

## AGENDA

**PLANNING & ZONING COMMISSION REGULAR MEETING  
TUESDAY, AUGUST 3, 2021 - 3:30 PM  
LAS PALMAS COMMUNITY CENTER, 1921 NORTH 25<sup>TH</sup> STREET – GYMNASIUM  
McALLEN, TEXAS**

**Web: <https://zoom.us/join> or phone: (346) 248-7799**

**Meeting ID: 672 423 1883**

At any time during the course of this meeting, the Planning & Zoning Board may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code

### **CALL TO ORDER -**

### **PLEDGE OF ALLEGIANCE -**

### **INVOCATION -**

#### **1) MINUTES:**

- a) Minutes from the meeting held on July 20, 2021

#### **2) PUBLIC HEARING**

##### **a) REZONING:**

1. Rezone from C-1(office) District to C-2 (neighborhood commercial) District: 2.35 acres out of the Lot 5, Block 15, Steele & Pershing Subdivision of the east ½ of Portion 66 and all of Portion 67, Hidalgo County, Texas; 2408 & 2416 S. McColl Rd. **(REZ2021-0038)**
2. Rezone from C-3 (General Business) District to R-3T (Multifamily Residential Townhouse) District: 2.00 Acre Tract of land out of Lot 62, La Lomita Irrigation and Construction Company Subdivision, Hidalgo County, Texas; 2700 Trenton Road. **(REZ2021-0037)**
3. Rezone from R-3C (multifamily condominiums) District to R-3A (multifamily apartments) District: 3.842 acres consisting of 3 acres out of Lot 15, southeast ¼ Section 7 out of Hidalgo Canal Company Subdivision and 0.842 acres out of Lot 16, and the west 109 ft. of Lot 14 out of Hollenbeck Subdivision, Hidalgo County, Texas; 2105 South 10th Street. **(REZ2021-0010)**
4. Rezone from R-2 (duplex-fourplex) District to R-3A (multifamily apartments) District: the west half of Lot 10 and the east 10 ft. of Lot 8, Hollenbeck Subdivision, Hidalgo County, Texas; 801 Uvalde Avenue. **(REZ2021-0008)**

5.



- Rezone from C-3 (general business) District to R-3A (multifamily apartments) District: 2.396 acres out of Lot 15, of Southeast ¼ Section 7, Hidalgo Canal Company Subdivision, Hidalgo County, Texas; 2101 South 10th Street. **(REZ2021-0009)**
6. Rezone from R-2 (duplex-fourplex) District to R-3A (multifamily apartments) District: 0.405 acres out of the east half of Lot 12 and the west 49 ft. of Lot 14, Hollenbeck Subdivision, Hidalgo County, Texas; 709 Uvalde Avenue. **(REZ2021-0011)**
  7. Rezone from R-2 (duplex-fourplex) District to R-3A (multifamily apartments) District: the west 69 ft. of the east half Lot 8, Hollenbeck Subdivision, Hidalgo County, Texas; 807 Uvalde Avenue. **(REZ2021-0012)**
  8. Rezone from R-2 (duplex-fourplex) District to R-3A (multifamily apartments) District: the east half of Lot 10, Hollenbeck Subdivision, Hidalgo County, Texas; 725 Uvalde Avenue. **(REZ2021-0013)**
  9. Initial zoning to R-1 (single-family residential) District: 18.298 acres out of Lot 445, John H. Shary Subdivision, Hidalgo County, Texas; 9400 North Shary Road. **(REZ2021-0039)**
  10. Initial zoning to R-3A (multifamily residential apartment) District: 17.043 acres out of Lot 445, John H. Shary Subdivision, Hidalgo County, Texas; 9000 North Shary Road. **(REZ2021-0040)**
  11. Rezone from R-1 (single-family residential) District to R-3A (multifamily residential apartment) District: 0.544 acre tract of land out of Lot 1, Resubdivision of Lots 15 and 16, Block 2, C. E. Hammond's Subdivision, Hidalgo County, Texas; 1500 North Bentsen Road. **(REZ2021-0041)**

**b) CONDITIONAL USE PERMITS:**

1. Request of Rosalinda Raabe on behalf of Iglesia Camino Del Rey Upper Valley, A Texas Non-Profit Corporation, for a Conditional Use Permit for life of the use, for an Institutional Use (Church) at Lot "A", Daffodil Gardens Subdivision Unit No. 1, save and except the East 159.1 feet thereof of Lot "A", the West three (3) acres of Lot 25, Wayne Court Subdivision Extended, and 0.66 acres out of Lot 25, Wayne Court Subdivision Extended, Hidalgo County, Texas; 504 and 508 Harvey Drive. **(CUP2021-0069)**
2. Request of Eric U. Young for a Conditional Use Permit, for One Year, for a Portable Food Concession Stand (Snow Cone Stand) at Lots 4 through 6, Block 1, La Lomita Terrace Subdivision, Hidalgo County, Texas; 1905 N 23rd Street. **(CUP2021-0082)**
3. Request of John A. Simon, For a Conditional Use Permit, for one year, for a bar at Lot 23 Continental Trade Center Subdivision, Hidalgo County, Texas; 2007 Orchid Avenue **(CUP2021-0070)**
4. Request of Liza Salinas, for a Conditional Use Permit, for one year, for a bar at Lot 1, A&A Subdivision, Hidalgo County, Texas; 5204 North 10th Street. **(CUP2021-0071)**

5. Request of Maria I. Ewens for a conditional use permit, for a year, for an event center at the 2.77 acres out of lot 11, La Lomita (HOIT) Subdivision, Hidalgo County Texas, 3501 State Highway 107. **(CUP2021-0072)**
6. Request of Jesus Henry Saenz for a Conditional Use Permit for one year, for a portable building greater than 10' X 12' (office) at Lots 2 and 3, Block 55, McAllen Addition Subdivision, Hidalgo County, Texas; 616 South 16th Street **(CUP2021-0083)**
7. Request of Denny Meline on behalf of the City of McAllen for an amendment of a Conditional Use Permit, for the life of the use, for an institutional use (park) at 17.51 acres out of Lot 4, Block 12, Steele and Pershing Subdivision, Hidalgo County, Texas, 100 Highway 83. **(CUP2021-0085)**
8. Request of Katherine L. Zeigler, on behalf of William A. Schwarz, for a Conditional Use Permit, for life of the use, for a gasoline service station at the 2.35 acres out of the Lot 5, Block 15, Steele & Pershing Subdivision of the east ½ of Portion 66 and all of Portion 67, Hidalgo County, Texas; 2408 & 2416 S. McColl Rd. **(CUP2021-0081)**
9. Request of Mario A. Reyna, on behalf of Riverside Development Service, LLC, for a Conditional Use Permit, for life of the use, for a planned unit development at the 26.663 acre tract of land out of Lot 45 and 52, La Lomita Irrigation and Construction Company's Subdivision, Hidalgo County, Texas; 8300 North Ware Road. **(CUP2021-0084)**
10. Request of Cristobal Moreno, for a Conditional Use Permit, for life of the use, for an automotive service & repair at the 0.52 acre tract of land out of Block 14, Trenton Park Estates Ph. 1 & 2 Subdivision lying west of Lot 219, Woodhollow Subdivision, Hidalgo County, Texas; 7500 N. 23rd Street. **(CUP2021-0080)**

### 3) SUBDIVISIONS:

- a) Magnolia Farm Subdivision, 9309 North Ware Road, John Tagle (SUB2021-0076) (Preliminary) MAS
- b) Cris-Auto Services Subdivision, 7500 North 23rd Street, Cristobal Moreno, **(SUB2021-0040)(Final)MAS**
- c) Garcia Estates, 2901 Gumwood, Sonia Garcia/Erik J. Mora**(SUB2020-0048)(TABLED ON 6/3/2021)M&H**

### ADJOURNMENT:

IF ANY ACCOMMODATIONS FOR A DISABILITY ARE REQUIRED, PLEASE NOTIFY THE PLANNING DEPARTMENT (681-1250) 72 HOURS BEFORE THE MEETING DATE. WITH REGARD TO ANY ITEM, THE PLANNING & ZONING COMMISSION MAY TAKE VARIOUS ACTIONS, INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR PARTICULAR ACTION AT A FUTURE DATE.

STATE OF TEXAS  
COUNTY OF HIDALGO  
CITY OF McAllen

The McAllen Planning and Zoning Commission convened in a Regular Meeting & Public Hearing on Tuesday, July 20, 2021 at 3:34p.m. in the McAllen City Hall Commission Room at 1300 Houston Avenue, McAllen, Texas.

<b>Present:</b>	<b>Daniel Santos</b>	<b>Chairperson</b>
	<b>Michael Fallek</b>	<b>Vice-Chairperson</b>
		<b>(Via Zoom)</b>
	<b>Michael Hovar</b>	<b>Member</b>
	<b>Michael Fallek</b>	<b>Member</b>
	<b>Gabriel Kamel</b>	<b>Member</b>
	<b>Emilio Santos</b>	<b>Member</b>

<b>Absent:</b>	<b>Marco Suarez</b>	<b>Member</b>
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**Staff Present:**

<b>Isaac Tawil</b>	<b>City Attorney</b>
<b>Austin Stevenson</b>	<b>Assistant City Attorney</b>
<b>Michelle Rivera</b>	<b>Assitant City Manager</b>
<b>Luis Mora</b>	<b>Planning Deputy Director</b>
<b>Juan Martinez</b>	<b>Development Coordinator</b>
<b>Rodrigo Sanchez</b>	<b>Senior Planner</b>
<b>Omar Sotelo</b>	<b>Senior Planner</b>
<b>Jose Humberto De La Garza</b>	<b>Planner III</b>
<b>Berenice Gonzalez</b>	<b>Planner III</b>
<b>Kaveh Forghanparast</b>	<b>Planner II</b>
<b>Mario Escamilla</b>	<b>Planner I</b>
<b>Katia Sanchez</b>	<b>Planner I</b>
<b>Porfirio Hernandez</b>	<b>Planning Technician II</b>
<b>Jacob Salazar</b>	<b>Planning Technician I</b>
<b>Bilikis Martinez</b>	<b>Development Engineer</b>
<b>Felipe Hernandez</b>	<b>Fire Captain Administrator</b>
<b>Alejandrino Morales</b>	<b>Fire Lieutenant</b>
<b>Magda Ramirez</b>	<b>Administrative Assistant</b>

**CALL TO ORDER- Chairman Daniel Santos**

**Meeting held via Teleconference and Video Conference.**

**PLEDGE OF ALLEGIANCE**

**INVOCATION- Michael Hovar**

**1) MINUTES:**

- a) Minutes for Regular Meeting held on June 16, 2021**

The minutes for the regular meeting held on June 8, 2021 were approved as submitted. The motion to approve was made by Board Member Gabriel Kamel & Jose Saldana seconded the motion,

which carried unanimously with six members present and voting.

## **2) PUBLIC HEARING:**

### **a) CONDITIONAL USE PERMITS:**

1. Request of Carlos and Arely Fuentes on behalf of Centro De Alabanza Comunidad Cristiana, Inc., for a Conditional Use Permit, for one year, for an Institutional Use (Church) at Lot 2, Shasta Commercial Plaza Phase II Subdivision, Hidalgo County, Texas; 2519 Buddy Owens Boulevard. **(CUP2021-0067).**

Mr. Escamilla stated that the property is located at the southeast corner of the intersection of Buddy Owens Boulevard and North 25th Lane. The property is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the east and west, R-3A (apartments) District to the south, and C-1 (office building) District to the north. An institutional use is permitted in a C-3 zone with a conditional use permit and in compliance with requirements.

A Conditional Use Permit for a church was approved by the Planning and Zoning Commission for one year at this location on April 21, 2015. There is now a new applicant who is requesting the permit; therefore, it has to come before the Planning and Zoning Commission for consideration.

The applicant, (Centro de Alabanza Comunidad Cristiana, Inc.), is proposing to operate a church out of an approximate 2,180 sq. ft. lease space (according to Hidalgo County Appraisal District), which is part of a multi-tenant commercial building by the name of Shasta Commercial Plaza. The property was previously the site for Next Level Fitness Studio. Shasta Commercial Plaza is a mixture of office, retail, and vacant suites. The lease space consists of an auditorium, two restrooms and a closet as shown on the submitted site plan. The applicant is proposing a seating arrangement of 50 chairs in the auditorium. The proposed days and hours for worship services will be Wednesday from 7:00 p.m. to 10:00 p.m. and Sundays from at 8:00 a.m. to 1:00 p.m.

Based on the 50 seats in the main auditorium, 13 parking spaces are required. There are 280 parking spaces provided on site as part of a common parking area of the existing commercial development. The parking spaces for the other businesses do not interfere with the church's parking based on the hours of operation for the majority of the businesses. The Fire Department has inspected the lease space, and is pending compliance with safety codes and regulations. Should the conditional use permit be approved, the applicant would be required to sign the application acknowledging and agreeing to other conditions of the permit. The proposed use must also comply with the zoning ordinance and specific requirements as follows: 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The property fronts and has access to Buddy Owens Boulevard. 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking, especially in residential areas. Based on a seating capacity of 50 persons in the main auditorium, 13 parking spaces are required; 280 parking spaces are provided on site. The parking spaces are part of the existing commercial development. 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits; 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order

to discourage vandalism and criminal activities; 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas; 6) The number of persons within the building shall be restricted to the existing seating capacity for the building; and 7) Sides adjacent to commercially and residentially zoned or used properties shall be screened by a 6 ft. opaque fence. A 6 ft. opaque fence is required on the south side and one is provided. Staff recommends approval of the request, for one year, subject to compliance with the conditions noted, Zoning Ordinance, building permit and Fire Department permit requirements.

Chairperson Daniel Santos asked if there was anyone present in opposition of the proposed Conditional Use Permit, there were none.

Mr. Gabriel Kamel moved to abstain from voting on this item.

Being no discussion, Mr. Jose Saldana moved to approve. Mr. Michael Fallek seconded the motion, which was approved with five members present and voting

**b) REZONING:**

1. Rezone from A-O (agricultural and open space) District to C-3 (general business) District: 2.781 acre tract of land out of Lot 150, La Lomita Irrigation and Construction Company Subdivision, Hidalgo County, Texas; 4117 Highway 83 (Rear). **(REZ2021-0031)**.

Mr. Forghanparast stated that the property was an interior tract that was located along US Business 83 approximately 690 ft. west of South Bentsen Road. The irregularly-shaped tract had a lot size of 2.781 acres. The applicant was requesting to rezone the property to C-3 (general business) District for commercial use. The requested zoning was part of a larger commercial development. A feasibility plan had not been submitted. The adjacent zoning was C-3 (general business) District to the north and A-O (agriculture and open space) District to the west, east, and south. The property was vacant. Surrounding land uses included Thompson Engine Rebuilders, McAllen Nature Center, Rio Truss LLC, Taqueria La Lomita, Rio Mattress Outlet, and vacant land. The Foresight McAllen Comprehensive Plan designated the future land use for this property as City Parks, which was comparable to A-O District. The development trend for this area along US Business 83 was commercial. The subject property was zoned A-O (agricultural and open space) District during comprehensive zoning in 1979. In April 27, 2015, the City Commission voted to approve a rezoning request from A-O District to C-3 District at 4219 Highway 83 (rear) during the city initiated A-O rezoning project. In April 27, 2015, the City Commission voted to approve a rezoning request from A-O District to C-3 District at 3813-4005 Highway 83 during the city initiated A-O rezoning project. The requested zoning did not conform to the City Parks land use designation as indicated on the Foresight McAllen Comprehensive Plan; however, the zoning trend along US Business 83 was commercial.

A recorded subdivision plat and approved site plan were required prior to building permit issuance.

Staff had not received any calls or emails in opposition to the rezoning request.

Staff recommended approval of the rezoning request to C-3 (general business) District.

Chairperson Daniel Santos asked if there was anyone present in opposition of the proposed Rezone request, there were none.

Being no discussion, Mr. Gabriel Kamel moved to approve. Mr. Jose Saldana seconded the motion, which was approved with six members present and voting.

2. Rezone from A-O (agricultural and open space) District to R-1 (single-family residential) District: 16.28 acres out of the west one-half (1/2) of Lot 11, Section 280, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas; 2433 State Highway 107 (Rear). **(REZ2021-0034)**.

Mr. Forghanparast stated that the property was located approximately 274 ft. south of State Highway 107, approximately 650 ft. west of North 23rd Street. The subject property consisted of 16.2785 acres and was an interior tract that was proposed to be part of another tract that would provide access to State Highway 107. The applicant was requesting to rezone the property to R-1 (single-family residential) District in order to construct single-family residences. A 98-lot subdivision under the name of North Park on 107 Subdivision for the subject property was approved in preliminary form by the Planning and Zoning Commission on February 16, 2021. The adjacent zoning was A-O (agricultural and open space) District to the east, R-1 (single-family residential) District to the west, and C-3 (general business) District to the north and southeast. The properties to the southwest of the subject property were outside the City limits. The property was vacant. Surrounding land uses included single-family residences, apartments, Angel Upholstery, Pollos Asados Nuevo Leon Restaurant, Fred Loya Insurance Group, and vacant land. The Foresight McAllen Comprehensive Plan designated the future land use for this property as Auto Urban Commercial at the front which was comparable to C-1 (office building) to C-3L (light commercial) Districts and Suburban Residential at the rear which was comparable to R-1 (single-family residential) District. The development trend for this area along State Highway 107 was single-family residential and commercial. The tract was annexed into the city and initially zoned A-O (agricultural and open space) District on July 10, 1995. There had been no other rezoning request for the subject property since then. A rezoning request initiated by the City for the adjacent property to the west to R-1 District was approved on December 14, 2015. The requested zoning conformed to the Suburban Residential land use designation as indicated on the Foresight McAllen Comprehensive Plan. It also followed the rezoning and development trend to single-family residences in the area. The submitted plat depicted that the adjacent lot to the north of the subject property would provide access to State Highway 107 for the proposed subdivision. A recorded subdivision plat was required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit was required prior to recording a subdivision plat. Staff had not received a phone call or email in opposition to the rezoning request.

Staff recommended approval of the rezoning request to R-1 (single-family residential) District.

Chairperson Daniel Santos asked if there was anyone present in opposition of the proposed Rezone request, there were none.

Being no discussion, Mr. Jose Saldana moved to approve. Mr. Michael Hovar seconded the motion, which was approved with six members present and voting.

3. Rezone from C-3 (general business) District to R-1 (single-family residential) District: 1.96 acres out of the west one-half (1/2) of Lot 11, Section 280, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas; 2433 State Highway 107. **(REZ2021-0035).**

Mr. Forghanparast stated that the property was located on the south side of State Highway 107, approximately 850 ft. west of North 23rd Street. The irregularly shaped tract had 131.22 ft. of frontage along State Highway 107 with a depth of 274.03 ft. at its deepest point for a lot size of 1.9613 acres. The applicant was requesting to rezone the property as part of a larger development to R-1 (single-family residential) District in order to construct single-family residences. A 98-lot subdivision under the name of North Park on 107 Subdivision for the subject property was approved in preliminary form by the Planning and Zoning Commission on February 16, 2021.

The adjacent zoning was C-3 (general business) District to the north, east, and west, A-O (agricultural and open space) District to the south and R-1 (single-family residential) District to the southwest. The property was vacant. Surrounding land uses included single-family residences, apartments, Angel Upholstery, Pollos Asados Nuevo Leon Restaurant, Fred Loya Insurance Group, and vacant land. The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Commercial which was comparable to C-1 (office building) to C-3L (light commercial) Districts. The development trend for this area along State Highway 107 was single-family residential and commercial. The tract was annexed into the city and initially zoned C-3 (general business) District on July 10, 1995. There had been no other rezoning request for the subject property since then. A rezoning request initiated by the City for the adjacent property to the southwest to R-1 District was approved on December 14, 2015. The requested zoning did not conform to the Auto Urban Commercial land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, it was a lesser intense zone than C-3 District and it also followed the rezoning and development trend to single-family residences in the area. Section 110-49 (a) Vegetation Ordinance requires a masonry screen eight ft. in height where a commercial, industrial, or multifamily use had a side or rear property line in common with a single-family use or zone. A recorded subdivision plat was required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit was required prior to recording a subdivision plat.

Staff had not received a phone call or email in opposition to the rezoning request.

Staff recommended approval of the rezoning request to R-1 (single-family residential) District.

Chairperson Daniel Santos asked if there was anyone present in opposition of the proposed Rezone request, there were none.

Being no discussion, Mr. Gabriel Kamel moved to approve. Mr. Michael Hovar seconded the motion, which was approved with six members present and voting.



4. Rezone from R-3A (multifamily residential apartment) District to R-3T (multifamily residential townhouse) District: 4.79 acres out of Lot 197, John H. Shary Subdivision, Hidalgo County, Texas; 701 South Taylor Road (Rear). **(REZ2021-0036)**

Mr. Forghanparast stated that the property was located 580 ft. east of South Taylor Road, approximately 1,720 ft. south of U.S. Business 83. The tract consisted of 4.79 acres and was an interior tract proposed to be part of a larger development with access to South Taylor Road. The applicant was requesting to rezone the property to R-3T (multifamily residential townhouse) District in order to construct townhomes. The subject property is part of a proposed subdivision under the name of The Woodlands on Taylor, previously known as Taylor Grove Subdivision, which was approved in preliminary form on December 3, 2020, by the Planning and Zoning Commission. A rezoning request for the subject property to R-3T District was submitted on June 14, 2021. The adjacent zoning was R-3A (multifamily residential apartment) District to the north, east and south and R-3T (multifamily residential townhouse) Districts to the west. The property was vacant. Surrounding land uses included single-family homes, fourplex residences, El Valle de la Luna mobile homes, Romulo D. Martinez Elementary School, and vacant land. The Foresight McAllen Comprehensive Plan designated the future land use for this property as Auto Urban Single Family, which was comparable to R-1 (single-family residential) District. The development trend for this area along South Taylor Road was single and multifamily residential. The tract was annexed into the city and initially zoned A-O (agricultural and open space) District in 1999. The City Commission approved a request initiated by the City to rezone the property to R-3A (multifamily residential apartment) District on April 13, 2015. Two other rezoning requests for the proposed Taylor Grove Subdivision to R-1 (single-family residential) and R-3T (multifamily residential Townhouse) Districts were approved by the City Commission on January 11, 2021. A rezoning request to R-1 District for the subject property which was submitted on May 6, 2021, was withdrawn on June 10, 2021, by the applicant. The requested zoning did not conform to the Auto Urban Single Family land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, it followed the multifamily development and zoning trend in this area along South Taylor Road. The proposed development for the subject property had less density than allowed on R-3A District and was more compatible with the adjacent R-3T District to the west. A recorded subdivision plat is required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit was required prior to recording a subdivision plat.

Staff had not received any calls or emails in opposition to the rezoning request.

Staff recommended approval of the rezoning request to R-3T (multifamily residential townhouse) District.

Chairperson Daniel Santos asked if there was anyone present in opposition of the proposed Rezone request, there were none.

Being no discussion, Mr. Jose Saldana moved to approve. Mr. Michael Fallek seconded the motion, which was approved with six members present and voting.

### 3) SUBDIVISIONS:

a) Stonebriar At Trinity Oaks Subdivision, 11200 North La Lomita Road, Affordable Homes of South Texas, Inc. **(SUB2021-0057)(FINAL)CHC**

Mr. De la Garza stated North La Lomita Rd.: 20 ft. dedication for 40 ft. from centerline for 80 ft. total ROW. Paving: Min. 52 ft. Curb & gutter: Both sides. Must escrow monies if improvements are not built prior to recording. Sprague Road: Additional 20 ft. dedication for 40 ft. from centerline for total 80 ft. ROW. Paving: min. 52 ft. Curb & gutter: Both sides. Must escrow monies if improvements are not built prior to recording. N. 33rd Street: 35 ft. ROW from centerline for 70 ft. ROW Paving: 44 ft. Curb & gutter: both sides. Must escrow monies if improvements are not built prior to recording. Lots 1-52: 60-65 ft. ROW (applies for multi-family use). Paving: min. 40 ft. Curb & gutter: Both sides. Monies must be escrowed if any applicable improvements are not built prior to recording. Lots 53-142: 50 ft. ROW (applies for single family use). Paving: min. 32 ft. Curb & gutter: Both sides. Monies must be escrowed if any applicable improvements are not built prior to recording. Please clarify if gates are proposed. Gate details might increase required ROW at subdivision entrances. 800 ft. Block Length: Plat submitted May 6, 2020, will need to be revised as the proposed layout exceeds maximum block length. Plat submitted May 24, 2021 still shows block length greater than 800 ft. for internal E/W blocks. Please clarify if variance will be requested or plat will be revised to provide for stub out streets prior to final. Engineer submitted an email on July 16, 2021 requesting a variance to the block length requirement for this subdivision. ROW: 22 ft. proposed Paving: 16 ft. Alleys are only allowed in private residential subdivisions. If alleys are proposed for this subdivision, they must be labeled as "private alleys" and maintained by property owners/HOA and not the City of McAllen. Please revise plat prior to final. Front: Lots 1-52: 20 ft. or greater for easements Lots 53-140: 25 ft. or greater for easements. Rear: In accordance with the zoning ordinance or greater for easements. Interior Sides: 6 ft. or greater for easements. Side Corner: 10 ft. or greater for easements. Garage: 18 ft. except where greater setback is required; greater setback applies. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on N. 33rd St., N. La Lomita Rd., Sprague Rd., and both sides of all interior streets. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, and along N. 33rd St., N. La Lomita Rd., and Sprague Rd. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along N. 33rd St., N. La Lomita Rd., and Sprague Rd. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Internal site plan review might be required depending on the amount of units proposed for Lots 1-52 (R-3A Zoning). \* Park and Detention Area, Common areas, any private streets/drives, private alleys, etc. must be maintained by the lot owners and not the City of McAllen Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. HOA document will be recorded simultaneously with plat. Minimum lot width and lot area. Lots fronting public streets. Existing: R-1 and R-3A Proposed: R-1 and R-3A. Planning and Zoning Board approved rezoning at their April 20, 2021 meeting and City Commission at their April 26, 2021 meeting. Rezoning Needed Before

Final Approval Planning and Zoning Board approved rezoning at their April 20, 2021 meeting and City Commission at their April 26, 2021 meeting. Land dedication in lieu of fee. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Pending review by the Parkland Dedication Advisory Board and CC. Per Parks Department, must go before Park Land Dedication Advisory Board and City Commission to determine land or fee requirements, prior to final. As per Traffic Department, Trip generation and traffic impact analysis approved. TIA has a condition of approval, to have North 33rd Street built-out. As per Traffic Department, Trip generation and traffic impact analysis approved. TIA has a condition of approval, to have North 33rd Street built-out. Must comply with City's Access Management Policy. Will need a variance letter for streets exceeding 800 ft. in length without stub-outs. Plat shows a 20 ft. alley south of Lot 1 which extends to Lot 22. Alleys are required to be paved and private and will have to be maintained by property owners and not the City of McAllen. Provide a 20 ft. x 20 ft. ROW clip at alley intersections. Lot located north of Lot 2 is not labeled, please label prior to recording. Abandonment for utility easements must be recorded prior to recording.

Staff recommends approval of the subdivision in final form subject to conditions noted, and approval of block length variance request.

After a brief discussion, Mr. Gabriel Kamel moved to approve with the variance. Mr. Jose Saldana seconded the motion, which was approved with six members present and voting

b) BEJ Subdivision, 4701 North McColl Road, Taryn Santos, Violet Investments **(SUB2021-0054)(Revised Preliminary)CHC**

Mr. Daniel Santos abstained from voting on this item.

Mr. De la Garza stated N. McColl Road: 20 ft. dedication for 60 from centerline for 120 ROW Paving: by the state Curb & gutter: by the state. Engineer submitted a revised letter on July 16, 2021 requesting a variance to ROW dedication to dedicate only 10 ft. instead of the 20 ft. required. TX-DOT ROW Division has recommended to acquire the extra 20 ft. of ROW as required by the Thoroughfare Plan. City of McAllen Thoroughfare Plan East Violet Avenue: 20 ft. ROW dedication for 40 ft. from centerline for 80 ft. ROW Paving: 52 ft. Curb & gutter: Both sides.

Clarify if 15 ft. SWSC easement running along East Violet Avenue will be abandoned prior to final as it appears to be encroaching into the required ROW dedication. If abandonment is required, it must be done by a separate instrument and not by this plat. Engineer submitted a revised letter on July 16, 2021 requesting a variance to only dedicate 10 ft. instead of the required 20 ft. Engineering Department has recommended to acquire the extra 20 ft. of ROW as required by the Thoroughfare Plan. City of McAllen Thoroughfare Plan. Paving, Curb & gutter. ROW: 20 ft. Paving. 16 ft. Alley/service drive easement required for commercial properties. 24 ft. private service drive to provide city services required. It will be maintained by the property owners, and not the City of McAllen. It will be on the site plan and also on the plat as may be needed, prior to recording. Plat note will be required to be noted on the plat regarding the service drive, prior to recording. Subdivision Ordinance: Section 134-106. Front : North McColl Road: 60 ft. or greater for easements or approved site plan. East Violet Avenue: 40 ft. or greater for easements or approved site plan. Please revise plat note #2 as shown above prior to final. Zoning Ordinance: Section 138-356. Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan. Please revise plat note #2 as shown above prior to final. Zoning Ordinance: Section 138-356. Interior Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan. Zoning Ordinance: Section 138-356. Corner: See above. Please revise plat note #2 as shown

above prior to final. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required along East Violet Avenue and 5 ft. wide minimum sidewalk required along North McColl Road as per Engineering Department. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along City's Access Management Policy. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Plat note #10 is not required, please remove. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Common Areas, any private streets, service drives, etc. must be maintained by the lot owners and not the City of McAllen. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Minimum lot width and lot area. Zoning Ordinance: Section. 138-356. Lots fronting public streets. Zoning Ordinance: 138-1. Existing: C-3 Proposed: C-3. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation approved; no TIA required. Comments: Must comply with City's Access Management Policy. If any abandonments are needed, they will have to be recorded prior to final by a separate instrument.

Staff recommends approval of the subdivision in revised preliminary form subject to conditions noted, and compliance with ROW dedication requirements.

Mr. Ronnie Cruz, on behalf of the developer, explained that they want to match the existing ROW line along both streets. Mr. Cruz mentioned that adjacent subdivisions to the north and west had only dedicated for 100 ft. ROW on North McColl Road and 60 ft. ROW along East Violet Avenue.

Mr. De la Garza stated that when those subdivisions were processed the ROW requirements for both streets were different. The most recent subdivision in that area located at the SWC of North McColl Road and East Violet Avenue dedicated the required ROW as per the Thoroughfare Plan.

Ms. Bilikis Martinez, City of McAllen Engineer, also stated that ROW dedication should be required to accommodate the future improvements for that area. She also mentioned that TX-Dot ROW Divisions had also recommended to comply with ROW dedication as required by the Thoroughfare Plan.

Board members mentioned that it would not be fair for this property to dedicate more ROW than the other properties.

After a lengthy discussion, Mr. Gabriel Kamel moved to approve the preliminary form subject to conditions noted and recommended approval of the variance request. Mr. Jose Saldana seconded the motion, which was approved with six members present; five members present and one abstention.

**c) Habitat Village, 2700 Trenton Road, Tina(Wychopen) Hoff, (SUB2021-0074) (Preliminary)SEC**

Mr. De la Garza stated Trenton Road: 60 ft. from centerline for 120 ft. ROW. Paving: 65 ft. Curb & gutter: Both sides. Must escrow monies if any improvements are not built prior to recording. COM

Thoroughfare Plan. E/W Street: 65 ft. proposed ROW. Paving: 40 ft. Curb & gutter: Both sides. Must escrow monies if any improvements are not built prior to recording. Please clarify amount of paving proposed for internal street. Paving layout required prior to final to verify compliance with requirements. Knuckle design might be required in front of Lots 1-5 to comply with measurability requirements. Provide paving details to verify compliance prior to final. Internal street name will be finalized prior to final plat. Subdivision Ordinance: Section 134-105. Paving, Curb & gutter. 800 ft. Block Length. Subdivision Ordinance: Section 134-118. Front : 10 ft. or greater for easements. Please revise plat note #3 as shown above. Zoning Ordinance: Section 138-356. Rear: 10 ft. or greater for easements. Zoning Ordinance: Section 138-356. Interior Sides: In accordance with Zoning Ordinance or greater for easements. Zoning Ordinance: Section 138-356. Corner: 10 ft. or greater for easements. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required; greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. All setbacks will be finalized prior to final plat review since rezoning is in process. 4 ft. wide minimum sidewalk required on Trenton Road and both sides of all interior streets. Please revise plat note #9 as shown above prior to final. Street name for interior street will be assigned prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along Trenton Road. Please revise plat note as shown above prior to final. Please clarify "landscape easement" reference on plat note #10 prior to final. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along Trenton Road. Please add plat note as shown above prior to final. City's Access Management Policy. Site plan must be approved by the Planning and Development Departments prior to building permit issuance for 5 or more attached units. Common Areas, private streets/drives must be maintained by the lot owners and not the City of McAllen. Please clarify "private service drive" referenced on plat note #10 prior to final. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-72 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. HOA Document needs to be recorded simultaneously with plat. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. Zoning Ordinance: Section. 138-356. Minimum lot width and lot area. Clarify 25 ft. ROW Easement Magic Valley to verify that Lot 1 and 13 comply with minimum lot size requirement. Zoning Ordinance: 138-1

Existing: C-3 Proposed: R-3T. Rezoning will be presented before Planning and Zoning Board at the August 3, 2021 meeting. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Rezoning will be presented before Planning and Zoning Board at the August 3, 2021 meeting. Zoning Ordinance: Article V. Zoning Ordinance: Section 138-210. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, 13 lots are proposed; therefore, \$9,100 are due prior to recording. As per Traffic Department, Trip Generation waived; no TIA required. Comments: Must comply with City's Access Management Policy. Provide paving layout to verify compliance with requirements prior to final. Rezoning must be finalized prior to final plat review. Requirements such as setbacks, ROW, etc. will be finalized after rezoning is completed. Label detention area with a number or letter prior to final. Clarify 25 ft. ROW easement to Magic Valley prior to final.

Staff recommends approval of the subdivision in preliminary form subject to conditions noted, drainage and utilities approvals.

Being no discussion, Mr. Jose Saldana moved to approve. Mr. Gabriel Kamel seconded the motion, which was approved with six members present and voting.

- d) Villa Torre At North Bentsen Estates, 7500 North Bentsen Road, Riverside Development Services, LLC. **(SUB2021-0048)(Revised Preliminary)RDE**

Mr. De la Garza stated North Bentsen Road: 20 ft. dedication for 50 ft. ROW from centerline for 100 ft. ROW Paving: 65 ft. Curb & gutter: Both sides. Monies must be escrowed if improvements are not built prior to recording. COM Thoroughfare Plan. Internal street: 50 ft. ROW proposed. Paving: 36 ft. proposed. Curb & gutter: Both sides. Monies must be escrowed if improvements are not built prior to recording. Engineer is proposing 36 ft. of paving instead of the 40 ft. usually required. Fire Department reviewed engineer's proposal of 36 ft. of paving, but is recommending 40 ft. of paving width for the internal street. Street name will be assigned prior to final. Subdivision Ordinance: Section 134-105. Paving, Curb & gutter. 600 ft. Maximum Cul-de-Sac: Engineer submitted an application on June 18, 2021 requesting a variance to the maximum allowed cul-de-sac length. The proposed cul-de-sac length is approximately 720 ft. instead of the maximum allowed 600 ft. Planning and Zoning Board recommended approval of the cul-de-sac variance subject to 40 ft. of paving. Engineer is proposing 36 ft. of paving instead of the 40 ft. required. Fire Department reviewed engineer's proposal of 36 ft. of paving, but is recommending 40 ft. of paving width for the internal street. Subdivision Ordinance: Section 134-105. Front : 25 ft. or greater for easements. Zoning Ordinance: Section 138-356. Rear: 10 ft. or greater for easements. Zoning Ordinance: Section 138-356. Interior sides: 6 ft. or greater for easements. Zoning Ordinance: Section 138-356. Corner: 10 ft. or greater for easements. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required; greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on North Bentsen Road and both sides of all interior streets. Please revise plat note #9 as shown above prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along North Bentsen Road. Please revise plat note #11 as shown above prior to final. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along North Bentsen Road. Please revise plat note #14 as shown above prior to final. City's Access Management Policy. Common Areas, any private streets/drives, common areas, detention areas, etc. must be maintained by the lot owners and not the City of McAllen. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-72 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. HOA document will be required to be recorded simultaneously with plat. Subdivision Ordinance: Section 110-72. Minimum lot width and lot area. If ROW is widened, lot dimensions

might have to be revised to comply with minimum lot area requirements prior to final. Zoning Ordinance: 138-1. Lots fronting public streets. Zoning Ordinance: Section. 138-356. Existing: R-1 Proposed: R-1. Zoning Ordinance: Article V. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, 26 single-family lots are proposed, therefore, \$18,200 are due prior to recording. Comments: Must comply with City's Access Management Policy. Internal street name will be assigned prior to final. As per Fire Department, minimum 96 ft. of paving diameter face-to-face with 10 ft. ROW back of curb required. Engineer is proposing 36 ft. of paving instead of the 40 ft. usually required for the internal street when cul-de-sac exceeds 600 ft. in length. Fire Department reviewed engineer's proposal of 36 ft. of paving, but is recommending 40 ft. of paving width for the internal street. Additional documents as may be required by Public Works and Fire Departments to verify compliance with cul-de-sac maneuverability prior to final.

Staff recommends approval of the subdivision in revised preliminary form subject to conditions noted, drainage and utilities approvals, and approval of cul-de-sac length variance with 40 ft. of paving width.

After a brief discussion, Mr. Michael Fallek moved to approve the preliminary form subject to conditions and recommend approval of variance as recommended by staff. Mr. Michael Hovar seconded the motion, which was approved with six members present and voting.

e) **Castillo Estates Subdivision, 9601 Mile 10 1/3, Jesus and Susana Castillo (SUB2021-0073)(Preliminary Review) ROE**

Ms. Gonzalez stated Mile 10 1/3 (County Road 4501): 20 ft. of additional ROW dedication for 35 ft. from centerline for a total 70 ft. ROW. Paving: 44 ft. Curb & gutter: both sides. Revise street name as noted above. Reference any existing ROW dedicated by previously established subdivisions accordingly along the east and west boundaries. Remove "proposed" from plat referencing ROW along front of Lot 1 N/S collector road: 35 ft. ROW require for future 70 ft. ROW collector road. Paving: 44 ft. Curb & gutter: both side. Location of future 1/4 mile collector road being reviewed to determine if property is impacted. City of McAllen Thoroughfare Plan. Paving, Curb & gutter. 800 ft. Block Length. Subdivision Ordinance: Section 134-118. ROW: 20 ft. Paving: 16 ft. Alley/service drive easement required for commercial properties. Subdivision Ordinance: Section 134-106. Front: Proposing 45 ft. or greater for easement or approved site plan. Revise plat as noted above. Zoning Ordinance: Section 138-356. Rear: Proposing 30 ft. or greater for easement. Zoning Ordinance: Section 138-356. Sides: 15 ft. or greater for approved site plan or easements. Revise plat as noted above. Zoning Ordinance: Section 138-356. Corner: 10 ft. or greater for easements Zoning Ordinance: Section 138-356. Garage: 18 ft. or greater for easements. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on Mile 10 1/3 and N/S collector road. Revise plat as noted above. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Plat note required as noted above. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common areas, private streets, service drives, etc. must be maintained by the lot owners and not the City of McAllen. Common areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Zoning



Ordinance: 138-1. Minimum lot width and lot area. Zoning Ordinance: 138-1. Existing: ETJ  
Proposed: ETJ. No annexation applications on file. Park Fee of \$700 per x 3 proposed lots = \$2,100  
to be paid prior to recording if land is annexed. Must comply with City's Access Management.  
Revise street name for Mile 10 1/3 - County Road 4501. Revise setbacks as noted above. Need  
note indicating 4 ft. minimum wide sidewalk required along Mile 10 1/3 and County Road 4501.  
DWG file reviewed by staff is defective. Need an ownership map of surrounding properties to  
assure no landlocked properties exist. Revise vicinity map and label accordingly.

Staff recommends disapproval of the subdivision due to missing files.

Being no discussion, Mr. Gabriel Kamel moved to disapprove. Mr. Jose Saldana seconded the  
motion, which was approved with six members present and voting.

- f) Garcia Estates, 2901 Gumwood, Sonia Garcia/Erik J. Mora **(SUB2020-0048)(Revised Preliminary)(TABLED on 6/3/2021)M&H**

To remain tabled until next Planning and Zoning meeting.

New Board Member, Mr. Emilio Santos Jr. was introduced.

#### 7) INFORMATION ONLY

- a) City Commission Actions held on July 12, 2021.

#### ADJOURNMENT:

There being no further business to come before the Planning & Zoning Commission, Gabriel Kamel  
adjourned the meeting at 4:28 p.m. and Mr. Emilio Santos Jr. seconded the motion, which carried  
unanimously with four members present and voting.

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Chairperson, Daniel Santos

ATTEST: \_\_\_\_\_  
Magda Ramirez, Administrative Assistant

# Planning Department

## Memo

**TO:** Planning and Zoning Commission

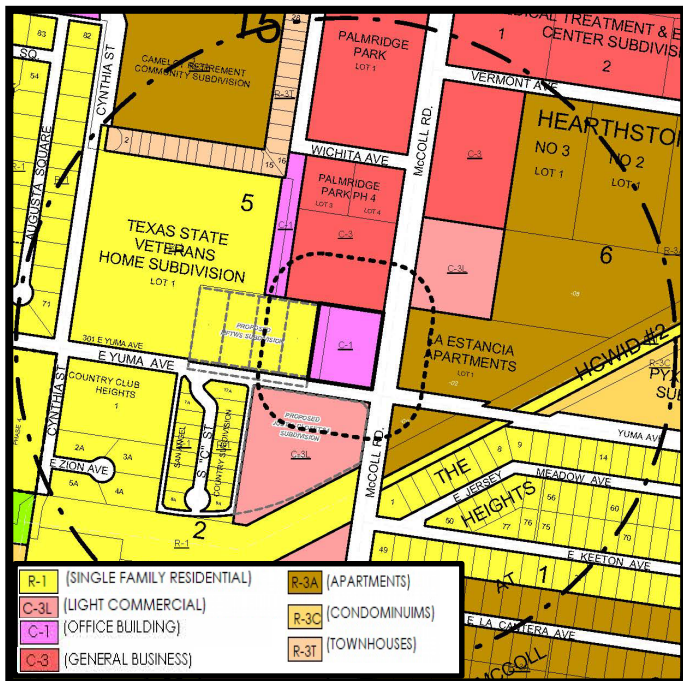
**FROM:** Planning Staff

**DATE:** July 29, 2021

**SUBJECT: REZONE FROM C-1(OFFICE) DISTRICT TO C-2 (NEIGHBORHOOD COMMERCIAL) DISTRICT: 2.35 ACRES OUT OF THE LOT 5, BLOCK 15, STEELE & PERSHING SUBDIVISION OF THE EAST ½ OF PORTION 66 AND ALL OF PORTION 67, HIDALGO COUNTY, TEXAS; 2408 & 2416 S. MCCOLL RD. (REZ2021-0038)**

**LOCATION:** The property is located on the northwest corner of S. McColl Road and E. Yuma Avenue. The tract has 330 ft. of frontage along S. McColl Road with a depth of 310 ft. for a lot size of 2.35 acres.

**PROPOSAL:** The applicant is requesting to rezone the property to C-2 (neighborhood commercial) District in order to construct a gasoline service station. A feasibility plan has been submitted.



ADJACENT ZONING: The adjacent zoning is R-1 (single family residential) District to the west, C-3 (general commercial) District to the north, R-3A (multifamily apartment) District to the east, and C-3L (light commercial) District to the south.

LAND USE: The property is currently vacant. Surrounding land uses are commercial buildings, single-family residential, apartments and vacant land.

COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Commercial and Suburban Commercial, which is comparable to C-1 (office) to C-3 (general business) Districts and C-1 (office) to C-3L (light commercial) District.

DEVELOPMENT TRENDS: The development trend for this area along McColl Road and Yuma Avenue is a mix of residential and commercial.

HISTORY: The property was zoned C-1 (office) District upon annexation in November 1995. There have been no rezoning requests on the property since that time. Adjacent property to the north was zone C-3 (general business) District in August 2002.

ANALYSIS: The requested zoning conforms to the Auto Urban Commercial and Suburban Commercial land use designation as indicated on the Foresight McAllen Comprehensive Plan.

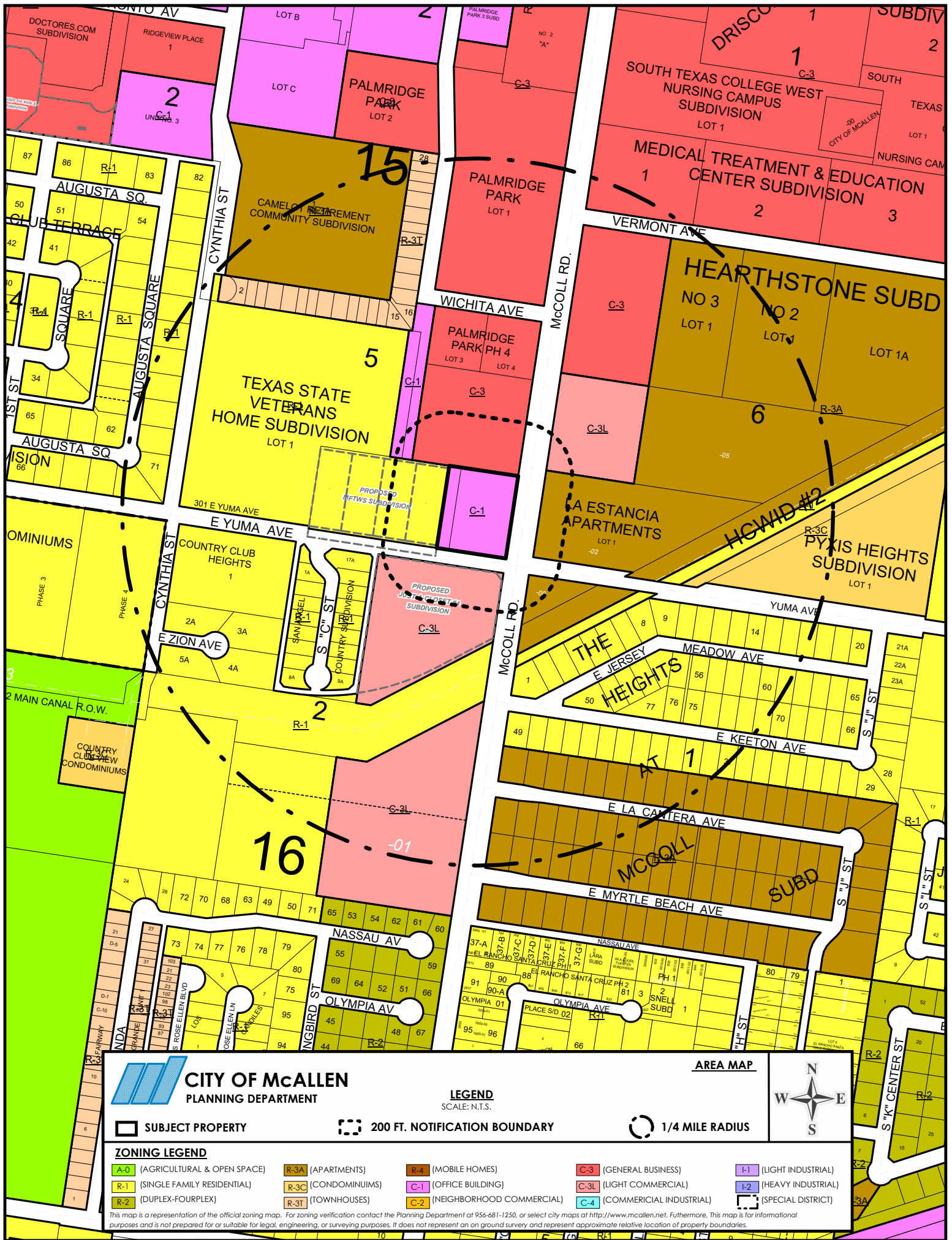
The subject property is off a minor arterial street as per Foresight Thoroughfare Plan.

A recorded subdivision plat and approved site plan are required prior to building permit issuance. Gasoline service stations or retail outlets where gasoline products are sold require a Conditional Use Permit as well.

Section 110-49 (a) Vegetation Ordinance requires a masonry screen eight ft. in height where a commercial, industrial or multifamily use has a side or rear property line in common with a single-family use or zone.

Staff has not received any calls or emails in opposition.

RECOMMENDATION: Staff recommends approval of the rezoning request to C-2 (neighborhood commercial) District.





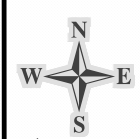


**CITY OF McALLEN**  
PLANNING DEPARTMENT

**AERIAL MAP**  
SCALE: N.T.S.

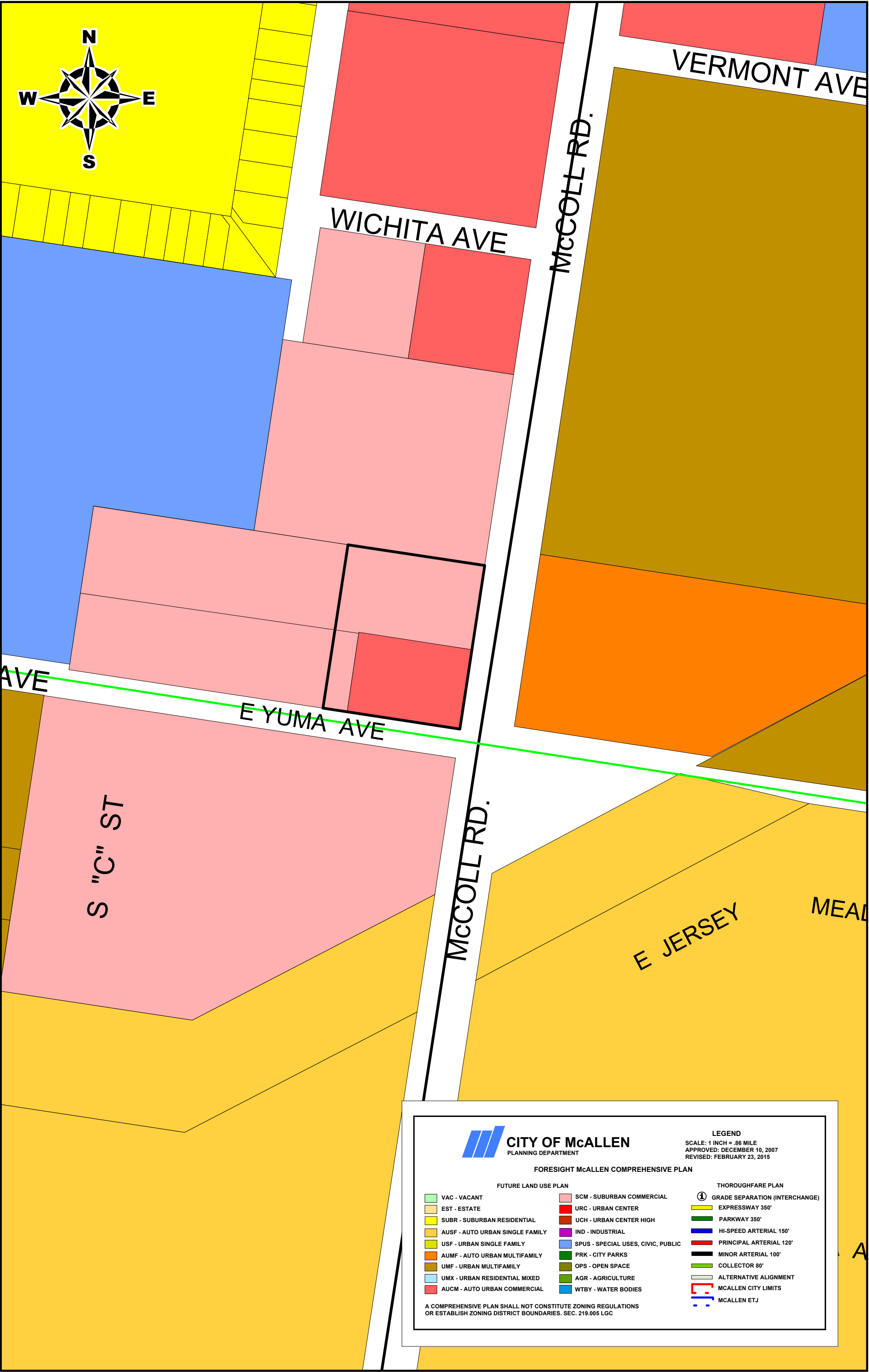
 **SUBJECT PROPERTY**


 **200' NOTIFICATION BOUNDARY**



This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property on ground survey and represent approximate relative location of property boundaries.







**CITY OF McALLEN**  
PLANNING DEPARTMENT

**FORESIGHT McALLEN COMPREHENSIVE PLAN**

**FUTURE LAND USE PLAN**

VAC - VACANT	SCM - SUBURBAN COMMERCIAL
EST - ESTATE	URC - URBAN CENTER
SUBR - SUBURBAN RESIDENTIAL	UCH - URBAN CENTER HIGH
AUSF - AUTO URBAN SINGLE FAMILY	IND - INDUSTRIAL
USF - URBAN SINGLE FAMILY	SPUS - SPECIAL USES, CIVIC, PUBLIC
AUMF - AUTO URBAN MULTIFAMILY	PRK - CITY PARKS
UMF - URBAN MULTIFAMILY	OPS - OPEN SPACE
UMX - URBAN RESIDENTIAL MIXED	AGR - AGRICULTURE
AUCM - AUTO URBAN COMMERCIAL	WTBY - WATER BODIES

**THOROUGHFARE PLAN**

① GRADE SEPARATION (INTERCHANGE)
EXPRESSWAY 350'
PARKWAY 350'
HI-SPEED ARTERIAL 150'
PRINCIPAL ARTERIAL 120'
MINOR ARTERIAL 100'
COLLECTOR 80'
ALTERNATIVE ALIGNMENT
McALLEN CITY LIMITS
McALLEN ETJ

A COMPREHENSIVE PLAN SHALL NOT CONSTITUTE ZONING REGULATIONS OR ESTABLISH ZONING DISTRICT BOUNDARIES. SEC. 219.005 LGC

**LOT 1**

**WELLS STATE FIDELITY TRUST**

**SUBDIVISION PLAT**

**LOC - 30, PG. 26**

**PLANNED**

**BOLT FOUND**

**MFTWS LLC**  
1.826 ACRES  
OUT OF LOT 5, BLOCK 15,  
STEELE & PERSHING SUBDIVISION,  
VOL. 8, PG. 115, H.C.M.R.  
DOC#3154689, H.C.D.R.

**MFTWS LLC**  
1.496 ACRES  
OUT OF LOT 5, BLOCK 15,  
STEELE & PERSHING SUBDIVISION,  
VOL. 8, PG. 115, H.C.M.R.  
DOC#3154700, H.C.D.R.

**TRACT 1**  
**2.35 GROSS ACRES**  
**0.18 ACRE IN E. YUMA AVENUE R.O.W.**  
**0.36 ACRE IN S. MCCOLL ROAD R.O.W.**  
**1.79 ACRE NET**

**LOT 1**  
CITY OF MOBILE  
DOC# 744040  
H.C.D.R.

**LOT 1, BLOCK 18**  
**STEELE & PERSHING**  
**SUBDIVISION**  
VOL. 8, PG. 115  
H.C.M.R.

**LOT 2, BLOCK 16**  
**STEELE & PERSHING SUBDIVISION**  
VOL. 8, PG. 115  
H.C.M.R.

**E. YUMA AVE.**  
(60 R.O.W.)  
CALCULATED POINT  
SOUTH R.O.W. LINE  
NORTH R.O.W. LINE  
WEST R.O.W. LINE  
CITY OF MOBILE  
DOC# 744040  
H.C.D.R.

**P.O.B.**  
COTTON PICKER SPINDLE FOUND  
S.E. COR. LOT 5,  
BLOCK 15

**BEARINGS AND DISTANCES:**  
S81° 22' 38"E 310.00'  
N8° 37' 24"W 330.00'  
N81° 22' 38"W 310.00'  
S8° 37' 24"W 330.00'

**FOUND MARKS:**  
BOLT FOUND  
DIST. FENCE  
1/2" IRON ROD FOUND  
COTTON PICKER SPINDLE FOUND  
CALCULATED POINT

**ADJACENT LOTS:**  
LOT 5, BLOCK 15  
LOT 2, BLOCK 16  
LOT 1, BLOCK 18

**LEGAL REFERENCES:**  
STEEL & PERSHING SUBDIVISION VOL. 8, PG. 115, H.C.M.R.  
MCCOLL ROAD R.O.W. VOL. 8, PG. 115, H.C.M.R.  
YUMA AVENUE R.O.W. VOL. 8, PG. 115, H.C.M.R.

**LEGEND**

- CAPPED 1/2" IRON ROD SET
- PK NAIL FOUND
- ⊗ BOLT FOUND
- 1/2" IRON ROD FOUND
- △ COTTON-PICKER-SPINDLE FOUND
- △ COTTON-PICKER-SPINDLE SET
- XXXX MEASURED
- XX EXISTING FENCE
- 1/2" PIPE FOUND
- ⊙ 5/8-WICH IRON ROD FOUND

- 1) SURVEY DONE WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
- 2) NO ADDITIONAL RESEARCH WAS PERFORMED BY RIO DELTA ENGINEERING FOR ANY ADDITIONAL EASEMENT(S) OR BUILDINGS LINES WHICH MAY OR MAY NOT AFFECT THE SUBJECT TRACT.
- 3) THE PROPERTY SHOWN IS PARTIALLY IN ZONE "B" AND ZONE "C", IN HIDALGO COUNTY, AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AND IDENTIFIED ON FIRM MAP NO. 480334 0425 C, DATED NOVEMBER 16, 1982.

I, IVAN GARCIA, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY STATE, THAT THIS SURVEY WAS MADE ON THE GROUND OF THE PROPERTY SHOWN HEREON DURING NOVEMBER 2020, UNDER MY DIRECTION AND SUPERVISION; THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE; THAT THE PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR LAND TITLE SURVEYS".



7/1/2021

IVAN GARCIA  
REG. PROFESSIONAL LAND  
SURVEYOR NO. 6496

DATE \_\_\_\_\_

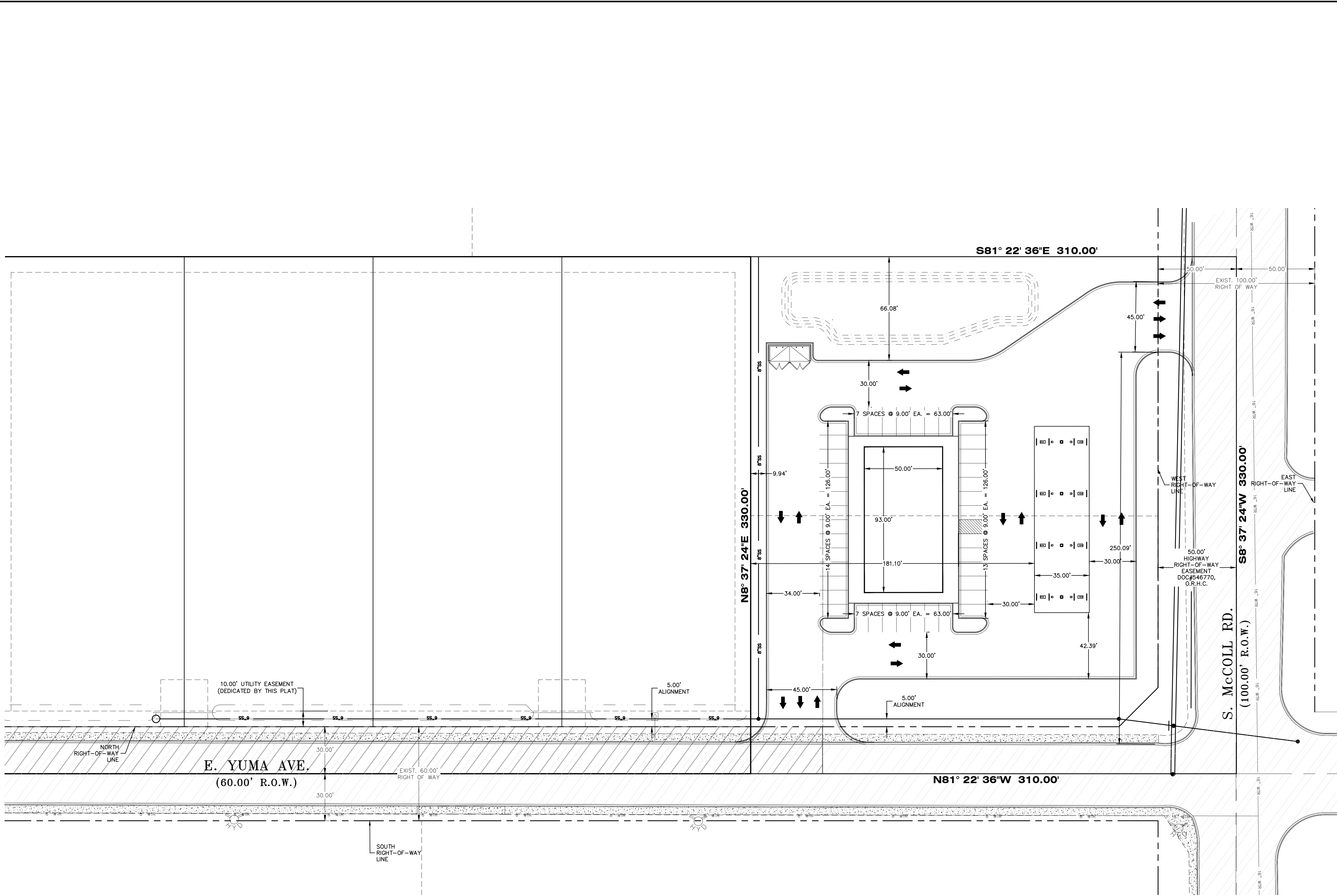


**RIO DELTA ENGINEERING**  
FIRM REGISTRATION No. F-7628  
SURVEY FIRM NO. 10184027  
221 S. 10TH AVENUE, EDINBURG TEXAS 78838  
(TEL) 956-380-5152 (FAX) 956-380-5063

DATE	JUNE, 2021
PROJECT	SUB 20 005
PAGE	1 OF 1



Y:\RDE SUBDIVISIONS 2020\SUB 20 005 - Meyerthorff 3.65 Acres\DWG\SUB 20 005\_SHT 5 SITE PLAN.dwg IVAN 7/23/2021 1:51 PM



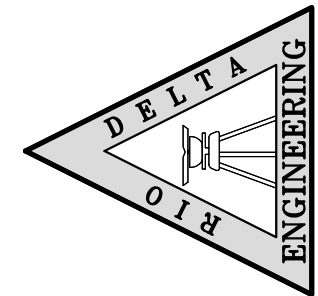
SCALE: 1" = 30'  
BASIS OF BEARING  
TEXAS STATE PLANE COORDINATES  
NAD 83  
TEXAS SOUTH ZONE (4205)  
WESTERN DATA SYSTEMS NETWORK

#### LEGEND

	EXIST. POWER POLE
	EXIST. GUY WIRE
	EXIST. SIGNS
	EXIST. FENCE LINE
	EXIST. OVERHEAD ELECTRIC LINE
	EXIST. UNDERGROUND CABLE
	8" SS 8" SANITARY SEWER LINE
	8" WTR 8" WATER LINE
	16" WTR 16" WATER LINE
	SD 8" STORM DRAIN LINE
	GAS 8" GAS LINE
	SANITARY SEWER MANHOLE
	EXIST. FIRE HYDRANT
	PROP. FIRE HYDRANT
	WATER VALVE
	LIGHT POLE
	B-B BACK TO BACK
	N.G. NATURAL GROUND
	B.O.C. BACK OF CURB
	T.O.S. TOP OF SIDEWALK
	T.O.C. TOP OF CURB
	T.O.A. TOP OF ASPHALT
	U.E. UTILITY EASEMENT

- GENERAL NOTES:
- 1.) THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING WITH ALL APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN CONSTRUCTION AREA.
  - 2.) ALL EXIST. UTILITIES ARE AT APPROXIMATE LOCATIONS.
  - 3.) THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS ARE BASED ON OBSERVATION OF ABOVEGROUND STRUCTURES. LINES SPOTTED BY THE OWNER, AND UTILITY SPOTTING. ACTUAL LOCATION OF THESE UTILITIES MAY VARY. AND ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED UPON EXCAVATION.
  - 4.) BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL CALL FOR UTILITY SPOTTING BY THE APPROPRIATE AGENCY AND VERIFY THE LOCATION OF THESE UTILITIES TO HIS SATISFACTION.
  - 5.) ANY DAMAGE CAUSED TO EXISTING STRUCTURES AND/OR UTILITIES BY THE CONTRACTOR SHALL BE THE CONTRACTORS RESPONSIBILITY TO CORRECT AT HIS EXPENSE.
  - 6.) ANY DAMAGE TO PROPERTY, OUTSIDE THE CONSTRUCTION ZONE, CAUSED BY THE CONTRACTOR, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CORRECT AT HIS EXPENSE.

**RIO DELTA ENGINEERING**  
FIRM REGISTRATION No. F-7628  
SURVEY FIRM No. 10194027  
921 S. 10TH AVENUE EDINBURG, TEXAS 78539  
(TEL) 956-380-5152 (FAX) 956-380-5083



THIS DOCUMENT IS  
RELEASED FOR THE  
PURPOSE OF INTERIM  
REVIEW UNDER THE  
AUTHORITY OF  
**IVAN GARCIA,**  
P.E. 115662 ON  
**JUNE 29, 2021**  
IT IS NOT TO BE  
USED FOR CONSTRUCTION,  
BIDDING OR PERMIT  
PURPOSES.

ISSUED FOR:  
**PRELIMINARY**

**SITE PLAN**  
**MCCOLL RD & YUMA AVE**  
**MCALLEN, TEXAS**  
**HIDALGO COUNTY**

PROJECT :

ENGINEER:  
**IVAN GARCIA P.E. R.P.L.S.**  
SURVEYOR:  
**IVAN GARCIA P.E. R.P.L.S.**  
CHECKED:  
**IVAN GARCIA P.E. R.P.L.S.**  
DRAWN:

**EDWIN PENA**

SCALE:  
**1"=30'**

DATE:  
**JULY, 2021**

PROJECT:  
**SUB 20 005**

REVISIONS:

PAGE NO.  
**1-OF-1**



NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ:2021-0038

CITY OF MCALLEN PLANNING DEPT.  
954-661-5158  
WWW.MCALLEN.NET

NOTICE  
SERVICE  
STATION





## Planning Department

### Memo

**TO:** Planning and Zoning Commission

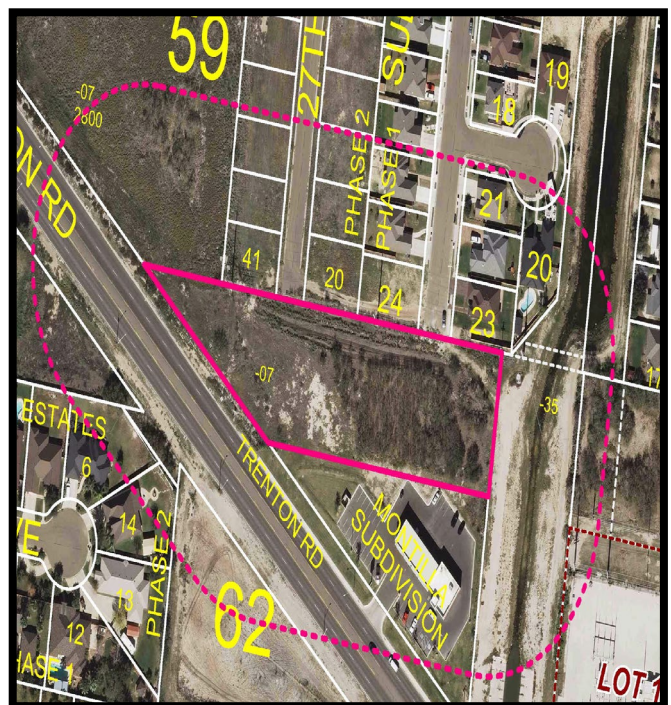
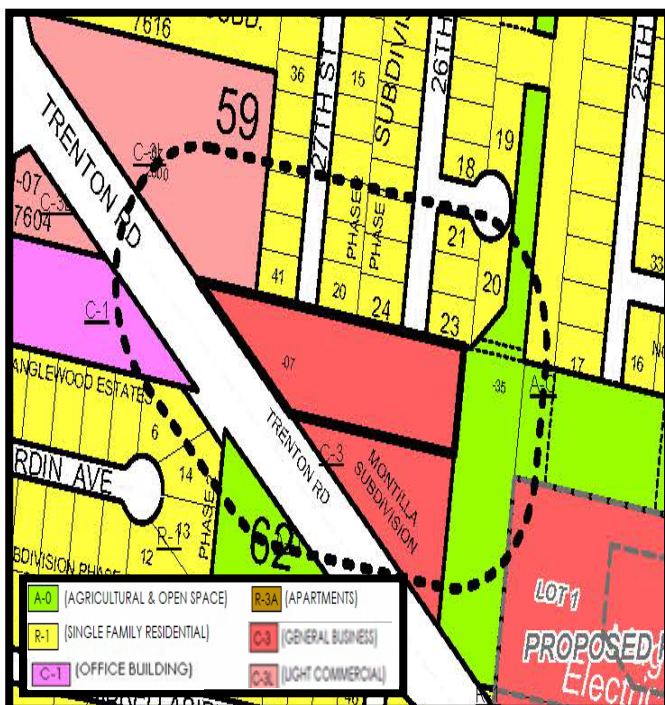
**FROM:** Planning Staff

**DATE:** July 16, 2021

**SUBJECT: REZONE FROM C-3 (GENERAL BUSINESS) DISTRICT TO R-3T (MULTIFAMILY RESIDENTIAL TOWNHOUSE) DISTRICT: 2.00 ACRE TRACT OF LAND OUT OF LOT 62, LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY SUBDIVISION, HIDALGO COUNTY, TEXAS; 2700 TRENTON ROAD. (REZ2021-0037)**

**LOCATION:** The property is located on the north side of Trenton road, approximately 580 ft. east of 29<sup>th</sup> Street. The tract is an irregular-shaped lot with 304.70 ft. of frontage along Trenton road and the maximum depth of 657.35 ft. for a lot size of 2.00 acres.

**PROPOSAL:** The applicant is requesting to rezone the property to R-3T (multifamily residential townhouses) District in order to construct townhouses. An application for a subdivision for the subject property under the name of Habitat Village has been submitted and will be presented at the Planning and Zoning Commission Meeting of August 03, 2021.



ADJACENT ZONING: The adjacent zoning is R-1 (single family residential) District to the north and south, A-O (agriculture and open space) District to the east and south, C-3 (general business) District to the south, C-1 (office building) District to the west, and C-3L (light commercial) District to the north.

LAND USE: The property is currently vacant. Surrounding land uses are commercial buildings, single-family residential and vacant land.

COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Single Family, which is comparable to R-1 District.

DEVELOPMENT TRENDS: The development trend for this area along Trenton Road is a mix of residential and commercial.

HISTORY: The property was zoned A-O (agricultural-open space) District upon annexation in 1989.

In October 26, 2009, the City Commission voted to disapprove a rezoning request from A-O (office building) District to C-3 District and alternatively approved for C-1 (office building) District at 2700 Trenton Road.

In October 22, 2012, the City Commission voted to approve a rezoning request from C-1 (office building) District to C-3 District at 2700 Trenton Road.

ANALYSIS: The requested zoning does not conform to the Auto Urban Single Family land use designation as indicated on the Foresight McAllen Comprehensive Plan.

The subject property is off a principal arterial street as per Foresight Thoroughfare Plan. Multifamily residential apartment uses are more suitable in arterial intersections due to high traffic volume and visibility.

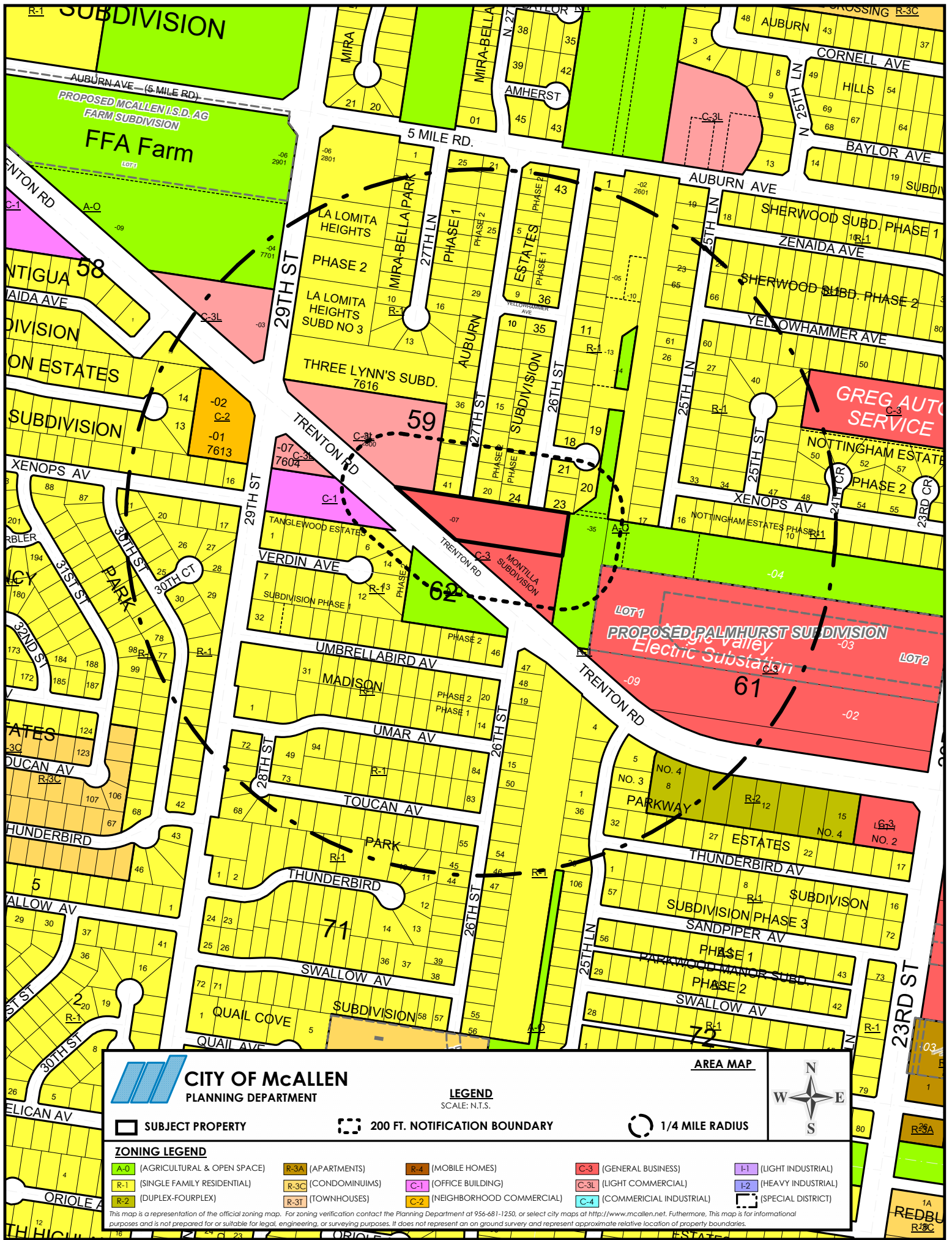
The maximum density in R-3T (multifamily residential townhouses) District is 20 units per acre. Therefore, the maximum number of units for the subject property is approximately 40 units.

Section 110-49 (a) Vegetation Ordinance requires a masonry screen eight ft. in height where a commercial, industrial or multifamily use has a side or rear property line in common with a single-family use or zone.

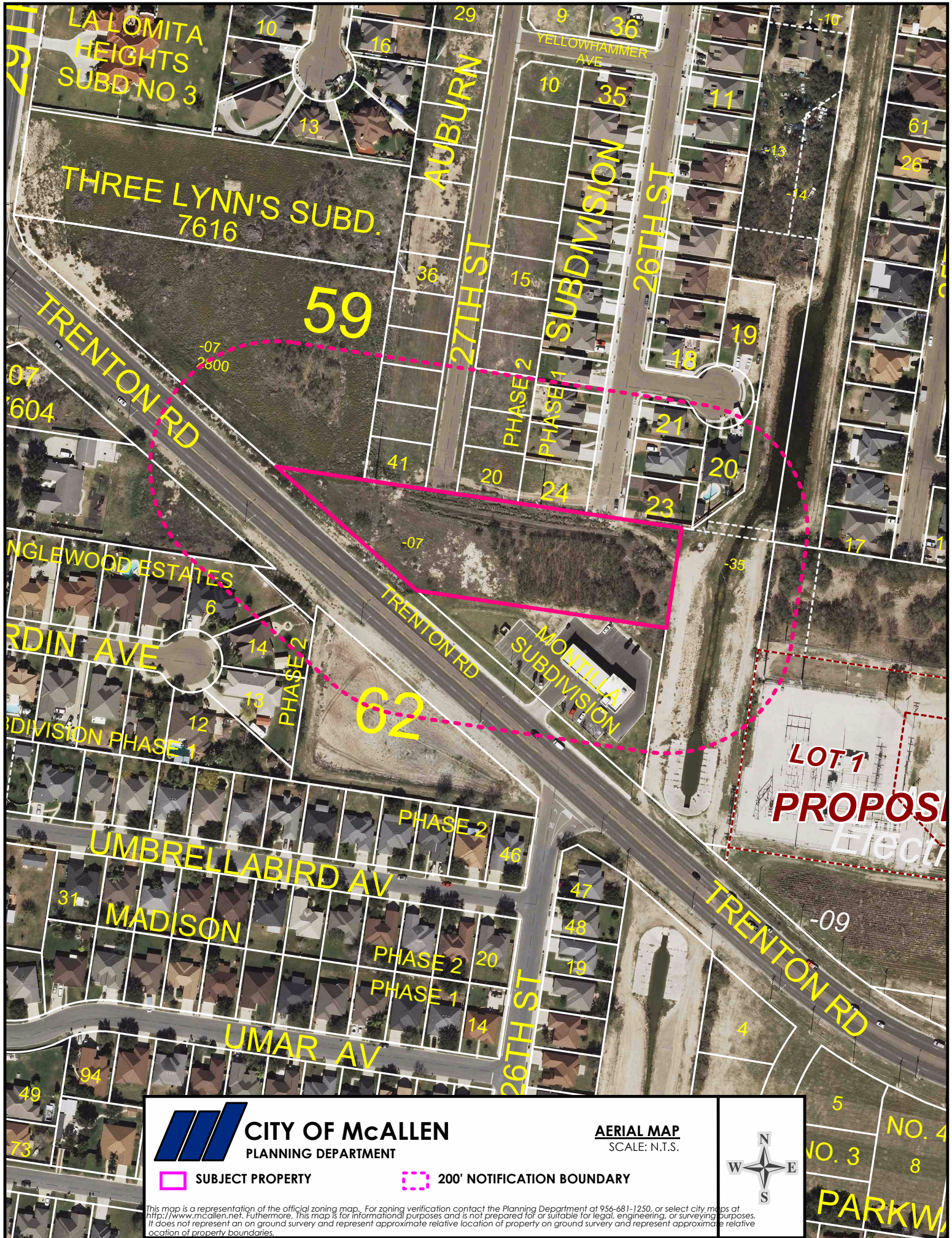
A recorded subdivision plat and approved site plan are required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

Staff has not received any calls or emails in opposition.

RECOMMENDATION: Staff recommends approval of the rezoning request to R-3T (multifamily residential townhouses) District.







**CITY OF McALLEN**  
PLANNING DEPARTMENT

**AERIAL MAP**  
SCALE: N.T.S.

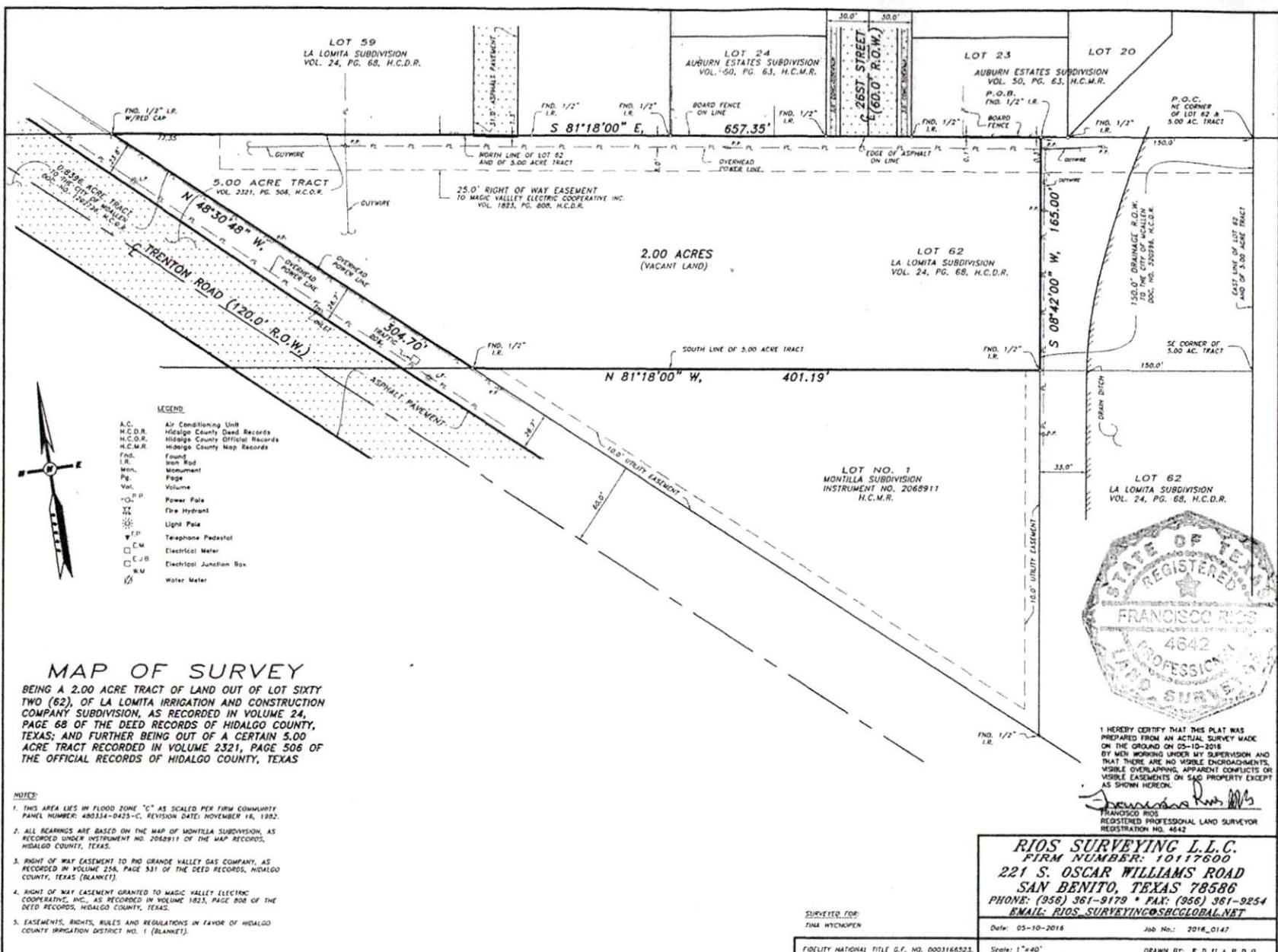
 **SUBJECT PROPERTY**

 **200' NOTIFICATION BOUNDARY**



This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property on ground survey and represent approximate relative location of property boundaries.



