

AGENDA

PLANNING & ZONING COMMISSION REGULAR MEETING WEDNESDAY, FEBRUARY 16, 2022 - 3:30 PM MCALLEN CITY HALL, 1300 HOUSTON AVENUE CITY COMMISSION CHAMBERS, 3RD FLOOR

At any time during the course of this meeting, the Planning & Zoning Board may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

INVOCATION

1) MINUTES:

- a) Minutes for the meeting held on February 1, 2022

2) PUBLIC HEARING

a) CONDITIONAL USE PERMITS:

1. Request of Mauricio De La Vega on behalf of De La Vega Autoplex LLC, for a Conditional Use Permit, for one year, for a parking facility associated with uses permitted in a C-3 Zoning District at Lot 5, Quincy Subdivision, Hidalgo County, Texas; 1613 Quebec Avenue. **(CUP2022-0009)**
2. Request of Elizabeth Buentello for a Conditional Use Permit, for one year, for an Event Center at Lot 1, Uptown Plaza Subdivision, Hidalgo County, Texas; 4500 North 10th Street Suite 90. **(CUP2022-0002)**
3. Request of Jorge G. Martinez for a Conditional Use Permit, for one year, for an Event Center at Lot 5A, Kingwood Estates Subdivision Phase II, Hidalgo County, Texas; 5245 North 23rd Street. **(CUP2022-0005)**
4. Request of Jorge A. Gonzalez, for a Conditional Use Permit, for one year, for a bar at Lot 2A, Valram Heights Subdivision, Hidalgo County, Texas; 2801 Expressway 83, Building 200, Suites 280 & 290. **(CUP2022-0003)**
5. Request of Sebastian Barron, for a Conditional Use Permit, for one year, for a bar (social club) at Lot 10-A, Block 4A, Market Center Subdivision, Hidalgo County, Texas; 1335 East Jasmine Avenue. **(CUP2022-0007)**
6. Request of Kevin Pagan on behalf of McAllen Baptist Temple Church for a Conditional Use Permit, for life of the use, for a church, at the Amended Map of Lot "A", Baptist Temple Subdivision, Hidalgo County, Texas, 2001 Trenton Road. **(CUP2022-0004)**
7. Request of Juan Guerrero for a Conditional Use Permit, for one year, for a bar, at 3.66 net acres out of Lot 16, Block 3, C.E Hammond Subdivision, Hidalgo County, Texas; 2203 South 23rd Street. **(CUP2022-0006)**

3) CONSENT:

- a) The Medici Subdivision, 5801 North Bentsen Road; Sharyland I.S.D. **(SUB2021-0056) (FINAL)** M&H
- b) The Villas on Freddy Phase III Subdivision, 10320 North 13th Street; The Villas on Freddy, LLC **(SUB2021-0147) (FINAL)** M&H
- c) Up North on Ware Road Apartments & Business Center Subdivision, 9500 North Ware Road; Ware Road Holding, LLC **(SUB02021-0096) (REVISED FINAL)** HE

4) SUBDIVISIONS:

- a) Barton Subdivision, 8501 North Main Street; Antonio Esparza **(SUB2022-0016) (PRELIMINARY)** TE
- b) North McAllen Lot 7A Block 16 Subdivision, 612 North 11th Street; Daniel Olivarez **(SUB2022-0018) (PRELIMINARY)** SE
- c) TNB 3 Lot 1A Subdivision, 6901 North 10th Street; Texas National Bank **(SUB2022-0015) (PRELIMINARY)** QHA
- d) Oak Valley Subdivision, 9600 North Bryan Road; Raymundo P. Platas/Oak Valley LLP **(SUB2021-0087) (REVISED PRELIMINARY)** RB **(TABLED: 2/1/2022)**

ADJOURNMENT:

IF ANY ACCOMMODATIONS FOR A DISABILITY ARE REQUIRED, PLEASE NOTIFY THE PLANNING DEPARTMENT (681-1250) 72 HOURS BEFORE THE MEETING DATE. WITH REGARD TO ANY ITEM, THE PLANNING & ZONING COMMISSION MAY TAKE VARIOUS ACTIONS, INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR PARTICULAR ACTION AT A FUTURE DATE.

Minutes from the meeting of
February 1st will be
uploaded onto the next
meeting of **March 2nd**

Planning Department

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

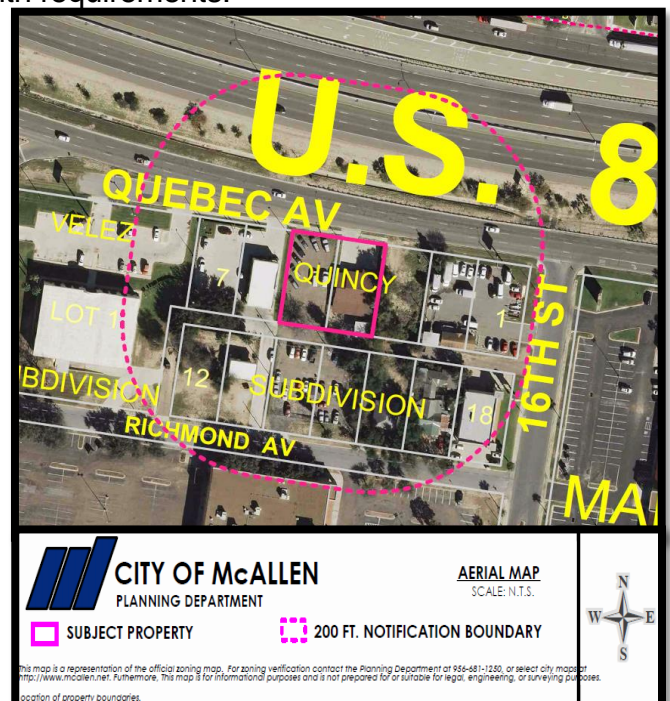
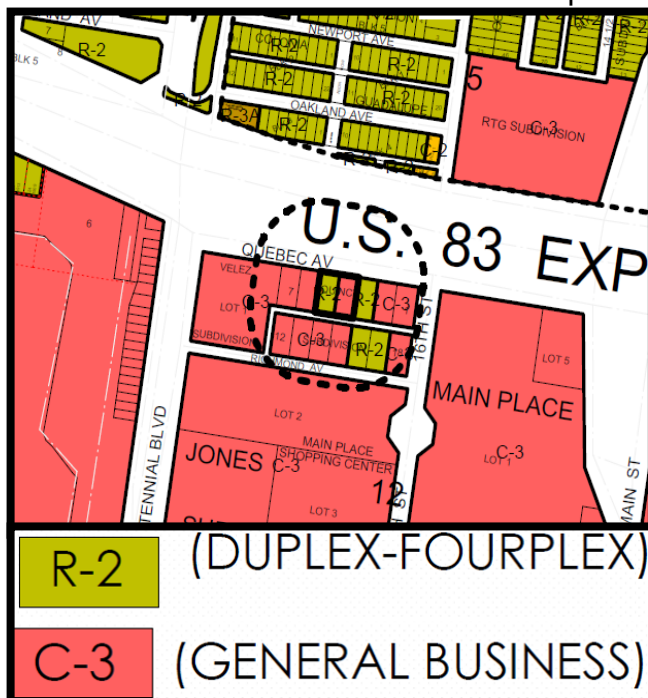
DATE: February 2, 2022

SUBJECT: Request of Mauricio De La Vega on behalf of De La Vega Autoplex LLC, for a Conditional Use Permit, for one year, for a parking facility associated with uses permitted in a C-3 Zoning District at Lot 5, Quincy Subdivision, Hidalgo County, Texas; 1613 Quebec Avenue. (CUP2022-0009)

BRIEF DESCRIPTION:

The subject property is located along the south side of Quebec Avenue (Frontage Road of U.S. Expressway 83), and east of Bicentennial Boulevard. As per the plat, the subject property has 60 feet of frontage along Quebec Avenue and a depth of 118.75 feet for a lot size of 7,125 square feet.

The property is zoned R-2 (duplex-fourplex residential) District. The adjacent zoning is C-3 (general business) District to the east, south, and west. Surrounding land uses include Cinemark Movies 6, Payne Pre-Owned McAllen, Budget Car Rental, and De La Vega Autoplex LLC. A parking facility for C-1 (office building) District to C-3 (general business) District uses is allowed in an R-2 District with a Conditional Use Permit and in compliance with requirements.



HISTORY:

The applicant initially submitted an application for a Conditional Use Permit for a parking facility on January 21, 2022.

REQUEST/ANALYSIS:

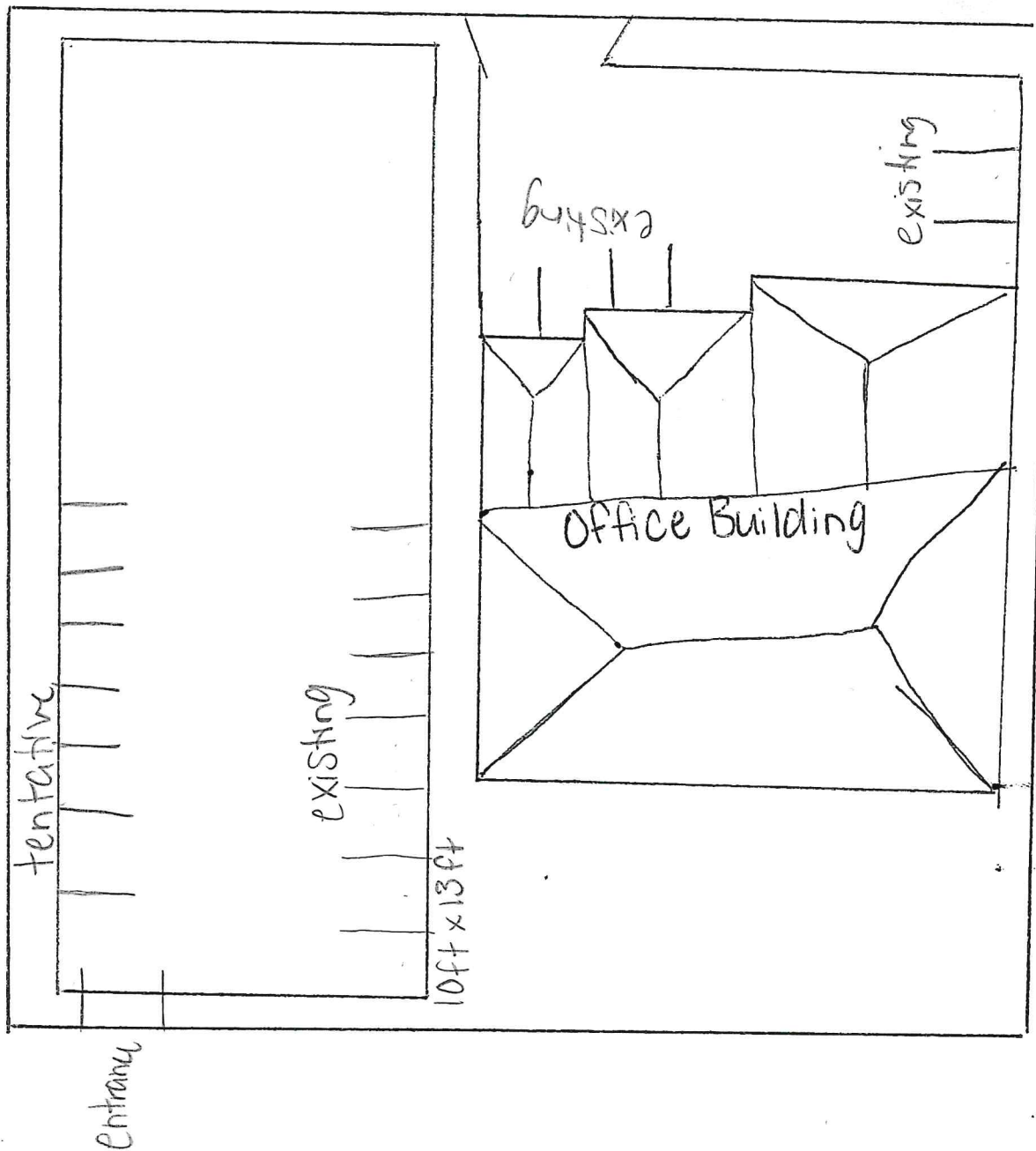
The applicant is proposing to utilize the existing parking lot for business-related use of a car lot on Lot 5 to the autoplex known as De La Vega Autoplex LLC located at 1613 Quebec Avenue. De La Vega Autoplex LLC is located on Lot 4 which is adjacent to the subject property to the east. Access is provided from the 20 feet alley which is located at the rear of the lot. The submitted site plan depicts that 13 required parking spaces will be provided. The parking lot has to be striped and existing landscaped areas are to be maintained.

Should the Conditional Use Permit be approved, the applicant would be required to sign the application acknowledging and agreeing to all conditions of the permit. The parking facility must comply with landscaping, buffer, parking, and right of way requirements. It must also meet the requirements set forth in Section 138-118 of the Zoning Ordinance and specific requirements as follows:

- 1) The property has historically been used as a parking lot since at least 2003. No re-development is involved with the proposed use;
- 2) The parking area is adjacent to the primary use, and both lots have the same owner;
- 3) The parking area shall provide sufficient lighting to eliminate dark areas to provide maximum visibility from a public street in order to discourage vandalism and criminal activities. Lighting shall be shielded from residential areas;
- 4) No form of pollution shall emanate beyond the immediate property line of the permitted use;
- 5) The Planning and Zoning Commission may impose additional reasonable restrictions or conditions to carry out the spirit and intent of this section and to mitigate adverse effects of the proposed use. These requirements may include, but are not limited to, increased open space, loading and parking requirements, suitable landscaping, and additional improvements such as curbing and sidewalks.

RECOMMENDATION:

Staff recommended approval of the request, for one year, subject to compliance with requirements in Section 138-118 of the Zoning Ordinance.



↑
N

ENTERED

JAN 25 2022

Initial: AS

22/52/1
24/1

7,125 SF
building: 2,100 SF

ENTERED

JAN 21 2022

Initial: _____



Subject property: 1613 Quebec Avenue (Lot 5)





**NOTICE
PARKING
FACILITY
FOR
THIS PROPERTY
CUP2022-0009**



CITY OF MCALLEN PLANNING DEPT.
956-681-1250
WWW.MCALLEN.NET



Memo

TO: Planning and Zoning Commission

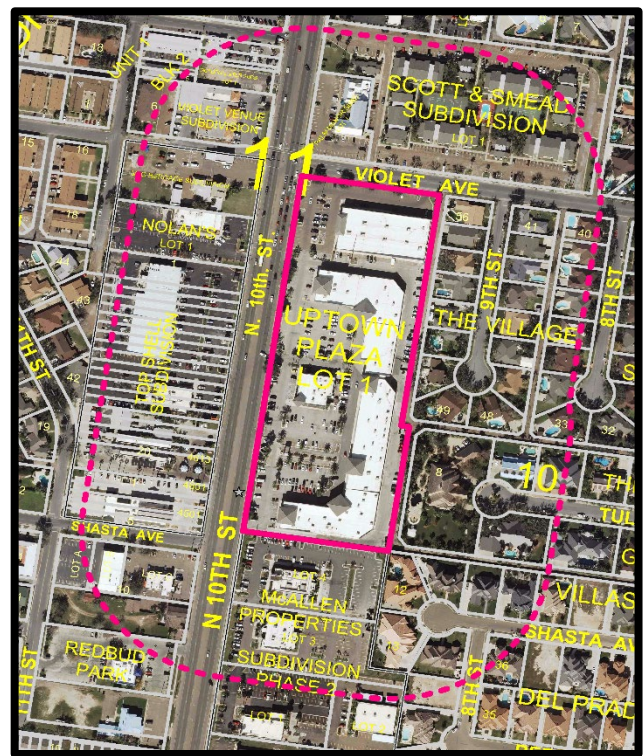
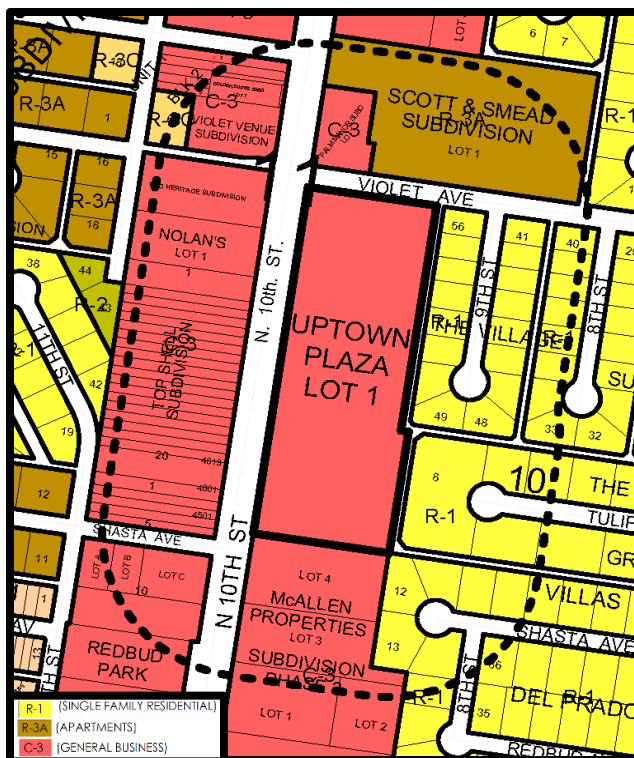
FROM: Planning Staff

DATE: February 2, 2022

SUBJECT: REQUEST OF ELIZABETH BUENTELLO FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR AN EVENT CENTER AT LOT 1, UPTOWN PLAZA SUBDIVISION, HIDALGO COUNTY, TEXAS, 4500 NORTH 10TH STREET SUITE 90. (CUP2022-0002)

BRIEF DESCRIPTION:

The property is located at the Southeast corner of North 10TH Street and Violet Avenue, and is zoned C-3 (general business) District. The adjacent zoning is R-1 (Single-family residential) District to the east side and R-3A (multifamily residential apartment) to the North. There is C-3 district to the North, South and West. Surrounding land uses includes commercial businesses, restaurants, apartments and residential. An event center is allowed in C-3 zone with a Conditional Use Permit and in compliance with requirements.



HISTORY: The applicant is requesting a Conditional Use Permit at this location, for the first time.

SUMMARY/ANALYSIS:

The applicant is proposing to operate an event center from the existing building, approximately 1,491 sq. ft. in size. The proposed hours of operation are from 10:00 AM to 9:00 PM Thursday - Sunday.

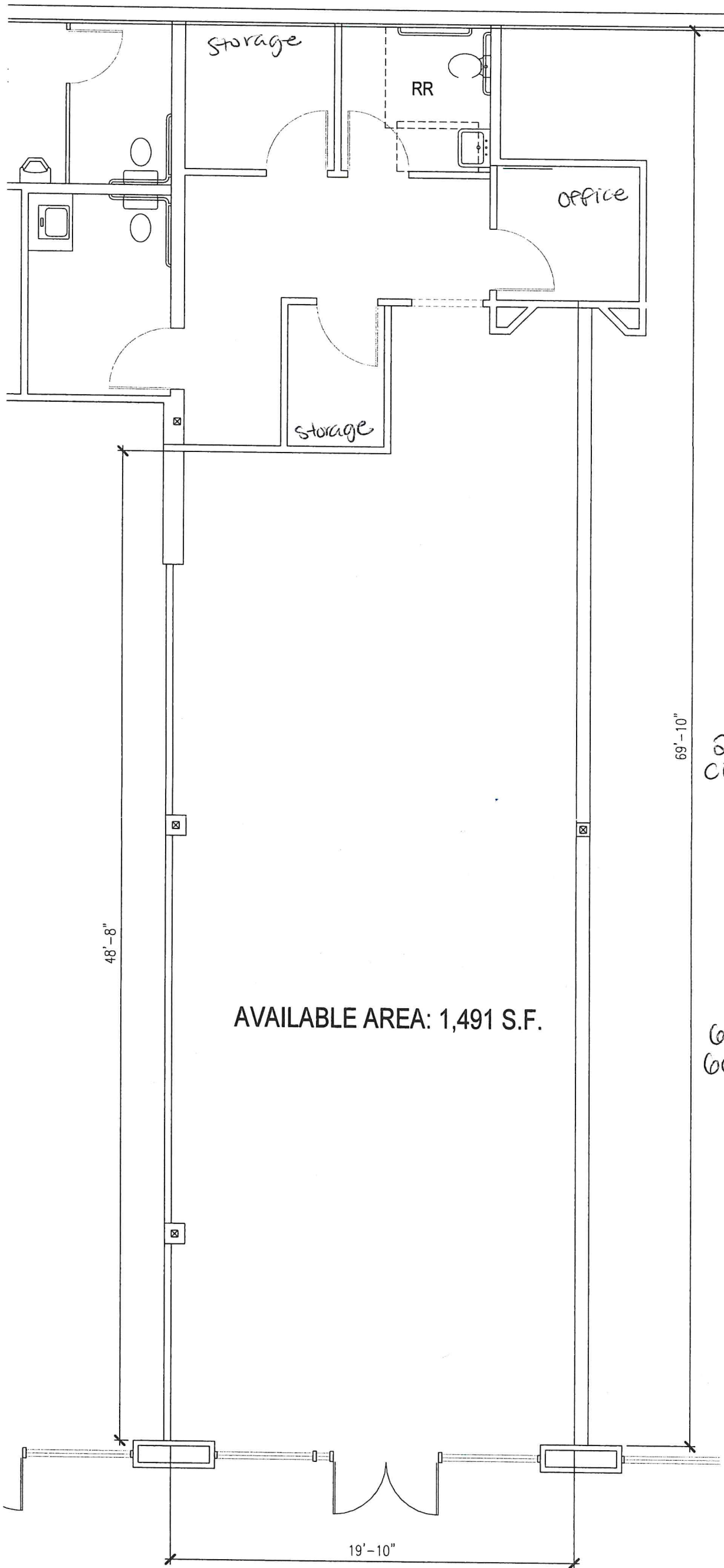
The Fire Department is pending inspection for the establishment. The establishment must also meet the requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

1. The property line of the lot of any of the above mentioned businesses must be at least 400 ft. from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The proposed establishment is within 400 ft. from the nearest residentially zoned property.
2. The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The establishment has direct access to 10th Street and Violet Avenue and does not generate traffic into residential areas;
3. The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. Based on the square footage and use of the building, 15 parking spaces are required which one would have to be accessible to persons with disabilities. Two hundred forty two parking spaces are provided on site, as part of common parking and access point. The parking lot has to be clear of potholes and must be striped.
4. The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties.
5. The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
6. The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and
7. The above-mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

Staff received a call with regards of the use of the place, with no opposition.

RECOMMENDATION:

Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(a)(4) of the Zoning Ordinance.



242 Parking spaces
Common Parking

6 mesas
60 sillas



Jan 24, 2022 at 3:20:13 PM

4620 N Tenth St

McAllen, TX 78504

United States

Uptown Plaza

Ladies & Mens
Clothing

Gifts

Cosmetics

Linens

Fine Jew



4500 North 10 Street Unit 90

Write a description for your map.

