	0	69	8	16	3	0	27	8	16	3	0	27	190
04:45 PM	19	64	6	0	89	3	13	6	0	22	4	78	5	0	87	7	14	1	0	22	7	14	1	0	22	220
Total	28	241	19	0	288	17	63	16	0	96	25	258	27	0	310	29	55	12	0	96	29	55	12	0	96	790
05:00 PM	13	67	3	0	83	4	14	7	0	25	4	56	13	0	73	11	25	4	0	40	11	25	4	0	40	221
05:15 PM	4	70	1	0	75	0	22	5	0	27	10	71	6	0	87	10	16	3	0	29	10	16	3	0	29	218
05:30 PM	4	53	2	0	59	1	18	3	0	22	5	61	5	0	71	4	11	0	0	15	4	11	0	0	15	167
Grand Total	49	431	25	0	505	22	117	31	0	170	44	446	51	0	541	54	107	19	0	180	54	107	19	0	180	1396
Apprch %	9.7	85.3	5	0	36.2	12.9	68.8	18.2	0	12.2	8.1	82.4	9.4	0	38.8	3.9	59.4	10.6	0	12.9	3.9	59.4	10.6	0	12.9	
Total %	3.5	30.9	1.8	0		1.6	8.4	2.2			3.2	31.9	3.7													