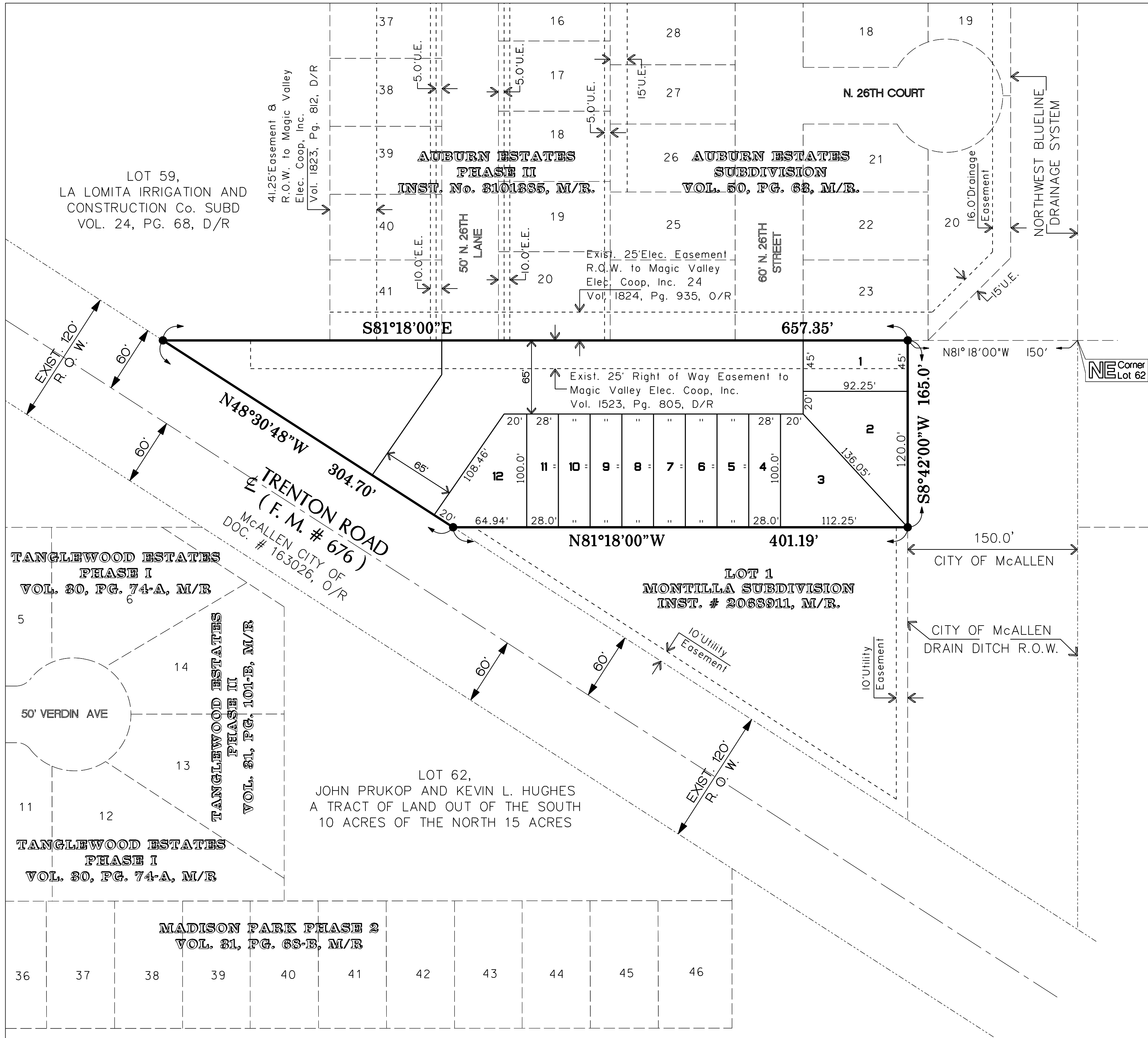


RECEIVED  
 JUL 02 2021

BY: JCO







NOTES:

1.) MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18 INCHES ABOVE TOP OF CURB MEASURED AT FRONT CENTER OF LOT.

2.) THIS PROPERTY FALLS IN ZONE 'B' OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL No. 480 334 0425C REVISED NOVEMBER 16, 1982.

3.) MINIMUM BUILDING SETBACK LINE SHALL AS FOLLOWS: FRONT - 10 FEET OR GREATER FOR GRAGES REAR - 10 FEET OR GREATER FOR EASEMENTS SIDE - IN ACCORDANCE WITH ZONING ORDINANCE OR GREATER FOR EASEMENTS. GARAGE - 18 FEET EXCEPT WHERE GREATER SETBACK IS REQUIRED, GREATER SETBACK APPLIES.

4.) A 4.0' SIDEWALK REQUIRED ALONG TRENTON RD., WARBLER AVE. AND N. 26TH LANE

5.) A 6 FT. OPAQUE BUFFER IS REQUIRED FROM ADJACENT / BETWEEN MULTI - FAMILY RESIDENTIAL AND COMMERCIAL OR INDUSTRIAL ZONES / USES. AN 8 FT. MASONRY WALL IS REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES / USES.

6.) DRAINAGE DETENTION OF 0.30 AC-FT IS REQUIRED FOR THIS PROPERTY.

7.) AN ENGINEERED DETENTION PLAN APPROVED BY CITY'S ENGINEERING DEPT IS REQUIRED PRIOR TO APPLICATION FOR BUILDING PERMIT.

8.) THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT. DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.

### METES & BOUNDS

A 2.00 ACRE TRACT OF LAND OUT OF THE NORTH 5.0 ACRES OF LOT 62, LA LOMITA IRRIGATION & CONSTRUCTION CO. SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO PLAT RECORDED IN VOLUME 24, PAGE 68, DEED RECORDS, HIDALGO COUNTY, TEXAS.

BEGINNING at a point on the North line of Lot 62, North 81 Deg. 18 Min. West, 150.0 feet from the northeast corner of Lot 62, for the northeast corner of the following described tract of land, said point being on the West line of City of McAllen drain ditch right of way;

THENCE, with the West line of said drain ditch right of way, South 08 Deg. 42 Min. West, 165.0 feet to a point on the South line of said north 5.0 acres of Lot 62, for the southeast corner hereof;

THENCE, with the South line of the north 5.0 acres of Lot 62, North 81 Deg. 18 Min. West, 401.19 feet to a point on the South line of Trenton Road, for the southwest corner hereof;

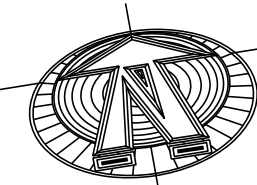
THENCE, with the South line of Trenton Avenue, North 48 Deg. 30 Min. 48 Sec. West, 304.70 feet to a point on the North line of Lot 62, for the northwest corner hereof;

THENCE, with the North line of Lot 62, South 81 Deg. 18 Min. East, 657.35 feet to the POINT OF BEGINNING;

containing 2.00 acres of land, more or less.

9.) BENCHMARK \*MC47 LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF TAYLOR RD AND MILE 5 RD. - ELEV:140.02

10.) COMMON AREAS, LANDSCAPE EASEMENTS, AND PRIVATE SERVICE DRIVES MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.



June 22, 2021  
1"=60'

## MAP OF HABITAT VILLAGE

McALLEN, TEXAS

BEING A SUBDIVISION OF A 2.00 ACRE TRACT OF LAND  
OUT OF THE NORTH 5.0 ACRES OF LOT 62,  
LA LOMITA IRRIGATION & CONSTRUCTION CO.  
SUBDIVISION, HIDALGO COUNTY, TEXAS,  
ACCORDING TO PLAT RECORDED IN  
VOLUME 24, PAGE 68, DEED RECORDS,  
HIDALGO COUNTY, TEXAS

STATE OF TEXAS:  
COUNTY OF HIDALGO:

I, (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED AS THE " HABITAT VILLAGE " SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME(S) IS (ARE) SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE), WILL CAUSE TO BE INSTALLED THEREON SHOWN OR NOT SHOWN IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

STATE OF TEXAS:  
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Tina ( Wychopen ) Hoff, KNOWN TO ME TO BE THE PERSONS WHOSE NAMES IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

NOTARY PUBLIC

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION DATE

STATE OF TEXAS:  
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, CARLOS VASQUEZ A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE CITY OF PHARR SUBDIVISION ORDINANCE AND ALL STATE STATUTES GOVERNING SURVEYS

CARLOS VASQUEZ, RPLS # 4608 DATE  
CVO LAND SURVEYORS  
517 BEAUMONT ST.  
McALLEN, TEXAS 78501  
TBPELS FIRM # 10119600

STATE OF TEXAS:  
COUNTY OF HIDALGO:

I, STEPHEN SPOOR, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

REGISTERED PROFESSIONAL ENGINEER  
P. E. REGISTRATION No. 56752

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN DATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE 49.211(c) THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

BY: RAUL E. SESIN, P.E., C.F.M.  
GENERAL MANAGER

DATE:

**LOCATION MAP**

McAllen Independent School District

58 -03

59 -07

LA LOMITA HEIGHTS

LA LOMITA HEIGHTS #3

THREE LYNN'S Lot 1

LA LOMITA HEIGHTS #4

LA LOMITA HEIGHTS #5

LA LOMITA HEIGHTS #6

LA LOMITA HEIGHTS #7

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## Memo

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

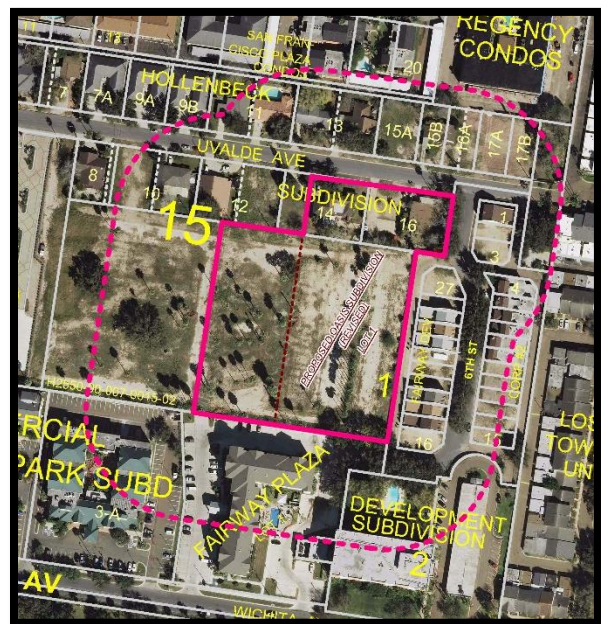
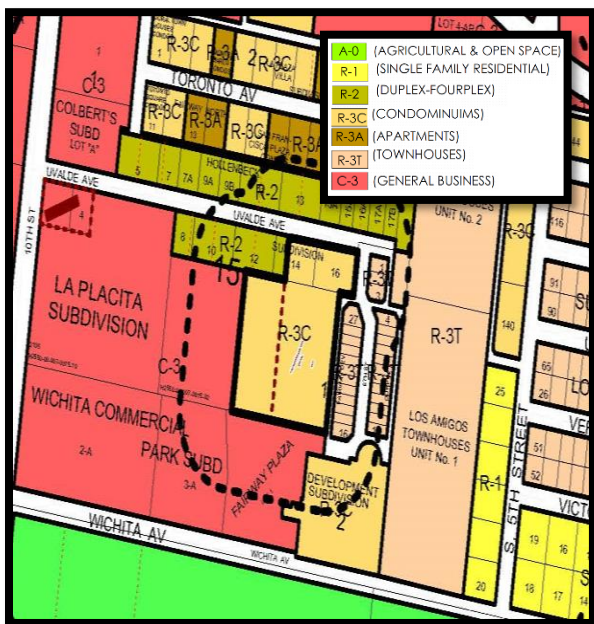
**DATE:** July 29, 2021

**SUBJECT: REZONE FROM R-3C (MULTIFAMILY CONDOMINIUMS) DISTRICT TO R-3A (MULTIFAMILY APARTMENTS) DISTRICT: 3.842 ACRES CONSISTING OF 3 ACRES OUT OF LOT 15, SOUTHEAST ½ SECTION 7 OUT OF HIDALGO CANAL COMPANY SUBDIVISION AND 0.842 ACRES OUT OF LOT 16, AND THE WEST 109 FT OF LOT 14 OUT OF HOLLENBECK SUBDIVISION, HIDALGO COUNTY, TEXAS; 2105 SOUTH 10<sup>TH</sup> STREET. (REZ2021-0010)**

**LOCATION:** The property consists of two tracts; one tract (consisting of lot 16 & lot 14) is located on the south side along Uvalde Avenue, approximately 950 ft. east of South 10<sup>th</sup> Street with a width of 267 ft. and depth of 113 ft. The second tract is an interior tract located approximately 901 ft. east of South 10<sup>th</sup> Street and approximately 113 ft. south of Uvalde Avenue. The subject properties consists 3.842 acres total.

**PROPOSAL:** The applicant is requesting to rezone the properties to R-3A (multifamily apartments) District in order to construct multifamily apartments. Funding for 102 Units was approved by TDHCA.

**ADJACENT ZONING:** The adjacent zoning is C-3 (general business) District to the south and west, R-2 (duplex-fourplex) District to the north and west, and R-3T (multifamily townhouses) District to the east.



LAND USE: The property is currently vacant. Surrounding land uses include single-family residences, apartments, townhouses, La Placita Commercial Plaza that holds Retail stores, Lone Star National Bank and BBVA Compass Bank, Hotels, restaurants, a parking lot and vacant land.

COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for the property along Uvalde Avenue as Urban Single Family which is comparable to R-1 (single-family residential) District and the interior tract as Auto Urban Commercial which is comparable to C-1 (office) District to C-3 (general business) District.

DEVELOPMENT TRENDS: The development trend for this area along Uvalde Avenue is single-family residential, duplexes and commercial plazas. An attempt to rezone from R-1 District to R-3A District was requested in 1993 for Hollenbeck subdivision Lot 17; however, this request was disapproved.

#### HISTORY:

##### Interior Tract:

The property was initially zoned C-3 District during the comprehensive zoning in May 1979. On the City Commission meeting of August 27, 2007, the board approved a rezoning request to rezone from C-3 District to R-3C (multifamily condominiums). There has been no other rezoning request for the subject property since then.

##### Tract along Uvalde Avenue:

The property was initially zoned R-1 (single-family residential) District during the comprehensive zoning in May 1979.

In 1997, a rezoning request for Hollenbeck Subdivision Lot 14 was submitted; the request was to rezone from R-1 District to C-3 District, the request was disapproved.

On November 28, 1997, there was a city-initiated zoning for 21 properties in the 600 to 900 block of Uvalde Avenue presented to the P&Z Board to rezone from R-1 District to C-1 (office) District; the request was disapproved, but the Board recommended the approval for R-2(duplex-fourplex) District. On City Commission's meeting of January 12, 1998, the board voted to alternative approved the request to R-2 District.

In 1999, a rezoning request for Hollenbeck Subdivision Lot 16 was submitted; the request was to rezone from R-2 District to C-2 (neighborhood commercial) District, the request was disapproved.

In 2012, a rezoning request for the current tract was submitted, the request was to rezone from R-2 District to R-3C District, and the request was approved.

There has been no other rezoning request for the subject property since then.

ANALYSIS: The requested zoning does not conform to the Urban Single-family and Auto Urban Commercial land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, it follows the rezoning and development trend to multifamily residences in the area.

This is part of six rezoning cases in the area; the development is for a proposed apartment complex. A subdivision and site plan review process is required prior to building permit issuance.

The proposed development is approximately 7 acres (305,000 square feet), based on the maximum density per gross acres in the R-3 multifamily residential district: 305-one bedroom units, 244-two bedroom units or 203-three bedroom units will be allowed. Seven thousand square feet represents the minimum lot area for any R-3 multifamily residential district, exclusive of townhouse. Max allowable density per acre will be defined on site plan approval, once a final subdivision plat is recorded. The proposed development as awarded by state was 102 units.

Traffic analysis will be review under the Subdivision and Site Plan Review process.

Uvalde Avenue has 50 ft. of ROW dedication; the curb-to-curb starts at approximately 35 ft. closest to south 10<sup>th</sup> Street and as the street travels east, it decreases to 30 ft. Uvalde Avenue would be consider a Local street due to its dimensions.

Staff has received a phone call in concern about property taxes and a walk-in with concerns about traffic along Uvalde Avenue.

**RECOMMENDATION:** Staff recommends approval of the rezoning request to R-3A (multifamily apartments) District.



**CITY OF McALLEN**  
PLANNING DEPARTMENT

### LEGEND

SCALE: N.T.S.



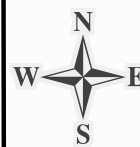
## SUBJECT PROPERTY



**200 FT. NOTIFICATION BOUNDARY**



### 1/4 MILE RADIUS



## ZONING LEGEND

**A-0** (AGRICULTURAL & OPEN SPACE)

R-3A (APARTMENTS)

R-4 (MOBILE HOMES)

**C-3** (GENERAL BUSINESS)

I-1 (LIGHT INDUSTRIAL)

**R-1** (SINGLE FAMILY RESIDENTIAL)

R-3C (CONDOMINIUMS)

**C-1 (OFFICE BUILDING)**

**C-3L** (LIGHT COMMERCIAL)

1-2 (HEAVY INDUSTRIAL)

R-2 (DUPLEX-FOURPLEX)

**R-3T (TOWNHOUSES)**

C-2 (NEIGHBORHOOD COMMERCIAL)

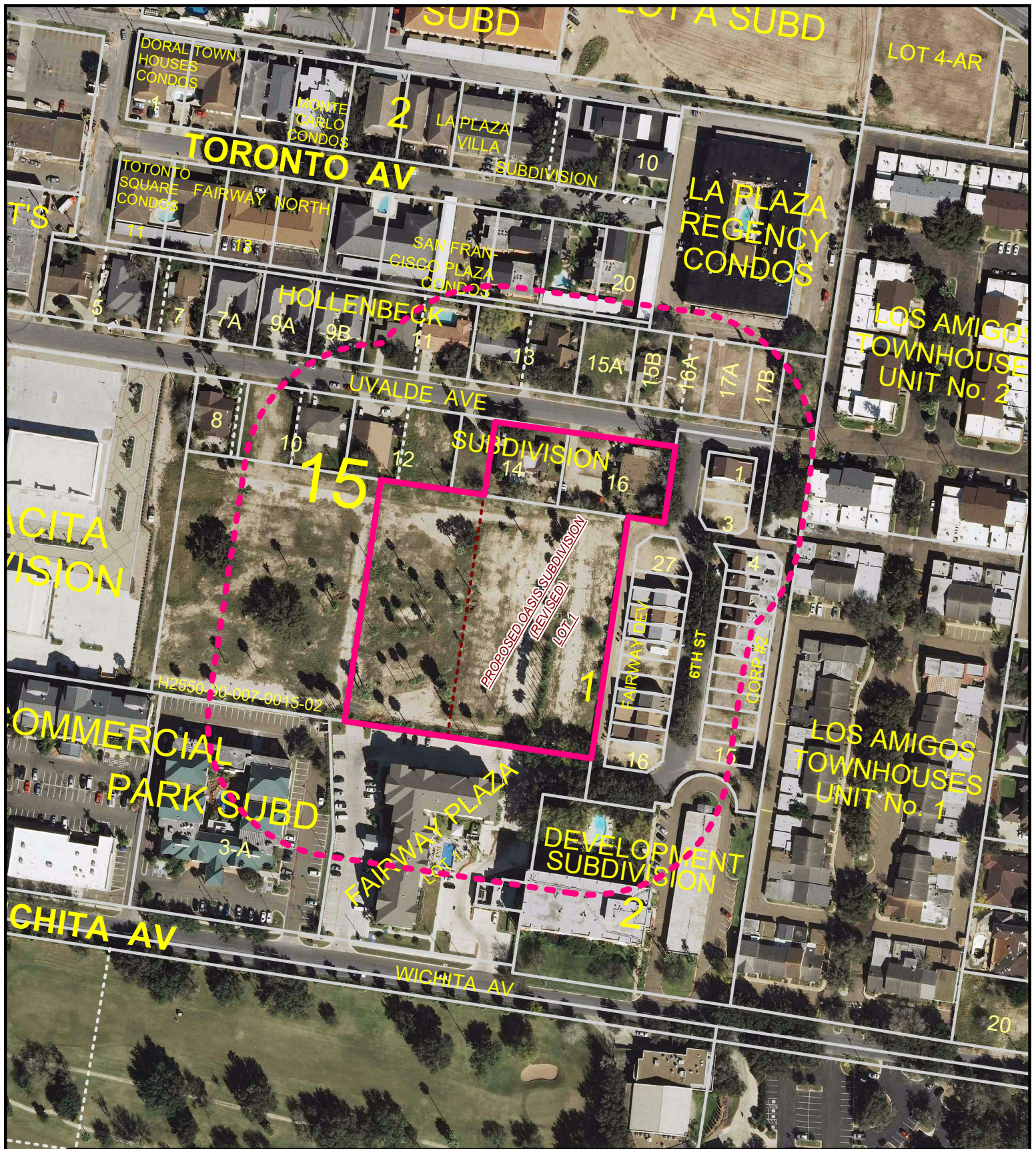
C-4 (COMMERCIAL INDUSTRIAL)

(SPECIAL DISTRICT)

—

This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcollen.net>. Furthermore, This map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.





**CITY OF McALLEN**  
PLANNING DEPARTMENT



**SUBJECT PROPERTY**

**AERIAL MAP**

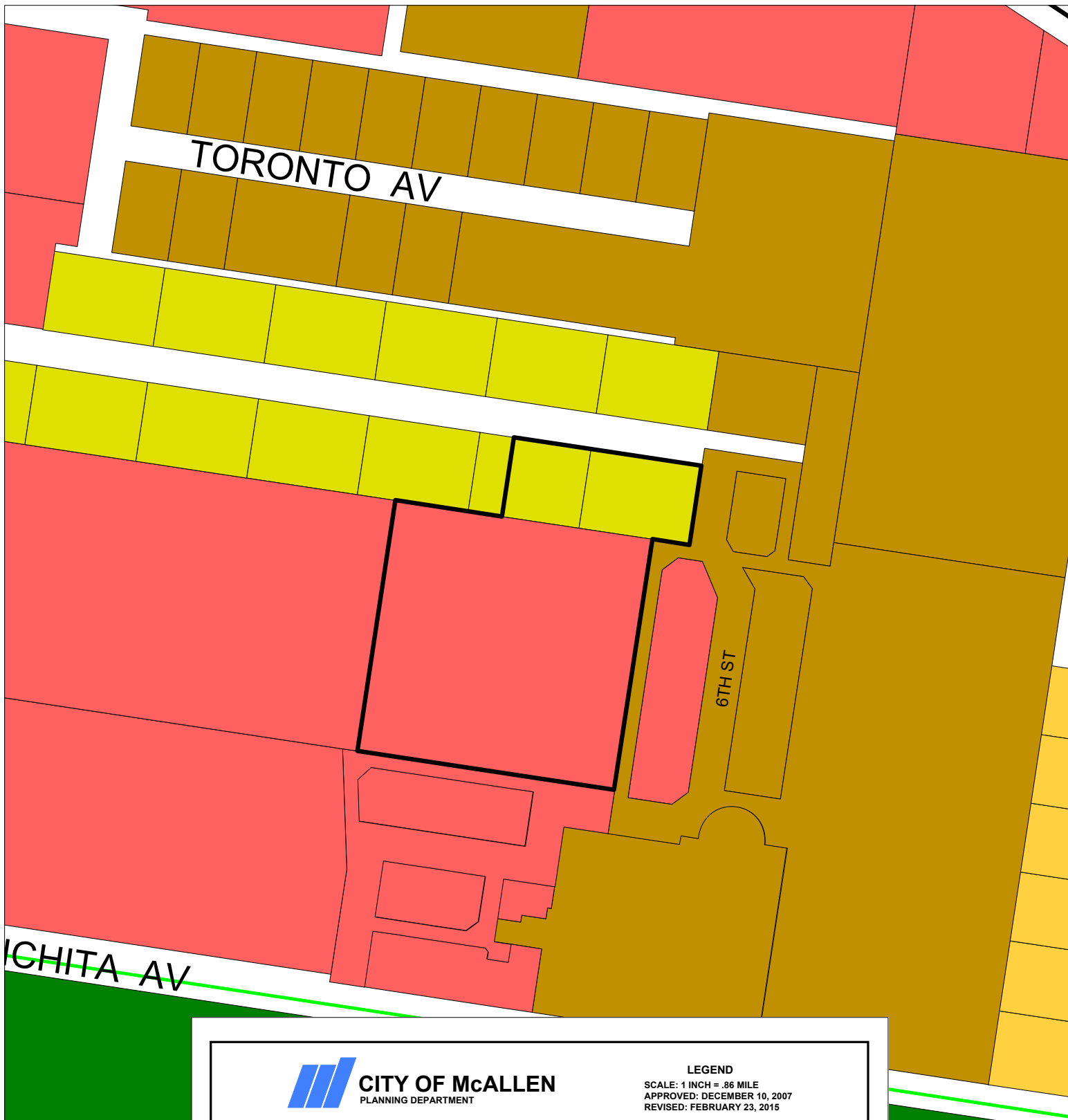
SCALE: N.T.S.



This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes.

ocation of property boundaries.





# CITY OF McALLEN

PLANNING DEPARTMENT

## FORESIGHT McALLEN COMPREHENSIVE PLAN

### FUTURE LAND USE PLAN

VAC - VACANT	SCM - SUBURBAN COMMERCIAL
EST - ESTATE	URC - URBAN CENTER
SUBR - SUBURBAN RESIDENTIAL	UCH - URBAN CENTER HIGH
AUSF - AUTO URBAN SINGLE FAMILY	IND - INDUSTRIAL
USF - URBAN SINGLE FAMILY	SPUS - SPECIAL USES, CIVIC, PUBLIC
AUMF - AUTO URBAN MULTIFAMILY	PRK - CITY PARKS
UMF - URBAN MULTIFAMILY	OPS - OPEN SPACE
UMX - URBAN RESIDENTIAL MIXED	AGR - AGRICULTURE
AUCM - AUTO URBAN COMMERCIAL	WTBY - WATER BODIES

A COMPREHENSIVE PLAN SHALL NOT CONSTITUTE ZONING REGULATIONS  
OR ESTABLISH ZONING DISTRICT BOUNDARIES. SEC. 219.005 LGC

### LEGEND

SCALE: 1 INCH = .86 MILE  
APPROVED: DECEMBER 10, 2007  
REVISED: FEBRUARY 23, 2015

### THOROUGHFARE PLAN

① GRADE SEPARATION (INTERCHANGE)
EXPRESSWAY 350'
PARKWAY 350'
HI-SPEED ARTERIAL 150'
PRINCIPAL ARTERIAL 120'
MINOR ARTERIAL 100'
COLLECTOR 80'
ALTERNATIVE ALIGNMENT
McALLEN CITY LIMITS
McALLEN ETJ



February 16, 2021

EXHIBIT "A"

**METES AND BOUNDS DESCRIPTION**

**3.842 ACRES CONSISTING OF:**

**TRACT 3: 3.000 ACRES**

**BEING OUT OF LOT 15, SOUTHEAST ¼ SECTION 7,**

**HIDALGO CANAL COMPANY SUBDIVISION,**

**AND OUT OF TRACT 7: 0.842 OF ONE ACRE OUT OF LOT 14 AND ALL OF  
LOT 16, OF HOLLENBECK SUBDIVISION,**

**CITY OF McALLEN,**

**HIDALGO COUNTY, TEXAS**

A tract of land containing 3.842 acres, situated in the City of McAllen, Hidalgo County, Texas, consisting of: 3.000 acres being part or portion out of Lot 15, Southeast ¼ SECTION 7, HIDALGO CANAL COMPANY SUBDIVISION, according to the plat thereof recorded in Volume "Q", Pages 175-177, Hidalgo County Deed Records, said 3.000 acres was conveyed to Alonzo Cantu, Trustee, by virtue of Trustee's Deed recorded under Document Number 2142074, Hidalgo County Official Records; and 0.842 of one acre out of Lot 14 and all of Lot 16, of HOLLENBECK SUBDIVISION, according to the plat thereof recorded in Volume 8, Page 31, Hidalgo County Map Records; which said 0.842 of one acre is out of a certain tract that was conveyed to Alonzo Cantu, by virtue of General Warranty Deed recorded under Document Number 2020389, Hidalgo County Official Records; which said 3.842 acres also being more particularly described as follows:

BEGINNING at a No. 4 rebar set at the Northeast corner of Fairway Plaza Subdivision, according to the plat recorded in Volume 35, Page 62B, Hidalgo County Map Records, for the Southeast corner of this herein described tract;

1. THENCE, N 81° 18' 59" W (N 81° 12' W deed call) [S 81°12' E map call] along the North line of said Fairway Plaza Subdivision, a distance of 365.85 feet to a No. 4 rebar set for the Southwest corner of this tract;
2. THENCE, N 08° 41' 01" E (N 08° 48' 00" E deed call) a distance of 357.20 feet (357.48 feet deed call) to a No. 4 rebar set on the South line of said Hollenbeck Subdivision, for the Southernmost Northwest corner of this tract;
3. THENCE, S 81° 18' 59" E along the South line of said Hollenbeck Subdivision, a distance of 151.85 feet to an inside corner of this tract;
4. THENCE, N 08° 41' 01" E at a distance of 112.80 feet pass the existing South right-of-way line of Uvalde Avenue, continuing a total distance of 137.80 feet to the North line of said Lot 14, for the Northernmost Northwest corner of this tract;
5. THENCE, S 81° 18' 59" E along the North lines of said Lots 14 and 16 and within the existing right-of-way of Uvalde Avenue, at a distance of 109.00 feet pass the Northeast corner of said Lot 14 and the Northwest corner of said Lot 16, continuing a total distance of 267.00 feet to a Nail set at the Northeast corner of said Lot 16 and the Northwest corner of Fairway Development Corp. Subdivision Unit No. 2, according to the plat recorded in Volume 22, Page 45, Hidalgo County Map Records, and being on the existing West right-of-way line of 6th Street, for the Northeast corner of this tract;
6. THENCE, S 08° 41' 01" W [N 08° 48' E map call] along the East line of said Lot 16 and the West line of said Fairway Development Corp. Subdivision Unit No. 2, and the existing West right-of-way line of 6th Street a distance of 129.80 feet to a No. 4 rebar

8. THENCE, N 81° 18' 59" W [S 81° 12' E map call] along a South line of said Lot 16, a distance of 27.00 feet to a No. 4 rebar set at an outside corner of said Fairway Development Corp. Subdivision Unit No. 2, for an inside corner of this tract;
9. THENCE, S 08° 41' 01" W [(S 08° 48' 00" W deed and map calls)] along a West line of said Fairway Development Corp. Subdivision Unit No. 2, a distance of 357.20 feet (357.48 feet deed call) to the POINT OF BEGINNING and containing 3.842 acres, of which 0.153 of one acre lies within the existing right-of-way of Uvalde Avenue, leaving an existing net of 3.689 acres of land, more or less.

I, FRED L. KURTH, REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY AFFIRM THAT THIS METES AND BOUNDS DESCRIPTION REPRESENTS THE RESULTS OF A SURVEY MADE ON THE GROUND ON 01/12/2021 UNDER MY DIRECTION AND SUPERVISION.

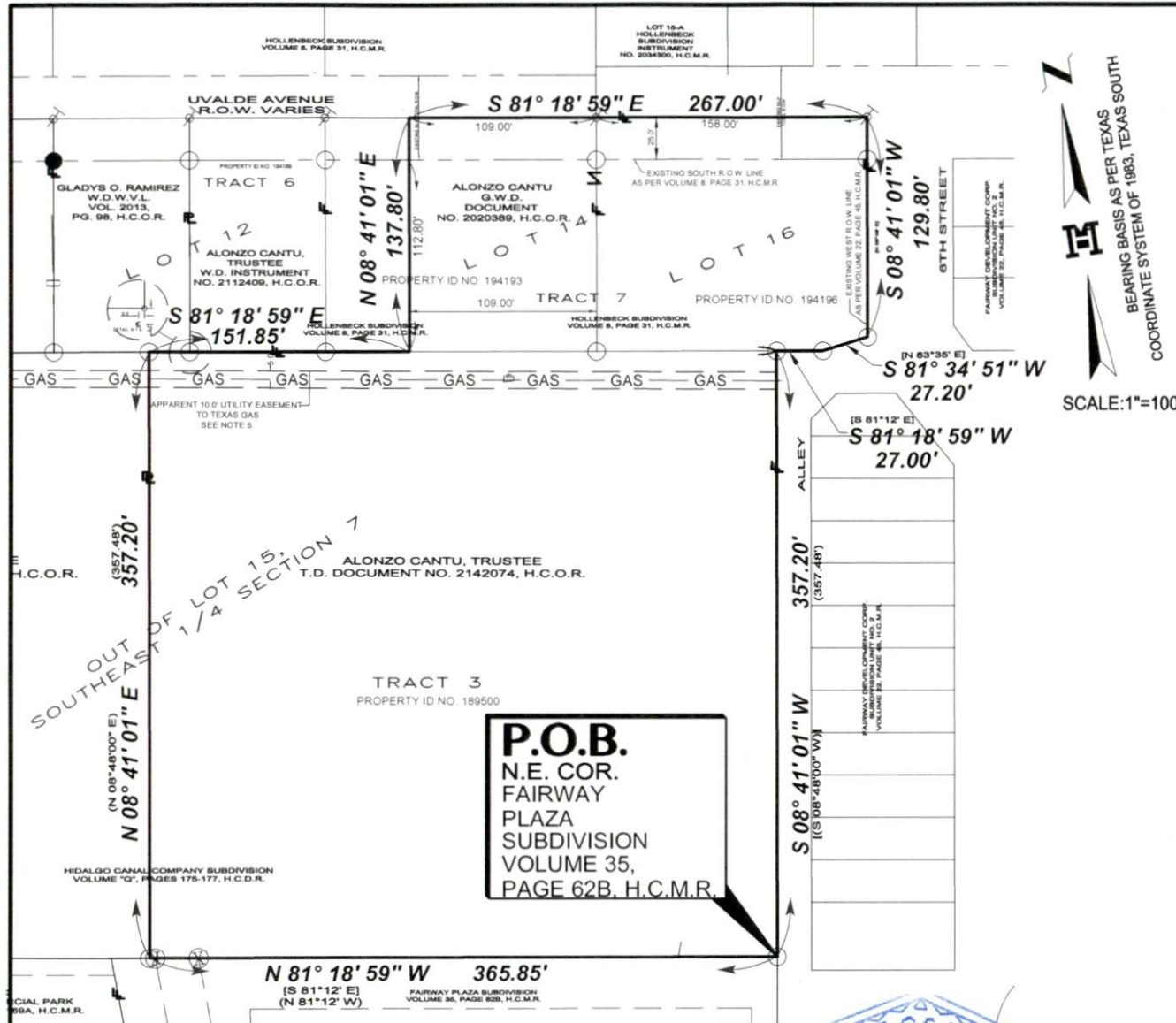
 2-17-21  
FRED L. KURTH, R.P.L.S. #4750      DATE:





# PLAT SHOWING 3.842 ACRES CONSISTING OF TRACT 3:

3.000 ACRES BEING OUT OF LOT 15, SECTION 7, HIDALGO CANAL COMPANY  
AS RECORDED IN VOLUME "Q", PAGES 17  
AND OUT OF TRACT 7:  
0.842 OF ONE ACRE OUT OF LOT 14 AND  
OF HOLLENBECK SUBDIVISION  
AS RECORDED IN VOLUME 8, PAGE 31  
CITY OF McALLEN,  
HIDALGO COUNTY, TEXAS



BEARING BASIS AS PER TEXAS  
COORDINATE SYSTEM OF 1983, TEXAS SOUTH  
SCALE: 1"=100'

## LEGEND

- |  |  |
|--|--|
| ⊗ SET "X" MARK ON CONCRETE   | ○ SET No.4 REBAR WITH CAP STAMPED MELD |
| ⊗ SET No.4 REBAR WITH PLASTIC  | ● FOUND No.4 REBAR                     |
| ⊗ SET NAIL   | P.O.C. - POINT OF COMMENCEMENT         |
| ⊗ LOT LINE   | P.O.B. - POINT OF BEGINNING            |
| ⊗ PROPERTY LINE  | N.W. COR. - NORTHWEST CORNER           |
| ⊗ SAME OWNER   | H.C.M.R. - HIDALGO COUNTY              |
| N.T.S. - NOT TO SCALE  | H.C.O.R. - HIDALGO COUNTY              |
| [B] - BRICK FENCE  | R.O.W. - RIGHT-OF-WAY                  |
| — GAS — GAS LINE [APPROXIMATE LOCATION] AS PER TEXAS GAS MAP 2 INCH PLASTIC PIPELINE | G.W.D. - GENERAL WARRANTY DEED         |
| ⊗ DEED LINE  | W.D. - WARRANTY DEED                   |
| N.E. COR. - NORTHEAST CORNER   | VOL. - VOLUME                          |
|  | PG. - PAGE                             |
|  | W.D.W.V.L. - WARRANTY DEED             |
|  | T.D. - TRUSTEE'S DEED                  |
|  | ( ) - RECORDED DEED                    |
|  | [ ] - RECORDED MAP                     |

## NOTES:

- FOR NOTES PERTAINING TO

ACREAGE	
3.842 ACRES	
-0.153 OF ONE ACRE EXISTING R.O.W. UVALDE AVENUE	
3.689 ACRES EXISTING NET	

**EXHIBIT "B"**



I, FRED L. KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THE FOREGOING PLAT TO BE TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE ON THE GROUND ON 1/12/2021 UNDER MY DIRECTION AND SUPERVISION AND WAS NOT INTENDED TO SHOW IMPROVEMENTS.

*Fred L. Kurth* 2-11-21  
FRED L. KURTH, RPLS No. 4750 DATE:



PAGE 11 OF 14  
DATE: 2-16-2021  
REF. JOB No. 20720.08  
JOB No. 21049.00  
FILE NAME: REZONING  
DRAWN BY: I.H.



**NOTES PERTAINING TO LOTS 14 AND 16, OF SAID HOLLENBECK SUBDIVISION :**

1. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.
2. ALL BEARINGS AND DISTANCES ARE BASED ON GRID COORDINATES.
3. NO UNDERGROUND EXCAVATIONS WERE DONE DURING THE TIME OF SURVEY.
4. THERE ARE NO BUILDING SETBACKS SHOWN ON SAID HOLLENBECK SUBDIVISION AND ON SAID HIDALGO CANAL COMPANY SUBDIVISION. BUILDING SETBACKS AS PER CITY OF McALLEN PLANNING DEPARTMENT. CITY OF McALLEN WAS CONTACTED FOR BUILDING SETBACKS, BUT THERE HAS NOT BEEN A RESPONSE.
5. TEXAS GAS WAS CONTACTED AND THEY CLAIM AN APPARENT 10 FOOT UTILITY EASEMENT ON THE APPROXIMATE GAS LINE SHOWN UPON TRACTS 3 AND 8. ALSO, TEXAS GAS PROVIDED A MAP, IN WHICH THERE IS ALSO A GAS LINE BEING WITHIN THE EXISTING RIGHT-OF-WAY OF WICHITA AVENUE. TEXAS 811 UTILITY SPOTTING WAS CONTACTED FOR UTILITY SPOTTING. NO UTILITY SPOTTING WAS FOUND DURING TIME OF SURVEY.

FIGURE 4.2 THOROUGHFARE PLAN FOR CITY OF McALLEN PLANNING DEPARTMENT DOES NOT HAVE ANY THOROUGHFARE ROAD RIGHTS-OF-WAY FOR UVALDE AVENUE.

6. SURVEY WAS PREPARED WITH THE BENEFIT OF VALLEY LAND TITLE COMPANY COMMITMENT GF No.170745  
EFFECTIVE DATE: NOVEMBER 20, 2020  
ISSUED: DECEMBER 4, 2020

**EASEMENTS LISTED IN SCHEDULE B:**

10a.- BLANKET EASEMENTS IN FAVOR OF HIDALGO COUNTY WATER IMPROVEMENT DISTRICT NO. 3 AND EASEMENTS AND RESTRICTIONS AS SHOWN ON THE MAP OF THE ABOVE DESCRIBED SUBDIVISION. HIDALGO COUNTY WATER IMPROVEMENT DISTRICT NO. 3 HAS BEEN CONTACTED AND INFORMATION IS STILL PENDING.

10.b.- TRACT 6 IS SUBJECT TO:

1. ROAD EASEMENT AS SHOWN ON THE MAP OF HOLLENBECK SUBDIVISION, RECORDED IN VOLUME 8, PAGE 31, MAP RECORDS OF HIDALGO COUNTY, TEXAS. PLOTTED AND SHOWN HEREON.

10i.- TRACT 7 IS SUBJECT TO:

1. ROAD EASEMENT ACROSS THE NORTH 25 FEET AS SHOWN ON MAP OF HOLLENBECK SUBDIVISION, RECORDED IN VOLUME 8, PAGE 31, MAP RECORDS OF HIDALGO COUNTY, TEXAS. PLOTTED AND SHOWN HEREON.

Jm. VISIBLE AND APPARENT EASEMENTS ON OR ACROSS THE PROPERTY HEREIN DESCRIBED. SURVEYOR CANNOT PLOT ANY EASEMENT DOCUMENTS THAT ARE NOT RECORDED IN PUBLIC RECORDS. SURVEYOR WAS NOT GIVEN ADDITIONAL EASEMENT DOCUMENTS.

Jn. ANY PORTION OF THE PROPERTY DESCRIBED HEREIN WITHIN THE LIMITS OR BOUNDARIES OF ANY PUBLIC OR PRIVATE ROADWAY AND/OR HIGHWAY. PUBLIC ROAD RIGHTS-OF-WAY ARE PLOTTED AND SHOWN HEREON.

**NOTES PERTAINING TO LOT 15, SOUTHEAST  $\frac{1}{4}$  SECTION 7 OF SAID HIDALGO CANAL COMPANY SUBDIVISION:**

1. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.
2. ALL BEARINGS AND DISTANCES ARE BASED ON GRID COORDINATES.
3. NO UNDERGROUND EXCAVATIONS WERE DONE DURING THE TIME OF SURVEY.
4. THERE ARE NO BUILDING SETBACKS SHOWN ON SAID HIDALGO CANAL COMPANY SUBDIVISION. BUILDING SETBACKS AS PER CITY OF McALLEN PLANNING DEPARTMENT. CITY OF McALLEN WAS CONTACTED FOR BUILDING SETBACKS, BUT THERE HAS NOT BEEN A RESPONSE.
5. TEXAS GAS WAS CONTACTED AND THEY CLAIM AN APPARENT 10 FOOT UTILITY EASEMENT ON THE APPROXIMATE GAS LINE SHOWN UPON TRACTS 3 AND 8. ALSO, TEXAS GAS PROVIDED A MAP, IN WHICH THERE IS ALSO A GAS LINE BEING WITHIN THE EXISTING NORTH RIGHT-OF-WAY OF WICHITA AVENUE. TEXAS 811 UTILITY SPOTTING WAS CONTACTED FOR UTILITY SPOTTING. NO UTILITY SPOTTING WAS FOUND DURING TIME OF SURVEY.
6. SURVEY WAS PREPARED WITH THE BENEFIT OF VALLEY LAND TITLE COMPANY COMMITMENT GF No.170745

EFFECTIVE DATE: NOVEMBER 20, 2020

ISSUED: DECEMBER 4, 2020

**EASEMENTS LISTED IN SCHEDULE B:**

10a.- BLANKET EASEMENTS IN FAVOR OF HIDALGO COUNTY WATER IMPROVEMENT DISTRICT NO. 3 AND EASEMENTS AND RESTRICTIONS AS SHOWN ON THE MAP OF THE ABOVE DESCRIBED SUBDIVISION. HIDALGO COUNTY WATER IMPROVEMENT DISTRICT NO. 3 HAS BEEN CONTACTED AND INFORMATION IS STILL PENDING.

10j.- TRACT 8 IS SUBJECT TO:

1. ROADS AND EASEMENTS AS SHOWN ON THE MAP AND DEDICATION OF HIDALGO CANAL COMPANY SUBDIVISION, RECORDED IN VOLUME 8, PAGE 31, MAP RECORDS OF HIDALGO COUNTY, TEXAS. SEE NOTE 10.e.

2. RIGHT OF WAY EASEMENT IN FAVOR OF CENTRAL POWER AND LIGHT COMPANY AS SHOWN BY INSTRUMENT DATED JULY 1, 1993, DEED RECORDS OF HIDALGO COUNTY, TEXAS. COVERS THE SOUTH HALF OF THE SOUTH TWENTY FOUR ACRES OF SAID TRACT 8. NOT PLOTTABLE. NO WIDTH OF EASEMENT SPECIFIED.

3. EASEMENT AND RIGHT OF WAY EASEMENT IN FAVOR OF CENTRAL POWER AND LIGHT COMPANY AS SHOWN BY INSTRUMENT DATED JULY 1, 1993, VOLUME 3285, PAGE 298, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS. SAID EASEMENT AND RIGHT OF WAY COVERS 10 ACRES OF SAID TRACT 8. 1/4 SECTION 7 AND OTHER LANDS (SEE DOCUMENT), AND IS TO BE 10 FEET IN WIDTH, FIVE FEET ON EITHER SIDE OF THE OVERHEAD AND UNDERGROUND ELECTRICAL CABLES AND ASSOCIATED FACILITIES. ALSO, A 6 FOOT BY 6 FOOT EASEMENT FOR TRANSFORMER PAD UPON SAID 10.47 ACRES OF SAID TRACT 8.

4. EASEMENT AND RIGHT OF WAY IN FAVOR OF CENTRAL POWER AND LIGHT COMPANY AS SHOWN BY INSTRUMENT DATED JULY 1, 1993, PAGE 55, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS. BLANKET IN NATURE, NOT PLOTTABLE. IT IS STATED ON SAID INSTRUMENT THAT THE EASEMENT TO BE 10 FEET IN WIDTH, FIVE FEET ON EITHER SIDE OF THE OVERHEAD AND UNDERGROUND ELECTRICAL CABLES AND ASSOCIATED FACILITIES. ALSO, A 6 FOOT BY 6 FOOT EASEMENT FOR TRANSFORMER PAD LOCATIONS.

5. EASEMENT FOR PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS BY AND BETWEEN, HOTEL HOLDINGS, INC., A TEXAS LIMITED PARTNERSHIP AS SHOWN BY INSTRUMENT DATED MAY 24, 1993, FILED JUNE 7, 1993 UNDER DOCUMENT NUMBER 2103938, H.C.M.R., IN SAID DOCUMENT NUMBER 325994, H.C.O.R., THERE IS A PROPERTY "C" MENTIONED. TRACT 8 IS OUT OF SECOND PARTY TRACT MENTIONED ON SAID DOCUMENT NO. 1432510, H.C.O.R. IN SUMMARY, BOTH TRACTS 8 AND 15 ARE SUBJECT TO THE SAME EASEMENT. IT IS STATED THAT "THE PROPERTY A OWNER SHALL REMAIN IN THE FUTURE, (SUCH THAT PROPERTY C CAN ALSO ACCESS SOUTH TENTH STREET FROM PROPERTY A) ACROSS PROPERTY A, HOWEVER, SUCH ACCESS SHALL BE RESTRICTED TO THAT CERTAIN "POINT OF REFERENCE" ON THE NORTH LINE OF SAID TRACT 8. "S 51°09'39" E 26.10 FEET." PROPERTY A IS THE EASEMENT. IT IS ALSO STATED THAT PROPERTY A OWNER SHALL REMOVE ANY BARRIERS OR IMPEDIMENTS LOCATED ON THE NORTH LINE OF PROPERTY A IN ORDER TO GAIN UNOBSTRUCTED ACCESS TO THE POINT OF REFERENCE; OR (ii) LEAVE THE POINT OF REFERENCE OPEN TO ALL TRAFFIC ON A NONDISCRIMINATORY BASIS AND HAVE THE POINT OF REFERENCE REMAIN IN EXISTENCE SO LONG AS MERCANTILE BANKING BUSINESS IS CONDUCTED ON SAID TRACT 8. AND IT IS ALSO STATED THAT "IN THE EVENT THE IMPROVEMENTS CURRENTLY LOCATED ON SAID TRACT 8 ARE DESTROYED AND/OR REMOVED AND A NEW AND DIFFERENT PROJECT IS CONSTRUCTED ON PROPERTY C, THE PROPERTY A OWNER SHALL BE RESPONSIBLE FOR RECONSTRUCTING THE BARRIERS OR IMPEDIMENTS LOCATED ON THE NORTH LINE OF PROPERTY A IN ORDER TO GAIN UNOBSTRUCTED ACCESS TO THE POINT OF REFERENCE. PROPERTY "A" (EASEMENT) IS LOCATED ON THE EAST RIGHT-OF-WAY LINE OF 10TH/ STREET AND 357.42 FEET OF SAID LOT 15. (EAST RIGHT-OF-WAY LINE OF 10TH/ STREET AT THE TIME OF SAID DOCUMENT NUMBER 325994.) EASEMENT AND RIGHT OF WAY EASEMENT IN FAVOR OF CENTRAL POWER AND LIGHT COMPANY AS SHOWN BY INSTRUMENT DATED JULY 1, 1993, DEED RECORDS OF HIDALGO COUNTY, TEXAS. COVERS THE SOUTH HALF OF THE SOUTH TWENTY FOUR ACRES OF SAID TRACT 8. NOT PLOTTABLE. NO WIDTH OF EASEMENT SPECIFIED.

6. ROADWAY EASEMENT AS SHOWN BY INSTRUMENT FILED DECEMBER 14, 1995 UNDER DOCUMENT NUMBER 492014, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS. BLANKET IN NATURE, NOT PLOTTABLE. FOR INGRESS AND EGRESS PURPOSES. IT IS STATED THAT "UNTIL SUCH TIME AS SAID TRACT 8 IS OUT OF SECOND PARTY TRACT MENTIONED ON SAID DOCUMENT NO. 1432510, H.C.O.R. IN SUMMARY, BOTH TRACTS 8 AND 15 ARE SUBJECT TO THE SAME EASEMENT. IT IS STATED THAT "THE PROPERTY A OWNER SHALL REMAIN IN THE FUTURE, (SUCH THAT PROPERTY C CAN ALSO ACCESS SOUTH TENTH STREET FROM PROPERTY A) ACROSS PROPERTY A, HOWEVER, SUCH ACCESS SHALL BE RESTRICTED TO THAT CERTAIN "POINT OF REFERENCE" ON THE NORTH LINE OF SAID TRACT 8. "S 51°09'39" E 26.10 FEET." PROPERTY A IS THE EASEMENT. IT IS ALSO STATED THAT PROPERTY A OWNER SHALL REMOVE ANY BARRIERS OR IMPEDIMENTS LOCATED ON THE NORTH LINE OF PROPERTY A IN ORDER TO GAIN UNOBSTRUCTED ACCESS TO THE POINT OF REFERENCE; OR (ii) LEAVE THE POINT OF REFERENCE OPEN TO ALL TRAFFIC ON A NONDISCRIMINATORY BASIS AND HAVE THE POINT OF REFERENCE REMAIN IN EXISTENCE SO LONG AS MERCANTILE BANKING BUSINESS IS CONDUCTED ON SAID TRACT 8. AND IT IS ALSO STATED THAT "IN THE EVENT THE IMPROVEMENTS CURRENTLY LOCATED ON SAID TRACT 8 ARE DESTROYED AND/OR REMOVED AND A NEW AND DIFFERENT PROJECT IS CONSTRUCTED ON PROPERTY C, THE PROPERTY A OWNER SHALL BE RESPONSIBLE FOR RECONSTRUCTING THE BARRIERS OR IMPEDIMENTS LOCATED ON THE NORTH LINE OF PROPERTY A IN ORDER TO GAIN UNOBSTRUCTED ACCESS TO THE POINT OF REFERENCE. PROPERTY "A" (EASEMENT) IS LOCATED ON THE EAST RIGHT-OF-WAY LINE OF 10TH/ STREET AND 357.42 FEET OF SAID LOT 15. (EAST RIGHT-OF-WAY LINE OF 10TH/ STREET AT THE TIME OF SAID DOCUMENT NUMBER 325994.) EASEMENT AND RIGHT OF WAY EASEMENT IN FAVOR OF CENTRAL POWER AND LIGHT COMPANY AS SHOWN BY INSTRUMENT DATED JULY 1, 1993, DEED RECORDS OF HIDALGO COUNTY, TEXAS. COVERS THE SOUTH HALF OF THE SOUTH TWENTY FOUR ACRES OF SAID TRACT 8. NOT PLOTTABLE. NO WIDTH OF EASEMENT SPECIFIED.

7. ACCESS AND UTILITY EASEMENT AGREEMENT EASEMENT BETWEEN WELLS FARGO BANK, N.A. (FIRST PARTY) AND ALAN WELLS (SECOND PARTY) AS SHOWN BY INSTRUMENT DATED FEBRUARY 3, 2005, FILED FEBRUARY 4, 2005, UNDER DOCUMENT NUMBER 1432510, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS. BLANKET IN NATURE, NOT PLOTTABLE. FOR INGRESS AND EGRESS PURPOSES. IT IS STATED THAT "UNTIL SUCH TIME AS SAID TRACT 8 IS OUT OF SECOND PARTY TRACT MENTIONED ON SAID DOCUMENT NO. 1432510, H.C.O.R. IN SUMMARY, BOTH TRACTS 8 AND 15 ARE SUBJECT TO THE SAME EASEMENT. IT IS STATED THAT "THE PROPERTY A OWNER SHALL REMAIN IN THE FUTURE, (SUCH THAT PROPERTY C CAN ALSO ACCESS SOUTH TENTH STREET FROM PROPERTY A) ACROSS PROPERTY A, HOWEVER, SUCH ACCESS SHALL BE RESTRICTED TO THAT CERTAIN "POINT OF REFERENCE" ON THE NORTH LINE OF SAID TRACT 8. "S 51°09'39" E 26.10 FEET." PROPERTY A IS THE EASEMENT. IT IS ALSO STATED THAT PROPERTY A OWNER SHALL REMOVE ANY BARRIERS OR IMPEDIMENTS LOCATED ON THE NORTH LINE OF PROPERTY A IN ORDER TO GAIN UNOBSTRUCTED ACCESS TO THE POINT OF REFERENCE; OR (ii) LEAVE THE POINT OF REFERENCE OPEN TO ALL TRAFFIC ON A NONDISCRIMINATORY BASIS AND HAVE THE POINT OF REFERENCE REMAIN IN EXISTENCE SO LONG AS MERCANTILE BANKING BUSINESS IS CONDUCTED ON SAID TRACT 8. AND IT IS ALSO STATED THAT "IN THE EVENT THE IMPROVEMENTS CURRENTLY LOCATED ON SAID TRACT 8 ARE DESTROYED AND/OR REMOVED AND A NEW AND DIFFERENT PROJECT IS CONSTRUCTED ON PROPERTY C, THE PROPERTY A OWNER SHALL BE RESPONSIBLE FOR RECONSTRUCTING THE BARRIERS OR IMPEDIMENTS LOCATED ON THE NORTH LINE OF PROPERTY A IN ORDER TO GAIN UNOBSTRUCTED ACCESS TO THE POINT OF REFERENCE. PROPERTY "A" (EASEMENT) IS LOCATED ON THE EAST RIGHT-OF-WAY LINE OF 10TH/ STREET AND 357.42 FEET OF SAID LOT 15. (EAST RIGHT-OF-WAY LINE OF 10TH/ STREET AT THE TIME OF SAID DOCUMENT NUMBER 325994.) EASEMENT AND RIGHT OF WAY EASEMENT IN FAVOR OF CENTRAL POWER AND LIGHT COMPANY AS SHOWN BY INSTRUMENT DATED JULY 1, 1993, DEED RECORDS OF HIDALGO COUNTY, TEXAS. COVERS THE SOUTH HALF OF THE SOUTH TWENTY FOUR ACRES OF SAID TRACT 8. NOT PLOTTABLE. NO WIDTH OF EASEMENT SPECIFIED.

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Jn. ANY PORTION OF THE PROPERTY DESCRIBED HEREIN WITHIN THE LIMITS OR BOUNDARIES OF ANY PUBLIC OR PRIVATE ROADWAY AND/OR HIGHWAY. PUBLIC ROAD RIGHTS-OF-WAY ARE PLOTTED AND SHOWN HEREON.



**MELDEN & HUNT INC.**  
CONSULTANTS • ENGINEERS • SURVEYORS

PAGE 12 OF 14  
DATE: 2-16-2021  
REF. JOB No. 20720.08  
JOB No. 21049.00  
FILE NAME: REZONING  
DRAWN BY: I.H.

115 W. McINTYRE  
EDINBURG, TX 78541  
PH: (956) 381-0981  
FAX: (956) 381-1839  
ESTABLISHED 1947  
www.meldenandhunt.com

TGO Uvalde 21, LP  
6300 West Loop South, Ste. 670  
Bellaire, Texas 77401

July 19, 2021

Hebert Camacho  
Planner I  
City of McAllen Planning Department  
311 N. 15<sup>th</sup> Street  
McAllen, Texas 78501

Re: Uvalde Villas-COZ

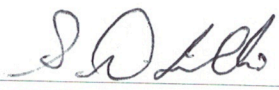
Dear Mr. Camacho,

Please let this letter serve to authorize Melden and Hunt to represent TGO Uvalde 21, LP ("Applicant") to take any and all action on behalf of the Applicant on the property in connection with the rezoning to multifamily.

Sincerely,

TGO Uvalde 21, LP

By: Texas Grey Oaks, LLC, managing member of GP Partner

By:   
Steve Lollis





NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ2021-0010









**Project Summary**

**Apartments:**

Type	Description	Qty	Area
A1	One Bedroom, 1 Bath	16	652 s.f.
A2	One Bedroom, 1 Bath	16	652 s.f.
A3	One Bedroom, 1 Bath	12	674 s.f.
A4	One Bedroom, 1 Bath	12	674 s.f.
A5	One Bedroom, 1 Bath (H.C.)	4	756 s.f.
A6	One Bedroom, 1 Bath	4	756 s.f.
<b>Total One Bedroom Units</b>		64 Units	
B1	Two Bedroom, 2 Bath	8	920 s.f.
B2	Two Bedroom, 2 Bath	8	920 s.f.
B3	Two Bedroom, 2 Bath	6	970 s.f.
B4	Two Bedroom, 2 Bath	6	970 s.f.
B5	Two Bedroom, 1 Bath (H.C.)	2	1,004 s.f.
B6	Two Bedroom, 1 Bath	2	1,004 s.f.
<b>Total Two Bedroom Units</b>		32 Units	
C1	Three Bedroom, 2 Bath	2	1,129 s.f.
C2	Three Bedroom, 2 Bath	1	1,140 s.f.
C3	Three Bedroom, 2 Bath	2	1,140 s.f.
C4	Three Bedroom, 2 Bath (H.C.)	1	1,140 s.f.
<b>Total Two Bedroom Units</b>		6 Units	
<b>Apartments Total</b>		102 Units	80,282 s.f.

**UVALDE VILLAS**

*A Multi-Family Community*  
Mucasey & Associates, Architects  
January 21, 2021



## Memo

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

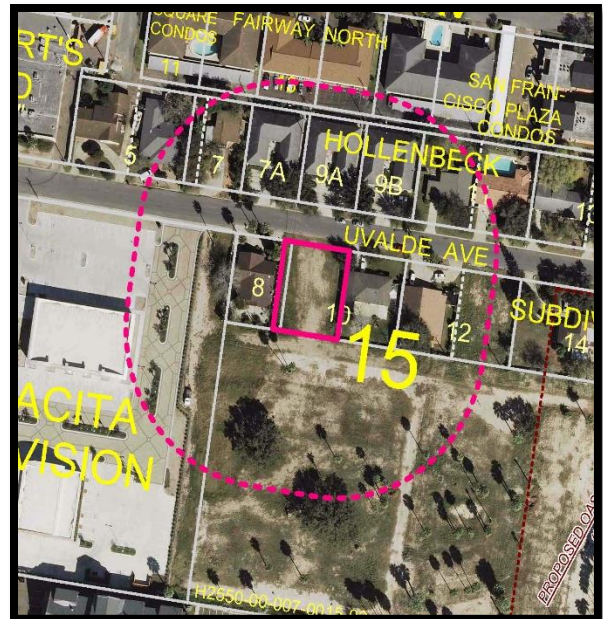
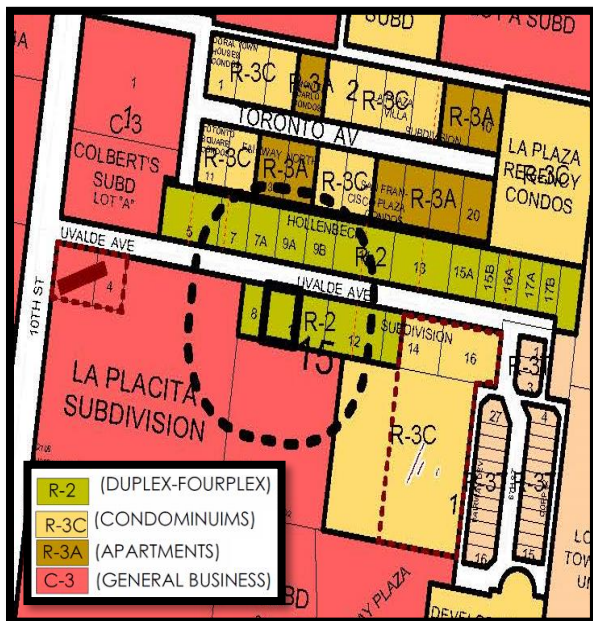
**DATE:** July 27, 2021

**SUBJECT: REZONE FROM R-2 (DUPLEX-FOURPLEX) DISTRICT TO R-3A (MULTIFAMILY APARTMENTS) DISTRICT: THE WEST HALF OF LOT 10 AND THE EAST 10 FT. OF LOT 8, HOLLENBECK SUBDIVISION, HIDALGO COUNTY, TEXAS; 801 UVALDE AVENUE. (REZ2021-0008)**

**LOCATION:** The property is located on the south side along Uvalde Avenue, approximately 576 ft. east of South 10<sup>th</sup> Street. The subject property consists of approximately 10,039 square feet (0.282 acres)

**PROPOSAL:** The applicant is requesting to rezone the property to R-3A (multifamily apartments) District in order to construct multifamily apartments. Funding for 102 Units was approved by TDHCA.

**ADJACENT ZONING:** The adjacent zoning is C-3 (general business) District to the south and west and R-2 (duplex-fourplex) District to the east and north.



**LAND USE:** The property is currently vacant. Surrounding land uses include single-family residences, apartments, La Placita Commercial Plaza that holds Retail stores, Lone Star National

Bank and BBVA Compass Bank, and vacant land.

COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Urban Single Family which is comparable to R-1 (single-family residential) District.

DEVELOPMENT TRENDS: The development trend for this area along Uvalde Avenue is single-family residential, duplexes and commercial plazas.

HISTORY: The property was initially zoned R-1 (single-family residential) District during the comprehensive zoning in May 1979. On November 28, 1997, there was a city-initiated zoning for 21 properties in the 600 to 900 block of Uvalde Avenue presented to the P&Z Board to rezone from R-1 District to C-1 (office) District; the request was disapproved, but the Board recommended the approval for R-2(duplex-fourplex) District. On City Commission's meeting of January 12, 1998, the board voted to alternative approved the request to R-2 District.

There has been no other rezoning request for the subject property since then.

ANALYSIS: The requested zoning does not conform to the Urban Single-family land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, it follows the rezoning and development trend to multifamily residences in the area.

This is part of six rezoning cases in the area; the development is for a proposed apartment complex. A subdivision and site plan review process is required prior to building permit issuance.

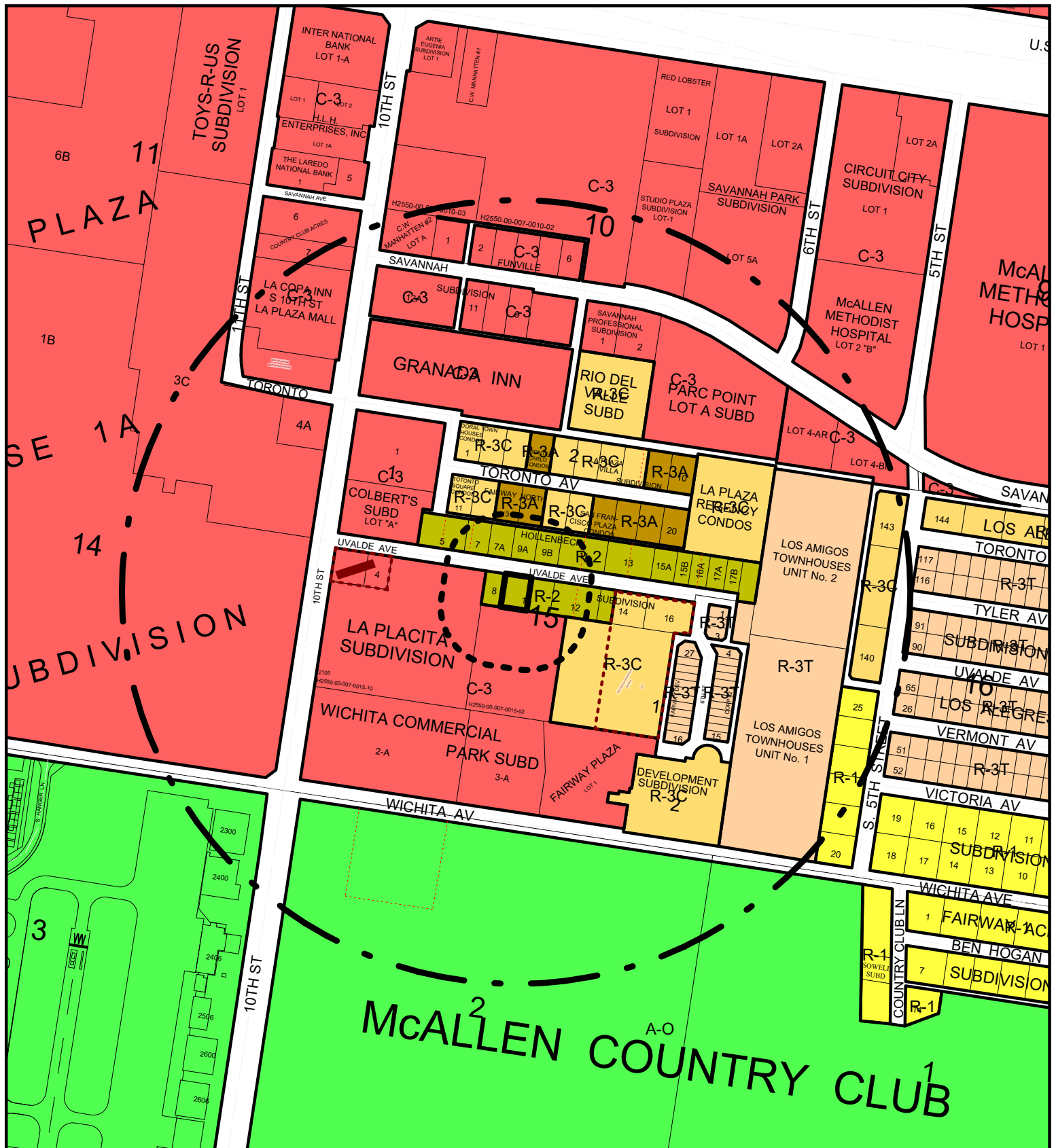
The proposed development is approximately 7 acres (305,000 square feet), based on the maximum density per gross acres in the R-3 multifamily residential district: 305-one bedroom units, 244-two bedroom units or 203-three bedroom units will be allowed. Seven thousand square feet represents the minimum lot area for any R-3 multifamily residential district, exclusive of townhouse. Max allowable density per acre will be defined on site plan approval, once a final subdivision plat is recorded. The proposed development as awarded by state was 102 units.

Traffic analysis will be review under the Subdivision and Site Plan Review process.

Uvalde Avenue has 50 ft. of ROW dedication; the curb-to-curb starts at approximately 35 ft. closest to south 10<sup>th</sup> Street and as the street travels east, it decreases to 30 ft. Uvalde Avenue would be consider a Local street due to its dimensions.

Staff has not received a phone call or email in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to R-3A (multifamily apartments) District.



# **CITY OF McALLEN** PLANNING DEPARTMENT

## **LEGEND** SCALE: N.T.S.

**SUBJECT PROPERTY**

**200 FT. NOTIFICATION BOUNDARY**

**1/4 MILE RADIUS**

### **ZONING LEGEND**

<b>A-0</b> (AGRICULTURAL & OPEN SPACE)	<b>R-3A</b> (APARTMENTS)	<b>R-4</b> (MOBILE HOMES)	<b>C-3</b> (GENERAL BUSINESS)	<b>I-1</b> (LIGHT INDUSTRIAL)
<b>R-1</b> (SINGLE FAMILY RESIDENTIAL)	<b>R-3C</b> (CONDOMINIUMS)	<b>C-1</b> (OFFICE BUILDING)	<b>C-3L</b> (LIGHT COMMERCIAL)	<b>I-2</b> (HEAVY INDUSTRIAL)
<b>R-2</b> (DUPLEX-FOURPLEX)	<b>R-3T</b> (TOWNHOUSES)	<b>C-2</b> (NEIGHBORHOOD COMMERCIAL)	<b>C-4</b> (COMMERCIAL INDUSTRIAL)	<b>S</b> (SPECIAL DISTRICT)

This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.

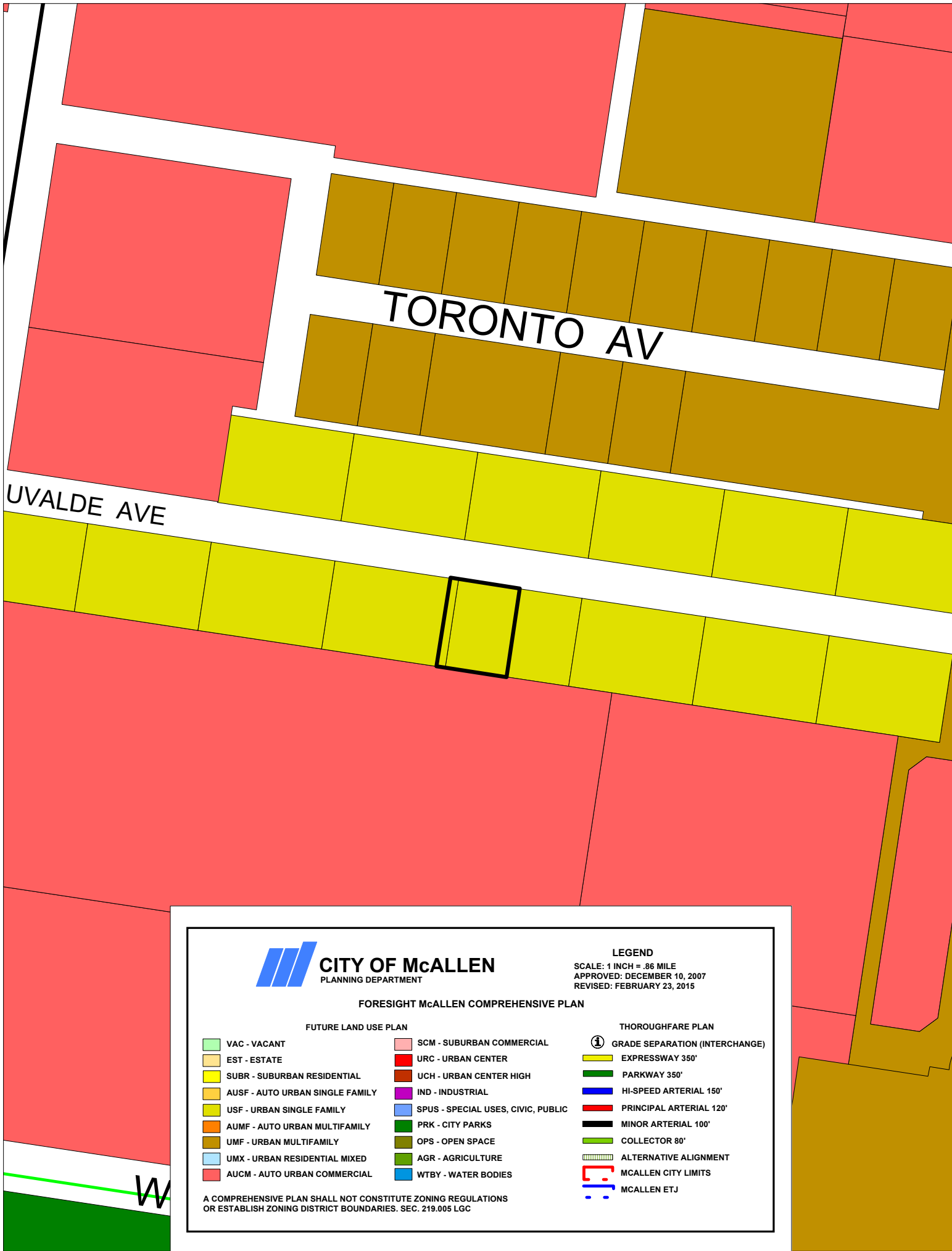
### **AREA MAP**











February 16, 2021  
EXHIBIT "A"

**METES AND BOUNDS DESCRIPTION**  
**TRACT 2: 0.282 OF ONE ACRE**  
**BEING THE WEST ½ OF LOT 10 AND THE EAST 10 FEET OF**  
**SAID LOT 8, ALL OF SAID HOLLENBECK SUBDIVISION,**  
**CITY OF McALLEN,**  
**HIDALGO COUNTY, TEXAS**

A tract of land containing 0.282 of one acre, situated in the City of McAllen, Hidalgo County, Texas, said 0.282 of one acre being the West Half of Lot 10 and the East 10 feet of Lot 8, all of HOLLENBECK SUBDIVISION, according to the plat thereof recorded in Volume 8, Page 31, Hidalgo County Map Records, which said 0.282 of one acre was conveyed to South Villa Hermosa, LTD., by virtue of Warranty Deed recorded under Document Number 1790160, Hidalgo County Official Records; said 0.282 of one acre also being more particularly described as follows:

COMMENCING at a Nail set at the Northeast corner of said Lot 8 and the Northwest corner of said Lot 10, and being within the existing right-of-way of Uvalde Avenue;

THENCE, N 81° 18' 59" W along the North line of said Lot 8 and within the existing right-of-way of Uvalde Avenue, a distance of 10.00 feet to a Nail set for the POINT OF BEGINNING and the Northwest corner of this herein described tract;

1. THENCE, S 81° 18' 59" E along the North lines of said Lots 8 and 10 and within the existing right-of-way of Uvalde Avenue, a distance of 89.00 feet to a Nail set for the Northeast corner of this tract;
2. THENCE, S 08° 41' 01" W at a distance of 25.00 feet to a No. 4 rebar set on the existing South right-of-way line of Uvalde Avenue, continuing a total distance of 137.80 feet to a No. 4 rebar found for the Southeast corner of this tract;
3. THENCE, N 81° 18' 59" W at a distance of 79.00 feet pass a No. 4 rebar set at the Southwest corner of said Lot 10 and the Southeast corner of said Lot 8, continuing a total of 89.00 feet to a No. 4 rebar set for the Southwest corner of this tract;
4. THENCE, N 08° 41' 01" E at a distance of 112.80 feet pass a No. 4 rebar set on the existing South right-of-way line of Uvalde Avenue, continuing a total distance of 137.80 feet to the POINT OF BEGINNING and containing 0.282 of one acre, of which 0.051 of one acre lies within the existing right-of-way of Uvalde Avenue, leaving an existing net of 0.231 of one acre of land, more or less.



LOTS 7A, 9A, AND 9B  
HOLLENBECK SUBDIVISION  
VOLUME 29, PAGE 39B, H.C.M.R.

**P.O.C.**  
N.E. COR. LOT 8 &  
N.W. COR. LOT 10

**P.O.B.**

UVALDE AVENUE  
R.O.W. VARIES

S 81° 18' 59" E 89.00'

79.00'

25.0'

N 81° 18' 59" W  
10.0'

EXISTING SOUTH R.O.W. LINE  
AS PER VOLUME 8, PAGE 31, H.C.M.R.

10.0' UTILITY  
EASEMENT TO CITY OF McALLEN  
AS PER VOLUME 1064, PAGE 239, H.C.D.R.

EXISTING SOUTH R.O.W. LINE  
AS PER VOLUME 8, PAGE 31, H.C.M.R.

SOUTH VILLA HERMOSA, LTD.  
W.D. DOCUMENT  
NO. 1790160, H.C.O.R.

PROPERTY ID NO. 194186

ACREAGE  
0.282 OF ONE ACRE  
-0.051 OF ONE ACRE EXISTING R.O.W. UVALDE AVENUE  
0.231 OF ONE ACRE EXISTING NET

ALONZO CANTU,  
TRUSTEE  
W.D. DOCUMENT  
NO. 1952868, H.C.O.R.

TRACT 1

N 08° 41' 01" E 137.80'

112.80'

S 08° 41' 01" W 137.80'

TRACT 5

PROPERTY ID NO. 194185

ALONZO CANTU, TRUSTEE  
W.D. DOCUMENT NO. 2032943, H.C.O.R.

SCALE: 1"=30'

BEARING BASIS AS PER TEXAS  
COORDINATE SYSTEM OF 1983, TEXAS SOUTH

HOLLENBECK SUBDIVISION  
VOLUME 8, PAGE 31, H.C.M.R.  
PROPERTY ID NO. 194183

N 81° 18' 59" W 89.00'

79.00'

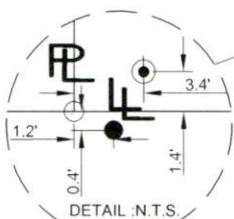
OUT OF LOT 15,

SOUTHEAST 1/4 SECTION 7  
HIDALGO CANAL COMPANY SUBDIVISION  
VOLUME "Q", PAGES 175-177, H.C.D.R.

**EXHIBIT "B"**

PLAT SHOWING  
TRACT 2:

0.282 OF ONE ACRE BEING  
THE WEST 1/2 OF LOT 10 AND  
THE EAST 10 FEET OF SAID LOT 8,  
ALL OF HOLLENBECK SUBDIVISION,  
AS RECORDED IN  
VOLUME 8, PAGE 31, H.C.M.R.,  
CITY OF McALLEN,  
HIDALGO COUNTY, TEXAS



**LEGEND**

- SET No. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
- FOUND No. 4 REBAR
- ⊙ FOUND 2" STEEL POST
- ⌵ SET NAIL
- LOT LINE
- PROPERTY LINE
- SAME OWNER
- P.O.C. - POINT OF COMMENCING
- P.O.B. - POINT OF BEGINNING
- N.E. COR. - NORTHEAST CORNER
- N.W. COR. - NORTHWEST CORNER
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- N.T.S. - NOT TO SCALE
- W.D. - WARRANTY DEED
- R.O.W. - RIGHT-OF-WAY

**NOTES:**

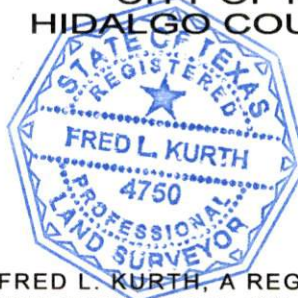
1. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.
2. ALL BEARINGS AND DISTANCES ARE BASED ON GRID COORDINATES.
3. NO UNDERGROUND EXCAVATIONS WERE DONE DURING THE TIME OF SURVEY.
4. EXISTING IMPROVEMENTS ARE NOT BEING SHOWN UPON SUBJECT TRACT.
5. THERE ARE NO BUILDING SETBACKS SHOWN ON SAID HOLLENBECK SUBDIVISION AND ON SAID HIDALGO CANAL COMPANY SUBDIVISION. BUILDING SETBACKS AS PER CITY OF McALLEN PLANNING DEPARTMENT. CITY OF McALLEN WAS CONTACTED FOR BUILDING SETBACKS, BUT THERE HAS NOT BEEN A RESPONSE.
6. FIGURE 4.2 THOROUGHFARE PLAN FOR CITY OF McALLEN PLANNING DEPARTMENT DOES NOT HAVE ANY THOROUGHFARE ROAD RIGHTS-OF-WAY FOR UVALDE AVENUE AND 6TH STREET, BUT WICHITA AVENUE HAS A LABEL OF COLLECTOR OF 80.00 FEET WIDE.
7. SURVEY WAS PREPARED WITH THE BENEFIT OF VALLEY LAND TITLE COMPANY COMMITMENT GF No. 170745

EFFECTIVE DATE: NOVEMBER 20, 2020

ISSUED: DECEMBER 4, 2020

EASEMENTS LISTED IN SCHEDULE B:

10a.- BLANKET EASEMENTS IN FAVOR OF HIDALGO COUNTY WATER IMPROVEMENT DISTRICT NO. 3 AND EASEMENTS AND RESTRICTIONS AS SHOWN ON THE MAP OF THE ABOVE DESCRIBED SUBDIVISION. HIDALGO COUNTY WATER IMPROVEMENT DISTRICT NO. 3 HAS BEEN CONTACTED



I, FRED L. KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THE FOREGOING PLAT TO BE TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE ON THE GROUND ON 1/12/2021 UNDER MY DIRECTION AND SUPERVISION AND WAS NOT INTENDED TO SHOW IMPROVEMENTS.