Legend

- 4500 N 10th St
- Bank
- Enterprise Rent-A-Car
- Feature 1
- Feature 2
- Feature 3
- Semilla Coffee lab
- Stripes





**NOTICE
EVENT CENTER
FOR
THIS PROPERTY
CUP2022-0002**

 CITY OF MCALLEN PLANNING DEPT.
956-681-1250
WWW.MCALLEN.NET



FOR LEASE


CANTU
CONSTRUCTION & DEVELOPMENT COMPANY

CITY OF
MCALLEN
PLANNING

Memo

TO: Planning and Zoning Commission

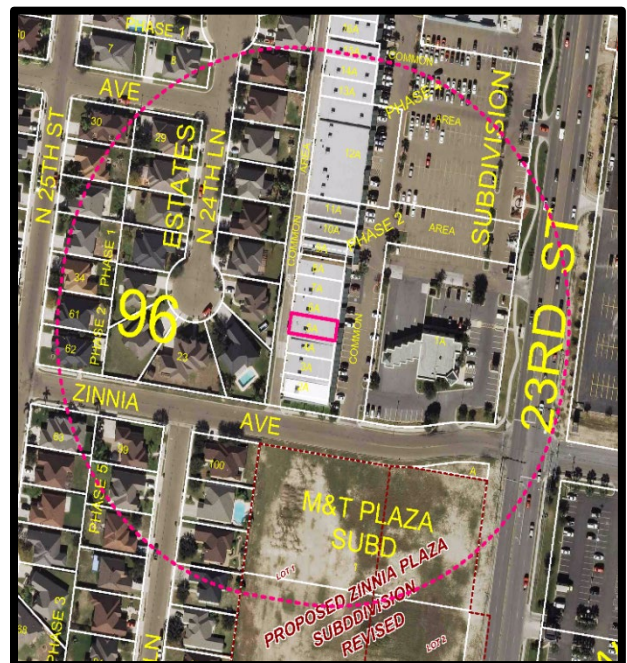
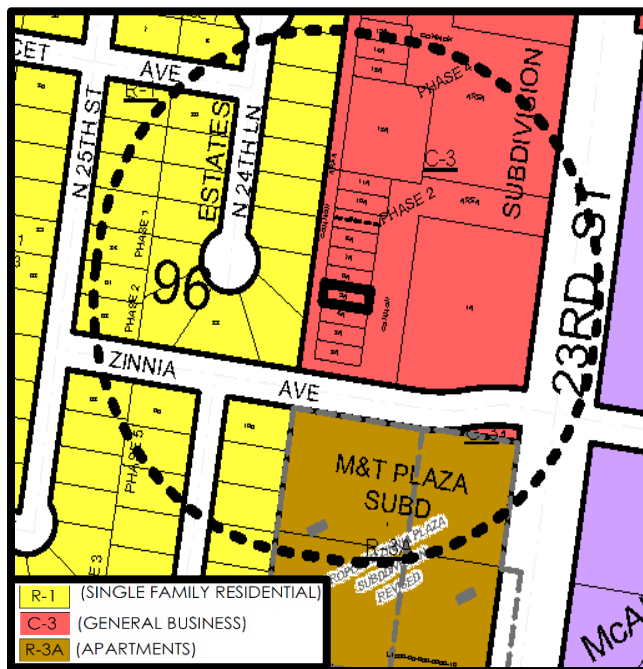
FROM: Planning Staff

DATE: February 2, 2022

SUBJECT: REQUEST OF JORGE G. MARTINEZ, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR AN EVENT CENTER AT LOT 5A, KINGWOOD ESTATES SUBDIVISION PHASE II, HIDALGO COUNTY, TEXAS, 5245 NORTH 23RD ST. (CUP2022-0005)

BRIEF DESCRIPTION:

The property is located on the West side of North 23rd Street, North of Zinnia Avenue and is zoned C-3 (general business) District. The adjacent zoning is R-1 (single-family residential) and R-3A (multifamily residential apartments) District to the South across Zinnia Avenue. Surrounding land uses includes commercial businesses, restaurants, apartments and residential. An event center is allowed in a C-3 zone with a Conditional Use Permit and in



compliance with requirements.

HISTORY: The applicant is requesting a Conditional Use Permit at this location, for the first time.

SUMMARY/ANALYSIS:

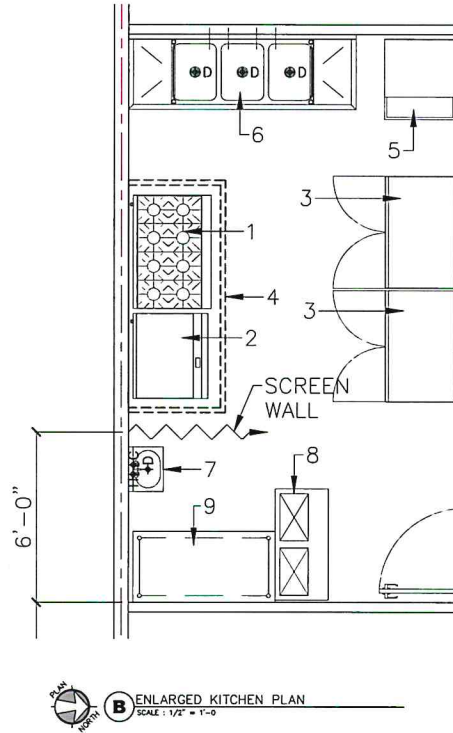
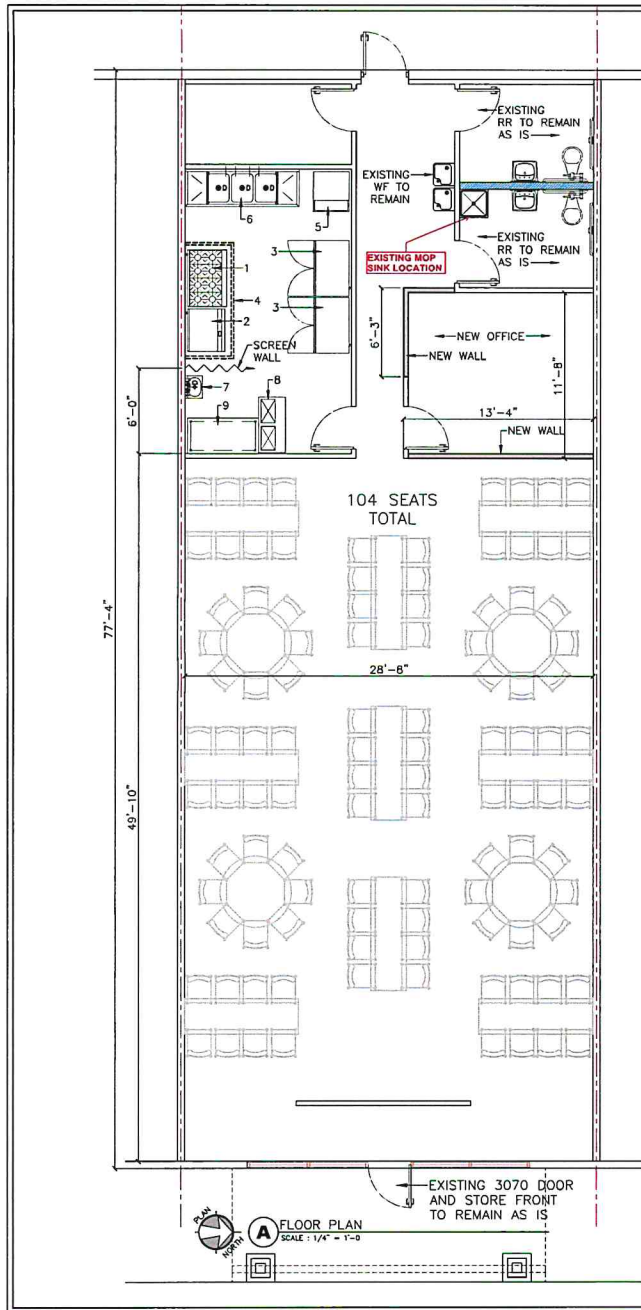
The applicant is proposing to operate an event center from the existing building, that is approximately 2,229 sq. ft. in size. The proposed hours of operation are from 08:00 AM to 12:00 AM Monday – Sunday by reservation.

The Fire Department is pending inspection of the establishment. An inspection by the Health Department was performed, and requirements were satisfactory. The establishment must also meet the requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

1. The property line of the lot of any of the above mentioned businesses must be at least 400 ft. from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The proposed establishment is within 400 ft. from the nearest residentially zoned property and apartment zoned area.
2. The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The establishment has direct access to Zinnia Avenue and 23rd Street and does not generate traffic into residential areas;
3. The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. Based on the square footage and use of the building, 22 parking spaces are required one of which should be for persons with disability. The parking lot is common area and should be clear of potholes and striped.
4. The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties.
5. The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
6. The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and
7. The above-mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

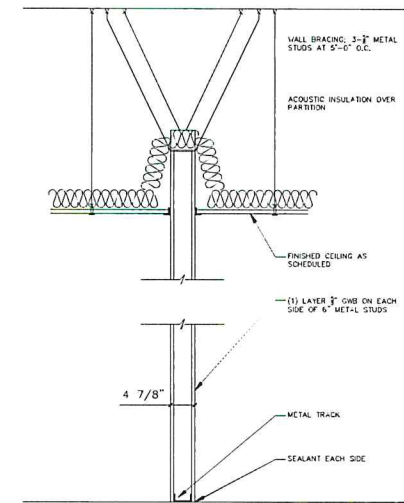
RECOMMENDATION:

Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(a)(4) of the Zoning Ordinance.



KITCHEN EQUIPMENT LEGEND:

1. GAS RANGE
2. GAS COUNTER GRIDDLE
3. (2) REACH IN REFRIGERATOR
4. OVERHEAD HOOD
5. ICE MACHINE AND BIN
6. 3 COMPARTMENT SINK
7. HAND WASHING SINK
8. ELECTRIC HOT FOOD TABLE
9. 30" x 60" SS TABLE



| | |
|------------------|--|
| PARTITION NUMBER | P1 |
| FIRE RATING | |
| USE | RESIDENTIAL |
| NOTES | NON-RATED EXTERIOR WALL 3-5/8" METAL STUD 12" ABOVE CEILING WITH 5/8" GWB EACH SIDE |

PERMIT SET 01-10-22



jmerc
DESIGN
CONSULTING, LLC
DRAFTING AND
DESIGN SERVICE
CONROUG, TEXAS
jmerc@jmercdesign.com
956-762-0513

THESE DRAWINGS SHALL REMAIN THE PROPERTY OF JMERCDISIGN. THEY MAY NOT BE REPRODUCED OR ALTERED IN ANY WAY WITHOUT PRIOR WRITTEN APPROVAL FROM AND WITH APPROPRIATE COMPENSATION TO JMERCDISIGN.

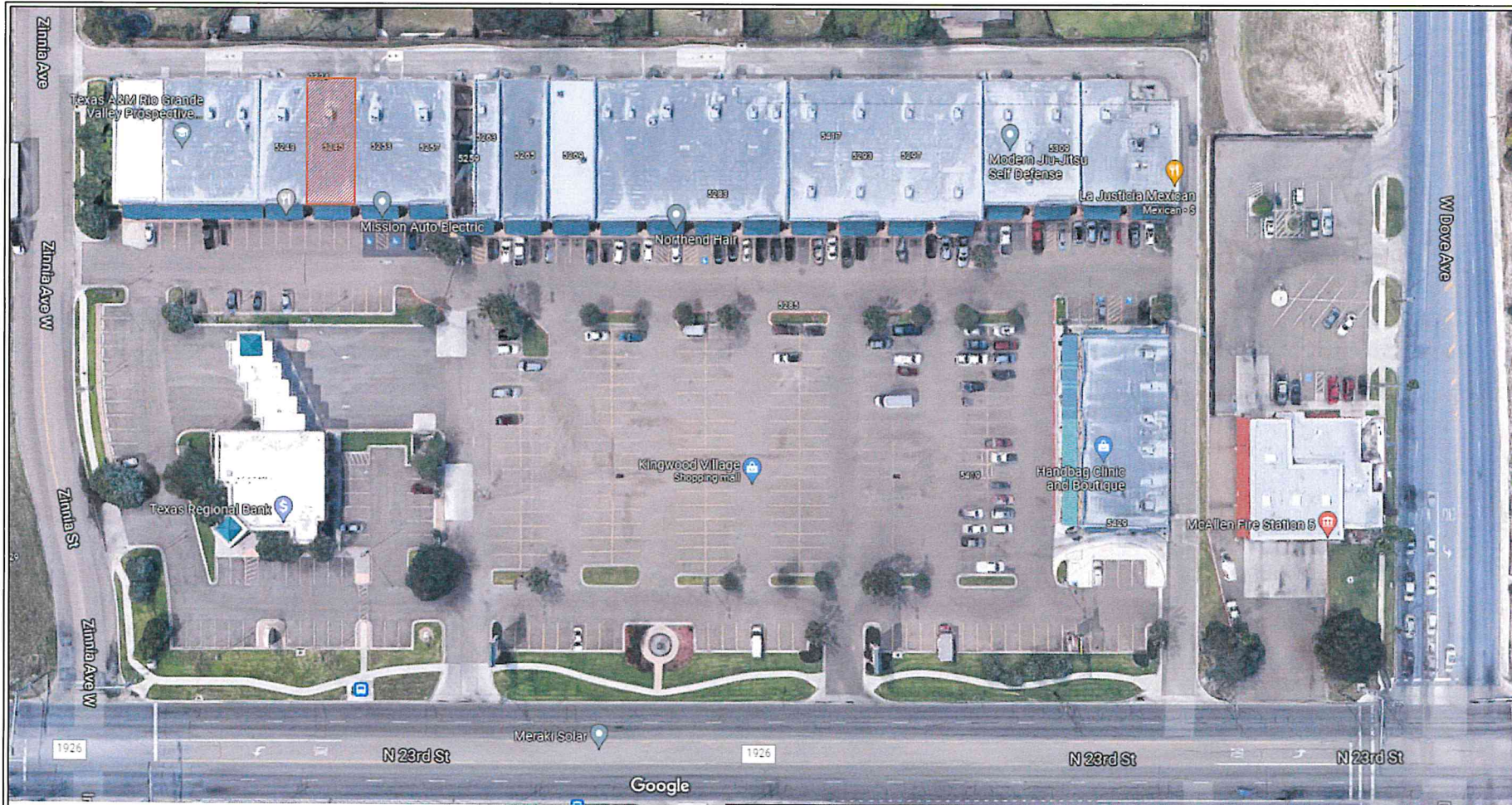
La Justicia Event Center
5245 N. 23rd Street
Floor Plan
McAllen, Texas

| | |
|-----------|-------------------|
| REVISIONS | |
| 1 | ISSUED FOR PERMIT |

Project Name
01-10-22
ISSUE DATE
JOB NUMBER
jmerc
DRAWN BY
CHECKED BY

SHEET NUMBER

A1.2



**jmerc
DESIGN**
CONSULTING, LLC
DRAFTING AND
DESIGN SERVICE
DALLAS, TEXAS
jmercdesign@gmail.com
956-792-0523

THESE DRAWINGS SHALL
REMAIN THE PROPERTY OF
JMERCD. THEY MAY NOT
BE RE-USED, REPRODUCED OR
ALTERED IN ANY WAY
WITHOUT PRIOR WRITTEN
APPROVAL FROM JMERCD.
APPROPRIATE CONSTRUCTION
TO JMERCD.

La Justicia Event Center
5245 N. 23rd Street
Site Plan
McAllen,
Texas

| NO. | REVISIONS AND REVISIONS |
|-----|-------------------------|
| 1 | |
| 2 | |
| 3 | |
| 4 | |
| 5 | |
| 6 | |
| 7 | |
| 8 | |
| 9 | |
| 10 | |

Site Plan
01-10-22
ISSUE DATE
JOB NUMBER
Jmerc
DRAWN BY
CHECKED BY
SHEET NUMBER

X1.1



A

SITE PLAN - KINGWOOD VILLAGE PLAZA 5245
SCALE: 1" = 30'-0"

PERMIT SET 01-10-22

Jan 24, 2022 at 3:05:57 PM
5243 N 23rd St
McAllen TX 78504
United States





**NOTICE
EVENT CENTER
FOR
THIS PROPERTY
CUP2022-0005**

 CITY OF MCALLEN PLANNING DEPT.
956-681-1250
WWW.MCALLE.NET



Planning Department

Memo

TO: Planning & Zoning Commission

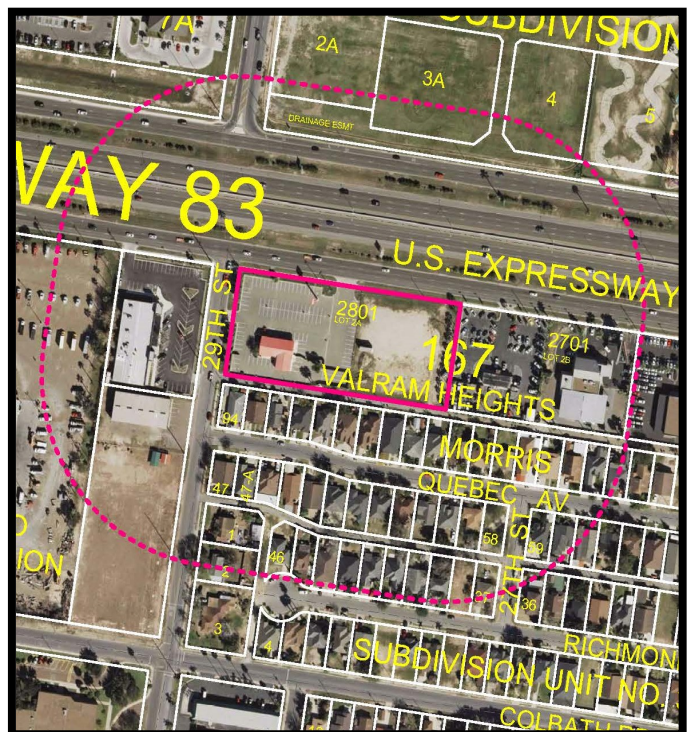
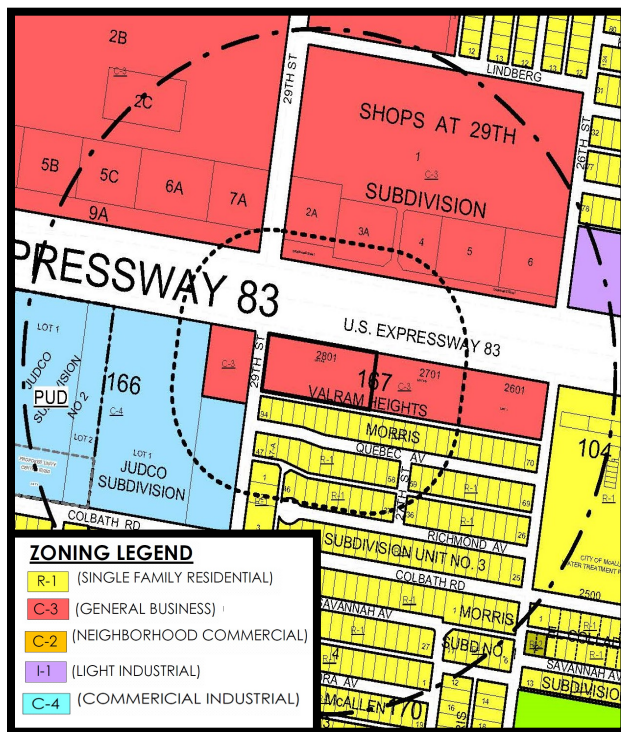
FROM: Planning Staff

DATE: February 7, 2022

SUBJECT: REQUEST OF JORGE A. GONZALEZ, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR A BAR AT LOT 2A, VALRAM HEIGHTS SUBDIVISION, HIDALGO COUNTY, TEXAS; 2801 EXPRESSWAY 83, BUILDING 200, SUITES 280 & 290. (CUP2022-0003)

BRIEF DESCRIPTION:

The property is located at the southeast corner of South 29th Street and U.S. Expressway 83 and is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the north, east and west, R-1 (single family residential) District to the south, and C-4 (commercial industrial) District to the southwest. Surrounding land uses include commercial businesses, restaurants, single family residences, and vacant land. A bar is permitted in a C-3 zone with a Conditional Use Permit and in compliance with requirements.



HISTORY:

There was a conditional use permit for IL Regalo Preferito which was approved initially on January 12, 2015. The establishment changed its name to Elephant Bar and Cigar Lounge in 2017. The last conditional use permit was approved on February 8, 2021 by the City Commission with a variance to the distance requirement of being at least 400 ft. from the nearest residence or residentially zoned property, church, school, or publicly owned property. The permit must be renewed annually therefore, it must be presented before the Planning and Zoning Commission and City Commission.

REQUEST/ANALYSIS:

The applicant is proposing to continue to operate a retail store for Cigars & Luxury Goods and a lounge (Elephant Bar and Cigar Lounge) out of an approximate 2,950 sq. ft. lease area, from an existing 15,872 sq. ft. multi-tenant commercial building. The proposed days and hours of operation are Monday through Saturday from 12:00 p.m. to 2:00 a.m. Should the conditional use permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit.

The Fire Department has inspected the establishment and is compliant with Fire code requirements. The Health Department inspection is still pending. Attached is a police report from February 2021 to the present. The Planning Department has received no complaints regarding the present use as a bar. As per Section 138-400 of the Zoning Ordinance, the parking lot must be properly striped and free of potholes. The bar must also comply with requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

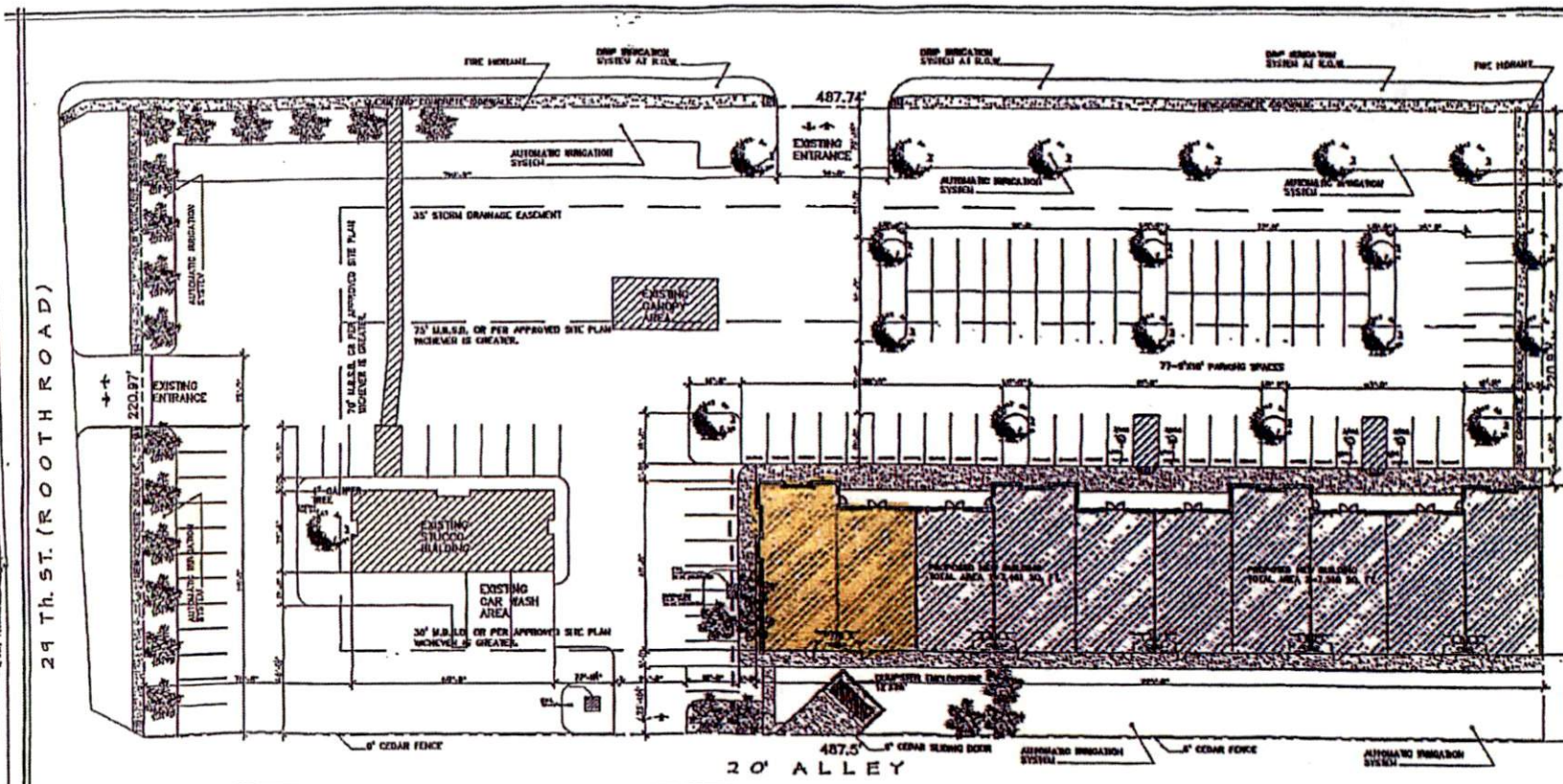
- 1) The property line of the above mentioned businesses must be at least 400 ft. from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The proposed bar is within 400 ft. of the adjacent residential zone and use to the south.
- 2) The business must be as close as possible to a major arterial and shall not allow traffic generated by such businesses onto residential streets or allow such traffic to exit into a disrupt residential areas. The bar has access to U.S. Expressway 83 and South 29th Street, and does not generate traffic into residential areas;
- 3) The business must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. The 2,950 sq. ft. combined retail and lounge area would require a total of 16 parking spaces. The above mentioned business meets zoning ordinance parking requirements;
- 4) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties;
- 5) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
- 6) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and

- 7) The above mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

RECOMMENDATION:

Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(a)(4) of the Zoning Ordinance.