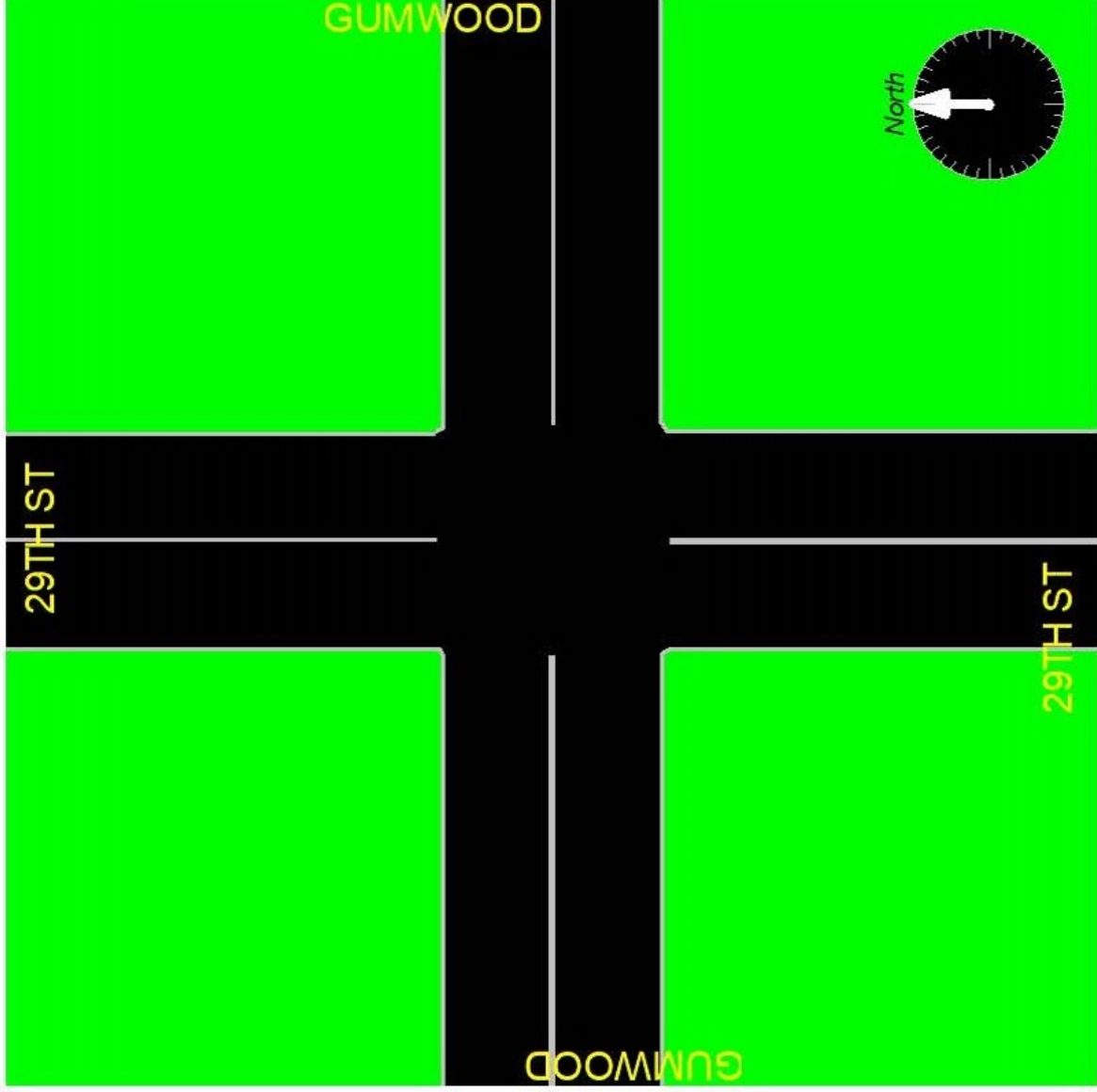








File Name : Noon Peak Hours  
Site Code : 00000000  
Start Date : 6/8/2021  
Page No : 3