*Fred L. Kurth* 2-17-21  
FRED L. KURTH, RPLS No. 4750 DATE:

**Form 207**  
**(revised 5/01)**

Return in Duplicate to:  
Secretary of State  
P.O. Box 13697  
Austin, TX 78711-3697  
FAX: 512/463-5709  
**Filing Fee: \$750**



**Certificate of  
Limited Partnership  
Pursuant to  
Article 6132a-1**

This space reserved for office use.

**FILED**  
**In the Office of the  
Secretary of State of Texas**

**MAY 27 2003**

**Corporations Section**

**1. Name of Limited Partnership**

The name of the limited partnership is as set forth below:

**SOUTH VILLA HERMOSA, LTD.**

The name must contain the words "Limited Partnership," or "Limited," or the abbreviation "L.P.," or "Ltd." as the last words or letters of its name. The name must not be the same as, deceptively similar to or similar to that of an existing corporate, limited liability company, or limited partnership name on file with the secretary of state. A preliminary check for "name availability" is recommended.

**2. Principal Office**

The address of the principal office in the United States where records of the partnership are to be kept or made available is set forth below:

Address: **5221 N. MCCOLL ROAD**

City	State	Zip Code	Country
<b>MCALLEN</b>	<b>TX</b>	<b>78504</b>	<b>USA</b>

**3. Registered Agent and Registered Office (Select and complete either A or B, then complete C.)**

☒ **A. The initial registered agent is a corporation by the name set forth below:**

**OR** **PREFERENCE, INC.**

☐ **B. The initial registered agent is an individual resident of the state whose name is set forth below:**

First Name	Middle Initial	Last Name	Suffix

**C. The business address of the registered agent and the registered office address is:**

Street Address	City	TX	Zip Code
<b>5221 N. MCCOLL ROAD</b>	<b>MCALLEN</b>		<b>78504</b>

**4. General Partner Information**

The name, mailing address, and the street address of the business or residence of each general partner is as follows:

**General Partner 1**

**Legal Entity:** The general partner is a legal entity named:

**PREFERENCE, INC.**

**Individual:** The general partner is an individual whose name is set forth below:

First Name	M.I.	Last Name	Suffix



<b>MAILING ADDRESS OF GENERAL PARTNER 1</b>			
Mailing Address	City	State	Zip Code
P.O. BOX 2673	MCALLEN	TX	78502
<b>STREET ADDRESS OF GENERAL PARTNER 1</b>			
Street Address	City	State	Zip Code
5221 N. MCCOLL ROAD	MCALLEN	TX	78504
<b>General Partner 2</b>			
<b>Legal Entity:</b> The general partner is a legal entity named:			
<b>Individual:</b> The general partner is an individual whose name is set forth below:			
Partner 2--First Name	M.I.	Last Name	Suffix
<b>MAILING ADDRESS OF GENERAL PARTNER 2</b>			
Mailing Address	City	State	Zip Code
P.O. BOX 2673	MCALLEN	TX	78502
<b>STREET ADDRESS OF GENERAL PARTNER 2</b>			
Street Address	City	State	Zip Code
5221 N. MCCOLL ROAD	MCALLEN	TX	78504

### 5 - Supplemental Information

Text Area:

[The attached addendum are incorporated herein by reference.]

### Effective Date of Filing

☒ A. This document will become effective when the document is filed by the secretary of state.

OR

☐ B. This document will become effective at a later date, which is not more than ninety (90) days from the date of its filing by the secretary of state. The delayed effective date is

### Execution

The undersigned sign this document subject to the penalties imposed by law for the submission of a false or fraudulent document.

Name	Name
PREFERENCE, INC., ALONZO CANTU, PRES.	
<b>Signature of General Partner 1</b>	<b>Signature of General Partner 2</b>



Office of the Secretary of State  
PERIODIC REPORT - LIMITED PARTNERSHIP

File Number: 800208303

Page 1 of 1

Filing Fee: \$50

1. The limited partnership name is:  
**SOUTH VILLA HERMOSA, LTD.**
2. It is organized under the laws of: *(set forth state or foreign country)*  
**Texas**
3. The name of the registered agent is:  
**Preference, Inc.**  
*(Make changes here)*

**FILED**  
**In the Office of the**  
**Secretary of State of Texas**  
**OCT 29 2008**  
**Corporations Section**

4. The registered office address, which is identical to the business office address of the registered agent in Texas, is:  
**5221 N. McColl Rd.**  
**Mcallen, TX 78504**  
*(Make changes here-use street or building address, see Instructions)*
5. The address of the principal office in the United States where the records are to be kept or made available is:  
**5221 N McColl Rd**  
**Mcallen, TX 78504**  
*(Make changes here)*

6. The names and addresses of all general partners of the limited partnership are:  
*(Address changes for existing general partners are allowed. For name changes, see Instruction 6)*

<u>Name</u>	<u>Address</u>	<u>City/ State/Zip</u>
Preference, Inc.	5221 N. McColl Rd. PO Box 2673	Mcallen, TX 78504

**Execution:**

The undersigned signs this document subject to the penalties imposed by law for the submission of a materially false or fraudulent instrument.

Date: 10/24/08

Signed on behalf of the limited partnership

Alonzo Cantu  
By (general partner)





Comptroller of Public Accounts  
FORM 05-102 (Rev. 9-11/30)

## Texas Franchise Tax Public Information Report

To be filed by Corporations, Limited Liability Companies (LLC) and Financial Institutions

This report **MUST** be signed and filed to satisfy franchise tax requirements

■ Tcode 13196 Franchise

■ Taxpayer number

3 2 0 3 5 7 6 9 4 6 5

■ Report year

2 0 1 8

**You have certain rights** under Chapter 552 and 559, Government Code, to review, request, and correct information we have on file about you. Contact us at (800) 252-1381 or (512) 463-4600.

Taxpayer name <b>SOUTH VILLA HERMOSA, LTD</b>				Secretary of State (SOS) file number or Comptroller file number <b>0800208303</b>			
Mailing address <b>5221 N MCCOLL RD</b>							
City <b>MCALLEN</b>		State <b>TX</b>		ZIP Code <b>78504</b>		Plus 4	

☐ Blacken circle if there are currently no changes from previous year; if no information is displayed, complete the applicable information in Sections A, B and C.

Principal office <b>PO BOX 2673, MCALLEN, TX 78502-2673</b>
Principal place of business <b>PO BOX 2673, MCALLEN, TX 78502-2673</b>

**Please sign below!**

Officer, director and manager information is reported as of the date a Public Information Report is completed. The information is updated annually as part of the franchise tax report. There is no requirement or procedure for supplementing the information as officers, directors, or managers change throughout the year.



### SECTION A Name, title and mailing address of each officer, director or manager.

Name <b>PREFERENCE, INC</b>	Title <b>GEN PTR</b>	Director <input type="radio"/> YES	Term expiration m m d d y y
Mailing address <b>PO BOX 2673</b>	City <b>MCALLEN</b>	State <b>TX - TEXAS</b>	ZIP Code <b>78502</b>
Name	Title	Director <input type="radio"/> YES	Term expiration m m d d y y
Mailing address	City	State	ZIP Code
Name	Title	Director <input type="radio"/> YES	Term expiration m m d d y y
Mailing address	City	State	ZIP Code

### SECTION B Enter the information required for each corporation or LLC, if any, in which this entity owns an interest of 10 percent or more.

Name of owned (subsidiary) corporation or limited liability company	State of formation	Texas SOS file number, if any	Percentage of ownership
Name of owned (subsidiary) corporation or limited liability company	State of formation	Texas SOS file number, if any	Percentage of ownership

### SECTION C Enter the information required for each corporation or LLC, if any, that owns an interest of 10 percent or more in this entity or limited liability company.

Name of owned (parent) corporation or limited liability company	State of formation	Texas SOS file number, if any	Percentage of ownership
---	--------------------	-------------------------------	-------------------------

Registered agent and registered office currently on file. (see instructions if you need to make changes) ☐ Blacken circle if you need forms to change the registered agent or registered office information.

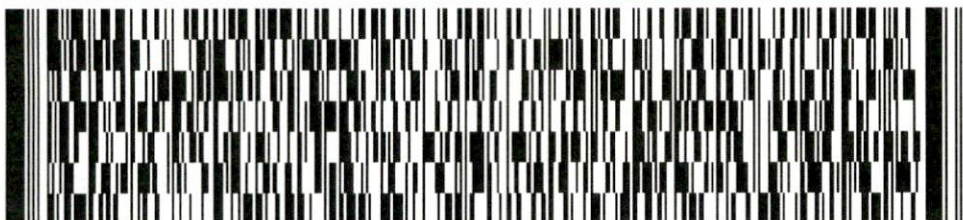
Agent: <b>PREFERENCE, INC.</b>	City <b>MCALLEN</b>	State <b>TX</b>	ZIP Code <b>78504</b>
--------------------------------	------------------------	--------------------	--------------------------

The above information is required by Section 171.203 of the Tax Code for each corporation or limited liability company that files a Texas Franchise Tax Report. Use additional sheets for Sections A, B, and C, if necessary. The information will be available for public inspection.

I declare that the information in this document and any attachments is true and correct to the best of my knowledge and belief, as of the date below, and that a copy of this report has been mailed to each person named in this report who is an officer, director or manager and who is not currently employed by this, or a related, corporation or limited liability company.

sign here <b>GARY GIPSON</b>	Title <b>Electronic</b>	Date <b>11-15-2018</b>	Area code and phone number <b>( 956 ) 682 - 6365</b>
------------------------------	----------------------------	---------------------------	---

### Texas Comptroller Official Use Only



VE/DE <input type="radio"/>	PIR IND <input type="radio"/>
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**TEXAS SECRETARY of STATE**  
**RUTH R. HUGHS****BUSINESS ORGANIZATIONS INQUIRY - VIEW ENTITY**

**Filing Number:** 800208303  
**Original Date of Filing:** May 27, 2003  
**Formation Date:** N/A  
**Tax ID:** 32035769465  
**Duration:** Perpetual  
**Entity Type:** Domestic Limited Partnership (LP)  
**Entity Status:** In existence  
**FEIN:**  
**Name:** SOUTH VILLA HERMOSA, LTD.  
**Address:** 5221 N McColl Rd  
Mcallen, TX 78504 USA

<u>REGISTERED AGENT</u>	<u>FILING HISTORY</u>	<u>NAMES</u>	<u>MANAGEMENT</u>	<u>ASSUMED NAMES</u>	<u>ASSOCIATED ENTITIES</u>
<b>Name</b> Preference, Inc.	<b>Address</b> 5221 N. McColl Rd. Mcallen, TX 78504 USA		<b>Inactive Date</b>		

[Order](#)[Return to Search](#)**Instructions:**






- To place an order for additional information about a filing press the 'Order' button.

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McAllen, TX 78504 USA

REGISTERED AGENT		FILING HISTORY	NAMES	MANAGEMENT	ASSUMED NAMES	ASSOCIATED ENTITIES	
View Image	Document Number	Filing Type	Filing Date	Effective Date	Eff. Cond	Page Count	
	34546180002	Certificate of Limited Partnership	May 27, 2003	May 27, 2003	No	2	
	233459940001	Report Notice	October 21, 2008	October 21, 2008	No	1	
	234854110002	Periodic Report	October 29, 2008	October 29, 2008	No	1	
	715102140001	Public Information Report (PIR)	December 31, 2016	February 10, 2017	No	1	
	870120900001	Public Information Report (PIR)	December 31, 2018	February 21, 2019	No	1	

[Order](#)[Return to Search](#)**Instructions:**

- To place an order for additional information about a filing press the 'Order' button.

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McAllen, TX 78504 USA

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<b>Name</b>		<b>Name Status</b>	<b>Name Type</b>	<b>Name Inactive Date</b>	<b>Consent Filing #</b>
SOUTH VILLA HERMOSA, LTD.		In use	Legal		0

Order

Return to Search

**Instructions:**

- To place an order for additional information about a filing press the 'Order' button.



**TEXAS SECRETARY of STATE**  
**RUTH R. HUGHS****BUSINESS ORGANIZATIONS INQUIRY - VIEW ENTITY**

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<u>REGISTERED AGENT</u>	<u>FILING HISTORY</u>	<u>NAMES</u>	<u>MANAGEMENT</u>	<u>ASSUMED NAMES</u>	<u>ASSOCIATED ENTITIES</u>
<b>Last Update</b> May 29, 2003	<b>Name</b> Preference, Inc.	<b>Title</b> General Partner	<b>Address</b> 5221 N. McColl Rd., PO Box 2673 Mcallen, TX 78504 USA		

[Order](#)[Return to Search](#)**Instructions:**

- To place an order for additional information about a filing press the 'Order' button.



**TEXAS SECRETARY of STATE**  
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<u>REGISTERED AGENT</u>	<u>FILING HISTORY</u>	<u>NAMES</u>	<u>MANAGEMENT</u>	<u>ASSUMED NAMES</u>	<u>ASSOCIATED ENTITIES</u>
Assumed Name		Date of Filing	Expiration Date	Inactive Date	Name Status
No names exist for this filing.					Counties

[Order](#)[Return to Search](#)Instructions:

- To place an order for additional information about a filing press the 'Order' button.



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Name	Entity Type	Document Description	Filing Date	Entity Filing Number	Jurisdiction	Capacity
There are no documents listed for this entity which match your inquiry.						

[Order](#)[Return to Search](#)Instructions:

- To place an order for additional information about a filing press the 'Order' button.



TGO Uvalde 21, LP  
6300 West Loop South, Ste. 670  
Bellaire, Texas 77401

July 19, 2021

Hebert Camacho  
Planner I  
City of McAllen Planning Department  
311 N. 15<sup>th</sup> Street  
McAllen, Texas 78501

Re: Uvalde Villas-COZ

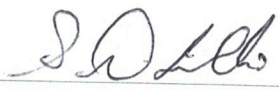
Dear Mr. Camacho,

Please let this letter serve to authorize Melden and Hunt to represent TGO Uvalde 21, LP ("Applicant") to take any and all action on behalf of the Applicant on the property in connection with the rezoning to multifamily.

Sincerely,

TGO Uvalde 21, LP

By: Texas Grey Oaks, LLC, managing member of GP Partner

By:   
Steve Lollis



**NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ2021-0008**

CITY OF MCALLEN PLANNING DEPT.  
804-951-1200  
WWW.MCALLEN.UT



**NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ2021-0009**

CITY OF MCALLEN PLANNING DEPT.  
804-951-1200  
WWW.MCALLEN.UT







**Project Summary**

Apartments:			
Type	Description	Qty	Area
A1	One Bedroom, 1 Bath	16	652 s.f.
A2	One Bedroom, 1 Bath	16	652 s.f.
A3	One Bedroom, 1 Bath	12	674 s.f.
A4	One Bedroom, 1 Bath	12	674 s.f.
A5	One Bedroom, 1 Bath (H.C.)	4	756 s.f.
A6	One Bedroom, 1 Bath	4	756 s.f.
Total One Bedroom Units		64 Units	
B1	Two Bedroom, 2 Bath	8	920 s.f.
B2	Two Bedroom, 2 Bath	8	920 s.f.
B3	Two Bedroom, 2 Bath	6	970 s.f.
B4	Two Bedroom, 2 Bath	6	970 s.f.
B5	Two Bedroom, 1 Bath (H.C.)	2	1,004 s.f.
B6	Two Bedroom, 1 Bath	2	1,004 s.f.
Total Two Bedroom Units		32 Units	
C1	Three Bedroom, 2 Bath	2	1,129 s.f.
C2	Three Bedroom, 2 Bath	1	1,140 s.f.
C3	Three Bedroom, 2 Bath	2	1,140 s.f.
C4	Three Bedroom, 2 Bath (H.C.)	1	1,140 s.f.
Total Two Bedroom Units		6 Units	
Apartments Total		102 Units	80,282 s.f.

**UVALDE VILLAS**

A Multi-Family Community  
Mucasey & Associates, Architects  
January 21, 2021



## Memo

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

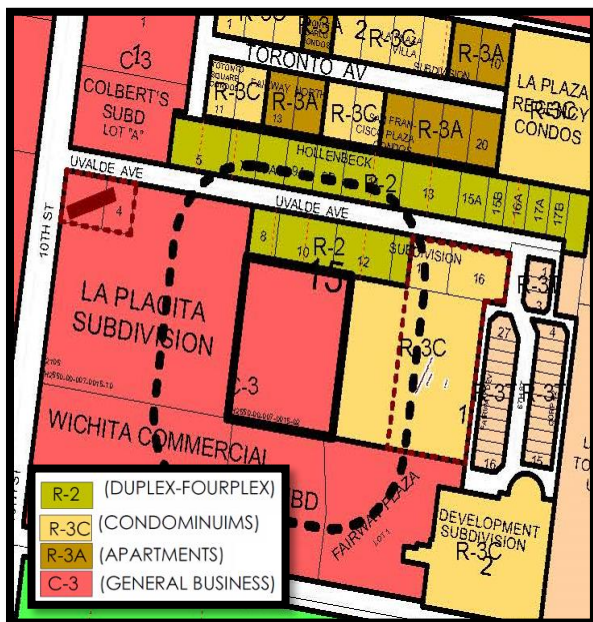
**DATE:** July 27, 2021

**SUBJECT: REZONE FROM C-3 (GENERAL BUSINESS) DISTRICT TO R-3A (MULTIFAMILY APARTMENTS) DISTRICT: 2.396 ACRES OUT OF LOT 15, OF SOUTHEAST ¼ SECTION 7, HIDALGO CANAL COMPANY SUBDIVISION, HIDALGO COUNTY, TEXAS; 2101 SOUTH 10<sup>TH</sup> STREET. (REZ2021-0009)**

**LOCATION:** The property is an interior tract with not street access, the property located approximately 113 ft. south of Uvalde Avenue and approximately 510 ft. east of South 10<sup>th</sup> Street. The subject property consists of 104,355 square feet (2.396 acres)

**PROPOSAL:** The applicant is requesting to rezone the property to R-3A (multifamily apartments) District in order to construct multifamily apartments. Funding for 102 Units was approved by TDHCA.

**ADJACENT ZONING:** The adjacent zoning is C-3 (general business) District to the south and west, R-2 (duplex-fourplex) District to the north, and R-3C (multifamily condominiums) District to the east.



**LAND USE:** The property is currently vacant. Surrounding land uses include single-family residences, apartments, La Placita Commercial Plaza that holds Retail stores, Lone Star National



Bank and BBVA Compass Bank, and vacant land.

COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Commercial, which is comparable to C-1 (office) District to C-3 (general business).

DEVELOPMENT TRENDS: The development trend for this area along Uvalde Avenue is single-family residential, duplexes and commercial plazas.

HISTORY: The property was initially zoned C-3 District during the comprehensive zoning in May 1979. There has been no other rezoning request for the subject property since then.

ANALYSIS: The requested zoning does not conform to the Auto Urban Commercial land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, it follows the rezoning and development trend to multifamily residences in the area.

This is part of six rezoning cases in the area; the development is for a proposed apartment complex. A subdivision and site plan review process is required prior to building permit issuance.

The proposed development is approximately 7 acres (305,000 square feet), based on the maximum density per gross acres in the R-3 multifamily residential district: 305-one bedroom units, 244-two bedroom units or 203-three bedroom units will be allowed. Seven thousand square feet represents the minimum lot area for any R-3 multifamily residential district, exclusive of townhouse. Max allowable density per acre will be defined on site plan approval, once a final subdivision plat is recorded. The proposed development as awarded by state was 102 units.

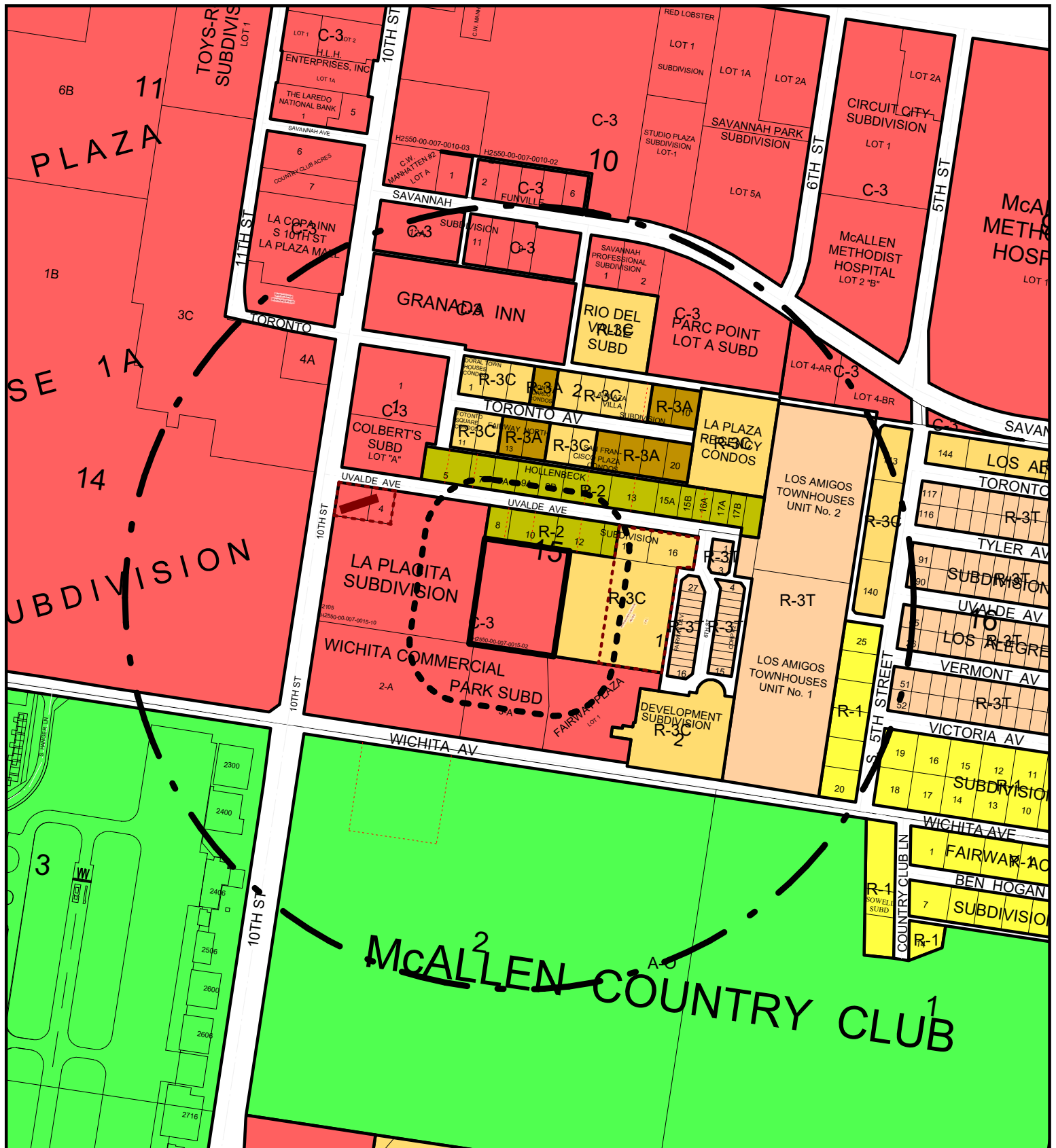
Traffic analysis will be review under the Subdivision and Site Plan Review process.

Uvalde Avenue has 50 ft. of ROW dedication; the curb-to-curb starts at approximately 35 ft. closest to south 10<sup>th</sup> Street and as the street travels east, it decreases to 30 ft. Uvalde Avenue would be consider a Local street due to its dimensions.

Staff has not received a phone call or email in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to R-3A (multifamily apartments) District.





# CITY OF McALLEN

PLANNING DEPARTMENT

## LEGEND

SCALE: N.T.S.

SUBJECT PROPERTY

200 FT. NOTIFICATION BOUNDARY

1/4 MILE RADIUS



### ZONING LEGEND

**A-0** (AGRICULTURAL & OPEN SPACE)

**R-3A** (APARTMENTS)

**R-4** (MOBILE HOMES)

**C-3** (GENERAL BUSINESS)

**I-1** (LIGHT INDUSTRIAL)

**R-1** (SINGLE FAMILY RESIDENTIAL)

**R-3C** (CONDOMINIUMS)

**C-1** (OFFICE BUILDING)

**C-3L** (LIGHT COMMERCIAL)

**I-2** (HEAVY INDUSTRIAL)

**R-2** (DUPLEX-FOURPLEX)

**R-3T** (TOWNHOUSES)

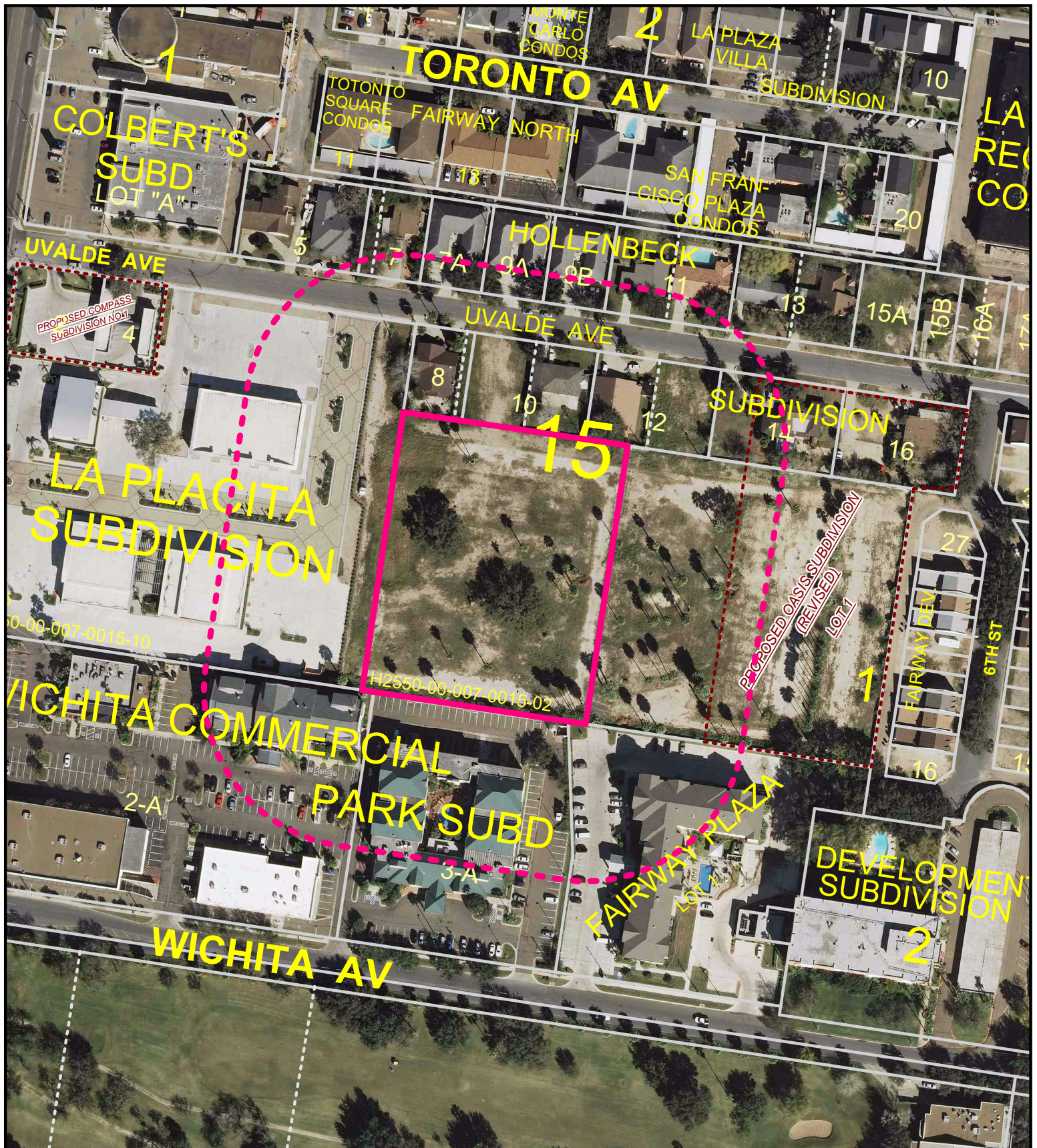
**C-2** (NEIGHBORHOOD COMMERCIAL)

**C-4** (COMMERCIAL INDUSTRIAL)

(SPECIAL DISTRICT)

This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.





**CITY OF McALLEN**  
PLANNING DEPARTMENT



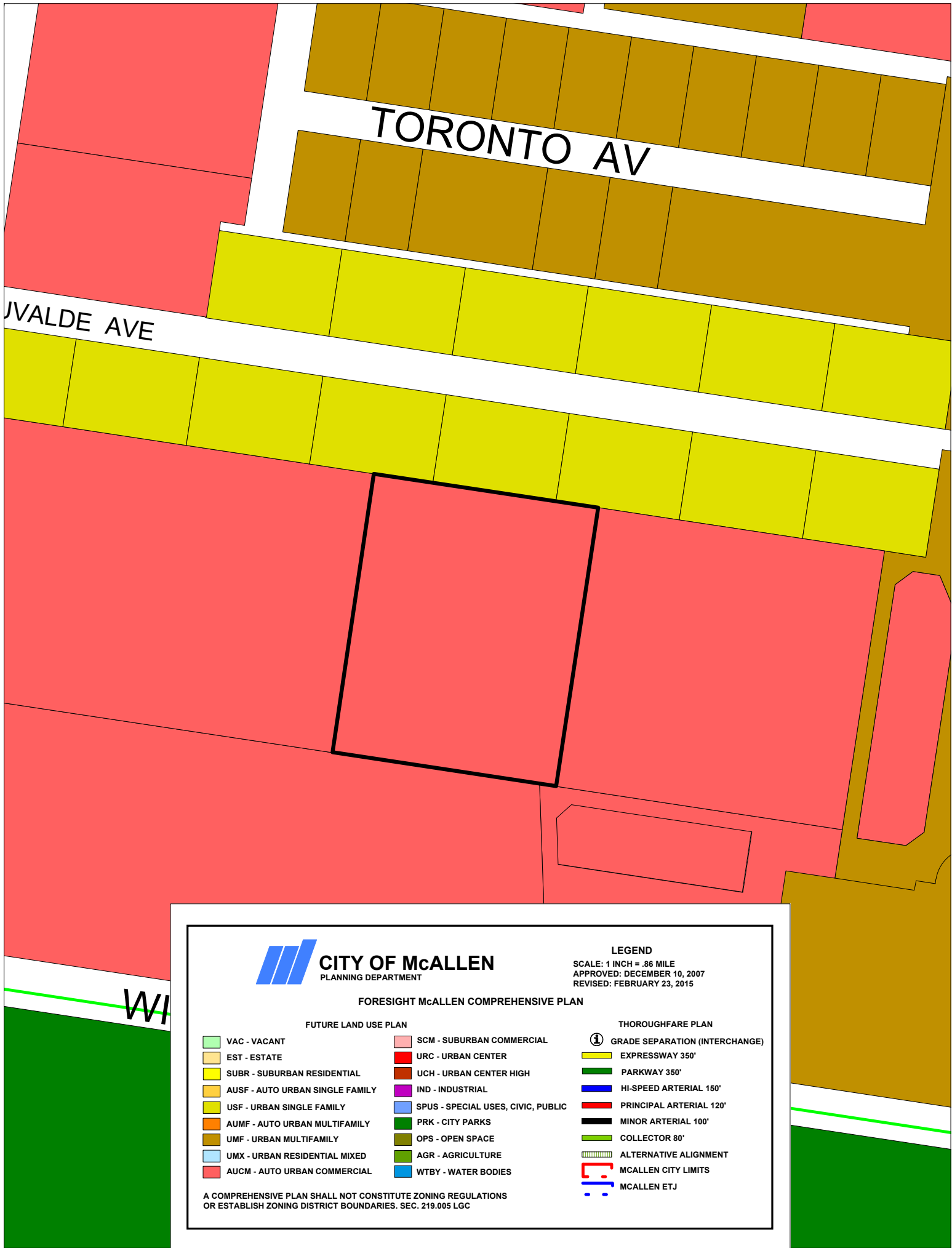
**SUBJECT PROPERTY**

**AERIAL MAP**  
SCALE: N.T.S.



This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes.  
ocation of property boundaries.







February 16, 2021  
EXHIBIT "B"

**METES AND BOUNDS DESCRIPTION  
TRACT 8: 2.396 ACRES OUT OF SAID LOT 15,  
OF SOUTHEAST ¼ SECTION 7, OF  
HIDALGO CANAL COMPANY SUBDIVISION  
CITY OF McALLEN,  
HIDALGO COUNTY, TEXAS**

A tract of land containing 2.396 acres, situated in the City of McAllen, Hidalgo County, Texas, said 2.396 acres being part or portion out of said Lot 15, Southeast ¼ SECTION 7, of HIDALGO CANAL COMPANY SUBDIVISION, according to the plat thereof recorded in Volume "Q", Pages 175-177, Hidalgo County Deed Records, which said 2.396 acres was conveyed to Alonzo Cantu, Trustee, by virtue of Special Warranty Deed recorded under Document Number 1432509, Hidalgo County Official Records; which said 2.396 acres also being more particularly described as follows:

COMMENCING at a Nail set at the Northeast corner of said La Placita Subdivision, according to the plat thereof recorded in Instrument Number 2103938, Hidalgo County Map Records and being within the existing right-of-way of Uvalde Avenue;

THENCE, S 08° 41' 01" W [N 08° 46' 00" E map call] along the East line of said La Placita Subdivision, at a distance of 25.00 feet pass an "X" Mark on concrete set on the existing South right-of-way line of Uvalde Avenue, continuing a total distance of 137.80 feet to a No. 4 rebar found for the POINT OF BEGINNING and the Northwest corner of this herein described tract;

1. THENCE, S 81° 18' 59" E along the South line of Hollenbeck Subdivision, according to the plat thereof recorded in Volume 8, Page 31, Hidalgo County Map Records, a distance of 292.15 feet to a No. 4 rebar set for the Northeast corner of this tract;
2. THENCE, S 08° 41' 01" W (S 08° 48' 00" W deed call) a distance of 357.20 feet to a No. 4 rebar set on the North line of Fairway Plaza Subdivision, according to the plat thereof recorded in Volume 35, Page 62B, Hidalgo County Map Records, for the Southeast corner of this tract;
3. THENCE, N 81° 18' 59" W (N 81° 12' 00" W deed call) [S 81° 12' 00" E map call] along the North lines of said Fairway Plaza Subdivision and Wichita Commercial Park, according to the plat thereof recorded in Volume 29, Page 169A, Hidalgo County Map Records, a distance of 292.15 feet to a No. 4 rebar set, for the Southwest corner of this tract;
4. THENCE, N 08° 41' 01" E [N 08° 46' 00" E map call] along the East line of said La Placita Subdivision, a distance of 357.20 feet to the POINT OF BEGINNING and containing 2.396 acres of land, more or less.



**EXHIBIT "B"**

2.396 ACRES OUT OF SAID LOT 15, OF SAID S  
SECTION 7, OF HIDALGO CANAL COMPANY S  
AS RECORDED IN VOLUME "Q", PAGES 175-

### LEGEND

- |          |  |              |                                 |
|----------|--|--------------|---------------------------------|
| ⊗        | SET "X" MARK ON CONCRETE                             | ○            | SET No.4 REBAR WITH PLASTIC     |
|          | SET No.4 REBAR WITH PLASTIC                          | ●            | CAP STAMPED MELDEN & HUNT       |
| ⚡        | SET NAIL   |              |                                 |
| LL       | - LOT LINE   |              |                                 |
| PP       | - PROPERTY LINE                                      | P.O.C. -     | POINT OF COMMENCING             |
| Σ        | - SAME OWNER   | P.O.B. -     | POINT OF BEGINNING              |
| DL       | - DEED LINE  | N.E. COR. -  | NORTHEAST CORNER                |
| N.T.S. - | NOT TO SCALE   | H.C.M.R. -   | HIDALGO COUNTY MAP RECORDS      |
|          |  | H.C.O.R. -   | HIDALGO COUNTY OFFICIAL RECORDS |
|          |  | R.O.W. -     | RIGHT-OF-WAY                    |
|          |  | G.W.D. -     | GENERAL WARRANTY DEED           |
|          |  | W.D. -       | WARRANTY DEED                   |
|          |  | W.D.W.V.L. - | WARRANTY DEED WITH VENDOR'S     |
|          |  | H.C.D.R. -   | HIDALGO COUNTY DEED RECORDS     |
|          |  | S.W.D. -     | SPECIAL WARRANTY DEED           |
| — GAS —  | GAS LINE [APPROXIMATE LOCATION] AS PER TEXAS GAS MAP |              |                                 |
|          | 2 INCH PLASTIC PIPELINE                              |              |                                 |
| ( ) -    | RECORDED DEED CALLS IN DRAWING AREA ONLY             |              |                                 |
| [ ] -    | RECORDED MAP CALLS                                   |              |                                 |

**NOTES :**

1. FOR NOTES PERTAINING TO

I, FRED L. KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THE FOREGOING PLAT TO BE TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE ON THE GROUND ON 1/12/2021 UNDER MY DIRECTION AND SUPERVISION AND WAS NOT INTENDED TO SHOW IMPROVEMENTS.

FRED L. KURTH, RPLS No. 4750      DATE:



TBPELS No. 10096900

PAGE 14 OF 14  
DATE: 2-16-2021  
REF. JOB NO. 20720.08  
JOB No. 21049.00  
FILE NAME: REZONING  
DRAWN BY: I.H.

© COPYRIGHT 2021 MELDE



TGO Uvalde 21, LP  
6300 West Loop South, Ste. 670  
Bellaire, Texas 77401

July 19, 2021

Hebert Camacho  
Planner I  
City of McAllen Planning Department  
311 N. 15<sup>th</sup> Street  
McAllen, Texas 78501

Re: Uvalde Villas-COZ

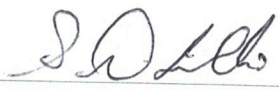
Dear Mr. Camacho,

Please let this letter serve to authorize Melden and Hunt to represent TGO Uvalde 21, LP ("Applicant") to take any and all action on behalf of the Applicant on the property in connection with the rezoning to multifamily.

Sincerely,

TGO Uvalde 21, LP

By: Texas Grey Oaks, LLC, managing member of GP Partner

By:   
Steve Lollis





**Project Summary**

**Apartments:**

Type	Description	Qty	Area
A1	One Bedroom, 1 Bath	16	652 s.f.
A2	One Bedroom, 1 Bath	16	652 s.f.
A3	One Bedroom, 1 Bath	12	674 s.f.
A4	One Bedroom, 1 Bath	12	674 s.f.
A5	One Bedroom, 1 Bath (H.C.)	4	756 s.f.
A6	One Bedroom, 1 Bath	4	756 s.f.
<b>Total One Bedroom Units</b>		64 Units	
B1	Two Bedroom, 2 Bath	8	920 s.f.
B2	Two Bedroom, 2 Bath	8	920 s.f.
B3	Two Bedroom, 2 Bath	6	970 s.f.
B4	Two Bedroom, 2 Bath	6	970 s.f.
B5	Two Bedroom, 1 Bath (H.C.)	2	1,004 s.f.
B6	Two Bedroom, 1 Bath	2	1,004 s.f.
<b>Total Two Bedroom Units</b>		32 Units	
C1	Three Bedroom, 2 Bath	2	1,129 s.f.
C2	Three Bedroom, 2 Bath	1	1,140 s.f.
C3	Three Bedroom, 2 Bath	2	1,140 s.f.
C4	Three Bedroom, 2 Bath (H.C.)	1	1,140 s.f.
<b>Total Two Bedroom Units</b>		6 Units	
<b>Apartments Total</b>		102 Units	80,282 s.f.

**UVALDE VILLAS**

*A Multi-Family Community*  
Mucasey & Associates, Architects  
January 21, 2021



## Memo

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

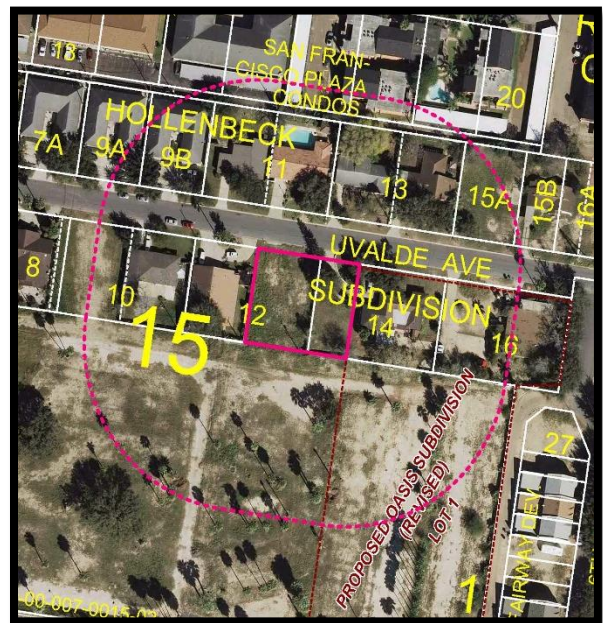
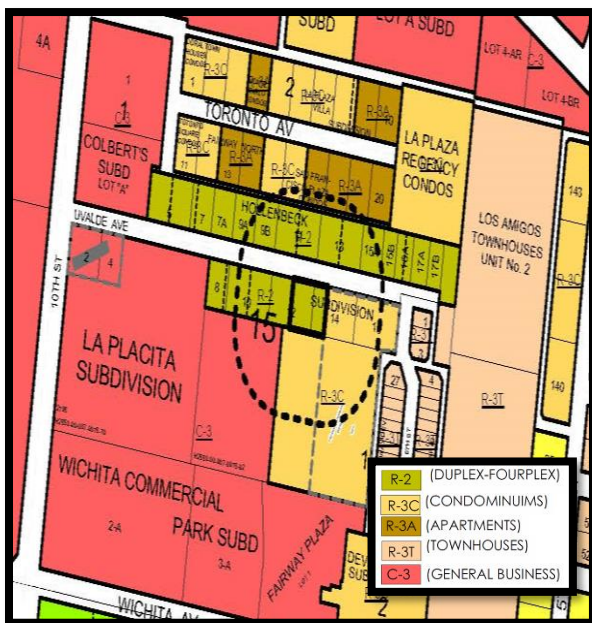
**DATE:** July 27, 2021

**SUBJECT: REZONE FROM R-2 (DUPLEX-FOURPLEX) DISTRICT TO R-3A (MULTIFAMILY APARTMENTS) DISTRICT: 0.405 ACRES OUT OF THE EAST HALF OF LOT 12 AND THE WEST 49 FT. OF LOT 14, HOLLENBECK SUBDIVISION, HIDALGO COUNTY, TEXAS; 709 UVALDE AVENUE. (REZ2021-0011)**

**LOCATION:** The property is located on the south side along Uvalde Avenue, approximately 820 ft. east of South 10<sup>th</sup> Street. The subject property consists 0.405 acres

**PROPOSAL:** The applicant is requesting to rezone the property to R-3A (multifamily apartments) District in order to construct multifamily apartments. Funding for 102 Units was approved by TDHCA.

**ADJACENT ZONING:** The adjacent zoning is C-3 (general business) District to the south and west, R-2 (duplex-fourplex) District to the west, east and north, and R-3C (multifamily condominiums) District to the east.



**LAND USE:** The property is currently vacant. Surrounding land uses include single-family residences, apartments, La Placita Commercial Plaza that holds Retail stores, Lone Star National Bank and BBVA Compass Bank, and vacant land.



COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Urban Single Family which is comparable to R-1 (single-family residential) District.

DEVELOPMENT TRENDS: The development trend for this area along Uvalde Avenue is single-family residential, duplexes and commercial plazas.

HISTORY: The property was initially zoned R-1 (single-family residential) District during the comprehensive zoning in May 1979. On November 28, 1997, there was a city-initiated zoning for 21 properties in the 600 to 900 block of Uvalde Avenue presented to the P&Z Board to rezone from R-1 District to C-1 (office) District; the request was disapproved, but the Board recommended the approval for R-2(duplex-fourplex) District. On City Commission's meeting of January 12, 1998, the board voted to alternative approved the request to R-2 District. There has been no other rezoning request for the subject property since then.

ANALYSIS: The requested zoning does not conform to the Urban Single-family land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, it follows the rezoning and development trend to multifamily residences in the area.

This is part of six rezoning cases in the area; the development is for a proposed apartment complex. A subdivision and site plan review process is required prior to building permit issuance.

The proposed development is approximately 7 acres (305,000 square feet), based on the maximum density per gross acres in the R-3 multifamily residential district: 305-one bedroom units, 244-two bedroom units or 203-three bedroom units will be allowed. Seven thousand square feet represents the minimum lot area for any R-3 multifamily residential district, exclusive of townhouse. Max allowable density per acre will be defined on site plan approval, once a final subdivision plat is recorded. The proposed development as awarded by state was 102 units.

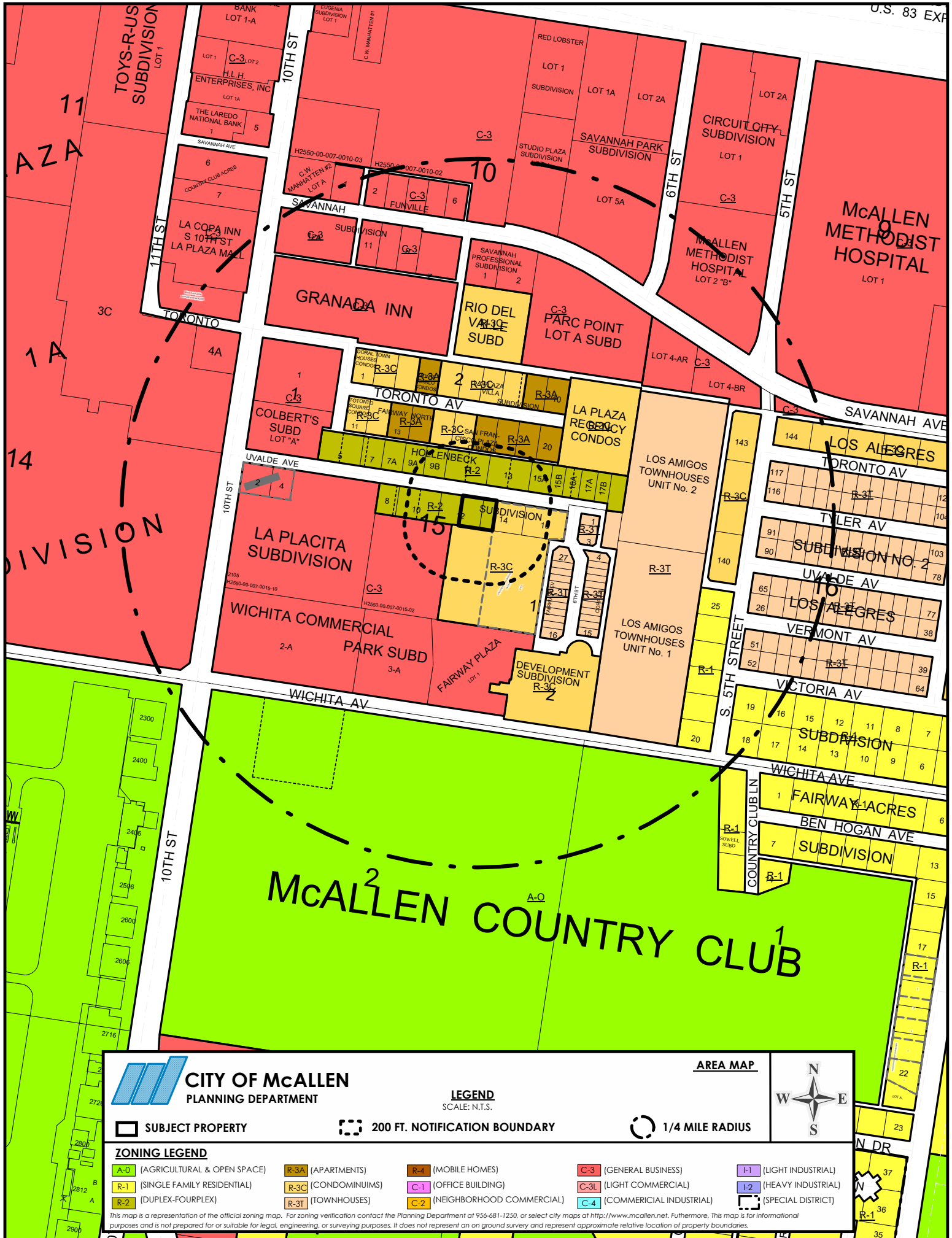
Traffic analysis will be review under the Subdivision and Site Plan Review process.

Uvalde Avenue has 50 ft. of ROW dedication; the curb-to-curb starts at approximately 35 ft. closest to south 10<sup>th</sup> Street and as the street travels east, it decreases to 30 ft. Uvalde Avenue would be consider a Local street due to its dimensions.

Staff has not received a phone call or email in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to R-3A (multifamily apartments) District.





**CITY OF McALLEN**  
PLANNING DEPARTMENT

**LEGEND**  
SCALE: N.T.S.

**SUBJECT PROPERTY**

**200 FT. NOTIFICATION BOUNDARY**

**1/4 MILE RADIUS**

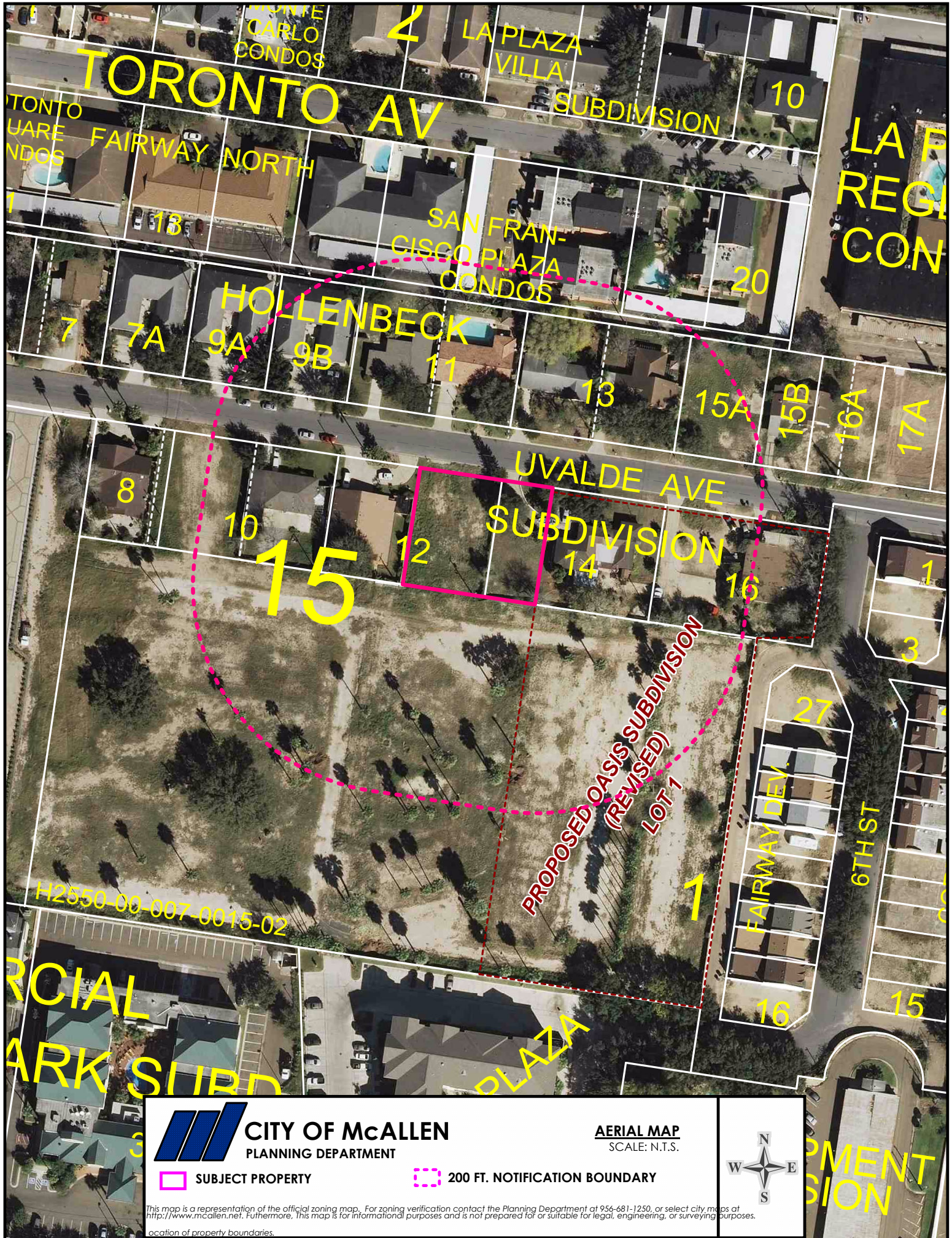


**ZONING LEGEND**

<b>A-0</b> (AGRICULTURAL & OPEN SPACE)	<b>R-3A</b> (APARTMENTS)	<b>R-4</b> (MOBILE HOMES)	<b>C-3</b> (GENERAL BUSINESS)	<b>I-1</b> (LIGHT INDUSTRIAL)
<b>R-1</b> (SINGLE FAMILY RESIDENTIAL)	<b>R-3C</b> (CONDOMINIUMS)	<b>C-1</b> (OFFICE BUILDING)	<b>C-3L</b> (LIGHT COMMERCIAL)	<b>I-2</b> (HEAVY INDUSTRIAL)
<b>R-2</b> (DUPLEX-FOURPLEX)	<b>R-3T</b> (TOWNHOUSES)	<b>C-2</b> (NEIGHBORHOOD COMMERCIAL)	<b>C-4</b> (COMMERCIAL INDUSTRIAL)	<b>(SPECIAL DISTRICT)</b>

This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.





**CITY OF McALLEN**  
PLANNING DEPARTMENT

**AERIAL MAP**  
SCALE: N.T.S.

 **SUBJECT PROPERTY**

 **200 FT. NOTIFICATION BOUNDARY**



This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes.



TORONTO AV

6TH ST

HITA AV



# CITY OF McALLEN

PLANNING DEPARTMENT

## FORESIGHT McALLEN COMPREHENSIVE PLAN

### FUTURE LAND USE PLAN

VAC - VACANT	SCM - SUBURBAN COMMERCIAL
EST - ESTATE	URC - URBAN CENTER
SUBR - SUBURBAN RESIDENTIAL	UCH - URBAN CENTER HIGH
AUSF - AUTO URBAN SINGLE FAMILY	IND - INDUSTRIAL
USF - URBAN SINGLE FAMILY	SPUS - SPECIAL USES, CIVIC, PUBLIC
AUMF - AUTO URBAN MULTIFAMILY	PRK - CITY PARKS
UMF - URBAN MULTIFAMILY	OPS - OPEN SPACE
UMX - URBAN RESIDENTIAL MIXED	AGR - AGRICULTURE
AUCM - AUTO URBAN COMMERCIAL	WTBY - WATER BODIES

### LEGEND

SCALE: 1 INCH = .86 MILE  
APPROVED: DECEMBER 10, 2007  
REVISED: FEBRUARY 23, 2015

### THOROUGHFARE PLAN

① GRADE SEPARATION (INTERCHANGE)
EXPRESSWAY 350'
PARKWAY 350'
HI-SPEED ARTERIAL 150'
PRINCIPAL ARTERIAL 120'
MINOR ARTERIAL 100'
COLLECTOR 80'
ALTERNATIVE ALIGNMENT
McALLEN CITY LIMITS
McALLEN ETJ

A COMPREHENSIVE PLAN SHALL NOT CONSTITUTE ZONING REGULATIONS  
OR ESTABLISH ZONING DISTRICT BOUNDARIES. SEC. 219.005 LGC



February 16, 2021  
EXHIBIT "A"

**METES AND BOUNDS DESCRIPTION**  
**0.405 OF ONE ACRE CONSISTING OF:**  
**TRACT 6: 0.250 OF ONE ACRE BEING THE EAST ½ OF LOT 12,**  
**AND OUT OF**  
**TRACT 7: 0.155 OF ONE ACRE OUT OF LOT 14,**  
**ALL OF HOLLENBECK SUBDIVISION,**  
**CITY OF McALLEN,**  
**HIDALGO COUNTY, TEXAS**

A tract of land containing 0.405 of one acre, situated in the City of McAllen, Hidalgo County, Texas, consisting of: 0.250 of one acre being the East Half of Lot 12 and 0.155 of one acre out of Lot 14, all of HOLLENBECK SUBDIVISION, according to the plat thereof recorded in Volume 8, Page 31, Hidalgo County Map Records; which said 0.250 of one acre {pertaining to Tract 6 only} was conveyed to Alonzo Cantu, Trustee, by virtue of Warranty Deed recorded in Instrument Number 2112409, Hidalgo County Official Records and 0.155 of one acre is out of a certain tract that was conveyed to Alonzo Cantu, by virtue of General Warranty Deed recorded under Document Number 2020389, Hidalgo County Official Records; said 0.405 of one acre also being more particularly described as follows:

COMMENCING at a Nail set at the Northwest corner of said Lot 12 and being within the existing right-of-way of Uvalde Avenue;

THENCE, S 81° 18' 59" E along the North line of said Lot 12 and within the existing right-of-way of Uvalde Avenue, a distance of 79.00 feet to a Nail set, for the POINT OF BEGINNING and the Northwest corner of this herein described tract;

1. THENCE, S 81° 18' 59" E continuing along the North lines of said Lot 12 and Lot 14 and within the existing right-of-way of Uvalde Avenue, at a distance of 79.00 feet pass a Nail set for the Northeast corner of said Lot 12 and the Northwest corner of said Lot 14, continuing a total distance of 128.00 feet for the Northeast corner of this tract;
2. THENCE, S 08° 41' 01" W at a distance of 25.00 feet pass the existing South right-of-way line of Uvalde Avenue, continuing a total distance of 137.80 feet for the Southeast corner of this tract;
3. THENCE, N 81° 18' 59" W along the South lines of said Lots 14 and 12, at a distance of 49.00 feet pass a No. 4 rebar set at the Southwest corner of said Lot 14 and the Southeast corner of said Lot 12, continuing a total distance of 128.00 feet to a No. 4 rebar set for the Southwest corner of this tract;
4. THENCE, N 08° 41' 01" E at a distance of 112.80 feet pass a No. 4 rebar set on the existing South right-of-way line of Uvalde Avenue, continuing a total distance of 137.80 feet to the POINT OF BEGINNING and containing 0.405 of one acre, of which 0.073 of one acre lies within the existing right-of-way of Uvalde Avenue, leaving an existing net of 0.332 of one acre of land, more or less.



**P.O.C.**  
N.W. COR.  
LOT 12

LOTS 7A, 9A, AND 9B  
HOLLENBECK SUBDIVISION  
VOLUME 29, PAGE 39B, H.C.M.R.

HOLLENBECK SUBDIVISION  
VOLUME 8, PAGE 31, H.C.M.R.

**P.O.B.**

**UVALDE AVENUE**  
R.O.W. VARIES

S 81° 18' 59" E 128.00'

EXISTING SOUTH R.O.W. LINE

PROPERTY ID NO. 194189

TRACT 6

ALONZO CANTU  
G.W.D.  
DOCUMENT NO. 2020389, H.C.O.R.

PROPERTY ID NO. 194193

TRACT 7

N 81° 18' 59" W 128.00'

OUT OF LOT 15, SOUTHEAST 1/4 SECTION 7,  
HIDALGO CANAL COMPANY SUBDIVISION  
VOLUME "Q", PAGES 175-177, H.C.D.R.

**LEGEND**

- |   |   |
|---|---|
| ● FOUND "X" MARK IN STUMP                     | ○ SET No.4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT |
| ✈ SET NAIL                                    | ● FOUND No.4 REBAR                                      |
| - LOT LINE                                    | P.O.C. - POINT OF COMMENCING                            |
| PL - PROPERTY LINE                            | P.O.B. - POINT OF BEGINNING                             |
| VOL. - VOLUME                                 | N.W. COR. - NORTHWEST CORNER                            |
| PG. - PAGE                                    | H.C.M.R. - HIDALGO COUNTY MAP RECORDS                   |
| N.T.S. - NOT TO SCALE                         | H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS              |
| G.W.D. - GENERAL WARRANTY DEED                | R.O.W. - RIGHT-OF-WAY                                   |
| W.D.W.V.L. - WARRANTY DEED WITH VENDOR'S LIEN | W.D. - WARRANTY DEED                                    |

ACREAGE	
0.405 OF ONE ACRE	
-0.073 OF ONE ACRE EXISTING R.O.W. UVALDE AVENUE	
0.332 OF ONE ACRE EXISTING NET	



**EXHIBIT "B"**

**PLAT SHOWING**  
**0.405 OF ONE ACRE CONSISTING**  
**TRACT 6:**

**0.250 OF ONE ACRE BEING THE EAST 1/2**  
**OUT OF TRACT 7:**  
**0.155 OF ONE ACRE OUT OF LOT 15**  
**OF HOLLENBECK SUBDIVISION**  
**AS RECORDED IN**  
**VOLUME 8, PAGE 31, H.C.M.R.**  
**CITY OF McALLEN,**  
**HIDALGO COUNTY, TEXAS**

**NOTES:**

1. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.
2. ALL BEARINGS AND DISTANCES ARE BASED ON GRID COORDINATES.
3. NO UNDERGROUND EXCAVATIONS WERE DONE DURING THE TIME OF SURVEY.
4. THERE ARE NO BUILDING SETBACKS SHOWN ON SAID HOLLENBECK SUBDIVISION SUBDIVISION. BUILDING SETBACKS AS PER CITY OF McALLEN PLANNING DEPARTMENT. CITY SETBACKS, BUT THERE HAS NOT BEEN A RESPONSE.
6. FIGURE 4.2 THOROUGHFARE PLAN FOR CITY OF McALLEN PLANNING DEPARTMENT. DEDICATED RIGHTS-OF-WAY FOR UVALDE AVENUE AND 6TH STREET, BUT WICHITA AVENUE HAS A LABEL.
7. SURVEY WAS PREPARED WITH THE BENEFIT OF VALLEY LAND TITLE COMPANY COMMITTEE. EFFECTIVE DATE: NOVEMBER 20, 2020  
ISSUED: DECEMBER 4, 2020

**EASEMENTS LISTED IN SCHEDULE B:**

- 10a.- BLANKET EASEMENTS IN FAVOR OF HIDALGO COUNTY WATER IMPROVEMENT DISTRICT AS SHOWN ON THE MAP OF THE ABOVE DESCRIBED SUBDIVISION. HIDALGO COUNTY WATER CONTACTED AND INFORMATION IS STILL PENDING.
- 10.b.- TRACT 6 IS SUBJECT TO:
1. ROAD EASEMENT AS SHOWN ON THE MAP OF HOLLENBECK SUBDIVISION, RECORDED IN PUBLIC RECORDS OF HIDALGO COUNTY, TEXAS. PLOTTED AND SHOWN HEREON.
- 10i.- TRACT 7 IS SUBJECT TO:
1. ROAD EASEMENT ACROSS THE NORTH 25 FEET AS SHOWN ON MAP OF HOLLENBECK SUBDIVISION, RECORDED IN PUBLIC RECORDS OF HIDALGO COUNTY, TEXAS. PLOTTED AND SHOWN HEREON.
- Jm. VISIBLE AND APPARENT EASEMENTS ON OR ACROSS THE PROPERTY HEREIN DESCRIBED IN PUBLIC RECORDS. SURVEYOR WAS NOT GIVEN ACCESS TO RECORDS.
- Jn. ANY PORTION OF THE PROPERTY DESCRIBED HEREIN WITHIN THE LIMITS OR BOUNDARIES OF A PUBLIC ROAD RIGHTS-OF-WAY ARE PLOTTED AND SHOWN HEREON.

I, FRED L. KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THE FOREGOING PLAT TO BE TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE ON THE GROUND ON 1/12/2021 UNDER MY DIRECTION AND SUPERVISION AND WAS NOT INTENDED TO SHOW IMPROVEMENTS.

FRED L. KURTH, RPLS No. 4750 DATE: 2-17-21



PAGE 8 OF 14  
DATE: 2-16-2021  
REF. JOB No. 20720.08  
JOB No. 21049.00  
FILE NAME: REZONING  
DRAWN BY: I.H.



TGO Uvalde 21, LP  
6300 West Loop South, Ste. 670  
Bellaire, Texas 77401

July 19, 2021

Hebert Camacho  
Planner I  
City of McAllen Planning Department  
311 N. 15<sup>th</sup> Street  
McAllen, Texas 78501

Re: Uvalde Villas-COZ

Dear Mr. Camacho,

Please let this letter serve to authorize Melden and Hunt to represent TGO Uvalde 21, LP ("Applicant") to take any and all action on behalf of the Applicant on the property in connection with the rezoning to multifamily.

Sincerely,

TGO Uvalde 21, LP

By: Texas Grey Oaks, LLC, managing member of GP Partner

By:   
Steve Lollis





NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ2021-0011

CITY OF MCALLEN PLANNING DEPT.  
1000 N. 10TH  
WWW.MCALLENNET





**Project Summary**

Apartments:			
Type	Description	Qty	Area
A1	One Bedroom, 1 Bath	16	652 s.f.
A2	One Bedroom, 1 Bath	16	652 s.f.
A3	One Bedroom, 1 Bath	12	674 s.f.
A4	One Bedroom, 1 Bath	12	674 s.f.
A5	One Bedroom, 1 Bath (H.C.)	4	756 s.f.
A6	One Bedroom, 1 Bath	4	756 s.f.
Total One Bedroom Units		64 Units	
B1	Two Bedroom, 2 Bath	8	920 s.f.
B2	Two Bedroom, 2 Bath	8	920 s.f.
B3	Two Bedroom, 2 Bath	6	970 s.f.
B4	Two Bedroom, 2 Bath	6	970 s.f.
B5	Two Bedroom, 1 Bath (H.C.)	2	1,004 s.f.
B6	Two Bedroom, 1 Bath	2	1,004 s.f.
Total Two Bedroom Units		32 Units	
C1	Three Bedroom, 2 Bath	2	1,129 s.f.
C2	Three Bedroom, 2 Bath	1	1,140 s.f.
C3	Three Bedroom, 2 Bath	2	1,140 s.f.
C4	Three Bedroom, 2 Bath (H.C.)	1	1,140 s.f.
Total Two Bedroom Units		6 Units	
Apartments Total		102 Units	80,282 s.f.

**UVALDE VILLAS**

*A Multi-Family Community*  
Mucasey & Associates, Architects  
January 21, 2021



## Memo

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

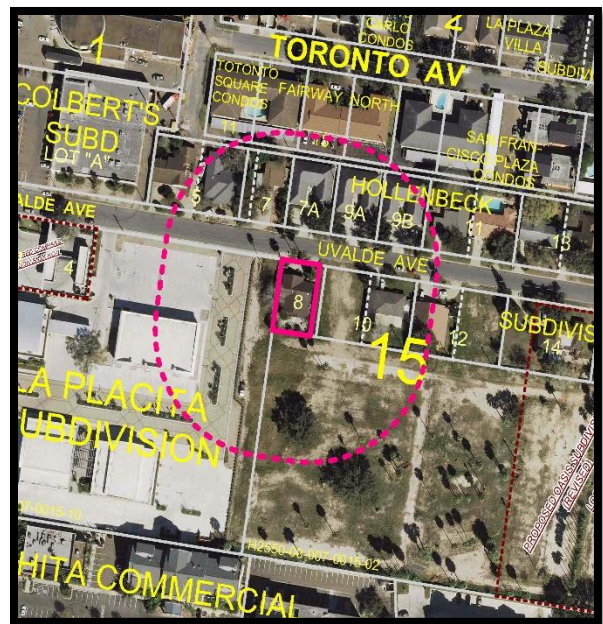
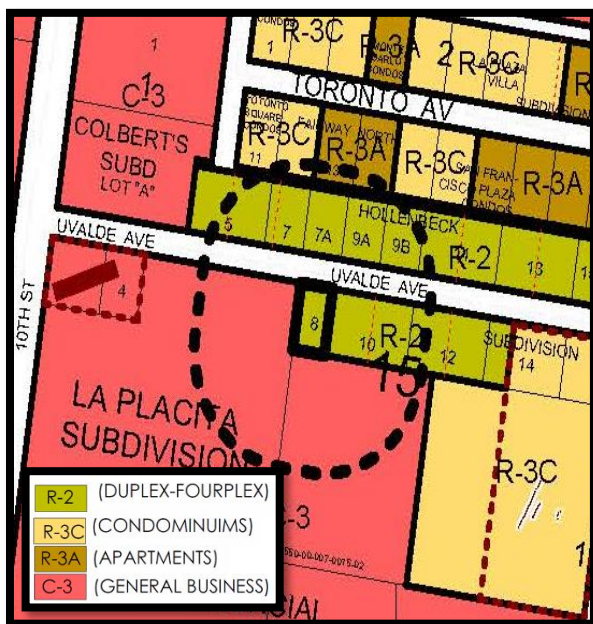
**DATE:** July 27, 2021

**SUBJECT: REZONE FROM R-2 (DUPLEX-FOURPLEX) DISTRICT TO R-3A (MULTIFAMILY APARTMENTS) DISTRICT: THE WEST 69 FT. OF THE EAST HALF LOT 8, HOLLENBECK SUBDIVISION, HIDALGO COUNTY, TEXAS; 807 UVALDE AVENUE. (REZ2021-0012)**

**LOCATION:** The property is located on the south side along Uvalde Avenue, approximately 510 ft. east of South 10<sup>th</sup> Street. The subject property consists of 7,783.20 square feet (0.1787 acres)

**PROPOSAL:** The applicant is requesting to rezone the property to R-3A (multifamily apartments) District in order to construct multifamily apartments. Funding for 102 Units was approved by TDHCA.

**ADJACENT ZONING:** The adjacent zoning is C-3 (general business) District to the south and west, R-2 (duplex-fourplex) District to the west, east and north, and R-3C (multifamily condominiums) District to the east.



**LAND USE:** The property is currently occupied by a single-family house. Surrounding land uses include single-family residences, apartments, La Placita Commercial Plaza that holds Retail stores, Lone Star National Bank and BBVA Compass Bank, and vacant land.



COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Urban Single Family which is comparable to R-1 (single-family residential) District.

DEVELOPMENT TRENDS: The development trend for this area along Uvalde Avenue is single-family residential, duplexes and commercial plazas.

HISTORY: The property was initially zoned R-1 (single-family residential) District during the comprehensive zoning in May 1979. On November 28, 1997, there was a city-initiated zoning for 21 properties in the 600 to 900 block of Uvalde Avenue presented to the P&Z Board to rezone from R-1 District to C-1 (office) District; the request was disapproved, but the Board recommended the approval for R-2(duplex-fourplex) District. On City Commission's meeting of January 12, 1998, the board voted to alternative approved the request to R-2 District. There has been no other rezoning request for the subject property since then.

ANALYSIS: The requested zoning does not conform to the Urban Single-family land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, it follows the rezoning and development trend to multifamily residences in the area.

This is part of six rezoning cases in the area; the development is for a proposed apartment complex. A subdivision and site plan review process is required prior to building permit issuance.

The proposed development is approximately 7 acres (305,000 square feet), based on the maximum density per gross acres in the R-3 multifamily residential district: 305-one bedroom units, 244-two bedroom units or 203-three bedroom units will be allowed. Seven thousand square feet represents the minimum lot area for any R-3 multifamily residential district, exclusive of townhouse. Max allowable density per acre will be defined on site plan approval, once a final subdivision plat is recorded. The proposed development as awarded by state was 102 units.

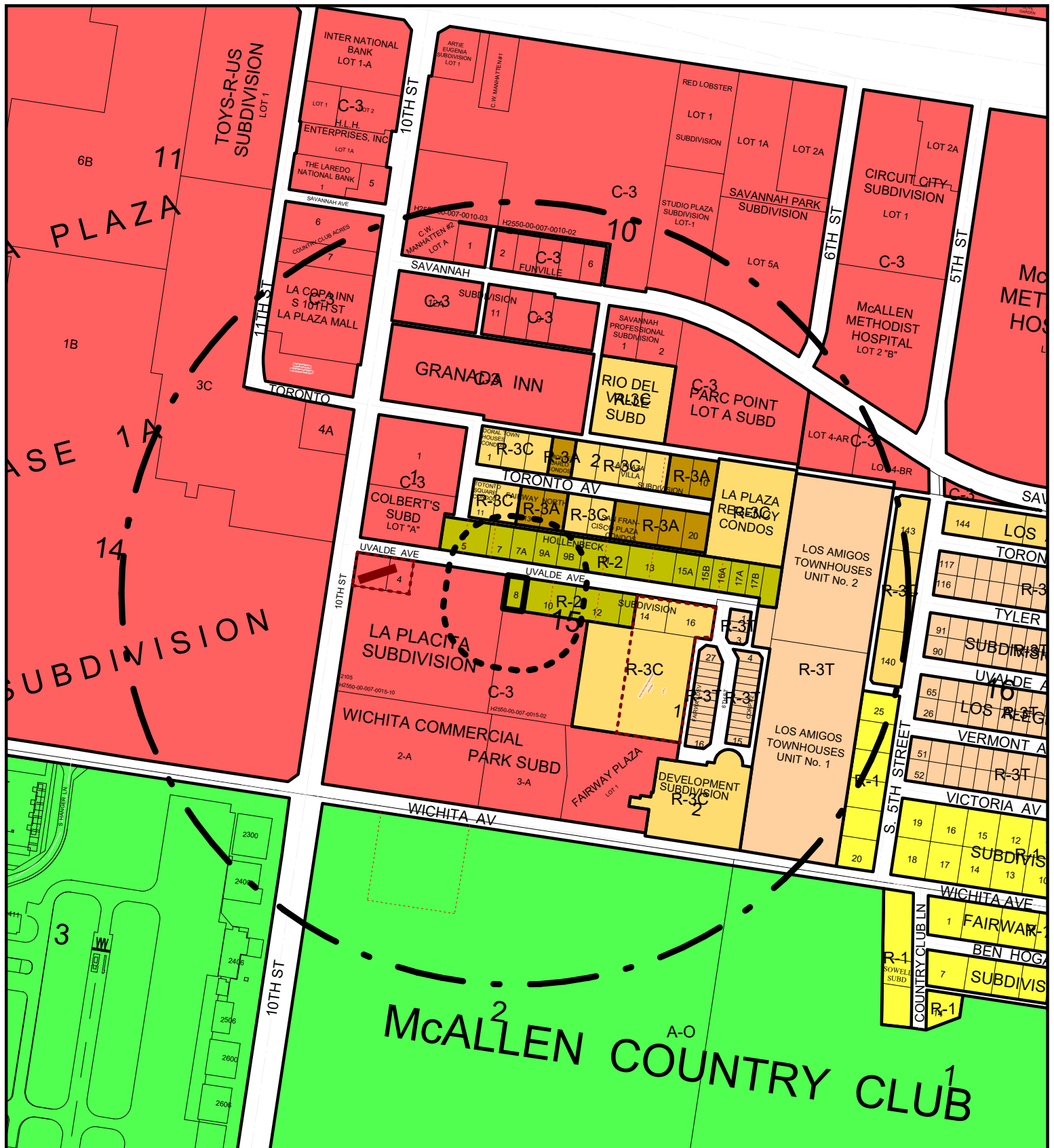
Traffic analysis will be review under the Subdivision and Site Plan Review process.

Uvalde Avenue has 50 ft. of ROW dedication; the curb-to-curb starts at approximately 35 ft. closest to south 10<sup>th</sup> Street and as the street travels east, it decreases to 30 ft. Uvalde Avenue would be consider a Local street due to its dimensions.

Staff has not received a phone call or email in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to R-3A (multifamily apartments) District.





# **CITY OF McALLEN** PLANNING DEPARTMENT

## **AREA MAP**



**SUBJECT PROPERTY**

**200 FT. NOTIFICATION BOUNDARY**

**1/4 MILE RADIUS**

### **ZONING LEGEND**

**A-0** (AGRICULTURAL & OPEN SPACE)  
**R-1** (SINGLE FAMILY RESIDENTIAL)  
**R-2** (DUPLEX-FOURPLEX)

**R-3A** (APARTMENTS)  
**R-3C** (CONDOMINIUMS)  
**R-3T** (TOWNHOUSES)

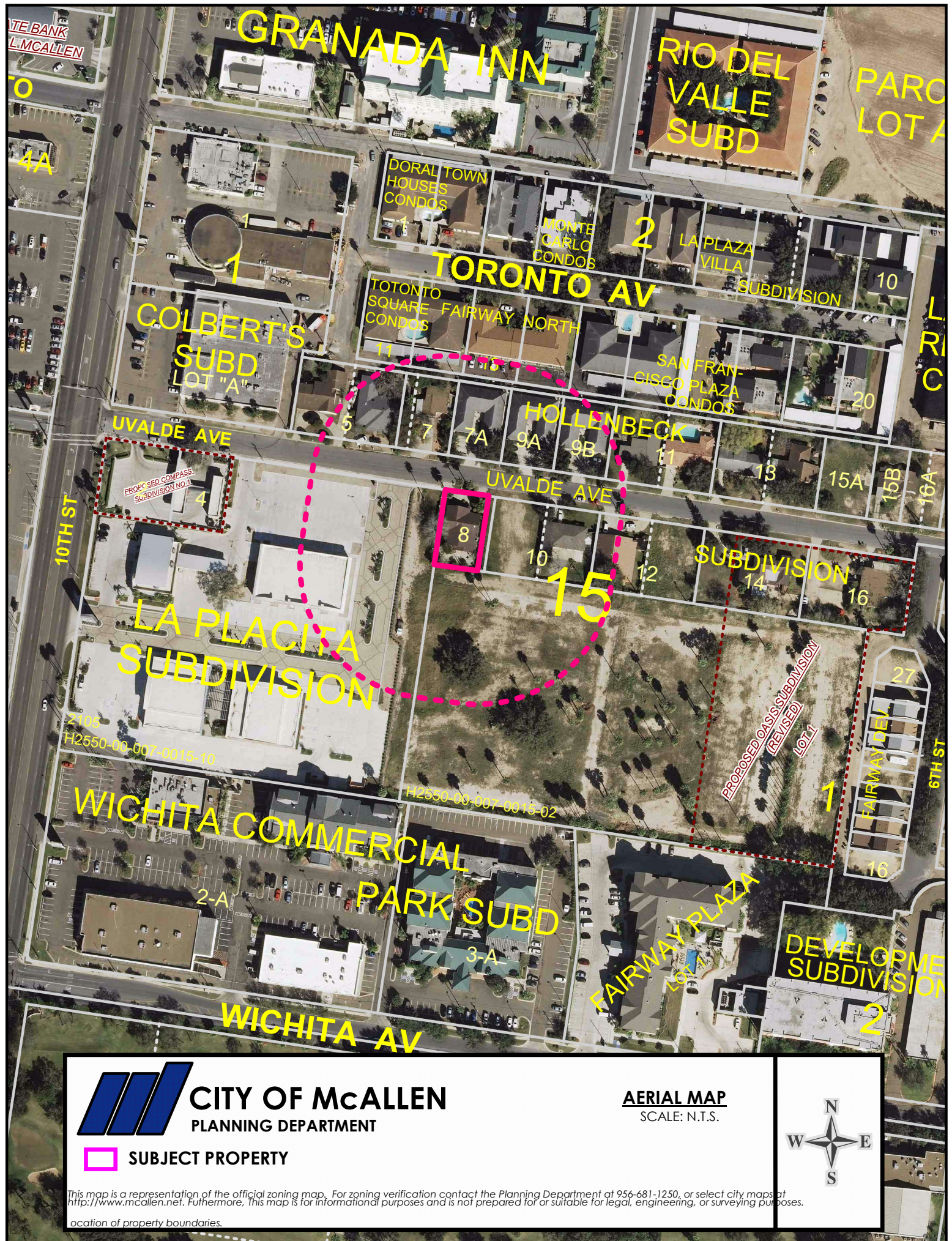
**R-4** (MOBILE HOMES)  
**C-1** (OFFICE BUILDING)  
**C-2** (NEIGHBORHOOD COMMERCIAL)

**C-3** (GENERAL BUSINESS)  
**C-3L** (LIGHT COMMERCIAL)  
**C-4** (COMMERCIAL INDUSTRIAL)

**I-1** (LIGHT INDUSTRIAL)  
**I-2** (HEAVY INDUSTRIAL)  
**S** (SPECIAL DISTRICT)

This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.