NO CHANGES
12-15-21



TOTAL LOT AREA=102,740.0 SQ. FT.
GREEN AREA REQUIRED=14,720.0 SQ. FT.
GREEN AREA PROVIDED=14,720.0 SQ. FT.
GREEN AREAS AT FRONT=4,267.0 SQ. FT.
BUILDING AREA=13,872.0 SQ. FT.

PARKING SPACES REQUIRED=73
PARKING SPACES PROVIDED=73
TOTAL TREES REQUIRED=27-2 1/2" CALIPER TREES
TREES PROVIDED=20 PALM TREES-(10-2 1/2" CALIPER TREES)
TREES PROVIDED=10 OAK TREES (2 1/2" CALIPER)
TOTAL TREES PROVIDED=20-2 1/2" CALIPER



| | | |
|--------------------------------|----------|-------|
| PROJECT NO. | DATE | SCALE |
| CANILLA PLAZA | 12/15/21 | 1.1.0 |
| ALL CITY & COUNTY REQUIREMENTS | | |
| CITY OF McALLEN, TEXAS | | |

RECEIVED
DEC 08 2020
JAN 14 2022
Initial: *OK*

BY: *AD*

Women's

Men's

Storage

Gift Shop

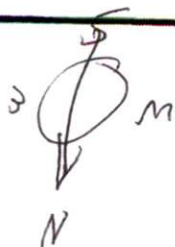
WALK-IN
HUMIDOR

Office

BAR
AREA

NO CHANGES

12-15-21

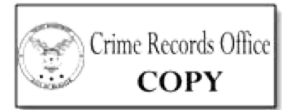


RECEIVED
ENTERED
DEC 08 2020
BY: *[Signature]*

3000 sqft

Initial:

Am



Incident Analysis Report

Summary

Print Date/Time: 02/03/2022 15:54
Login ID: mcpd7004
Incident Type: All
Call Source: All

From Date: 02/03/2021 00:01
To Date: 02/03/2022 15:00

McAllen Police Department
ORI Number: TX1080800
Officer ID: All
Location: 2801 EXPWY 83 280, MCALLEN

| Incident Date/Time | Incident Number | Incident Type | Location |
|--------------------|-----------------|---------------|----------|
| Total Matches: 0 | | | |



Incident Analysis Report

Summary

Print Date/Time: 02/03/2022 15:55
Login ID: mcpd7004
Incident Type: All
Call Source: All

From Date: 02/03/2021 00:01
To Date: 02/03/2022 15:00

McAllen Police Department
ORI Number: TX1080800
Officer ID: All
Location: 2801 EXPWY 83 290, MCALLEN

| Incident Date/Time | Incident Number | Incident Type | Location |
|--------------------|-----------------|---------------|----------|
| Total Matches: 0 | | | |



**NOTICE
BAR
FOR
THIS PROPERTY
CUP2022-0003**



CITY OF MCALLEN PLANNING DEPT.
956-681-1250
WWW.MCALLEN.NET



Planning Department

Memo

TO: Planning and Zoning Commission

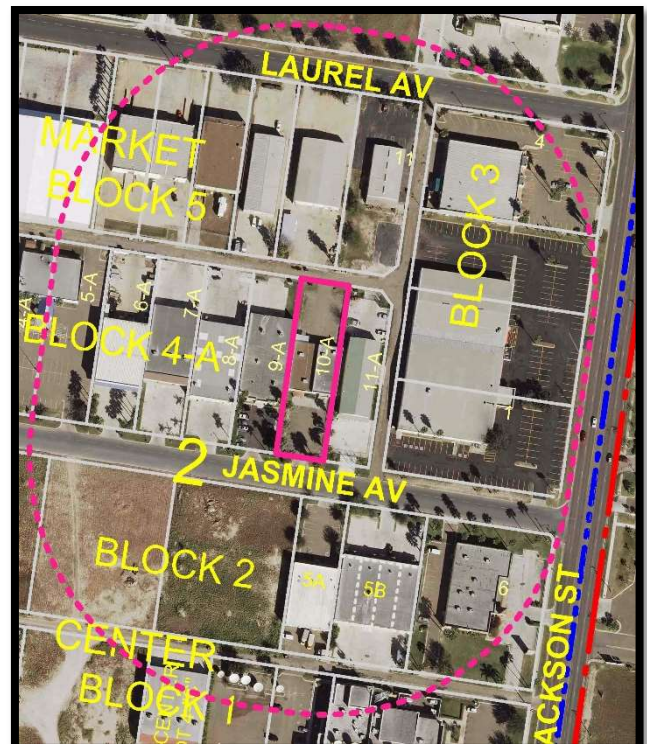
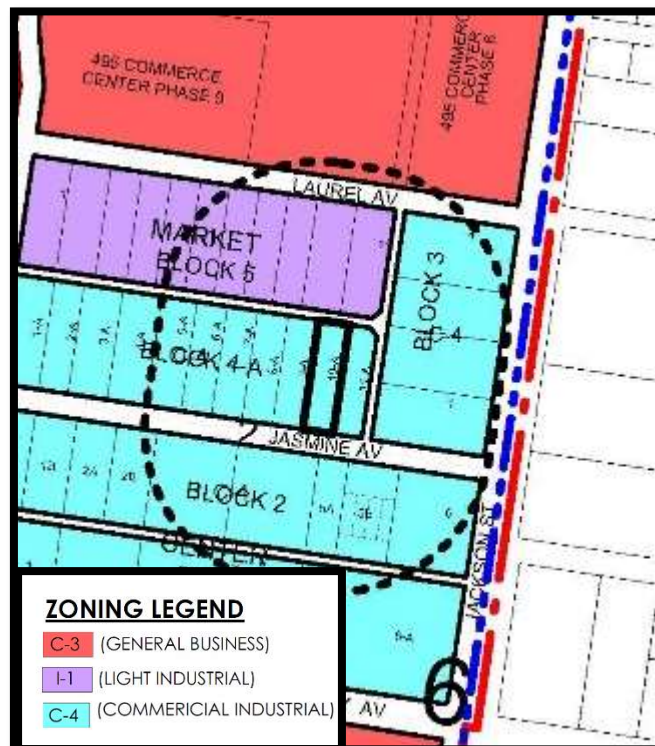
FROM: Planning Staff

DATE: February 10, 2022

SUBJECT: REQUEST OF SEBASTIAN BARRON, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR A BAR (SOCIAL CLUB) AT LOT 10-A, BLOCK 4A, MARKET CENTER SUBDIVISION, HIDALGO COUNTY, TEXAS; 1335 EAST JASMINE AVENUE. (CUP2022-0007)

DESCRIPTION:

The property is located on the Northside of East Jasmine Avenue approximately 390 feet west of North Jackson Road. The subject property is zoned C-4 (commercial-industrial) District. The adjacent zoning is C-3 (general business) District and I-1 (light industrial) District to the north, and C-4 (commercial-industrial) District to the east, south and west. Surrounding land uses include commercial plazas with individual suites, American legion Post#37, and El Bingo Grande. A bar/social club is allowed in the C-4 District with a conditional use permit and in compliance with requirements.



REQUEST/ANALYSIS:

The applicant is proposing a bar/social club (Cobra Social Club), out of an existing 3,000 sq. ft. building. The proposed hours of operation are from 12:00 P.M. to 2:00 A.M. daily. Based on the square footage of approximately 1,653 sq. ft. that is being utilized, 20 parking spaces are required. There are a total of 32 parking spaces being proposed on the submitted site plan as part of a common parking area of the existing commercial development.

A Conditional Use Permit is required for a bar/social club. The applicant must also comply with the Health and Fire Department requirements. The establishment must also meet the requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of the lot of any of the abovementioned businesses must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m.
- 2) The abovementioned businesses must be as close as possible to a major arterial, and shall not allow the traffic generated by such businesses onto residential streets, or allow such traffic to exit into and disrupt residential areas. The subject property has frontage along East Jasmine Avenue and is located approximately 390 feet west of North Jackson Road, a principle arterial;
- 3) The abovementioned businesses must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. The proposed bar/social club requires 20 parking spaces, there are 32 total parking spaces being proposed. Parking spaces must comply with Section 138-400 of the Ordinance and must be clearly striped and pavement surface shall be maintained free of litter, debris, loose gravel, cracks and potholes;
- 4) The abovementioned businesses must do everything possible to prevent the unauthorized parking by the patrons of such businesses on adjacent business or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances;
- 5) The abovementioned businesses should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility of as much as possible of the site from a public street;
- 6) The abovementioned businesses must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties;
- 7) The abovementioned businesses shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Director of Planning. This number cannot exceed the number provided for in existing city ordinances.

RECOMMENDATION:

Staff recommends approval of the request, for one year, subject to compliance with the conditions noted, Zoning Ordinance, Building permits and inspections Department, Fire Department and Health Department permit requirements.

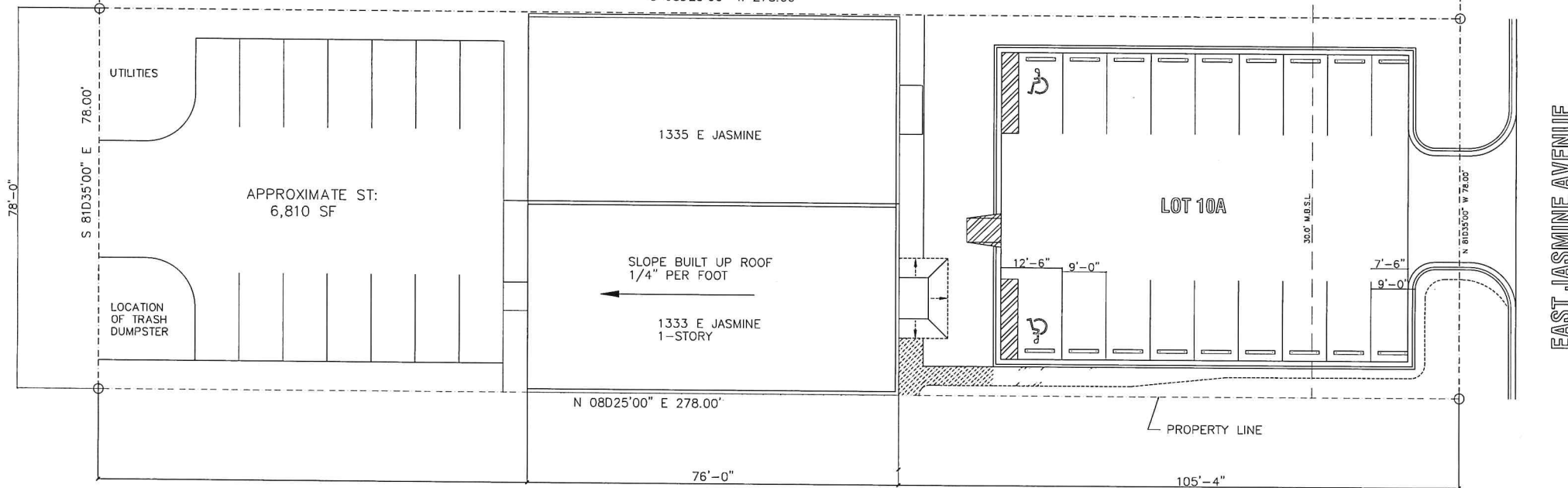
24' WIDE ALLEY

LOT 10A OUT OF BLOCK
4A, MARKET CENTER SUBDIVISION
McALLEN, HIDALGO COUNTY, TEXAS
VOL. 31 PAGE 189A

LOT 11-A

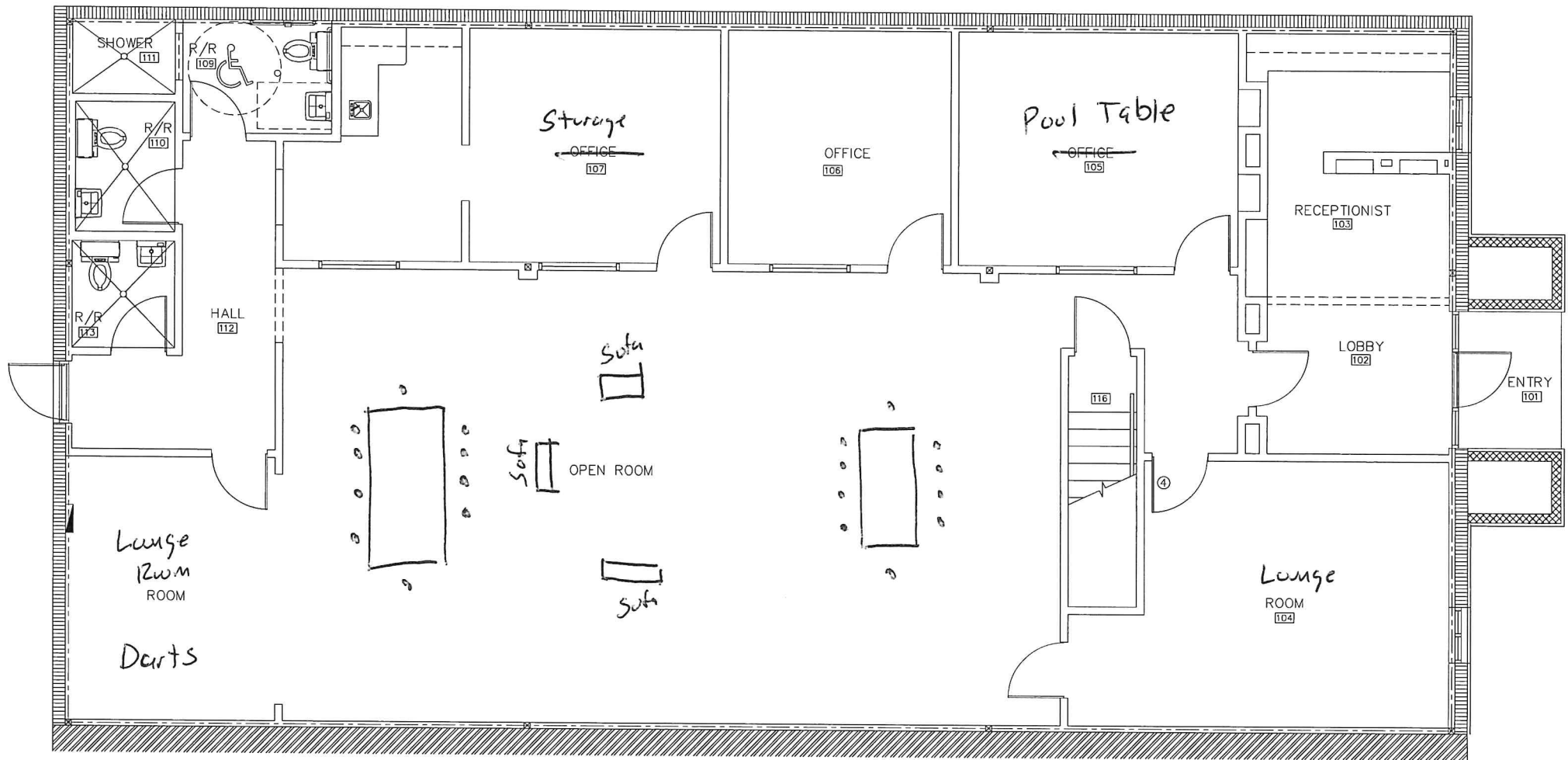
SET No. 4 REBAR

S 08D25'00" W 278.00'



JASMINE CENTER SITE PLAN

LOT 9A



1335 E JASMINE

COBRA SOCIAL CLUB

APPROXIMATELY 3,000 GSF

**NOTICE
BAR
FOR
THIS PROPERTY
CUP2022-0007**

 CITY OF MCALLEN PLANNING DEPT.
956-681-1250
WWW.MCALLEN.NET



Planning Department

Memo

TO: Planning and Zoning Commission

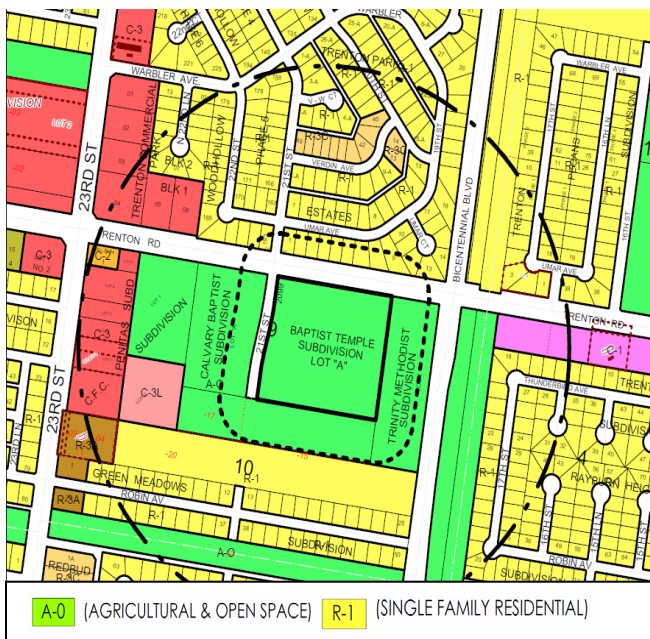
FROM: Planning Staff

DATE: January 28, 2022

SUBJECT: Request of Kevin Pagan on behalf of McAllen Baptist Temple Church for a Conditional Use Permit, for life of the use, for a church, at the Amended Map of Lot "A", Baptist Temple Subdivision, Hidalgo County, Texas, 2001 Trenton Road. (CUP2022-0004).

BRIEF DESCRIPTION:

The property is located on the south side of Trenton Rd, approximately 500 ft. west of Bicentennial Blvd, and is zoned A-O (agricultural and open space) District. The adjacent zoning is R-1 (single family residential) to the north, south, and east, and C-3 (general business) District to the west. Surrounding land uses include residential houses, other religious worship centers, commercial businesses and a bank. A church is allowed in a A-O zone with a Conditional Use Permit and in compliance with the requirements.



REQUEST/ANALYSIS:

The applicant is proposing to operate a church from existing buildings that previously served as a recreational space for worship. The applicant is proposing to construct a recreational activity space, by remodeling the inside of the current building, replacing the roof with new material and constructing a new concrete basketball court, two canopy's to south side of the current existing building along with a new sand volleyball court. The hours of operation of the church (BT Church) will be from 6:00 p.m. to 9:00 p.m. Tuesdays and Wednesdays for student worship and Saturdays and Sundays only for special events within the center.

Based on the number of seats in the main sanctuary, 57 parking spaces are required of which 3 parking spaces must be accessible with an 8 ft aisle. There is an existing parking lot with 585 parking spaces and 26 handicap parking spots, as shown on the submitted site plan.

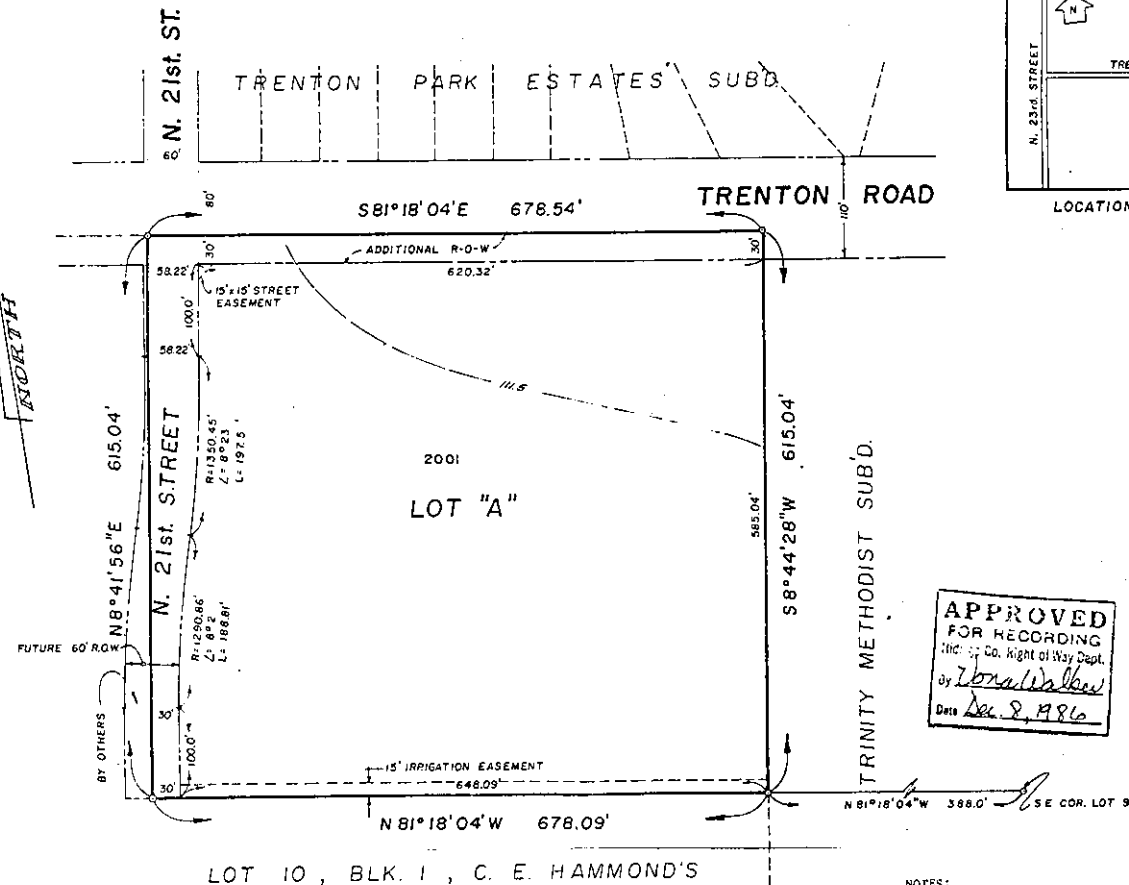
The Fire Department is pending to conduct the necessary inspection. Should the conditional use permit be approved, the applicant would be required to sign the application acknowledging and agreeing to all conditions of the permit. The proposed use must also comply with the zoning ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The property fronts Trenton Rd and is approximately 600 ft West of Bicentennial Blvd.
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking, especially in residential areas. Based on the seating area of 225 seats, 57 parking spaces are required; 585 parking spaces are provided on site including 24 handicap spots and 4 van accessible spots. The parking lot is in good condition and in compliance with city requirements.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the main building shall be determined by the Building Inspections Department and shall maintain the existing seating capacity for the main sanctuary;

RECOMMENDATION:

Staff recommends approval of the request, for life of the use, subject to compliance with requirements of the Zoning Ordinance, Building Permits and Fire Department requirements.