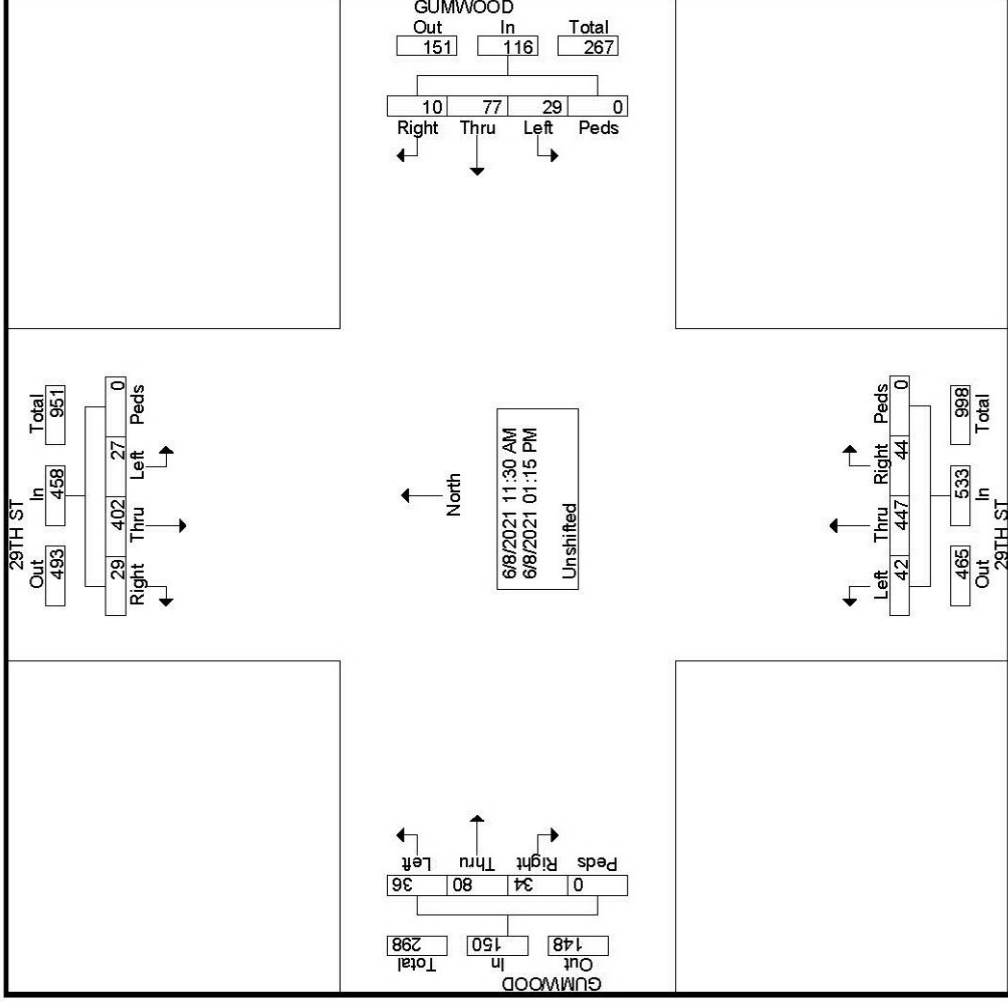


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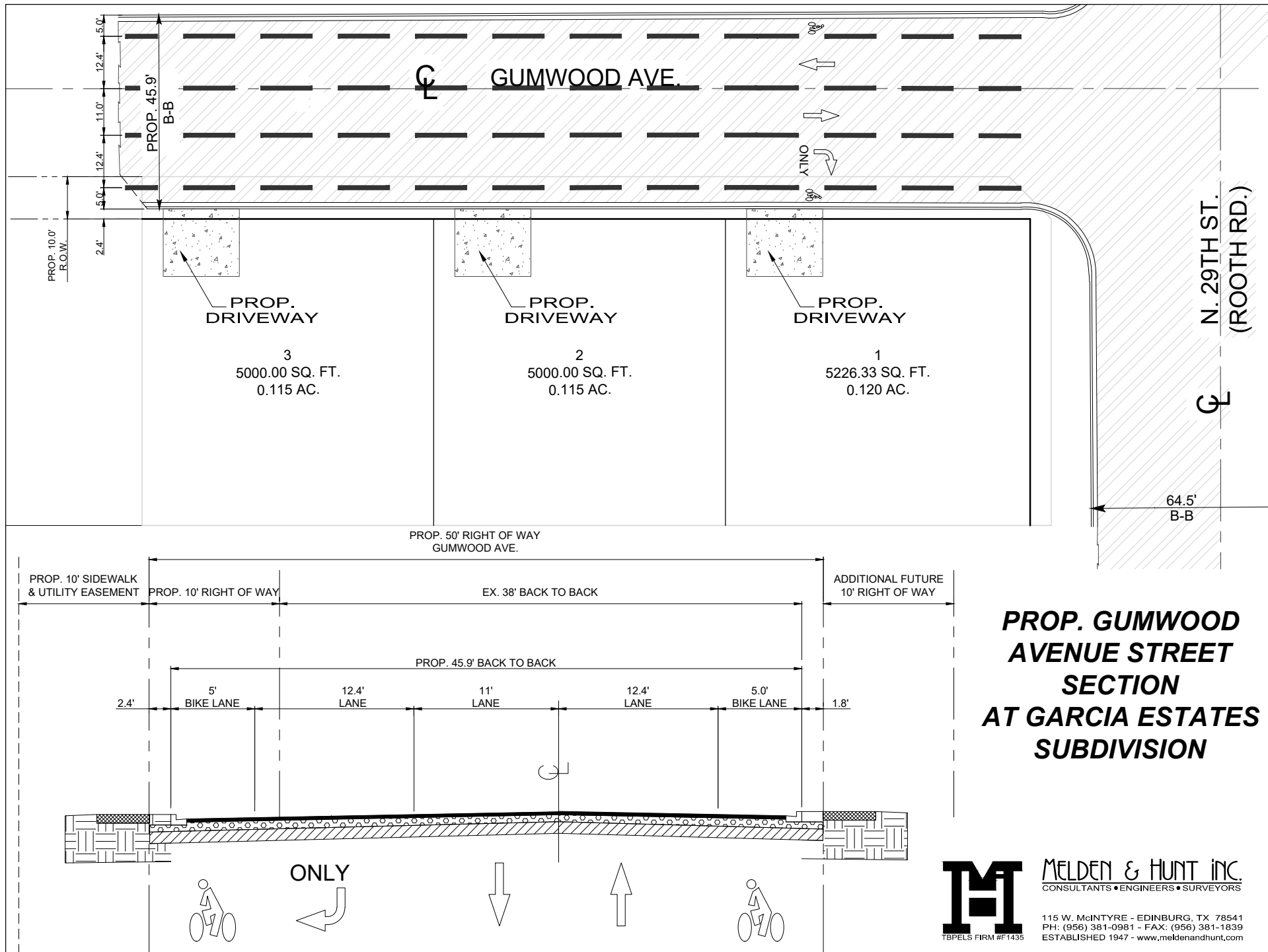
File Name : Noon Peak Hours  
Site Code : 00000000  
Start Date : 6/8/2021  
Page No : 1