**CITY OF McALLEN**  
PLANNING DEPARTMENT



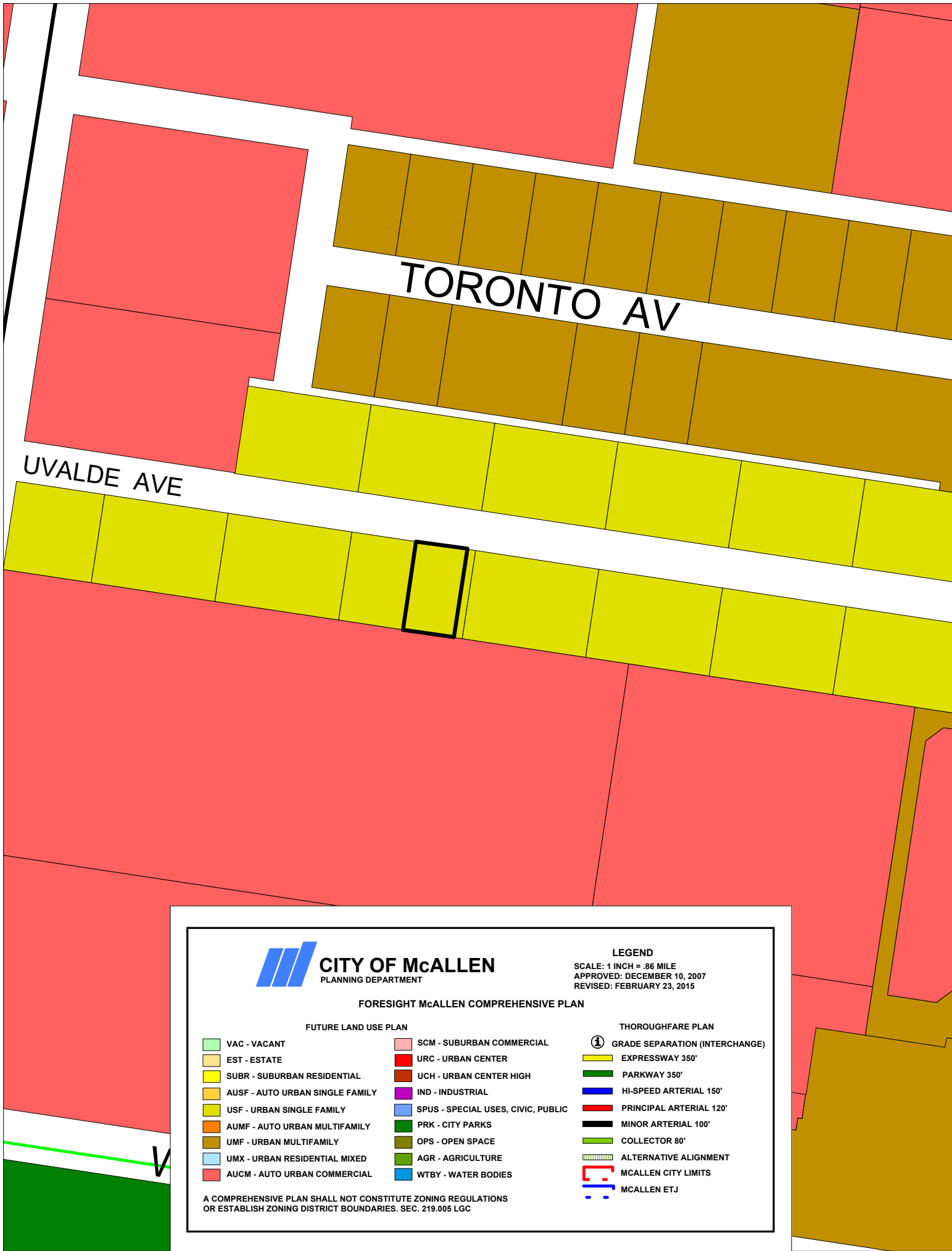
**SUBJECT PROPERTY**

**AERIAL MAP**  
SCALE: N.T.S.



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ocation of property boundaries.





**CITY OF McALLEN**  
PLANNING DEPARTMENT

**FORESIGHT McALLEN COMPREHENSIVE PLAN**

**FUTURE LAND USE PLAN**

VAC - VACANT	SCM - SUBURBAN COMMERCIAL
EST - ESTATE	URC - URBAN CENTER
SUBR - SUBURBAN RESIDENTIAL	UCH - URBAN CENTER HIGH
AUSF - AUTO URBAN SINGLE FAMILY	IND - INDUSTRIAL
USF - URBAN SINGLE FAMILY	SPUS - SPECIAL USES, CIVIC, PUBLIC
AUMF - AUTO URBAN MULTIFAMILY	PRK - CITY PARKS
UMF - URBAN MULTIFAMILY	OPS - OPEN SPACE
UMX - URBAN RESIDENTIAL MIXED	AGR - AGRICULTURE
AUCM - AUTO URBAN COMMERCIAL	WTBY - WATER BODIES

**LEGEND**

SCALE: 1 INCH = .86 MILE  
APPROVED: DECEMBER 10, 2007  
REVISED: FEBRUARY 23, 2015

**THOROUGHFARE PLAN**

① GRADE SEPARATION (INTERCHANGE)
EXPRESSWAY 350'
PARKWAY 350'
HI-SPEED ARTERIAL 150'
PRINCIPAL ARTERIAL 120'
MINOR ARTERIAL 100'
COLLECTOR 80'
ALTERNATIVE ALIGNMENT
McALLEN CITY LIMITS
McALLEN ETJ

A COMPREHENSIVE PLAN SHALL NOT CONSTITUTE ZONING REGULATIONS  
OR ESTABLISH ZONING DISTRICT BOUNDARIES. SEC. 219.005 LGC



February 16, 2021

EXHIBIT "A"

**METES AND BOUNDS DESCRIPTION**  
**TRACT 1: 0.218 OF ONE ACRE**  
**BEING THE WEST 69 FEET OF THE EAST ½ OF LOT 8,**  
**HOLLENBECK SUBDIVISION,**  
**CITY OF McALLEN,**  
**HIDALGO COUNTY, TEXAS**

A tract of land containing 0.218 of one acre, situated in the City of McAllen, Hidalgo County, Texas, being the West 69 feet of the East Half of Lot 8, HOLLENBECK SUBDIVISION, according to the plat thereof recorded in Volume 8, Page 31, Hidalgo County Map Records, which said 0.218 of one acre was conveyed to Alonzo Cantu, Trustee, by virtue of Warranty Deed recorded under Document Number 1952868, Hidalgo County Official Records; said 0.218 of one acre also being more particularly described as follows:

BEGINNING at a Nail set at the Northeast corner of La Placita Subdivision, according to the plat recorded in Instrument Number 2103938, Hidalgo County Map Records for the Northwest corner of this herein described tract;

1. THENCE, S 81° 18' 59" E along the North line of said Lot 8 and within the existing right-of-way of Uvalde Avenue, a distance of 69.00 feet to a Nail set, for the Northeast corner of this tract;
2. THENCE, S 08° 41' 01" W at a distance of 25.00 feet pass a No. 4 rebar found on the existing South right-of-way line of Uvalde Avenue, continuing a total distance of 137.80 feet to a No. 4 rebar set on said Lot 8, for the Southeast corner of this tract;
3. THENCE, N 81° 18' 59" W along the South line of said Lot 8, a distance of 69.00 feet to a No. 4 rebar set on the East line of said La Placita Subdivision, for the Southwest corner of this tract;
4. THENCE, N 08° 41' 01" E [N 08° 46' 00" E map call] along the East line of said La Placita Subdivision, at a distance of 112.80 feet pass an "X" Mark on concrete set on the existing South right-of-way line of Uvalde Avenue, continuing a total distance of 137.80 feet to the POINT OF BEGINNING and containing 0.218 of one acre, of which 0.040 of one acre lies within the existing right-of-way of Uvalde Avenue, leaving an existing net of 0.178 of one acre of land, more or less.

I, FRED L. KURTH, REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY AFFIRM THAT THIS METES AND BOUNDS DESCRIPTION REPRESENTS THE RESULTS OF A SURVEY MADE ON THE GROUND ON 01/12/2021 UNDER MY DIRECTION AND SUPERVISION.

  
FRED L. KURTH, R.P.L.S. #4750

2-17-21  
DATE:





**P.O.B.**  
N.E. COR.  
LA PLACITA  
SUBDIVISION — — —  
INSTRUMENT  
NO. 2103938, H.C.M.R.

SCALE: 1"=30'

BEARING BASIS AS  
COORDINATE SYSTEM OF 1983, TEXAS SOUTH

**N 08° 41' 01" E**  
**137 80'**  
[S 08° 46' W]

LA PLACITA SUBDIVISION  
INSTRUMENT NO. 2103938, H.C.M.R.

ALONZO CANTU,  
TRUSTEE  
W.D. DOCUMENT  
NO. 1952868, H.C.O.R.

TRACT 1

	ACREAGE
0.218 OF ONE ACRE	
-0.040 OF ONE ACRE	EXISTING R.O.W. UVALDE AVENUE
0.178 OF ONE ACRE	EXISTING NET

HOLLENBECK SUBDIVISION  
VOLUME 8, PAGE 31, H.C.M.R.  
PROPERTY ID NO. 194183

SOUTH VILLA HERMOSA, LTD.  
W.D. DOCUMENT  
NO. 1790160, H.C.O.R.

TRACT 2

PROPERTY ID NO. 194186

OUT OF LOT 15,  
SOUTHEAST  $\frac{1}{4}$  SECTION 7  
HIDALGO CANAL COMPANY SUBDIVISION  
VOLUME "Q", PAGES 175-177, H.C.D.R.

PLAT SHOWING  
TRACT 1:  
0.218 OF ONE ACRE BEING THE  
WEST 69 FEET OF THE EAST  $\frac{1}{2}$  OF  
LOT 8, HOLLENBECK SUBDIVISION  
AS RECORDED IN  
VOLUME 8, PAGE 31, H.C.M.R.,  
CITY OF McALLEN,  
HIDALGO COUNTY, TEXAS

## EXHIBIT "B"

## LEGEND

- |                                |  |
|--------------------------------|--|
| ○ SET No. 4 REBAR WITH PLASTIC | ● FOUND No. 4 REBAR                        |
| CAP STAMPED MELDEN & HUNT      | ● FOUND 2" STEEL POST                      |
| SET "X" MARK ON CONCRETE       |  |
| ✂ SET NAIL                     | R.O.W. - RIGHT-OF-WAY                      |
|                                | P.O.B. - POINT OF BEGINNING                |
| - LOT LINE                     | N.E. COR. - NORTHEAST CORNER               |
|                                | W.D. - WARRANTY DEED                       |
| - PROPERTY LINE                | H.C.M.R. - HIDALGO COUNTY MAP RECORDS      |
|                                | H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS |
| - SAME OWNER                   | N.T.S. - NOT TO SCALE                      |
|                                | H.C.D.R. - HIDALGO COUNTY DEED RECORDS     |
|                                | [ ] - RECORDED MAP CALL                    |

**NOTES:**

1. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.
2. ALL BEARINGS AND DISTANCES ARE BASED ON GRID COORDINATES.
3. NO UNDERGROUND EXCAVATIONS WERE DONE DURING THE TIME OF SURVEY.
4. EXISTING IMPROVEMENTS ARE NOT BEING SHOWN UPON SUBJECT TRACT.
5. THERE ARE NO BUILDING SETBACKS SHOWN ON SAID HOLLENBECK SUBDIVISION AND ON SAID HIDALGO CANAL COMPANY SUBDIVISION. BUILDING SETBACKS AS PER CITY OF McALLEN PLANNING DEPARTMENT. CITY OF McALLEN WAS CONTACTED FOR BUILDING SETBACKS, BUT THERE HAS NOT BEEN A RESPONSE.
6. FIGURE 4.2 THOROUGHFARE PLAN FOR CITY OF McALLEN PLANNING DEPARTMENT DOES NOT HAVE ANY THOROUGHFARE ROAD RIGHTS-OF-WAY FOR UVALDE AVENUE.
7. SURVEY WAS PREPARED WITH THE BENEFIT OF VALLEY LAND TITLE COMPANY COMMITMENT GE No 170345.

I, FRED L. KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THE FOREGOING PLAT TO BE TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE ON THE GROUND ON 1/12/2021 UNDER MY DIRECTION AND SUPERVISION AND WAS NOT INTENDED TO SHOW IMPROVEMENTS.

FRED L. KURTH, RPLS No. 4750      DATE:



TGO Uvalde 21, LP  
6300 West Loop South, Ste. 670  
Bellaire, Texas 77401

July 19, 2021

Hebert Camacho  
Planner I  
City of McAllen Planning Department  
311 N. 15<sup>th</sup> Street  
McAllen, Texas 78501

Re: Uvalde Villas-COZ

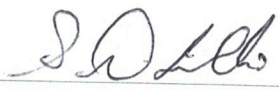
Dear Mr. Camacho,

Please let this letter serve to authorize Melden and Hunt to represent TGO Uvalde 21, LP ("Applicant") to take any and all action on behalf of the Applicant on the property in connection with the rezoning to multifamily.

Sincerely,

TGO Uvalde 21, LP

By: Texas Grey Oaks, LLC, managing member of GP Partner

By:   
Steve Lollis





NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ2021-0012  
CITY OF McALLEN PLANNING DEPT.  
WWW.MCALLENSITE.ORG  
CITY OF McALLEN







**Project Summary**

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<b>Total Two Bedroom Units</b>		6 Units	
<b>Apartments Total</b>		102 Units	80,282 s.f.

**UVALDE VILLAS**

*A Multi-Family Community*  
Mucasey & Associates, Architects  
January 21, 2021



## Memo

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

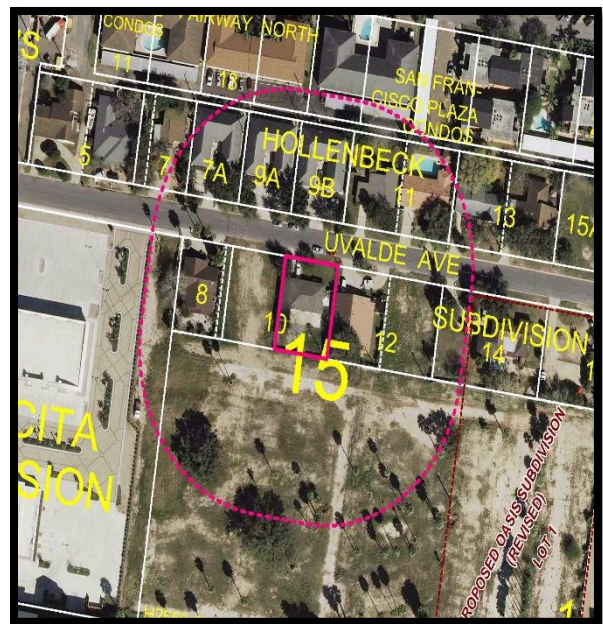
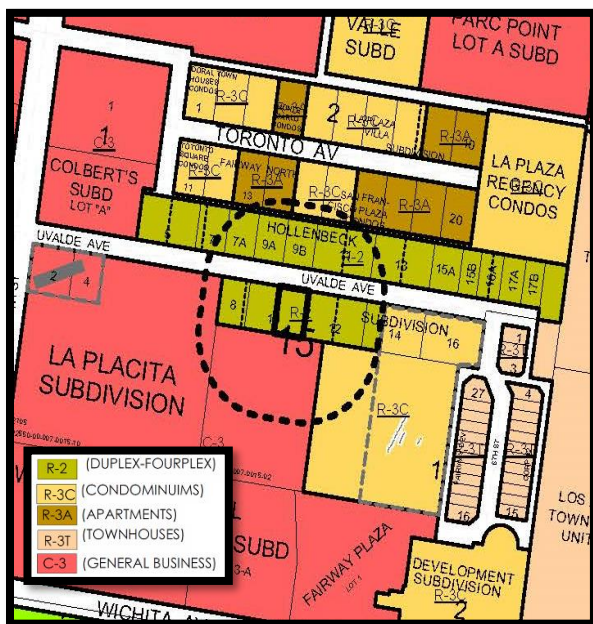
**DATE:** July 26, 2021

**SUBJECT: REZONE FROM R-2 (DUPLEX-FOURPLEX) DISTRICT TO R-3A (MULTIFAMILY APARTMENTS) DISTRICT: THE EAST HALF OF LOT 10, HOLLENBECK SUBDIVISION, HIDALGO COUNTY, TEXAS; 725 UVALDE AVENUE. (REZ2021-0013)**

**LOCATION:** The property is located on the south side along Uvalde Avenue, approximately 660 ft. east of South 10<sup>th</sup> Street. The subject property consists of 8,911.20 square feet (0.2046 acres)

**PROPOSAL:** The applicant is requesting to rezone the property to R-3A (multifamily apartments) District in order to construct multifamily apartments. Funding for 102 Units was approved by TDHCA.

**ADJACENT ZONING:** The adjacent zoning is C-3 (general business) District to the south and west, R-2 (duplex-fourplex) District to the west, east and north, and R-3C (multifamily condominiums) District to the east.



**LAND USE:** The property is currently occupied by a single-family house. Surrounding land uses include single-family residences, apartments, La Placita Commercial Plaza that holds Retail stores, Lone Star National Bank and BBVA Compass Bank, and vacant land.



COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Urban Single Family which is comparable to R-1 (single-family residential) District.

DEVELOPMENT TRENDS: The development trend for this area along Uvalde Avenue is single-family residential, duplexes and commercial plazas.

HISTORY: The property was initially zoned R-1 (single-family residential) District during the comprehensive zoning in May 1979. On November 28, 1997, there was a city-initiated zoning for 21 properties in the 600 to 900 block of Uvalde Avenue presented to the P&Z Board to rezone from R-1 District to C-1 (office) District; the request was disapproved, but the Board recommended the approval for R-2(duplex-fourplex) District. On City Commission's meeting of January 12, 1998, the board voted to alternative approved the request to R-2 District. There has been no other rezoning request for the subject property since then.

ANALYSIS: The requested zoning does not conform to the Urban Single-family land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, it follows the rezoning and development trend to multifamily residences in the area.

This is part of six rezoning cases in the area; the development is for a proposed apartment complex. A subdivision and site plan review process is required prior to building permit issuance.

The proposed development is approximately 7 acres (305,000 square feet), based on the maximum density per gross acres in the R-3 multifamily residential district: 305-one bedroom units, 244-two bedroom units or 203-three bedroom units will be allowed. Seven thousand square feet represents the minimum lot area for any R-3 multifamily residential district, exclusive of townhouse. Max allowable density per acre will be defined on site plan approval, once a final subdivision plat is recorded. The proposed development as awarded by state was 102 units.

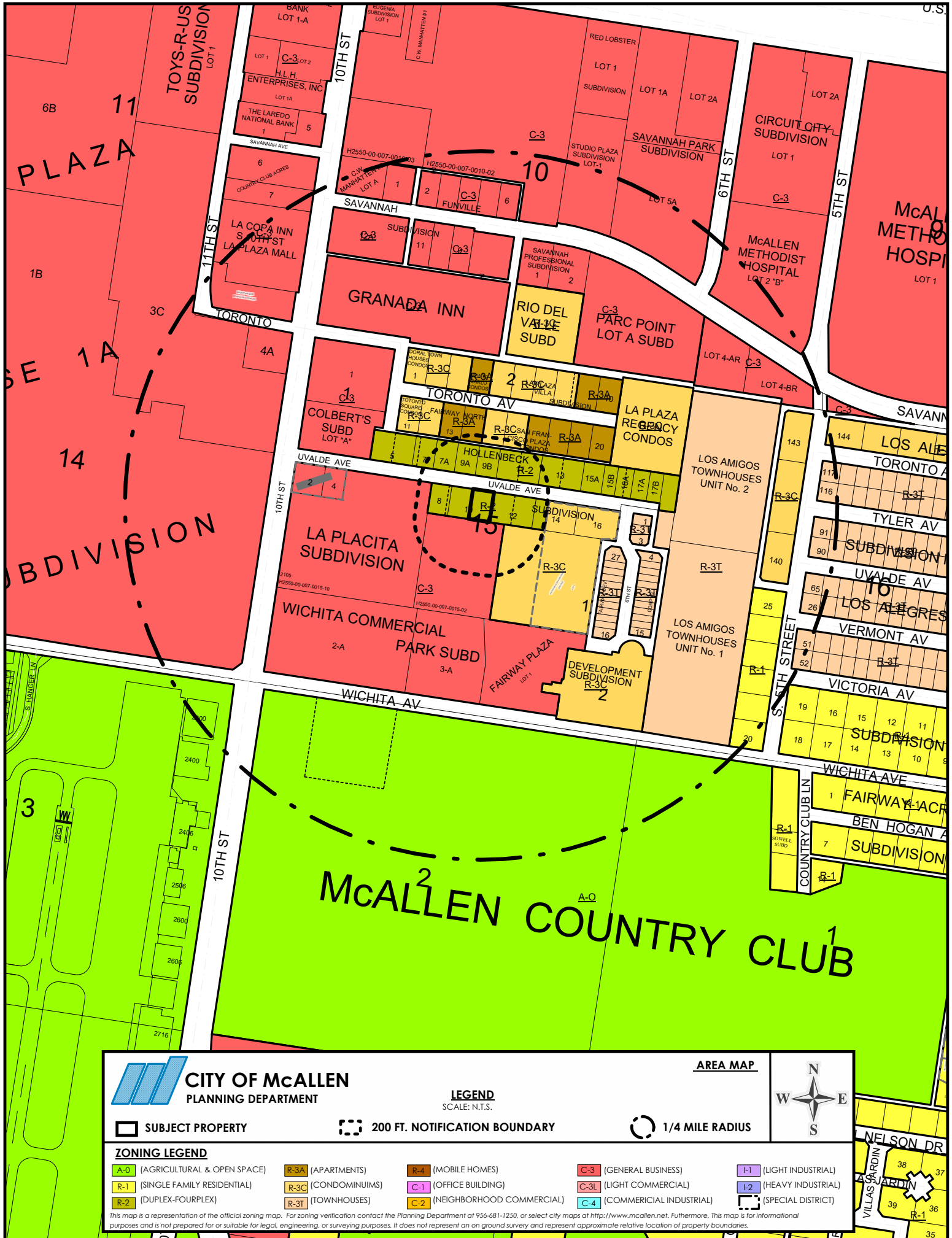
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Staff has not received a phone call or email in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to R-3A (multifamily apartments) District.










**CITY OF McALLEN**  
PLANNING DEPARTMENT

**LEGEND**  
SCALE: N.T.S.

 **SUBJECT PROPERTY**

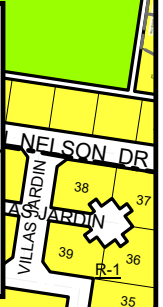
 **200 FT. NOTIFICATION BOUNDARY**

 **1/4 MILE RADIUS**

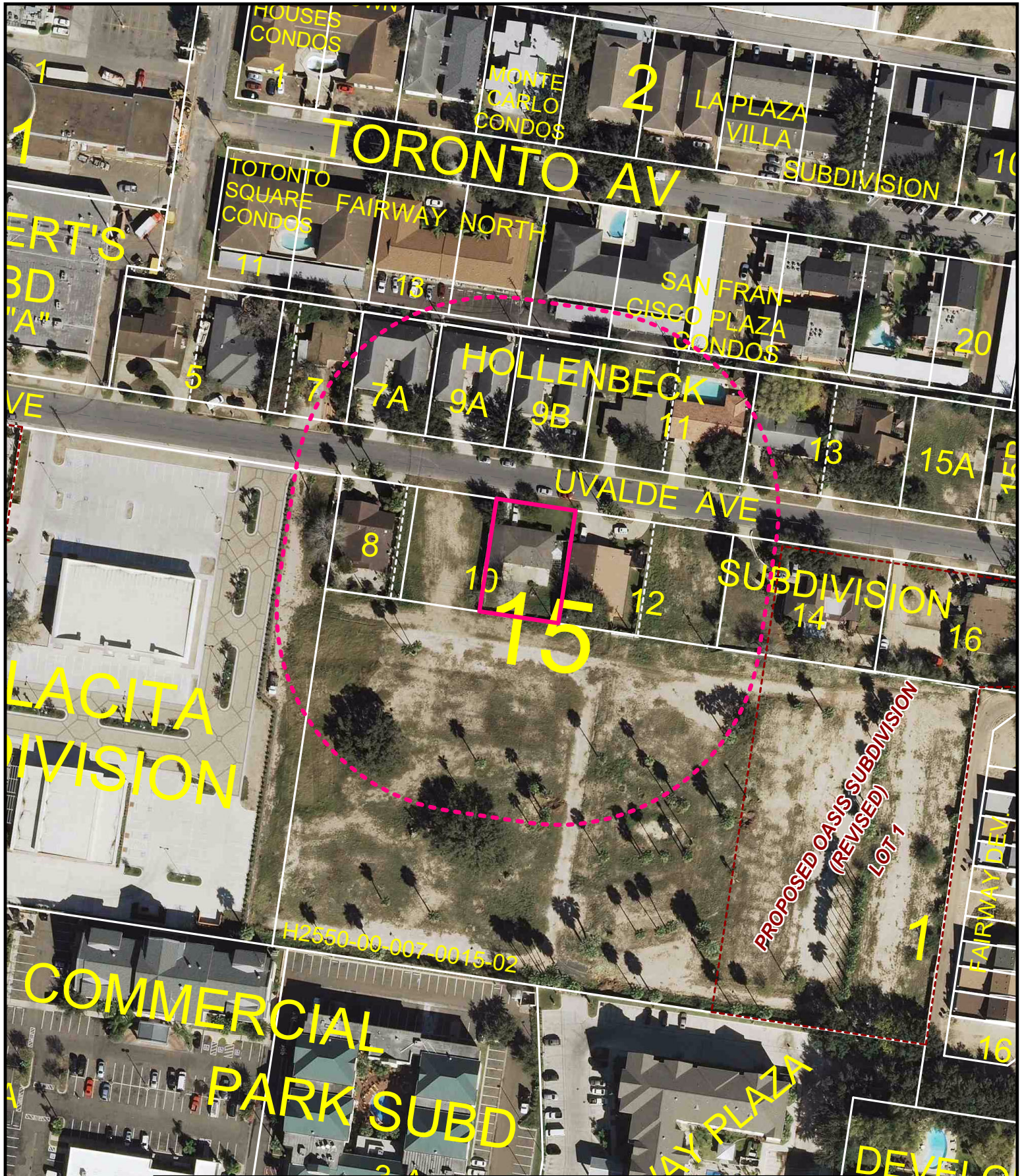
**ZONING LEGEND**

<b>A-0</b> (AGRICULTURAL & OPEN SPACE)	<b>R-3A</b> (APARTMENTS)	<b>R-4</b> (MOBILE HOMES)	<b>C-3</b> (GENERAL BUSINESS)	<b>I-1</b> (LIGHT INDUSTRIAL)
<b>R-1</b> (SINGLE FAMILY RESIDENTIAL)	<b>R-3C</b> (CONDOMINIUMS)	<b>C-1</b> (OFFICE BUILDING)	<b>C-3L</b> (LIGHT COMMERCIAL)	<b>I-2</b> (HEAVY INDUSTRIAL)
<b>R-2</b> (DUPLEX-FOURPLEX)	<b>R-3T</b> (TOWNHOUSES)	<b>C-2</b> (NEIGHBORHOOD COMMERCIAL)	<b>C-4</b> (COMMERCIAL INDUSTRIAL)	<b>S</b> (SPECIAL DISTRICT)

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**CITY OF McALLEN**  
PLANNING DEPARTMENT

**AERIAL MAP**  
SCALE: N.T.S.



**SUBJECT PROPERTY**

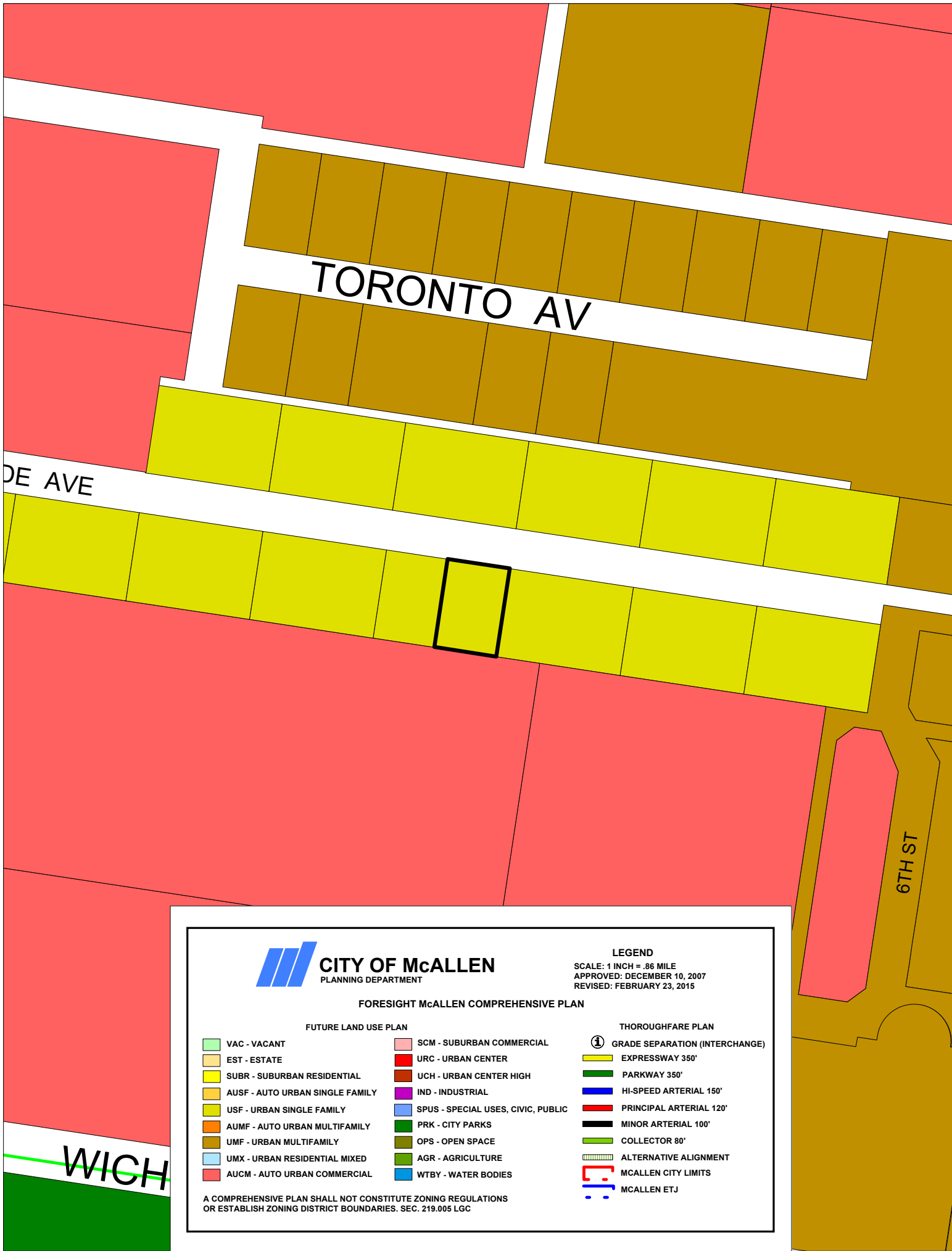


**200' NOTIFICATION BOUNDARY**



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PLANNING DEPARTMENT

**FORESIGHT McALLEN COMPREHENSIVE PLAN**

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AUCM - AUTO URBAN COMMERCIAL	WTBY - WATER BODIES

**LEGEND**

SCALE: 1 INCH = .86 MILE  
APPROVED: DECEMBER 10, 2007  
REVISED: FEBRUARY 23, 2015

**THOROUGHFARE PLAN**

① GRADE SEPARATION (INTERCHANGE)
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PARKWAY 350'
HI-SPEED ARTERIAL 150'
PRINCIPAL ARTERIAL 120'
MINOR ARTERIAL 100'
COLLECTOR 80'
ALTERNATIVE ALIGNMENT
McALLEN CITY LIMITS
McALLEN ETJ

A COMPREHENSIVE PLAN SHALL NOT CONSTITUTE ZONING REGULATIONS  
OR ESTABLISH ZONING DISTRICT BOUNDARIES. SEC. 219.005 LGC



February 16, 2021  
EXHIBIT "A"

**METES AND BOUNDS DESCRIPTION**  
**TRACT 5: 0.250 OF ONE ACRE BEING THE EAST ½ OF SAID**  
**LOT 10, OF HOLLENBECK SUBDIVISION,**  
**CITY OF McALLEN,**  
**HIDALGO COUNTY, TEXAS**

A tract of land containing 0.250 of one acre, situated in the City of McAllen, Hidalgo County, Texas, being the East Half of Lot 10, of HOLLENBECK SUBDIVISION, according to the plat recorded in Volume 8, Page 31, Hidalgo County Map Records; said 0.250 of one acre was conveyed to Alonzo Cantu, Trustee, by virtue of Warranty Deed recorded under Document Number 2032943, Hidalgo County Official Records; said 0.250 of one acre also being more particularly described as follows:

BEGINNING at a Nail set at the Northeast corner of said Lot 10 and being within the existing right-of-way of Uvalde Avenue, for the Southeast corner of this herein described tract;

1. 1.THENCE, S 08° 41' 01" W along the East line of said Lot 10, at a distance of 25.00 feet pass a No. 4 rebar found on the existing South right-of-way line of Uvalde Avenue, continuing a total distance of 137.80 feet to a No. 4 rebar set at the Southeast corner of said Lot 10, for the Southeast corner of this tract;
2. 2.THENCE, N 81° 18' 59" W along the South line of said Lot 10, a distance of 79.00 feet to a No. 4 rebar found for the Southwest corner of this tract;
3. 3.THENCE, N 08° 41' 01" E at a distance of 112.80 feet pass a No. 4 rebar set on the existing South right-of-way line of Uvalde Avenue, continuing a total distance of 137.80 feet to a Nail set on the North line of said Lot 10, for the Northwest corner of this tract;
4. 4.THENCE, S 81° 18' 59" E along the North line of said Lot 10 and within the existing right-of-way of Uvalde Avenue, a distance of 79.00 feet to the POINT OF BEGINNING and containing 0.250 of one acre, of which 0.045 of one acre lies within the existing right-of-way of Uvalde Avenue, leaving an existing net of 0.205 of one acre of land, more or less.

I, FRED L. KURTH, REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY AFFIRM THAT THIS METES AND BOUNDS DESCRIPTION REPRESENTS THE RESULTS OF A SURVEY MADE ON THE GROUND ON 01/12/2021 UNDER MY DIRECTION AND SUPERVISION.

  
FRED L. KURTH, R.P.L.S. #4750

2-17-21  
DATE:





LOTS 7A, 9A, AND 9B  
HOLLENBECK SUBDIVISION  
VOLUME 29, PAGE 39B, H.C.M.R.

UVALDE AVENUE  
R.O.W. VARIES

P.O.B.  
N.E. COR.  
LOT 10



SCALE: 1"=30'

TRACT 5  
PROPERTY ID NO. 194185

EXISTING SOUTH R.O.W. LINE  
AS PER VOLUME 8, PAGE 31, H.C.M.R.

10.0' UTILITY  
EASEMENT TO CITY OF McALLEN  
AS PER VOLUME 1064, PAGE 239, H.C.D.R.

SOUTH VILLA HERMOSA, LTD.  
W.D. DOCUMENT  
NO. 1790160, H.C.O.R.

TRACT 2

PROPERTY ID NO. 194186

N 08° 41' 01" E 137.80'

112.80'

ALONZO CANTU, TRUSTEE  
W.D. DOCUMENT NO. 2032943, H.C.O.R.

S 08° 41' 01" W 137.80'

GLADYS O. RAMIREZ  
W.D.W.V.L. VOL. 2013, PAGE 98, H.C.O.R.

ACREAGE  
0.250 OF ONE ACRE  
-0.045 OF ONE ACRE EXISTING R.O.W. UVALDE AVENUE  
0.205 OF ONE ACRE EXISTING NET

OUT OF LOT 15,  
SOUTHEAST 1/4 SECTION 7  
HIDALGO CANAL COMPANY SUBDIVISION  
VOLUME "Q", PAGES 175-177, H.C.D.R.

**LEGEND**

- |                      |   |
|----------------------|---|
| SET NAIL             | ○ SET No.4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT |
| LOT LINE             | ● FOUND No.4 REBAR                                      |
| PROPERTY LINE        | P.O.B. - POINT OF BEGINNING                             |
| SAME OWNER           | N.E. COR. - NORTHEAST CORNER                            |
| VOL. - VOLUME        | H.C.M.R. - HIDALGO COUNTY MAP RECORDS                   |
| W.D. - WARRANTY DEED | H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS              |
|                      | R.O.W. - RIGHT-OF-WAY                                   |
|                      | H.C.D.R. - HIDALGO COUNTY DEED RECORDS                  |
|                      | W.D.W.V.L. - WARRANTY DEED WITH VENDOR'S LIEN           |

**EXHIBIT "B"**

**NOTES:**

1. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.
2. ALL BEARINGS AND DISTANCES ARE BASED ON GRID COORDINATES.
3. NO UNDERGROUND EXCAVATIONS WERE DONE DURING THE TIME OF SURVEY.
4. EXISTING IMPROVEMENTS ARE NOT BEING SHOWN UPON SUBJECT TRACT.
5. THERE ARE NO BUILDING SETBACKS SHOWN ON SAID HOLLENBECK SUBDIVISION AND ON SAID HIDALGO CANAL COMPANY SUBDIVISION. BUILDING SETBACKS AS PER CITY OF McALLEN PLANNING DEPARTMENT. CITY OF McALLEN WAS CONTACTED FOR BUILDING SETBACKS, BUT THERE HAS NOT BEEN A RESPONSE.
6. FIGURE 4.2 THOROUGHFARE PLAN FOR CITY OF McALLEN PLANNING DEPARTMENT DOES NOT HAVE ANY THOROUGHFARE ROAD RIGHTS-OF-WAY FOR UVALDE AVENUE AND 6TH STREET, BUT WICHITA AVENUE HAS A LABEL OF COLLECTOR OF 80.00 FEET WIDE.
7. SURVEY WAS PREPARED WITH THE BENEFIT OF VALLEY LAND TITLE COMPANY COMMITMENT GF No.170745

EFFECTIVE DATE: NOVEMBER 20, 2020

ISSUED: DECEMBER 4, 2020

PLAT SHOWING  
TRACT 5:

0.250 OF ONE ACRE BEING THE  
EAST 1/2 OF SAID LOT 10,  
OF HOLLENBECK SUBDIVISION,  
AS RECORDED IN  
VOLUME 8, PAGE 31, H.C.M.R.,  
CITY OF McALLEN,  
HIDALGO COUNTY, TEXAS



I, FRED L. KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THE FOREGOING PLAT TO BE TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE ON THE GROUND ON 1/12/2021 UNDER MY DIRECTION AND SUPERVISION AND WAS NOT INTENDED TO SHOW IMPROVEMENTS.

FRED L. KURTH, RPLS No. 4750 DATE: 2-17-21



TGO Uvalde 21, LP  
6300 West Loop South, Ste. 670  
Bellaire, Texas 77401

July 19, 2021

Hebert Camacho  
Planner I  
City of McAllen Planning Department  
311 N. 15<sup>th</sup> Street  
McAllen, Texas 78501

Re: Uvalde Villas-COZ

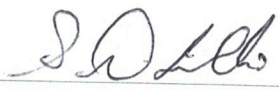
Dear Mr. Camacho,

Please let this letter serve to authorize Melden and Hunt to represent TGO Uvalde 21, LP ("Applicant") to take any and all action on behalf of the Applicant on the property in connection with the rezoning to multifamily.

Sincerely,

TGO Uvalde 21, LP

By: Texas Grey Oaks, LLC, managing member of GP Partner

By:   
Steve Lollis





NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ2021-0013  
CITY OF McALLEN PLANNING DEPT.  
787-440-1700  
WWW.MCALLEN.NET





**Project Summary**

Apartments:			
Type	Description	Qty	Area
A1	One Bedroom, 1 Bath	16	652 s.f.
A2	One Bedroom, 1 Bath	16	652 s.f.
A3	One Bedroom, 1 Bath	12	674 s.f.
A4	One Bedroom, 1 Bath	12	674 s.f.
A5	One Bedroom, 1 Bath (H.C.)	4	756 s.f.
A6	One Bedroom, 1 Bath	4	756 s.f.
Total One Bedroom Units		64 Units	
B1	Two Bedroom, 2 Bath	8	920 s.f.
B2	Two Bedroom, 2 Bath	8	920 s.f.
B3	Two Bedroom, 2 Bath	6	970 s.f.
B4	Two Bedroom, 2 Bath	6	970 s.f.
B5	Two Bedroom, 1 Bath (H.C.)	2	1,004 s.f.
B6	Two Bedroom, 1 Bath	2	1,004 s.f.
Total Two Bedroom Units		32 Units	
C1	Three Bedroom, 2 Bath	2	1,129 s.f.
C2	Three Bedroom, 2 Bath	1	1,140 s.f.
C3	Three Bedroom, 2 Bath	2	1,140 s.f.
C4	Three Bedroom, 2 Bath (H.C.)	1	1,140 s.f.
Total Two Bedroom Units		6 Units	
Apartments Total		102 Units	80,282 s.f.

**UVALDE VILLAS**

*A Multi-Family Community*  
Mucasey & Associates, Architects  
January 21, 2021



## Memo

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

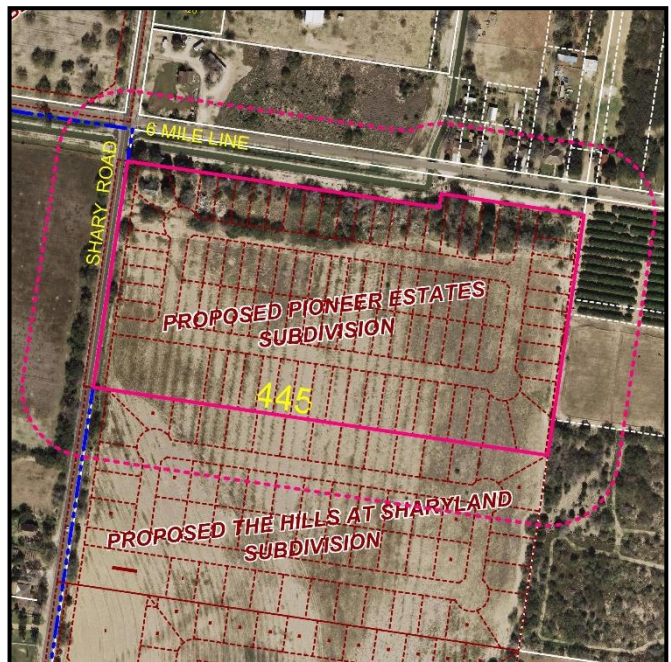
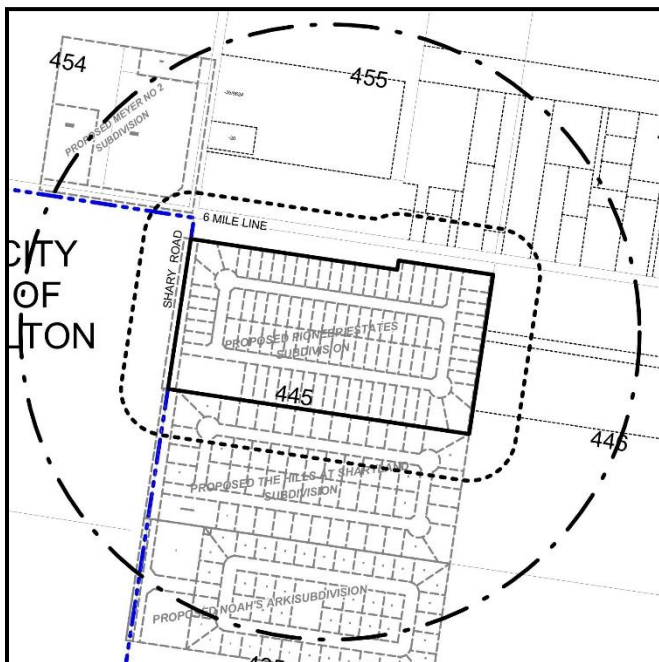
**DATE:** July 28, 2021

**SUBJECT: INITIAL ZONING TO R-1 (SINGLE-FAMILY RESIDENTIAL) DISTRICT: 18.298 ACRES OUT OF LOT 445, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS; 9400 NORTH SHARY ROAD. (REZ2021-0039)**

**LOCATION:** The property is located on the east side of North Shary Road, 90 ft. south of Mile 6 Road. The tract has 619.92 ft. of frontage along North Shary Road with a depth of 1,259.92 ft. for a lot size of 18.298 acres.

**PROPOSAL:** The tract is currently outside the City limits and is undergoing voluntary annexation. The initial zoning to R-1 (single-family residential) District will become effective upon the annexation of the tract into the City. The applicant is requesting R-1 District for a proposed 90-lot subdivision under the name of The Pioneer Estates Subdivision which was approved in preliminary form on July 8, 2021, by the Planning and Zoning Commission.

**ADJACENT ZONING:** The adjacent properties to the subject property are outside McAllen City limits.





LAND USE: There is a vacant house on the subject property which was built in 1961 according to the Hidalgo County Appraisal District records. Surrounding land uses include single-family residences, agricultural land, Sharyland Pioneer High School, and vacant land.

COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Estate Residential, which is comparable to R-1 District.

DEVELOPMENT TRENDS: The development trend for this area along North Shary Road is single-family residential.

HISTORY: The tract has been in the City's Extra-Territorial Jurisdiction (ETJ) since October 1, 1981. A subdivision application for the subject property was submitted on June 14, 2021, which was approved in preliminary form on July 8, 2021, by the Planning and Zoning Commission. An annexation and initial zoning requests for the subject property are scheduled to be heard at the City Commission meeting of August 23, 2021.

ANALYSIS: The requested zoning conforms to the Estate Residential land use designation as indicated on the Foresight McAllen Comprehensive Plan. It also follows the development trend in the surrounding area.

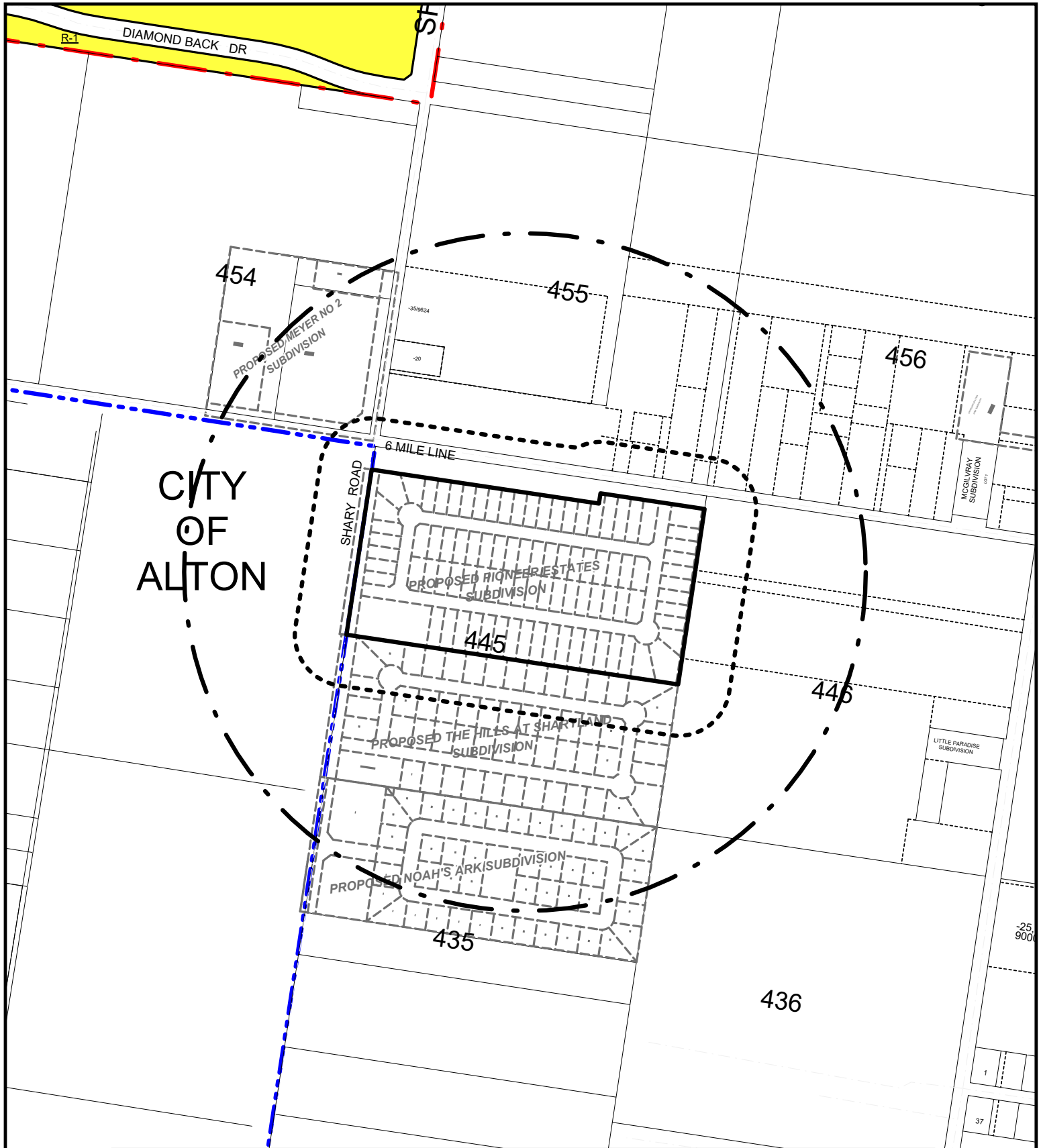
A recorded subdivision plat is required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.


The R-1 District designation permits continuation of the subdivision process for a residential subdivision.

Staff has not received any calls or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the initial zoning request to R-1 (single-family residential) District.








**CITY OF McALLEN**  
PLANNING DEPARTMENT

**LEGEND**  
SCALE: N.T.S.

**AREA MAP**



**SUBJECT PROPERTY**

**200 FT. NOTIFICATION BOUNDARY**

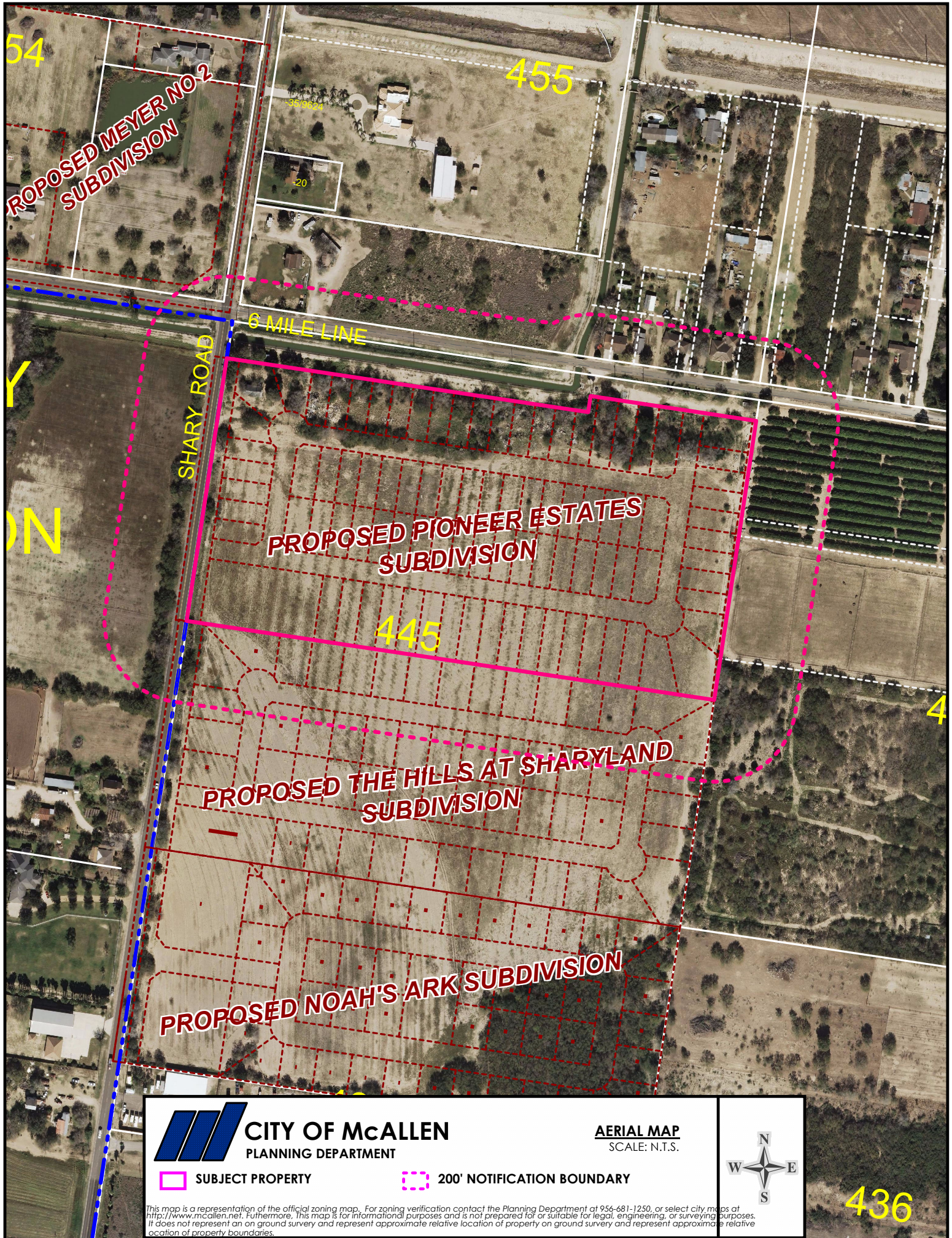
**1/4 MILE RADIUS**

**ZONING LEGEND**

<b>A-0</b> (AGRICULTURAL & OPEN SPACE)	<b>R-3A</b> (APARTMENTS)	<b>R-4</b> (MOBILE HOMES)	<b>C-3</b> (GENERAL BUSINESS)	<b>I-1</b> (LIGHT INDUSTRIAL)
<b>R-1</b> (SINGLE FAMILY RESIDENTIAL)	<b>R-3C</b> (CONDOMINIUMS)	<b>C-1</b> (OFFICE BUILDING)	<b>C-3L</b> (LIGHT COMMERCIAL)	<b>I-2</b> (HEAVY INDUSTRIAL)
<b>R-2</b> (DUPLEX-FOURPLEX)	<b>R-3I</b> (TOWNHOUSES)	<b>C-2</b> (NEIGHBORHOOD COMMERCIAL)	<b>C-4</b> (COMMERCIAL INDUSTRIAL)	<b>(SPECIAL DISTRICT)</b>

This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.



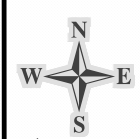


**CITY OF McALLEN**  
PLANNING DEPARTMENT

**AERIAL MAP**  
SCALE: N.T.S.

 **SUBJECT PROPERTY**

 **200' NOTIFICATION BOUNDARY**



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**436**





SHARY ROAD

6 MILE LINE



# CITY OF McALLEN

PLANNING DEPARTMENT

## LEGEND

SCALE: 1 INCH = .86 MILE  
APPROVED: DECEMBER 10, 2007  
REVISED: MARCH 8, 2021

### FORESIGHT McALLEN COMPREHENSIVE PLAN

#### FUTURE LAND USE PLAN

VAC - VACANT	SCM - SUBURBAN COMMERCIAL
EST - ESTATE	URC - URBAN CENTER
SUBR - SUBURBAN RESIDENTIAL	UCH - URBAN CENTER HIGH
AUSF - AUTO URBAN SINGLE FAMILY	IND - INDUSTRIAL
USF - URBAN SINGLE FAMILY	SPUS - SPECIAL USES, CIVIC, PUBLIC
AUMF - AUTO URBAN MULTIFAMILY	PRK - CITY PARKS
UMF - URBAN MULTIFAMILY	OPS - OPEN SPACE
UMX - URBAN RESIDENTIAL MIXED	AGR - AGRICULTURE
AUCM - AUTO URBAN COMMERCIAL	WTBY - WATER BODIES

#### THOROUGHFARE PLAN

GRADE SEPARATION (INTERCHANGE)
EXPRESSWAY 350'
PARKWAY 350'
HI-SPEED ARTERIAL 150'
PRINCIPAL ARTERIAL 120'
MINOR ARTERIAL 100'
COLLECTOR 80'
ALTERNATIVE ALIGNMENT
McALLEN CITY LIMITS
McALLEN ETJ

A COMPREHENSIVE PLAN SHALL NOT CONSTITUTE ZONING REGULATIONS  
OR ESTABLISH ZONING DISTRICT BOUNDARIES. SEC. 219.005 LGC







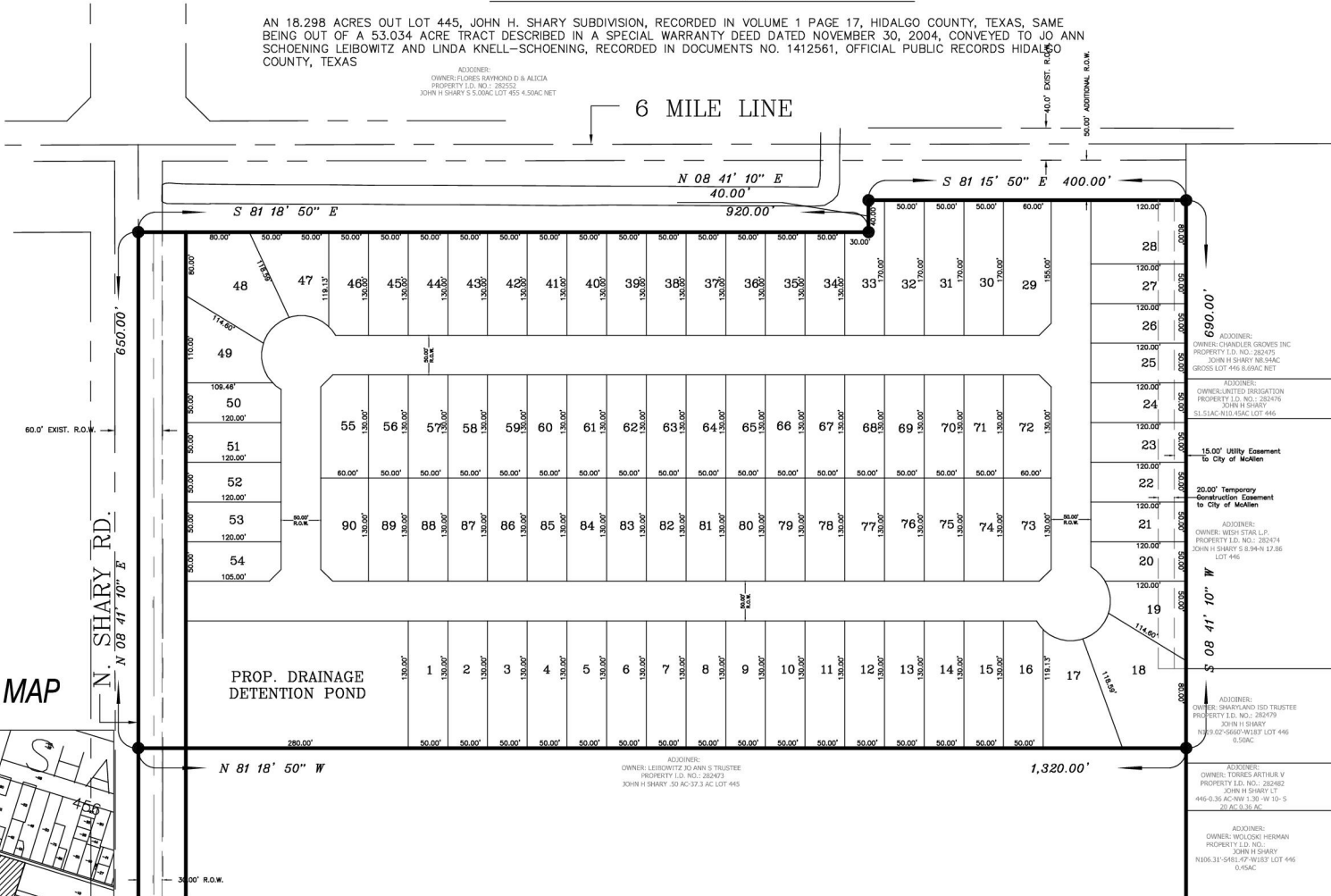
# MAP OF

## PIONEER ESTATES SUBDIVISION HIDALGO COUNTY, TEXAS

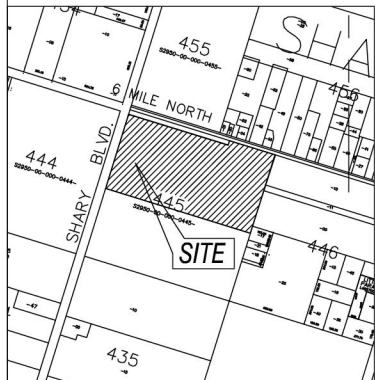
AN 18.298 ACRES OUT LOT 445, JOHN H. SHARY SUBDIVISION, RECORDED IN VOLUME 1 PAGE 17, HIDALGO COUNTY, TEXAS, SAME BEING OUT OF A 53.034 ACRE TRACT DESCRIBED IN A SPECIAL WARRANTY DEED DATED NOVEMBER 30, 2004, CONVEYED TO JO ANN SCHOENING LEIBOWITZ AND LINDA KNELL-SCHOENING, RECORDED IN DOCUMENTS NO. 1412561, OFFICIAL PUBLIC RECORDS HIDALGO COUNTY, TEXAS

ADJOINER:  
OWNER: FLORES RAYMOND D & ALICIA  
PROPERTY I.D. NO.: 285553  
JOHN H SHARY S 5.00AC LOT 455 4.50AC NET

6 MILE LINE



VICINITY MAP



DATE OF PREPARATION: MAY 29, 2021

**MAS ENGINEERING LLC.**  
CONSULTING ENGINEERING  
FIRM NO. F-15499

3911 N. 10TH ST. STE H  
MCALLEN, TEXAS. 78501

PH. (956) 537-1311  
E-MAIL: MSALINAS6973@ATT.NET





NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ2021-0039



## Memo

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

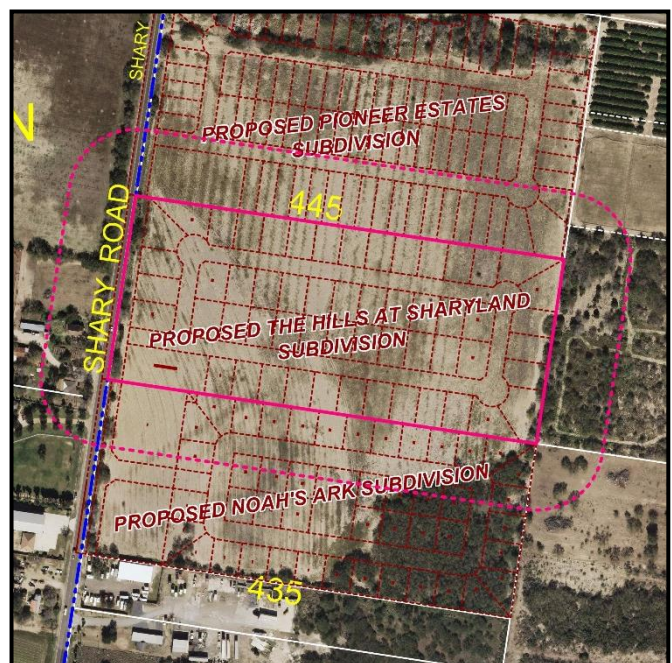
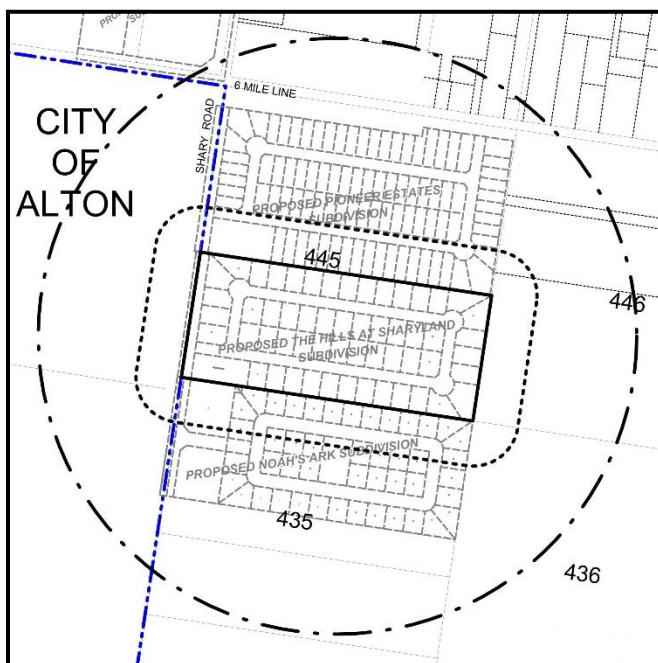
**DATE:** July 28, 2021

**SUBJECT: INITIAL ZONING TO R-3A (MULTIFAMILY RESIDENTIAL APARTMENT)  
DISTRICT: 17.043 ACRES OUT OF LOT 445, JOHN H. SHARY  
SUBDIVISION, HIDALGO COUNTY, TEXAS; 9000 NORTH SHARY ROAD.  
(REZ2021-0040)**

**LOCATION:** The property is located on the east side of North Shary Road, 90 ft. south of Mile 6 Road. The tract has 709.92 ft. of frontage along North Shary Road with a depth of 1,259.92 ft. for a lot size of 17.043 acres.

**PROPOSAL:** The tract is currently outside the City limits and is undergoing voluntary annexation. The initial zoning to R-3A (multifamily residential apartment) District will become effective upon the annexation of the tract into the City. The applicant is requesting R-3A District in order to build detached duplexes. A proposed 55-lot subdivision under the name of The Hills at Sharyland Subdivision was approved in preliminary form for the subject property on July 8, 2021, by the Planning and Zoning Commission.

**ADJACENT ZONING:** The adjacent properties to the subject property are outside McAllen City limits.





LAND USE: The property is currently vacant. Surrounding land uses include single-family residences, agricultural land, Sharyland Pioneer High School, and vacant land.

COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Estate Residential, which is comparable to R-1 District.

DEVELOPMENT TRENDS: The development trend for this area along North Shary Road is single-family residential.

HISTORY: The tract has been in the City's Extra-Territorial Jurisdiction (ETJ) since April 16, 1979. A subdivision application for the subject property was submitted on June 14, 2021, which was approved in preliminary form on July 8, 2021, by the Planning and Zoning Commission. An annexation and initial zoning requests for the subject property are scheduled to be heard at the City Commission meeting of August 23, 2021.

ANALYSIS: The requested zoning does not conform to the Estate Residential land use designation as indicated on the Foresight McAllen Comprehensive Plan; however, the rezoning request provides opportunities for a variety of housing types throughout the city that responds to the residents' economic and social lifestyles. The proposed development will be in proximity to compatible uses, Sharyland High School, since institutional uses are located within residential neighborhoods.

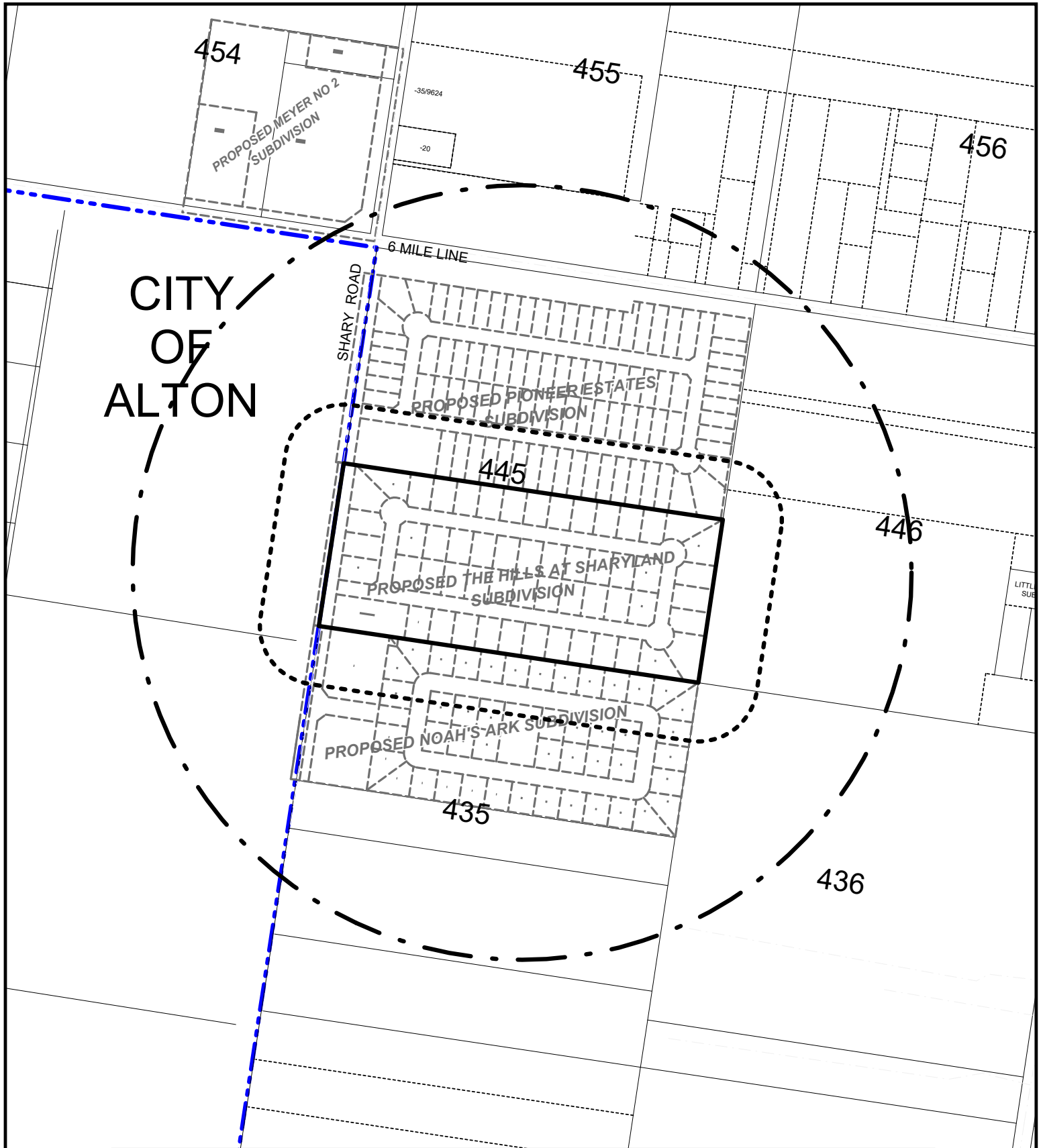
A recorded subdivision plat is required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

The R-3A District designation permits continuation of the subdivision process for a residential subdivision.

Staff has not received any calls or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the initial zoning request to R-3A (multifamily residential apartment) District.





**CITY OF McALLEN**

PLANNING DEPARTMENT

**LEGEND**

SCALE: N.T.S.

**AREA MAP**

**SUBJECT PROPERTY**

**200 FT. NOTIFICATION BOUNDARY**

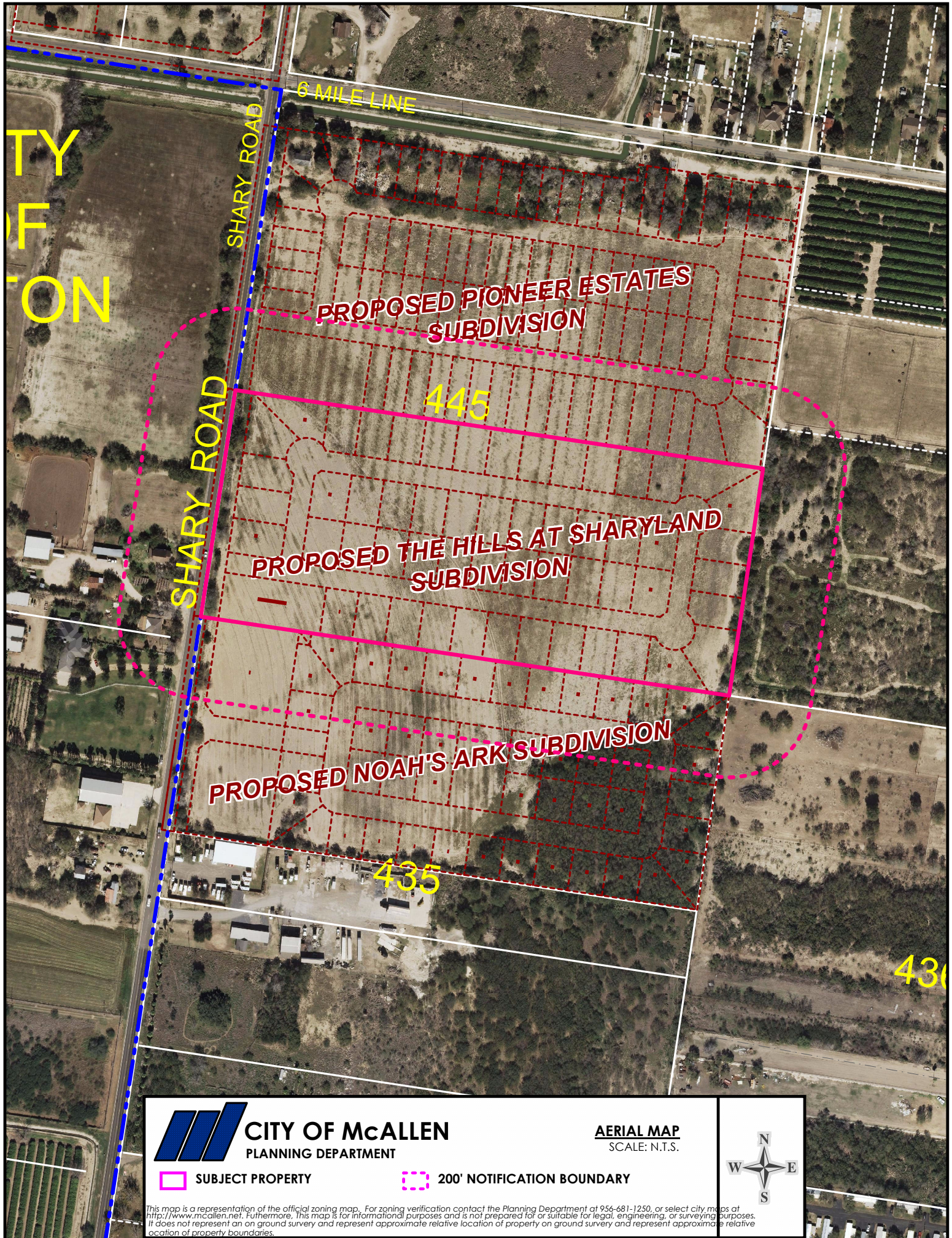
**1/4 MILE RADIUS**

**ZONING LEGEND**

<div style="display: flex; flex-wrap: wrap;"> <div style="width: 33%;"> (AGRICULTURAL &amp; OPEN SPACE)</div> <div style="width: 33%;"> (APARTMENTS)</div> <div style="width: 33%;"> (MOBILE HOMES)</div> </div> <div style="display: flex; flex-wrap: wrap;"> <div style="width: 33%;"> (SINGLE FAMILY RESIDENTIAL)</div> <div style="width: 33%;"> (CONDOMINIUMS)</div> <div style="width: 33%;"> (OFFICE BUILDING)</div> </div> <div style="display: flex; flex-wrap: wrap;"> <div style="width: 33%;"> (DUPLEX-FOURPLEX)</div> <div style="width: 33%;"> (TOWNHOUSES)</div> <div style="width: 33%;"> (NEIGHBORHOOD COMMERCIAL)</div> </div>	<div style="display: flex; flex-wrap: wrap;"> <div style="width: 33%;"> (GENERAL BUSINESS)</div> <div style="width: 33%;"> (LIGHT INDUSTRIAL)</div> </div> <div style="display: flex; flex-wrap: wrap;"> <div style="width: 33%;"> (LIGHT COMMERCIAL)</div> <div style="width: 33%;"> (HEAVY INDUSTRIAL)</div> </div> <div style="display: flex; flex-wrap: wrap;"> <div style="width: 33%;"> (COMMERCIAL INDUSTRIAL)</div> <div style="width: 33%;"> (SPECIAL DISTRICT)</div> </div>
--	---

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**CITY OF McALLEN**  
PLANNING DEPARTMENT

**AERIAL MAP**  
SCALE: N.T.S.

 **SUBJECT PROPERTY**

 **200' NOTIFICATION BOUNDARY**



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N

SHARY ROAD

6 MILE LINE



# CITY OF McALLEN

PLANNING DEPARTMENT

## LEGEND

SCALE: 1 INCH = .86 MILE  
APPROVED: DECEMBER 10, 2007  
REVISED: MARCH 8, 2021

## FORESIGHT McALLEN COMPREHENSIVE PLAN

### FUTURE LAND USE PLAN

VAC - VACANT	SCM - SUBURBAN COMMERCIAL
EST - ESTATE	URC - URBAN CENTER
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UMX - URBAN RESIDENTIAL MIXED	AGR - AGRICULTURE
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### THOROUGHFARE PLAN

	GRADE SEPARATION (INTERCHANGE)
	EXPRESSWAY 350'
	PARKWAY 350'
	HI-SPEED ARTERIAL 150'
	PRINCIPAL ARTERIAL 120'
	MINOR ARTERIAL 100'
	COLLECTOR 80'
	ALTERNATIVE ALIGNMENT
	MCALLEN CITY LIMITS
	MCALLEN ETJ

A COMPREHENSIVE PLAN SHALL NOT CONSTITUTE ZONING REGULATIONS  
OR ESTABLISH ZONING DISTRICT BOUNDARIES. SEC. 219.005 LGC

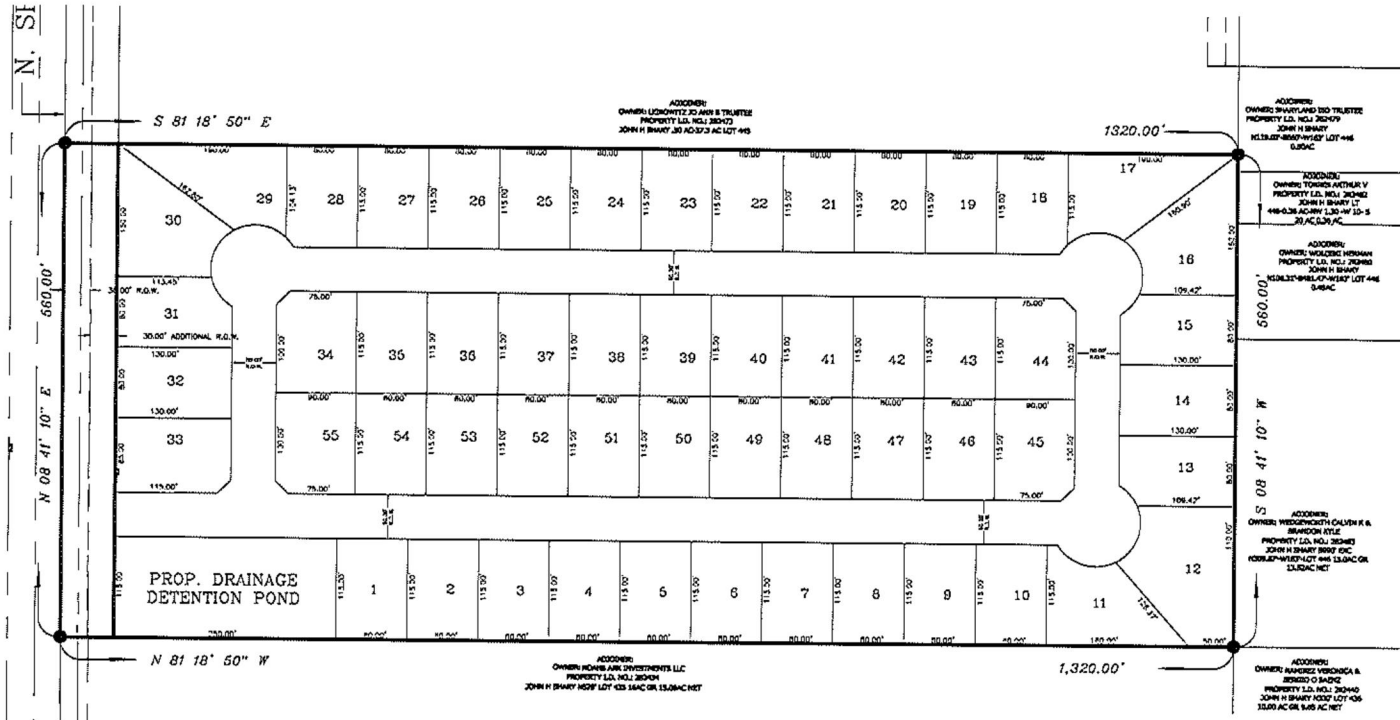






# MAP OF THE HILLS AT SHARYLAND SUBDIVISION HIDALGO COUNTY, TEXAS

A 17.043 ACRES OUT LOT 445, JOHN H. SHARY SUBDIVISION, RECORDED IN VOLUME 1 PAGE 17, HIDALGO COUNTY, TEXAS, SAME BEING OUT OF A 53.034 ACRE TRACT DESCRIBED IN A SPECIAL WARRANTY DEED DATED NOVEMBER 30, 2004, CONVEYED TO JO ANN SCHOENING LEIBOWITZ AND LINDA KNELL-SCHOENING, RECORDED IN DOCUMENTS NO. 1412561, OFFICIAL PUBLIC RECORDS HIDALGO COUNTY, TEXAS.