LOT 9, BLK. I,
C.E. HAMMOND'S SUBD.



APPROVED
FOR RECORDING
Hidalgo Co. Right of Way Dept.
by *John A. Walker*
Date *Dec. 8, 1986*

HIDALGO COUNTY IRRIGATION DISTRICT NO. 1
WILL NOT BE RESPONSIBLE FOR DRAINAGE OR
DELIVERY OF WATER TO ANY LOT IN THIS
SUBDIVISION. IF DESIRED, THIS WILL NOT
BE AT DISTRICT EXPENSE.

MAP
OF

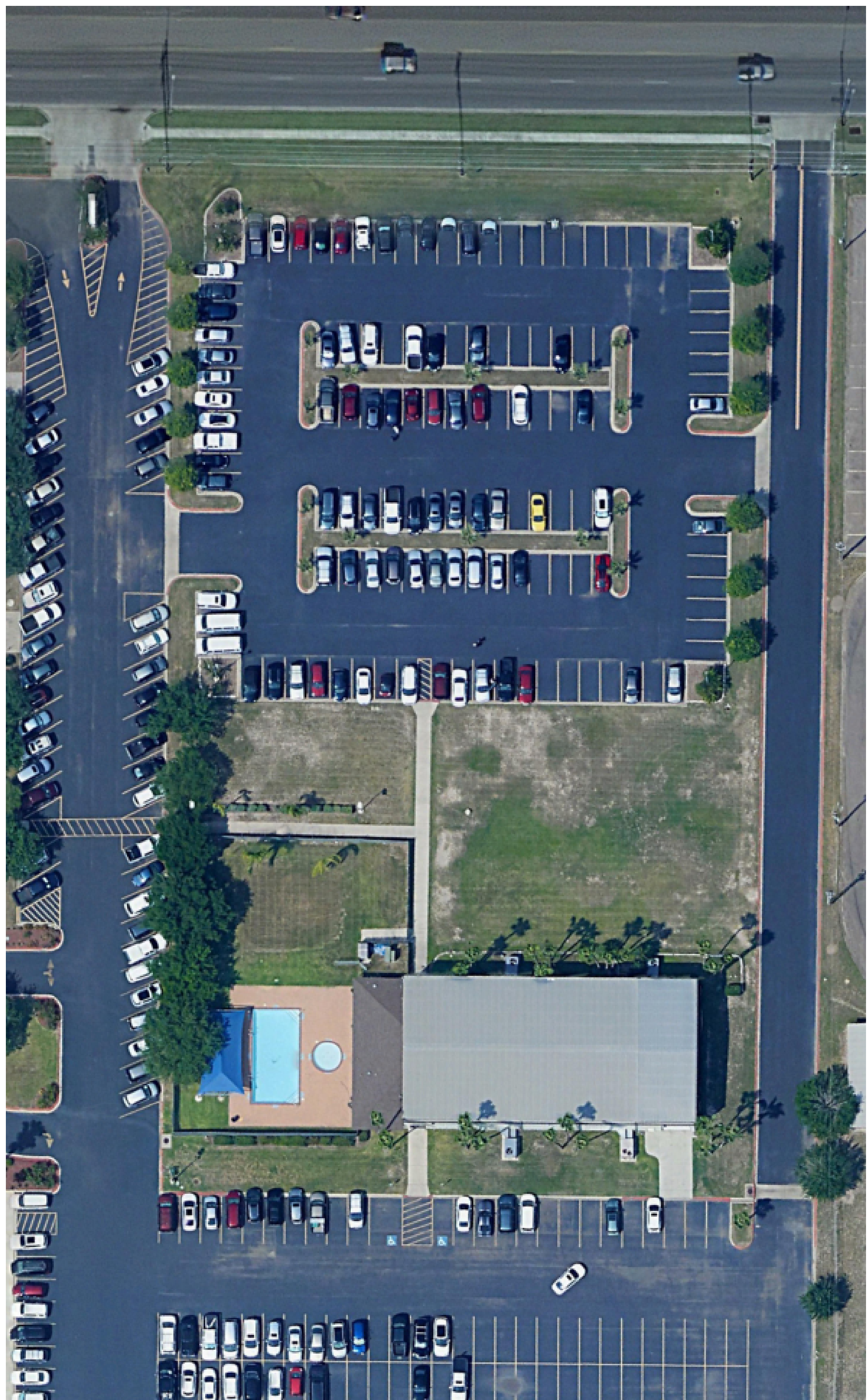
BAPTIST TEMPLE SUBDIVISION
McALLEN, TEXAS.

BEING A SUBDIVISION OF 9.58 ACRES OF LAND OUT OF
LOT 9, BLOCK I,
C. E. HAMMOND'S SUBDIVISION, 191341

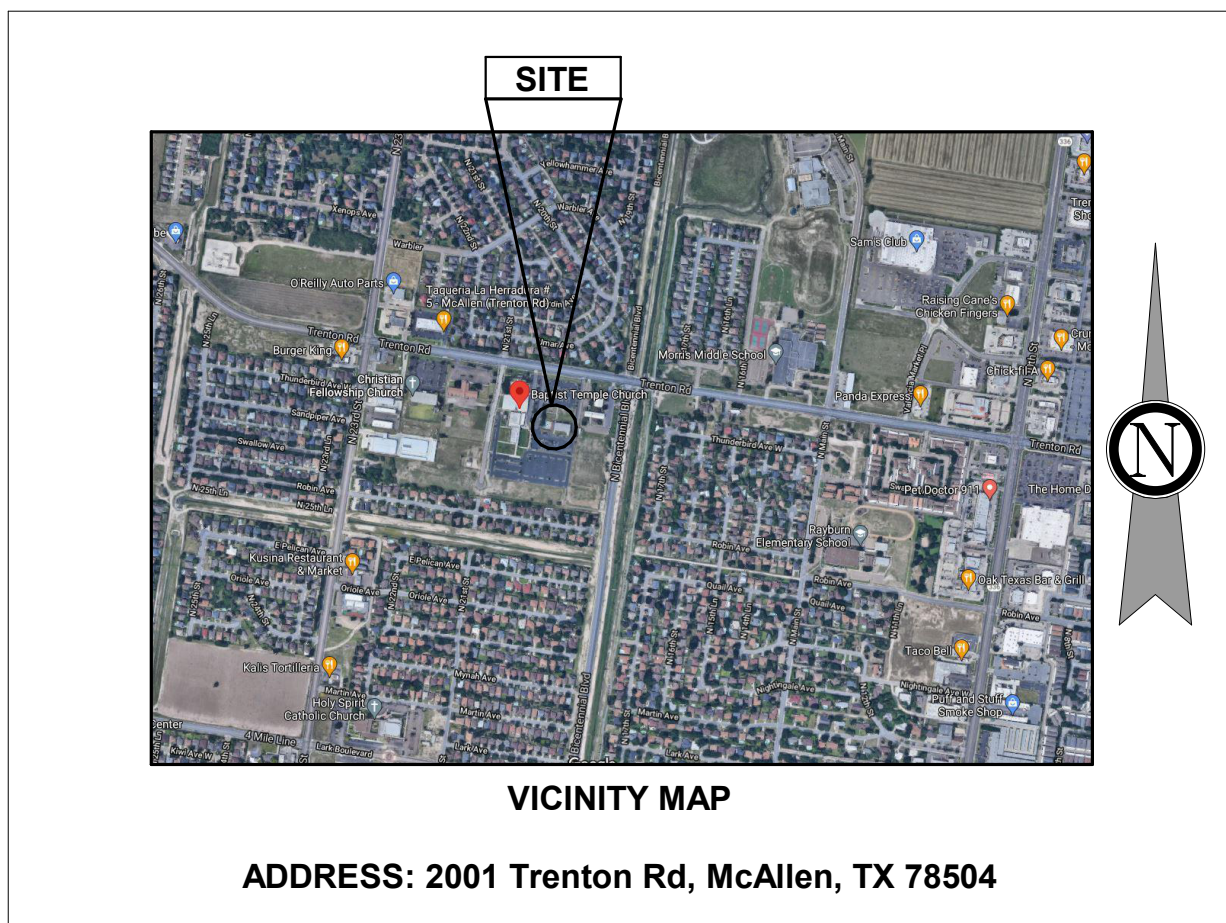
NOTES:

1. BUILDING SETBACK FROM TRENTON RD. SHALL BE 50.0' MIN.
2. BUILDING SETBACK FROM 21ST ST. SHALL BE 30.0' FT. MIN.
3. SIDEWALK SHALL BE REQUIRED ALONG TRENTON RD. AND 21ST ST.
4. FINISH FLOOR ELEVATION SHALL BE ELEVATION 114.0 ABOVE MEAN SEA LEVEL OR 15" ABOVE CENTERLINE OF PAVEMENT AT INTERSECTION OF TRENTON AND 21ST ST.
5. THE DEVELOPER/OWNER WILL BE SUBJECT TO FUTURE ASSESSMENTS OF PAVING, CURB & GUTTER, SIDEWALKS AND OTHER APPURTANCES FOR STREET IMPROVEMENTS FOR TRENTON RD.

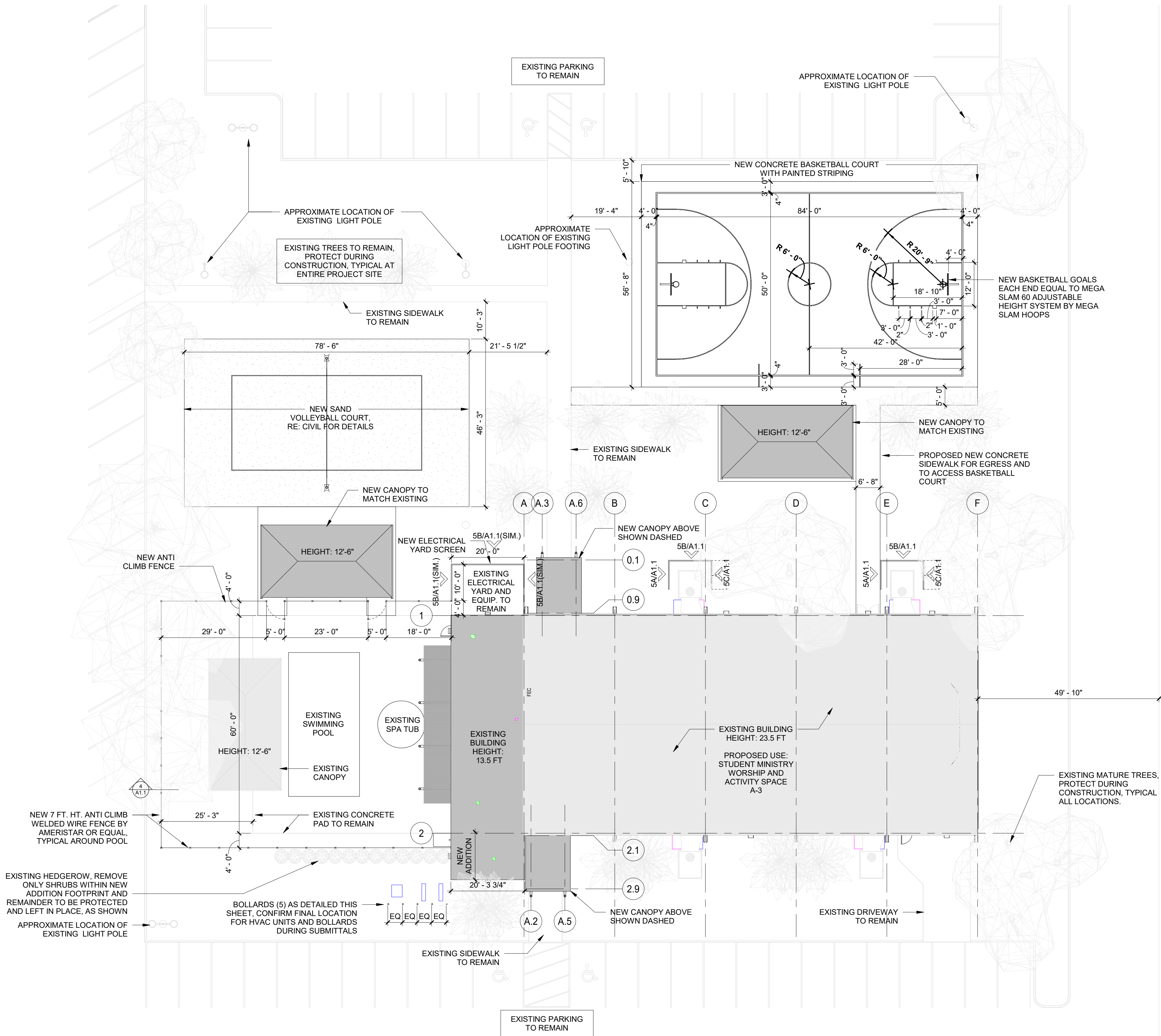
SITE PLAN FOR CONDITIONAL USE PERMIT APPLICATION FOR BT CHURCH STUDENT BUILDING



2 AERIAL OF EXISTING SITE
1" = 40'-0"



LEGAL DESCRIPTION OF PROPERTY:
A PART OF LOT 10, BLOCK 1, C.E. HAMMOND'S SUBDIVISION, HIDALGO COUNTY, TEXAS, AS CONVEYED BY WARRANTY DEED DATED SEPTEMBER 30, 1998 FROM CARLOS GALLEGOS AND WIFE, ADELA GALLEGOS, TO BAPTIST TEMPLE CHURCH, AND RECORDED UNDER DOCUMENT NO 754069 OF THE OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS.



1 PROPOSED SITE PLAN
1/16" = 1'-0"

NOTES: 1. NO NEW SIGNAGE PROPOSED

| | | | |
|---------------|------------|--------|-------------|
| Project: | 2019.10 | Phase: | |
| Release Date: | 01/12/2022 | No. | Description |
| Revisions: | | | Date |

Consultant:

BT McAllen Student

TEXAS

McAllen,

Architect:

BBA Architects LP

213 W. Main Street, Brownham, TX 77833
Tel: (979) 838-0523
Email: mailbox@bba-architects.com

FOR REVIEW ONLY
DOCUMENT INCOMPLETE.
DOCUMENT RELEASED
SOLELY FOR CONDITIONAL
USE PERMIT APPLICATION
REVIEW.
ARCHITECT: DARREN C. HEINE
REGISTRATION NO.: 13984
DATE: 01/12/2022

© Copyright 2022 by BBA Architects LP. All rights reserved. No part of this publication or the design and drawings incorporated herein, as an instrument of professional service, may be reproduced by photocopying, recording or by any other means, or stored, processed or transmitted in a retrieval system or other system without the written permission of BBA Architects LP.

SITE PLAN-CUP

A00

.....OF.....6.....

Consultant:

BT McAllen Student

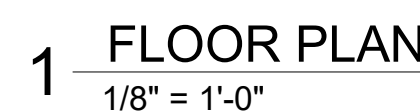
Architect:

BBA Architects LP

213 W. Main Street, Brenham, TX 77833
Tel: (979) 836-0523
Email: mailbox@bba-architects.com

© Copyright 2022 by BBA Architects LP. All rights reserved. No part of this publication or the ideas and designs incorporated herein, as an instrument of professional services, may be reproduced by photocopying, recording or by any other means, or stored, processed or transmitted in or by any computer or other system without the written permission of BBA Architects LP.

A2.1













Children's
Center

FIRE LANE















**NOTICE
INSTITUTIONAL
USE
FOR
THIS PROPERTY
CUP2022-0004**

 CITY OF MCALLEN PLANNING DEPT.
956-681-1250
WWW.MCALLE.NET



Planning Department

Memo

TO: Planning and Zoning Commission

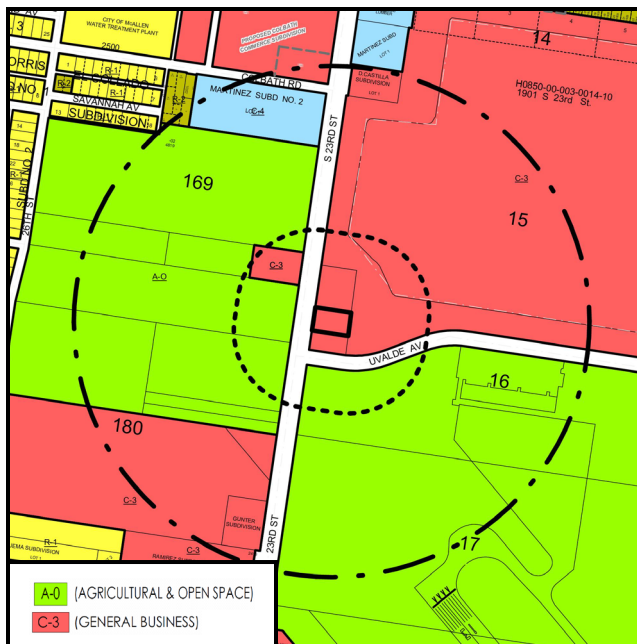
FROM: Planning Staff

DATE: February 4, 2022

SUBJECT: Request of Juan Guerrero for a Conditional Use Permit, for one year, for a bar, at 3.66 net acres of Lot 16, Block 3, C.E Hammond Subdivision, Hidalgo County, Texas; 2203 South 23rd Street. (CUP2022-0006).

BRIEF DESCRIPTION:

The property is located on the east side of South 23rd Street, approximately 100 ft. north of Uvalde Avenue and is zoned C-3 (general business) District. The adjacent zoning is C-3 to the north, south, and east, and A-O (agricultural and open space) District to the west. Surrounding land uses include Auto 281 LLC an auto sales and repair shop, Aguilera medical plaza, J & F tire repair shop, the McAllen International Airport, Boeys Reservoir and vacant land. A nightclub is allowed in a C-3 zone with a Conditional Use Permit and in compliance with the requirements.



HISTORY:

The initial Conditional Use Permit was approved for this use at this location by the Planning and Zoning Commission on July 7, 1998. The permit had been renewed annually by different tenants until August 2009. In August 2011, a new application for a conditional use permit was submitted; therefore, the new request had to be appealed and approved by the City Commission. The permit

was approved for one year with a variance to the distance requirement on September 26, 2011. The last permit renewal was approved for one year, on June 24, 2019, by the City Commission with a variance to the distance requirement however, this permit has since expired and a new tenant is applying for a new conditional use permit.

REQUEST/ANALYSIS:

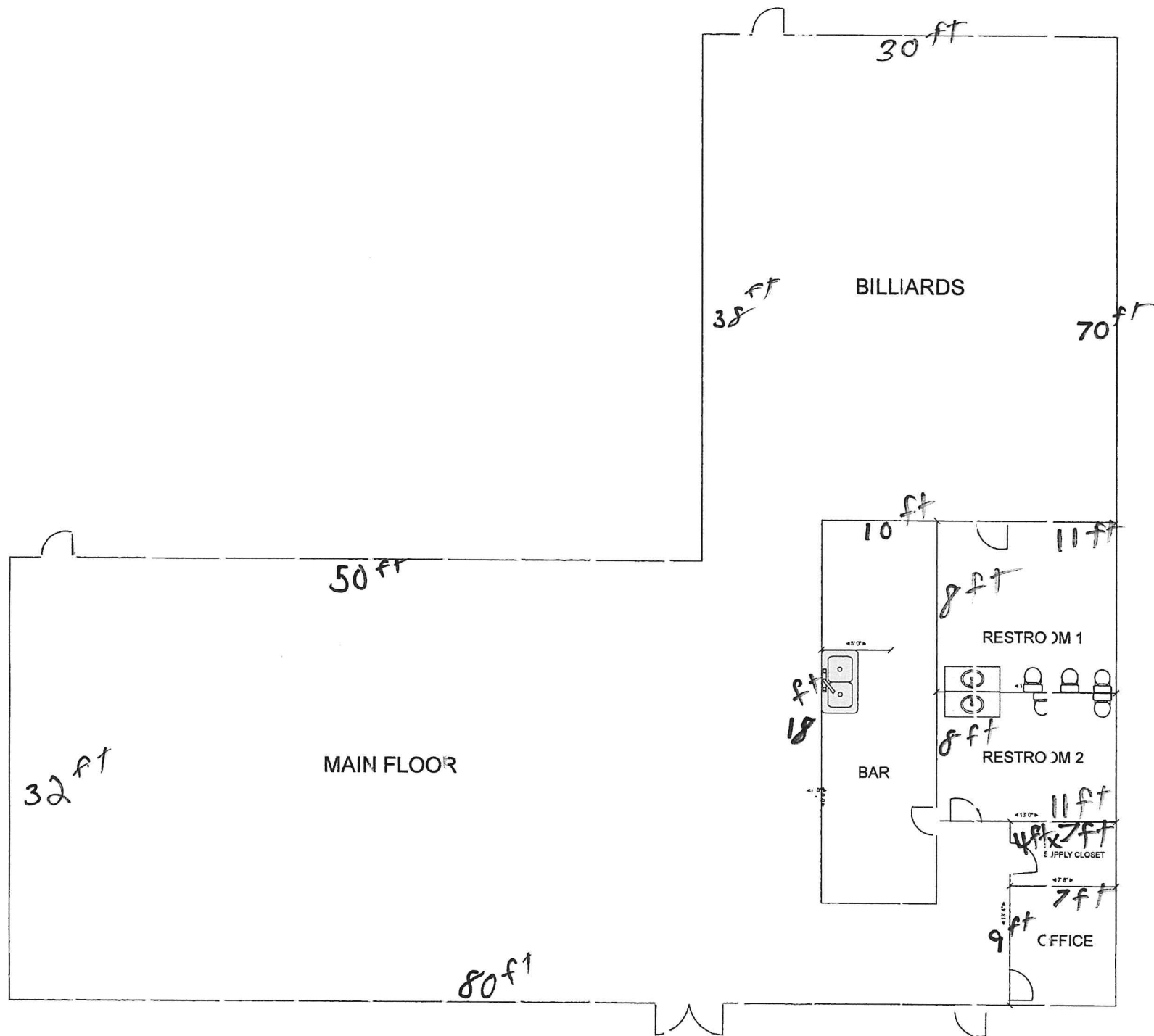
The applicant is proposing to open a night club (El Toro Club II) from the existing 3,540 sq. ft. building. The hours of operation will be from 12:00 p.m. to 2:00 a.m. daily.