## Groups Printed- Unshifted

	29TH ST						GUMWOOD						29TH ST						GUMWOOD							
	From North			From East			From South			From West				From North			From East			From South			From West			
Start Time	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Int. Total
11:30 AM	6	53	2	0	61	2	7	1	0	10	7	53	4	0	64	3	12	5	0	20	155					
11:45 AM	1	44	8	0	53	1	8	8	0	17	9	46	5	0	60	1	12	1	0	14	144					
Total	7	97	10	0	114	3	15	9	0	27	16	99	9	0	124	4	24	6	0	34	299					
12:00 PM	3	69	2	0	74	4	17	4	0	25	8	67	5	0	80	6	12	4	0	22	201					
12:15 PM	3	55	3	0	61	0	13	2	0	15	2	63	2	0	67	4	11	3	0	18	161					
12:30 PM	5	41	4	0	50	1	9	6	0	16	4	52	3	0	59	4	7	9	0	20	145					
12:45 PM	2	45	1	0	48	0	10	6	0	16	4	50	7	0	61	4	14	7	0	25	150					
Total	13	210	10	0	233	5	49	18	0	72	18	232	17	0	267	18	44	23	0	85	657					
01:00 PM	6	48	2	0	56	1	4	1	0	6	4	59	6	0	69	7	7	5	0	19	150					
01:15 PM	3	47	5	0	55	1	9	1	0	11	6	57	10	0	73	5	5	2	0	12	151					
Grand Total	29	402	27	0	458	10	77	29	0	116	44	447	42	0	533	34	80	36	0	150	1257					
Approch %	6.3	87.8	5.9	0		8.6	66.4	25	0		8.3	83.9	7.9	0		22.7	53.3	24	0							
Total %	2.3	32	2.1	0	36.4	0.8	6.1	2.3	0	9.2	3.5	35.6	3.3	0	42.4	2.7	6.4	2.9	0	11.9						







**MELDEN & HUNT INC.**  
CONSULTANTS • ENGINEERS • SURVEYORS

115 W. McINTYRE - EDINBURG, TX 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - [www.meldenandhunt.com](http://www.meldenandhunt.com)







**Memo**

**TO:** Planning & Zoning Commission  
**FROM:** Edgar I. Garcia, AICP, CNU-A  
**DATE:** August 12, 2021  
**SUBJECT:** City Commission Actions on August 9, 2021

---

**REZONING:**

1. Rezone from A-O District to C-3 District: 2.781-acre tract of land out of Lot 150, La Lomita Irrigation and Construction Company Subdivision; 4117 Highway 83 (Rear)
  - Planning and Zoning Commission recommended approval
  - City Commission approved as recommended
2. Rezone from R-3A District to R-3T District: 4.79 acres out of Lot 197, John H. Shary Subdivision; 701 S Taylor Rd (Rear)
  - Planning and Zoning Commission recommended approval
  - City Commission approved as recommended
3. Rezone from A-O District to R-1 District: 16.28 acres out of the west one-half (1/2) of Lot 11, Section 280, Texas-Mexican Railway Company's Survey; 2433 State Highway 107 (Rear)
  - Planning and Zoning Commission recommended approval
  - City Commission approved as recommended
4. Rezone from C-3 District to R-1 District: 1.96 acres out of the west one-half (1/2) of Lot 11, Section 280, Texas-Mexican Railway Company's Survey; 2433 State Highway 107
  - Planning and Zoning Commission recommended approval
  - City Commission approved as recommended