VICINITY MAP



DATE OF PREPARATION: MAY 14, 2021

**MAS ENGINEERING LLC.**  
CONSULTING ENGINEERING  
FIRM NO. F-15499

3911 N. 10TH ST. STE H  
MCALLEN, TEXAS. 78501

PH. (956) 537-1311  
E-MAIL: MSALINAS6973@ATT.NET





NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ2021-0040



## Memo

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

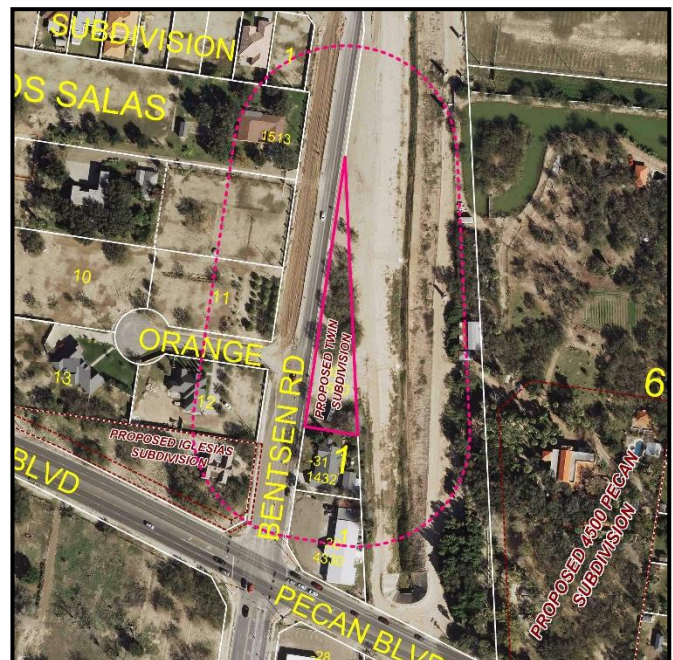
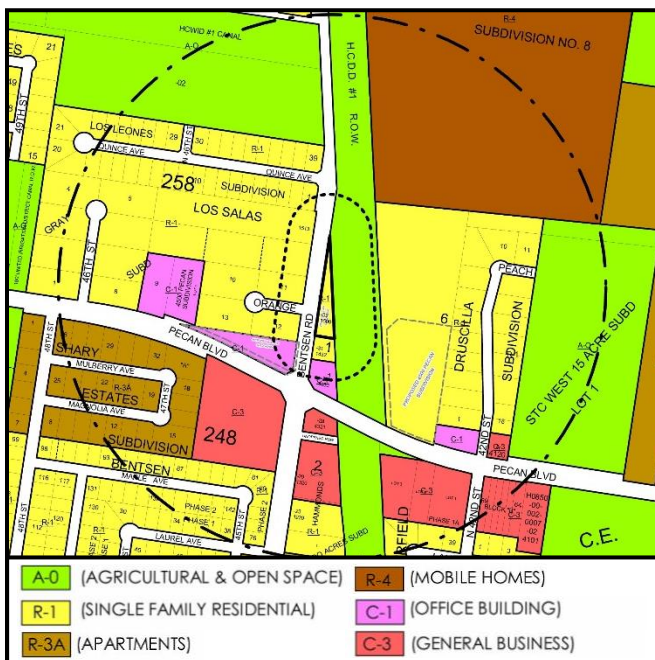
**DATE:** July 29, 2021

**SUBJECT: REZONE FROM R-1 (SINGLE-FAMILY RESIDENTIAL) DISTRICT TO R-3A (MULTIFAMILY RESIDENTIAL APARTMENT) DISTRICT: 0.544 ACRE TRACT OF LAND OUT OF LOT 1, RESUBDIVISION OF LOTS 15 AND 16, BLOCK 2, C. E. HAMMOND'S SUBDIVISION, HIDALGO COUNTY, TEXAS; 1500 NORTH BENTSEN ROAD. (REZ2021-0041)**

**LOCATION:** The property is located on the east side of North Bentsen Road, approximately 210 ft. north of Pecan Boulevard. The irregularly shaped tract has 488.26 ft. of frontage along North Bentsen Road with a depth of 97.05 ft. at its deepest point for a lot size of 0.544 acres.

**PROPOSAL:** The applicant is requesting to rezone the property to R-3A (multifamily residential apartments) District in order to construct a duplex and a fourplex. A proposed 1-lot subdivision under the name of Twin Subdivision was approved in preliminary form for the subject property on December 3, 2020, by the Planning and Zoning Commission.

**ADJACENT ZONING:** The adjacent zoning is A-O (agricultural and open space) District to the north and east and R-1 (single-family residential) District to the west and south.





LAND USE: The subject property is currently vacant. Surrounding land uses include single-family residences, Hidalgo County Water District No. 1 Canal R.O.W., Hope of Glory Fellowship Church, VFW Post 8788, McAllen ISD offices, James Nikki Rowe High School, Shary Estates Apartments, and vacant land.

COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Single Family which is comparable to R-1 (single-family residential) District.

DEVELOPMENT TRENDS: The development trend for this area is single-family residences, apartments, and commercial use.

HISTORY: The tract was zoned A-O (agricultural and open space) District during the comprehensive zoning in 1979. A rezoning request to R-2 (duplex-fourplex residential) District for the subject property was disapproved by the City Commission on November 25, 2002. A rezoning request to R-1 (single-family residential) District for the subject property was approved by the City Commission on February 24, 2003. A rezoning request to R-3A (multifamily residential) District for the subject property was withdrawn by the applicant on November 8, 2005. There has been no other rezoning request for the subject property since then.

A rezoning request to R-3A District for Shary Estate Subdivision located at 4701 Pecan Boulevard was approved by the City Commission on March 27, 2017. A rezoning request to R-3A District for a property located at 3804 Pecan Boulevard was approved by the City Commission on August 24, 2015.

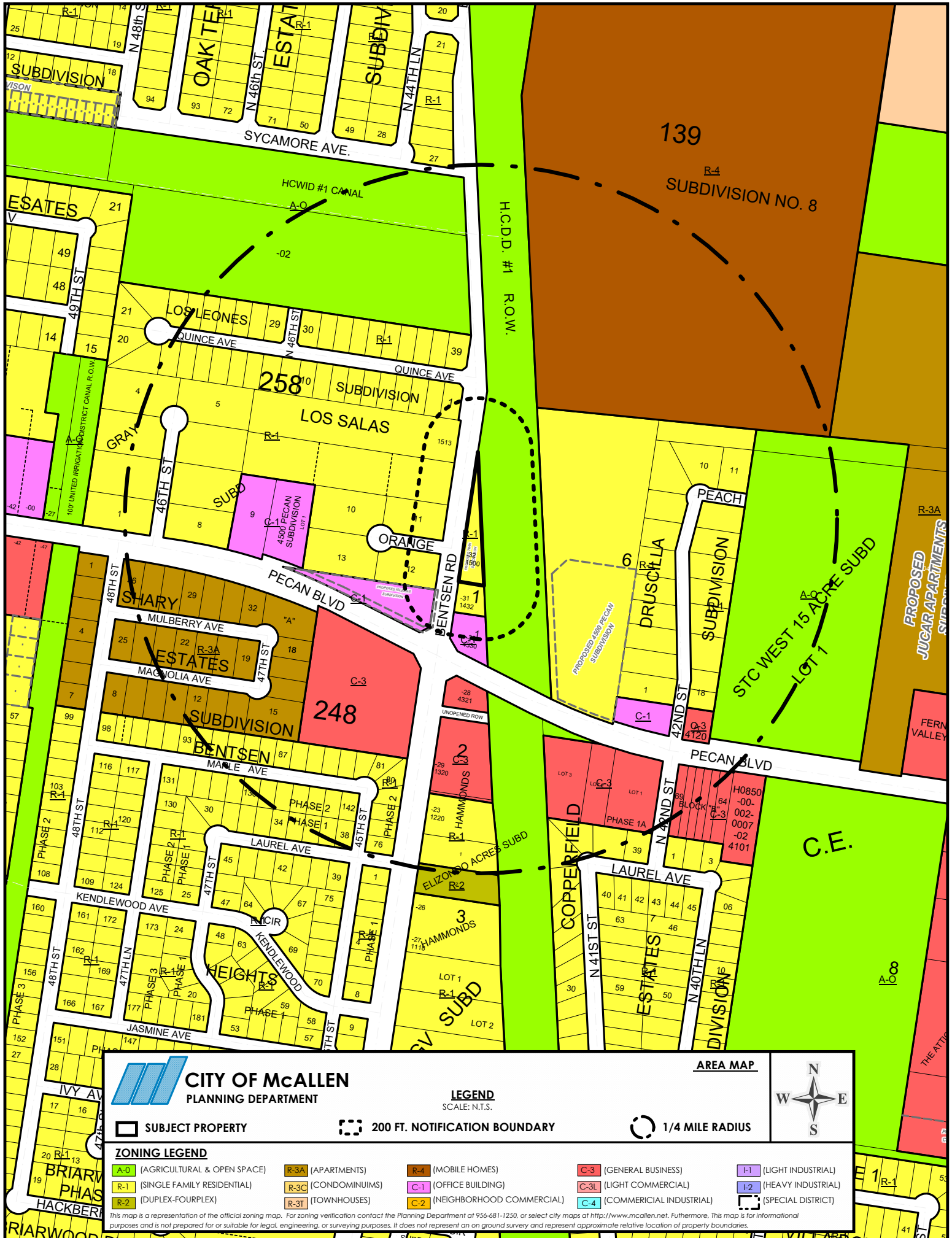
ANALYSIS: The requested zoning does not conform to the Auto Urban Single Family land use designation; however, it follows the rezoning and development trend to R-3A District in the area. The rezoning request provides opportunities for a variety of housing types throughout the city that responds to the residents' economic and social lifestyles. The proposed development will be in proximity to compatible uses, James Nikki Rowe High School, since institutional uses are located within residential neighborhoods.

A recorded subdivision plat and approved site plan is required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

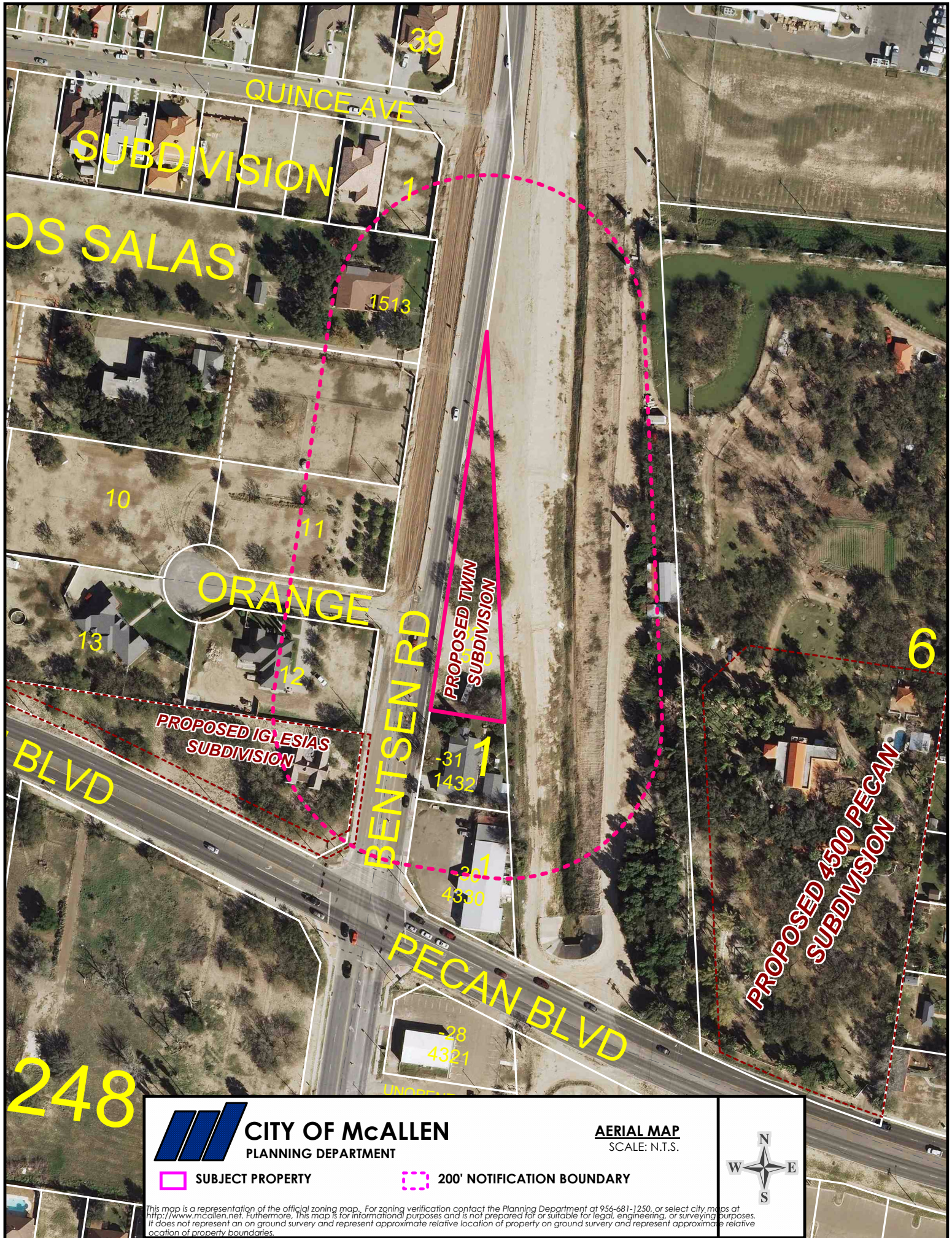
Staff has not received a letter or call in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to R-3A (multifamily residential apartment) District.









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**CITY OF McALLEN**  
PLANNING DEPARTMENT

**AERIAL MAP**  
SCALE: N.T.S.

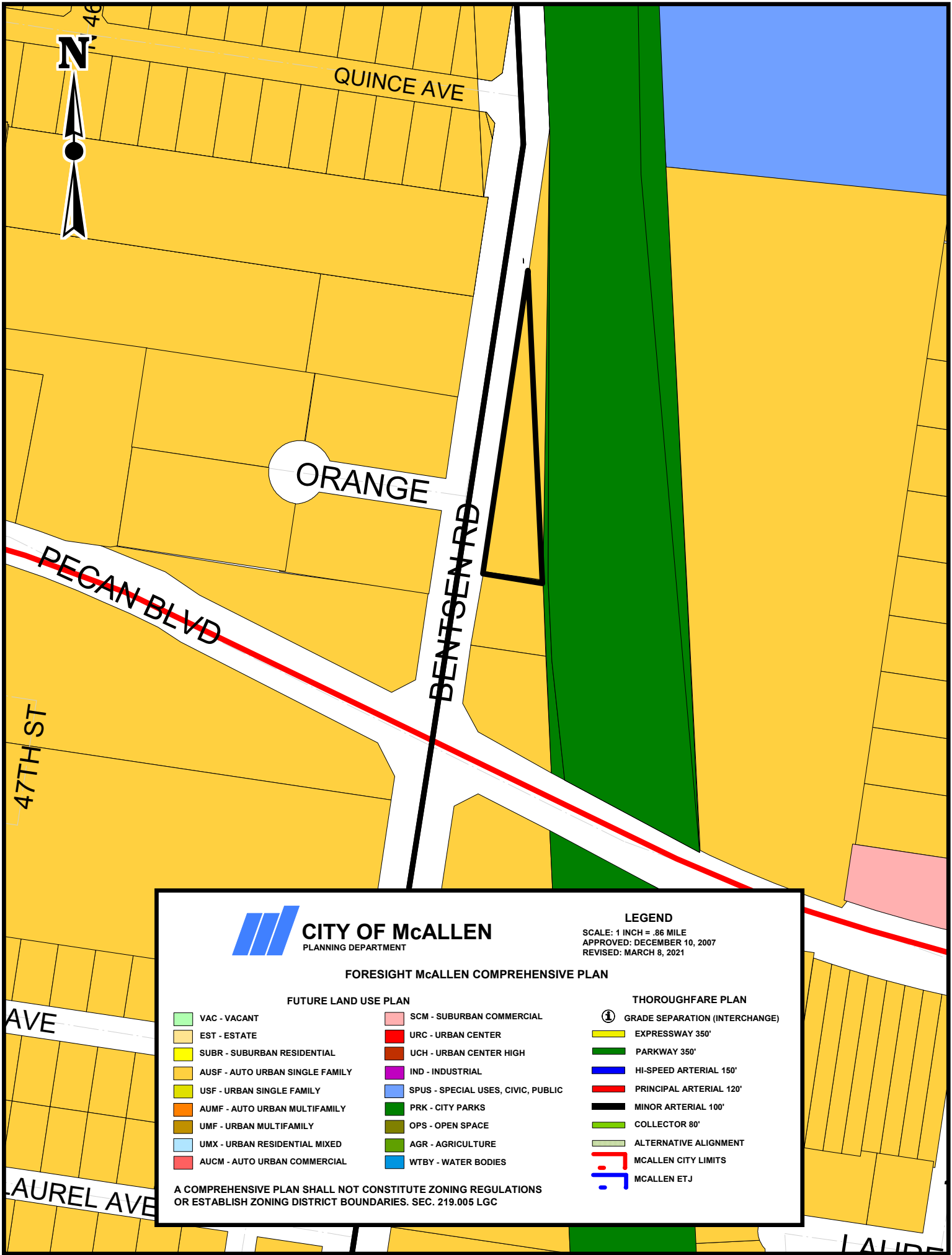
 **SUBJECT PROPERTY**

 **200' NOTIFICATION BOUNDARY**



This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property on ground survey and represent approximate relative location of property boundaries.





QUINCE AVE

ORANGE

PECAN BLVD

BENTSEN RD

47TH ST

AVE

LAUREL AVE



**CITY OF McALLEN**  
PLANNING DEPARTMENT

**LEGEND**

SCALE: 1 INCH = .86 MILE  
APPROVED: DECEMBER 10, 2007  
REVISED: MARCH 8, 2021

**FORESIGHT McALLEN COMPREHENSIVE PLAN**

**FUTURE LAND USE PLAN**

- |                                 |                                    |
|---------------------------------|------------------------------------|
| VAC - VACANT                    | SCM - SUBURBAN COMMERCIAL          |
| EST - ESTATE                    | URC - URBAN CENTER                 |
| SUBR - SUBURBAN RESIDENTIAL     | UCH - URBAN CENTER HIGH            |
| AUSF - AUTO URBAN SINGLE FAMILY | IND - INDUSTRIAL                   |
| USF - URBAN SINGLE FAMILY       | SPUS - SPECIAL USES, CIVIC, PUBLIC |
| AUMF - AUTO URBAN MULTIFAMILY   | PRK - CITY PARKS                   |
| UMF - URBAN MULTIFAMILY         | OPS - OPEN SPACE                   |
| UMX - URBAN RESIDENTIAL MIXED   | AGR - AGRICULTURE                  |
| AUCM - AUTO URBAN COMMERCIAL    | WTBY - WATER BODIES                |

**THOROUGHFARE PLAN**

- GRADE SEPARATION (INTERCHANGE)
- EXPRESSWAY 350'
- PARKWAY 350'
- HI-SPEED ARTERIAL 150'
- PRINCIPAL ARTERIAL 120'
- MINOR ARTERIAL 100'
- COLLECTOR 80'
- ALTERNATIVE ALIGNMENT
- McALLEN CITY LIMITS
- McALLEN ETJ

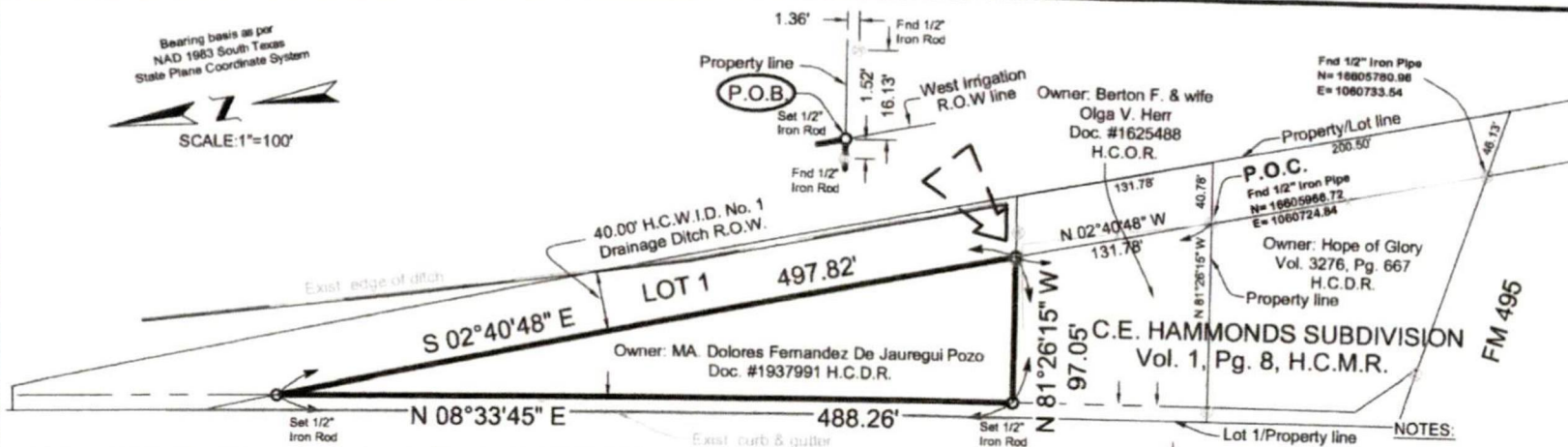
A COMPREHENSIVE PLAN SHALL NOT CONSTITUTE ZONING REGULATIONS  
OR ESTABLISH ZONING DISTRICT BOUNDARIES. SEC. 219.005 LGC



Bearing basis as per  
NAD 1983 South Texas  
State Plane Coordinate System



SCALE: 1"=100'



# LEGEND

CHAIN LINK FENCE  
R.O.W. RIGHT OF WAY  
P.O.B. POINT OF BEGINNING  
P.O.C. POINT OF COMMENCING  
H.C.M.R. HIDALGO COUNTY MAP RECORDS  
H.C.D.R. HIDALGO COUNTY DEED RECORDS  
H.C.W.I.D. HIDALGO COUNTY WATER IMPROVEMENT DISTRICT

## NOTES:

1. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.
2. SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE POLICY, WHICH MAY SHOW ADDITIONAL EASEMENTS AFFECTING THIS LOT. SURVEYOR IS ADVISING THE RECIPIENT OF THIS PLAT THAT ADDITIONAL EASEMENTS MAY BE ON THIS PLAT.
3. RIGHTS OR CLAIMS BY HIDALGO COUNTY IRRIGATION DISTRICT No. 1 TO ANY PORTION OF PROPERTY LYING WITHIN CANAL AND/OR DRAIN DITCH EASEMENT AND/OR RIGHTS-OF-WAY LOCATED ON THE PROPERTY.
4. EASEMENT DATED OCTOBER 03, 1927, IN FAVOR OF RIO GRANDE VALLEY GAS COMPANY, RECORDED IN VOL. 260, PG. 511, WITH PARTIAL RELEASE DATED DECEMBER 04, 1972, RECORDED IN VOL. 1345, PG. 346, DEED RECORDS OF HIDALGO COUNTY, TEXAS.
5. FLOOD DESIGNATION: ZONE "C"  
COMMUNITY PANEL No.: 4800334 0005C  
MAP REVISED: NOVEMBER 16, 1982  
AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD.

JOHN H. SHARY  
SUBDIVISION  
Vol. 1, Pg 17, H.C.M.R.

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I, Homero Luis Gutierrez, a Registered Land Surveyor in the State of Texas, hereby state that this survey is true and correctly made on the ground on 11/26/2014. The metes and bounds for this surveyed tract of land have been revised from those noted in the General Warranty Deed dated October 8, 2008, Document No. 1937991 in the H.C.D.R. The reason being as follows: When the existing East R.O.W. Line of Bentsen Road and the Existing West R.O.W. Line of the H.C.W.I.D. No. 4 Drainage Ditch were established on the ground based on found monuments, it was determined that when the metes and bounds noted in said General Warranty Deed were staked on the ground, its southeast corner was 1.52 feet west of the Existing West R.O.W. Line of said Drainage Ditch, the southern southwestern corners were encroaching inside the said East R.O.W. Line of Bentsen Road more than 7 feet, and the northernmost corner of this most triangular piece of land was encroaching greater than 7 feet into the said existing Drainage Ditch R.O.W. Therefore, the controlling West and East boundary lines used for establishing this survey's West and East boundaries were the existing East R.O.W. Line of Bentsen Road and the Existing West R.O.W. Line of the H.C.W.I.D. No. 4 Drainage Ditch, respectfully, based on found monuments as noted in above plat that provided for best control based on previous surveys.



Homero Luis Gutierrez, RPLS No. 2791

Date:

BENTSEN ROAD

GRAY SUBDIVISION  
Vol. 19, Pg. 137, H.C.M.R.

ORANGE  
AVE.

## EXHIBIT "A"

**SURVEY PLAT  
OF  
0.544 ACRE TRACT OF LAND  
OUT OF LOT 1, RESUBDIVISION  
OF LOTS 15 AND 16, BLOCK 2  
HAMMOND'S SUBDIVISION  
VOL. 2, PG. 58  
HIDALGO COUNTY, TEXAS**

JOHN H. SHARY  
SUBDIVISION  
Vol. 1, Pg. 17, H.C.M.R.

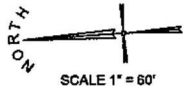
**HOMERO LUIS GUTIERREZ**

**R.P.L.S.**

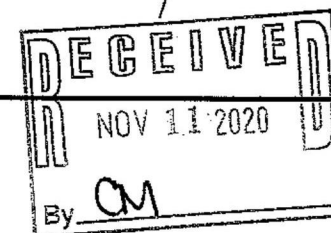
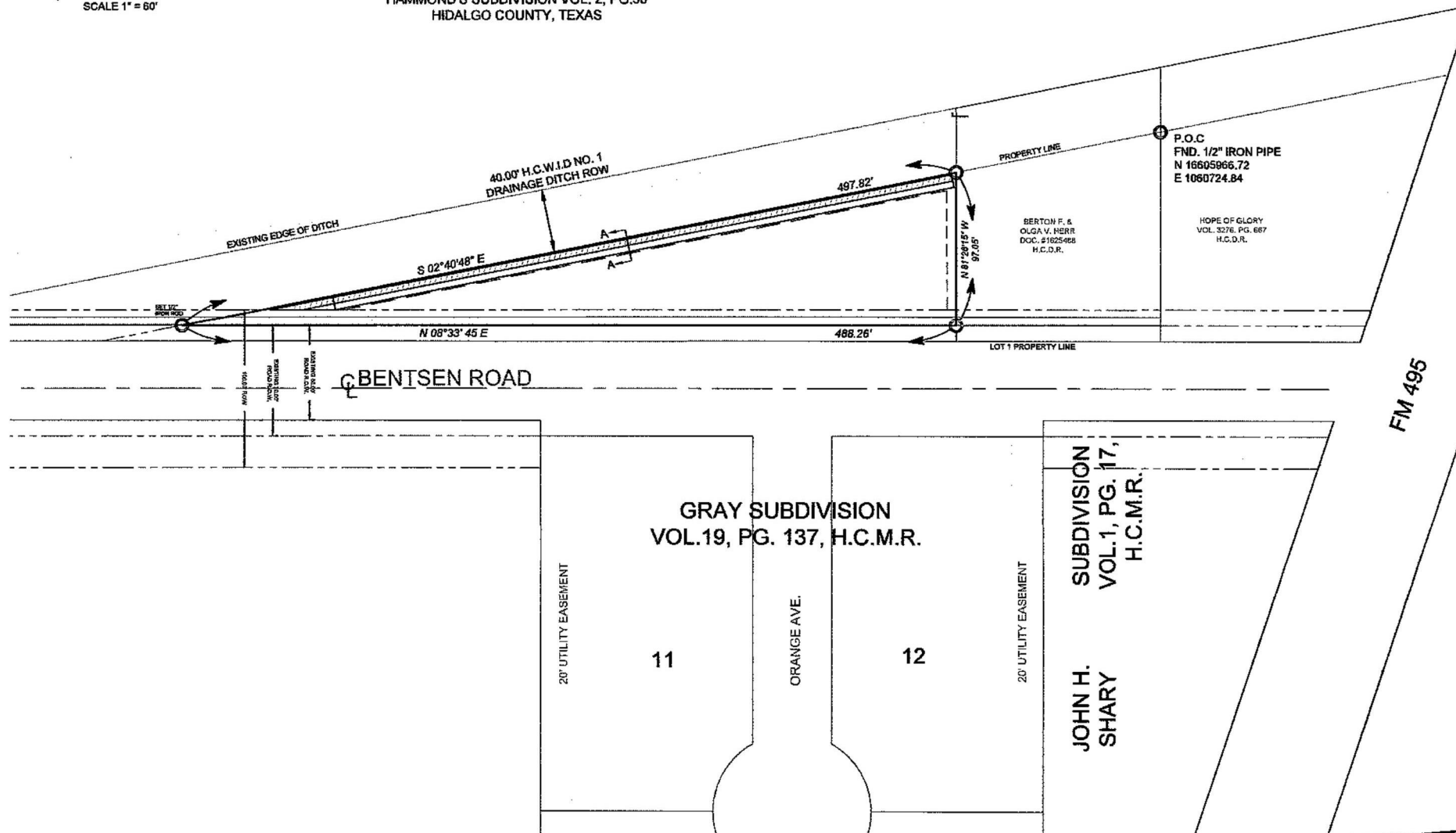
2600 San Diego  
Mission, Texas 78572  
(956) 369-0988

Date: November 26, 2014

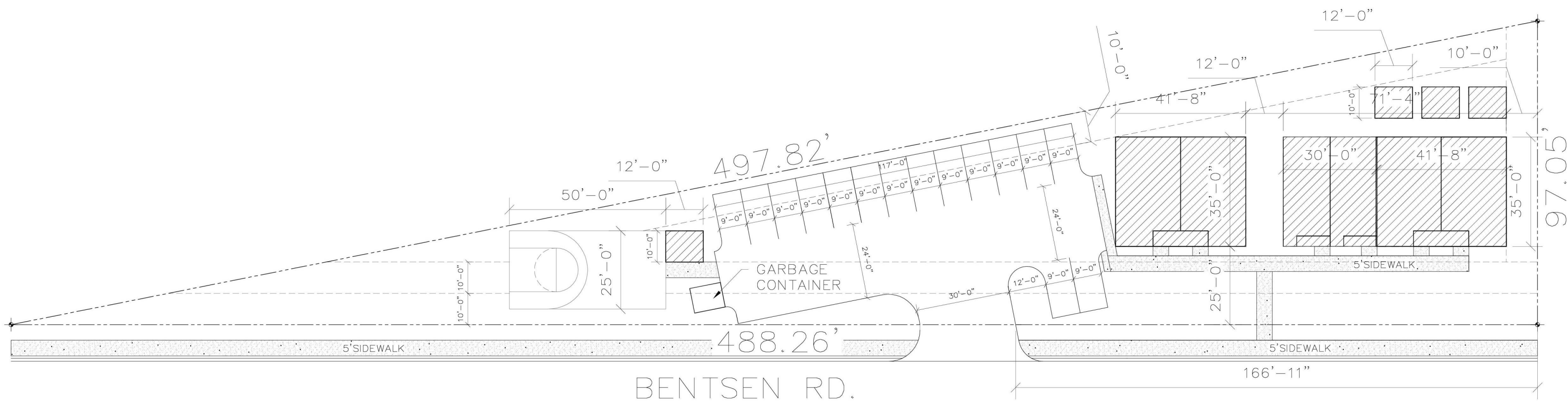




**TWIN SUBDIVISION**  
REPLAT OF A 0.544 ACRE TRACT OF LAND OUT OF LOT 1,  
RESUBDIVISION OF LOTS 15 AND 16, BLOCK 2  
HAMMOND'S SUBDIVISION VOL. 2, PG. 58  
HIDALGO COUNTY, TEXAS







Received April 12, 2021 BMG





NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ2021-0041



## **Memo**

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

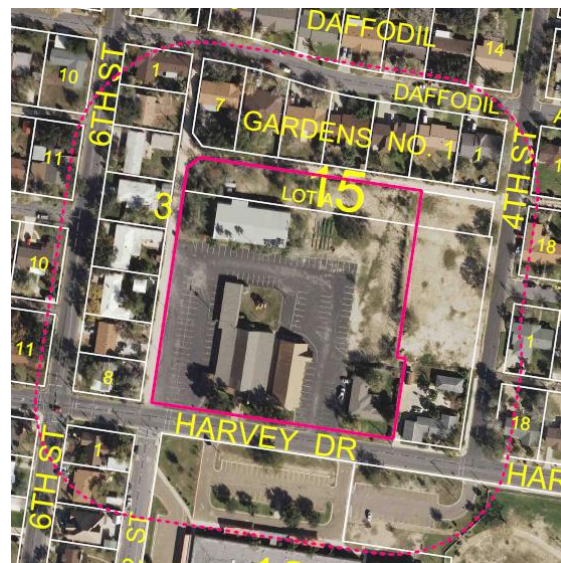
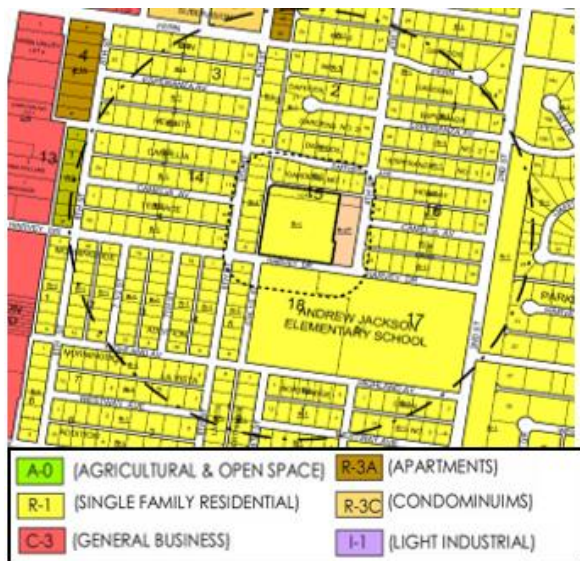
**DATE:** July 27, 2021

**SUBJECT:** Request of Rosalinda Raabe on behalf of Iglesia Camino Del Rey Upper Valley, A Texas Non-Profit Corporation, for a Conditional Use Permit for life of the use, for an Institutional Use (Church) at Lot "A", Daffodil Gardens Subdivision Unit No. 1, save and except the East 159.1 feet thereof of Lot "A", the West three (3) acres of Lot 25, Wayne Court Subdivision Extended, and 0.66 acres out of Lot 25, Wayne Court Subdivision Extended, Hidalgo County, Texas; 504 and 508 Harvey Drive. (CUP2021-0069)

---

### **BRIEF DESCRIPTION:**

The subject property is located along the north side of Harvey Drive between North 4<sup>th</sup> and North 6<sup>th</sup> Streets. The property is zoned R-1 (Single Family Residential) District, and the adjacent zoning is R-1 (Single Family) District to the north, south, west, and R-3T (Multifamily Residential Townhouse) District to the east. Surrounding land uses include single family residential homes and Andrew Jackson Elementary School. A conditional use is permitted in an R-1 zone with a conditional use permit and in compliance with requirements.





## **HISTORY:**

Harvey Drive Church of Christ requested the initial Conditional Use Permit for the property which was approved for life of the use by the Planning and Zoning Commission on July 5, 1994 and the Board of Commissioners on July 25, 1994. A new application for a Conditional Use Permit for the property was approved for one year by the Planning and Zoning Commission on August 2, 2016 for a daycare to operate on church grounds of the subject property. Since 2016 the permit was renewed annually; the last Conditional Use Permit for the property was issued in 2019.

## **REQUEST/ANALYSIS:**

There are currently four main buildings on the property as shown in the submitted site plan. Building "A", located at the front of the property, will consist of an auditorium, classrooms, and two restrooms, which will be used as a chapel. Building "B" will consist of an auditorium, two restrooms, reception area, a break area, a kitchen, one office, two classrooms, one storage room, and a room with the air conditioning unit as displayed on the submitted site plan, which will be used as a hall and a church. Building "C", located at the rear of the property, consists of two restrooms, storage rooms as shown on the submitted site plan, which will be used for religious services. A fourth building on property will be used as a parsonage and has an address of 504 Harvey Drive.

The applicant proposes church services for Iglesia Camino De Rey Upper Valley on Tuesdays from 6:00 PM to 8:30 PM in building "C", Friday's from 7:00 PM to 9:30 PM, Saturday's from 10:00 AM to 1:00 PM in building "B", and on Sunday's from 9:00 AM to 1:00 PM in building "A". As per the applicant, if one building is being utilized, the remaining two buildings will not be utilized on the same day.

The seating arrangement of the church varies per building. Currently in building "A" there are 24 pews, with the church proposing a seating capacity of 6 persons per pew or 144 seats. The proposed seating for building "B" is 70 seats. The proposed seating arrangement for building "C" is 200 seats. There are presently 140 parking spaces on the subject property. Parking must comply with Section 138-395 (2), one parking space for each 4 seats in main auditorium is required, as per the Zoning Ordinance.

The Fire Department has conducted the necessary inspection for this property and is in compliance with applicable code requirements. Should the conditional use permit be approved, the applicant would be required to sign the application acknowledging and agreeing to all conditions of the permit. The proposed use must also comply with the zoning ordinance and specific requirements as follows:



- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial.
- 2) The proposed use shall comply with the McAllen Off-Street Parking and Loading Ordinance and make provisions to prevent the use of street parking, especially in residential areas. The church will have a seating capacity of 414 seats if all three buildings were to be used simultaneously, 104 parking spaces are required; 140 parking spaces are provided on the property.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the building shall be restricted to the existing seating capacity for the building; and

**RECOMMENDATION:**

Staff recommends approval of the request, for life of the use, subject to compliance with the Zoning Ordinance, Building Permits and Fire Department requirements.



P17  
8.3.21



CITY OF McALLEN, TEXAS  
311 NORTH 15<sup>TH</sup> STREET, McALLEN, TX 78501  
P. O. BOX 220, McALLEN, TEXAS 78505-0220 • (956) 681-1250 • FAX (956) 681-1279

Permit No. Cul2021-0069

# INSTITUTIONAL USES

New

## CONDITIONAL USE PERMIT APPLICATION

Application Date 6/4/21 (Please print or type) Hilda mendoza

Applicant Iglesia Camino Del Rey Upper Valley (first) (initial) (last) PHONE NO:

Mailing Address 508 W. HARVEY DR. McAllen, Tx 78501 (city) (state) (zip)

Property Owner Rosalinda Raabe Pastor. (first) (initial) (last) PHONE NO:

Mailing Address 508 W. HARVEY DR McAllen, Tx 78501 (city) (state) (zip)

Property Location 508 W. HARVEY DR. McAllen, Tx 78501 (street address)

Property Legal Description Wayne Court W3.61ac Lot 25 @ Daffodil Gardens #1 Lot A Ex E.159.1 (if metes and bounds, attach survey of the property) (subdivision) (block) (lot)

CHURCH

Church

Current use of property

Proposed use of property

TERM OF PERMIT: 1 1 YEAR

for life  
MORE THAN 1 YEAR (requires City Commission approval)

## SITE PLAN & FLOOR PLAN (attach a drawing of the property & buildings showing the following)

- |  |  |
|--|--|
| Scale, north arrow, legal description of property  | Landscaping and fencing of yard                  |
| Location and height of all structures              | Off-street parking and loading                   |
| Setback from property lines and between structures | Driveway location & design                       |
| Proposed changes and uses                          | Location, type, height and lighting of all signs |

Rosalinda Raabe  
(Applicant signature)

06-04-2021  
(date)

Rosalinda Raabe  
(Property owner signature)

06-04-2021  
(date)

## GENERAL INFORMATION

**NOTIFICATION AND PUBLIC HEARING:** Property owners within 200' of the subject property shall be notified within at least 10 working days of the Planning and Zoning Commission public hearing. Upon considering the recommendation of the Director of Planning, the Planning and Zoning Commission shall approve or disapprove the application.

**APPEALS PROCEDURE:** Any decision of the Planning and Zoning Commission may be appealed to the City Commission by presenting a petition to the City Commission within 10 days after the decision of the Planning and Zoning Commission and specifying the grounds for the appeal. A vote of 3/4 of the City Commission is required to overrule a vote of the Planning and Zoning Commission denying a conditional use permit.

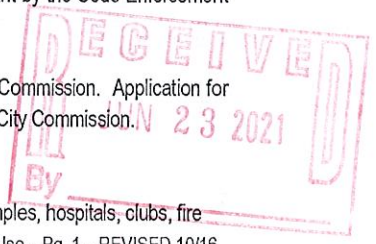
**CANCELLATION:** A conditional use permit is automatically cancelled if not used within 6 months.

**REVOCATION:** A conditional use permit may be revoked by the Planning and Zoning Commission at a public hearing upon failure of the applicant to remedy a violation of the conditions of the permit within a specified time period (10 to 30 days) as specified in a written notice to the applicant by the Code Enforcement Officer or Building Inspector.

**RENEWAL PERIOD:** A conditional use permit shall expire within 1 year unless otherwise specified by the Planning and Zoning Commission. Application for renewal of a permit shall be made prior to 20 days before permit expiration. A permit for more than 1 year shall be approved by the City Commission.

## DEFINITIONS

Institutional - A nonprofit organization or building, public or private, for the benefit of the public; or educational facilities, churches, temples, hospitals, clubs, fire stations, police stations, libraries, museums, city offices, etc.



CG

OS

Ret# 800909

NM



.....FOR OFFICIAL USE ONLY.....

APPLICATION FILING FEE:

☐ \$300.00 One Year    ☐ \$150.00 APPEAL    ☐ \$500.00 Life of the Use  
cash/check # \_\_\_\_\_ Amount paid \_\_\_\_\_

**ZONING DISTRICT REQUIREMENTS**

REQUIRED ZONING DISTRICT: A-O TO I-2

REZONING REQUIRED: \_\_\_\_\_ NO

SETBACKS: FRONT \_\_\_\_\_ SIDE \_\_\_\_\_ REAR \_\_\_\_\_

MINIMUM LOT SIZE: \_\_\_\_\_

CURRENT ZONING DISTRICT:

\_\_\_\_\_ YES, attach rezoning application

MAXIMUM HEIGHT: \_\_\_\_\_

**CONDITIONAL USE REQUIREMENTS**

The proposed use meets all the minimum standards established in applicable city ordinances; and will not be detrimental to the health, welfare and safety of the surrounding neighborhood or its occupants, nor be substantially or permanently injurious to neighboring properties.

**GENERAL REQUIREMENTS:**

1. No form of pollution shall emanate beyond the immediate property line of the permitted use.
2. Additional reasonable restrictions or conditions such as increased open space, loading and parking requirements, suitable landscaping, curbing, sidewalks or other similar improvements may be imposed in order to carry out the spirit of the Zoning Ordinance or mitigate adverse effects of the proposed use.

**SPECIFIC REQUIREMENTS:**

1. The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial.
2. The proposed use shall comply with the Off-street Parking and Loading Ordinance and make provisions to prevent the use of street parking especially in residential areas.
3. The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges, or reorientation of entrances and exits.
4. The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities.
5. Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas.
6. The number of persons within the building shall be restricted to \_\_\_\_\_.
7. Sides adjacent to a residentially zoned or used property shall be screened by a 6' opaque fence.

**DEPARTMENTAL REQUIREMENTS**

REQUIRED CONDITIONS	DEPARTMENT	MONTH/DAY
Complies with regulations	Health Inspection	/
Meet standard requirements	Fire Inspection	/
Subject to:	Planning	/
Permit #	Building/Electrical/Plumbing	/
	Other	/

**CITY BOARD REQUIREMENTS**

PLANNING & ZONING COMMISSION DATE \_\_\_\_/\_\_\_\_/\_\_\_\_ APPROVED \_\_\_\_\_ DISAPPROVED \_\_\_\_\_ 1 YEAR \_\_\_\_\_ OTHER \_\_\_\_\_  
REQUIRED CONDITIONS: \_\_\_\_\_

CITY COMMISSION DATE \_\_\_\_/\_\_\_\_/\_\_\_\_ APPROVED \_\_\_\_\_ DISAPPROVED \_\_\_\_\_ 1 YEAR \_\_\_\_\_ OTHER \_\_\_\_\_  
REQUIRED CONDITIONS: \_\_\_\_\_

**ACKNOWLEDGEMENT AND AGREEMENT TO CONDITIONS**

Note: Approval of this permit does not constitute approval to construct, alter or repair. Appropriate building permits must be obtained. The foregoing is a true and correct description of the existing conditions and contemplated action and I will have full authority over the operation and/or construction of same, and hereby agree to comply with all ordinances of the City and applicable Deed Restrictions and assume all responsibility for such compliance. I further agree to discontinue any violations of the conditions of the permit upon notice given to me or anyone in charge of the above property by the Code Enforcement Officer. If the permit is revoked I agree to cease operation of the use upon notification of revocation. I understand that any violation of this ordinance is subject to a Five Hundred Dollar (\$500.00) fine for each day of violation. Please note that approval of this permit may result in a higher sanitation rate on your utility bill.

\_\_\_\_\_  
(Applicant signature)

\_\_\_\_\_  
(date)

In consideration of the above application, a permit is hereby granted for the above action conditioned upon the terms and specifications set forth above, and the faithful observance of all provisions of the City Building Code, Zoning Ordinance, and all other ordinances applicable to the same.

\_\_\_\_\_  
City Manager (or Agent)

\_\_\_\_\_  
(date)

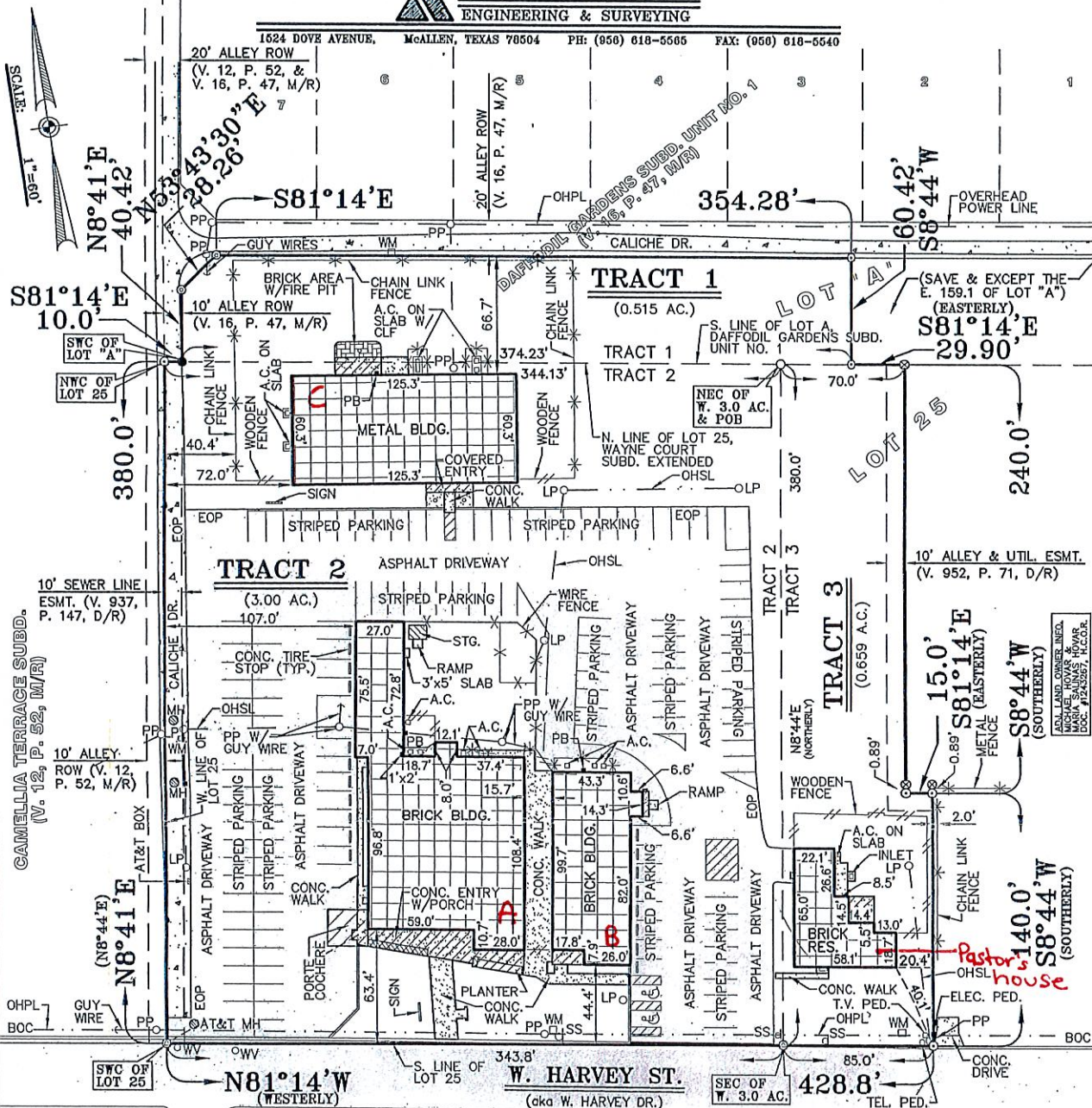




# ART SALINAS

## ENGINEERING & SURVEYING

1624 DOVE AVENUE, McALLEN, TEXAS 78504 PH: (956) 618-5505 FAX: (956) 618-5540

20' ALLEY ROW  
(V. 12, P. 52, &  
V. 16, P. 47, M/R)20' ALLEY ROW  
(V. 16, P. 47, M/R)DAFFODIL GARDENS SUBD. UNIT NO. 1  
(V. 16, P. 47, M/R)

**FLOOD ZONE DESIGNATION:** The property shown hereon lies in Zone "B". Zone "B" areas lie between limits of the 100-year flood and 500-year flood; or certain areas subject to 100-year flooding with average depths less than one (1) foot or where the contributing drainage area is less than one square mile; or areas protected by levees from the base flood as per F.E.M.A. Flood Insurance Rate Map Panel No. 480343-0005-C dated 11-02-82.

### PLAT NOTES:

- There are no discrepancies, conflicts, shortages in area or boundary lines, encroachments, overlapping of improvements or visible or apparent easements except as shown on this plat.
- This survey plat is prepared in connection with Title Policy G.F. # 0003189454 and does not guarantee title. This survey is for the exclusive use of the client named hereon and may not be copied or transferred to another party without the express written consent of the surveyor.
- This survey must contain an embossed seal and an original signature to be valid as per Section 661.46 and Section 663.19 of the "The Professional Land Surveying Practices Act".
- This is a standard survey and does not include the location or subsurface investigation of underground utility, irrigation and/or gas lines.
- Easements, rights, rules and regulations in favor of Hidalgo County Irrigation District No. 3. (Blanket)
- Subject to any oil, gas and mineral lease of record.
- Bearing Basis: "S. line of Lot 'A', Daffodil Gardens Subdivision Unit No. 1"

**CLIENT:** A.L. HORNE, H.D. ANDRUS, G.C. MOSELY AND D.A. FAULKNER, TRUSTEES OF CHURCH OF CHRIST OF McALLEN (as to Tract 1)  
HARVEY DRIVE CHURCH OF CHRIST, INC. (as to Tract 2)

THIS IS TO CERTIFY THAT I HAVE, THIS DATE, PREPARED A SURVEY ON THE GROUND WHICH IS LOCATED AT 508 W. HARVEY ST., IN McALLEN, TEXAS, DESCRIBED AS FOLLOWS:

TRACT 1: LOT "A", DAFFODIL GARDENS SUBDIVISION UNIT NO. 1, AN ADDITION TO THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 16, PAGE 47, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

SAVE AND EXCEPT THE EAST 159.1 FEET THEREOF OF LOT "A", CONVEYED TO AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS BY DEED FROM BERNICE ARLENE MYERS, A WIDOW, TO MICHAEL HOVAR AND WIFE, MARTA SALINAS HOVAR, DATED AUGUST-28, 2005, FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS, ON SEPTEMBER 15, 2003, UNDER CLERK'S FILE NO. 1243267.

TRACT 2: THE WEST THREE (3) ACRES OF LOT 25, WAYNE COURT SUBDIVISION EXTENDED, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 6, PAGE 40, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

TRACT 3: THAT PORTION OF LOT 25, WAYNE COURT SUBDIVISION EXTENDED, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 6, PAGE 40, MAP RECORDS OF HIDALGO COUNTY, TEXAS. (SEE METES AND BOUNDS DESCRIPTION)

20-59189  
Job No. Date

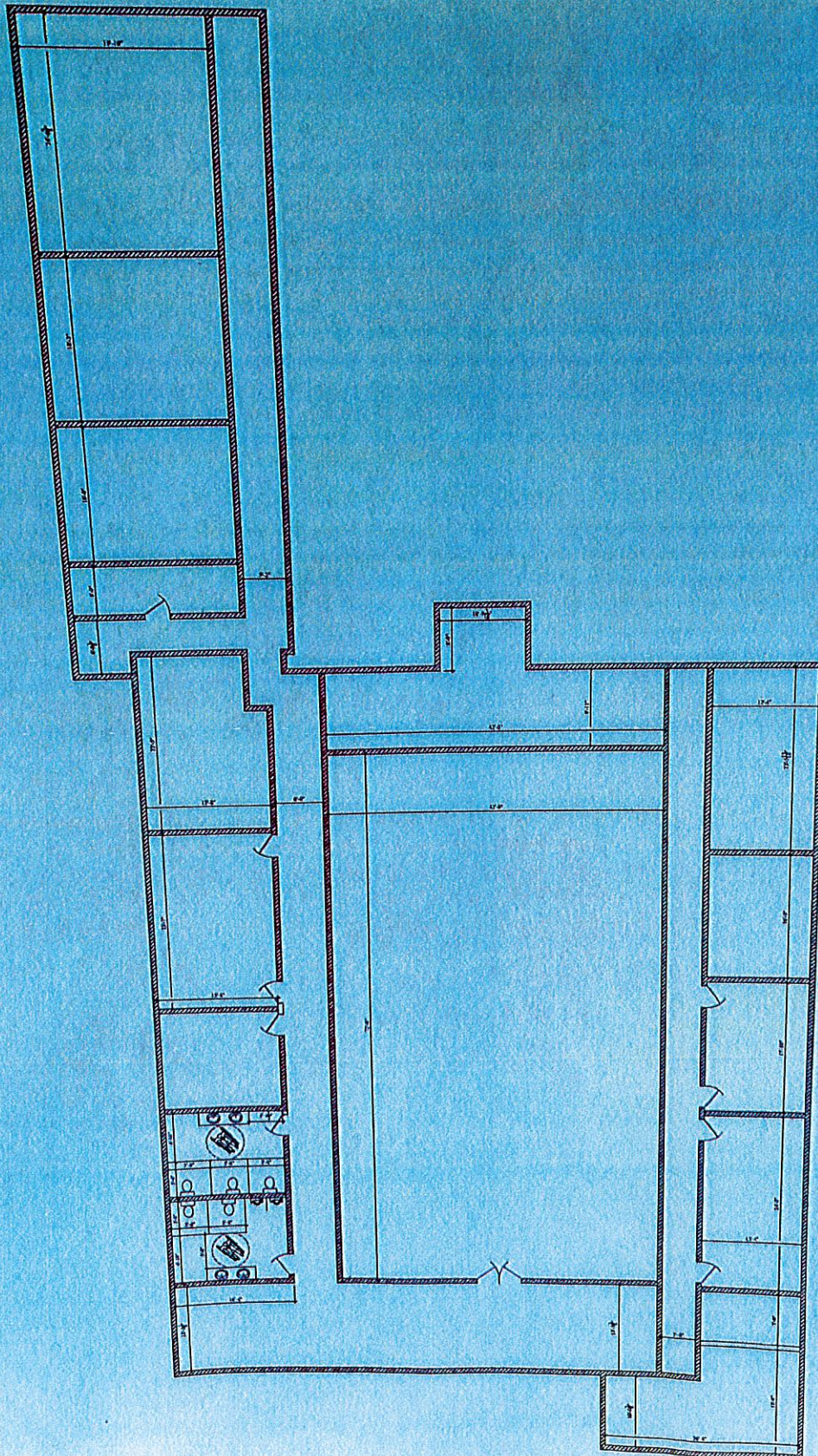
©COPYRIGHT 2020 ART SALINAS ENGINEERING INC. THIS SURVEY WAS PROVIDED IN MULTIPLE ORIGINALS SOLELY FOR THE USE OF THE BORROWER NAMED HEREON. NO LICENSE HAS BEEN CREATED, EXPRESSED OR IMPLIED TO COPY THIS SURVEY.



### LEGEND

- - DENOTES FOUND 1/2" PIPE
- - DENOTES FOUND 3/8" PIPE
- ⊙ - DENOTES FOUND 5/8" PIPE
- ⊙ - DENOTES SET MAG NAIL
- ⊙ - DENOTES SET 1/2" ROD
- - DENOTES NO MONUMENT
- ROW - DENOTES RIGHT OF WAY
- BOC - DENOTES BACK OF CURB
- EOP - DENOTES EDGE OF PAVEMENT
- PP - DENOTES POWER POLE
- LP - DENOTES LIGHT POLE
- WM - DENOTES WATER METER
- MH - DENOTES SANITARY SEWER MANHOLE
- PB - DENOTES POWER BOX
- SS - DENOTES STREET SIGN
- OHSL - DENOTES OVERHEAD SERVICE LINE
- OHPL - DENOTES OVERHEAD POWER LINE
- WV - DENOTES WATER VALVE
- TEL - DENOTES UNDERGROUND TELEPHONE LINE
- SEW - DENOTES UNDERGROUND SAN. SEWER LINE
- GAS - DENOTES UNDERGROUND GAS LINE
- WATER - DENOTES UNDERGROUND WATER LINE
- DENOTES ASPHALT PYMT.
- POB - DENOTES POINT OF BEGINNING



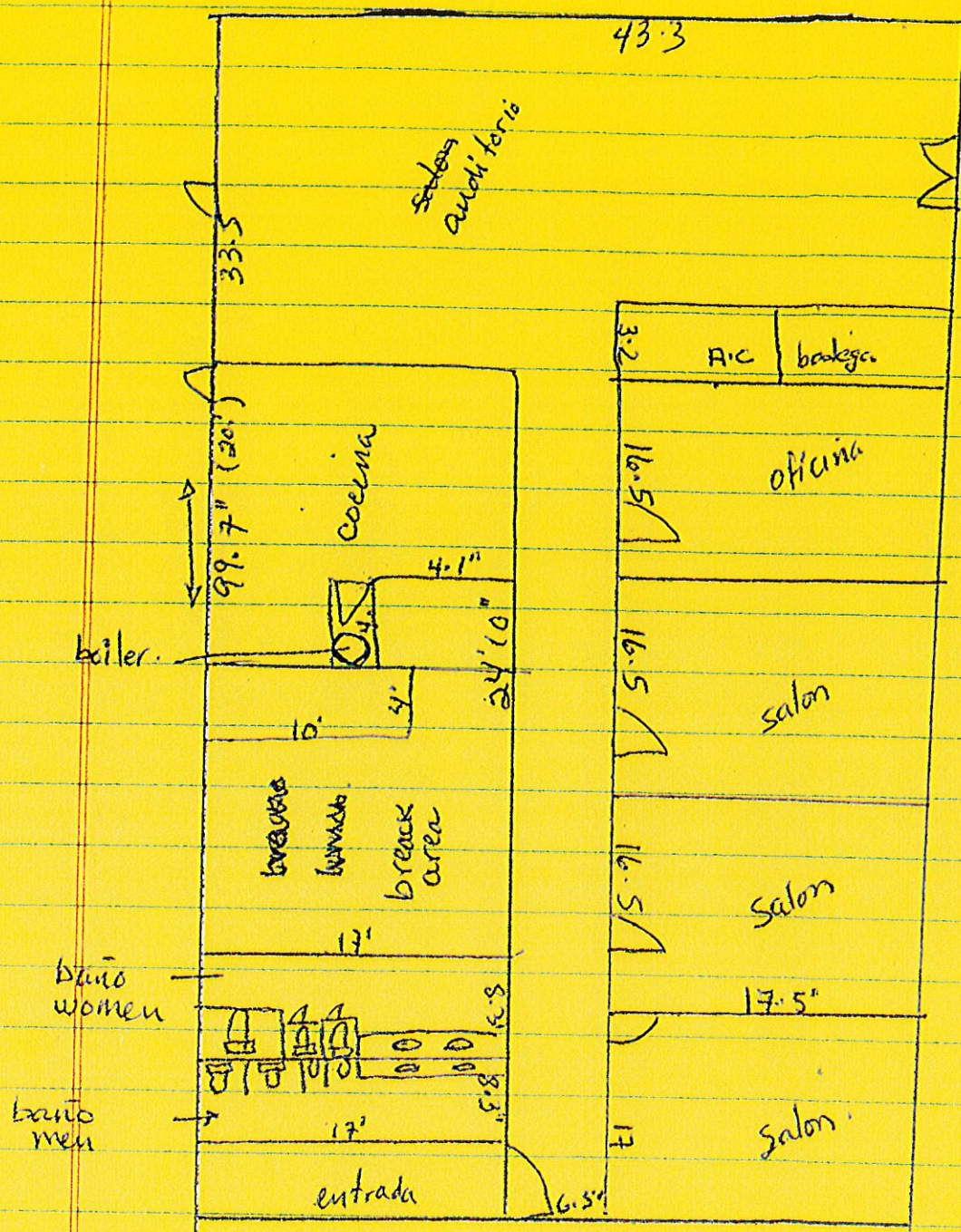


REC'D  
JUN  
BY

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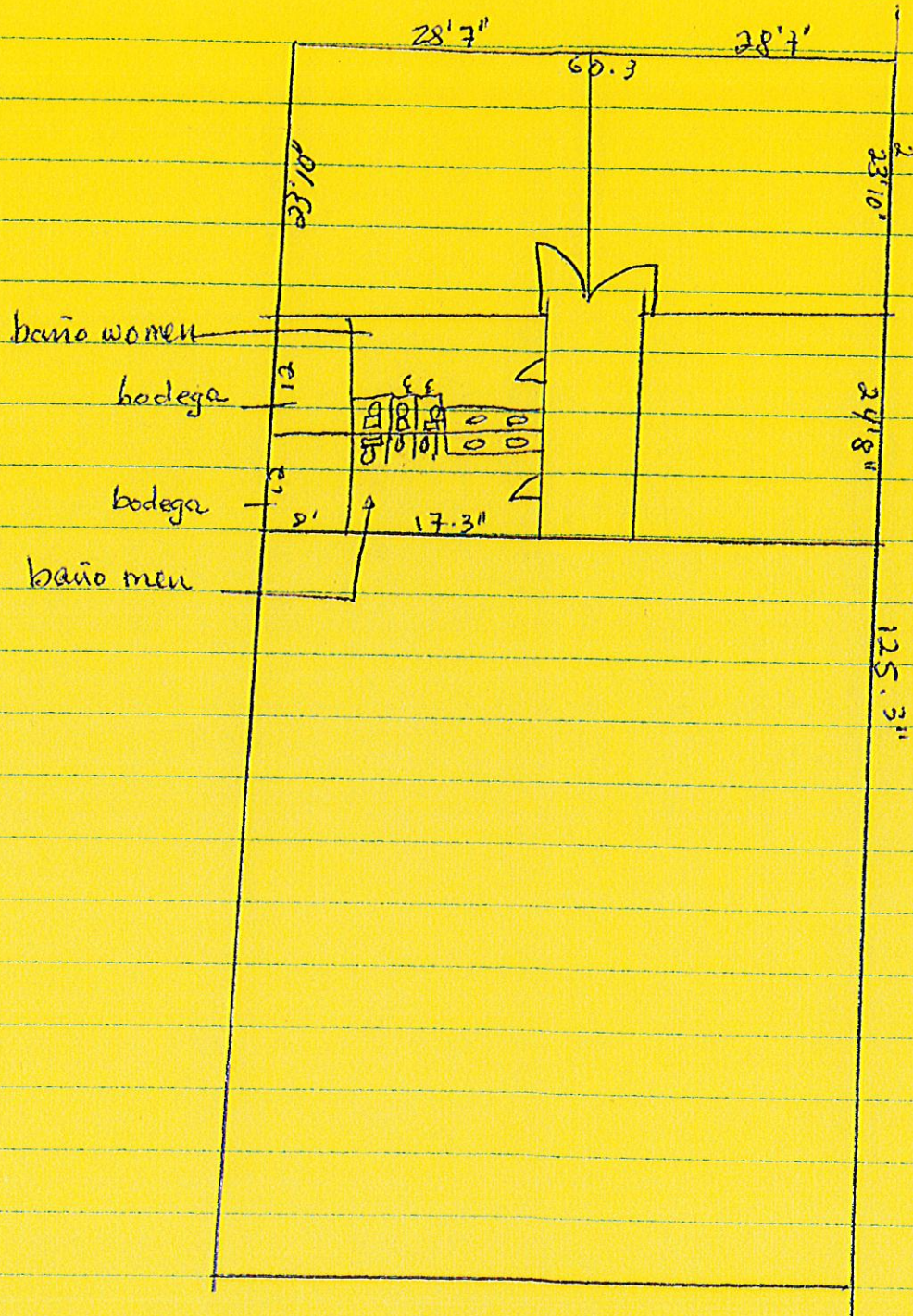
508A W. Harvey Dr. McAllen, TX 78577





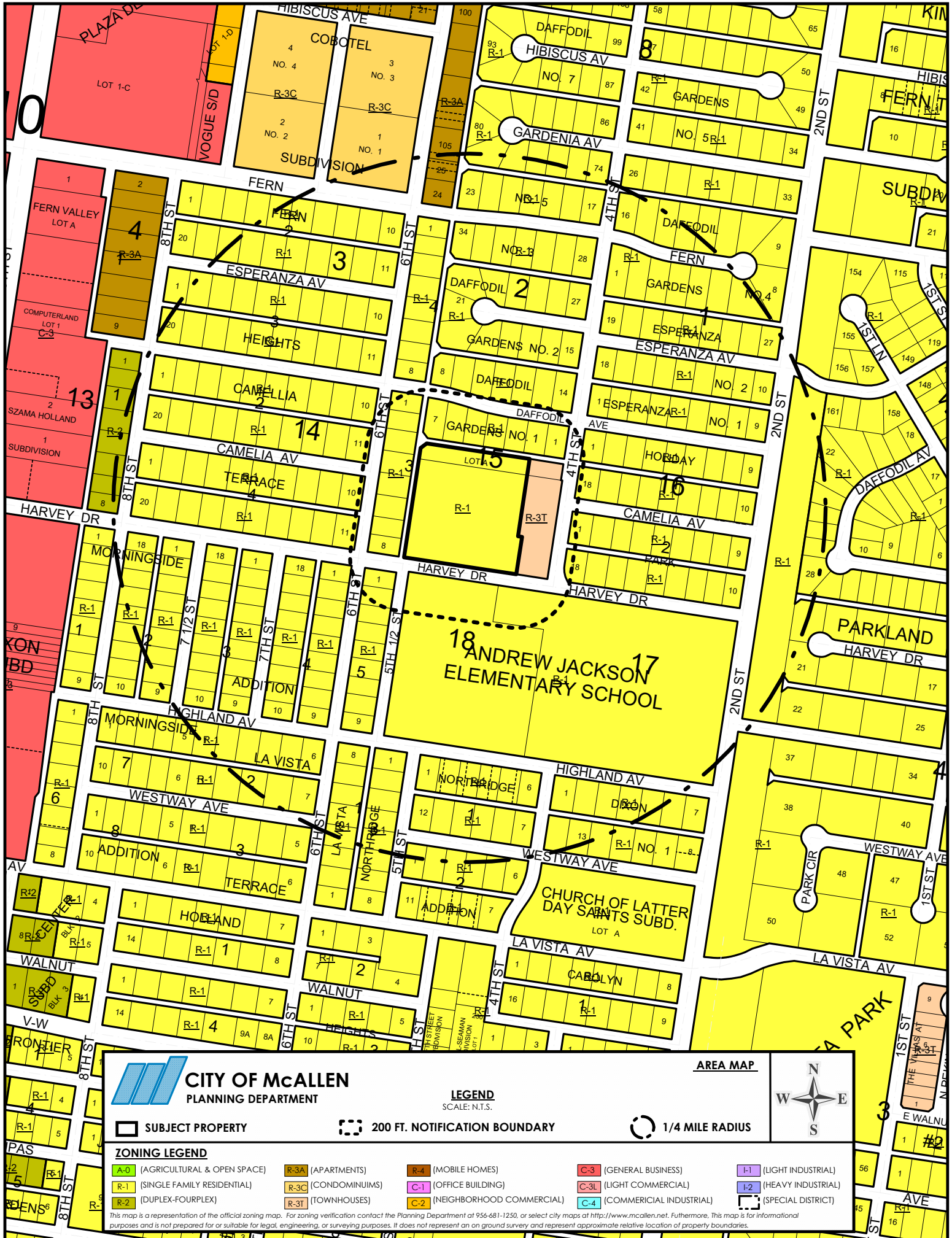
508B W. Harvey Dr. McAllen, TX 78507





508C W. Harvey Dr. McAllen, TX 78507





# CITY OF McALLEN PLANNING DEPARTMENT

## LEGEND

SCALE: N.T.S.

SUBJECT PROPERTY

200 FT. NOTIFICATION BOUNDARY

1/4 MILE RADIUS



### ZONING LEGEND

(AGRICULTURAL & OPEN SPACE)	(APARTMENTS)	(MOBILE HOMES)	(GENERAL BUSINESS)	(LIGHT INDUSTRIAL)
(SINGLE FAMILY RESIDENTIAL)	(CONDOMINIUMS)	(OFFICE BUILDING)	(LIGHT COMMERCIAL)	(HEAVY INDUSTRIAL)
(DUPLEX-FOURPLEX)	(TOWNHOUSES)	(NEIGHBORHOOD COMMERCIAL)	(COMMERCIAL INDUSTRIAL)	(SPECIAL DISTRICT)

This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.



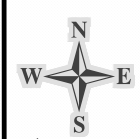


**CITY OF McALLEN**  
PLANNING DEPARTMENT

**AERIAL MAP**  
SCALE: N.T.S.

 **SUBJECT PROPERTY**

 **200' NOTIFICATION BOUNDARY**



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**Exterior of Building A**



**Exterior of Building B**



**Exterior of Building C**





**Interior of  
Building A**



**Interior of  
Building B**





**Interior of  
Building C**





508 A

CHURCH OF CHRIST

NOTICE  
INSTITUTIONAL  
USE  
FOR  
THIS PROPERTY  
CUP2021-0069



## Planning Department

### Memo

**TO:** Planning and Zoning Commission

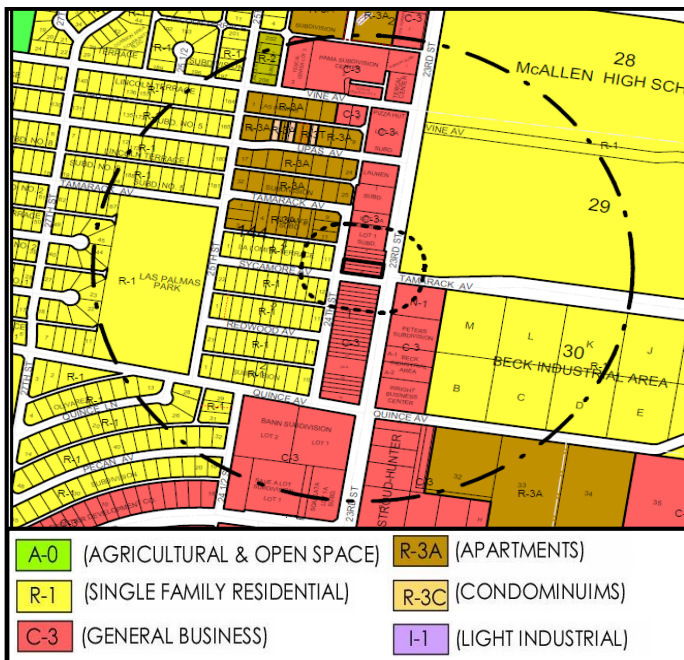
**FROM:** Planning Staff

**DATE:** July 27, 2021

**SUBJECT:** Request of Eric U. Young for a Conditional Use Permit, for One Year, for a Portable Food Concession Stand (Snow Cone Stand) at Lots 4 through 6, Block 1, La Lomita Terrace Subdivision, Hidalgo County, Texas; 1905 N 23<sup>rd</sup> Street. (CUP2021-0082)

#### BRIEF DESCRIPTION:

The subject property is located at the northwest corner of North 23<sup>rd</sup> Street and Sycamore Avenue. The property is zoned C-3 (general business) District, and the adjacent zoning is C-3 (general business) District to the north, south, and southeast, there is R-1 (single family residential) District to the east and west. Surrounding land uses include Via Executive Suites, Burger King, Solo Car Wash, H&R Block, McAllen High School, and single family residential homes. A snow cone stand is permitted in a C-3 zone with a conditional use permit and in compliance with requirements.



#### HISTORY:

The initial Conditional Use Permit for the property was approved for one year by the Planning and Zoning Commission on April 6, 1993. It should be noted that the use of the property continued



under regular operation. On November 28, 2005, Code Enforcement had informed the occupant of the property that the conditional use permit must be renewed every year, to which the occupant had stated that he did not know the conditional use permit was to be renewed every year, the occupant then stated that only the Health permit was being renewed. On November 29, 2005, the occupant applied for a new Conditional Use Permit for a Portable Food Concession Stand (Snow Cone Stand), and the Conditional Use Permit for the property was approved for one year by the Planning and Zoning Commission on January 3, 2006. The occupant applied for a renewal of the Conditional Use Permit for two consecutive years following the Conditional Use Permit of 2006, on April 18, 2007, and May 2, 2008. The use of the property continued under regular operation. A stop work order was issued on April 21, 2021 due to a carport placed on the property without a building permit. The code enforcement department found there was no Conditional Use Permit for the snow cone stand; the last Conditional Use Permit for the business was issued in 2009.

#### **REQUEST/ANALYSIS:**

There is a 21-foot by 28-foot portable food concession stand on the subject property. A carport measuring 26 feet by 18 feet provides shade for the seating area. The seating area has five tables, which seat four people per table. In regards to the parking area, there are 15 parking spaces. The applicant is proposing to continue to operate the portable food concession stand (snow cone stand); since the Conditional Use Permit lapsed, it must be considered by the Planning and Zoning Commission as a new request. The applicant is proposing to operate the business Monday through Saturday from 12:00 p.m. to 10:00 p.m. The snow cone stand requires eight parking spaces based on the square footage of the snow cone stand building and the seating area. Parking must comply with Section 138-400 as per the Zoning Ordinance.

The Fire and Health Department has conducted the necessary inspections for this property and is in compliance with applicable code requirements. Should the conditional use permit be approved, the applicant would be required to sign the application acknowledging and agreeing to all conditions of the permit. The snow cone stand must also meet the requirements set forth in Section 138-118(9) of the Zoning Ordinance as follows:

- 1) The proposed use shall not be located in a residentially zoned area. The property is zoned C-3 (general business) District.
- 2) The proposed use shall be inspected by Building Inspection Department and meet applicable building codes.
- 3) Must have paved off-street parking available over and above what is required for the business to which it is adjacent; eight parking spaces are required and 15 are provided.
- 4) Portable building must be anchored to the ground properly;
- 5) Must meet setback requirements of the zoning district in which it is located; and
- 6) Water and sewer facilities shall be required to the tract and may be required to the proposed used.



**RECOMMENDATION:**

Staff recommends approval of the request, for one year, subject to compliance with requirements of the Zoning Ordinance, Building Permit, Health and Fire Department requirements.



P+2 8/3/21



CITY OF McALLEN, TEXAS  
311 NORTH 15<sup>TH</sup> STREET, McALLEN, TX 78501

P. O. BOX 220, McALLEN, TEXAS 78505-0220 • (956) 681-1250 • FAX (956) 681-1279

Cup 2021-0082  
Permit No. \_\_\_\_\_

## PORTABLE FOOD CONCESSION STAND

CONDITIONAL USE PERMIT APPLICATION

(Please print or type)

Application Date 6/29/2021

Applicant Eric U. Young  
(first) (initial) (last)

PHONE NO.: \_\_\_\_\_

Mailing Address 1013 N. 27 1/2 McAllen Tx. 78501  
(city) (state) (zip)

Property Owner Joe Salinas  
(first) (initial) (last)

PHONE NO.: \_\_\_\_\_

Mailing Address 1500 Fullerton Ave. McAllen Texas 78504  
(city) (state) (zip)

Property Location 1905 N. 23<sup>rd</sup>  
(street address)

Property Legal Description La Comita Terrace

(subdivision)

(block)

(lot)

Current use of property Snow Cone Stand

Proposed use of property Snow Cone Stand

TERM OF PERMIT: ☒ 1 YEAR

☐ MORE THAN 1 YEAR (requires City Commission approval)

Monday - Saturday  
12pm - 10pm

### SITE PLAN (attach a drawing of the property showing the following)

Scale, north arrow, legal description of property

Location and height of all structures

Setback from property lines and between structures

Proposed changes and uses

Landscaping and fencing of yard

Off-street parking and loading

Driveway location & design

Location, type, height and lighting of all signs

(Applicant signature) [Signature]

(date) 7-7-2021

(Property owner signature) [Signature]

(date) 7-6-2021

### GENERAL INFORMATION

**NOTIFICATION AND PUBLIC HEARING:** Property owners within 200' of the subject property shall be notified within at least 10 working days of the Planning and Zoning Commission public hearing. Upon considering the recommendation of the Director of Planning, the Planning and Zoning Commission shall approve or disapprove the application.

**APPEALS PROCEDURE:** Any decision of the Planning and Zoning Commission may be appealed to the City Commission by presenting a petition to the City Commission within 10 days after the decision of the Planning and Zoning Commission and specifying the grounds for the appeal. A vote of 3/4 of the City Commission is required to overrule a vote of the Planning and Zoning Commission denying a conditional use permit.

**CANCELLATION:** A conditional use permit is automatically cancelled if not used within 6 months.

**REVOCATION:** A conditional use permit may be revoked by the Planning and Zoning Commission at a public hearing upon failure of the applicant to remedy a violation of the conditions of the permit within a specified time period (10 to 30 days) as specified in a written notice to the applicant by the Code Enforcement Officer or Building Inspector.

**RENEWAL PERIOD:** A conditional use permit shall expire within 1 year unless otherwise specified by the Planning and Zoning Commission. Application for renewal of a permit shall be made prior to 20 days before permit expiration. A permit for more than 1 year shall be approved by the City Commission.

### DEFINITIONS

**Itinerant Vendor** - A person engaged in the temporary or transient business of selling merchandise. Temporary and transient are defined as a period of 120 days or less.

### COMMENT

Itinerant vendors do not require a conditional use permit, but are regulated by Chapter 78: Peddlers and Itinerant Vendors. Applications and licenses for itinerant vendors are issued by the City Secretary.

OS UB

NM



FOR OFFICIAL USE ONLY

APPLICATION FILING FEE:

☒ \$300.00 One Year

☐ \$150.00 APPEAL

☐ \$500.00 Life of the Use

cash/check # \_\_\_\_\_

Amount paid

**ZONING DISTRICT REQUIREMENTS**

REQUIRED ZONING DISTRICT: C-1 TO I-2

CURRENT ZONING DISTRICT:

REZONING REQUIRED: \_\_\_\_\_ NO

\_\_\_\_\_ YES, attach rezoning application

SETBACKS: FRONT \_\_\_\_\_ SIDE \_\_\_\_\_ REAR \_\_\_\_\_

MAXIMUM HEIGHT: \_\_\_\_\_

MINIMUM LOT SIZE:

**CONDITIONAL USE REQUIREMENTS**

The proposed use meets all the minimum standards established in applicable city ordinances; and will not be detrimental to the health, welfare and safety of the surrounding neighborhood or its occupants, nor be substantially or permanently injurious to neighboring properties.

**GENERAL REQUIREMENTS:**

1. No form of pollution shall emanate beyond the immediate property line of the permitted use.
2. Additional reasonable restrictions or conditions such as increased open space, loading and parking requirements, suitable landscaping, curbing, sidewalks or other similar improvements may be imposed in order to carry out the spirit of the Zoning Ordinance or mitigate adverse effects of the proposed use.

**SPECIFIC REQUIREMENTS:**

1. The proposed use shall not be located in a residentially zoned area.
2. The proposed use shall be inspected by the Building Inspector and comply with applicable building codes.
3. The proposed use and adjacent business shall comply with the Off-street Parking and Loading Ordinance.
4. A portable building or trailer used for the proposed use shall be properly anchored to the ground.
5. The proposed use shall comply with the zoning district setback requirements.
6. Water and sewer facilities shall be required to the tract and may be required to the proposed use.

**DEPARTMENTAL REQUIREMENTS**

Complies with regulations	Health Inspection	/
Meet standard requirements	Fire Inspection	/
Subject to section: 138-118 ( )	Planning	/
Permit #	Building/Electrical/Plumbing	/
	Other	/

**CITY BOARD REQUIREMENTS**

PLANNING & ZONING COMMISSION DATE \_\_\_\_ / \_\_\_\_ / \_\_\_\_ APPROVED \_\_\_\_\_ DISAPPROVED \_\_\_\_\_ 1 YEAR \_\_\_\_\_ OTHER \_\_\_\_\_

REQUIRED CONDITIONS: \_\_\_\_\_

CITY COMMISSION DATE \_\_\_\_ / \_\_\_\_ / \_\_\_\_ APPROVED \_\_\_\_\_ DISAPPROVED \_\_\_\_\_ 1 YEAR \_\_\_\_\_ OTHER \_\_\_\_\_

REQUIRED CONDITIONS: \_\_\_\_\_

**ACKNOWLEDGEMENT AND AGREEMENT TO CONDITIONS**

Note: Approval of this permit does not constitute approval to construct, alter or repair. Appropriate building permits must be obtained. The foregoing is a true and correct description of the existing conditions and contemplated action and I will have full authority over the operation and/or construction of same, and hereby agree to comply with all ordinances of the City and applicable Deed Restrictions and assume all responsibility for such compliance. I further agree to discontinue any violations of the conditions of the permit upon notice given to me or anyone in charge of the above property by the Code Enforcement Officer. If the permit is revoked I agree to cease operation of the use upon notification of revocation. I understand that any violation of this ordinance is subject to a Five Hundred Dollar (\$500.00) fine for each day of violation. Please note that approval of this permit may result in a higher sanitation rate on your utility bill.