A police activity report from January 2021 has not been attached since the establishment remained closed due to the ongoing pandemic. The Fire Department has completed their inspection and set forward conditions for the establishment. The Health Department has completed their inspection and determined the establishment is in compliance. The establishment must comply with the requirements set forth in Section 138-118a(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of those businesses having late hours (after 10:00 p.m.) must be at least 400 ft. from the nearest residence, church, school or publicly-owned property or must provide sufficient buffer and sound insulation of the building such that the building is not visible and cannot be heard from the residential areas. The establishment is within 400 ft. of publicly owned properties (Boeye Reservoir and McAllen International Airport);
- 2) The property must be as close as possible to a major arterial and shall not generate traffic onto residential-sized streets. The establishment has direct access to South 23rd Street and does not generate traffic into residential areas;
- 3) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. Based on the floor area of 3,540 sq. ft., 36 parking spaces are required; 43 parking spaces are provided. Upon the inspection, the parking area provided is in compliance with striping and maintenance requirements.
- 4) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties;
- 5) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street to discourage vandalism and criminal activities;
- 6) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and
- 7) The above-mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance after taking into account the recommendations of the Fire Marshal, Building Official, and Planning Director. The maximum capacity for the establishment is 99 persons.

RECOMMENDATION:

Staff recommends disapproval of the request based on non-compliance with requirement #1 distance to publicly owned land (McAllen Airport, Boeye Reservoir) of Section 138-118a(4)a of the Zoning Ordinance.





EXIT















POOL TOURNAMENT
WEDNESDAYS & SUNDAYS
9:30 P.M.

Live DJ

WHERE THE PARTY
NEVER ENDS

281



Aguilera
Medical Plaza

DR. JUAN AGUILERA & ASSOCIATES
ESPECIALISTA EN NIÑOS





AUTOS
281
LLC
956-217-9008

CULOS TITULO LIMPIO
CON ENGANCHES DESDE
\$999
TAXA Y GARANTIA INCLUIDO CON EL ENGANCHE
TODOS CALIFICAN
SOCIAL MATRICULA PASAPORTE O NADA VENGASE!

MENT
UNDAYS
A.

Live & D.J.

WHERE THE PARTY
NEVER ENDS

DRESS
CODE
ENFORCED
I.D. REQUIRED
NO SMOKING

OPEN

DRESS CODE
ENFORCED
I.D. REQUIRED
NO SMOKING





EL TORO CLUB II









POOL TOURNAMENTS
WEDNESDAYS & SUNDAYS
9-30 P.M.

Live D.J.

MAKE THE PARTY
NEVER END

281

MENT
UNDAYS
A.

Live & D.J.

WHERE THE PARTY
NEVER ENDS

DRESS
CODE
ENFORCED
I.D. REQUIRED
NO SMOKING

OPEN

DRESS CODE
ENFORCED
I.D. REQUIRED
NO SMOKING













COCKTAILS

EL TORO CLUB II



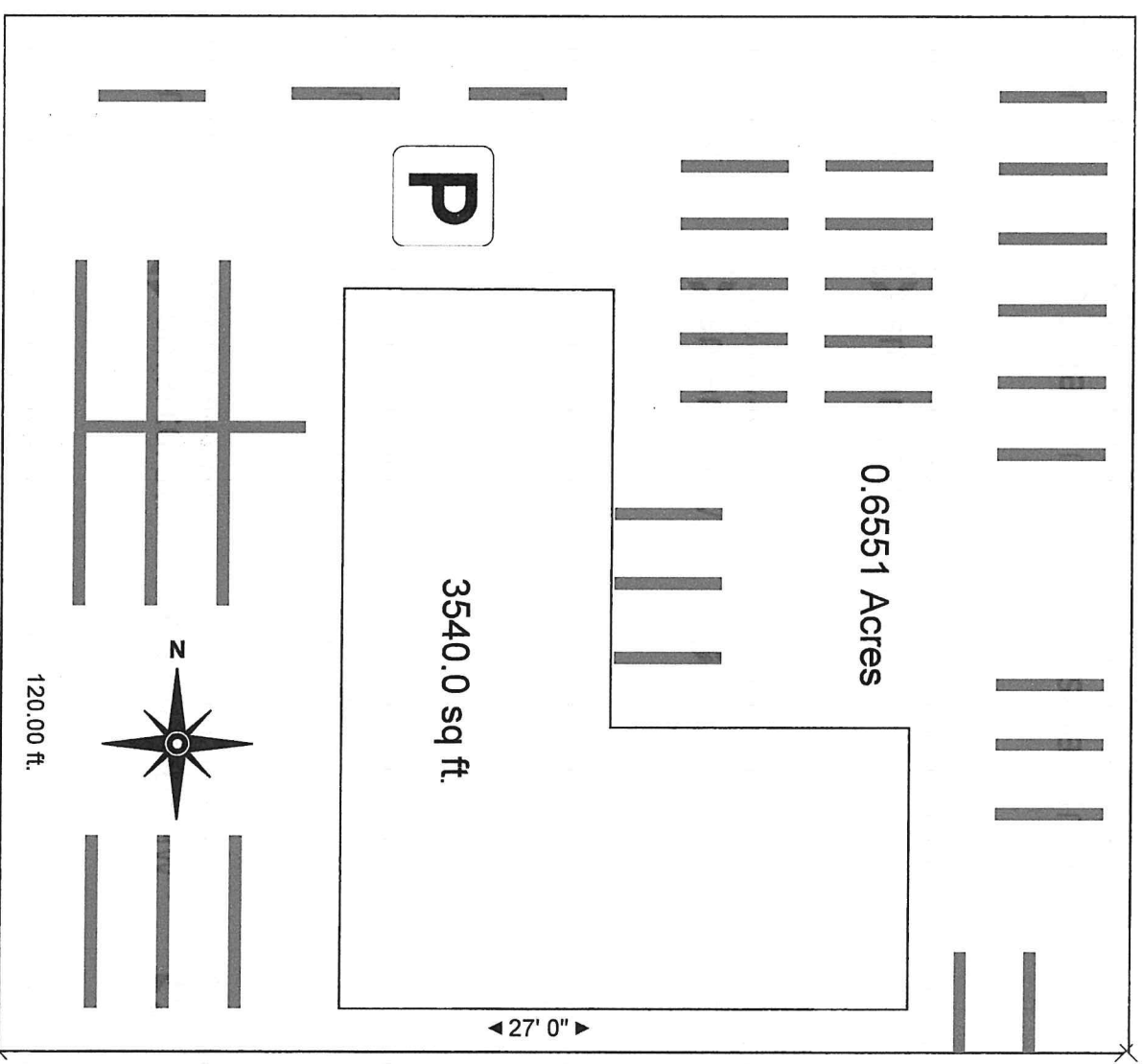
D
ED
ALLOWED



0.6551 Acres

North

SOUTH 23rd STREET



P

0.6551 Acres

3540.0 sq ft.

N

27' 0" >

238 ft.

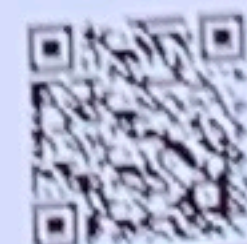
120.00 ft.



**NOTICE
BAR
FOR
THIS PROPERTY
CUP2022-0006**



CITY OF MCALLEN PLANNING DEPT.
956-681-1250
WWW.MCALLEN.NET



SUB2020-0075



City of McAllen
Planning Department
**APPLICATION FOR
SUBDIVISION PLAT REVIEW**

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

| | |
|---------------------|---|
| Project Description | <p>Subdivision Name <u>THE MEDICI SUBDIVISION</u></p> <p>Location <u>NORTHWEST CORNER OF DOVE AVENUE & N. BENTSEN ROAD</u></p> <p>City Address or Block Number <u>4500 DOVE AVENUE</u></p> <p>Number of lots <u>58</u> Gross acres <u>14.664</u> Net acres <u>14.664</u></p> <p>Existing Zoning <u>A-O</u> Proposed <u>R1</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>VACANT</u> Proposed Land Use <u>RESIDENTIAL</u> Irrigation District # <u>U.I.D</u></p> <p>Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due <u>0</u></p> <p>Parcel No. <u>701541</u> Tax Dept. Review <u>guerra</u></p> <p>Legal Description <u>APPROXIMATELY 14.664 ACRES OUT OF LOT 2,</u> <u>SHARYLAND ISD JR. HIGH SCHOOL, VOL. 48, PGS. 122-123 HCMR</u></p> |
| Owner | <p>Name <u>SHARYLAND ISD</u> Phone <u>C/O (956) 381-0981</u></p> <p>Address <u>1106 N. SHARY ROAD</u></p> <p>City <u>MISSION</u> State <u>TX</u> Zip <u>78572</u></p> <p>E-mail <u>C/O MARIO@MELDENANDHUNT.COM</u></p> |
| Developer | <p>Name <u>AVIG CONSTRUCTION</u> Phone <u>956.252.0610</u></p> <p>Address <u>1819 W. VENTURA DR.</u></p> <p>City <u>PHARR</u> State <u>TX</u> Zip <u>78577</u></p> <p>Contact Person <u>ENRIQUE CASTELLANOS</u></p> <p>E-mail <u>AVIGROUP@GMAIL.COM</u></p> |
| Engineer | <p>Name <u>MELDEN & HUNT, INC.</u> Phone <u>(956) 381-0981</u></p> <p>Address <u>115 W. MCINTYRE ST.</u></p> <p>City <u>EDINBURG</u> State <u>TX</u> Zip <u>78541</u></p> <p>Contact Person <u>MARIO A. REYNA, P.E.</u></p> <p>E-mail <u>MARIO@MELDENANDHUN.COM</u></p> |
| Surveyor | <p>Name <u>MELDEN & HUNT, INC.</u> Phone <u>(956) 381-0981</u></p> <p>Address <u>115 W. MCINTYRE ST.</u></p> <p>City <u>EDINBURG</u> State <u>TX</u> Zip <u>78541</u></p> |



Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ☒ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ☒ Title Report
- ☒ 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies
- ☒ 2 Location Maps
- ☒ 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- ☒ 6 Folded blueline prints of the proposed plat
- ☒ 2 Warranty Deeds (Identifying owner on application)
- ☒ Autocad 2005 DWG file and PDF of plat
- ☒ Letter of Authorization from the owner, if applicable
- ☒ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 1/2" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

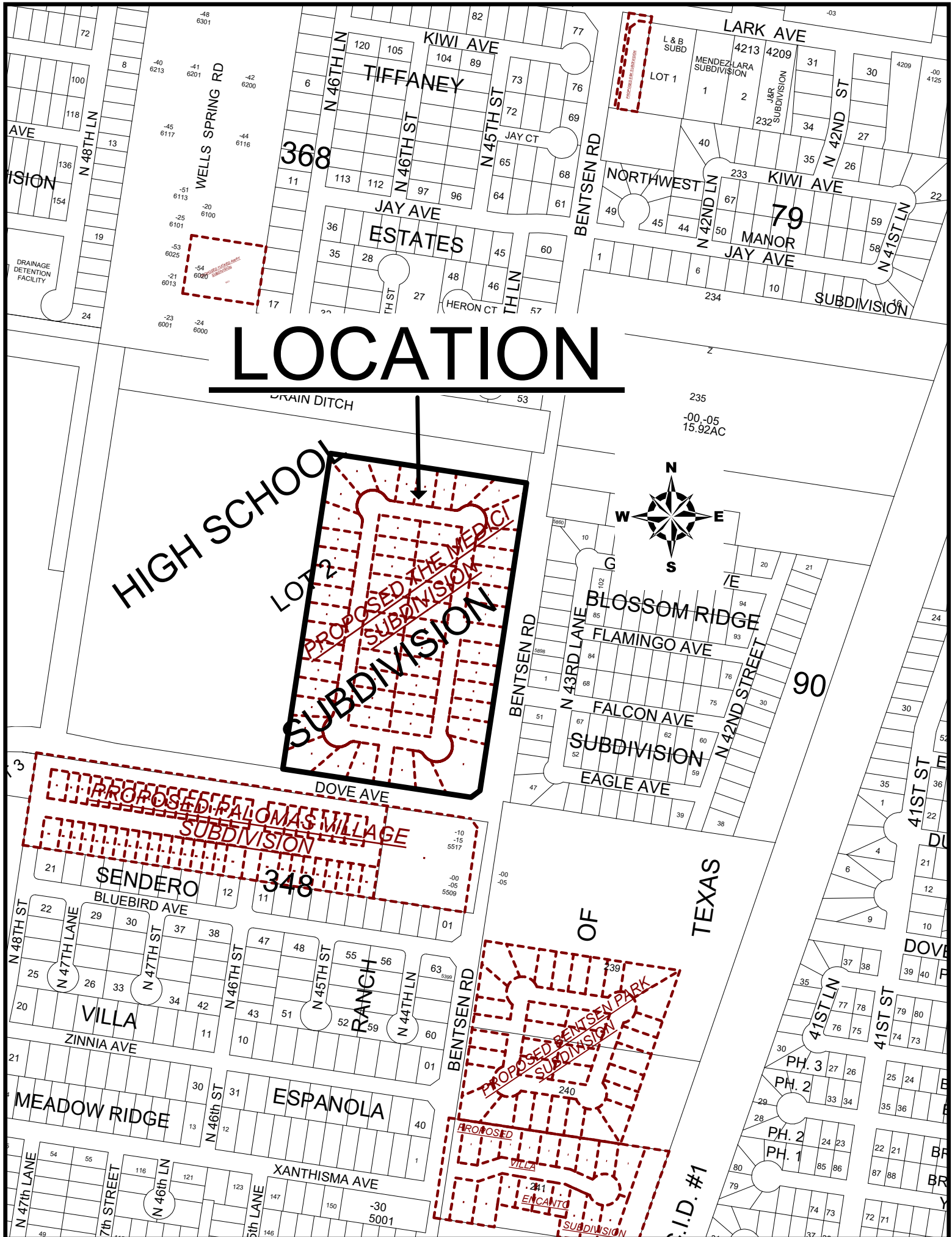
Signature  Date 10-6-2020

Print Name MARIO A. REYNA, P.E.

Owner ☐

Authorized Agent ☒

LOCATION





City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 2/10/2022

SUBDIVISION NAME: THE MEDICI SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Dove Avenue: 5 ft. dedicated for 75 ft. from centerline for 150 total ROW
Paving: min. 65 ft. Curb & gutter: both sides

Compliance

Bentsen Road: 100 ft. total ROW
Paving: 65 ft. Curb & gutter: Both sides

Compliance

Goldcrest Avenue (private), Eagle Avenue (private), N. 44th Lane (private), N. 45th Lane (private): 50 ft. ROW
Paving: 32 ft. Curb & gutter: Both sides

Compliance

* 800 ft. Block Length

Compliance

* 600 ft. Maximum Cul-de-Sac

Compliance

ALLEYS

ROW: 20 ft. Paving: 16 ft.
*Alley/service drive easement required for commercial properties

NA

SETBACKS

* Front: 25 ft. or greater for easements

Applied

* Rear: 10 ft. or greater for easements, except 25 ft. for double fronting lots.

Applied

* Sides: 6 ft. or greater for easements.

Applied

* Side Corner: 10 ft. or greater for easements.

Applied

* Garage: 18 ft. except where greater setback is required, greater setback applies.

Applied

*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN

Applied

SIDEWALKS

* 4 ft. wide minimum sidewalk required on N. Bentsen Road, Dove Avenue, and both sides of all interior streets.

Compliance

* Perimeter sidewalks must be built or money escrowed if not built at this time.

Required

BUFFERS

* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along N. Bentsen Rd. and Dove Ave.

Compliance

* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.

Applied

*Perimeter buffers must be built at time of Subdivision Improvements.

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| NOTES | |
|--|------------|
| <ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along N. Bentsen Road and Dove Avenue. * Site plan must be approved by the Planning and Zoning Commission prior to building permit issuance. * Common areas, private streets, etc. must be maintained by the lot owners and not the City of McAllen * Common areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. *Section 110-72 applies for public subdivisions. * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. | Applied |
| | NA |
| | Applied |
| | NA |
| | Required |
| | Required |
| LOT REQUIREMENTS | |
| <ul style="list-style-type: none"> * Lots fronting public streets * Minimum lot width and lot area | Compliance |
| | Compliance |
| ZONING/CUP | |
| <ul style="list-style-type: none"> * Existing: R-1 Proposed: R-1 * Rezoning Needed Before Final Approval **Rezoning request reviewed by P&Z Board at the meeting held January 19, 2021, approved by City Commission on February 8, 2021. | Compliance |
| | Completed |
| PARKS | |
| <ul style="list-style-type: none"> * Land dedication in lieu of fee * Park Fee of \$700 x dwelling unit/lot x 58 units proposed = \$40,600 to be paid prior to recording. If number of lots changes, fees will be revised accordingly. * Pending review by the Parkland Dedication Advisory Board and CC. | NA |
| | Required |
| | NA |
| TRAFFIC | |
| <ul style="list-style-type: none"> * Trip Generation has been approved, per Traffic Department. * Traffic Impact Analysis (TIA) required prior to final plat. | Completed |
| | NA |
| COMMENTS | |
| Comments: Must comply with City's Access Management Policy | Applied |
| RECOMMENDATION | |
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED. | Applied |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

The map shows the location of the proposed medical subdivision, outlined in pink. The subdivision is situated between N 46th St and N 45th St, and between Bentsen Rd and N 44th Ln. To the north is the Tiffany Estates subdivision, and to the south is the Sendero subdivision. To the east is the Blossom Ridge subdivision, and to the west is the Meadow Ridge subdivision. The map also shows the location of the proposed Palomas Village subdivision and the proposed Bentsen Park subdivision. A compass rose indicates the orientation of the map, with North at the top. The map is labeled with various street names, including N 48th Ln, N 47th St, N 46th St, N 45th St, N 44th Ln, Bentsen Rd, N 43rd Ln, N 42nd St, N 41st St, N 40th St, N 39th St, N 38th St, N 37th St, N 36th St, N 35th St, N 34th St, N 33rd St, N 32nd St, N 31st St, N 30th St, N 29th St, N 28th St, N 27th St, N 26th St, N 25th St, N 24th St, N 23rd St, N 22nd St, N 21st St, N 20th St, N 19th St, N 18th St, N 17th St, N 16th St, N 15th St, N 14th St, N 13th St, N 12th St, N 11th St, N 10th St, N 9th St, N 8th St, N 7th St, N 6th St, N 5th St, N 4th St, N 3rd St, N 2nd St, N 1st St, N 0th St, N -1st St, N -2nd St, N -3rd St, N -4th St, N -5th St, N -6th St, N -7th St, N -8th St, N -9th St, N -10th St, N -11th St, N -12th St, N -13th St, N -14th St, N -15th St, N -16th St, N -17th St, N -18th St, N -19th St, N -20th St, N -21st St, N -22nd St, N -23rd St, N -24th St, N -25th St, N -26th St, N -27th St, N -28th St, N -29th St, N -30th St, N -31st St, N -32nd St, N -33rd St, N -34th St, N -35th St, N -36th St, N -37th St, N -38th St, N -39th St, N -40th St, N -41st St, N -42nd St, N -43rd St, N -44th St, N -45th St, N -46th St, N -47th St, N -48th St, N -49th St, N -50th St, N -51st St, N -52nd St, N -53rd St, N -54th St, N -55th St, N -56th St, N -57th St, N -58th St, N -59th St, N -60th St, N -61st St, N -62nd St, N -63rd St, N -64th St, N -65th St, N -66th St, N -67th St, N -68th St, N -69th St, N -70th St, N -71st St, N -72nd St, N -73rd St, N -74th St, N -75th St, N -76th St, N -77th St, N -78th St, N -79th St, N -80th St, N -81st St, N -82nd St, N -83rd St, N -84th St, N -85th St, N -86th St, N -87th St, N -88th St, N -89th St, N -90th St, N -91st St, N -92nd St, N -93rd St, N -94th St, N -95th St, N -96th St, N -97th St, N -98th St, N -99th St, N -100th St, N -101st St, N -102nd St, N -103rd St, N -104th St, N -105th St, N -106th St, N -107th St, N -108th St, N -109th St, N -110th St, N -111st St, N -112nd St, N -113rd St, N -114th St, N -115th St, N -116th St, N -117th St, N -118th St, N -119th St, N -120th St, N -121st St, N -122nd St, N -123rd St, N -124th St, N -125th St, N -126th St, N -127th St, N -128th St, N -129th St, N -130th St, N -131st St, N -132nd St, N -133rd St, N -134th St, N -135th St, N -136th St, N -137th St, N -138th St, N -139th St, N -140th St, N -141st St, N -142nd St, N -143rd St, N -144th St, N -145th St, N -146th St, N -147th St, N -148th St, N -149th St, N -150th St, N -151st St, N -152nd St, N -153rd St, N -154th St, N -155th St, N -156th St, N -157th St, N -158th St, N -159th St, N -160th St, N -161st St, N -162nd St, N -163rd St, N -164th St, N -165th St, N -166th St, N -167th St, N -168th St, N -169th St, N -170th St, N -171st St, N -172nd St, N -173rd St, N -174th St, N -175th St, N -176th St, N -177th St, N -178th St, N -179th St, N -180th St, N -181st St, N -182nd St, N -183rd St, N -184th St, N -185th St, N -186th St, N -187th St, N -188th St, N -189th St, N -190th St, N -191st St, N -192nd St, N -193rd St, N -194th St, N -195th St, N -196th St, N -197th St, N -198th St, N -199th St, N -200th St, N -201st St, N -202nd St, N -203rd St, N -204th St, N -205th St, N -206th St, N -207th St, N -208th St, N -209th St, N -210th St, N -211st St, N -212nd St, N -213rd St, N -214th St, N -215th St, N -216th St, N -217th St, N -218th St, N -219th St, N -220th St, N -221st St, N -222nd St, N -223rd St, N -224th St, N -225th St, N -226th St, N -227th St, N -228th St, N -229th St, N -230th St, N -231st St, N -232nd St, N -233rd St, N -234th St, N -235th St, N -236th St, N -237th St, N -238th St, N -239th St, N -240th St, N -241st St, N -242nd St, N -243rd St, N -244th St, N -245th St, N -246th St, N -247th St, N -248th St, N -249th St, N -250th St, N -251st St, N -252nd St, N -253rd St, N -254th St, N -255th St, N -256th St, N -257th St, N -258th St, N -259th St, N -260th St, N -261st St, N -262nd St, N -263rd St, N -264th St, N -265th St, N -266th St, N -267th St, N -268th St, N -269th St, N -270th St, N -271st St, N -272nd St, N -273rd St, N -274th St, N -275th St, N -276th St, N -277th St, N -278th St, N -279th St, N -280th St, N -281st St, N -282nd St, N -283rd St, N -284th St, N -285th St, N -286th St, N -287th St, N -288th St, N -289th St, N -290th St, N -291st St, N -292nd St, N -293rd St, N -294th St, N -295th St, N -296th St, N -297th St, N -298th St, N -299th St, N -300th St, N -301st St, N -302nd St, N -303rd St, N -304th St, N -305th St, N -306th St, N -307th St, N -308th St, N -309th St, N -310th St, N -311st St, N -312nd St, N -313rd St, N -314th St, N -315th St, N -316th St, N -317th St, N -318th St, N -319th St, N -320th St, N -321st St, N -322nd St, N -323rd St, N -324th St, N -325th St, N -326th St, N -327th St, N -328th St, N -329th St, N -330th St, N -331st St, N -332nd St, N -333rd St, N -334th St, N -335th St, N -336th St, N -337th St, N -338th St, N -339th St, N -340th St, N -341st St, N -342nd St, N -343rd St, N -344th St, N -345th St, N -346th St, N -347th St, N -348th St, N -349th St, N -350th St, N -351st St, N -352nd St, N -353rd St, N -354th St, N -355th St, N -356th St, N -357th St, N -358th St, N -359th St, N -360th St, N -361st St, N -362nd St, N -363rd St, N -364th St, N -365th St, N -366th St, N -367th St, N -368th St, N -369th St, N -370th St, N -371st St, N -372nd St, N -373rd St, N -374th St, N -375th St, N -376th St, N -377th St, N -378th St, N -379th St, N -380th St, N -381st St, N -382nd St, N -383rd St, N -384th St, N -385th St, N -386th St, N -387th St, N -388th St, N -389th St, N -390th St, N -391st St, N -392nd St, N -393rd St, N -394th St, N -395th St, N -396th St, N -397th St, N -398th St, N -399th St, N -400th St, N -401st St, N -402nd St, N -403rd St, N -404th St, N -405th St, N -406th St, N -407th St, N -408th St, N -409th St, N -410th St, N -411st St, N -412nd St, N -413rd St, N -414th St, N -415th St, N -416th St, N -417th St, N -418th St, N -419th St, N -420th St, N -421st St, N -422nd St, N -423rd St, N -424th St, N -425th St, N -426th St, N -427th St, N -428th St, N -429th St, N -430th St, N -431st St, N -432nd St, N -433rd St, N -434th St, N -435th St, N -436th St, N -437th St, N -438th St, N -439th St, N -440th St, N -441st St, N -442nd St, N -443rd St, N -444th St, N -445th St, N -446th St, N -447th St, N -448th St, N -449th St, N -450th St, N -451st St, N -452nd St, N -453rd St, N -454th St, N -455th St, N -456th St, N -457th St, N -458th St, N -459th St, N -460th St, N -461st St, N -462nd St, N -463rd St,



Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

| | | |
|--|---|--|
| Project Information | Subdivision Name <u>THE VILLAS ON FREDDY PHASE III SUBDIVISION (PRIVATE)</u> | |
| | Location <u>N. SIDE OF FREDDY GONZALEZ BETWEEN N. BICENTENNIAL & N. 10TH ST. (S.H. 336)</u> | |
| | City Address or Block Number <u>NONE AT THIS TIME</u> | |
| | Number of Lots <u>41</u> Gross Acres <u>6.237</u> Net Acres <u>6.237</u> ETJ <input type="checkbox"/> Yes <input type="checkbox"/> No | |
| | Existing Zoning <u>R3T</u> Proposed Zoning <u>R3T</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____ | |
| | Existing Land Use <u>VACANT</u> Proposed Land Use _____ Irrigation District # <u>HCID#1</u> | |
| | Replat <input type="checkbox"/> Yes <input type="checkbox"/> No Commercial _____ Residential <u>X</u> | |
| | Agricultural Exemption <input type="checkbox"/> Yes <input type="checkbox"/> No Estimated Rollback Tax Due _____ | |
| | Parcel # <u>297558</u> Tax Dept. Review _____ | |
| | Water CCN <input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____ | |
| Legal Description <u>6.237 ACRES OUT OF LOT 5, SECTION 278, TEXAS MEXICAN R.C.S.</u> | | |
| Owner | Name <u>THE VILLAS ON FREDDY, LLC</u> | Phone <u>956-287-2800</u> |
| | Address <u>200 S. 10TH ST., STE. 1700</u> | E-mail <u>NICK@RHODESENTERPRISES.COM</u> |
| | City <u>MCALLEN</u> | State <u>TX</u> Zip <u>78501</u> |
| | | |
| Developer | Name <u>THE VILLAS ON FREDDY, LLC</u> | Phone <u>956-287-2800</u> |
| | Address <u>200 S. 10TH ST., STE. 1700</u> | E-mail <u>NICK@RHODESENTERPRISES.COM</u> |
| | City <u>MCALLEN</u> | State <u>TEXAS</u> Zip <u>78501</u> |
| | Contact Person <u>NICK RHODES</u> | |
| Engineer | Name <u>MELDEN & HUNT, INC.</u> | Phone <u>956-381-0981</u> |
| | Address <u>115 W. MCTYRE ST.</u> | E-mail <u>FKURTH@MELDENANDHUNT.COM</u> |
| | City <u>EDINBURG</u> | State <u>TEXAS</u> Zip <u>78541</u> |
| | Contact Person <u>FRED L. KURTH, P.E., F</u> | |
| Surveyor | Name <u>MELDEN & HUNT, INC.</u> | Phone <u>956-381-0981</u> |
| | Address <u>115 W. MCTYRE ST.</u> | E-mail <u>FKURTH@MELDENANDHUNT.C</u> |
| | City <u>EDINBURG</u> | State <u>TEXAS</u> Zip <u>78541</u> |

ENTERED ENTER

OCT 04 2021

OCT 04 2021

Initial: DM

Initial: _____

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- \$225 Preliminary Review Fee and \$75 Final Approval Fee
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner, if applicable
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 10/24/21

Print Name Nick Rhodes

Owner ☒

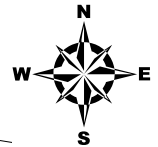
Authorized Agent ☐

4 TRIPLE "B" MOBILE PARK SUBDIVISION

LOT 1

LOCATION

TRIPLE "B" MOBILE PARK II



N BICENTENNIAL BLVD

~~PROPOSED THE VILLAS ON FREDDY PHASE 2~~
~~(REMOVED)~~

~~PROPOSED THE VILLAS ON FREDDY~~
~~PHASE 3~~
~~SUBDIVISION~~



5

PALM ESTATES

12TH ST

YALE AVE

LAS TORRES
SUB

FREDDY GONZALEZ RD

-00
1401

-08
1101

-07
1001

SUBDIVISION MAP OF THE VILLAS ON FREDDY PHASE III

(PRIVATE SUBDIVISION)
BEING 6.237 ACRES OUT OF LOT 5, SECTION 278
TEXAS-MEXICAN RAILWAY COMPANY SURVEY
RECORDED IN VOLUME 24, PAGES 168-171, H.C.D.R.,
CITY OF McALLEN, HIDALGO COUNTY, TEXAS

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE

THIS PLAT APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 1 ON

THIS THE ____ DAY OF _____, 20 ____.

NOTE: HIDALGO COUNTY IRRIGATION DISTRICT No. ONE WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION. ALSO THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS.

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON THE HCD#1 RIGHT-OF-WAYS OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HCD#1.

PRESIDENT

SECRETARY

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN

DATE

ATTESTED BY:

CITY SECRETARY

DATE

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

WE, THE UNDERSIGNED, LIEN HOLDER OF A SECURITY INTEREST IN THE ABOVE DESCRIBED REAL PROPERTY, AS SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE VILLAS ON FREDDY PHASE III, OF THE CITY OF McALLEN, TEXAS, HEREBY CONSENT TO THE SUBDIVISION OF THE REAL PROPERTY AS PROVIDED FOR UNDER THE PLAT, AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED REAL PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

JOE QUIROGA, TRUSTEE
TEXAS NATIONAL BANK
4908 SOUTH JACKSON ROAD
EDINBURG, TEXAS 78539

DATE

STATE OF TEXAS
COUNTY OF

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOE QUIROGA, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND

AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20 ____.

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

STATE OF TEXAS
COUNTY OF HIDALGO

WE, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE VILLAS ON FREDDY PHASE III TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, DO HEREBY GRANT AN EASEMENT TO THE CITY OF McALLEN AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY. THE SURFACE USE OF THE STREETS, ALLEYS, COMMON AREAS, UTILITY EASEMENTS TO THE PUBLIC BY THIS PLAT THEREON SHOWN ARE RESTRICTED TO THE EMPLOYEES AND AGENTS OF THE CITY OF McALLEN, EMPLOYEES OF THE UTILITY COMPANIES UNDER FRANCHISE OF SAID CITY, AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS.

OWNER: THE VILLAS ON FREDDY, LLC, A TEXAS LIMITED LIABILITY COMPANY.

BY: RHODES DEVELOPMENT, INC. (MEMBER)
NICK RHODES, PRESIDENT
200 S. 10TH STREET, STE. 1700
McALLEN, TEXAS 78501

DATE:

BY: RIVERSIDE DEVELOPMENT SERVICES, LLC (MEMBER)
ANTONIO M. AGUIRRE, JR., MANAGER
2606 ZINNIA AVENUE,
McALLEN, TEXAS 78504

DATE:

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED NICK RHODES KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20 ____.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS
MY COMMISSION EXPIRES:

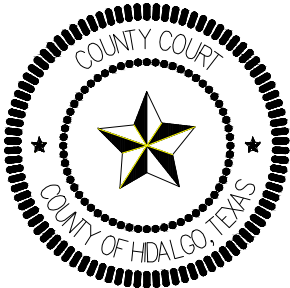
STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ANTONIO M. AGUIRRE, JR. KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20 ____.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS
MY COMMISSION EXPIRES:

FRED L. KURTH, P.E. # 54151 R.P.L.S. # 4750
DATE SURVEYED: 04-01-20
DATE PREPARED: 04-01-20
ENGINEERING JOB No. 200888.00
SURVEY JOB No. 19078.00

DATE:



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

1. GENERAL NOTES :

- THIS SUBDIVISION IS LOCATED IN ZONE "X" UNSHADED ON FEMA'S FLOOD INSURANCE RATE MAP. AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN . COMMUNITY PANEL NUMBER 480334 0325 D, MAP REVISED: JUNE 06, 2000;
- MINIMUM FINISH FLOOR NOTE:
MINIMUM FINISH FLOOR ELEVATION SHALL BE 20" ABOVE TOP OF CURB AT CENTER OF LOT.
- MINIMUM SETBACKS SHALL BE: AS FOLLOWS OR GREATER FOR EASEMENTS.

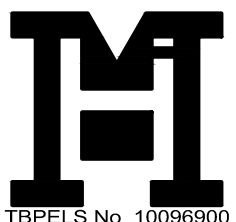
FRONT: LOTS 96-100 SHALL BE 23 FEET (FRONTING WEST)
LOTS 101-119 SHALL BE 23 FEET (FRONTING SOUTH)
LOT 121-138 SHALL BE 10 FEET (FRONTING SOUTH)

REAR: LOTS 96-100 SHALL BE 10 FEET (GARAGE WEST)
LOTS 101-119 SHALL BE 10 FEET (GARAGE SOUTH)
LOTS 121-138 SHALL BE 23 FEET (GARAGE NORTH)

SIDE CORNER: 5 FEET, OR GREATER FOR EASEMENTS.

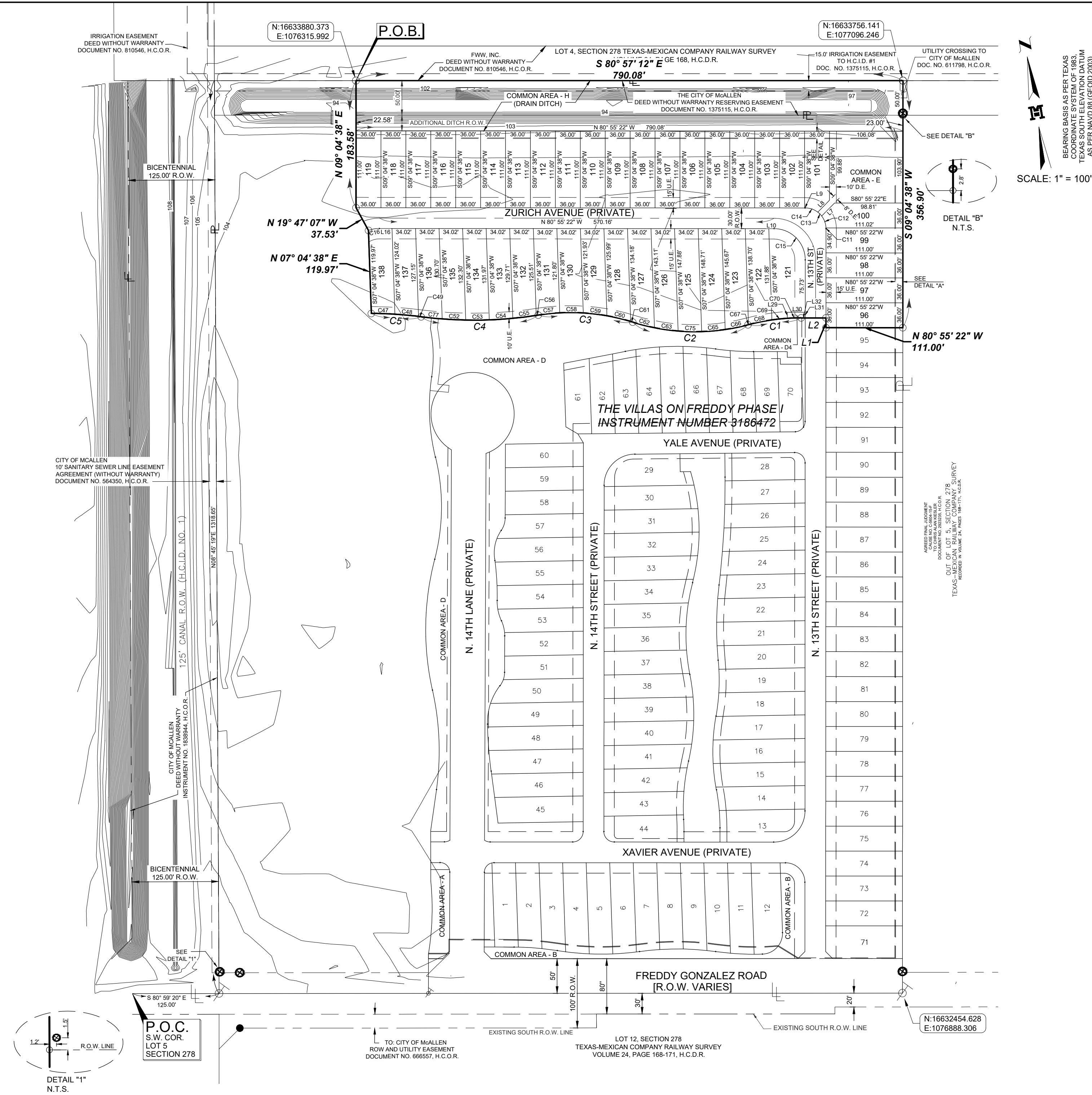
INTERIOR SIDES: LOTS 96-100 SHALL BE 3 FEET NORTH SIDE AND 7 FEET SOUTH SIDE
LOTS 101-119 SHALL BE 3 FEET EAST SIDE AND 7 FEET WEST SIDE
LOTS 121-138 SHALL BE 3 FEET WEST SIDE AND 7 FEET EAST SIDE

GARAGE: 23 FEET, EXCEPT WHERE GREATER SETBACK IS REQUIRED, GREATER SETBACK APPLIES
- REQUIRED DETENTION FOR STORM SEWER RUNOFF PER THE APPROVED DRAINAGE REPORT SHALL BE 11,015 C.F. (0.253 ac-ft). STORM WATER RUNOFF GENERATED FROM DEVELOPMENT SHALL BE DETAINED OFF-SITE IN THE ADJACENT DRAIN DITCHES. DESIGN OF THESE DRAIN DITCHES IS REFERENCED IN THE MASTER DRAINAGE STUDY.
- AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT SHALL BE SUBMITTED AND APPROVED BY CITY OF McALLEN PRIOR TO ISSUANCE OF BUILDING PERMIT.
- CITY OF McALLEN BENCHMARK: NUMBER MC46, 30" ALUMINUM PIPE WITH A 3-1/4" BRASS MONUMENT CAP TOP LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF N. 10TH STREET AND FREDDY GONZALEZ. GEODETIC G.P.S. TEXAS STATE PLANE GRID COORDINATE SYSTEM, NAD 83 TEXAS SOUTH 4205 ELEVATION PER NAVD 88 (GEOID 96) N=16632426.4526, E=1077730.38009, ELEV.=104.17
- NO BUILDING ALLOWED OVER ANY EASEMENT.
- 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- 6 FT. OPAGUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES.
- ALL INTERIOR LOT CORNERS WILL HAVE A NO.4 REBAR SET WITH PLASTIC CAP STAMPED MELDEN & HUNT, INC.
- NO DWELLINGS SHALL BE ALLOWED IN ANY COMMON AREAS.
- SIDEWALKS SHALL BE INSTALLED AT BUILDING PERMIT STAGE AS PER SIDEWALKS & TRAILS PLAN.
- A CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED BY THE CITY OF McALLEN FOR ANY STRUCTURE BUILT ON A LOT IDENTIFIED ON THIS PLAT UNTIL ALL INFRASTRUCTURE REQUIRED TO SERVE THE LOT HAS BEEN INSTALLED, INSPECTED, AND APPROVED BY THE APPROPRIATE AUTHORITY.
- COMMON AREAS AND PRIVATE STREETS MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN
- DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNER, THEIR SUCCESSORS AND ASSIGNEES, AND NOT THE CITY OF McALLEN SHALL BE RESPONSIBLE FOR COMPLIANCE OF INSTALLATION AND MAINTENANCE AND OTHER REQUIREMENTS PER SECTION 134-168 OF THE SUBDIVISION ORDINANCE, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND ITS PRIVATE STREETS.
- AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR THE VILLAS ON FREDDY PHASE I, RECORDED AS DOCUMENT NUMBER _____, HIDALGO COUNTY, OFFICIAL RECORDS, DEVELOPER/HOMEOWNER ASSOCIATION/OWNER, THEIR SUCCESSORS AND/OR ASSIGNS, AND NOT THE CITY OF McALLEN SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 134-168 OF THE CODE OF ORDINANCE OF THE CITY OF McALLEN, INCLUDING BUT NOT LIMITED TO THE COMMON AREAS AND PRIVATE STREETS. ANY AMENDMENT TO DECLARATIONS THAT CONFLICT WITH THE REQUIREMENTS OF SECTION 134-168 SHALL BE NULL AND VOID.
- A 25-FOOT BY 25-FOOT SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS.
- ALL EASEMENTS SHOWN IN PLAT ARE DEDICATED BY THIS PLAT UNLESS OTHERWISE.



MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS

115 W. McIntyre - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com



| BOUNDARY Curve Table | | | | | | |
|----------------------|---------|---------|--------------|-----------------|--------------|---------|
| Curve # | Length | Radius | Delta | Chord Direction | Chord Length | Tangent |
| C1 | 77.63' | 300.00' | 014° 49' 33" | N88° 20' 08"W | 77.41' | 39.03 |
| C2 | 168.76' | 300.00' | 032° 13' 53" | S79° 37' 59"E | 166.55' | 86.68 |
| C3 | 138.12' | 300.00' | 026° 22' 46" | N76° 42' 26"W | 136.91' | 70.31 |
| C4 | 169.82' | 600.00' | 016° 12' 59" | S81° 47' 20"E | 169.25' | 85.48 |
| C5 | 72.13' | 600.00' | 006° 53' 17" | N77° 07' 29"W | 72.09' | 36.11 |

| LOT Curve Table | | | | | | |
|-----------------|--------|---------|--------------|-----------------|--------------|---------|
| Curve # | Length | Radius | Delta | Chord Direction | Chord Length | Tangent |
| C11 | 1.10' | 30.00' | 002° 06' 05" | N8° 01' 36"E | 1.10' | 0.55' |
| C12 | 18.67' | 30.00' | 035° 38' 58" | N10° 50' 55"W | 18.37' | 9.65' |
| C13 | 8.02' | 30.00' | 015° 19' 28" | N36° 20' 08"W | 8.00' | 4.04' |
| C14 | 19.33' | 30.00' | 036° 55' 29" | N62° 27' 37"W | 19.00' | 10.02' |
| C15 | 70.69' | 45.00' | 090° 00' 00" | N35° 55' 22"W | 63.64' | 45.00' |
| C16 | 16.15' | 45.00' | 020° 33' 59" | S88° 47' 39"W | 16.07' | 8.16' |
| C17 | 34.09' | 600.00' | 003° 15' 18" | N78° 56' 28"W | 34.08' | 17.05' |
| C18 | 34.28' | 600.00' | 003° 16' 24" | N75° 40' 37"W | 34.27' | 17.14' |
| C19 | 3.77' | 600.00' | 000° 21' 35" | N73° 51' 38"W | 3.77' | 1.88' |
| C20 | 34.12' | 600.00' | 003° 15' 29" | S78° 13' 42"E | 34.11' | 17.06' |
| C21 | 34.02' | 600.00' | 003° 14' 54" | S81° 28' 54"E | 34.01' | 17.01' |
| C22 | 34.02' | 600.00' | 003° 14' 56" | S84° 43' 48"E | 34.02' | 17.02' |
| C23 | 34.14' | 600.00' | 003° 15' 36" | S87° 59' 04"E | 34.13' | 17.07' |
| C24 | 2.96' | 600.00' | 000° 16' 57" | S89° 45' 20"E | 2.96' | 1.48' |
| C25 | 31.15' | 300.00' | 005° 56' 58" | N86° 55' 20"W | 31.14' | 15.59' |
| C26 | 34.04' | 300.00' | 006° 30' 07" | N80° 41' 47"W | 34.03' | 17.04' |
| C27 | 34.42' | 300.00' | 006° 34' 26" | N74° 09' 31"W | 34.40' | 17.23' |
| C28 | 35.29' | 300.00' | 006° 44' 24" | N67° 30' 06"W | 35.27' | 17.67' |
| C29 | 3.22' | 300.00' | 000° 36' 52" | N63° 49' 28"W | 3.22' | 1.61' |
| C30 | 32.28' | 300.00' | 006° 09' 52" | S66° 35' 58"E | 32.26' | 16.15' |
| C31 | 34.54' | 300.00' | 006° 35' 48" | S72° 58' 47"E | 34.52' | 17.29' |
| C32 | 34.08' | 300.00' | 006° 30' 30" | S79° 31' 56"E | 34.06' | 17.06' |
| C33 | 34.07' | 300.00' | 006° 30' 24" | S86° 02' 23"E | 34.05' | 17.05' |
| C34 | 33.80' | 300.00' | 006° 27' 21" | N87° 28' 45"E | 33.78' | 16.92' |
| C35 | 0.71' | 300.00' | 000° 08' 05" | S84° 19' 07"W | 0.71' | 0.35' |
| C36 | 34.48' | 300.00' | 006° 35' 08" | S87° 40' 44"W | 34.46' | 17.26' |
| C37 | 22.24' | 300.00' | 004° 14' 49" | N86° 54' 17"W | 22.23' | 11.12' |
| C38 | 20.20' | 300.00' | 003° 51' 31" | N82° 51' 07"W | 20.20' | 10.11' |

| BOUNDARY Line Table | | |
|---------------------|--------|---------------|
| Line # | Length | Direction |
| L1 | 14.10' | S09° 04' 38"W |
| L2 | 35.81' | S80° 55' 22"E |

| Lot Line Table | | |
|----------------|--------|---------------|
| Line # | Length | Direction |
| L7 | 26.30' | S53° 39' 52"W |
| L8 | 24.07' | S53° 39' 52"W |
| L9 | 1.08' | S80° 55' 22"E |
| L10 | 7.71' | N80° 55' 22"W |
| L11 | 7.71' | N80° 55' 22"W |
| L12 | 8.75' | N09° 04' 38"E |
| L13 | 26.00' | N80° 55' 22"W |
| L14 | 8.07' | N09° 04' 38"E |
| L15 | 5.81' | S80° 55' 22"E |

| Lot Area Table | | |
|----------------|---------|-------|
| Area # | SQ. FT. | Acres |
| 96 | 3996.00 | 0.092 |
| 97 | 3996.00 | 0.092 |
| 98 | 3996.00 | 0.092 |
| 99 | 3996.01 | 0.092 |
| 100 | 3977.35 | 0.091 |
| 101 | 3987.43 | 0.092 |
| 102 | 3996.00 | 0.092 |
| 103 | 3996.00 | 0.092 |
| 104 | 3996.00 | 0.092 |
| 105 | 3996.00 | 0.092 |
| 106 | 3996.00 | 0.092 |
| 107 | 3996.00 | 0.092 |
| 108 | 3996.00 | 0.092 |
| 109 | 3996.00 | 0.092 |
| 110 | 3996.00 | 0.092 |
| 111 | 3996.00 | 0.092 |
| 112 | 3996.00 | 0.092 |
| 113 | 3996.00 | 0.092 |
| 114 | 3996.00 | 0.092 |
| 115 | 3996.00 | 0.092 |
| 116 | 3996.00 | 0.092 |
| 117 | 3996.00 | 0.092 |
| 118 | 3996.00 | 0.092 |
| 119 | 3996.00 | 0.092 |
| 120 | 3996.00 | 0.092 |
| 121 | 5893.34 | 0.135 |
| 122 | 4588.45 | 0.105 |
| 123 | 4845.66 | 0.111 |
| 124 | 5015.51 | 0.115 |
| 125 | 5053.12 | 0.116 |
| 126 | 4958.37 | 0.114 |
| 127 | 4725.79 | 0.108 |
| 128 | 4410.65 | 0.101 |
| 129 | 4203.35 | 0.096 |
| 130 | 4132.51 | 0.095 |
| 131 | 4193.60 | 0.096 |
| 132 | 4344.26 | 0.100 |
| 133 | 4454.00 | 0.102 |
| 134 | 4498.06 | 0.103 |
| 135 | 4476.48 | 0.103 |
| 136 | 4388.67 | 0.101 |
| 137 | 4264.27 | 0.098 |
| 138 | 4175.96 | 0.096 |

| Common Area Table | | |
|-------------------|----------|-------|
| Area # | SQ. FT. | Acres |
| A3 | 797.17 | 0.018 |
| A2 | 3200.22 | 0.075 |
| D2 | 1967.33 | 0.045 |
| D3 | 5978.32 | 0.137 |
| D4 | 214.43 | 0.005 |
| E | 11207.30 | 0.257 |
| F | 13151.97 | 0.302 |
| G | 2001.30 | 0.046 |
| H | 72333.33 | 1.661 |