## 2021 ATTENDANCE RECORD FOR PLANNING AND ZONING COMMISSION MEETINGS

	01/05/21	01/19/21	02/02/21	02/16/21	03/02/21	03/16/21	04/06/21	04/20/21	05/04/21	05/18/21	06/03/21	06/16/21	07/08/21	07/20/21	08/03/21	08/17/21	09/07/21	09/21/21	10/05/21	10/19/21	11/02/21	11/16/21	12/07/21
Pepe Cabeza de Vaca	P	P	P	P	P	P	P	P	A	P	P												
Daniel Santos	A	A	P	P	P	A	P	P	P	P	P	P	A	P	P								
Mike Hovar	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P								
Rogelio Cervantes	P	A	A	A	A	A	A																
Gabriel Kamel	P	P	P	P	P	P	P	P	A	A	P	P	P	P	P								
Michael Fallek	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P								
Jose B. Saldana	P	A	A	P	A	P	P	A	P	A	A	P	A	P	A								
Marco Suarez								P	P	P	P	A	P	A	P								
Emilio Santos Jr.														P	A								

## 2021 ATTENDANCE RECORD FOR PLANNING AND ZONING COMMISSION WORKSHOPS

Pepe Cabeza de Vaca																							
Daniel Santos																							
Mike Hovar																							
Rogelio Cervantes																							
Gabriel Kamel																							
Michael Fallek																							
Jose B. Saldana																							

Marco Suarez









# PLANNING DEPARTMENT

311 N 15th Street McAllen, TX 78501  
Phone: 956-681-1250 Fax: 956-681-1279



## 2021 CALENDAR

### Meetings:

-  City Commission
-  Public Utility Board
-  Planning & Zoning Board
-  Zoning Board of Adjustment

HPC - Historic Preservation Council

### Deadlines:

D- Zoning/CUP Application N - Public Notification

\* Holiday - Office is closed

### JANUARY 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1 HOLIDAY	2
3	4 A-1/19 & 1/20	5	6 N-1/19 & 1/20 D-2/2 & 2/3	7	8	9
10	11	12	13	14	15	16
17	18 A-2/2 & 2/3	19	20 HPC N-2/2 & 2/3 D-2/16 & 2/17	21	22	23
24	25	26	27	28	29	30
31						

### FEBRUARY 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
	1 A- 2/16 & 2/17	2	3 N- 2/16 & 2/17 D- 3/2 & 3/3	4	5	6
7	8	9	10	11	12	13
14	15 A-3/2 & 3/3	16	17 N-3/2 & 3/3 D-3/16 & 3/17	18	19	20
21	22	23	24 HPC	25	26	27
28						

### MARCH 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
	1 A-3/16 & 3/17	2	3 N-3/16 & 3/17 D-4/6 & 4/7	4	5	6
7	8	9	10	11	12	13
14	15	16	17 D-4/20 & 4/21	18	19	20
21	22 A-4/6 & 4/7	23	24 HPC N-4/6 & 4/7	25	26	27
28	29	30	31			

### APRIL 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
				1	2 HOLIDAY	3
4	5 A-4/20 & 4/21	6	7 N-4/20 & 4/21 D-5/4 & 5/5	8	9	10
11	12	13	14	15	16	17
18	19 A- 5/4 & 5/5	20	21 HPC N- 5/4 & 5/5 D-5/18 & 5/19	22	23	24
25	26	27	28	29	30	

### MAY 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1
2	3 A- 5/18 & 5/19	4	5 D: 6/1 & 6/2 N-5/18 & 5/19	6	7	8
9	10	11	12	13	14	15
16	17 A-6/1 & 6/2	18	19 N-6/1 & 6/2 D-6/16 & 6/17	20	21	22
23	24	25	26 HPC	27	28	29
30	31 HOLIDAY					

### JUNE 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1	2 N-6/16 & 6/17 D-7/6 & 7/7	3	4	5
6	7	8	9	10	11	12
13	14	15	16 D-7/20 & 7/21	17	18	19
20	21 A-7/6 & 7/7	22	23 HPC N-7/6 & 7/7	24	25	26
27	28	29	30			

Deadlines and Meeting Dates are subject to change at any time. Please contact the Planning Department at (956) 681-1250 if you have any questions.