\_\_\_\_\_  
(Applicant signature)

\_\_\_\_\_  
(date)

In consideration of the above application, a permit is hereby granted for the above action conditioned upon the terms and specifications set forth above, and the faithful observance of all provisions of the City Building Code, Zoning Ordinance, and all other ordinances applicable to the same.

\_\_\_\_\_  
City Manager (or Agent)

\_\_\_\_\_  
(date)

NM



RECEIVED  
JUN 07 2021  
MM

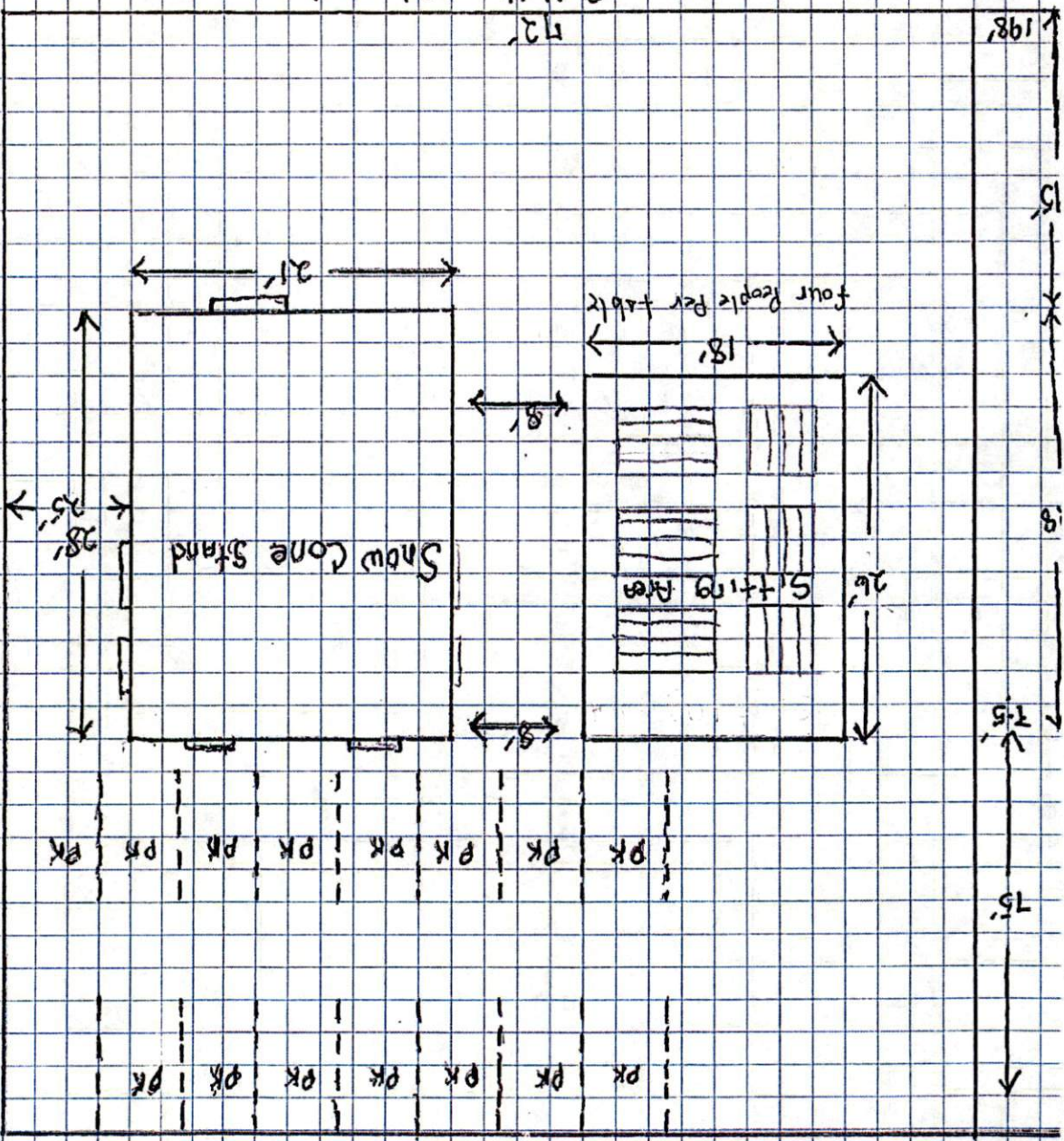
RECEIVED  
JUN 29 2021

SYCAMORE  
TAMARACK

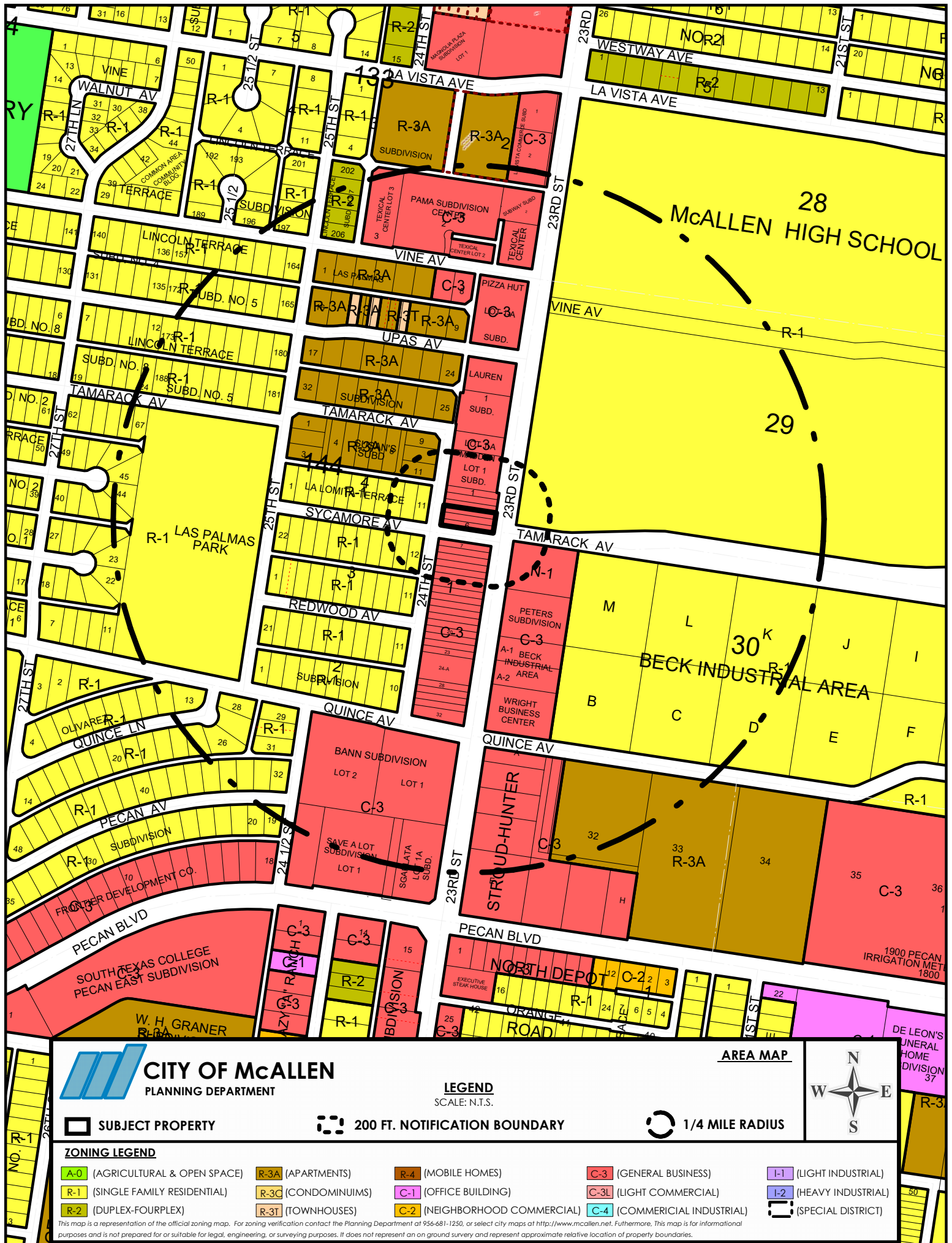
24th Street

23rd Street

North











**CITY OF McALLEN**  
PLANNING DEPARTMENT

**AERIAL MAP**  
SCALE: N.T.S.



**SUBJECT PROPERTY**



**200' NOTIFICATION BOUNDARY**



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NOTICE  
PORTABLE  
BUILDING  
FOR  
THIS PROPERTY  
CUP2021-0082



CITY OF McALLEN PLANNING DEPT.  
956-681-1250  
WWW.McALLEN.NET





## Planning Department

### Memo

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

**DATE:** July 14, 2021

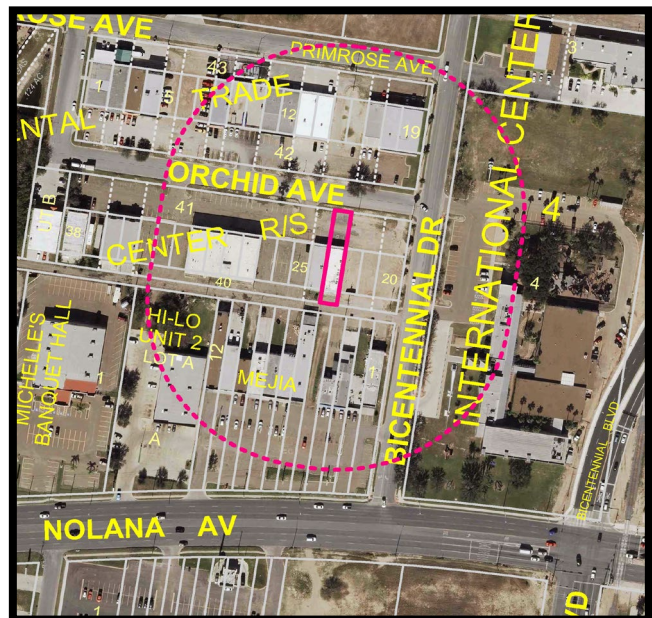
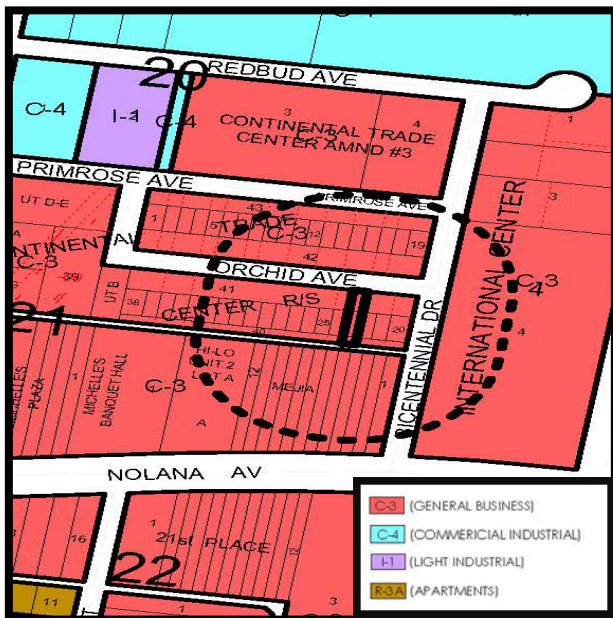
**SUBJECT: REQUEST OF JOHN A. SIMON, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR A BAR AT LOT 23, CONTINENTAL TRADE CENTER SUBDIVISION, HIDALGO COUNTY, TEXAS; 2007 ORCHID AVENUE. (CUP2021-0070)**

#### BRIEF DESCRIPTION:

The property is located on the south side of Orchid Avenue, approximately 100 ft. west of North Bicentennial Boulevard and is zoned C-3 (general business) District. The surrounding zoning is C-3 District in all directions. Surrounding land uses include the IMAS museum, gymnasium, dance studio, offices, retail, nightclubs and vacant properties. A bar is allowed in a C-3 zone with a conditional use permit and in compliance with requirements.

#### HISTORY:

The initial conditional use permit for this establishment (Simon Sez II) was approved by the Planning and Zoning Commission on March 16, 1993 and has been renewed annually. The last permit was approved for renewal on April 21, 2020.



#### SUMMARY/ANALYSIS:

The applicant is proposing to continue to operate a bar from the existing building. The hours of operation will continue to be from 4:00 p.m. to 2:00 a.m. Monday through Friday and 6:00 p.m. through 2:00 a.m. Saturday.



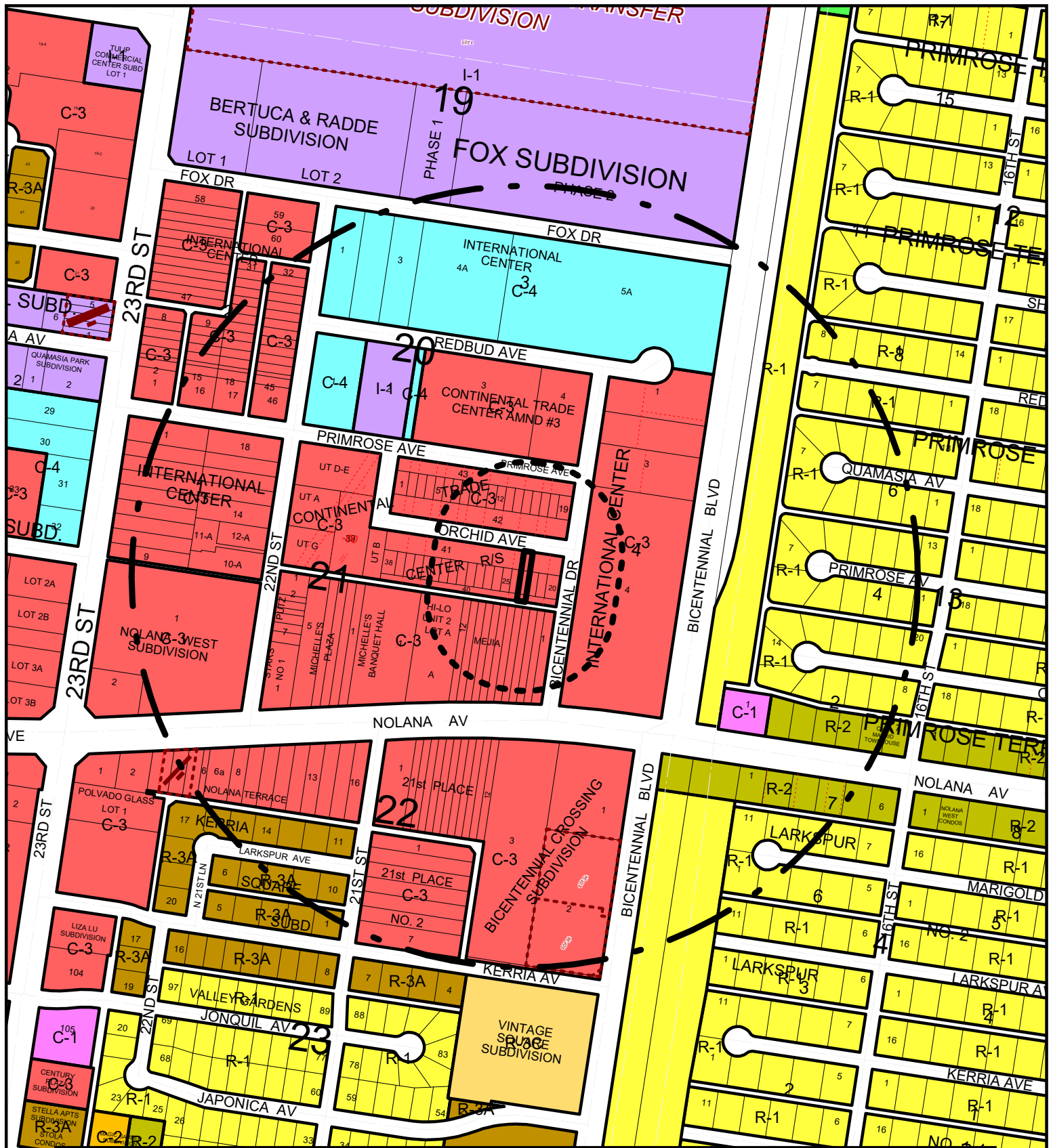
Attached is the Police Activity report for service calls from July 01, 2020 to July 14, 2021. No concerns or complaints have been received by the Planning Department. The Fire and Health Departments have inspected the location; no violations were found. Staff has not received any calls in opposition to the request. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of those businesses having late hours (after 10:00 p.m.) must be at least 300 ft. from the nearest residence, church, school or publicly-owned property or must provide sufficient buffer and sound insulation of the building such that the building is not visible and cannot be heard from the residential areas. The establishment is within 300 ft. of the McAllen International Museum; however, staff has not received any complaints from the McAllen International Museum Board.
- 2) The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The establishment has direct access to Orchid Avenue and is near Nolana Avenue.
- 3) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional on site parking. Based on the square footage of the building, 24 parking spaces are required. Seven parking spaces are provided on site. Parking agreements were submitted to meet parking requirements with a total of 27 spaces. The parking agreements are currently valid and have an expiration date of August 31, 2021 (five-year term).
- 4) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties by providing, when necessary, fences, hedges or reorientation of entrances and exits under the vegetation ordinance. The unpaved areas (east side) cannot be used for parking. This area is not fenced off.
- 5) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
- 6) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and
- 7) The above mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director. The allowable number of persons within the building shall be restricted to 96 persons.

**RECOMMENDATION:**

Staff recommends approval of the request, for one year, subject to the conditions noted, renewal of the parking agreement, and compliance with requirements in Section 138-118(4) of the Zoning Ordinance, and Health and Fire Department requirements.





# **CITY OF McALLEN** PLANNING DEPARTMENT

## **LEGEND** R-1: N.T.S.

**SUBJECT PROPERTY**

**300 FT. NOTIFICATION BOUNDARY**

**1/4 MILE RADIUS**

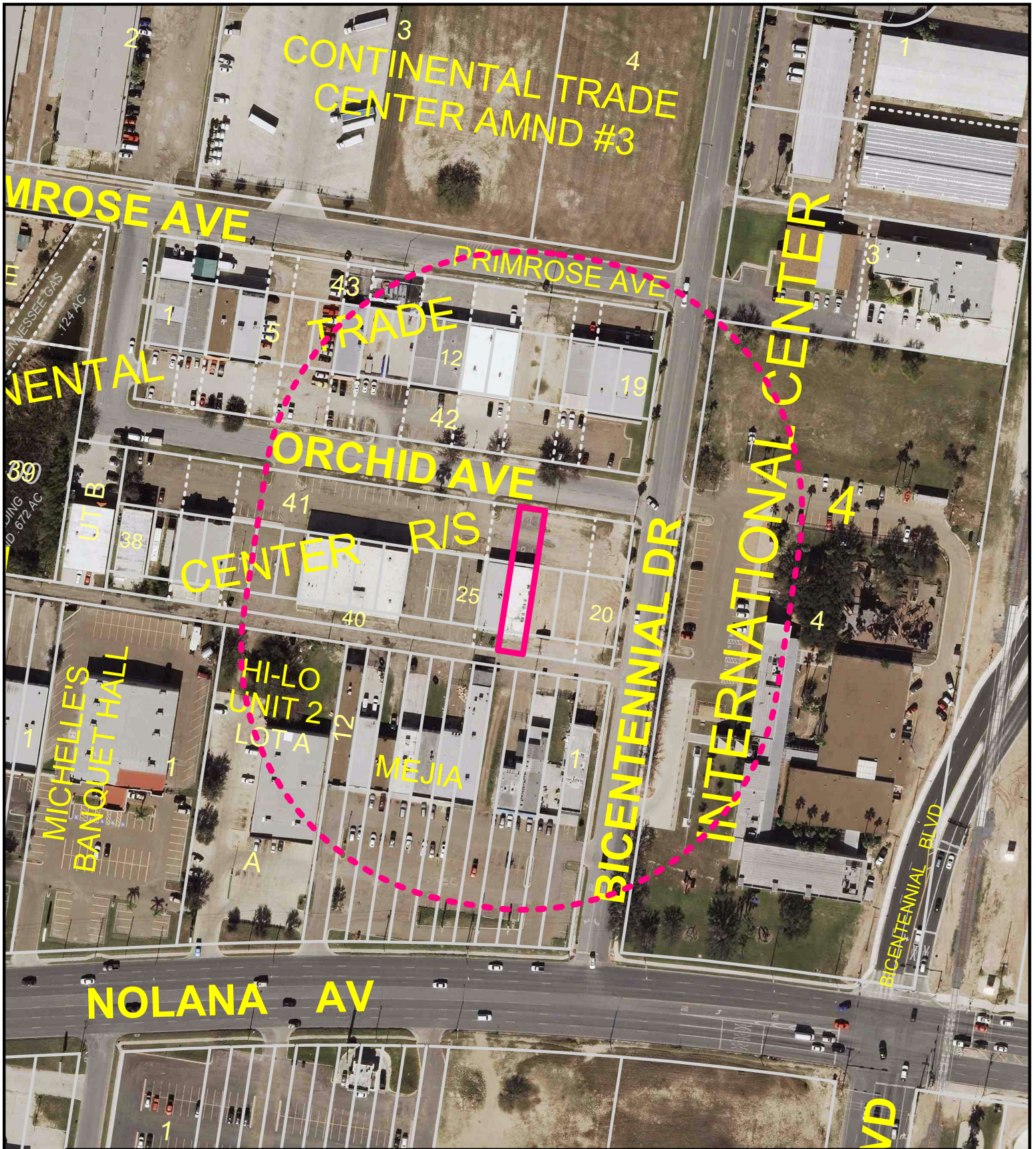


### **ZONING LEGEND**

(AGRICULTURAL & OPEN SPACE)	(APARTMENTS)	(MOBILE HOMES)	(GENERAL BUSINESS)	(LIGHT INDUSTRIAL)
(SINGLE FAMILY RESIDENTIAL)	(CONDOMINIUMS)	(OFFICE BUILDING)	(LIGHT COMMERCIAL)	(HEAVY INDUSTRIAL)
(DUPLEX-FOURPLEX)	(TOWNHOUSES)	(NEIGHBORHOOD COMMERCIAL)	(COMMERCIAL INDUSTRIAL)	(SPECIAL DISTRICT)

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**CITY OF McALLEN**  
PLANNING DEPARTMENT

**AERIAL MAP**  
SCALE: N.T.S.



**SUBJECT PROPERTY**



**300' NOTIFICATION BOUNDARY**



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# Incident Analysis Report

## Summary

**Print Date/Time:** 07/14/2021 12:32  
**Login ID:** mcpd7004  
**Incident Type:** All  
**Call Source:** All

**From Date:** 07/01/2020 00:01  
**To Date:** 07/14/2021 12:00

McAllen Police Department  
**ORI Number:** TX1080800  
**Officer ID:** All  
**Location:** 2007 ORCHID AVE, MCALLEN

Incident Date/Time	Incident Number	Incident Type	Location
05/15/2021 03:04	2021-00034857	Assist Other Agency	2007 ORCHID AVE

**Total Matches:** 1





NOTICE  
BAR  
FOR  
THIS PROPERTY  
CUP2021-0070



## Planning Department

### Memo

**TO:** Planning and Zoning Commission

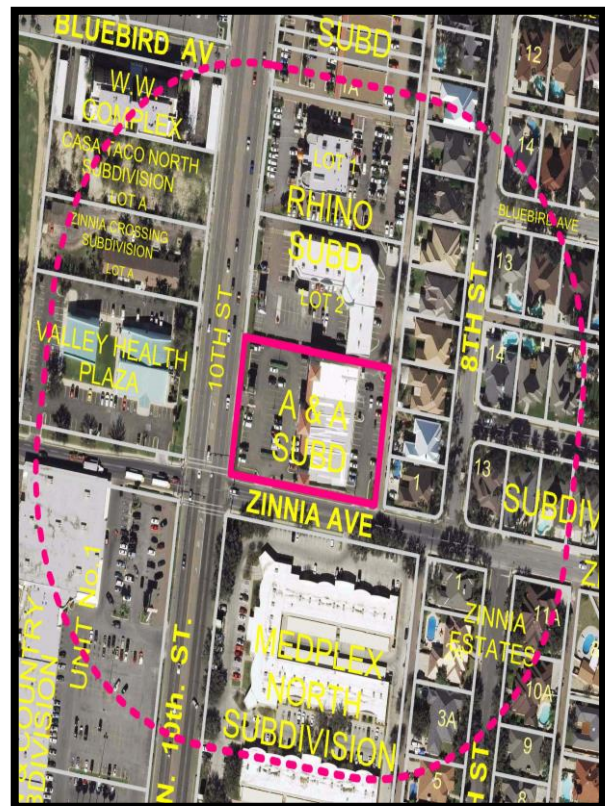
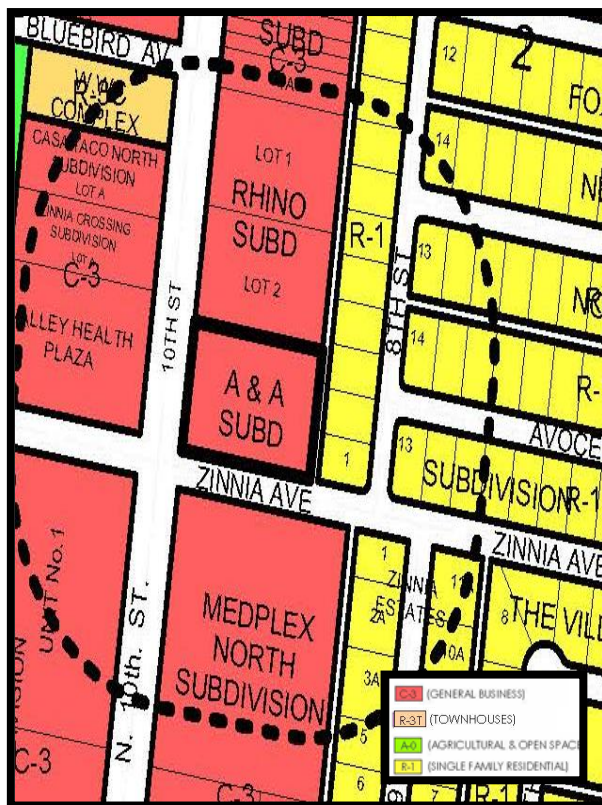
**FROM:** Planning Staff

**DATE:** July 16, 2021

**SUBJECT: REQUEST OF LIZA SALINAS, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR A BAR AT LOT 1, A & A SUBDIVISION, HIDALGO COUNTY, TEXAS; 5204 NORTH 10TH STREET. (CUP2021-0071)**

#### BRIEF DESCRIPTION:

The property is located at the northeast corner of North 10<sup>th</sup> Street and Zinnia Avenue, and is zoned C-3 (general business) District. The adjacent zoning is R-1 (single family residential) District to the east and C-3 (general business) District to the north, south, and west. Surrounding land uses include commercial businesses, offices, restaurants, and single-family residences. A bar is allowed in a C-3 zone with a Conditional Use Permit and in compliance with requirements.





**REQUEST/ANALYSIS:**

The applicant is proposing to operate a bar (Kiss and Fly) from the proposed 3600 sq. ft. The proposed hours of operation will be from 5:00 p.m. to 12:00 a.m. Monday through Friday.

The Fire Department and Health Department has inspected the establishment, and the property is in compliance. The police activity report is attached, which indicates service calls from July 2020 to present. The Planning Department has not received any calls in opposition to the request. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

- a) The property line of the lot of any of the above mentioned businesses must be at least 400 ft. from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The proposed establishment is within 400 ft. of residential zones;
- b) The abovementioned businesses must be as close as possible to a major arterial, and shall not allow the traffic generated by such businesses onto residential streets, or allow such traffic to exit into and disrupt residential areas. The property has direct access to 10<sup>th</sup> Street and Zinnia Avenue;
- c) The abovementioned businesses must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. Currently there is a multi-tenant commercial building on the property. The shopping center is a mixture of office, retail, vacant suites, and restaurants. The proposed bar is required 36 parking spaces; 90 parking spaces are provided on the common parking area in the front and rear of the building. As per section 138-400(a) of the Off-Street Parking and Loading requirements, all off-street parking must be clearly striped and free of potholes.
- d) The abovementioned businesses must do everything possible to prevent the unauthorized parking by the patrons of such businesses on adjacent business or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances;
- e) The abovementioned businesses should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility as much as possible of the site from a public street;
- f) The abovementioned businesses must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties;
- g) The abovementioned businesses shall restrict the number of persons within the building to those allowed by the planning and zoning commission at the time of



permit issuance, after having taken into account the recommendations of the fire marshal, building official and director of planning. The occupancy load for this establishment will be established by the Building department as part of the building permit review.

**RECOMMENDATION:**

Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(4) of the Zoning Ordinance.









**CITY OF McALLEN**  
PLANNING DEPARTMENT

**AERIAL MAP**  
SCALE: N.T.S.



**SUBJECT PROPERTY**

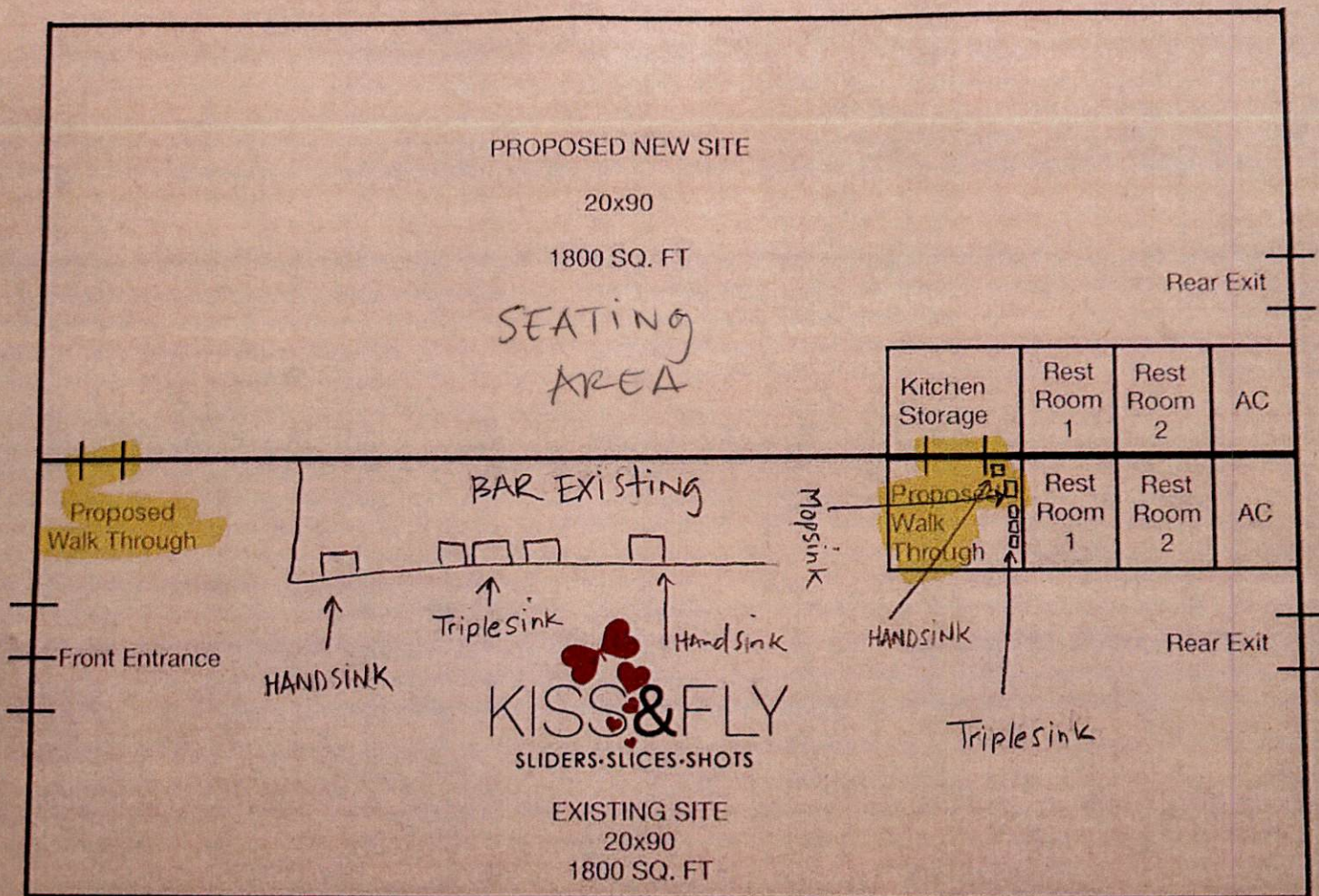


**400' NOTIFICATION BOUNDARY**



This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property on ground survey and represent approximate relative location of property boundaries.



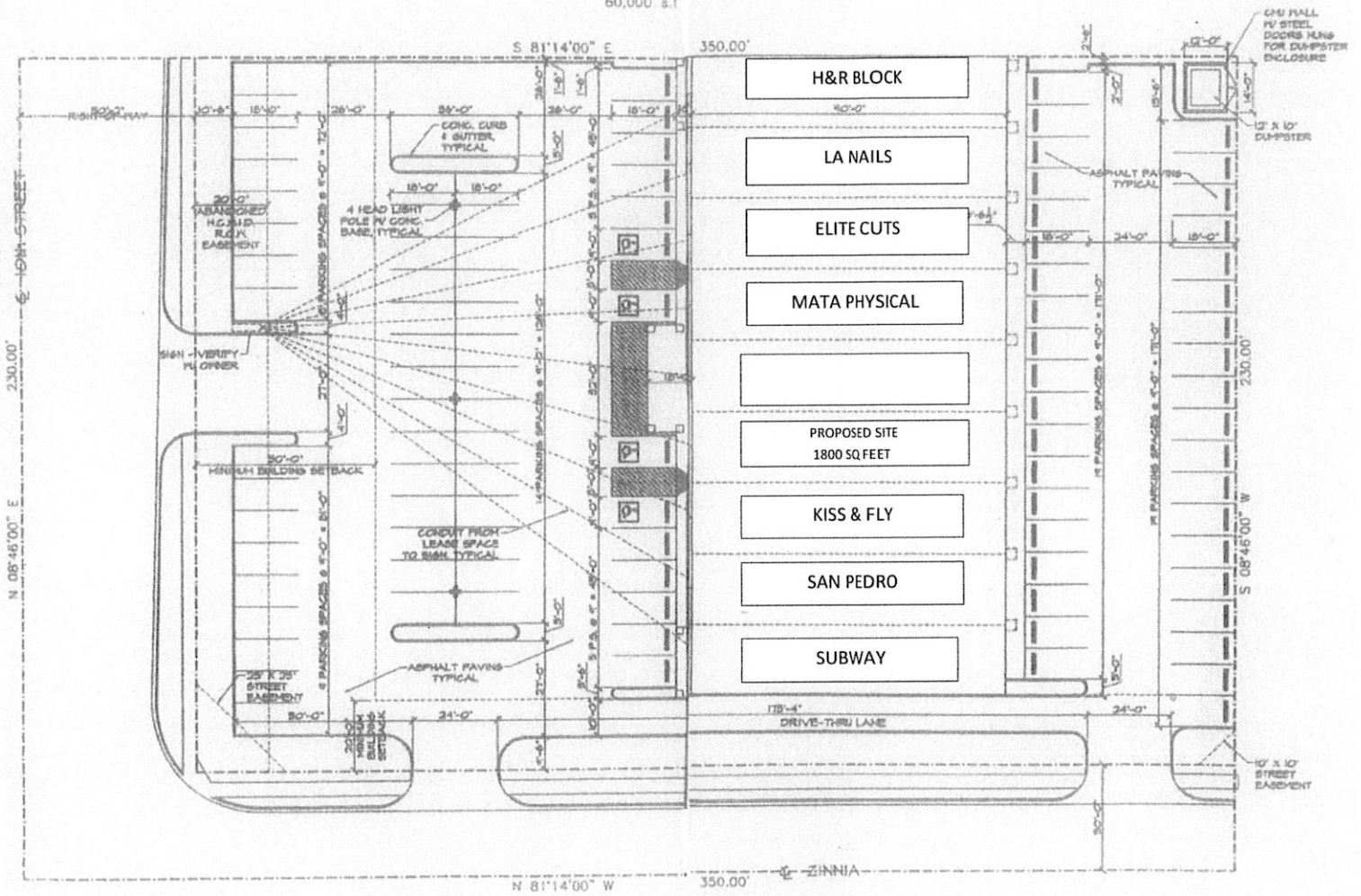


RECEIVED  
JUN 25 2021

BY: *[Signature]*



60,000 s.f.







## Incident Analysis Report

**From Date:** 7/1/2020  
**To Date:** 7/14/2021  
**Location:** 5204 N 10TH ST, MCALLEN

Call Date/Time	Incident Number	Incident Type	Location
6/8/2021 23:06	2021-00041297	Intoxicated Driver	5204 N 10TH ST, MCALLEN
6/7/2021 1:42	2021-00040842	Violation of a Protective Order	5204 N 10TH ST, MCALLEN
6/3/2021 1:57	2021-00039695	Domestic Disturbance	5204 N 10TH ST, MCALLEN
5/13/2021 1:35	2021-00034225	Domestic Disturbance	5204 N 10TH ST, MCALLEN
4/28/2021 20:51	2021-00030253	Harassment	5204 N 10TH ST, MCALLEN
4/18/2021 1:23	2021-00027472	Assault	5204 N 10TH ST, MCALLEN
4/18/2021 1:08	2021-00027467	Assist Other Agency	5204 N 10TH ST, MCALLEN
4/8/2021 1:50	2021-00024761	Intoxicated Person	5204 N 10TH ST, MCALLEN
3/16/2021 23:46	2021-00019120	Intoxicated Driver	5204 N 10TH ST, MCALLEN
3/6/2021 0:48	2021-00016390	Assault	5204 N 10TH ST, MCALLEN
2/19/2021 23:36	2021-00012682	Domestic Disturbance	5204 N 10TH ST, MCALLEN
2/19/2021 23:03	2021-00012675	Intoxicated Driver	5204 N 10TH ST, MCALLEN
2/8/2021 2:24	2021-00009412	Theft	5204 N 10TH ST, MCALLEN
2/8/2021 1:36	2021-00009406	Theft	5204 N 10TH ST, MCALLEN
1/25/2021 1:38	2021-00005764	Domestic Disturbance	5204 N 10TH ST, MCALLEN
12/15/2020 23:47	2020-00085660	Theft	5204 N 10TH ST, MCALLEN
11/16/2020 23:15	2020-00078465	Ordinance Violation	5204 N 10TH ST, MCALLEN
11/5/2020 1:45	2020-00075474	Traffic Hazard	5204 N 10TH ST, MCALLEN
9/6/2020 2:10	2020-00060879	Traffic Hazard	5204 N 10TH ST, MCALLEN
8/17/2020 23:18	2020-00055877	Police Services	5204 N 10TH ST, MCALLEN
8/11/2020 23:36	2020-00054391	Police Services	5204 N 10TH ST, MCALLEN

**Total Matches:** 21





**NOTICE  
BAR  
FOR  
THIS PROPERTY  
CUP2021-0071**



CITY OF MCALLEN PLANNING DEPT.  
956-681-1250  
WWW.MCALLEN.NET





## Memo

**TO:** Planning and Zoning Commission

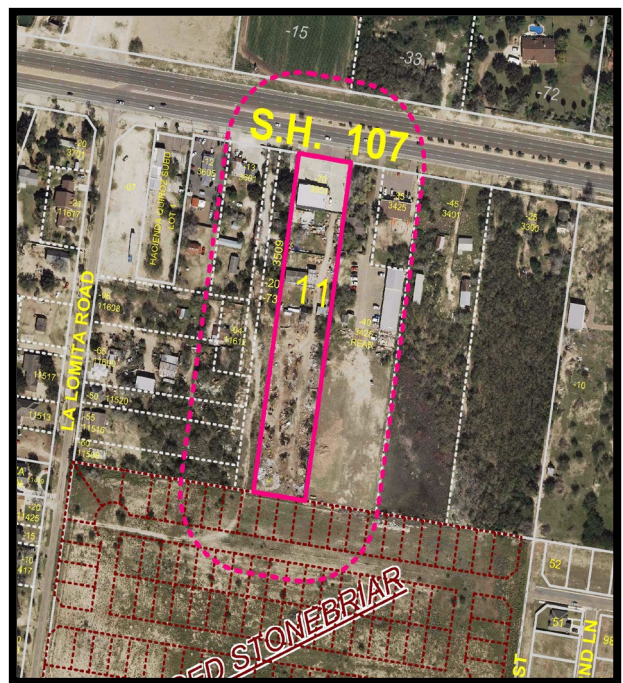
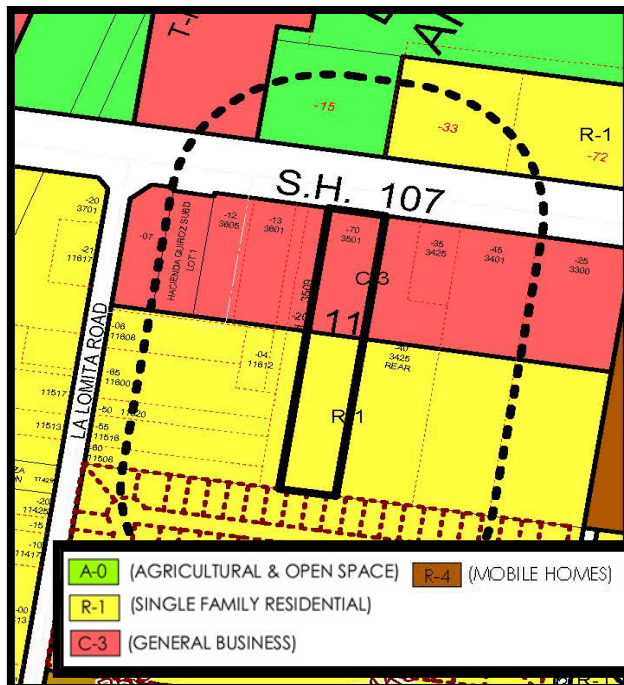
**FROM:** Planning Staff

**DATE:** July 15, 2021

**SUBJECT: REQUEST OF MARIA I. EWENS FOR A CONDITIONAL USE PERMIT, FOR A YEAR, FOR AN EVENT CENTER AT THE 2.77 ACRES OUT OF LOT 11, LA LOMITA (HOIT) SUBDIVISION, HIDALGO COUNTY, TEXAS, 3501 STATE HIGHWAY 107. (CUP2021-0072)**

### BRIEF DESCRIPTION:

The property is located on the south side of State Highway 107, approximately 500 ft. east of La Lomita Road. A portion is zoned C-3 (general business) District and the other portion is zone R-1 (single family residential). The adjacent zoning is C-3 District to the east and west, and R-1 District to the south and A-O (agricultural & open space) and R-1 District to the north. An event center is permitted in a C-3 zone with a conditional use permit and in compliance with requirements.



### HISTORY:

The initial conditional use permit for this establishment was approved by the Planning and Zoning Commission on July 02, 2019. A renewal was not done for the year 2020.



**REQUEST/ANALYSIS:**

There is an approximately 4,000 sq. ft. building on the property with a car lot office, a vacant suite, and a proposed event center. The applicant is proposing to utilize a 2,146 sq. ft. suite for an event center. The operation hours will be from Monday to Sunday from 6:00 P.M. to 12:00 A.M.

Attached is the Police Activity report for service calls from July 01, 2020 to July 14, 2021. The Fire Department have inspected the location, and the establishment is in compliance. The Health Department inspection is still pending. Staff has not received any calls in opposition to the request. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of the lot of any of the abovementioned businesses must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The property is within 400 ft. of residential zones or uses;
- 2) The abovementioned businesses must be as close as possible to a major arterial, and shall not allow the traffic generated by such businesses onto residential streets, or allow such traffic to exit into and disrupt residential areas. The property fronts State Highway 107 and it does not generate traffic into residential areas;
- 3) The abovementioned businesses must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking; Based on the 2,146 sq. ft. suite where the event center is proposing to operate, 22 parking spaces are required; 30 parking spaces are provided on site. The proposed operation hours of the event center do not interfere with the operation hours of the car lot. For the whole building to operate at the same time, 35 parking spaces would be required.
- 4) The abovementioned businesses must do everything possible to prevent the unauthorized parking by the patrons of such businesses on adjacent business or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances.;
- 5) The abovementioned businesses should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility of as much as possible of the site from a public street.;

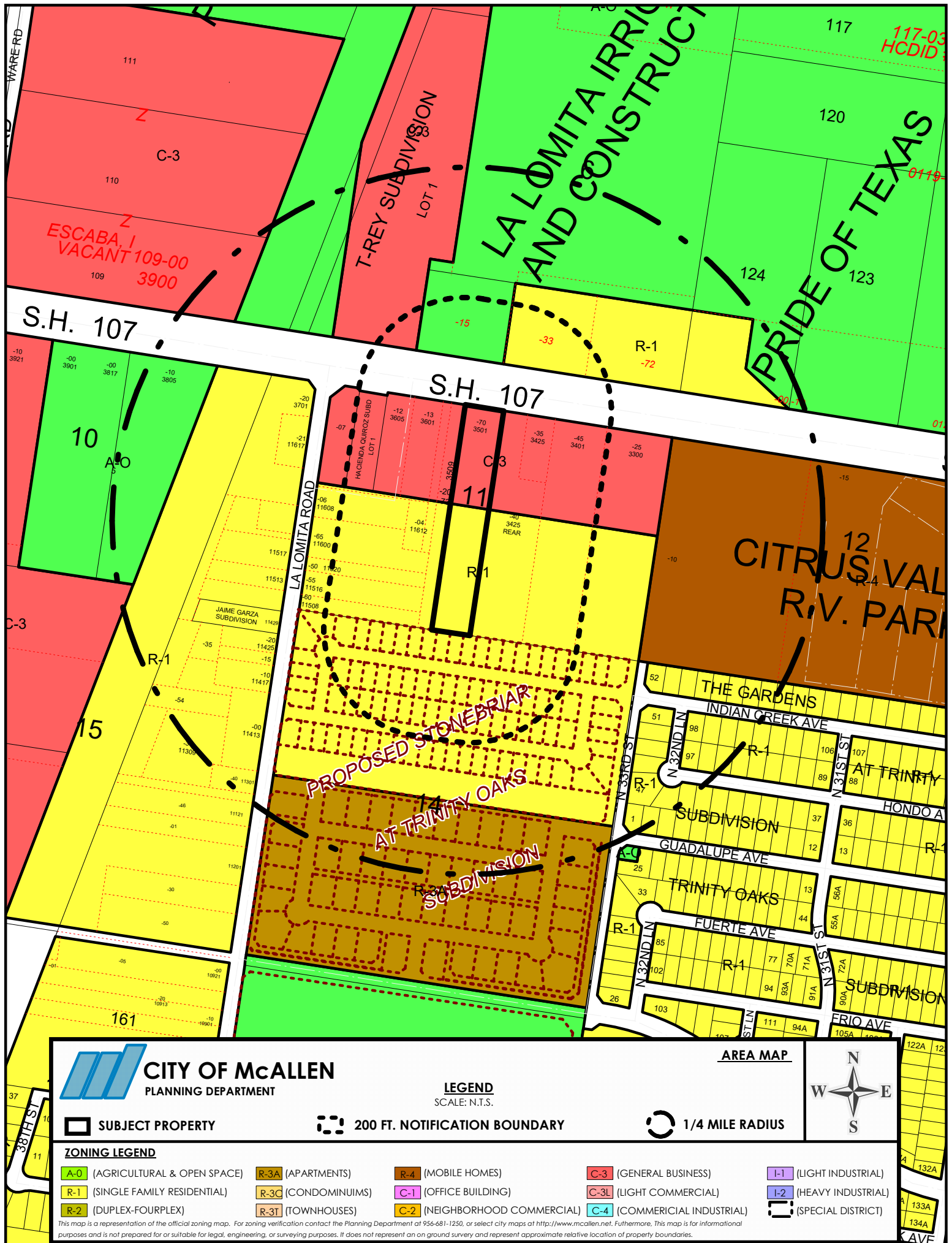


- 6) The abovementioned businesses must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties;
- 7) The abovementioned businesses shall restrict the number of persons within the building to those allowed by the planning and zoning commission at the time of permit issuance, after having taken into account the recommendations of the fire marshal, building official and director of planning. This number cannot exceed the number provided for in existing city ordinances.

**RECOMMENDATION:**

Staff recommends disapproval of the request, for one year, subject to non-compliance with requirement #1 (distance) of Section 138-118 (4) of Zoning Ordinance.





# CITY OF McALLEN

PLANNING DEPARTMENT

## LEGEND

SCALE: N.T.S.

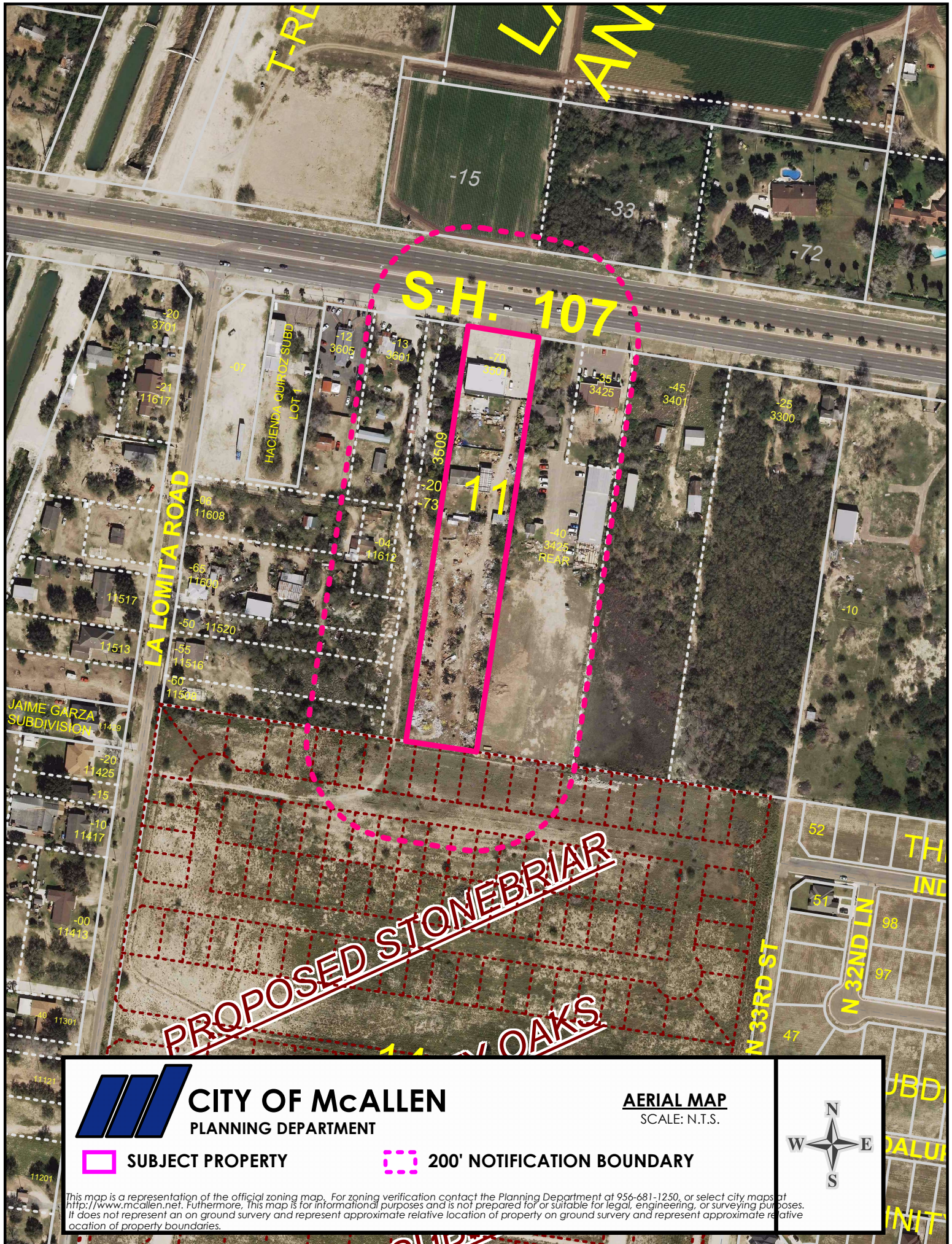
- SUBJECT PROPERTY
- 200 FT. NOTIFICATION BOUNDARY
- 1/4 MILE RADIUS

### ZONING LEGEND

- |                                 |                     |                               |                         |                        |
|---------------------------------|---------------------|-------------------------------|-------------------------|------------------------|
| A-0 (AGRICULTURAL & OPEN SPACE) | R-3A (APARTMENTS)   | R-4 (MOBILE HOMES)            | C-3 (GENERAL BUSINESS)  | I-1 (LIGHT INDUSTRIAL) |
| R-1 (SINGLE FAMILY RESIDENTIAL) | R-3C (CONDOMINIUMS) | C-2 (NEIGHBORHOOD COMMERCIAL) | C-3L (LIGHT COMMERCIAL) | I-2 (HEAVY INDUSTRIAL) |
| R-2 (DUPLEX-FOURPLEX)           | R-3T (TOWNHOUSES)   | C-4 (COMMERCIAL INDUSTRIAL)   | S (SPECIAL DISTRICT)    |                        |

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12 ft

Mairnes Events

CXL  
Auto Sale

77

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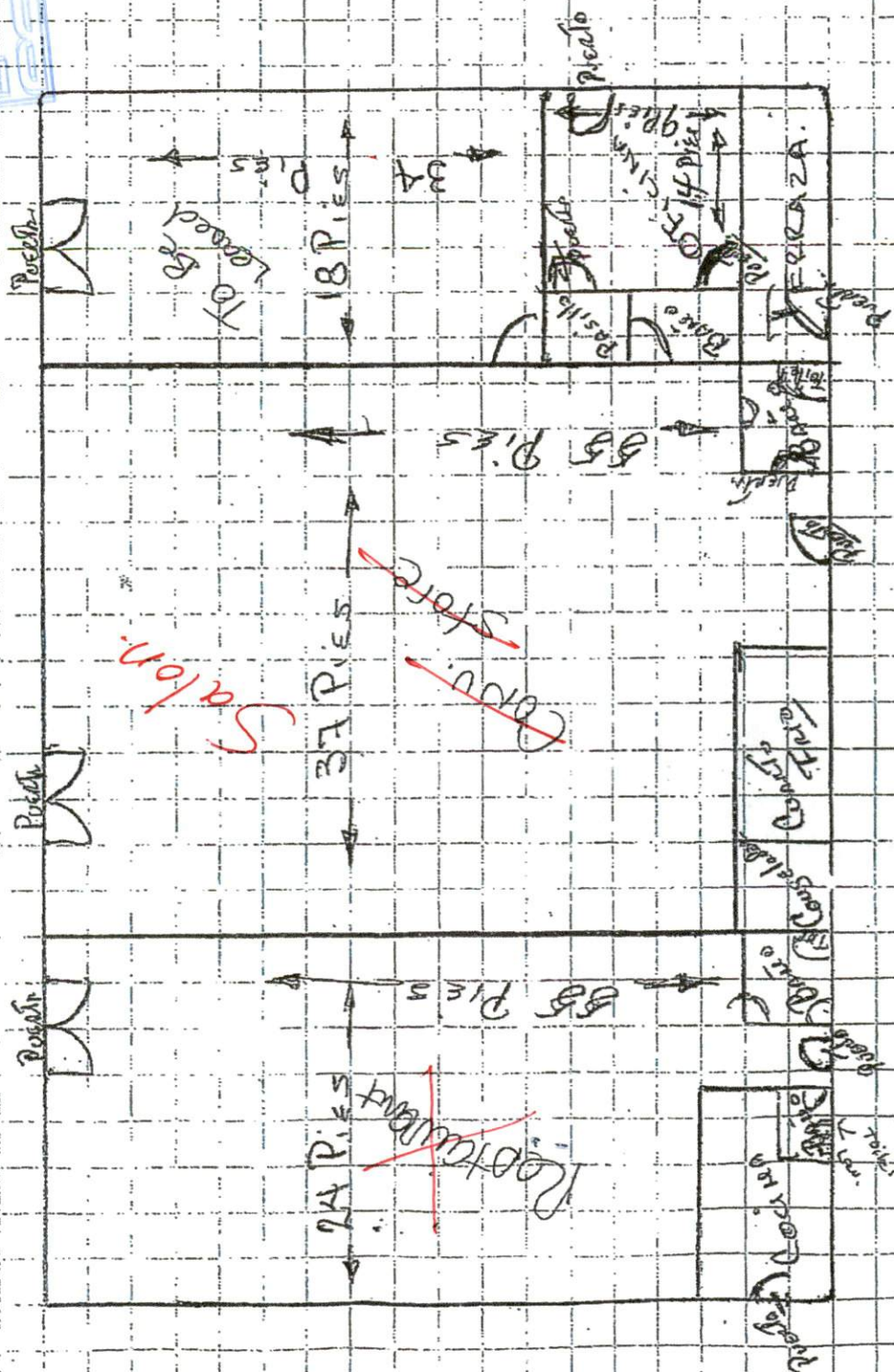
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By MR



JUN 29 2021

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# Incident Analysis Report

## Summary

**Print Date/Time:** 07/14/2021 12:36  
**Login ID:** mcpd7004  
**Incident Type:** All  
**Call Source:** All

**From Date:** 07/01/2020 00:01  
**To Date:** 07/14/2021 12:00

McAllen Police Department  
**ORI Number:** TX1080800  
**Officer ID:** All  
**Location:** 3501 STATE HIGHWAY 107,

Incident Date/Time	Incident Number	Incident Type	Location
Total Matches: 0			







## **Memo**

**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

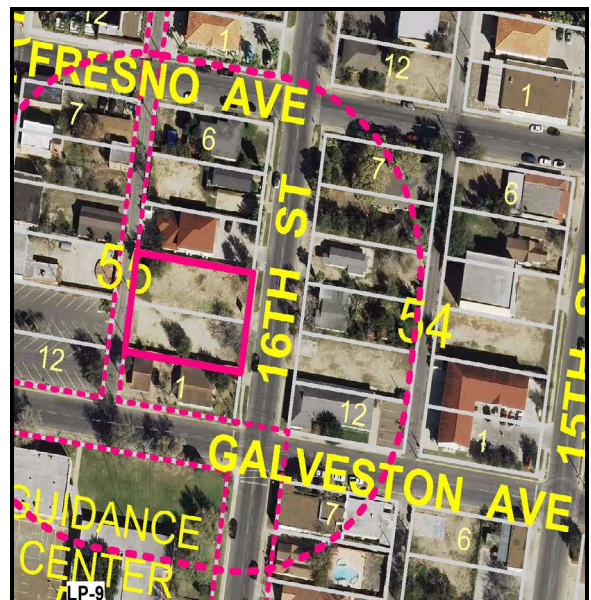
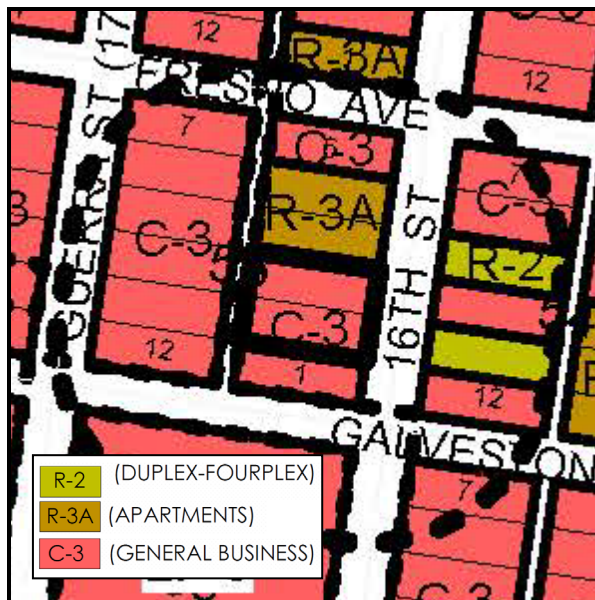
**DATE:** July 16, 2021

**SUBJECT: REQUEST OF JESUS HENRY SAENZ FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR A PORTABLE BUILDING GREATER THAN 10' X 12' (OFFICE) AT LOTS 2 AND 3, BLOCK 55, MCALLEN ADDITION SUBDIVISION, HIDALGO COUNTY, TEXAS; 616 SOUTH 16<sup>TH</sup> STREET. (CUP2021-0083)**

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### **BRIEF DESCRIPTION:**

The property is located on the west side of South 16<sup>th</sup> Street, approximately 70 ft. north of Galveston Avenue. The property is zoned C-3 (general business) District. The adjacent zoning is C-3 to the east, west, and south, and R-3A (apartments) District to the north. Surrounding land uses include commercial businesses, single and multi-family residences. A portable building is allowed in a C-3 District with a Conditional Use Permit and in compliance with requirements.



### **HISTORY:**

The initial conditional use permit for a portable building was approved for one year on November 18, 2014 by the Planning and Zoning Commission. The last conditional use permit for a portable building was disapproved on April 11, 2016 by the City Commission for a Conditional Use Permit for One Year for a Portable Building Greater than 10ft. X 12ft. for an office for a tow truck business.



**REQUEST/ANALYSIS:**

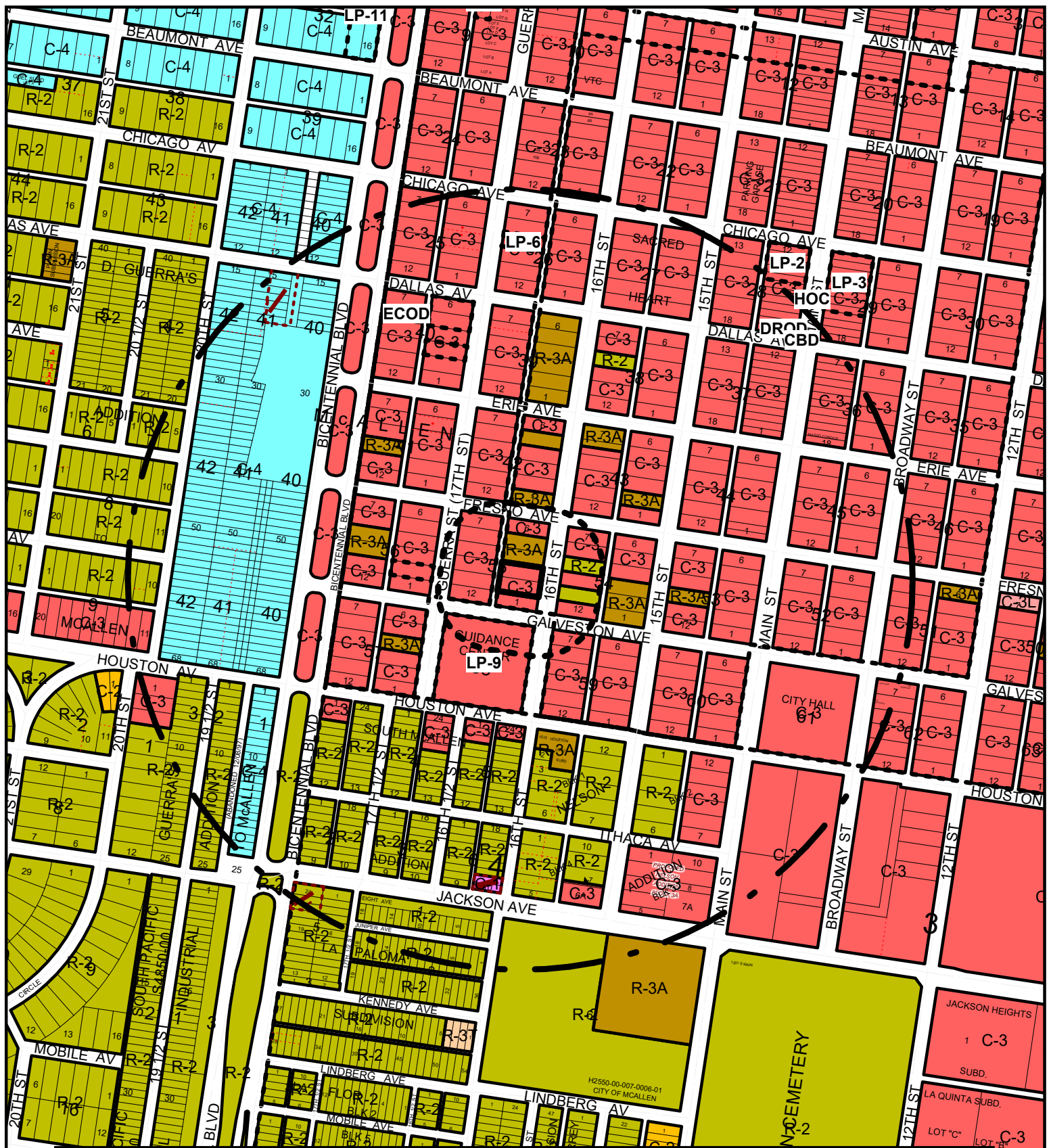
The applicant is proposing to operate an existing portable building on site, which will be used as an office for an AC repair business. The applicant is proposing to utilize the 40 ft. by 10 ft. portable building on the property as the office for the proposed AC repair business. The Fire Department has inspection is still pending. The portable building must also meet the requirements set forth in Section 138-118(3) of the Zoning Ordinance as follows:


- 1) Portable buildings must not be used for living quarters. The building will be used for office purposes;
- 2) Must be located in such a manner as to have access to a public right-of-way within 200 ft. The property fronts South 16<sup>th</sup> Street;
- 3) The proposed use and adjacent businesses shall comply with the off-street parking and loading ordinance. Based on the square footage, 5 parking spaces are required for the proposed portable building. The site plan provides 6 parking spaces. Access to the site is from South 16<sup>th</sup> Street and the paved alley at the rear of the lot;
- 4) Must provide for garbage and trash collection and disposal;
- 5) Must be connected to an approved water distribution and sewage disposal system;
- 6) No form of pollution shall emanate beyond the immediate property line of the permitted use; and no outside storage of equipment or material.
- 7) Additional reasonable restrictions or conditions such as increased open space, loading and parking requirements, suitable landscaping, curbing, sidewalks or other similar improvements may be imposed in order to carry out the spirit of the Zoning Ordinance or mitigate adverse effects of the proposed use.

**RECOMMENDATION:**

Staff recommends approval of the request, subject to Section 138-118(3) of the Zoning Ordinance, Building Permit and Fire Department requirements.










**CITY OF McALLEN**  
PLANNING DEPARTMENT


**LEGEND**  
SCALE: N.T.S.

 **SUBJECT PROPERTY**

 **200 FT. NOTIFICATION BOUNDARY**

 **1/4 MILE RADIUS**

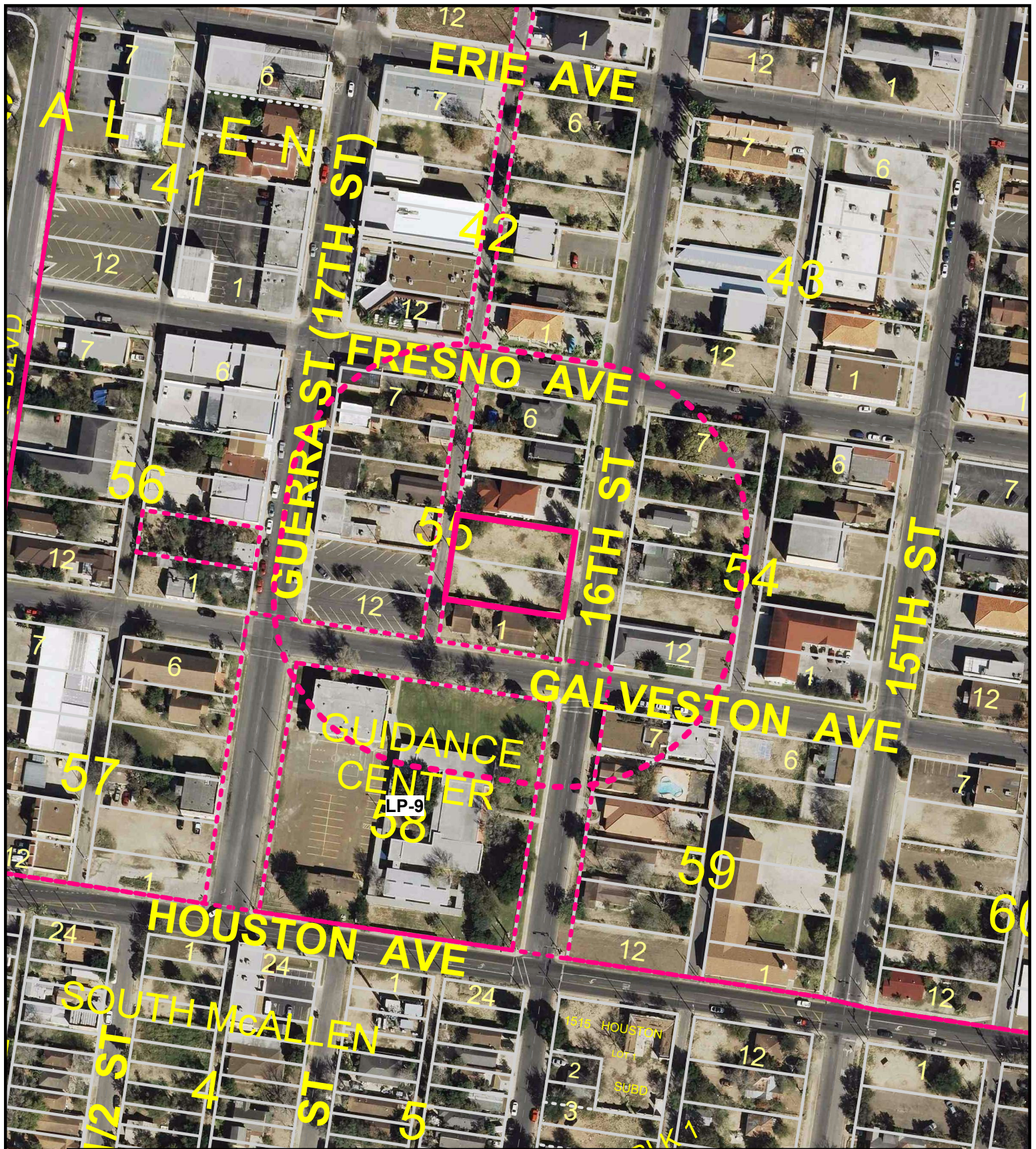
**ZONING LEGEND**

<b>A-0</b> (AGRICULTURAL & OPEN SPACE)	<b>R-3A</b> (APARTMENTS)	<b>R-4</b> (MOBILE HOMES)	<b>C-3</b> (GENERAL BUSINESS)	<b>I-1</b> (LIGHT INDUSTRIAL)
<b>R-1</b> (SINGLE FAMILY RESIDENTIAL)	<b>R-3C</b> (CONDOMINIUMS)	<b>C-4</b> (OFFICE BUILDING)	<b>C-3L</b> (LIGHT COMMERCIAL)	<b>I-2</b> (HEAVY INDUSTRIAL)
<b>R-2</b> (DUPLEX-FOURPLEX)	<b>R-3T</b> (TOWNHOUSES)	<b>C-2</b> (NEIGHBORHOOD COMMERCIAL)	<b>C-4</b> (COMMERCIAL INDUSTRIAL)	 (SPECIAL DISTRICT)

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**CITY OF McALLEN**  
PLANNING DEPARTMENT

**AERIAL MAP**  
SCALE: N.T.S.



**SUBJECT PROPERTY**



**200' NOTIFICATION BOUNDARY**



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# **CITY OF McALLEN** PLANNING DEPARTMENT

## **AREA MAP**



**SUBJECT PROPERTY**

**200 FT. NOTIFICATION BOUNDARY**

**1/4 MILE RADIUS**

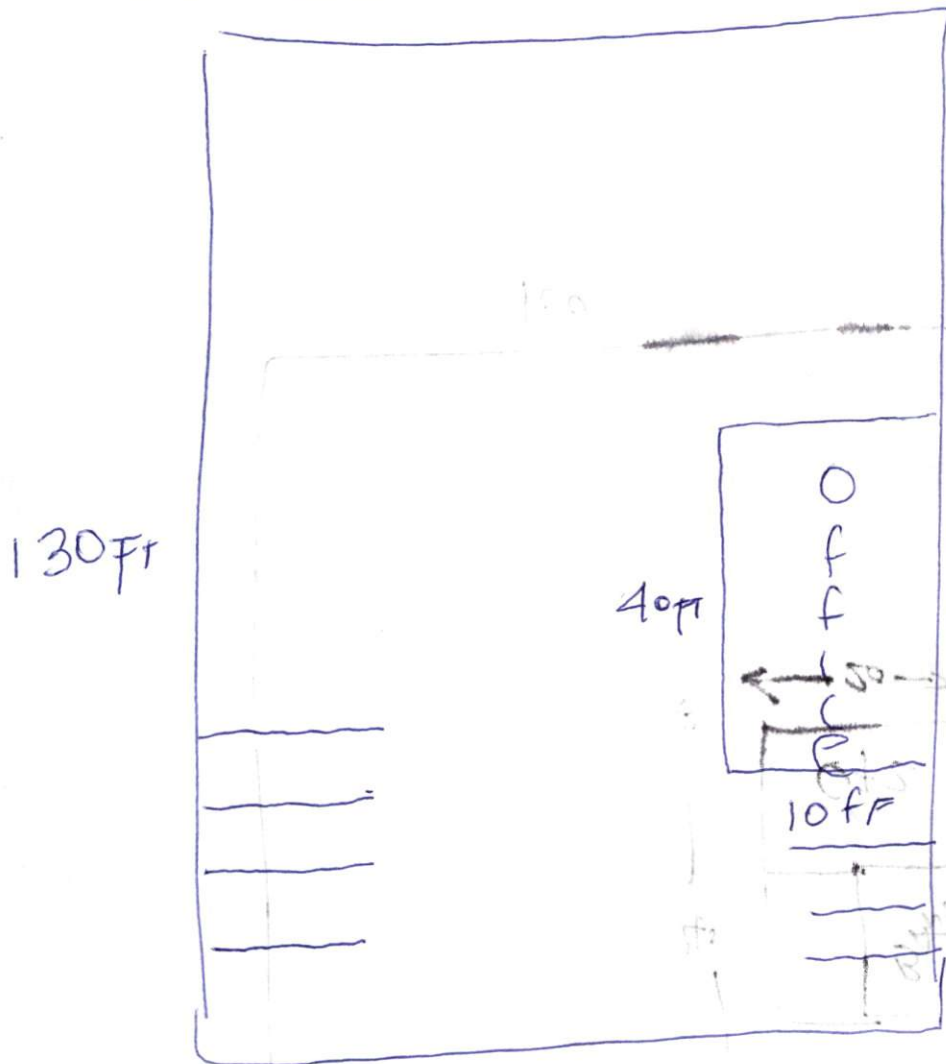
### **ZONING LEGEND**

A-O (AGRICULTURAL & OPEN SPACE)	R-3A (APARTMENTS)	R-4 (MOBILE HOMES)	C-3 (GENERAL BUSINESS)	I-1 (LIGHT INDUSTRIAL)
R-1 (SINGLE FAMILY RESIDENTIAL)	R-3C (CONDOMINIUMS)	C-1 (OFFICE BUILDING)	C-3L (LIGHT COMMERCIAL)	I-2 (HEAVY INDUSTRIAL)
R-2 (DUPLEX-FOURPLEX)	R-3T (TOWNHOUSES)	C-2 (NEIGHBORHOOD COMMERCIAL)	C-4 (COMMERCIAL INDUSTRIAL)	(SPECIAL DISTRICT)

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CALLEJON

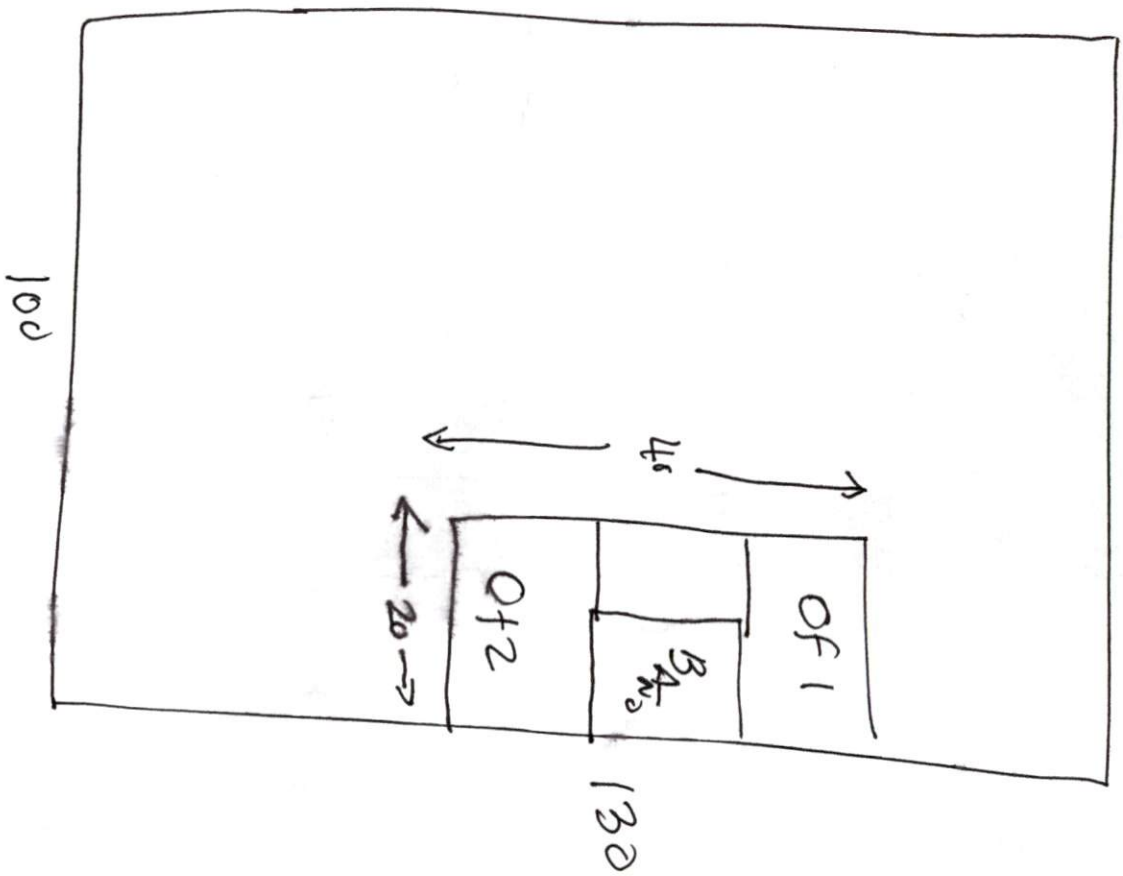


100ft

16<sup>th</sup> St.













## Memo

**TO:** Planning and Zoning Commission

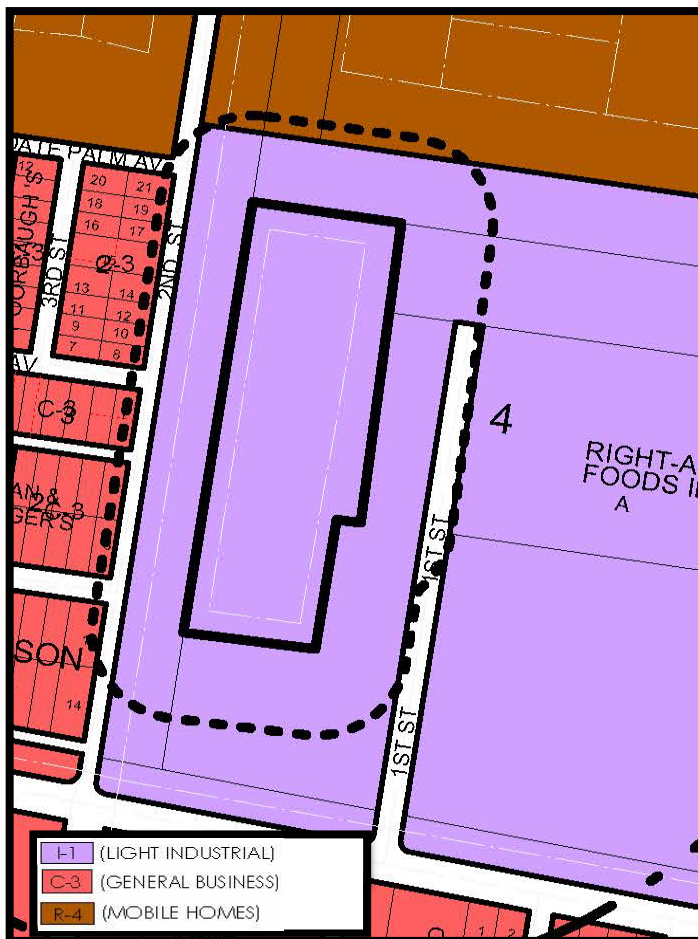
**FROM:** Planning Staff

**DATE:** July 28, 2021

**SUBJECT:** REQUEST OF DENNY MELINE ON BEHALF OF THE CITY OF MCALLEN FOR AN AMENDMENT OF A CONDITIONAL USE PERMIT, FOR THE LIFE OF THE USE, FOR AN INSTITUTIONAL USE (PARK) AT 17.51 ACRES OUT OF LOT 4, BLOCK 12, STEELE AND PERISHING SUBDIVISION, HIDALGO COUNTY, TEXAS, 100 HIGHWAY 83. (CUP2021-0085)

### BRIEF DESCRIPTION:

The property is on the northeast corner of U.S. Highway 83 and North 2<sup>nd</sup> Street and is Zoned I-1 (light industrial) District. The adjacent zoning is I-1 District to the east, C-3 (general business) District to the south and west, and R-4 (mobile and modular homes) District to the north. Surrounding land uses include University Draft House, Texas Thrift Store, Core & Main, Paradise Park, and other commercial properties. An institutional use is permitted in an I-1 zone with a conditional use permit and in compliance with requirements.