SUBDIVISION MAP OF THE VILLAS ON FREDDY PHASE III

(PRIVATE SUBDIVISION)
BEING 6.237 ACRES OUT OF LOT 5, SECTION 278
TEXAS-MEXICAN RAILWAY COMPANY SURVEY
RECORDED IN VOLUME 24, PAGES 168-171, H.C.D.R.,
CITY OF McALLEN, HIDALGO COUNTY, TEXAS

LEGEND & ABBREVIATIONS

- FOUND NO.4 REBAR
- ⊗ FOUND NO.5 REBAR
- SET NO.4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
- ✂ SET NAIL
- P.O.B. - POINT OF BEGINNING
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- H.C.D.D. - HIDALGO COUNTY DRAINAGE DISTRICT
- R.O.W. - RIGHT-OF-WAY
- S.W. COR. - SOUTHWEST CORNER
- SQ. FT. - SQUARE FEET
- U.E. - UTILITY EASEMENT DEDICATED BY THIS PLAT
- U.&D.E. - UTILITY & DRAINAGE EASEMENT DEDICATED BY THIS PLAT
- N.T.S. - NOT TO SCALE
- EASE. - EASEMENT
- ADD'L. - ADDITIONAL
- PL - PROPERTY LINE
- LL - LOT LINE

NOTE: ALL INTERIOR LOT CORNERS WILL HAVE A NO.4 REBAR SET WITH PLASTIC CAP STAMPED MELDEN & HUNT, INC.

DETAIL "A"
N.T.S.

DETAIL "B"
N.T.S.

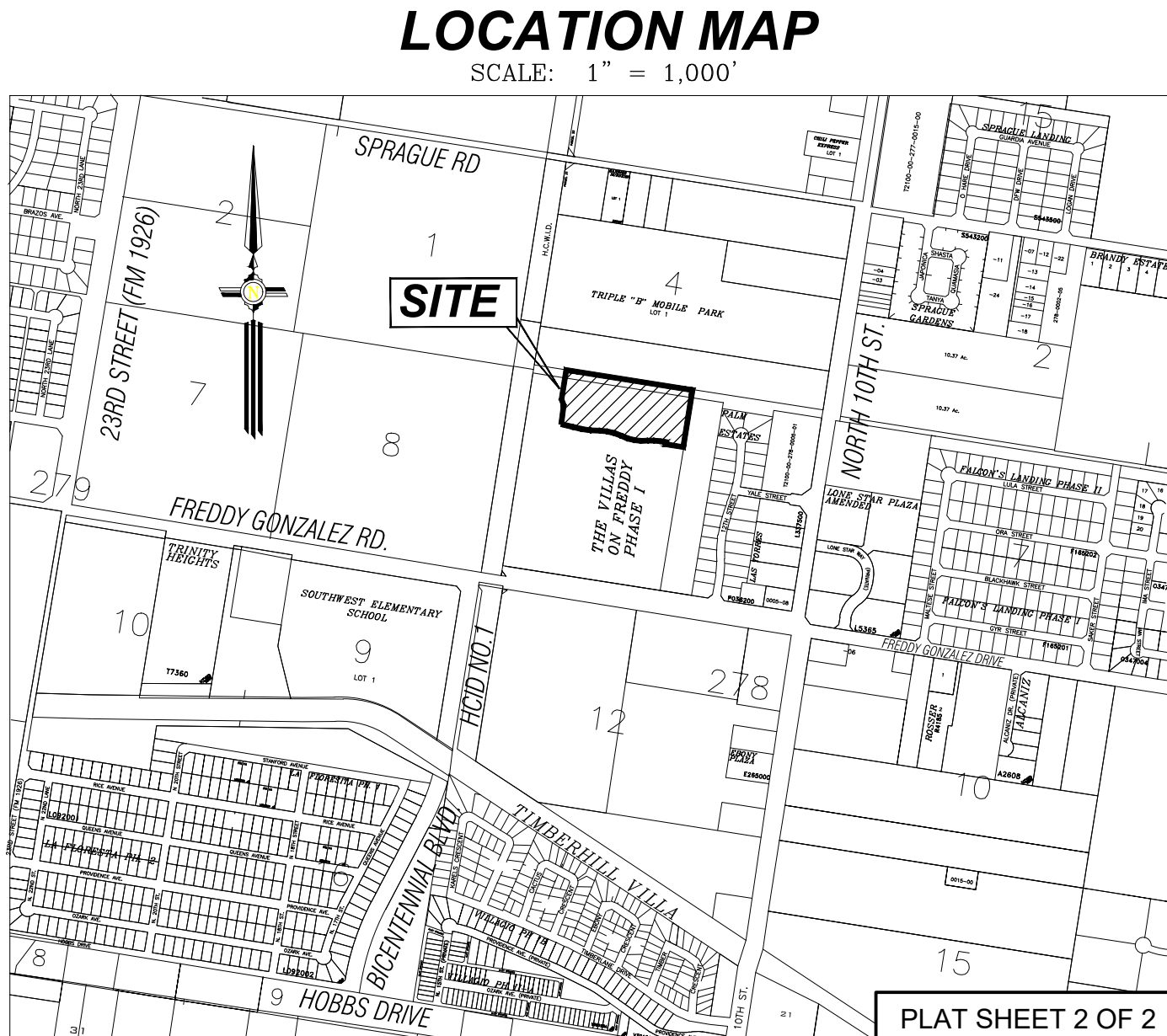
DRAWN BY: _____ / R.N. _____ DATE: _____ 04-02-20

SURVEYED, CHECKED: _____ DATE: _____

FINAL CHECK: _____ DATE: _____

MELDEN & HUNT, INC.
CONSULTANTS • ENGINEERS • SURVEYORS

115 W. MCINTYRE - EDINBURG, TX 77541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com





City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 2/10/2022

SUBDIVISION NAME: THE VILLAS ON FREDDY PHASE III SUBDIVISION (PRIVATE)

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

North 13th Street (Private): 30 ft. ROW
 Paving: 30 ft. Curb & gutter: Both sides
 *Variance request for 30 ft. ROW width, and 30 ft. paving back to back approved by City Commission on May 13, 2019.
 **Fire Lanes and HOA enforcement of no parking on the streets per Fire Department requirements.
 ****Subdivision Ordinance: Section 134-105

Applied

Zurich Avenue (Private): 30 ft.
 Paving: 30 ft. Curb & gutter: Both sides
 *Variance request for 30 ft. ROW width, and 30 ft. paving back to back approved by City Commission on May 13, 2019.
 **Fire Lanes and HOA enforcement of no parking on the streets per Fire Department requirements.
 ****Subdivision Ordinance: Section 134-105

Applied

Paving _____ Curb & gutter _____

Applied

* 800 ft. Block Length variance approved by City Commission on May 13, 2019 will be applied to this phase.

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac.

**Temporary turnarounds might be required for any applicable streets.

**Subdivision Ordinance: Section 134-105

Compliance

Applied

ALLEYS

ROW: 20 ft. Paving: 16 ft.
 *Alley/service drive easement required for commercial properties
 **Subdivision Ordinance: Section 134-106

NA

SETBACKS

* Front:
 LOTS 96-100 SHALL BE 23 FEET (FRONTING WEST)
 LOTS 101-119 SHALL BE 23 FEET (FRONTING SOUTH)
 LOTS 121-138 SHALL BE 10 FEET (FRONTING SOUTH)
 ****Zoning Ordinance: Section 138-356

Applied

* Rear:
 LOTS 96-100 SHALL BE 10 FEET (EAST)
 LOTS 101-119 SHALL BE 10 FEET (NORTH)
 LOTS 121-138 SHALL BE 23 FEET (NORTH)
 *Plat note #3 to be revised prior to recording.
 ****Zoning Ordinance: Section 138-356

Required

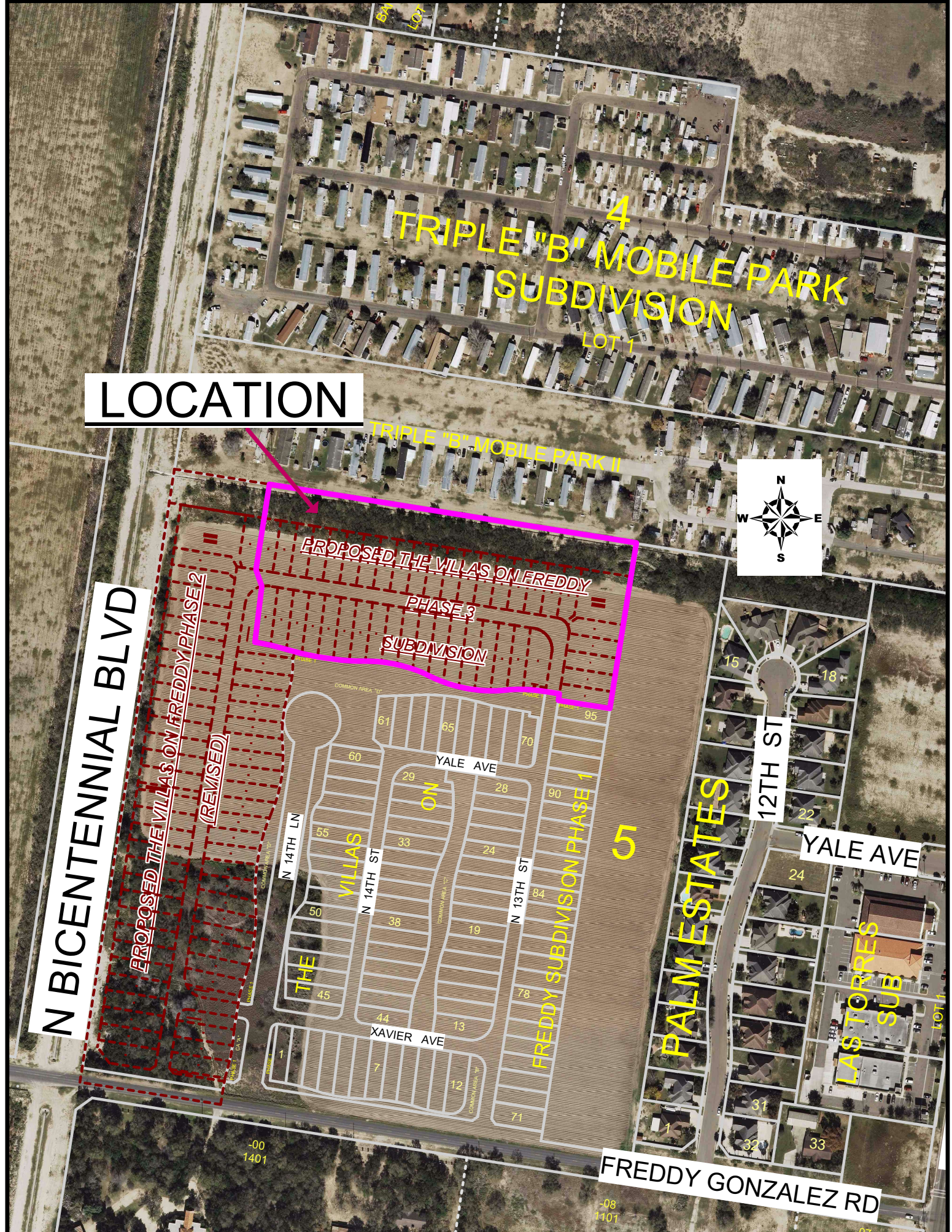
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| | |
|--|----------|
| <p>* Interior sides: LOTS 96-100 SHALL BE 3 FEET NORTH SIDE AND 7 FEET SOUTH SIDE LOTS 101-119 SHALL BE 3 FEET EAST SIDE AND 7 FEET WEST SIDE LOTS 121-138 SHALL BE 3 FEET WEST SIDE AND 7 FEET EAST SIDE ****Zoning Ordinance: Section 138-356</p> <p>* Corner: 5 ft. or greater for easements ****Zoning Ordinance: Section 138-356</p> <p>* Garage: 23 ft. except where greater setback is required, greater setbacks applies. **Garage setback proposed so vehicles don't overlap over the sidewalks ***Based on meetings engineer/developer and staff, garage setbacks provided to increase to assure vehicles don't overhang over the sidewalks, prior to recording. *****Zoning Ordinance: Section 138-356</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p> | Applied |
| | Applied |
| | Applied |
| | Applied |
| SIDEWALKS | |
| <p>* 4 ft. wide minimum sidewalk required on Freddy Gonzalez Rd., Bicentennial Blvd **Interior sidewalks shall be installed at Building Permit stage as per Sidewalks and Trail Plan. **Variance request for sidewalk requirement approved by City Commission on May 13, 2019 as per Walking Trails Plan for the interior streets, etc *****Subdivision Ordinance: Section 134-120</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p> | Applied |
| | Applied |
| BUFFERS | |
| <p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along. **Landscaping Ordinance: Section 110-46</p> <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46</p> <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p> | Applied |
| | Applied |
| | Applied |
| NOTES | |
| <p>* No curb cut, access, or lot frontage permitted along.</p> <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if subdivision is proposed to be public. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **HOA Document will be required to be recorded along subdivision plat.</p> | NA |
| | NA |
| | NA |
| | Required |
| | Required |
| | Required |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| LOT REQUIREMENTS | |
|--|------------|
| * Minimum lot width and lot area - All lots must be minimum 20 ft. wide and corner lot must be minimum 24 ft. wide in R-3T district ****Zoning Ordinance: Section. 138-356 | Applied |
| * Lots fronting public streets. **Zoning Ordinance: 138-1 | Compliance |
| ZONING/CUP | |
| * Existing: R-3T Proposed: R-3T ***Zoning Ordinance: Article V | Compliance |
| * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V | NA |
| PARKS | |
| * Land dedication in lieu of fee. **Park Land Dedication Advisory Board approved a variance for land dedication in lieu of fees at the meeting held on September 19, 2019. City Commission approved the variance to waive fees due to 3.9 acres of green space allocation at the meeting of October 28, 2019 | Completed |
| * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. | NA |
| * Pending review by the Parkland Dedication Advisory Board and CC. | NA |
| TRAFFIC | |
| * Trip Generation to determine if TIA is required, prior to final plat. **As per Traffic Department, TIA approved for masterplan honored. | Compliance |
| * Traffic Impact Analysis (TIA) required prior to final plat. **As per Traffic Department, TIA approved for masterplan honored. | Completed |
| COMMENTS | |
| Comments: Must comply with City's Access Management Policy. ***Previously approved, The Villas on Freddy II, is splitting into two new phases: The Villas on Freddy Phase II and Phase III. Must comply with overall Master Plan requirements. ***The Villas on Freddy Phase II was approved in Final form at the P&Z meeting of July 7, 2020 and a 6-month extension on September 21, 2021. ****Setbacks will have to be shown on plat note #3 as previously approved for TVOF II prior to final. If any changes are proposed, variance might be required. | Applied |
| RECOMMENDATION | |
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM WITH CONDITIONS NOTED. | Applied |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



LOCATION

N BICENTENNIAL BLVD

PROPOSED THE VILLAS ON FREDDY PHASE 2
(REVISED)

PROPOSED THE VILLAS ON FREDDY
PHASE 3
SUBDIVISION

THE VILLAS

YALE AVE

XAVIER AVE

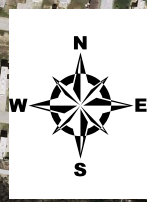
FREDDY SUBDIVISION PHASE 1

PALM ESTATES

YALE AVE

LAS TORRES SUB

FREDDY GONZALEZ RD



Sub 2020-0059



City of McAllen
Planning Department
APPLICATION FOR

SUBDIVISION PLAT REVIEW

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

| | |
|---------------------|--|
| Project Description | <p>Subdivision Name <u>Up North on Ware Road Apartments & Business Center</u></p> <p>Location <u>Intersection of Ware Road and Mile 6 Road (Northeast Corner)</u></p> <p>City Address or Block Number <u>NE Corner N Ware & Mile 6 Road</u></p> <p>Number of lots <u>1</u> Gross acres <u>10.45</u> Net acres <u>9.39</u></p> <p>Existing Zoning <u>AO</u> Proposed <u>R3ACZ</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>AO</u> Proposed Land Use <u>Vacant</u> Irrigation District # <u>1</u></p> <p>Residential Replat Yes <input type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input type="checkbox"/> ETJ Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due <u>to MC</u></p> <p>Parcel No. <u>262553</u> Tax Dept. Review _____</p> <p>Legal Description <u>PRIDE OF TEXAS ALL LOT 147 AND S14.85' LOT 148</u></p> <p><u>9.39 AC NET</u></p> |
| Owner | <p>Name <u>Ware Road Holding, LLC</u> Phone <u>956-445-9505</u></p> <p>Address <u>814 San Jacinto Blvd</u></p> <p>City <u>Austin</u> State <u>TX</u> Zip <u>78701</u></p> <p>E-mail <u>jaikensell@yahoo.com</u></p> |
| Developer | <p>Name <u>J. Allen Consulting, LLC</u> Phone <u>(956) 445-9505</u></p> <p>Address <u>3825 N. 10th Street</u></p> <p>City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u></p> <p>Contact Person <u>Jeff Godinez</u></p> <p>E-mail <u>jeffallensells@yahoo.com</u></p> |
| Engineer | <p>Name <u>Hinojosa Engineering, Inc.</u> Phone <u>(956) 581-0143</u></p> <p>Address <u>108 W 18th Street</u></p> <p>City <u>Mission</u> State <u>Texas</u> Zip <u>78572</u></p> <p>Contact Person <u>San Isidro Navarro</u></p> <p>E-mail <u>inavarro@hengineering.com</u></p> |
| Surveyor | <p>Name <u>William A. Mangum</u> Phone <u>(956) 249-8061</u></p> <p>Address <u>11809 N. Shary Road</u></p> <p>City <u>Mission</u> State <u>Texas</u> Zip <u>78572</u></p> |

RECEIVED
SEP 16 2020
BY: BMT

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ☐ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ☐ Title Report
- ☒ 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies
- ☒ 2 Location Maps
- ☒ 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- ☒ 6 Folded blueline prints of the proposed plat *24x36*
- ☒ 2 Warranty Deeds (Identifying owner on application) *w/correction*
- ☒ Autocad 2005 DWG file and PDF of plat
- ☒ Letter of Authorization from the owner, if applicable
- ☒ Proof of authority of person signing application on behalf of partnership/corporation, if applicable *Cert. of Formation (Inc.)*

PLAT TO SHOW:

- ☒ Metes and bounds
- ☒ Lots numbered with dimensions and area of irregular lots noted
- ☒ Surrounding platted lots and/or lot lines for unplatted tracts
- ☒ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ☒ North arrow, scale and vicinity map
- ☒ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 1/2" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

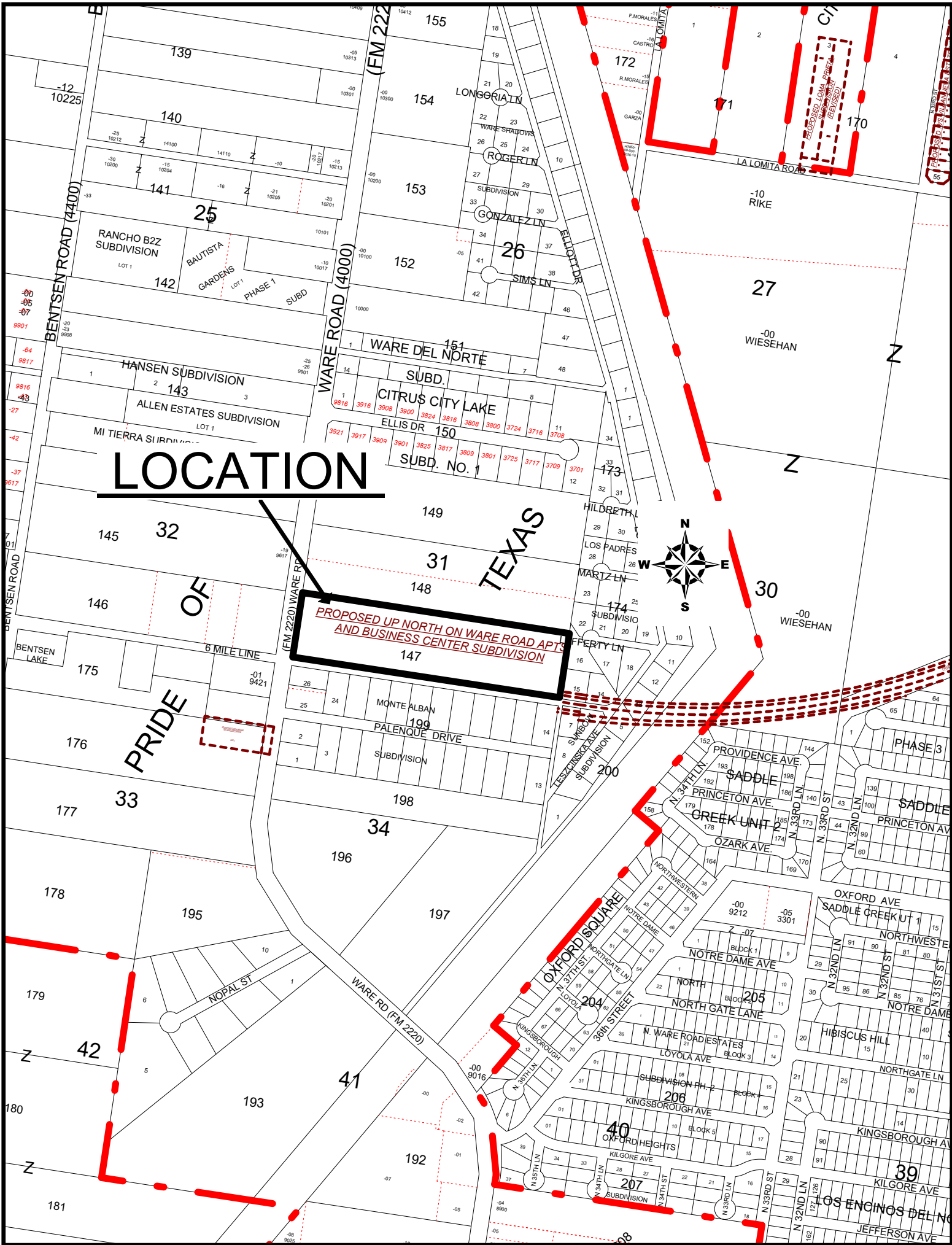
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 9/15/2020