# PLANNING DEPARTMENT

311 N 15th Street McAllen, TX 78501  
Phone: 956-681-1250 Fax: 956-681-1279



## 2021 CALENDAR

### Meetings:





-  City Commission
-  Planning & Zoning Board
-  Public Utility Board
-  Zoning Board of Adjustment
- HPC - Historic Pres Council

### Deadlines:



- D- Zoning/CUP Application
- N - Public Notification

\* **Holiday** - Office is closed





### JULY 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
				1	2	3
					A-7/20 & 7/21	
4	5 <b>HOLIDAY</b>	6 PZ moved to 7/8	7 N-7/20 & 7/21 D-8/3 & 8/4	8 PZ MTG	9	10
11	12 	13 	14	15	16	17
18	19 A-8/3 & 8/4	20	21 HPC N-8/3 & 8/4 D-8/17 & 8/18	22	23	24
25	26 	27 	28	29	30	31




### AUGUST 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
1	2	3 Las Palmas Community	4 Exec Room N- 8/17 & 8/18 D-9/1 & 9/7	5	6	7
8	9 A- 8/17 & 8/18	10 	11	12	13	14
15	16 A-ZBA 9/1	17 Library	18 Exec Room N-ZBA 9/1 D-9/15 & 9/21	19	20	21
22	23 A-PZ 9/7	24 	25 HPC N-PZ 9/7	26	27	28
29	30 A-ZBA 9/15	31				




### SEPTEMBER 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1 N-ZBA 9/15 D-10/5 & 10/6	2	3	4
					A-PZ 9/21	
5	6 <b>HOLIDAY</b>	7	8 N-PZ 9/21	9	10	11
12	13 	14 	15 D-10/19 & 10/20	16	17	18
19	20 A-10/5 & 10/6	21	22 HPC N-10/5 & 10/6	23	24	25
26	27 	28 	29	30		



### OCTOBER 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1	2
3	4	5	6 N-10/19 & 10/20 D-11/2 & 11/3	7	8	9
10	11 A-10/19 & 10/20	12 	13	14	15	16
17	18 A- 11/2 & 11/3	19 PZ moved to 21st	20 N- 11/2 & 11/3 D-11/16 & 11/1	21 PZ MTG	22	23
24	25 	26 	27 HPC	28	29	30
31						

### NOVEMBER 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
	1	2	3 N-11/16 & 11/17 D-12/1 & 12/7	4	5	6
	A-11/16 & 11/17					
7	8 	9 	10	11	12	13
14	15 A-ZBA 12/1	16	17 N-ZBA 12/1 D-PZ-12/21	18	19	20
21	22 A-PZ 12/7	23 	24 N-PZ 12/7	25 <b>HOLIDAY</b>	26	27
28	29 A-ZBA 12/15	30				

### DECEMBER 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			HPC N-ZBA 12/15 D-1/4 & 1/5	2	3	4
5	6	7	8 N- PZ 12/21	9	10	11
	A-PZ 12/21					
12	13 	14 	15 D-1/18 & 1/19	16	17	18
19	20 A- 1/4 & 1/5	21	22 N- 1/4 & 1/5	23 <b>HOLIDAY</b>	24 <b>HOLIDAY</b>	25
26	27	28	29	30	31 <b>HOLIDAY</b>	

Deadlines and Meeting Dates are subject to change at any time. Please contact the Planning Department at (956) 681-1250 if you have any questions.