**HISTORY:**

The initial conditional use permit for life of the use for an institutional use (park) was approved by the City Commission meeting of December 13, 2010.

**REQUEST/ANALYSIS:**

The applicant is proposing to construct an 8 ft. by 20 ft. concession stand in the existing Fireman's Park. The park approximately 17.51 acres contains a pavilion, restrooms, recreational water-based facility for fishing, boating, birding and nature observation, and a hike and bike trail. The park is scheduled to operate from Sunday- Saturday 6 a.m. to 11 a.m.

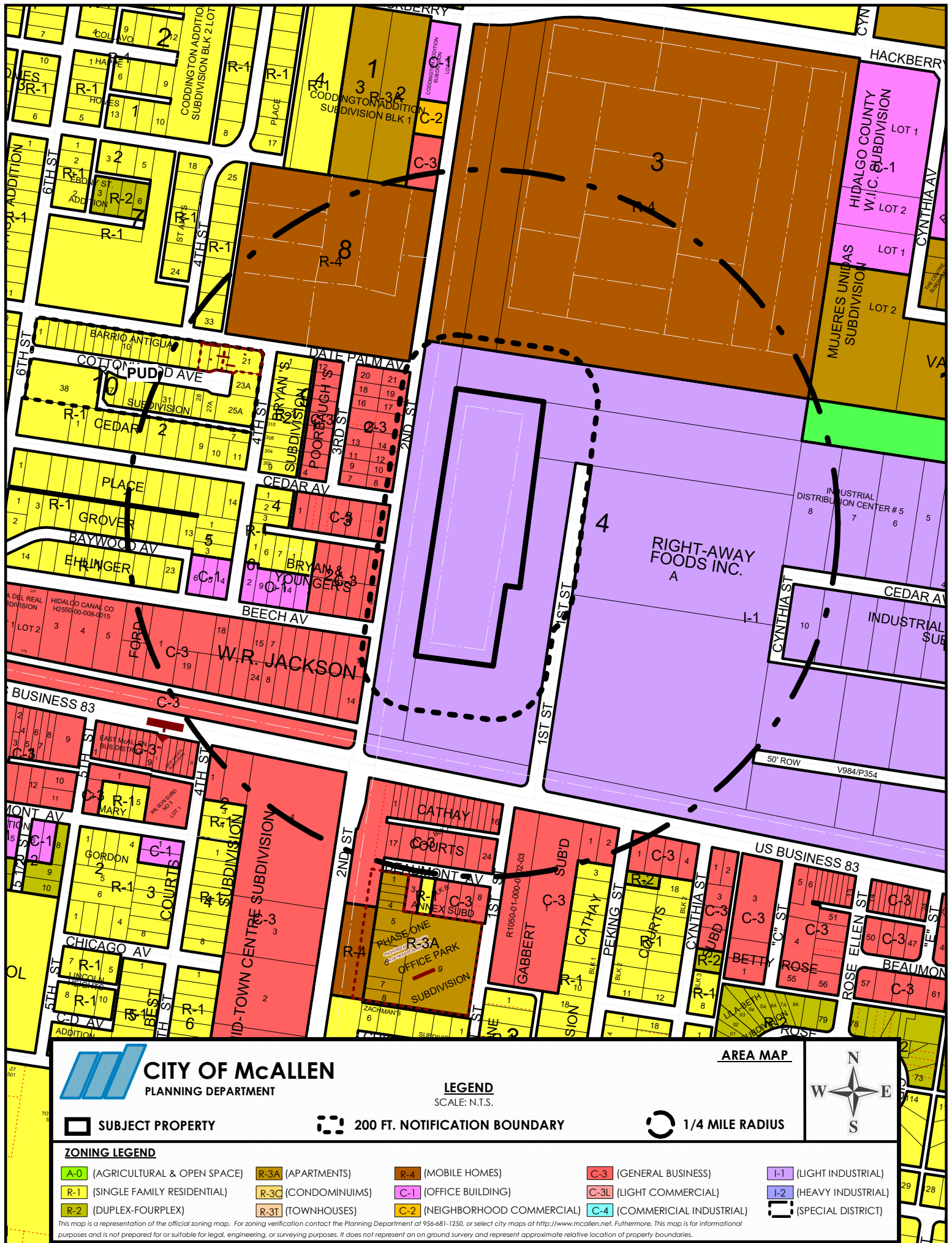
The Fire Department inspection is still pending. Should the conditional use permit be approved, the applicant would be required to sign the application acknowledging and agreeing to all conditions of the permit. The proposed use must also comply with the zoning ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The property has direct access to North 1<sup>st</sup> Street, which connects to Highway 83 to the south;
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking, especially in residential areas. 84 common parking spaces are proposed on site. The parking must be clear of potholes and properly striped per city requirements.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the building shall be determined by the Building Inspections Department and shall maintain the existing capacity; and
- 7) Sides adjacent to commercially and residentially zoned or use property shall be screened by a 6 ft. opaque fence.

**RECOMMENDATION:**

Staff recommends approval of the amendment request, for life of the use, subject to compliance with requirements in Section 138-118, with the conditions noted, Zoning Ordinance and building permit requirements





# CITY OF McALLEN

PLANNING DEPARTMENT

## LEGEND

SCALE: N.T.S.

SUBJECT PROPERTY

200 FT. NOTIFICATION BOUNDARY

1/4 MILE RADIUS

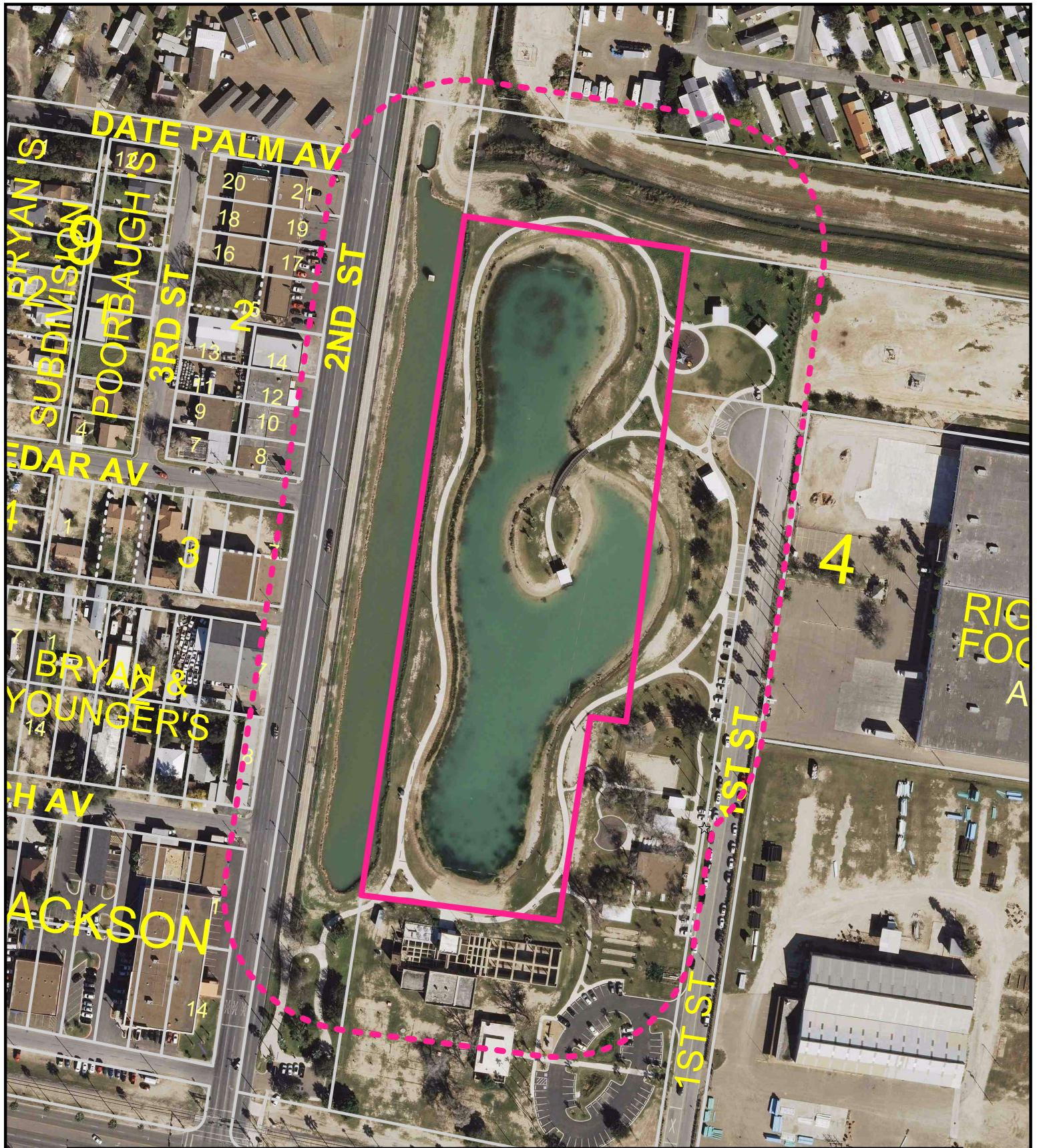


### ZONING LEGEND

<b>A-0</b> (AGRICULTURAL & OPEN SPACE)	<b>R-3A</b> (APARTMENTS)	<b>R-4</b> (MOBILE HOMES)	<b>C-3</b> (GENERAL BUSINESS)	<b>I-1</b> (LIGHT INDUSTRIAL)
<b>R-1</b> (SINGLE FAMILY RESIDENTIAL)	<b>R-3C</b> (CONDOMINIUMS)	<b>C-1</b> (OFFICE BUILDING)	<b>C-3L</b> (LIGHT COMMERCIAL)	<b>I-2</b> (HEAVY INDUSTRIAL)
<b>R-2</b> (DUPLEX-FOURPLEX)	<b>R-3T</b> (TOWNHOUSES)	<b>C-2</b> (NEIGHBORHOOD COMMERCIAL)	<b>C-4</b> (COMMERCIAL INDUSTRIAL)	<b>S</b> (SPECIAL DISTRICT)

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**CITY OF McALLEN**  
PLANNING DEPARTMENT

**AERIAL MAP**  
SCALE: N.T.S.



**SUBJECT PROPERTY**

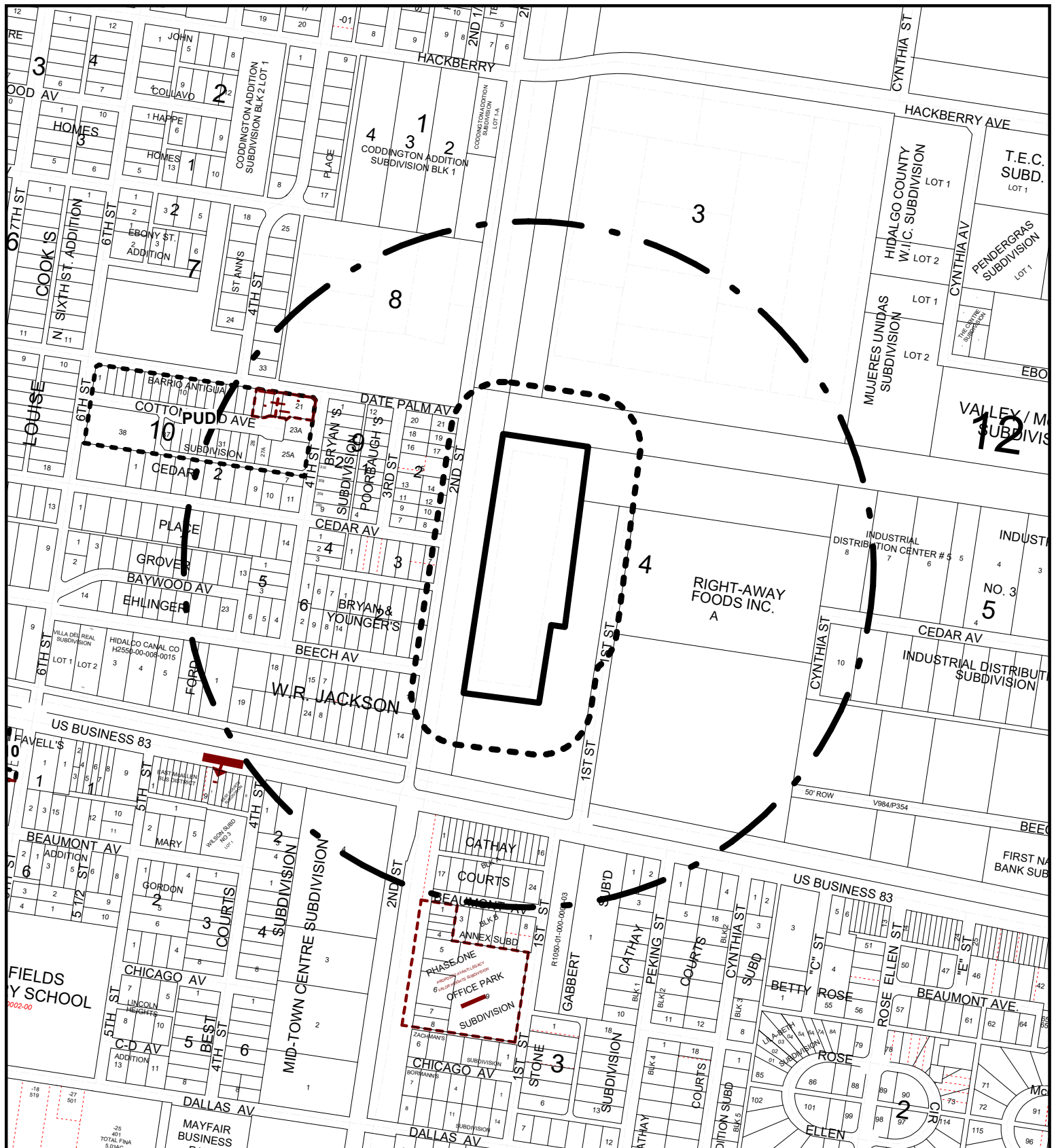


**200 FT. NOTIFICATION BOUNDARY**



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Location of property boundaries.





**CITY OF McALLEN**  
PLANNING DEPARTMENT

**LEGEND**  
SCALE: N.T.S.

**AREA MAP**



**SUBJECT PROPERTY**

**200 FT. NOTIFICATION BOUNDARY**

**1/4 MILE RADIUS**

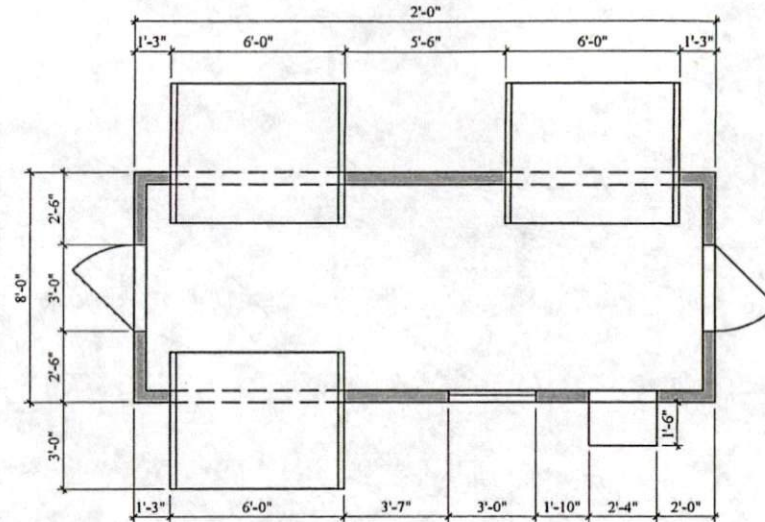
**ZONING LEGEND**

A-O (AGRICULTURAL & OPEN SPACE)	R-3A (APARTMENTS)	R-4 (MOBILE HOMES)	C-3 (GENERAL BUSINESS)	I-1 (LIGHT INDUSTRIAL)
R-1 (SINGLE FAMILY RESIDENTIAL)	R-3C (CONDOMINIUMS)	C-1 (OFFICE BUILDING)	C-3L (LIGHT COMMERCIAL)	I-2 (HEAVY INDUSTRIAL)
R-2 (DUPLEX-FOURPLEX)	R-3T (TOWNHOUSES)	C-2 (NEIGHBORHOOD COMMERCIAL)	C-4 (COMMERCIAL INDUSTRIAL)	(SPECIAL DISTRICT)

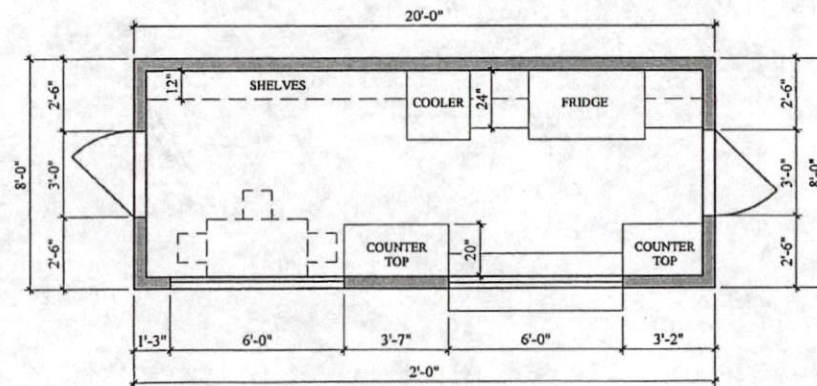
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# FIREMAN'S PARK - H2O HUT



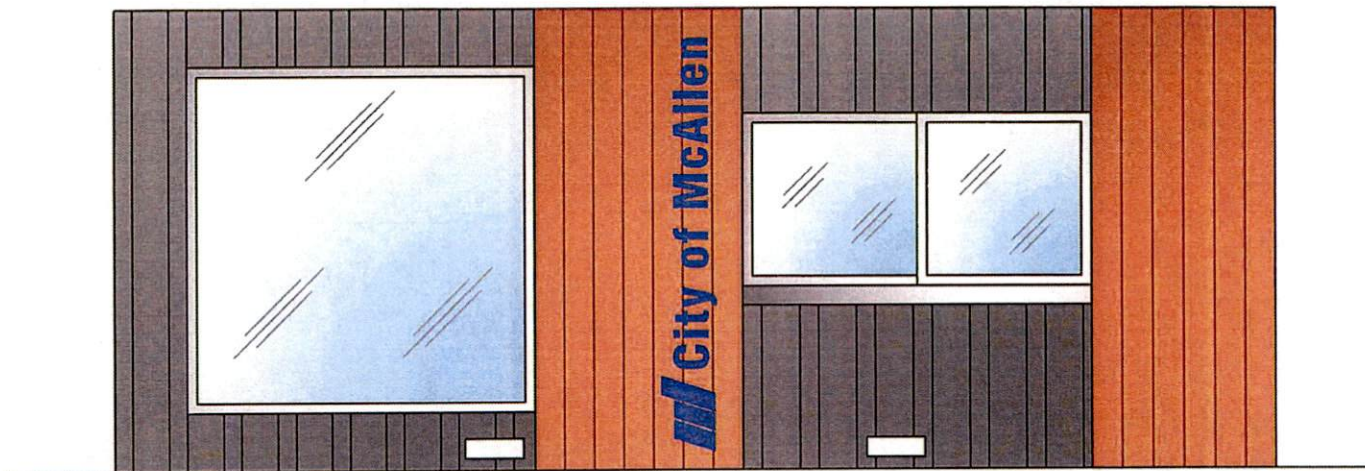
1 EXISTING FLOOR PLAN  
SCALE: 1" = 4'



2 PROPOSED FLOOR PLAN  
SCALE: 1" = 4'



## FIREMAN'S PARK - H2O HUT



CONCESSION STAND FRONT VIEW

SCALE: 1'=1"



## CONSTRUCTION SET



1. NEW SOREN SHALL BE METAL TO MATCH EXISTING.
2. REPAINT ALL INTERIOR PAINTED SURFACES.
3. KEEP EXISTING PAPER TOLL OPERATOR AND MOE AND BROOM RACKS.
4. CLEAN THE EXTERIOR OF THE BRICK OUTSIDE THE BRICK OVENS 5'X10'86.



# FPEEA2.1

## CONSTRUCTION SET



RECEIVED

OCT 28 2010

Initial: *cy 8:14m*



City of McAllen  
Parks and Recreation Department  
**FIREMEN'S PARK**  
McAllen, TX

Issue Title  
CONSTRUCTION SET

Issue	Description
1. 1/15/2009	DD PACKAGE
2. 3/25/2009	75% CD PACKAGE
4. 1/13/2010	90% CD PACKAGE
4. 1/13/2010	CONSTRUCTION
6. 4/6/2010	CONSTRUCTION

Scale



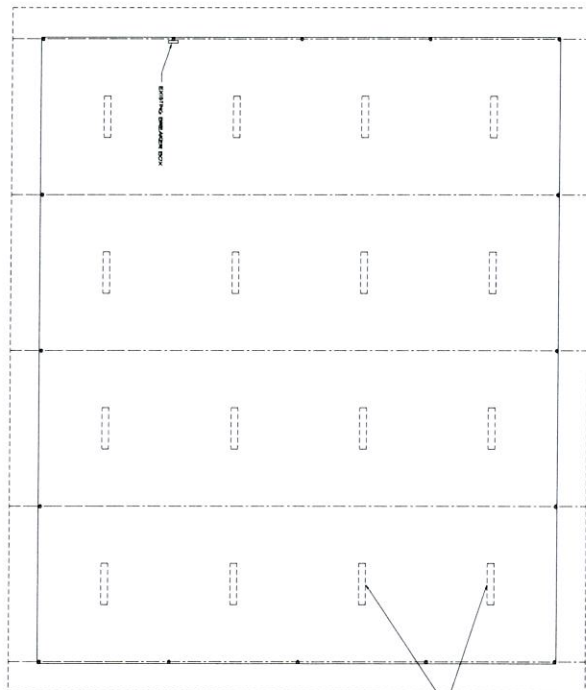
Drawing Title

EXISTING  
PAVILION

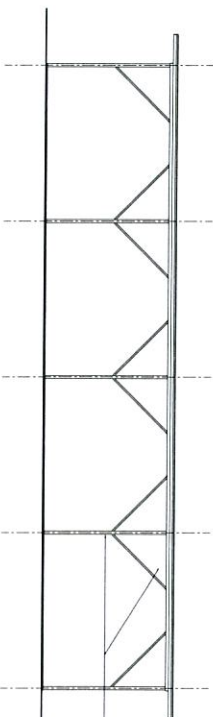
Issue Date: 6/4/2010  
Prepared By: PRT  
Reviewed By: PRT  
Drawn By: PRT

Sheet No.

**FPEA2.2**  
CONSTRUCTION  
SET



2 EXISTING PAVILION  
FLOOR PLAN  
3/16" = 1'-0" NORTH

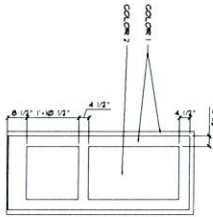


1 SOUTH ELEVATION  
3/16" = 1'-0"

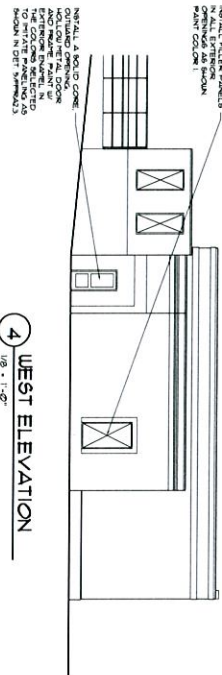


# GENERAL NOTES:

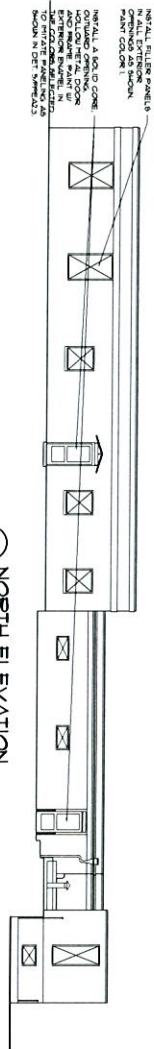
1. ALL REPAIRS FOR EXISTING WINDOWS AND DOORS AS INDICATED SHALL BE DONE BY A QUALIFIED CONTRACTOR. ALL REPAIRS SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL REPAIRS SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
2. ALL EXTERIOR DOORS THAT MUST BE REMOVED TO INSTALL FILLER PANELS SHALL BE REMOVED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
3. ANY EXTERIOR DOORS THAT MUST BE REMOVED TO INSTALL FILLER PANELS SHALL BE REMOVED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.



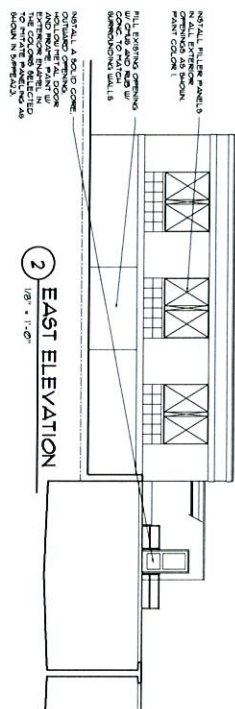
5 DOOR DETAIL  
1/8" = 1'-0"



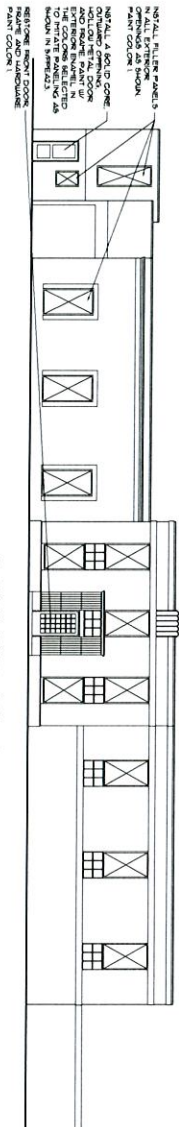
4 WEST ELEVATION  
1/8" = 1'-0"



3 NORTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"



1 SOUTH ELEVATION  
1/8" = 1'-0"

RECEIVED

OCT 28 2010

Initial: *CL 8:14mm*

**City of McAllen**  
Parks and Recreation Department  
**FIREMEN'S PARK**  
McAllen, TX

**MESA**  
1807 Ross Ave.  
Suite 333  
Dallas, Texas 75201  
214.871.0568 ext  
214.871.1507 fax  
mesa@cityofmc.com

Project Name

Issue Title  
CONSTRUCTION SET

Issue - Addenda - Revisions

Issue	Description
1	11/15/2009
2	11/15/2009
3	11/15/2009
4	11/15/2009
5	11/15/2009
6	11/15/2009
7	11/15/2009
8	11/15/2009
9	11/15/2009
10	11/15/2009

Scale



Drawing Title

EXISTING  
PUMP HOUSE

Project Name

Project No.

Project Date

Project By

Project By

Sheet No.  
**FPEA2.3**  
CONSTRUCTION SET



8:14 AM



Initial: CJ 8:14Am



**FIREMEN'S PARK**  
McAllen, TX

Date	Description
11/16/2009	DD PACKAGE
12/29/2009	
3/3/2010	75% CD PACKAGE
4/13/2010	95% CD PACKAGE
4/20/2010	CONSTRUCTION
6/14/2010	CONSTRUCTION

Issue Date:	6/
Project No:	20
Reviewed By:	PT
Drawn By:	PT

# FP-CA2.2

## CONSTRUCTION SET

[illegible]



NOTICE  
INSTITUTIONAL  
USE  
FOR  
THIS PROPERTY  
CUP2021-0085

CITY OF McALLEN PLANNING DEPT.  
P.O. BOX 1120  
WWW.MCALLE.NET





## Memo

**TO:** Planning and Zoning Commission

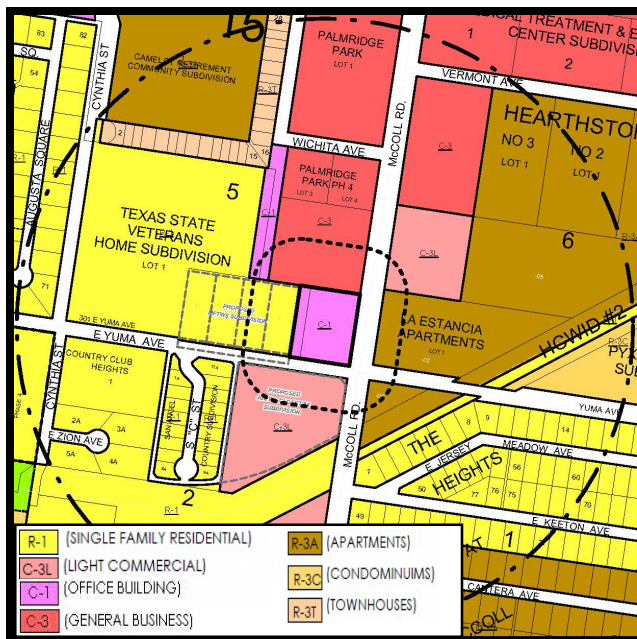
**DATE:** July 29, 2021

**SUBJECT:** Request of Katherine L. Zeigler, on behalf of William A. Schwarz, for a Conditional Use Permit, for life of the use, for a gasoline service station at the 2.35 acres out of the Lot 5, Block 15, Steele & Pershing Subdivision of the east ½ of Portion 66 and all of Portion 67, Hidalgo County, Texas; 2408 & 2416 S. McColl Rd. (CUP2021-0081)

### BRIEF DESCRIPTION:

The property is located on the northwest corner of S. McColl Road and E. Yuma Avenue. The tract has 330 ft. of frontage along S. McColl Road with a depth of 310 ft. for a lot size of 2.35 acres. The property is zone C-1 (office) District. The adjacent zoning is R-1 (single family residential) District to the west, C-3 (general commercial) District to the north, R-3A (multifamily apartment) District to the east, and C-3L (light commercial) District to the south. Surrounding land uses are commercial buildings, single-family residential, apartments and vacant land.

The applicant has applied to rezone from C-1 to C-2 (neighborhood commercial) District. A gasoline service station is allowed in a C-2 zone with a conditional use permit and in compliance with requirements.





**HISTORY:**

The property is vacant is currently going through rezoning process from C-1 District to C-2 District. The property will have to go through the subdivision process and site plan review prior to any building permit issuance.

**REQUEST/ANALYSIS:**

The applicant is proposing to construct a canopy with gas pumps on the property, which will be part of a 4,650 sq. ft. gas station convenience store. A proposed site plan has been submitted; however, it is subject to change based on the subdivision plat and the Development Team requirements. A site plan must be approved by city staff prior to issuance of building permit. All building permit requirements must be met including parking, landscaping, setbacks, etc.

Access to the property will be from proposed curb cuts along E. Yuma Avenue and S. McColl Road; however, curb cuts must meet Traffic Department requirements. The Fire Department will conduct the final inspection once a building permit is issued. The Planning Department has not received any calls in opposition to the request. The use must comply with Section 138-257 – 138-261 and 138-167 of the Zoning Ordinance and specific requirements as follows:

- 1) Activities are limited to sale of gasoline, oil, and minor accessories and incidental services;
- 2) Ingress or egress shall not be permitted at locations where it will tend to create traffic hazards. Entrances shall not be permitted within 25 ft. of a street intersection. Two curb cuts are proposed one located at S. McColl Road and the other located at E. Yuma Avenue;
- 3) Front yard building setbacks, not including gas pumps or driveway covers (canopy), shall be 60 feet. Proposed setbacks are approximately 54 feet to the rear, 116 feet facing S. McColl Road, 50 feet facing E. Yuma Avenue, and +65 feet on the north side;
- 4) All lighting shall be shielded from adjacent residential districts;
- 5) A 6 ft. opaque buffer shall be provided where abutting or adjacent to residential districts. However, section 110-49 (a) Vegetation Ordinance requires a masonry screen eight ft. in height where a commercial, industrial or multifamily use has a side or rear property line in common with a single-family use or zone. The property does abut a residential district to the west;
- 6) Gasoline service stations that have facilities for the repair or servicing of automobiles shall be a minimum of 13,000 square feet. Retail outlets for gasoline, oil, and minor accessories, without repair facilities, may be permitted on lots less than 13,000 square feet. The lot size is approximately 2.35 acres (102,300 square feet);



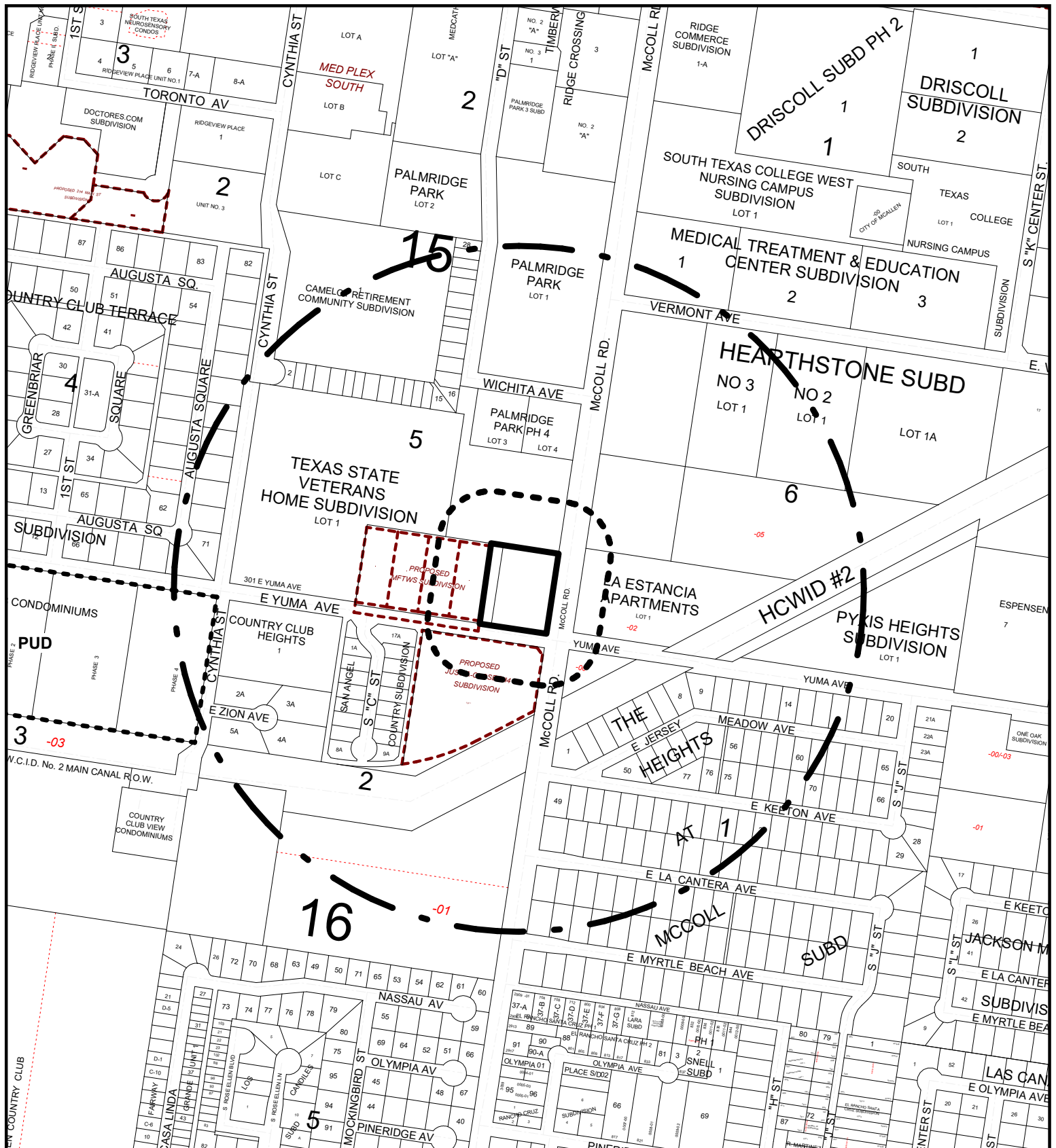
- 7) Gas pumps/islands shall be set back at least 13 ft. from the property line or 18 ft. from the curb, whichever is greater. Gas pumps will be approximately 30 ft. from the property line on S. McColl Road and 42 ft. from the property line on E. Yuma Avenue.
- 8) Gas pump canopy shall be set back at least 9 ft. from the property line or 10 ft. from the curb, whichever is greater. Gas pump canopy is approximately 30 ft. from the property line on S. McColl Road and 42 ft. from the property line on E. Yuma Avenue.; and
- 9) Gas pumps shall not be located within 100 ft. of a residential district. Applicant has modified the site so that gas pumps are not located within 100 ft. of a residential district.

If site plan changes, conditional use permit will need to be amended to resemble the approved Site Plan.

**RECOMMENDATION:**

Staff recommends approval of the request, for life of the use, subject to the conditions noted, Sections 138-167 and 138-257 – 138-261 of the Zoning and Subdivision Ordinance, Site Plan Review requirements, Development Departments (Traffic, Fire, Utility, Public Works, Engineering, and Planning) requirements and building permit requirements.





**CITY OF McALLEN**  
PLANNING DEPARTMENT

**LEGEND**  
SCALE: N.T.S.

**AREA MAP**



 **SUBJECT PROPERTY**

 **200 FT. NOTIFICATION BOUNDARY**

 **1/4 MILE RADIUS**

**ZONING LEGEND**

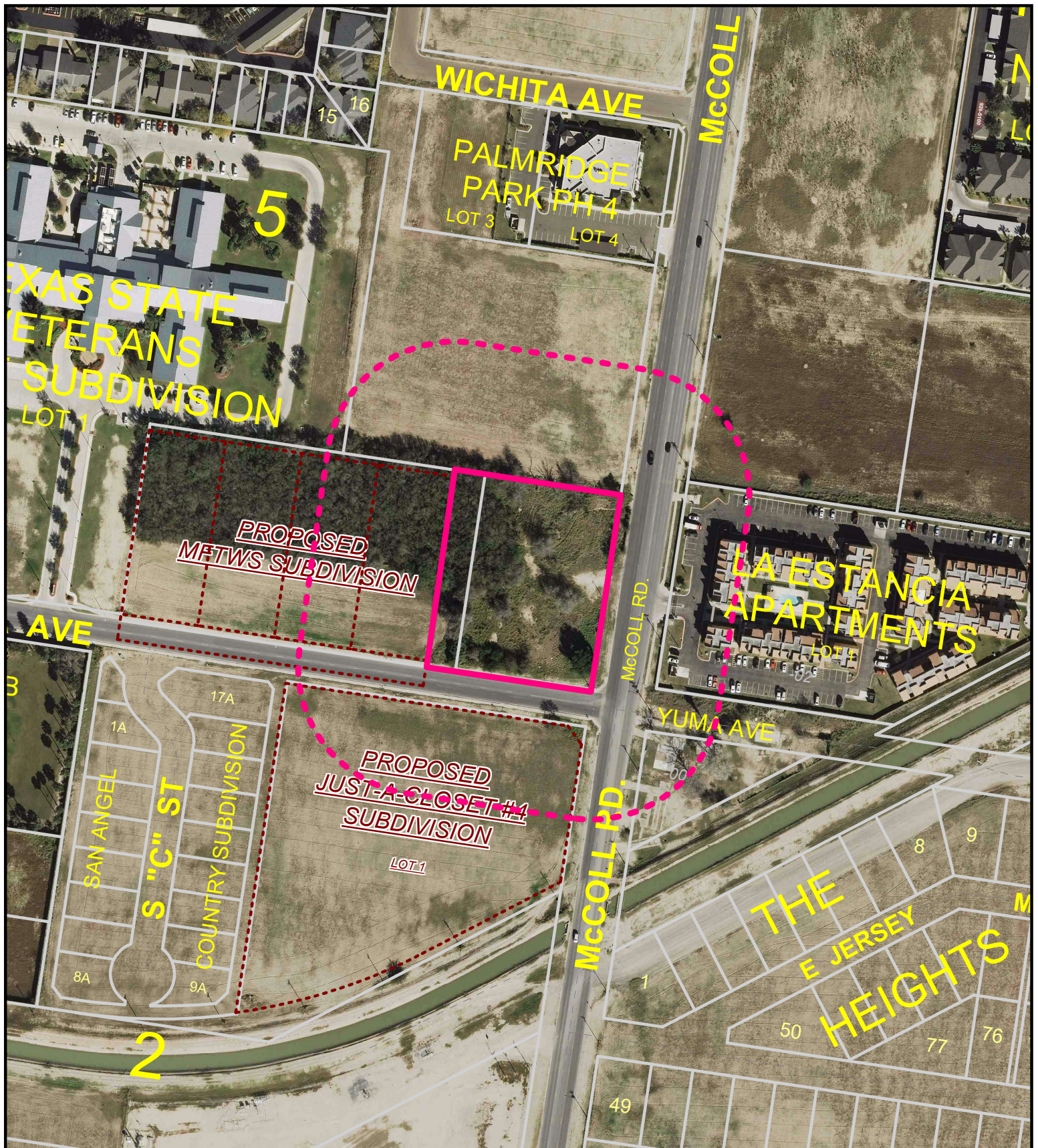
A-O (AGRICULTURAL & OPEN SPACE)	R-3A (APARTMENTS)	R-4 (MOBILE HOMES)	C-3 (GENERAL BUSINESS)	I-1 (LIGHT INDUSTRIAL)
R-1 (SINGLE FAMILY RESIDENTIAL)	R-3C (CONDOMINIUMS)	C-1 (OFFICE BUILDING)	C-3L (LIGHT COMMERCIAL)	I-2 (HEAVY INDUSTRIAL)
R-2 (DUPLEX-FOURPLEX)	R-3T (TOWNHOUSES)	C-2 (NEIGHBORHOOD COMMERCIAL)	C-4 (COMMERCIAL INDUSTRIAL)	(SPECIAL DISTRICT)

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**CITY OF McALLEN**  
PLANNING DEPARTMENT

**AERIAL MAP**  
SCALE: N.T.S.



**SUBJECT PROPERTY**



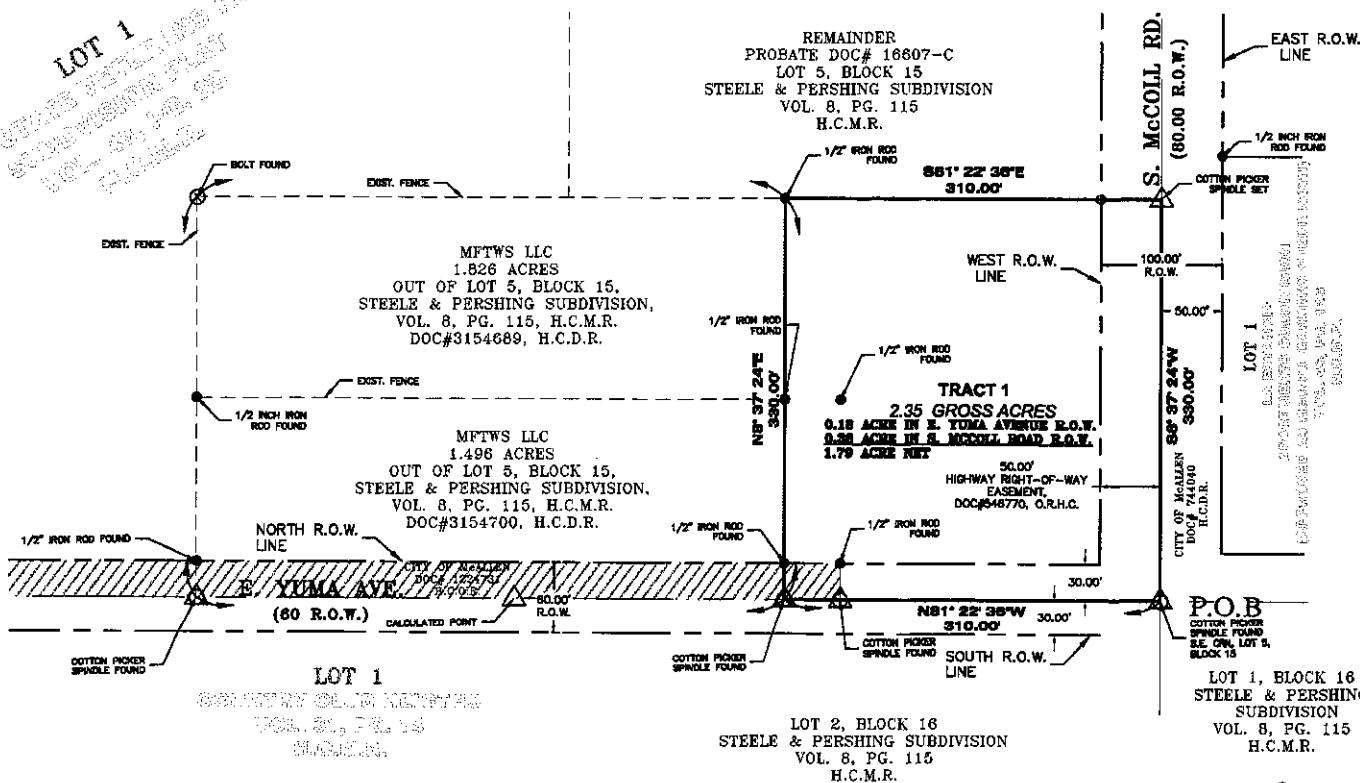
**200' NOTIFICATION BOUNDARY**



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EXHIBIT B  
BOUNDARY SURVEY  
TRACT 1 - 2.35 ACRES  
OUT OF LOT 5, BLOCK 15,  
STEELE & PERSHING SUBDIVISION  
VOLUME 8, PAGE 115,  
HIDALGO COUNTY, TEXAS  
TO ACCOMPANY FIELD NOTES



SCALE: 1" = 100'  
BEARING BASIS  
TX STATE PLANE  
COORDINATE NAD 83  
TEXAS SOUTH ZONE (4200)  
WESTERN DATA  
SYSTEMS NETWORK

LEGEND	
○	CAPPED 1/2" IRON ROD SET
●	PE NAIL FOUND
⊗	BOLT FOUND
●	1/2" IRON ROD FOUND
△	COTTON-PICKER-SPINDLE FOUND
△	COTTON-PICKER-SPINDLE SET
----	MEASURED
XX	EXISTING FENCE
⊙	1/2" PIPE FOUND
⊙	6/8"-HIGH IRON ROD FOUND

SURVEYOR'S NOTES:

- 1) SURVEY DONE WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
- 2) NO ADDITIONAL RESEARCH WAS PERFORMED BY RIO DELTA ENGINEERING FOR ANY ADDITIONAL EASEMENT(S) OR BUILDINGS LINES WHICH MAY OR MAY NOT AFFECT THE SUBJECT TRACT.
- 3) THE PROPERTY SHOWN IS PARTIALLY IN ZONE "B" AND ZONE "C" IN HIDALGO COUNTY, AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AND IDENTIFIED ON FIRM MAP NO. 480334 0425 C, DATED NOVEMBER 16, 1982.

I, IVAN GARCIA, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY STATE, THAT THIS SURVEY WAS MADE ON THE GROUND OF THE PROPERTY SHOWN HEREON DURING NOVEMBER 2020, UNDER MY DIRECTION AND SUPERVISION; THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE; THAT THE PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR LAND TITLE SURVEYS".



*[Signature]*

7/1/2021

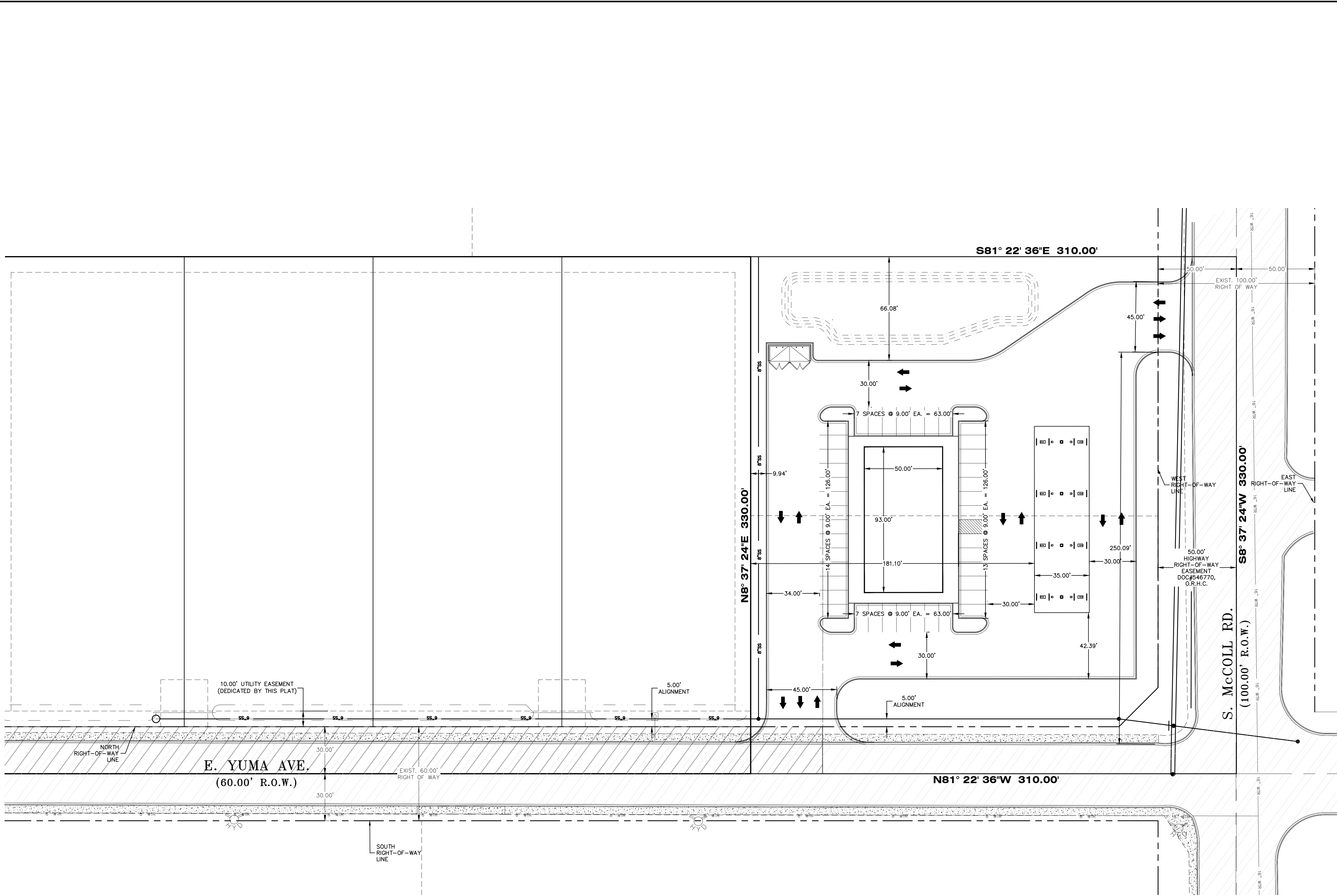
IVAN GARCIA  
REG. PROFESSIONAL LAND  
SURVEYOR NO. 6496

DATE

	<b>RIO DELTA ENGINEERING</b>	
	FIRM REGISTRATION NO. 7-7625	
	SURVEY FIRM NO. 10104027	
	021 S. 10TH AVENUE, EDINBURG TEXAS 78639	
(TEL) 956-380-6162 (FAX) 956-380-6063		
DATE:	JUNE, 2021	
PROJECT:	SUB 20 005	
PAGE:	1 OF 1	



Y:\RDE SUBDIVISIONS 2020\SUB 20 005 - Meyerthorff 3.65 Acres\DWG\SUB 20 005\_SHT 5 SITE PLAN.dwg IVAN 7/23/2021 1:51 PM



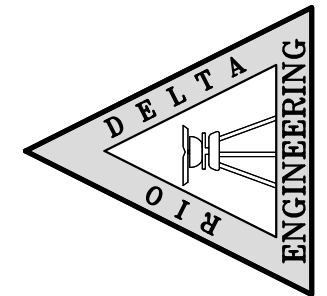
SCALE: 1" = 30'  
BASIS OF BEARING  
TEXAS STATE PLANE COORDINATES  
NAD 83  
TEXAS SOUTH ZONE (4205)  
WESTERN DATA SYSTEMS NETWORK

LEGEND

	EXIST. POWER POLE
	EXIST. GUY WIRE
	EXIST. SIGNS
	EXIST. FENCE LINE
	EXIST. OVERHEAD ELECTRIC LINE
	EXIST. UNDERGROUND CABLE
	8" SS 8" SANITARY SEWER LINE
	8" WTR 8" WATER LINE
	16" WTR 16" WATER LINE
	SD 8" STORM DRAIN LINE
	GAS 8" GAS LINE
	SANITARY SEWER MANHOLE
	EXIST. FIRE HYDRANT
	PROP. FIRE HYDRANT
	WATER VALVE
	LIGHT POLE
	B-B BACK TO BACK
	N.G. NATURAL GROUND
	B.O.C. BACK OF CURB
	T.O.S. TOP OF SIDEWALK
	T.O.C. TOP OF CURB
	T.O.A. TOP OF ASPHALT
	U.E. UTILITY EASEMENT

- GENERAL NOTES:
- 1.) THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING WITH ALL APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN CONSTRUCTION AREA.
  - 2.) ALL EXIST. UTILITIES ARE AT APPROXIMATE LOCATIONS.
  - 3.) THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS ARE BASED ON OBSERVATION OF ABOVEGROUND STRUCTURES. LINES SPOTTED BY THE OWNER, AND UTILITY SPOTTING. ACTUAL LOCATION OF THESE UTILITIES MAY VARY. AND ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED UPON EXCAVATION.
  - 4.) BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL CALL FOR UTILITY SPOTTING BY THE APPROPRIATE AGENCY AND VERIFY THE LOCATION OF THESE UTILITIES TO HIS SATISFACTION.
  - 5.) ANY DAMAGE CAUSED TO EXISTING STRUCTURES AND/OR UTILITIES BY THE CONTRACTOR SHALL BE THE CONTRACTORS RESPONSIBILITY TO CORRECT AT HIS EXPENSE.
  - 6.) ANY DAMAGE TO PROPERTY, OUTSIDE THE CONSTRUCTION ZONE, CAUSED BY THE CONTRACTOR, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CORRECT AT HIS EXPENSE.

RIO DELTA ENGINEERING  
FIRM REGISTRATION No. F-7628  
SURVEY FIRM No. 10194027  
921 S. 10TH AVENUE EDINBURG, TEXAS 78539  
(TEL) 956-380-5152 (FAX) 956-380-5083



THIS DOCUMENT IS  
RELEASED FOR THE  
PURPOSE OF INTERIM  
REVIEW UNDER THE  
AUTHORITY OF  
IVAN GARCIA,  
P.E. 115662 ON  
JUNE 29, 2021  
IT IS NOT TO BE  
USED FOR CONSTRUCTION,  
BIDDING OR PERMIT  
PURPOSES.

ISSUED FOR:  
**PRELIMINARY**

SITE PLAN  
MCCOLL RD & YUMA AVE  
MCALLEN, TEXAS  
HIDALGO COUNTY

PROJECT :	
ENGINEER:	IVAN GARCIA P.E. R.P.L.S.
SURVEYOR:	IVAN GARCIA P.E. R.P.L.S.
CHECKED:	IVAN GARCIA P.E. R.P.L.S.
DRAWN:	EDWIN PENA
SCALE:	1"=30'
DATE:	JULY, 2021
PROJECT:	SUB 20 005
REVISIONS:	
PAGE NO.	1-OF-1



NOTICE  
SERVICE  
STATION  
FOR  
THIS PROPERTY  
CUP2021-0081

NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ/2021-0038

 CITY OF MCALLEN PLANNING DEPT.  
956-681-1250  
WWW.MCALLE.NET





## **Memo**

**TO:** Planning and Zoning Commission

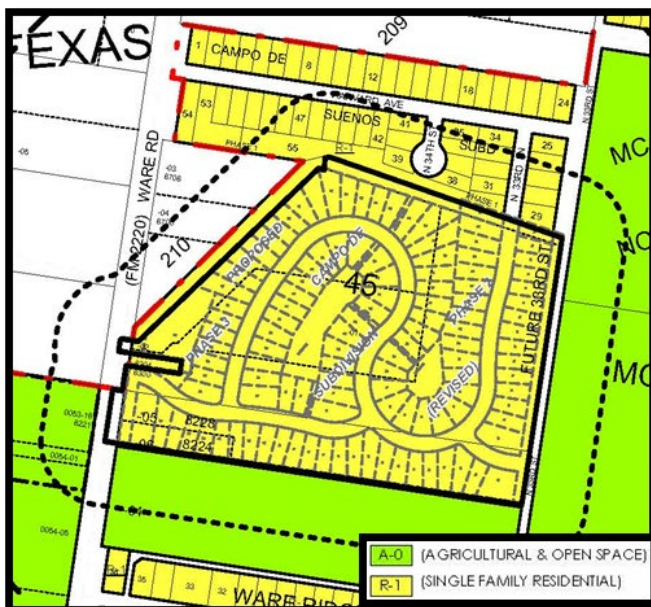
**DATE:** July 29, 2021

**SUBJECT:** Request of Mario A. Reyna, on behalf of Riverside Development Service, LLC, for a Conditional Use Permit, for life of the use, for a planned unit development at the 26.663 acre tract of land out of Lot 45 and 52, La Lomita Irrigation and Construction Company's Subdivision, Hidalgo County, Texas; 8300 North Ware Road. (CUP2021-0084)

**STAFF RECOMMENDS TABLING THE REQUEST BASED ON ADDITIONAL INFORMATION REQUIRED.**

### **BRIEF DESCRIPTION:**

The subject property is located on the east side of North Ware Road, approximately 1,250 ft. north of Auburn Avenue. The irregularly-shaped tract in question is described by metes and bound for a lot size of 26.663 acres and is being subdivided into two proposed subdivisions under the names of Campo de Sueños Phase II and Campo de Sueños Phase III. The property zoning is R-1 (single family residential) District. The adjacent zoning is A-O (agricultural-open space) District to the south, east and west, R-1 District to the north, and ETJ (Extra-Territorial Jurisdiction) to the west. Surrounding land use include single-family residential, Texas Ranch Apartments, baseball field, elementary school and vacant land. A Planned Unit Development is permitted in an R-1 District with a conditional use permit and in compliance with Article IV Planned Developments of the Subdivision Ordinance.





**HISTORY:**

The Planning and Zoning Commission Board voted to approve the proposed subdivisions in revised preliminary form subject to staff recommendations and variances with conditions noted on January 19, 2021. A variance request to the block length requirement at Campo de Sueños Phase II was approved by City Commission on February 22, 2021. Annexation and initial zoning to R-1 District for the portion of the tract that was outside City limits was approved by City Commission on May 24, 2021. The applicant applied for a variance request to allow a lot width less than 50 ft. for proposed Campo de Sueños Phase II subdivision and proposed Campo de Sueños Phase III subdivision; however, they withdrew the request in favor of a Planned Unit Development.

**REQUEST/ANALYSIS:**

Currently, the property is vacant. The property is part of Campo de Sueños Phase II Subdivision and Campo de Sueños Phase III Subdivision, which consist of one hundred eighteen (118) lots, with one being a common area. The applicant is proposing to develop a Planned Unit Development, which will include single family residences and common areas.

Planned unit developments allow a variety of land uses that complement each other within the development and with existing land uses in the vicinity. Specific requirements for approval are specified in the Ordinance creating a Planned Unit Development for the subject property and summarized as the following:

1. CONCEPTUAL SITE PLAN: Development and use of the property must comply with the conditional use permit conceptual site plan.
2. PERMITTED USES: Permitted uses are uses permitted in the R-1 District for buildings designated as residential. The applicant is proposing single family residences and common areas.
3. OFF-STREET PARKING AND LOADING: Parking in compliance with Chapter 134 Article VI, which requires two parking spaces per unit, with one being located beyond the front yard setback. Must provide floor plan with garage to determine if in compliance.
4. LANDSCAPING: Each lot requires 10% landscaping in an R-1 zone. Based on the lot area of 1,030,760.28 sq. ft., 103,076 sq. ft. of landscaping is required. Also, 50% of the required front yard must be landscape, including the sideyard setback areas. A minimum of one tree is required. Must provide front landscaping area and trees to determine if in compliance. Some lots show driveway on one side of the sideyard setback, it is not in compliance.
5. STREETS AND SETBACKS: Additional 35 ft. right-of-way dedication required along Ware Road. Provide minimum of 50 ft. right-of-way and 40 ft. of pavement width for Duke Avenue. Provide minimum of 50 ft. right-of-way and 32 ft. of



pavement for N. 33<sup>rd</sup> Lane. Setbacks are Front: Duke Avenue – 25 ft. or greater for easements, whichever is greater; Front: 20 ft. or greater for easements, whichever is greater; Rear: 10 ft. or greater for easements; Sides: 5 ft. or greater for easements; Corner: 10 ft. or greater for easements; and Garage: 18 ft. except where greater setback is required. An R-1 zone requires a front yard setback of 25 ft. on interior streets. The development is proposing less than 25 ft. of front yard setback along Duke Avenue and less than 20 ft. of front setback along N. 33<sup>rd</sup> Lane. Provide setback lines with building envelope on site plan A 5 ft. wide minimum sidewalk required on Ware Road and a 4 ft. wide minimum sidewalk required on N. 33<sup>rd</sup> Street and both sides of all interior street. Must provide sidewalk width dimension on site plan.

6. **DRAINAGE:** During the Campo de Sueños Phase II Subdivision and Campo de Sueños Phase III Subdivision process final drainage detention and design and drainage plan must be submitted and in accordance with City of McAllen Standard Design Guide.
7. **ADDITIONAL PROVISIONS:** Conditional Use Permit site plan controls if there is conflict with other City ordinances. A decision by the Planning Director may be reviewed by Planning and Zoning Commission for recommendation to Board of Commissioners for final determination. The Conditional Use Permit calls for mixed use and a minimum of five (5) acres. The development has 23.663 acres and is providing mixed uses, which include single family residences and common area.
8. Owner, Engineer and Surveyor certification and signature block needs to be shown on the PUD site plan. The site plan does not show the required acknowledgements.
9. A recorded subdivision plat and Planned Unit Development site plan is required prior to issuance of building permits. Therefore, Campo de Sueños Phase II Subdivision and Campo de Sueños Phase III Subdivision process must be completed, and recorded together with the site plan.

If subdivision layout changes, conditional use permit will need to be amended to resemble the approved Subdivision Plat.

**RECOMMENDATION:**

Staff recommends tabling the request based on additional information required for requirement #3 (off-street parking), #4 (landscaping), #5 (street pavement/setbacks), and #9 (required acknowledgements) of Section 134-171 of the Subdivision Ordinance.



## Memo

**TO:** Planning and Zoning Commission

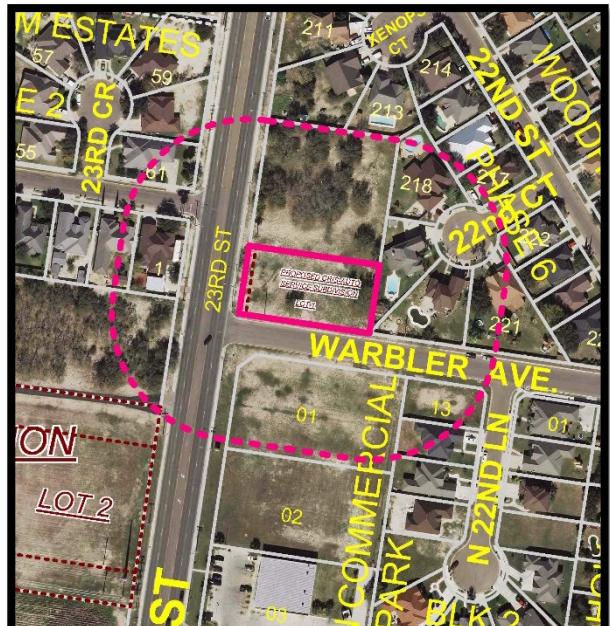
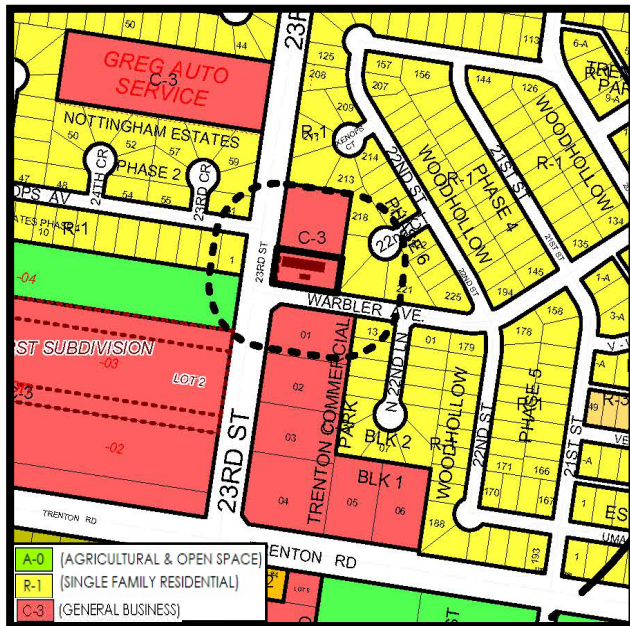
**DATE:** July 29, 2021

**SUBJECT:** Request of Cristobal Moreno, for a Conditional Use Permit, for life of the use, for an automotive service & repair at the 0.52 acre tract of land out of Block 14, Trenton Park Estates Ph. 1 & 2 Subdivision lying west of Lot 219, Woodhollow Subdivision, Hidalgo County, Texas; 7500 N. 23rd Street. (CUP2021-0080)

**STAFF RECOMMENDS TABLING OF THE REQUEST UNTIL SITE PLAN REQUIREMENTS HAVE BEEN ADDRESSED**

### BRIEF DESCRIPTION:

The property is located on the northeast corner of N. 23rd Street and Warbler Avenue. The tract has 110 ft. of frontage along N. 23<sup>rd</sup> Street with a depth of 197.05 ft. for a lot size of 0.498 acres. The property is zone C-3 (general commercial) District. The adjacent zoning is R-1 (single family residential) District to the west and east, and C-3 (general commercial) District to the north and south. Surrounding land uses are commercial buildings, single-family residential, and vacant land. An automotive service and repair shop is allowed in the C-3 District with a Conditional Use Permit and in compliance with requirements.





**HISTORY:**

The property is vacant and is part of the proposed Cris-Auto Service Subdivision. The subdivision received preliminary approval on May 4, 2021 by the Planning and Zoning Commission. The proposed subdivision will have to be recorded and site plan review will have to get approval from Development Departments prior to any building permit issuance. A site plan has been submitted; however, it is still pending requirements.

**REQUEST/ANALYSIS:**

The applicant is proposing to construct an auto-service repair shop with a combined floor space of 3,841.77 sq. ft. of office and workshop area. The office consists of 1,168.07 sq. ft., and the workshop area is 2,673.70 sq. ft. Based on the floor area, 13 parking spaces are required and must comply with city standards. The proposed days and hours of operations are Monday through Friday from 8:00 AM to 5:00 PM and Saturday from 8:00 AM to 12:00 PM.

A proposed site plan has been submitted; however, it is subject to change based on the subdivision plat and the Development Team requirements. A site plan must be approved by city staff prior to issuance of building permit. All building permit requirements must be met including parking, landscaping, setbacks, etc. The Fire Department will conduct the final inspection once a building permit is issued. The Planning Department has not received any calls in opposition to the request. The business must meet the requirements set forth in Section 138-281 of the Zoning Ordinance and specific requirements as follows:

- 1) A minimum lot size of 10,000 sq. ft. is required. The subject property is approximately 21,675.50 sq. ft.
- 2) All service, repair, maintenance, painting and other work shall take place within an enclosed area. The work will be performed in the workshop area;
- 3) Outside storage of materials is prohibited.
- 4) The building where the work is to take place shall be at least 100 ft. from the nearest residence. The automotive service and repair establishment is approximately 80 ft. to the nearest residence.
- 5) A 6 ft. opaque fence buffered the proposed use from any residential use or residentially zoned area is required. An 8 ft. buffer along the east side property is required as per proposed subdivision process.
- 6) New buildings and conversions of existing buildings shall meet current building and fire code requirements concerning separation of high hazard uses from other occupancy use classifications.

If site plan changes, conditional use permit will need to be amended to resemble the approved Site Plan.

**RECOMMENDATION:**

Staff recommends tabling of the request until Site Plan requirements have been addressed and must comply with Section 138-281 of the Zoning and Subdivision Ordinance, Site Plan Review requirements, Development Departments (Traffic, Fire, Engineering, Utility, Public Works, and Planning) requirements and building permit requirements. Request is noncompliance with requirement #4 (distance).

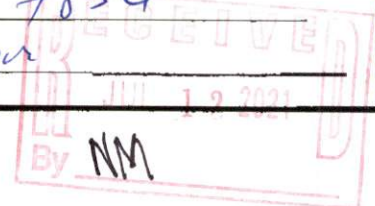




City of McAllen  
Planning Department  
**APPLICATION FOR  
SUBDIVISION PLAT REVIEW**

1300 Houston Avenue  
McAllen, TX 78501  
P. O. Box 220  
McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

Project Description	Subdivision Name <u>Magnolia Farm Sr.</u> Location <u>N. Ware Rd 320ft south of 6 Mile line on the west side</u> City Address or Block Number <u>9309 N. WARE RD</u> Number of lots <u>1</u> Gross acres <u>1</u> Net acres <u>0.77</u> Existing Zoning <u>A-1</u> Proposed <u>R-1</u> Rezoning Applied For <input type="checkbox"/> Yes <input type="checkbox"/> No Date _____ Existing Land Use <u>Vacant</u> Proposed Land Use <u>Single trk</u> Irrigation District # <u>1</u> Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Agricultural Tax Exemption Yes <input type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due _____ Legal Description <u>Being a 1 gross acre tract of land, out of and forming a part of Lots 175, 176 Page 0 Texas Subdivision</u>
Owner	Name <u>John Tagle</u> Phone <u>Vol. 5 Page 38-59</u> Address <u>8843 W. 23rd St</u> (956) 207-4797 City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u> E-mail <u>john.tagle@hotmail.com</u>
Developer	Name <u>Same as above</u> Phone _____ Address _____ City _____ State _____ Zip _____ Contact Person _____ E-mail _____
Engineer	Name <u>MAS Engineering LLC</u> Phone <u>(956) 537-1311</u> Address <u>374 W. 10th St</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u> Contact Person <u>Mario A. Salinas</u> E-mail <u>msalinas6773@att.net</u>
Surveyor	Name <u>David Salinas Eng. 9</u> Phone <u>(956)</u> Address <u>2221 4th St</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u> E-mail <u>dsalinas@salinas-engineering.com</u>





## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ☒ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ☐ Title Report
- ☒ 8 1/2" by 11" Sealed Survey showing existing structures/easements or 3 blueline copies
- ☒ 2 Location Maps
- ☒ 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- ☒ 6 Folded blueline prints of the proposed plat
- ☒ 2 Warranty Deeds (Identifying owner on application)
- ☒ Autocad DWG file of plat
- ☐ Letter of Authorization from the owner, if applicable
- ☐ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

### PLAT TO SHOW:

- ☒ Metes and bounds
- ☒ Lots numbered with dimensions and area of irregular lots noted
- ☒ Surrounding platted lots and/or lot lines for unplatted tracts
- ☒ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ☒ North arrow, scale and vicinity map
- ☒ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 1/2" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

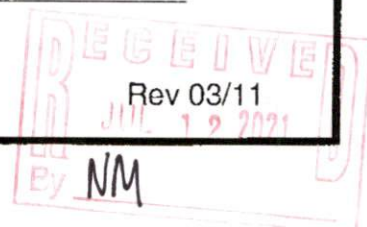
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 7-6-21

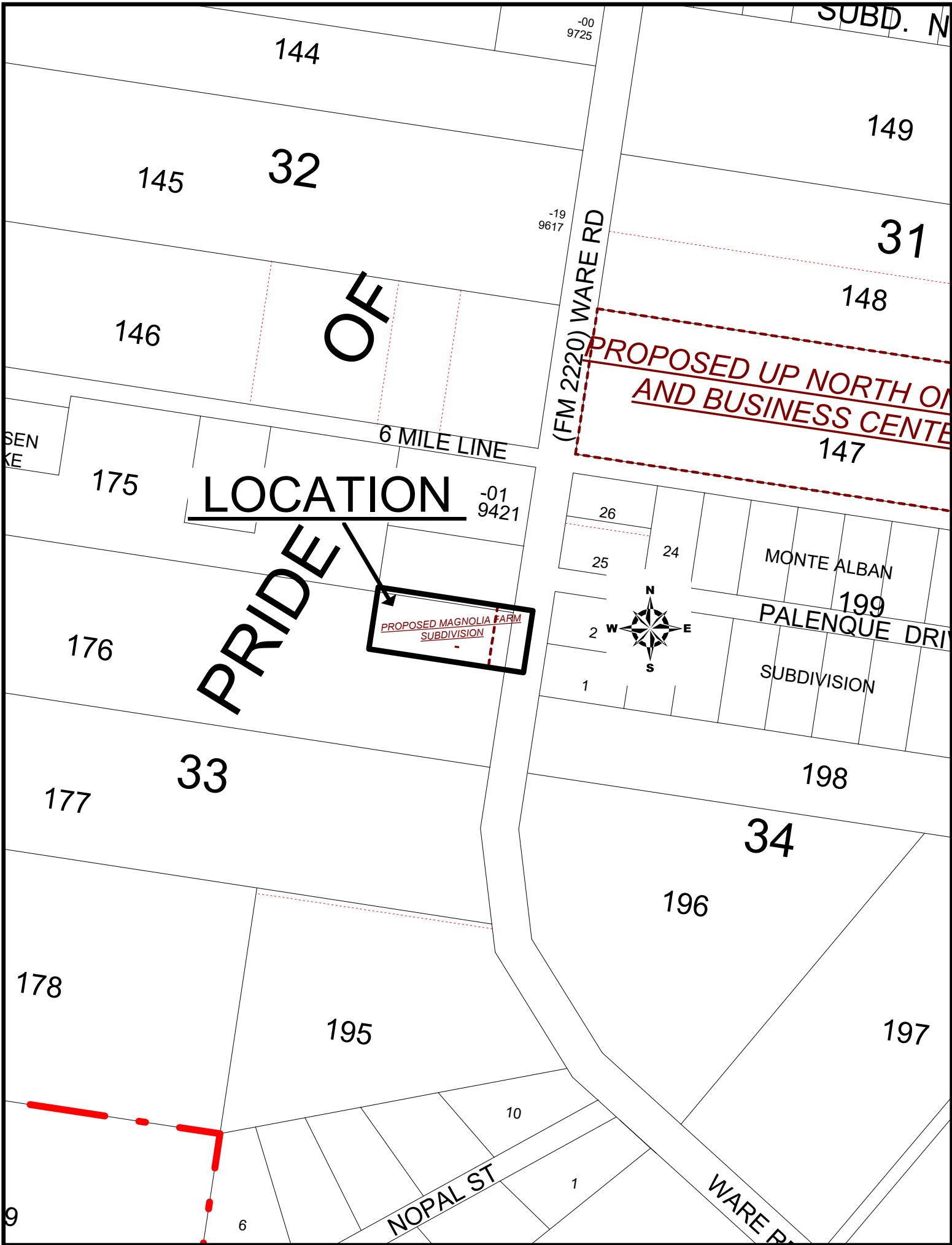
Print Name John Tagle

Owner ☐

Authorized Agent ☐







PRIDE  
OF  
LOCATION

PROPOSED MAGNOLIA FARM  
SUBDIVISION

PROPOSED UP NORTH OF  
AND BUSINESS CENTER



NOPAL ST

WARE RD

MONTE ALBAN  
199  
PALENQUE DRIVE  
SUBDIVISION

SUBD. N

SEN  
KE





DATE OF PREPARATION 7-09-21

NN





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 7/27/2021

<b>SUBDIVISION NAME: MAGNOLIA FARM</b>	
<b>REQUIREMENTS</b>	
<b>STREETS AND RIGHT-OF-WAYS</b>	
N. Ware Road: Proposing 35 ft. dedication for 75 ft. ROW from centerline for 150 ft. ROW Paving: by the state Curb & gutter: by the state ***Verify alignment of N. Ware Road with the state to finalize ROW, prior to final. ***COM Thoroughfare Plan Paving _____ Curb & gutter _____	Required
* 800 ft. Block Length. **Subdivision Ordinance: Section 134-118	Applied
* 600 ft. Maximum Cul-de-Sac. **Subdivision Ordinance: Section 134-105	NA
<b>ALLEYS</b>	
ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106	NA
<b>SETBACKS</b>	
* Front: 45 ft. or greater for easements or in line with average setback of existing structures; whichever is greater. **Zoning Ordinance: Section 138-356	Applied
* Rear: Proposing 15 ft. or greater for easements. **Zoning Ordinance: Section 138-356	TBD
* Sides: 6 ft. or greater for easements. **Plat shows 15 ft. private drainage easement along property lines. Please revise plat accordingly. **Zoning Ordinance: Section 138-356	Non-compliance
* Corner **Zoning Ordinance: Section 138-356	NA
* Garage: 18 ft. except where greater setbacks is requires; greater setback applies. ** Please revise plat note prior to final as shown above. ***Zoning Ordinance: Section 138-356	Required
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
<b>SIDEWALKS</b>	
* 5 ft. wide minimum sidewalk required on North Ware Road. **5 ft. sidewalk requirement as per Engineering Department. ****Subdivision Ordinance: Section 134-120	Applied
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



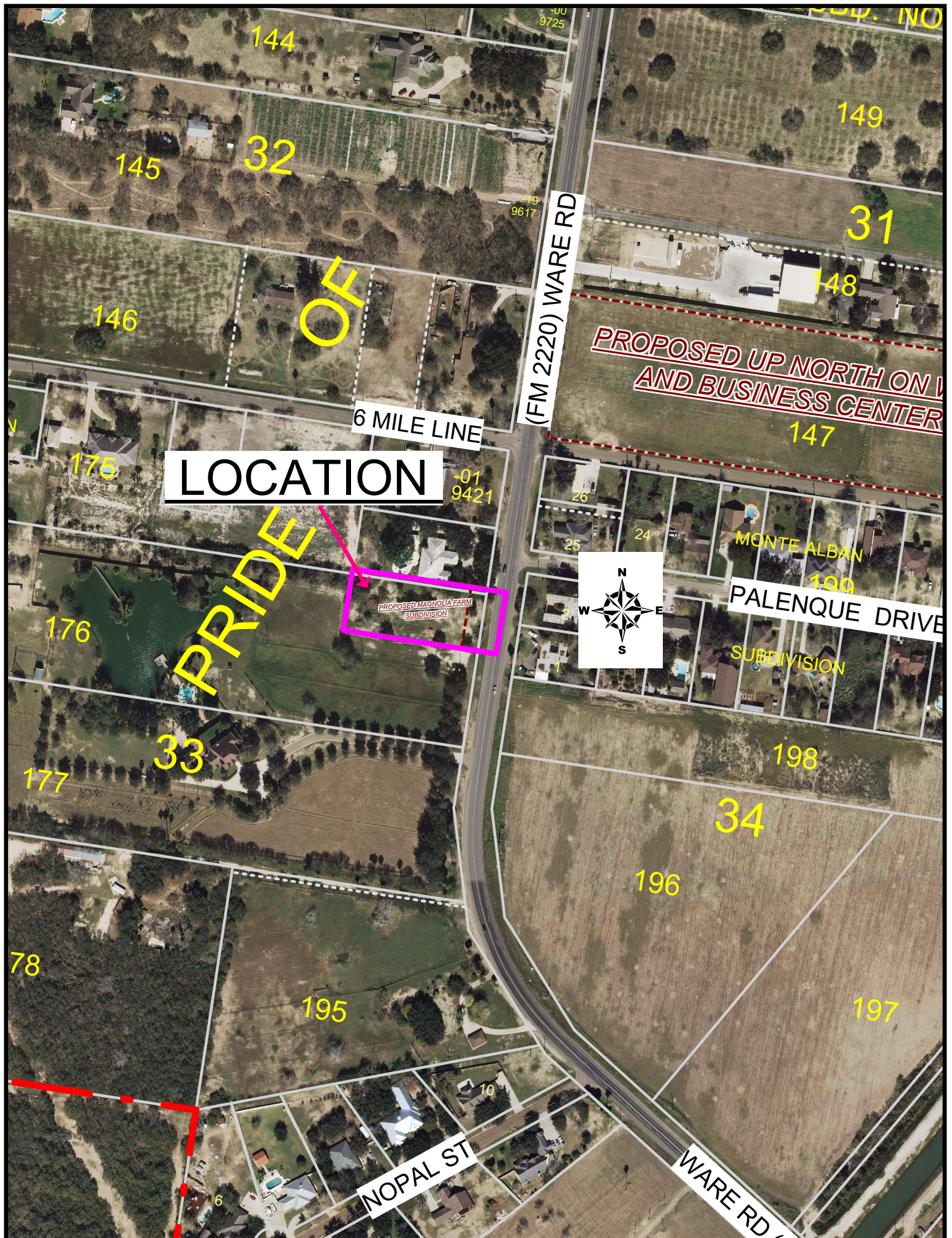
<b>BUFFERS</b>	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. ***Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
<b>NOTES</b>	
* No curb cut, access, or lot frontage permitted along. **City of McAllen Access Management Policy	NA
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	NA
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Common Areas, private streets/drives, private drainage easement, must be maintained by the lot owners and not the City of McAllen	Required
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Applied
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.	NA
<b>LOT REQUIREMENTS</b>	
* Minimum lot width and lot area. ***Zoning Ordinance: 138-1	Compliance
* Lots fronting public streets. **Zoning Ordinance: Section. 138-356	Compliance
<b>ZONING/CUP</b>	
* Existing: ETJ Proposed: ETJ **If annexation and initial zoning are requested, processes must be finalized prior to final plat review. ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval **Zoning Ordinance: Article V	Applied
<b>PARKS</b>	
* Land dedication in lieu of fee. As per Parks Department, Parks requirements only apply if property is annexed.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, Parks requirements only apply if property is annexed.	NA
* Pending review by the Parkland Dedication Advisory Board and CC. As per Parks Department, Parks requirements only apply if property is annexed.	NA

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<b>TRAFFIC</b>	
* Trip Generation to determine if TIA is required, prior to final plat. As per Traffic Department, Trip Generation for single-family residence is waived. No TIA required.	NA
*As per Traffic Department, Trip Generation for single-family residence is waived. No TIA required.	NA
<b>COMMENTS</b>	
Comments: Must comply with City's Access Management Policy. **If annexation and initial zoning are requested, processes must be finalized prior to final plat review. ***Provide any gate details proposed for staff to review prior to final. ****Please provide ownership maps to verify that no landlocked properties exist prior to final.	Applied
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APPROVAL OF SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, UTILITIES AND DRAINAGE APPROVALS.	Applied





LOCATION

PRIDE

OF

6 MILE LINE

WARE RD  
(FM 2220)

PROPOSED UP NORTH ON  
AND BUSINESS CENTER



MONTE ALBAN

PALENQUE DRIVE

SUBDIVISION

NOPAL ST

WARE RD



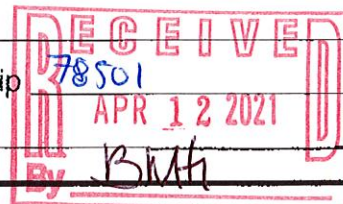


City of McAllen  
Planning Department  
**APPLICATION FOR  
SUBDIVISION PLAT REVIEW**

SUB2021-0040

1300 Houston Avenue  
McAllen, TX 78501  
P. O. Box 220  
McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

<b>Project Description</b>	Subdivision Name <u>Cris - Auto Service</u> Location <u>North east corner of N. 23<sup>rd</sup> Street and Warbler Ave.</u> City Address or Block Number <u>N. 23<sup>rd</sup> street Block Number 7500</u> Number of lots <u>1</u> Gross acres <u>0.523</u> Net acres <u>0.490</u> Existing Zoning <u>C3</u> Proposed <u>C3</u> Rezoning Applied For <input type="checkbox"/> Yes <input type="checkbox"/> No Date _____ Existing Land Use <u>Vacant</u> Proposed Land Use <u>Commercial</u> Irrigation District # <u>1</u> <b>Residential</b> Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> <b>Commercial</b> Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> <b>ETJ</b> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Agricultural Tax Exemption Yes <input type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due _____ Legal Description <u>0.523 Trenton Park Estates Phase II Subdivision</u> <u>Hidalgo</u>
<b>Owner</b>	Name <u>Cristobal Moreno - President</u> Phone <u>(956) 358-0452</u> Address <u>7613 N. 25<sup>th</sup> Street</u> City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u> E-mail <u>Moreno-cris1@hotmail.com</u>
<b>Developer</b>	Name <u>Same as above</u> Phone _____ Address _____ City _____ State _____ Zip _____ Contact Person _____ E-mail _____
<b>Engineer</b>	Name <u>MAS Engineering</u> Phone <u>(956) 537-1311</u> Address <u>3911 N. 10<sup>th</sup> Street Suite H</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u> Contact Person <u>Manio A. Salinas</u> E-mail <u>msalinas6973@aiff.net</u>
<b>Surveyor</b>	Name <u>Salinas Engineering &amp; Surveying</u> Phone <u>(956) 682-9081</u> or <u>(956) 648-8899</u> Address <u>2221 Daffodil Ave</u> City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u> E-mail <u>dsalinas@salinasengineering.com</u>





## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- \_\_\_\_\_ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- \_\_\_\_\_ Title Report
- \_\_\_\_\_ 8 1/2" by 11" Sealed Survey showing existing structures/easements  
or 3 blue-line copies
- \_\_\_\_\_ 2 Location Maps
- \_\_\_\_\_ 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- \_\_\_\_\_ 6 Folded blue-line prints of the proposed plat
- \_\_\_\_\_ 2 Warranty Deeds (Identifying owner on application)
- \_\_\_\_\_ Autocad DWG file of plat
- \_\_\_\_\_ Letter of Authorization from the owner, if applicable
- \_\_\_\_\_ Proof of authority of person signing application on behalf of  
partnership/corporation, if applicable

### PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and  
surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width  
from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blue-line copies prints and 8 1/2" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature Cristobal Moreno Date \_\_\_\_\_

Print Name Cristobal Moreno

Owner ☐

Authorized Agent ☐

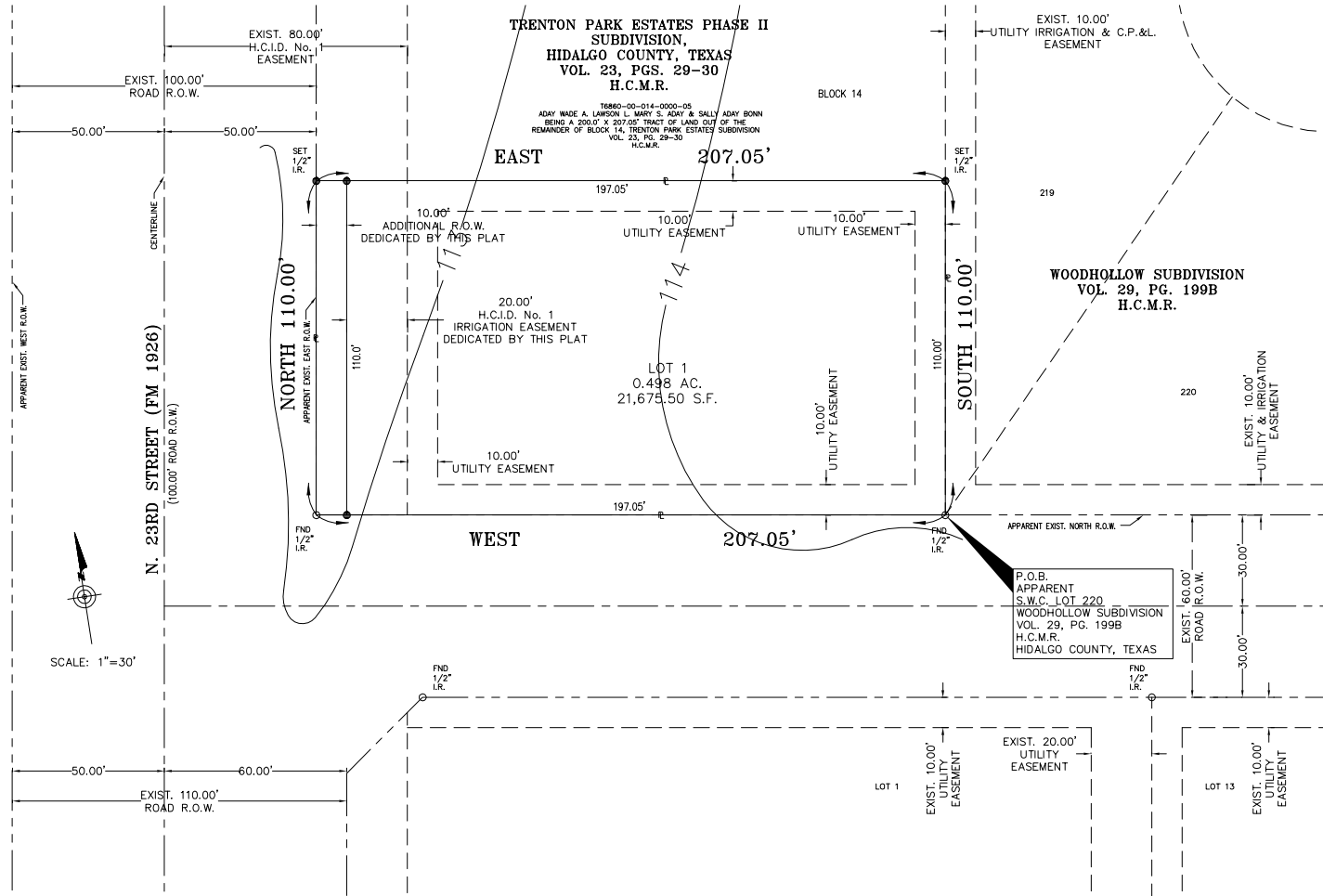
Rev 03/11



# LOCATION



**MAP  
OF  
CRIS AUTO SERVICE SUBDIVISION  
McALLEN, TEXAS**



DATE OF PREPARATION 04-11-2021

**MAS ENGINEERING LLC.**  
CONSULTING ENGINEERING  
FIRM NO. F-15499

3911 N. 10TH ST. STE H  
MCALLEN, TEXAS. 78501

PH. (956) 537-1311  
E-MAIL: MSALINAS6973@ATT.NET





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 7/28/2021

SUBDIVISION NAME: CRIS-AUTO SERVICE SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
N. 23rd Street: 10 ft. dedicated for 60 ft. from centerline for 120 ft. ROW Paving: By the state Curb & gutter: By the state **Show ROW from centerline and total ROW on N. 23rd Street to new property line after accounting for ROW dedication prior to final. *COM Thoroughfare Plan	Non-compliance
Warbler Avenue: 60 ft. ROW Paving: 40 ft. Curb & gutter: Both sides **Monies must be escrowed if improvements are not built prior to recording. *** Show document number of instrument where ROW for Warbler Avenue was dedicated. ****Subdivision Ordinance: Section 134-105	Applied
Paving _____ Curb & gutter _____ * 800 ft. Block Length **Subdivision Ordinance: Section 134-118	Applied
* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105	NA
	NA
ALLEYS	
ROW: 24 ft. Paving: 24 ft. *Alley/service drive easement required for commercial properties. **Note #17 indicates a min. 24 ft. wide service drive will be extended once adjacent property develops. ***Subdivision Ordinance: Section 134-106	Compliance
SETBACKS	
* Front: North 23rd Street: 60 ft. or in accordance with Zoning Ordinance or greater for easements or approved site plan. *Revise plat as noted above **Zoning Ordinance: Section 138-356	Non-compliance
* Rear: In accordance with zoning Ordinance or greater for easements or approved site plan. **Please revise plat note as shown above prior to final. **Zoning Ordinance: Section 138-356	Applied
* Interior Sides: In accordance with zoning Ordinance or greater for easements or approved site plan. **Please revise plat note as shown above prior to final. **Zoning Ordinance: Section 138-356	Applied
* Corner: See front setback. **Plat note for corner setback not required since both corners are covered under front setback section. **Zoning Ordinance: Section 138-356	NA
* Garage: 18 ft. except where greater setback is required; greater setback applies. **Zoning Ordinance: Section 138-356	NA
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	

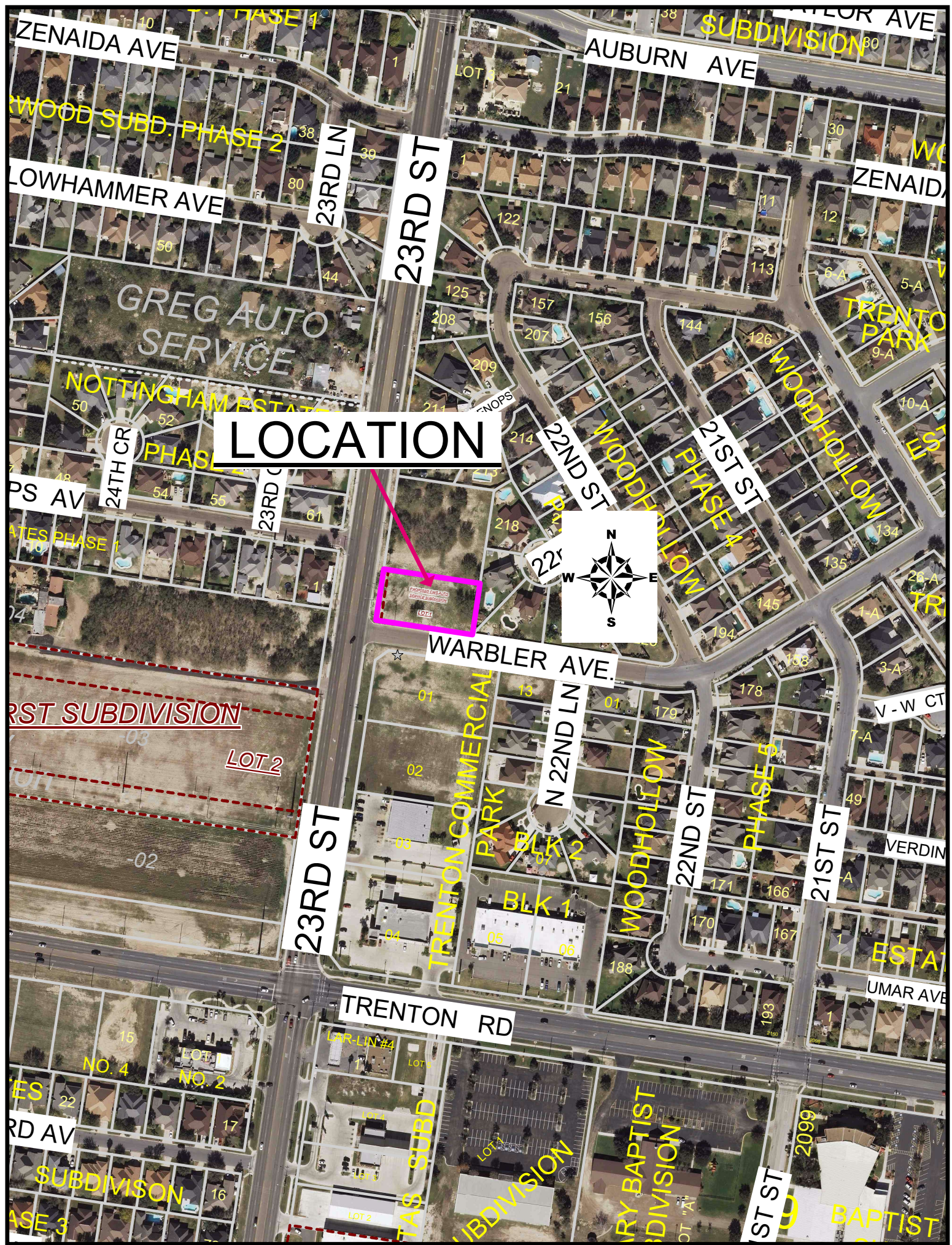


* 5 ft. wide minimum sidewalk required on N. 23rd Street and 4 ft. wide minimum sidewalk required on Warbler Ave. **Subdivision Ordinance: Section 134-120	Applied
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
<b>BUFFERS</b>	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Add plat note as shown above prior to final. **Landscaping Ordinance: Section 110-46	Non-compliance
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
<b>NOTES</b>	
* No curb cut, access, or lot frontage permitted along N. 23rd Street with access only from Warbler Avenue indicated on plat note #15 **City's Access Management Policy	Required
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance. **Please remove plat note #8 since is not required.	Required
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	Required
* Common areas, private streets/service drives must be maintained by the lot owners and not the City of McAllen ****Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Required
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Subdivision Ordinance: Section 110-72	NA
<b>LOT REQUIREMENTS</b>	
* Minimum lot width and lot area. **Zoning Ordinance: 138-1	Compliance
* Lots fronting public streets. **Zoning Ordinance: Section. 138-356	Compliance
<b>ZONING/CUP</b>	
* Existing: C-3 Proposed: C-3 *Zoning Ordinance: Article V	Compliance
* Rezoning Needed Before Final Approval *Zoning Ordinance: Article V	Compliance
<b>PARKS</b>	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording	NA
* Pending review by the Parkland Dedication Advisory Board and CC. ***As per Parks Department, Parks requirements do not apply to commercial properties. If proposed use changes, Parks requirements might apply.	NA



TRAFFIC	
* As per Traffic Department, Trip Generation has been approved.	Completed
* As per Traffic Department, TIA waived.	NA
COMMENTS	
Comments: Must comply with City's Access Management Policy **CUP2021-0080 needs to be finalized prior to recording. ***Business is not able to operate until CUP is granted.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM.	Applied





LOCATION





SUB2020-0048



City of McAllen  
Planning Department

311 North 15<sup>th</sup> Street  
McAllen, TX 78501  
P. O. Box 220  
McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

APPLICATION FOR

SUBDIVISION PLAT REVIEW

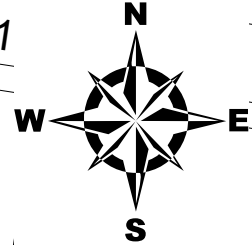
Project Description	<p>Subdivision Name <u>Garcia Estates</u></p> <p>Location <u>SW C Gumwood Avenue &amp; 29th St.</u></p> <p>City Address or Block Number <u>2901 Gumwood</u></p> <p>Number of lots <u>3</u> Gross acres <u>0.40</u> Net acres <u>0.40</u></p> <p>Existing Zoning <u>R1</u> Proposed <u>R1</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>vacant</u> Proposed Land Use <u>single family</u> Irrigation District # _____</p> <p>Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due <u>0</u></p> <p>Parcel No. <u>185437</u> Tax Dept. Review <u>Norma Guerra</u></p> <p>Legal Description <u>Approx. 0.40 ac. being East 1/2 Lot 1 of Reub. of N. 1/2 L 72 &amp; 73 BL 2 C &amp; Hammond aka Lot 1 Unicorn Acres</u></p>
Owner	<p>Name <u>Sonia Garcia / Erik J. Mora</u> Phone <u>956 (956) 381-0981</u></p> <p>Address <u>7608 N. 20th St.</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u></p> <p>E-mail <u>90ruben@meldenandhunt.com</u></p>
Developer	<p>Name <u>Sonia Garcia / Erik J. Mora</u> Phone <u>956 (956) 381-0981</u></p> <p>Address <u>7608 N. 20th St.</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u></p> <p>Contact Person <u>Sonia Garcia</u></p> <p>E-mail <u>sonia910@yahoo.com</u></p>
Engineer	<p>Name <u>Melden &amp; Hunt, Inc.</u> Phone <u>(956) 381-0981</u></p> <p>Address <u>115 W. McIntyre</u></p> <p>City <u>Edinburg</u> State <u>TX</u> Zip <u>78541</u></p> <p>Contact Person <u>Ruben James De Jesus</u></p> <p>E-mail <u>ruben@meldenandhunt.com</u></p>
Surveyor	<p>Name <u>Melden &amp; Hunt, Inc.</u> Phone <u>(956) 381-0981</u></p> <p>Address <u>115 W. McIntyre St.</u></p> <p>City <u>Edinburg</u> State <u>TX</u> Zip <u>78541</u></p>

Ret # 728117 Pd \$300

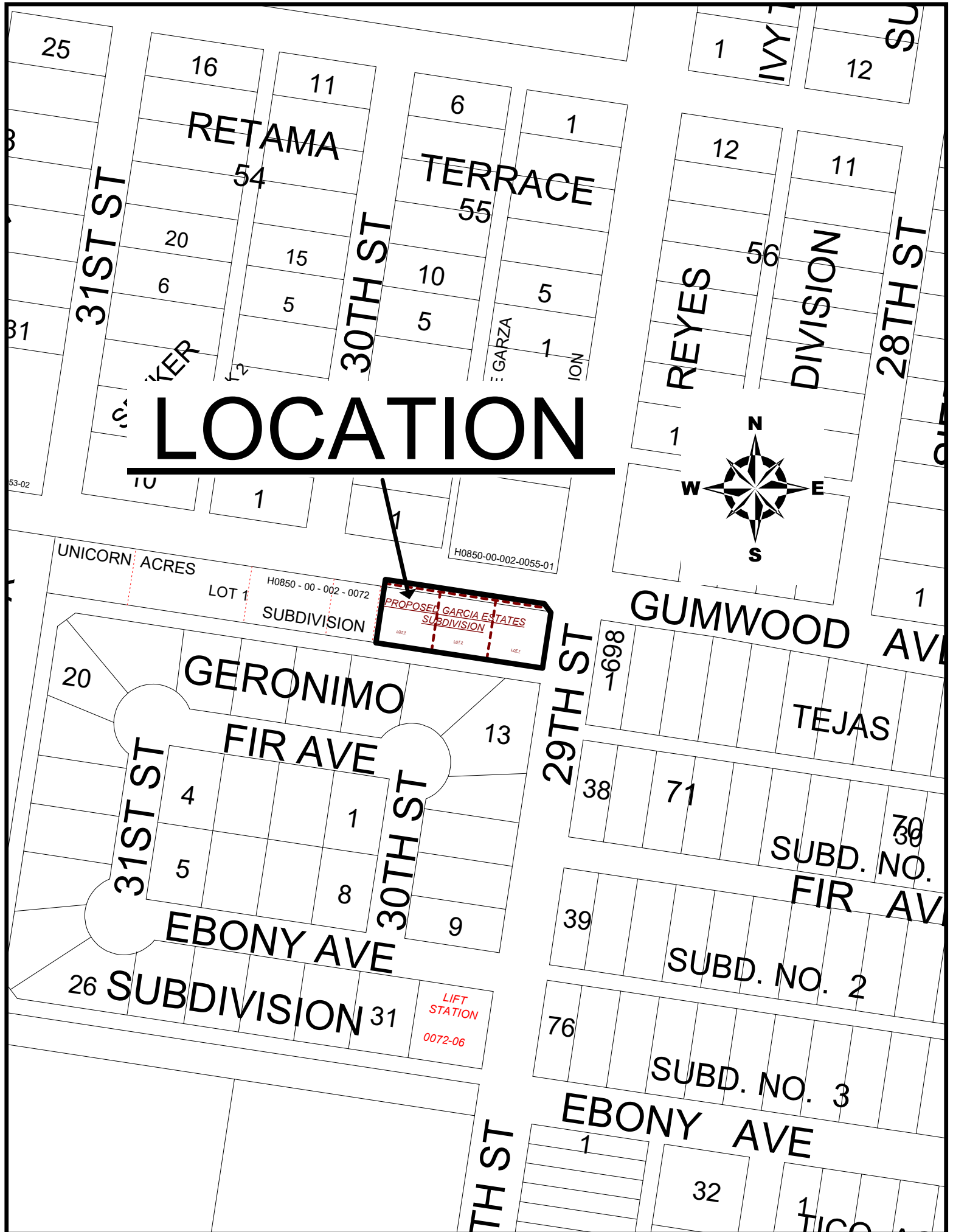




# LOCATION



PROPOSED GARCIA ESTATES  
SUBDIVISION





SPYKER SUBDIVISION,  
VOL. 15, PG. 7,  
H.C.M.R.

HINOJOSA ARTURO JR.

Q GUMWOOD AVENUE

P.O.B.

P.O.C.  
N.E. COR. LOT 1,  
UNICORN ACRES

THE FERNANDO GONZALEZ,  
TRUSTEE OF THE MODESTO GONZALEZ  
MANAGEMENT TRUST TRACT: THE EAST  
300.0 FEET OF THE WEST 60.0 FEET  
OF LOT 1, UNICORN ACRES,  
S.W.D. DOC. No. 2205761, H.C.O.R.

N 08° 15' 34" E

81.66'

3  
5490.864 SQ. FT.  
0.126 AC.

15.00' U.E. DEDICATED  
BY THIS PLAT

2  
5490.864 SQ. FT.  
0.126 AC.

1  
5490.864 SQ. FT.  
0.126 AC.

10.00' U.E.  
DEDICATED  
BY THIS PLAT

S 08° 23' 19" W

14.15'

THE CITY OF McALLEN TRACT:  
A 0.020 OF AN ACRE TRACT OUT OF  
LOT 1, UNICORN ACRES,  
W.D. DOC. No. 1112323, H.C.O.R.

N. 29TH STREET

N:16602719.974  
E:1065158.649

100' ALLEY

N:16602688.586  
E:1065371.416

16

15

GERONIMO SUBDIVISION,  
VOL. 20, PG. 169, H.C.M.R.

14

13



BEARING BASIS AS PER  
GERONIMO SUBDIVISION  
VOL. 20, PG. 169 H.C.M.R.

SCALE: 1" = 40'

## PLAT OF **GARCIA ESTATES SUBDIVISION**

BEING A RESUBDIVISION OF 0.40 OF ONE ACRE SITUATED IN THE CITY OF McALLEN,  
HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF LOT 1, UNICORN ACRES,  
ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 4, PAGE 3, HIDALGO  
COUNTY MAP RECORDS, AND ACCORDING TO WARRANTY DEED WITH VENDOR'S LIEN  
RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 2734788,  
HIDALGO COUNTY OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS





# City of McAllen

## SUBDIVISION PLAT REVIEW

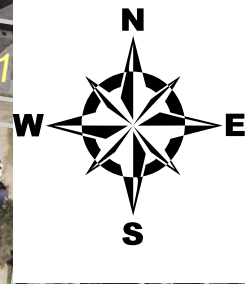
Reviewed On: 5/20/2021

<b>SUBDIVISION NAME: GARCIA ESTATES</b>	
<b>REQUIREMENTS</b>	
<b>STREETS AND RIGHT-OF-WAYS</b>	
N. 29th Street: 10 ft. ROW dedication required for 50 ft. from centerline required for 100 ft. total ROW Paving: min. 52 ft. Curb & gutter: Both sides *Variance letter submitted by engineer dedicating 5 ft. of additional ROW for N. 29th Street instead of the required 10 ft.	Non-compliance
Gumwood Avenue: 20 ft. dedication required for 40 ft. from centerline for a total of 80 ft. ROW Paving: min. 52 ft. Curb & gutter: Both sides *Variance letter received proposing 10 ft. of additional ROW instead of the required 20 ft. along Gumwood Avenue.	Non-compliance
* 800 ft. Block Length	Compliance
* 600 ft. Maximum Cul-de-Sac	NA
<b>ALLEYS</b>	
ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Existing alley to the south currently not paved.	Required
<b>SETBACKS</b>	
* Front: 45 ft. or greater for approved site plan or easements **Please revise plat note as shown above prior to final.	Non-compliance
* Rear: 10 ft. or greater for approved site plan or easements	Applied
* Sides: 6 ft. or greater for approved site plan or easements	Applied
* Corner side: 25 ft. or greater for easements **Revise plat as noted above	TBD
* Garage: 18 ft. except where greater setback is required, greater setback applies	Applied
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
<b>SIDEWALKS</b>	
* 4 ft. wide minimum sidewalk required on Gumwood Avenue and N. 29th Street.	Applied
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
<b>BUFFERS</b>	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
<b>NOTES</b>	
* No curb cut, access, or lot frontage permitted along **Engineer to show access locations due to Gumwood Avenue being a collector road requiring 200 ft. spacing between accesses	TBD



* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	NA
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Common Areas, Private Streets, service drives, etc. must be maintained by the lot owners and not the City of McAllen	Applied
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies for public subdivisions	Applied
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **If proposed number of lots changes, new requirements might be triggered.	NA
<b>LOT REQUIREMENTS</b>	
* Minimum lot width and lot area	Compliance
* Lots fronting public streets	Compliance
<b>ZONING/CUP</b>	
* Existing: R-1 Proposed: R-1 (Single Family Residences)	Compliance
* Rezoning not required if proposed use is single family residences.	NA
<b>PARKS</b>	
* Land dedication in lieu of fee	NA
* Park Fee of \$700 per dwelling unit/lot to be paid prior to recording. Per parks Department \$700 x 3 lots = \$2,100	Required
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
<b>TRAFFIC</b>	
* As per Traffic Department, Trip Generation waived for three single family residences. No TIA required.	Completed
* As per Traffic Dept., Traffic Impact Analysis (TIA) not required prior to final plat.	NA
<b>COMMENTS</b>	
Comments: *Must comply with City's Access Management Policy **Clarify ROW dedication on Gumwood Avenue and N. 29th Street ***Engineer submitted a variance request for the required ROW dedication along Gumwood Avenue and N. 29th Street which will be presented at the P&Z meeting scheduled for June 3, 2021.	Applied
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM, SUBJECT TO CONDITIONS NOTED AND CLARIFICATION ON THE REQUESTED VARIANCES.	Applied









TBPELS Firm # F-1435  
TBPELS # 10096900

# MELDEN & HUNT INC.

CONSULTANTS • ENGINEERS • SURVEYORS

FRED L. KURTH • ALLAN F. BOOE • KELLEY A. HELLER-VELA • ROBERTO N. TAMEZ • MARIO A. REYNA • RUBEN JAMES DE JESUS

May 13, 2021

Edgar Garcia, Planning Director  
**CITY OF MCALLEN PLANNING DEPT.**  
311 N. 15<sup>TH</sup> St.  
McAllen, TX 78501

**RE: Variance for Additional R.O.W. Requirement - Garcia Estates**

Dear Mr. Garcia:

On behalf of the owners, Sonia Garcia & Erik Mora, Melden and Hunt, Inc. is requesting a variance to the additional right-of-way being required by City of McAllen Planning Department for **GARCIA ESTATES**.

We will dedicate an additional 10 feet of right of way in lieu of the required 20 feet on Gumwood Avenue. The dedicated 10 feet would complete a 50-foot road right-of-way for Gumwood Avenue fronting **GARCIA ESTATES** which will leave room for the future right-of-way to be 60-feet if the adjacent property to the north dedicates an additional 10 feet. In our observation of the Gumwood corridor at a minimum of a ¼ mile to the West and East of our site, there is a maximum right of way of 50 feet. Due to the nature of the existing improvements along this corridor an 80-foot right-of-way would not be feasible.

In addition, we will dedicate an additional 5 feet of right of way in lieu of the required 10 feet on 29<sup>th</sup> Street. The dedicated 5 feet would complete a 75-foot road right-of-way for 29<sup>th</sup> Street fronting **GARCIA ESTATES**.

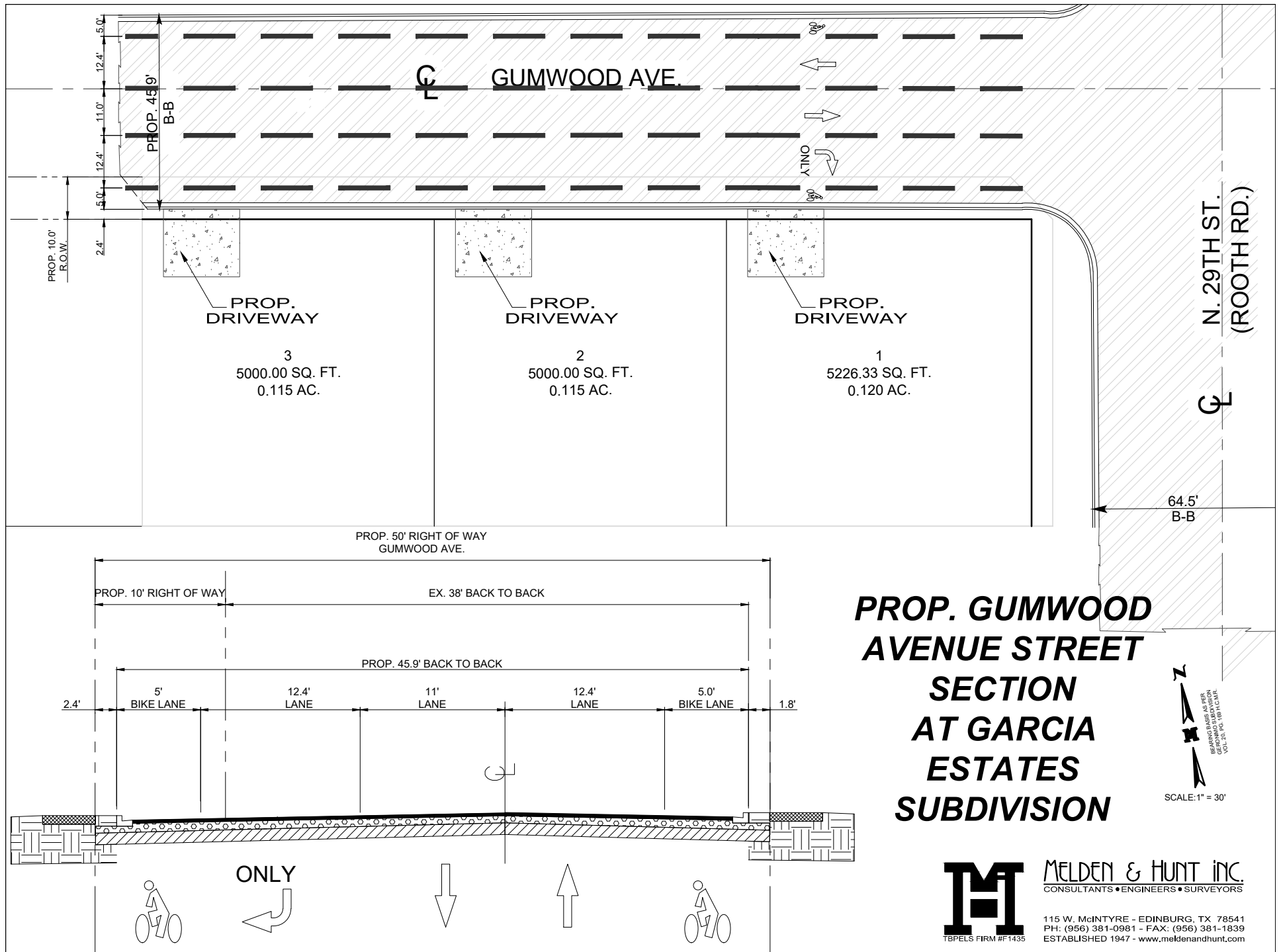
If you need additional information, please don't hesitate to contact us. We look forward to presenting this item at your next P&Z Meeting. Thank you.

Sincerely,

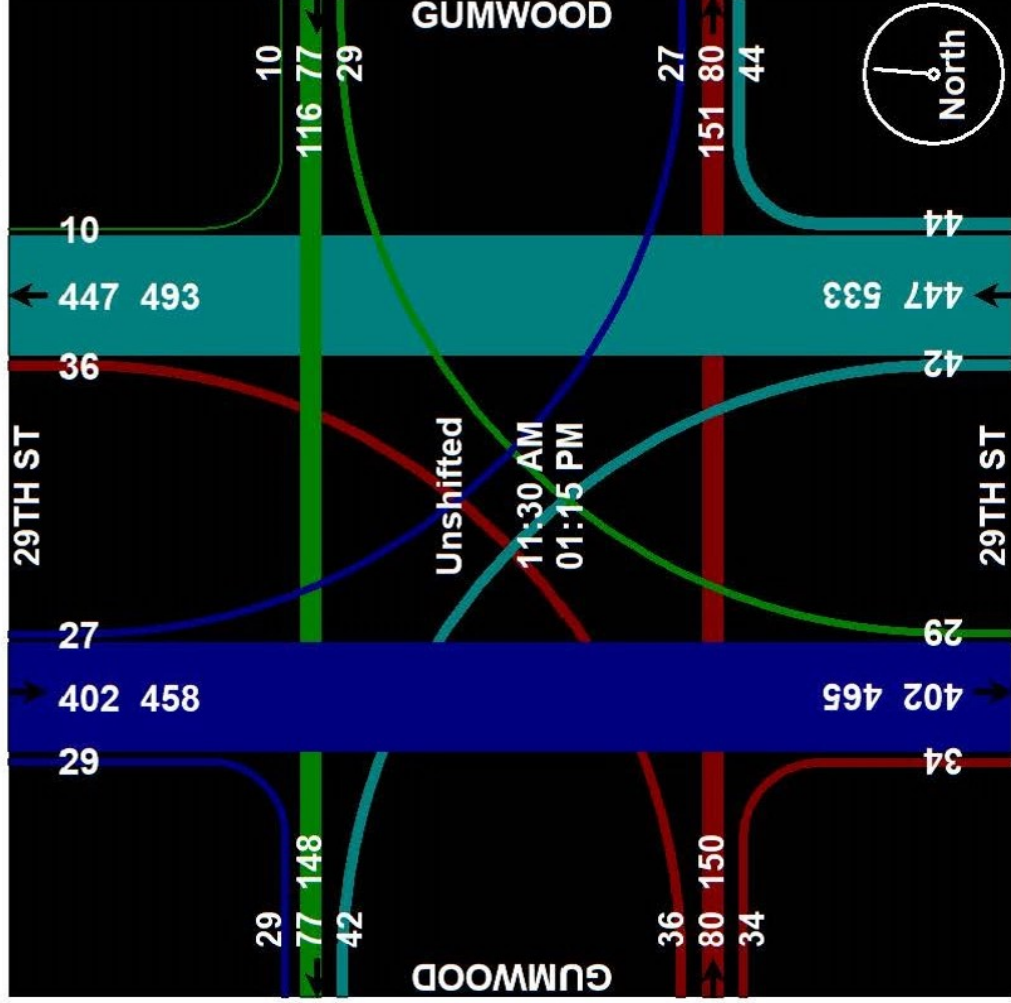


Ruben James De Jesus, P.E., R.P.L.S.  
Vice President



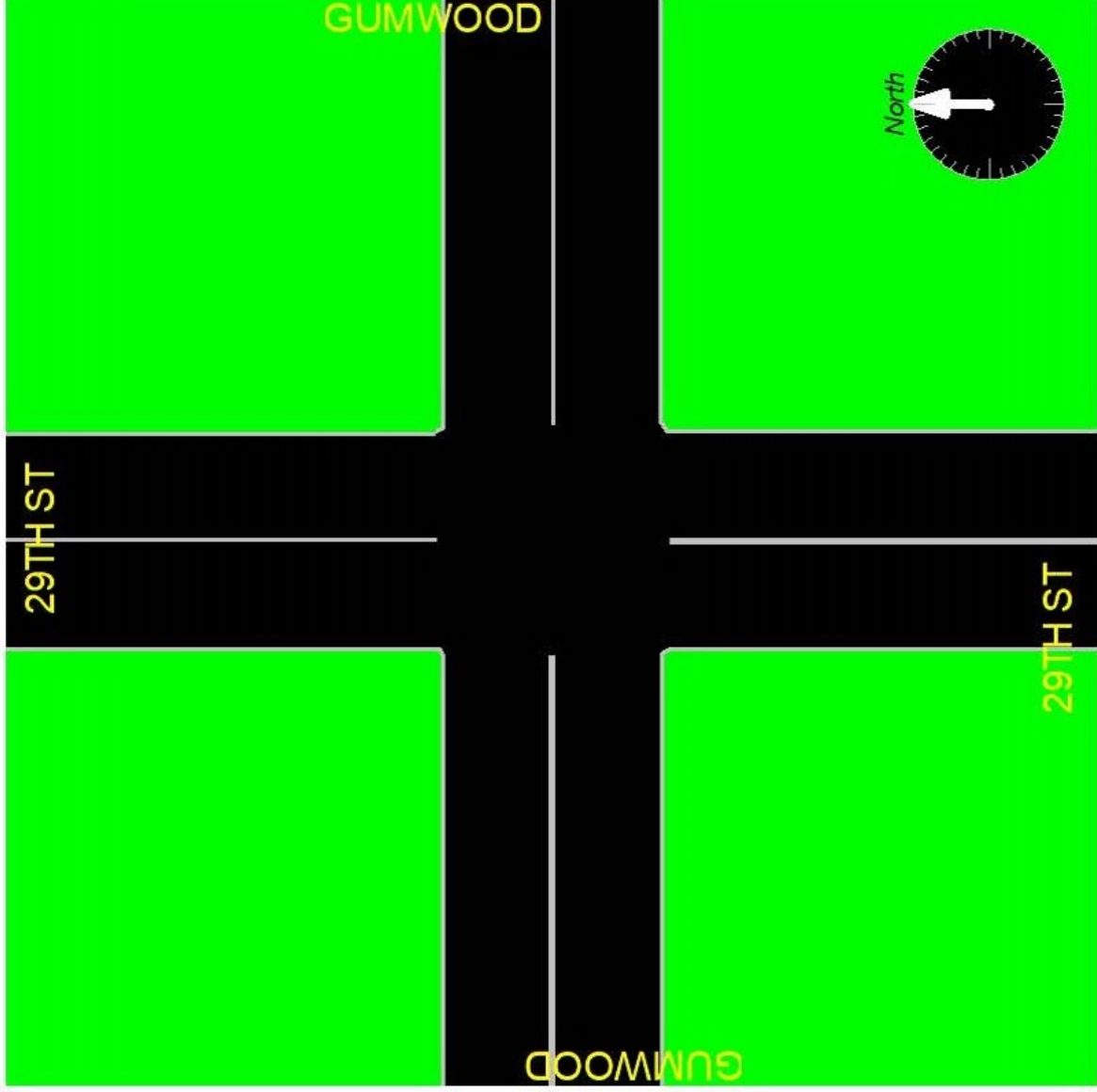








File Name : Noon Peak Hours  
Site Code : 00000000  
Start Date : 6/8/2021  
Page No : 3



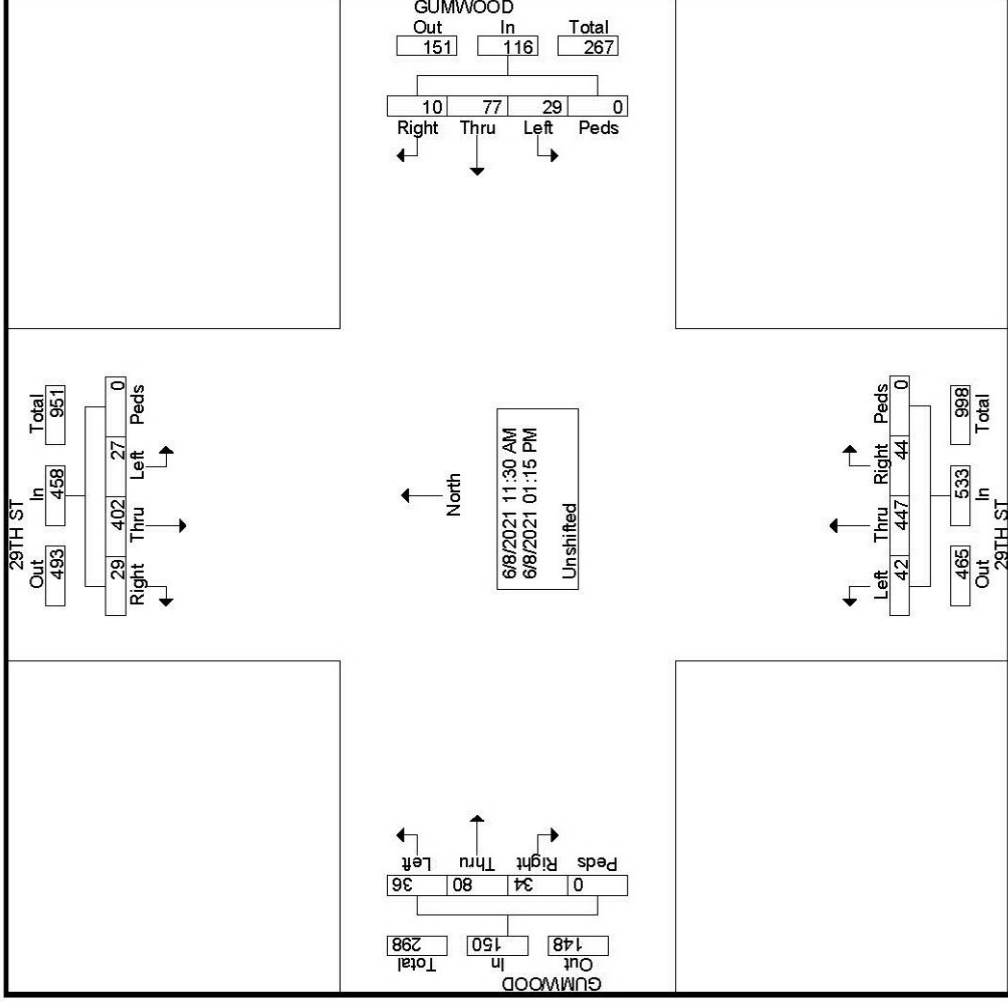


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Change These in The Preferences Window  
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Then Click the Comments Tab

File Name : Noon Peak Hours  
Site Code : 00000000  
Start Date : 6/8/2021  
Page No : 1

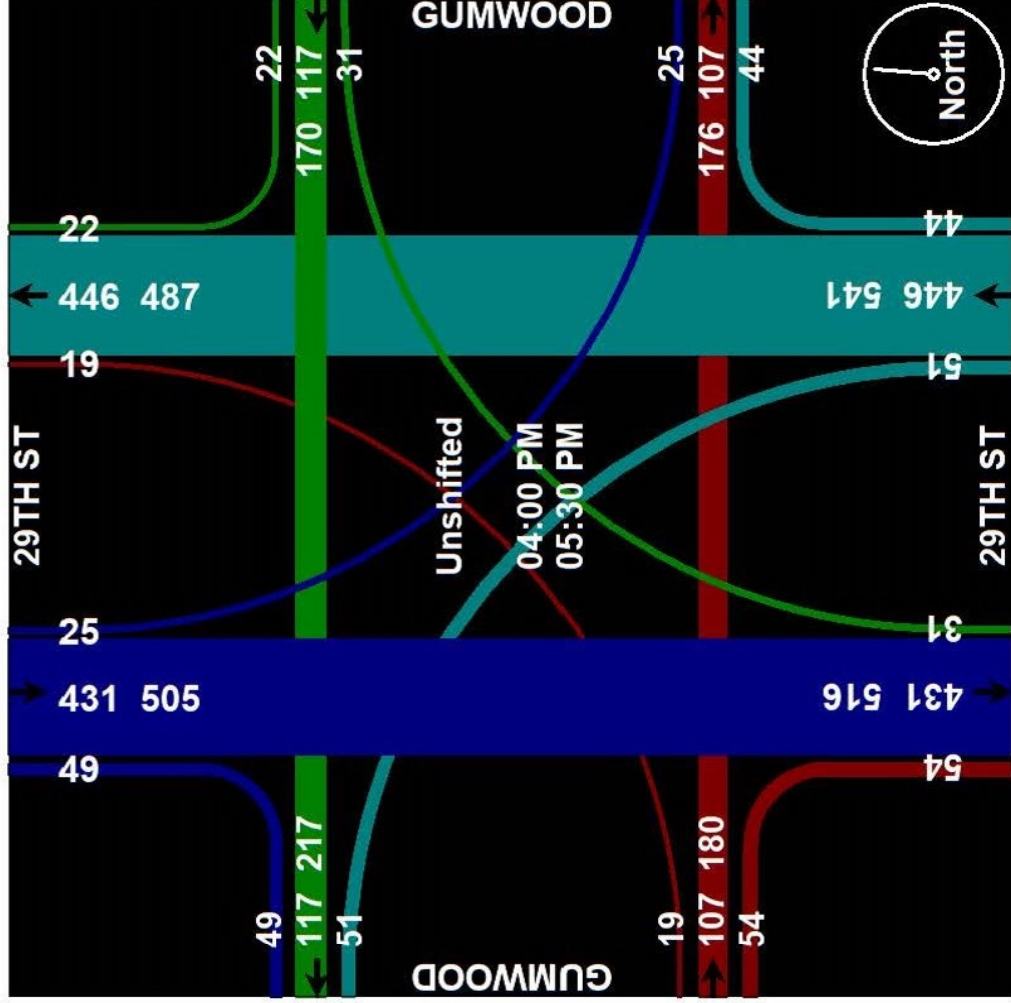
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	29TH ST					GUMWOOD					29TH ST					GUMWOOD					
Start Time	From North			From East			From South			From West			Int. Total								
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru		Left	Peds	App. Total					
11:30 AM	6	53	2	0	61	2	7	1	0	10	7	53	4	0	64	3	12	5	0	20	155
11:45 AM	1	44	8	0	53	1	8	8	0	17	9	46	5	0	60	1	12	1	0	14	144
Total	7	97	10	0	114	3	15	9	0	27	16	99	9	0	124	4	24	6	0	34	299
12:00 PM	3	69	2	0	74	4	17	4	0	25	8	67	5	0	80	6	12	4	0	22	201
12:15 PM	3	55	3	0	61	0	13	2	0	15	2	63	2	0	67	4	11	3	0	18	161
12:30 PM	5	41	4	0	50	1	9	6	0	16	4	52	3	0	59	4	7	9	0	20	145
12:45 PM	2	45	1	0	48	0	10	6	0	16	4	50	7	0	61	4	14	7	0	25	150
Total	13	210	10	0	233	5	49	18	0	72	18	232	17	0	267	18	44	23	0	85	657
01:00 PM	6	48	2	0	56	1	4	1	0	6	4	59	6	0	69	7	7	5	0	19	150
01:15 PM	3	47	5	0	55	1	9	1	0	11	6	57	10	0	73	5	5	2	0	12	151
Grand Total	29	402	27	0	458	10	77	29	0	116	44	447	42	0	533	34	80	36	0	150	1257
Approch %	6.3	87.8	5.9	0		8.6	66.4	25	0		8.3	83.9	7.9	0		22.7	53.3	24	0		
Total %	2.3	32	2.1	0	36.4	0.8	6.1	2.3	0	9.2	3.5	35.6	3.3	0	42.4	2.7	6.4	2.9	0	11.9	





File Name : Evening Peak Hours  
Site Code : 00000000  
Start Date : 6/8/2021  
Page No : 2





File Name : Evening Peak Hours  
Site Code : 00000000  
Start Date : 6/8/2021  
Page No : 3





## Default Comments

Change These in The Preferences Window

Select File/Preference in the Main Screenshot

Then Click the Comments Tab

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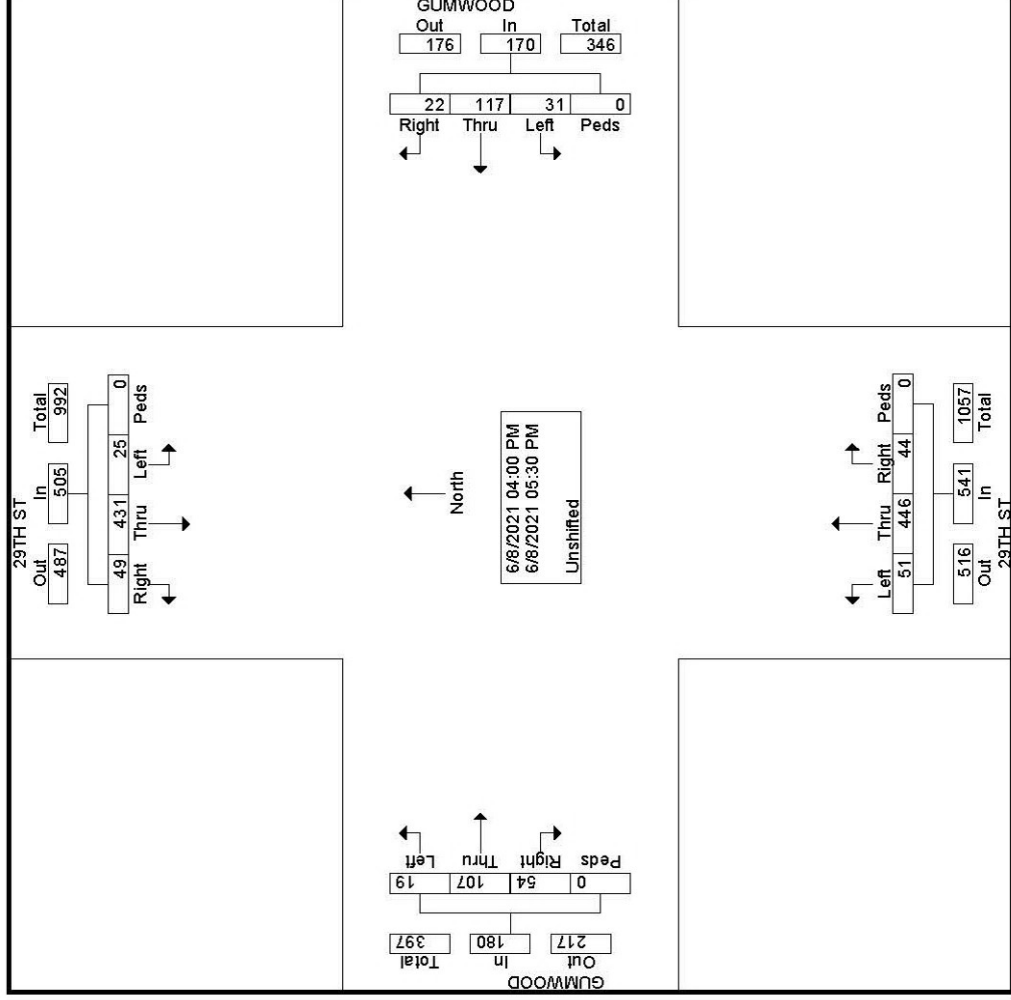
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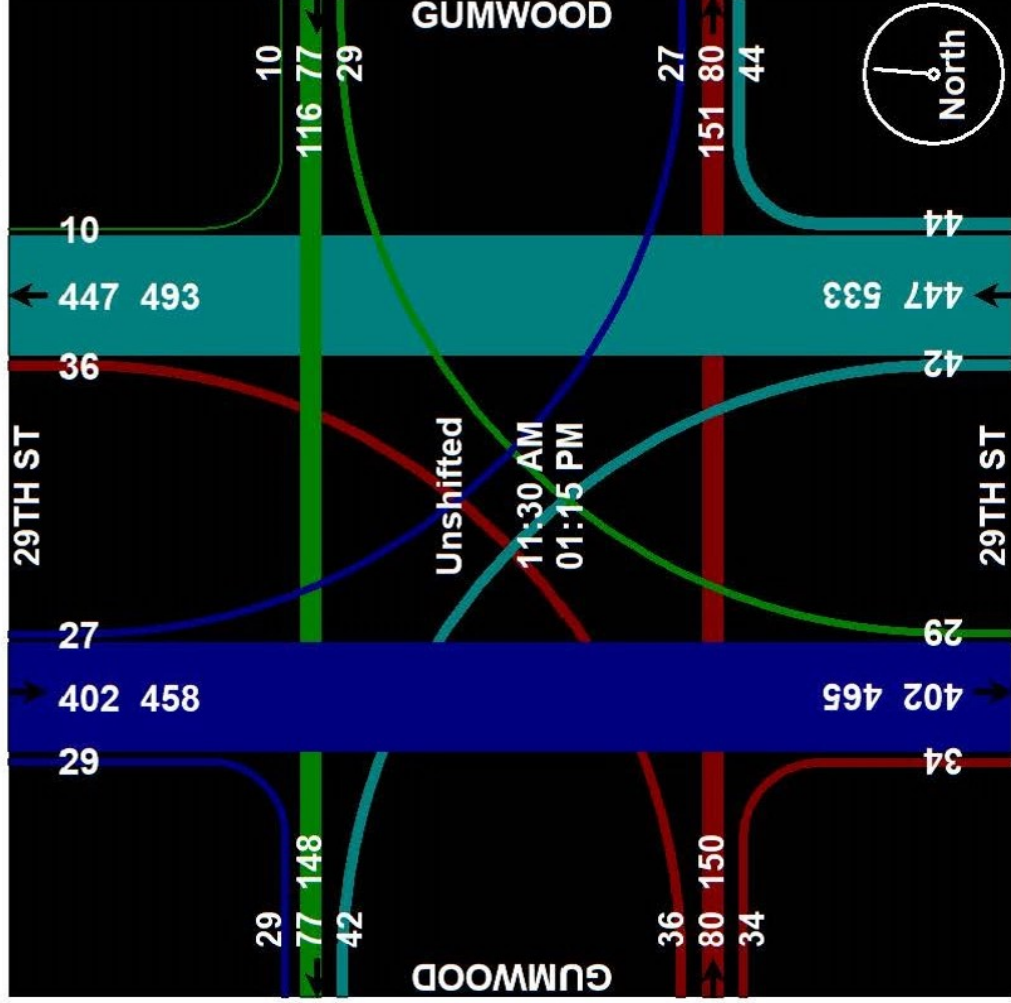
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	29TH ST					GUMWOOD					29TH ST					GUMWOOD					From West					Int. Total
Start Time	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Int. Total
04:00 PM	1	57	2	0	60	6	13	2	0	21	9	53	3	0	65	8	9	5	0	22	8	9	5	0	22	168
04:15 PM	5	62	4	0	71	4	19	4	0	27	6	76	7	0	89	6	16	3	0	25	6	16	3	0	25	212
04:30 PM	3	58	7	0	68	4	18	4	0	26	6	51	12	0	69	8	16	3	0	27	7	14	1	0	27	190
04:45 PM	19	64	6	0	89	3	13	6	0	22	4	78	5	0	87	7	14	1	0	22	7	14	1	0	22	220
Total	28	241	19	0	288	17	63	16	0	96	25	258	27	0	310	29	55	12	0	96	29	55	12	0	96	790
05:00 PM	13	67	3	0	83	4	14	7	0	25	4	56	13	0	73	11	25	4	0	40	11	25	4	0	40	221
05:15 PM	4	70	1	0	75	0	22	5	0	27	10	71	6	0	87	10	16	3	0	29	10	16	3	0	29	218
05:30 PM	4	53	2	0	59	1	18	3	0	22	5	61	5	0	71	4	11	0	0	15	4	11	0	0	15	167
Grand Total	49	431	25	0	505	22	117	31	0	170	44	446	51	0	541	54	107	19	0	180	54	107	19	0	180	1396
Approch %	9.7	85.3	5	0	36.2	12.9	68.8	18.2	0	12.2	8.1	82.4	9.4	0	38.8	3.9	59.4	10.6	0	12.9	3.9	59.4	10.6	0	12.9	
Total %	3.5	30.9	1.8	0	36.2	1.6	8.4	2.2	0	12.2	3.2	31.9	3.7	0	38.8	3.9	7.7	1.4	0	12.9	3.9	7.7	1.4	0	12.9	









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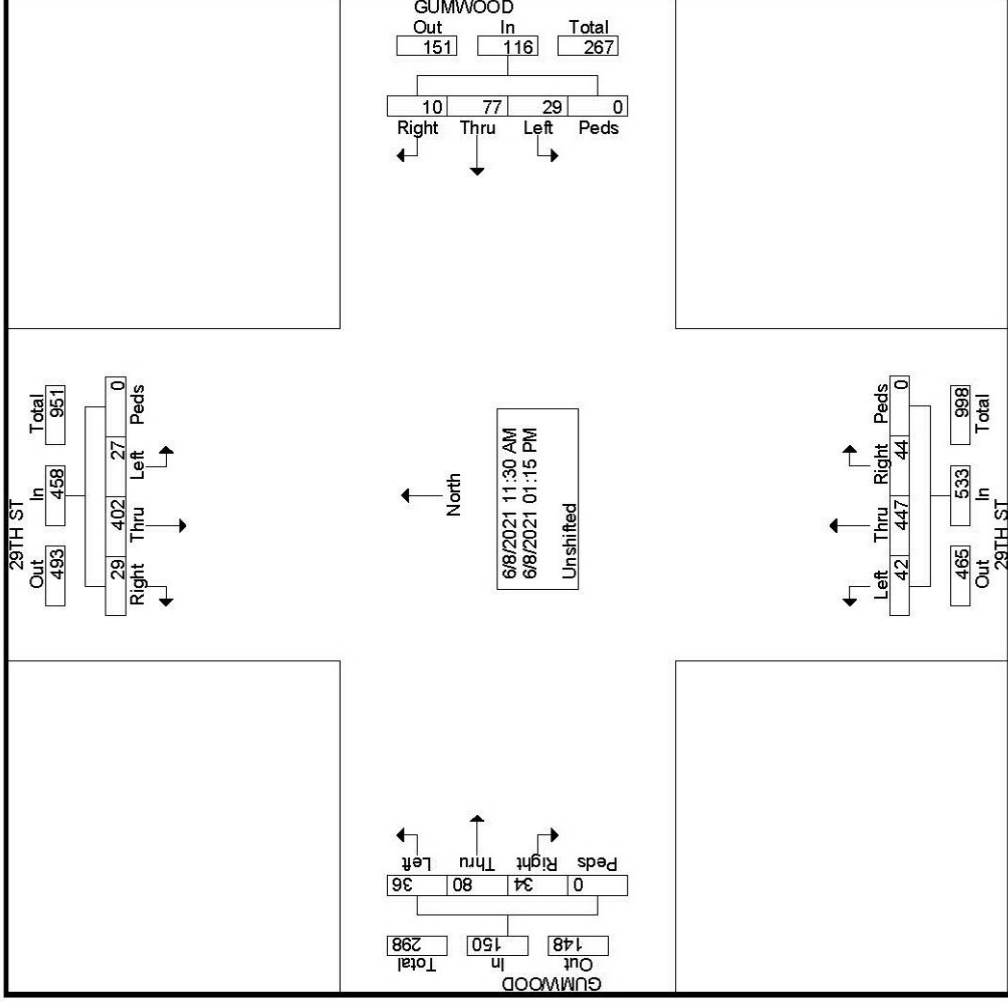


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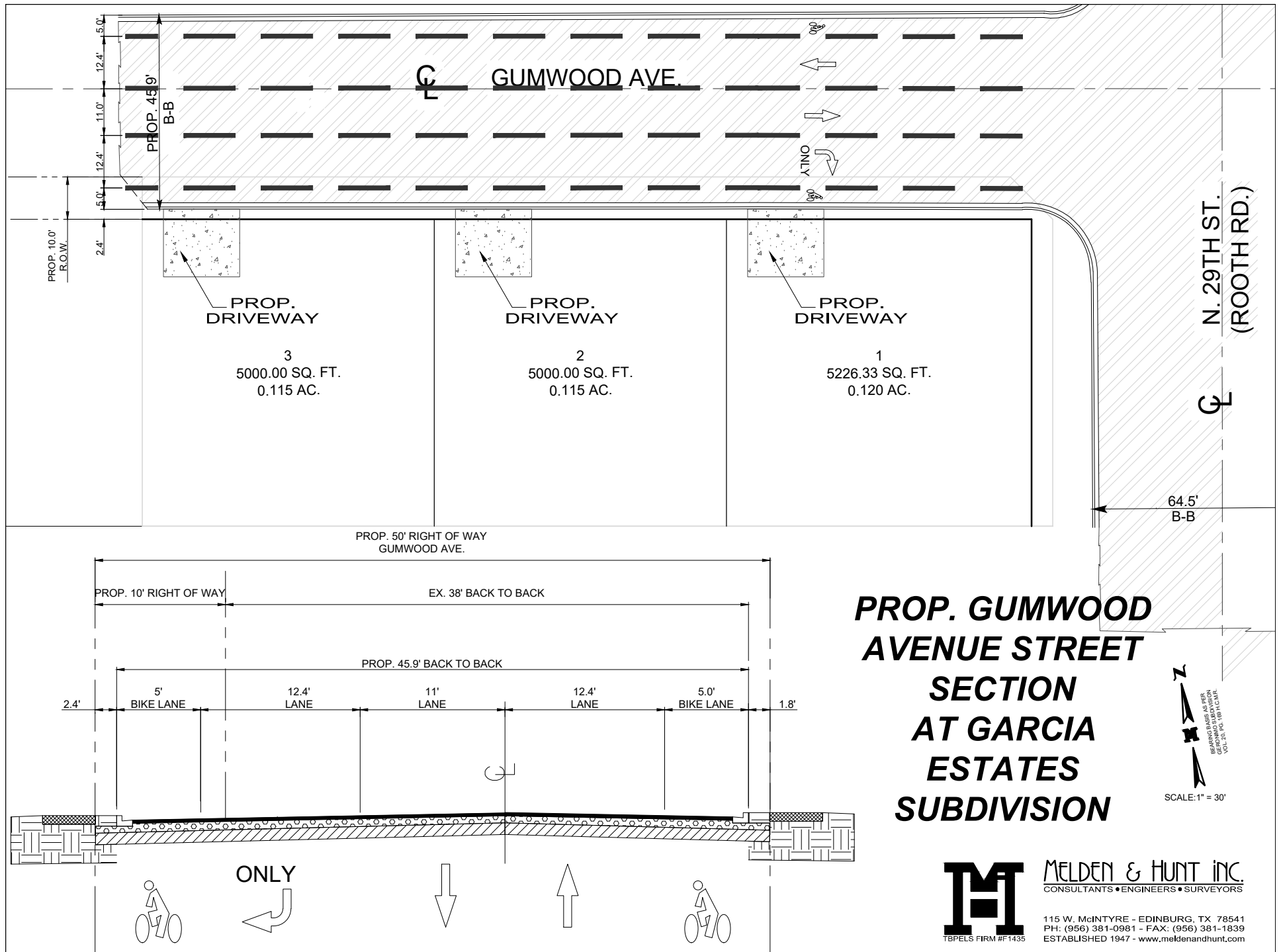
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	From North			From East			From South			From West				From North			From East			From South			From West			
Start Time	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Int. Total
11:30 AM	6	53	2	0	61	2	7	1	0	10	7	53	4	0	64	3	12	5	0	20	155					
11:45 AM	1	44	8	0	53	1	8	8	0	17	9	46	5	0	60	1	12	1	0	14	144					
Total	7	97	10	0	114	3	15	9	0	27	16	99	9	0	124	4	24	6	0	34	299					
12:00 PM	3	69	2	0	74	4	17	4	0	25	8	67	5	0	80	6	12	4	0	22	201					
12:15 PM	3	55	3	0	61	0	13	2	0	15	2	63	2	0	67	4	11	3	0	18	161					
12:30 PM	5	41	4	0	50	1	9	6	0	16	4	52	3	0	59	4	7	9	0	20	145					
12:45 PM	2	45	1	0	48	0	10	6	0	16	4	50	7	0	61	4	14	7	0	25	150					
Total	13	210	10	0	233	5	49	18	0	72	18	232	17	0	267	18	44	23	0	85	657					
01:00 PM	6	48	2	0	56	1	4	1	0	6	4	59	6	0	69	7	7	5	0	19	150					
01:15 PM	3	47	5	0	55	1	9	1	0	11	6	57	10	0	73	5	5	2	0	12	151					
Grand Total	29	402	27	0	458	10	77	29	0	116	44	447	42	0	533	34	80	36	0	150	1257					
Approch %	6.3	87.8	5.9	0		8.6	66.4	25	0		8.3	83.9	7.9	0		22.7	53.3	24	0							
Total %	2.3	32	2.1	0	36.4	0.8	6.1	2.3	0	9.2	3.5	35.6	3.3	0	42.4	2.7	6.4	2.9	0	11.9						











# PLANNING DEPARTMENT

311 N 15th Street McAllen, TX 78501  
Phone: 956-681-1250 Fax: 956-681-1279



## 2021 CALENDAR

### Meetings:

- City Commission
- Planning & Zoning Board
- Public Utility Board
- Zoning Board of Adjustment

HPC - Historic Preservation Council

### Deadlines:

D- Zoning/CUP Application N - Public Notification

\* Holiday - Office is closed

### JANUARY 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1 HOLIDAY	2
3	4 A-1/19 & 1/20	5	6 N-1/19 & 1/20 D-2/2 & 2/3	7	8	9
10	11 	12 	13	14	15	16
17	18 A-2/2 & 2/3	19	20 HPC N-2/2 & 2/3 D-2/16 & 2/17	21	22	23
24	25 	26 	27	28	29	30
31						

### FEBRUARY 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
	1 A- 2/16 & 2/17	2	3 N- 2/16 & 2/17 D- 3/2 & 3/3	4	5	6
7	8 	9 	10	11	12	13
14	15 A-3/2 & 3/3	16	17 N-3/2 & 3/3 D-3/16 & 3/17	18	19	20
21	22 	23 	24 HPC	25	26	27
28						

### MARCH 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
	1 A-3/16 & 3/17	2	3 N-3/16 & 3/17 D-4/6 & 4/7	4	5	6
7	8 	9 	10	11	12	13
14	15	16	17 D-4/20 & 4/21	18	19	20
21	22 A-4/6 & 4/7	23 	24 HPC N-4/6 & 4/7	25	26	27
28	29	30	31			

### APRIL 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
				1	2 HOLIDAY	3
4	5 A-4/20 & 4/21	6	7 N-4/20 & 4/21 D-5/4 & 5/5	8	9	10
11	12 	13 	14	15	16	17
18	19 A- 5/4 & 5/5	20	21 HPC N- 5/4 & 5/5 D-5/18 & 5/19	22	23	24
25	26 	27 	28	29	30	

### MAY 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1
2	3 A- 5/18 & 5/19	4	5 D: 6/1 & 6/2 N-5/18 & 5/19	6	7	8
9	10 	11 	12	13	14	15
16	17 A-6/1 & 6/2	18	19 N-6/1 & 6/2 D-6/16 & 6/17	20	21	22
23	24 	25 	26 HPC	27	28	29
30	31 HOLIDAY					

### JUNE 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1	2 N-6/16 & 6/17 D-7/6 & 7/7	3	4	5
6	7	8	9	10	11	12
13	14 	15 	16 D-7/20 & 7/21	17	18	19
20	21 A-7/6 & 7/7	22	23 HPC N-7/6 & 7/7	24	25	26
27	28 	29 	30			

Deadlines and Meeting Dates are subject to change at any time. Please contact the Planning Department at (956) 681-1250 if you have any questions.





# PLANNING DEPARTMENT

311 N 15th Street McAllen, TX 78501  
Phone: 956-681-1250 Fax: 956-681-1279



## 2021 CALENDAR

### Meetings:





-  City Commission
-  Planning & Zoning Board
-  Public Utility Board
-  Zoning Board of Adjustment
- HPC - Historic Pres Council

### Deadlines:





- D- Zoning/CUP Application
- N - Public Notification

\* **Holiday** - Office is closed





### JULY 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
				1	2	3
					A-7/20 & 7/21	
4	5 <b>HOLIDAY</b>	6 PZ moved to 7/8	7 N-7/20 & 7/21 D-8/3 & 8/4	8 PZ MTG	9	10
11	12 	13 	14	15	16	17
18	19 A-8/3 & 8/4	20	21 HPC N-8/3 & 8/4 D-8/17 & 8/18	22	23	24
25	26 	27 	28	29	30	31




### AUGUST 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
1	2	3 Las Palmas Community	4 Exec Room N- 8/17 & 8/18 D-9/1 & 9/7	5	6	7
8	9 A- 8/17 & 8/18	10 	11 	12	13	14
15	16 A-ZBA 9/1	17 Library	18 Exec Room N-ZBA 9/1 D-9/15 & 9/21	19	20	21
22	23 	24 	25 HPC N-PZ 9/7	26	27	28
29	30 A-ZBA 9/15	31				





### SEPTEMBER 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1 N-ZBA 9/15 D-10/5 & 10/6	2	3	4
					A-PZ 9/21	
5	6 <b>HOLIDAY</b>	7	8 N-PZ 9/21	9	10	11
12	13 	14 	15 D-10/19 & 10/20	16	17	18
19	20 A-10/5 & 10/6	21	22 HPC N-10/5 & 10/6	23	24	25
26	27 	28 	29	30		



### OCTOBER 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1	2
3	4	5	6 N-10/19 & 10/20 D-11/2 & 11/3	7	8	9
10	11 A-10/19 & 10/20	12 	13	14	15	16
17	18 A- 11/2 & 11/3	19 PZ moved to 21st	20 N- 11/2 & 11/3 D-11/16 & 11/1	21 PZ MTG	22	23
24	25 	26 	27 HPC	28	29	30
31						

### NOVEMBER 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
	1	2	3 N-11/16 & 11/17 D-12/1 & 12/7	4	5	6
	A-11/16 & 11/17					
7	8 	9 	10	11	12	13
14	15 A-ZBA 12/1	16	17 N-ZBA 12/1 D-PZ-12/21	18	19	20
21	22 	23 	24 N-PZ 12/7	25 <b>HOLIDAY</b>	26	27
28	29 A-ZBA 12/15	30				

### DECEMBER 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			HPC N-ZBA 12/15 D-1/4 & 1/5	2	3	4
5	6	7	8 N- PZ 12/21	9	10	11
	A-PZ 12/21					
12	13 	14 	15 D-1/18 & 1/19	16	17	18
19	20 A- 1/4 & 1/5	21	22 N- 1/4 & 1/5	23 <b>HOLIDAY</b>	24 <b>HOLIDAY</b>	25
26	27	28	29	30	31 <b>HOLIDAY</b>	

Deadlines and Meeting Dates are subject to change at any time. Please contact the Planning Department at (956) 681-1250 if you have any questions.





Subdivision Review Meeting - 8:30 a.m.

Review with staff, developers and engineers

★

Project Review - 1:15 p.m.

Review of plats, utilities and drainage and site plans

City Commission

Planning and Zoning

Public Utility Board

Changes to subdivision/site plans

Required to be placed on following review meeting

Deadline for New Plats

New Plats with all supporting information and fees

JANUARY 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
					<div>1</div> <div></div>	<div>2</div> <div></div>
<div>3</div> <div></div>	<div>4</div> <div></div>	<div>5</div> <div></div>	<div>6</div> <div>★</div>	<div>7</div> <div></div>	<div>8</div> <div></div>	<div>9</div> <div></div>
<div>10</div> <div></div>	<div>11</div> <div></div>	<div>12</div> <div></div>	<div>13</div> <div>★</div>	<div>14</div> <div></div>	<div>15</div> <div></div>	<div>16</div> <div></div>
<div>17</div> <div></div>	<div>18</div> <div></div>	<div>19</div> <div></div>	<div>20</div> <div>★</div>	<div>21</div> <div></div>	<div>22</div> <div></div>	<div>23</div> <div></div>
<div>24</div> <div></div>	<div>25</div> <div></div>	<div>26</div> <div></div>	<div>27</div> <div>★</div>	<div>28</div> <div></div>	<div>29</div> <div></div>	<div>30</div> <div></div>
<div>31</div> <div></div>					<div>D-2/16</div>	

FEBRUARY 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
		<div>2</div> <div></div>	<div>3</div> <div>★</div>	<div>4</div> <div></div>	<div>5</div> <div></div>	<div>6</div> <div></div>
<div>7</div> <div></div>	<div>8</div> <div></div>	<div>9</div> <div></div>	<div>10</div> <div>★</div>	<div>11</div> <div></div>	<div>12</div> <div></div>	<div>13</div> <div></div>
<div>14</div> <div></div>	<div>15</div> <div></div>	<div>16</div> <div></div>	<div>17</div> <div>★</div>	<div>18</div> <div></div>	<div>19</div> <div></div>	<div>20</div> <div></div>
<div>21</div> <div></div>	<div>22</div> <div></div>	<div>23</div> <div></div>	<div>24</div> <div>★</div>	<div>25</div> <div></div>	<div>26</div> <div></div>	<div>27</div> <div></div>
<div>28</div> <div></div>					<div>D-3/16</div>	

MARCH 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
	<div>1</div> <div></div>	<div>2</div> <div></div>	<div>3</div> <div>★</div>	<div>4</div> <div></div>	<div>5</div> <div></div>	<div>6</div> <div></div>
<div>7</div> <div></div>	<div>8</div> <div></div>	<div>9</div> <div></div>	<div>10</div> <div>★</div>	<div>11</div> <div></div>	<div>12</div> <div></div>	<div>13</div> <div></div>
<div>14</div> <div></div>	<div>15</div> <div></div>	<div>16</div> <div></div>	<div>17</div> <div>★</div>	<div>18</div> <div></div>	<div>19</div> <div></div>	<div>20</div> <div></div>
<div>21</div> <div></div>	<div>22</div> <div></div>	<div>23</div> <div></div>	<div>24</div> <div>★</div>	<div>25</div> <div></div>	<div>26</div> <div></div>	<div>27</div> <div></div>
<div>28</div> <div></div>	<div>29</div> <div></div>	<div>30</div> <div></div>	<div>31</div> <div></div>			

APRIL 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
				<div>1</div> <div></div>	<div>2</div> <div></div>	<div>3</div> <div></div>
<div>4</div> <div></div>	<div>5</div> <div></div>	<div>6</div> <div></div>	<div>7</div> <div>★</div>	<div>8</div> <div></div>	<div>9</div> <div></div>	<div>10</div> <div></div>
<div>11</div> <div></div>	<div>12</div> <div></div>	<div>13</div> <div></div>	<div>14</div> <div>★</div>	<div>15</div> <div></div>	<div>16</div> <div></div>	<div>17</div> <div></div>
<div>18</div> <div></div>	<div>19</div> <div></div>	<div>20</div> <div></div>	<div>21</div> <div>★</div>	<div>22</div> <div></div>	<div>23</div> <div></div>	<div>24</div> <div></div>
<div>25</div> <div></div>	<div>26</div> <div></div>	<div>27</div> <div></div>	<div>28</div> <div>★</div>	<div>29</div> <div></div>	<div>30</div> <div></div>	<div></div> <div></div>

MAY 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
						<div>1</div> <div></div>
<div>2</div> <div></div>	<div>3</div> <div></div>	<div>4</div> <div></div>	<div>5</div> <div>★</div>	<div>6</div> <div></div>	<div>7</div> <div></div>	<div>8</div> <div></div>
<div>9</div> <div></div>	<div>10</div> <div></div>	<div>11</div> <div></div>	<div>12</div> <div>★</div>	<div>13</div> <div></div>	<div>14</div> <div></div>	<div>15</div> <div></div>
<div>16</div> <div></div>	<div>17</div> <div></div>	<div>18</div> <div></div>	<div>19</div> <div>★</div>	<div>20</div> <div></div>	<div>21</div> <div></div>	<div>22</div> <div></div>
<div>23</div> <div></div>	<div>24</div> <div></div>	<div>25</div> <div></div>	<div>26</div> <div>★</div>	<div>27</div> <div></div>	<div>28</div> <div></div>	<div>29</div> <div></div>
<div>30</div> <div></div>	<div>31</div> <div></div>				<div>D-6/16</div>	

JUNE 2021

Sun	Mon	Tue	Wed	Thu	Fri	Sat
		<div>1</div> <div></div>	<div>2</div> <div>★</div>	<div>3</div> <div></div>	<div>4</div> <div></div>	<div>5</div> <div></div>
<div>6</div> <div></div>	<div>7</div> <div></div>	<div>8</div> <div></div>	<div>9</div> <div>★</div>	<div>10</div> <div></div>	<div>11</div> <div></div>	<div>12</div> <div></div>
<div>13</div> <div></div>	<div>14</div> <div></div>	<div>15</div> <div></div>	<div>16</div> <div></div>	<div>17</div> <div>★</div>	<div>18</div> <div></div>	<div>19</div> <div></div>
<div>20</div> <div></div>	<div>21</div> <div></div>	<div>22</div> <div></div>	<div>23</div> <div>★</div>	<div>24</div> <div></div>	<div>25</div> <div></div>	<div>26</div> <div></div>
<div>27</div> <div></div>	<div>28</div> <div></div>	<div>29</div> <div></div>	<div>30</div> <div></div>			








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














































# PLANNING DEPARTMENT




























## 2020 Calendar

### SUBDIVISION AND UTILITY REVIEW CALENDAR

SUBDIVISION/UTILITY MEETING	CITY MEETING	DEADLINE AT 5:00P.M.
 <b>Subdivision Review Meeting - 8:30 a.m.</b> Review with staff, developers and engineers	 City Commission  Planning and Zoning  Public Utility Board	 <b>Changes to subdivision/site plans</b> Required to be placed on following review meeting  <b>Deadline for New Plats</b> New Plats with all supporting information and fees
 <b>Project Review - 1:15 p.m.</b> Review of plats, utilities and drainage and site plans		

JULY 2021							AUGUST 2021						
Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
				1	2	3	1	2	3	4	5	6	7
													
					D-8/3								
4	5	6	7	8	9	10	8	9	10	11	12	13	14
	HOLIDAY												
11	12	13	14	15	16	17	15	16	17	18	19	20	21
													
					D-8/17								
18	19	20	21	22	23	24	22	23	24	25	26	27	28
													
												D-9/21	
25	26	27	28	29	30	31	29	30	31				
													

SEPTEMBER 2021							OCTOBER 2021						
Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1	2	3	4						1	2
													
													
5	6	7	8	9	10	11	3	4	5	6	7	8	9
	HOLIDAY				D-10/5							D-11/2	
12	13	14	15	16	17	18	10	11	12	13	14	15	16
													
19	20	21	22	23	24	25	17	18	19	20	21	22	23
													
					D-10/19							D-11/16	
26	27	28	29	30			24	25	26	27	28	29	30
							31						

NOVEMBER 2021							DECEMBER 2021						
Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
	1	2	3	4	5	6				1	2	3	4
													
					D-12/7								
7	8	9	10	11	12	13	5	6	7	8	9	10	11
												D-1/4	
14	15	16	17	18	19	20	12	13	14	15	16	17	18
													
					D-12/21								
21	22	23	24	25	26	27	19	20	21	22	23	24	25
													
				HOLIDAY							HOLIDAY	HOLIDAY	
28	29	30					26	27	28	29	30	31	
													
											D-1/18		

Deadlines and Meeting Dates are subject to change at any time. Please contact the Planning Department at (956) 681-1250 if you have any questions.



## 2021 ATTENDANCE RECORD FOR PLANNING AND ZONING COMMISSION MEETINGS

	01/05/21	01/19/21	02/02/21	02/16/21	03/02/21	03/16/21	04/06/21	04/20/21	05/04/21	05/18/21	06/03/21	06/16/21	07/08/21	07/20/21	08/03/21	08/17/21	09/07/21	09/21/21	10/05/21	10/19/21	11/02/21	11/16/21	12/07/21
Pepe Cabeza de Vaca	P	P	P	P	P	P	P	P	A	P	P												
Daniel Santos	A	A	P	P	P	A	P	P	P	P	P	P	A	P									
Mike Hovar	P	P	P	P	P	P	P	P	P	P	P	P	P	P									
Rogelio Cervantes	P	A	A	A	A	A	A																
Gabriel Kamel	P	P	P	P	P	P	P	P	A	A	P	P	P	P									
Michael Fallek	P	P	P	P	P	P	P	P	P	P	P	P	P	P									
Jose B. Saldana	P	A	A	P	A	P	P	A	P	A	A	P	A	P									
Marco Suarez								P	P	P	P	A	P	A									
Emilio Santos Jr.														P									

## 2021 ATTENDANCE RECORD FOR PLANNING AND ZONING COMMISSION WORKSHOPS

Pepe Cabeza de Vaca																							
Daniel Santos																							
Mike Hovar																							
Rogelio Cervantes																							
Gabriel Kamel																							
Michael Fallek																							
Jose B. Saldana																							

Marco Suarez