Print Name Jeff Allen Godinez

Owner ☐

Authorized Agent ☒

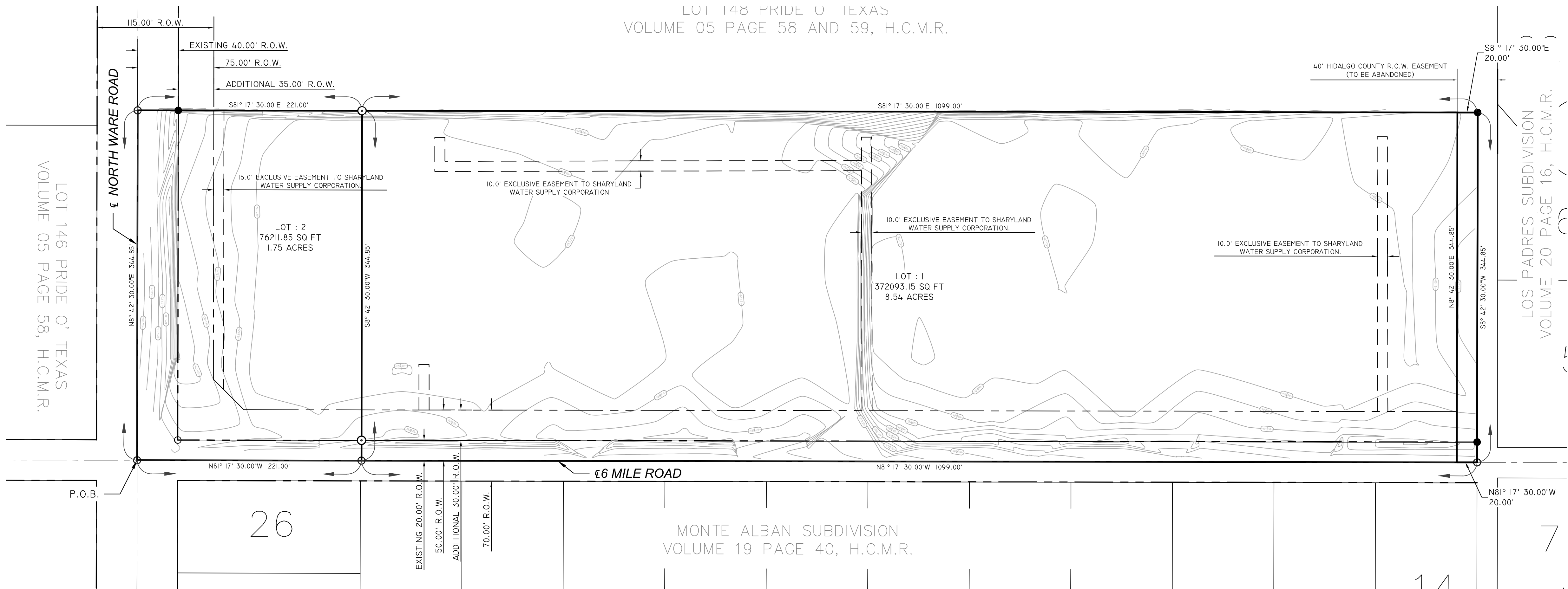


LOCATION

PROPOSED UP NORTH ON WARE ROAD APTS
AND BUSINESS CENTER SUBDIVISION

C:\Users\ISBRO\Engineering\Drawings\HINOJOSA ENGINEERING, INC\20-04 UP NORTH ON WARE ROAD APARTMENTS & BUSINESS CENTER (SUBDIVISION).DWG FEB 10 2022 - 5:27PM ISBRO

LOT 148 PRIDE O TEXAS
VOLUME 05 PAGE 58 AND 59, H.C.M.R.



- GENERAL NOTES:
- BEARING BASIS: RECORDED PLAT OF PRIDE O TEXAS SUBDIVISION, AS RECORDED IN VOL. 5, PG. 58-59, MAP RECORDS, HIDALGO COUNTY, TEXAS.
 - BENCHMARK: 1/2" FIR LOCATED SOUTHWEST CORNER OF SUBDIVISION. ELEVATION 123.21 (NAVD 88).
 - FLOOD ZONE STATEMENT:
FLOOD ZONE DESIGNATION: THE SUBDIVISION IS IN ZONE "X" (UNSHADED). AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD-PLAIN, AS PER F.E.M.A. FLOOD INSURANCE RATE MAP WITH COMMUNITY PANEL No. 480334 0295 D, MAP REVISED JUNE 6, 2000.
 - MINIMUM FINISHED FLOOR ELEVATION 18" ABOVE THE CENTER OF WARE ROAD OR 24-INCHES ABOVE THE BASE FLOOD ELEVATION (BFE) IF PROPERTY IS ON A SPECIAL FLOOD HAZARD ZONE.
 - BUILDING SETBACK LINES SHALL BE AS PER CITY OF McALLEN COMMERCIAL GENERAL ZONING:
 - FRONT: AS PER ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.
 - INTERIOR SIDES: AS PER ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN.
 - SIDE: AS PER ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN.
 - REAR: AS PER ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN.
 - CORNER: AS PER ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN.
 - STORM WATER DETENTION REQUIRED FOR THIS DEVELOPMENT SHALL BE ON A REGIONAL BASIS. 81,816.32 CUBIC FEET SHALL BE DETAINED WITHIN THE DEVELOPMENT.
 - AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY CITY OF McALLEN ENGINEERING DEPT., SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.
 - NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN UTILITY EASEMENTS, GAS EASEMENTS, IRRIGATION EASEMENTS OR LOT LINES.
 - DRAINAGE SWALE: NO FILL OR PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN ANY SWALES OR UTILITY EASEMENTS. EACH DRAINAGE SWALE EASEMENT SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, PLANTINGS, AND OTHER OBSTRUCTERS THAT WOULD INTERFERE WITH THE OPERATION AND MAINTENANCE OF THE DRAINAGE SWALE EASEMENT.
 - SITE PLAN MUST BE APPROVED BY PLANNING AND ZONING COMMISSION PRIOR TO ISSUANCE OF BUILDING PERMITS.
 - ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO HIDALGO COUNTY IRRIGATION DISTRICT No. 1, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR USE WITHOUT EXPRESS APPROVAL.
 - ALL SHARYLAND WATER SUPPLY CORPORATION EASEMENTS ARE EXCLUSIVE. NO OTHER USE OF EASEMENT IS PERMITTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF SHARYLAND WATER SUPPLY CORPORATION.
 - NO UTILITY COMPANY OR OTHER PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY DISTRICT EASEMENT OR RIGHT-OF-WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM THE HIDALGO COUNTY IRRIGATION DISTRICT No. 1.
 - NO PERMANENT STRUCTURE, (EXAMPLE, FENCES OR DRIVEWAYS OF ANY CONSTRUCTION) WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT-OF-WAY WITHOUT WRITTEN APPROVAL BY THE DISTRICT. ANY UNAUTHORIZED STRUCTURE IN THE EASEMENT IS SUBJECT TO REMOVAL.
 - NO UTILITY COMPANY OR OTHER PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM THE IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO REMOVAL.
 - A 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONE/USES. A 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL, COMMERCIAL, AND INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONE/USES.

A TRACT OF LAND CONTAINING 10.45 ACRES OUT OF LOT 147 AND THE SOUTH 0.45 OF AN ACRE OF LOT 148 PRIDE O TEXAS SUBDIVISION, RECORDED IN VOLUME 5, PAGES 58 AND 59, HIDALGO COUNTY MAP RECORDS, HIDALGO COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A POINT IN THE S.W. CORNER OF LOT 147 FOR THE S.W. CORNER OF THIS TRACT;

THENCE N 08° 42' 30" E AT A DISTANCE OF 330.0 FEET ALONG THE WEST LINE OF SAID LOT 147 AND CENTERLINE OF WARE ROAD SAME BEING FM 2220 PAST THE COMMON CORNER OF LOTS 147 AND 148, A TOTAL DISTANCE OF 344.85 FEET TO THE N.W. CORNER OF THIS TRACT;

THENCE S 81° 17' 30" E AT A DISTANCE OF 40.0 FEET PAST A 1/2" IRON PIPE FOUND IN THE EAST R.O.W. LINE OF SAID WARE ROAD, A TOTAL DISTANCE OF 1,320.0 FEET ALONG THE SOUTH LINE OF TRACT OWNED BY DAGOBERTO MEDINA AND WIFE CRISTINA MEDINA RECORDED IN DOCUMENT No. 2688005 H.C.D.R. TO AN 1/2" IRON PIPE FOUND IN THE EAST LINE OF LOT 148 AND WEST LINE OF LOS PADRES SUBDIVISION RECORDED IN VOLUME 20 PAGE 116, MAP RECORDS H.C.D.R. FOR THE N.E. CORNER OF THIS TRACT;

THENCE S 08° 42' 30" W AT A DISTANCE OF 14.85 FEET PAST THE COMMON CORNER OF LOTS 148 AND 147, A DISTANCE OF 324.85 FEET ALONG THE COMMON LINE OF SAID LOTS 148 AND 147 AND LOS PADRES SUBDIVISION PAST A 1/2" IRON ROD FOUND IN THE NORTH LINE OF MILE 6 ROAD, A TOTAL DISTANCE OF 344.85 FEET TO A 1/2" IRON ROD FOUND IN THE SOUTHEAST CORNER OF LOT 147 AND CENTERLINE MILE 6 ROAD FOR THE SOUTHEAST CORNER OF THIS TRACT;

THENCE N 81° 17' 30" W AT A DISTANCE OF 1,300.0 FEET PAST THE EAST R.O.W. LINE SAID WARE ROAD, A TOTAL DISTANCE OF 1,320.0 FEET ALONG THE COMMON LINE OF LOTS 148 AND 147 AND CENTERLINE OF MILE 6 ROAD TO THE PLACE OF BEGINNING SAID TRACT CONTAINING 10.45 ACRES MORE OR LESS.

STATE OF TEXAS
COUNTY OF HIDALGO

I (WE) THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS UP NORTH ON WARE ROAD APARTMENTS & BUSINESS CENTER TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED

WARE ROAD HOLDING, LLC
814 SAN JACINTO BLVD
AUSTIN, TX 78701

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ORCHARD MEADOWS, LLC KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE DAY _____ OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS
MY COMMISSION EXPIRES, _____

SUBDIVISION PLAT OF UP NORTH ON WARE ROAD APARTMENTS & BUSINESS CENTER

10.45 ACRES OUT OF LOT 147 AND THE SOUTH 0.45
ACRE OF LOT 148, PRIDE-O-TEXAS SUBDIVISION,
RECORDED IN VOLUME 5, PAGES 58 & 59,
HIDALGO COUNTY MAP RECORDS,
HIDALGO COUNTY TEXAS

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THE ABOVE PLAT AND DESCRIPTION OF THE UP NORTH ON WARE ROAD APARTMENTS & BUSINESS CENTER SUBDIVISION WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND UNDER MY SUPERVISION.

WILLIAM A. MANGUM, R.P.L.S.
REG. PROFESSIONAL LAND SURVEYOR No. 4353

STATE OF TEXAS
COUNTY OF HIDALGO

I, RICARDO HINOJOSA, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

RICARDO HINOJOSA, P.E.
REGISTERED PROFESSIONAL ENGINEER No. 65228



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE 49 211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE HAS NOT REVIEWED AND ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

THIS PLAT APPROVED BY HIDALGO COUNTY IRRIGATION DISTRICT No. 1

ON THIS _____ DAY OF _____, 20____
HIDALGO COUNTY IRRIGATION DISTRICT No. 1 WILL NOT BE RESPONSIBLE FOR DRAINAGE OF DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION, IF DESIRED, THIS WILL NOT BE DISTRICT EXPENSE. NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UP ON H.C.I.D. No. 1 RIGHT-OF-WAY OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE H.C.I.D. No. 1 DISTRICT MANAGER.

ATTEST: _____
SECRETARY DATE PRESIDENT DATE

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL THE REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN, TEXAS DATE

STATE OF TEXAS
COUNTY OF HIDALGO

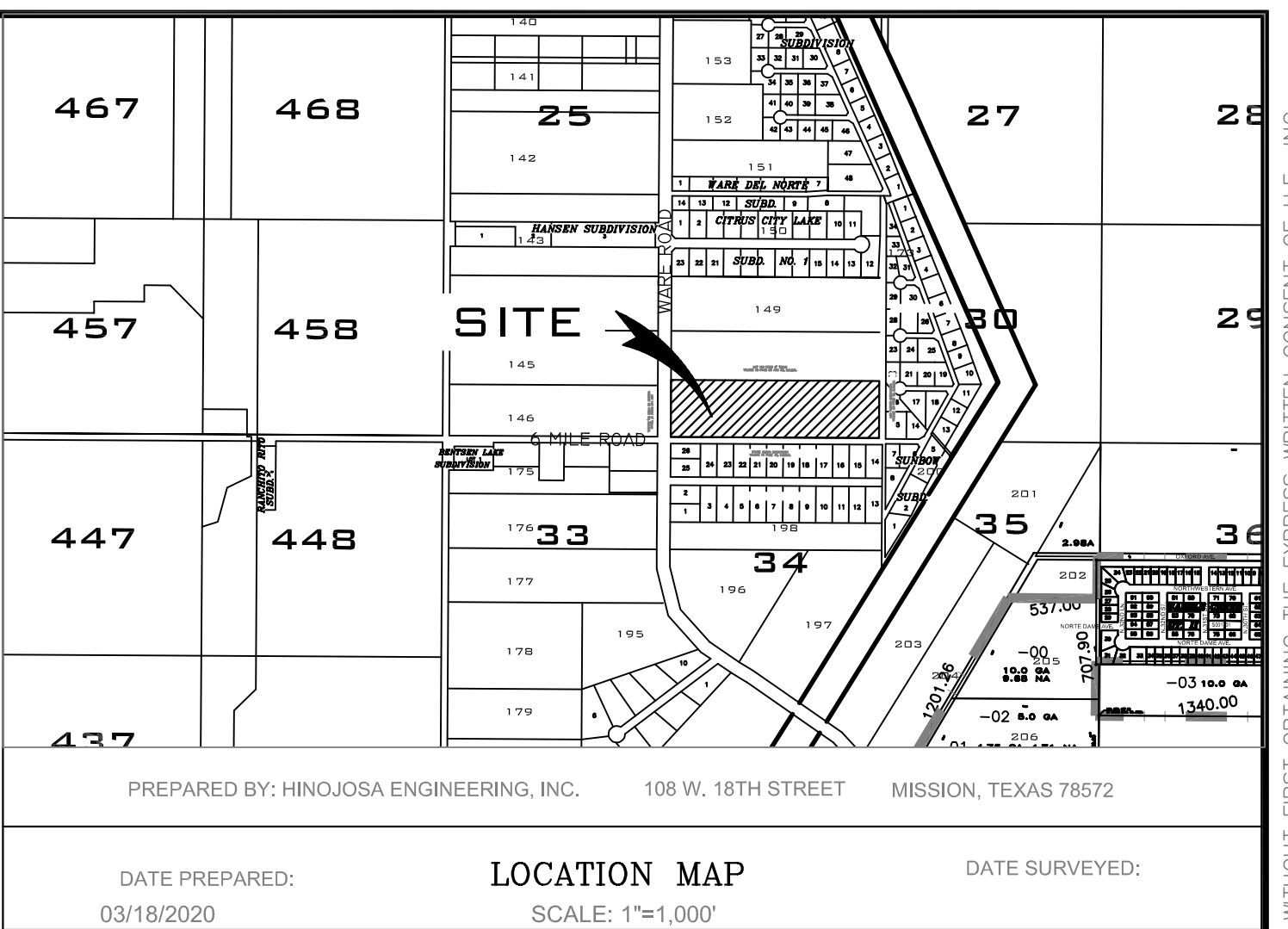
I, THE UNDERSIGNED, CHAIRPERSON OF THE CITY OF McALLEN, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL THE REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRPERSON
PLANNING AND ZONING COMMISSION

DATE

- LEGEND
- 1/2" FIR - 1/2-INCH FOUND IRON ROD
 - 1/2" SIR - 1/2-INCH SET IRON ROD W/CAP - WITH CAP STAMPED "4553"
 - DENOTES NO MONUMENT
 - M.R.H.C.T. - MAP RECORDS HIDALGO COUNTY TEXAS
 - D.R.H.C.T. - DEED RECORDS HIDALGO COUNTY TEXAS
 - H.C.C.F. - HIDALGO COUNTY CLERK'S FILE
 - VOL. - VOLUME
 - PG. - PAGE
 - S.F. - SQUARE FEET
 - U.E. - UTILITY EASEMENT
 - R.O.W. - RIGHT-OF-WAY
 - (C.M.) - CONTROL MONUMENT
 - P.O.B. - POINT OF BEGINNING
 - T.B.M. - TEMPORARY BENCHMARK
 - ± - CENTERLINE
 - ± - PROPERTY LINE
 - Δ - BENCHMARK

SCALE 1"= 60'



PREPARED BY: HINOJOSA ENGINEERING, INC. 108 W. 18TH STREET MISSION, TEXAS 78572

DATE PREPARED:
03/18/2020

LOCATION MAP
SCALE: 1"=1,000'

DATE SURVEYED:



**HINOJOSA
ENGINEERING, INC.**
STRUCTURAL AND CIVIL ENGINEERING
108 W. 18TH ST. MISSION, TEXAS
(956) 581-0143 FAX: (956) 581-2074
E-MAIL: HinojosaEngInc@aol.com
REGISTRATION NUMBER EXPIRATION DATE
F-908 9/30/2022

HINOJOSA ENGINEERING, INC. EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THIS DOCUMENT. THIS DOCUMENT SHALL NOT BE REPRODUCED, COPIED, CHANGED OR DISCLOSED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN CONSENT OF H.E., INC.



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 2/10/2022

| SUBDIVISION NAME: UP NORTH ON WARE ROAD APARTMENTS & BUSINESS CENTER | |
|--|----------|
| REQUIREMENTS | |
| STREETS AND RIGHT-OF-WAYS | |
| <p>North Ware Road: Proposing 35 ft. dedication for 75 ft. from centerline for 150 ft. of ROW Paving: By the state Curb & gutter: By the state **Please indicate on plat document number of the existing 40 ft. of ROW. *****Monies must be escrowed if improvements are not built prior to recording.</p> | Required |
| <p>6 Mile Road: 30 ft. dedication for 50 ft. from centerline for 100 ft. ROW Paving 65 ft. Curb & gutter: Both sides *Monies must be escrowed if improvements are not built prior to recording. **Please indicate document number for existing 20 ft. ROW *** Show ROW on south side of CL. *****Show total ROW after accounting for any ROW dedication including both sides of centerline.</p> | Required |
| <p>N/S 1/4 Mile Street: Clarify 40 ft. County Road on east boundary for 60 ROW dedication prior to final. Paving: 40 ft. Curb & gutter: Both sides **Road to be abandoned prior to recording and document number will be shown on plat accordingly.</p> | Required |
| * 800 ft. Block Length | NA |
| * 600 ft. Maximum Cul-de-Sac | NA |
| ALLEYS | |
| <p>ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Private access easement will be provided at time of site plan. Plat notes might be required prior to recording.</p> | Required |
| SETBACKS | |
| * Front: In Accordance with the Zoning Ordinance or greater for easements or approved site plan or in line with existing structures. | Required |
| * Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan. | Applied |
| * Interior Sides: In accordance with Zoning Ordinance or greater for easements or approved site plan. | Applied |
| * Corner: See above | Applied |
| * Garage: 18 ft. or wherever greater setback is required, greater setback applies. **Plat note as shown above must be added prior to recording. | Required |
| *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN | Applied |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| SIDEWALKS | |
|--|------------|
| * 4 ft. wide minimum sidewalk required on 6 Mile Road and N/S 1/4 Mile Street, and 5 ft. wide minimum sidewalk required along North Ware Road. | Applied |
| * Perimeter sidewalks must be built or money escrowed if not built at this time. | Applied |
| BUFFERS | |
| * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. | Applied |
| * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. | Applied |
| * Perimeter buffers must be built at time of Subdivision Improvements. | Applied |
| NOTES | |
| * No curb cut, access, or lot frontage permitted along North Ware Road. **Please add plat note as shown above prior to recording. | Required |
| * Site plan must be approved by the Planning and Development Departments prior to building permit issuance if property is annexed. **Please remove plat note #12 since only internal review is required and it is not needed as a plat note. | Required |
| * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. | Required |
| * Common Areas, any private streets/service drives must be maintained by the lot owners and not the City of McAllen | Required |
| * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies for public subdivisions | Applied |
| * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. | NA |
| LOT REQUIREMENTS | |
| * Minimum lot width and lot area. | Compliance |
| * Lots fronting public streets. | Compliance |
| ZONING/CUP | |
| * Existing: C-3 and R-3A Proposed: C-3 and R-3A **Annexation and initial zoning approved at City Commission at their January 10, 2022 meeting. | Compliance |
| * Rezoning Needed Before Final Approval. **Annexation and initial zoning approved at City Commission at their January 10, 2022 meeting. | Completed |
| PARKS | |
| * Land dedication in lieu of fee. | NA |
| * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Park fees might be required to be paid prior to recording. | Required |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| | |
|--|-----------|
| * Pending review by the Parkland Dedication Advisory Board and CC. | NA |
| TRAFFIC | |
| * As per Traffic Department, Trip Generation and TIA is approved. | Completed |
| * As per Traffic Department, Trip Generation and TIA is approved. | Completed |
| COMMENTS | |
| Comments: : Must comply with City's Access Management Policy *****As per Fire and Public Works Departments, please submit site plan to review location of dumpsters and access drives prior to final. **40 ft. road along east boundary line to be abandoned prior to recording and document number will be shown on plat accordingly. Abandonment will be presented before City Commission on February 14, 2022. ****Subdivision approved in Final form at the P&Z meeting of January 18, 2021 meeting. *****Subdivision presented in revised final form to amend front setbacks to "In Accordance with the Zoning Ordinance or greater for easements or approved site plan or in line with existing structures." | Applied |
| RECOMMENDATION | |
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED FINAL FORM SUBJECT TO CONDITIONS NOTED. | Applied |



SUB 2022-0016



City of McAllen
Planning Department
**APPLICATION FOR
SUBDIVISION PLAT REVIEW**

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project Description

Subdivision Name BARTON SUBDIVISION
 Location NORTH WEST CORNER OF FRONTERA RD & MAIN STREET
 City Address or Block Number 8501 N MAIN ST
 Number of lots 5 Gross acres 12.829 Net acres 12.647
 Existing Zoning R1 Proposed R1 Rezoning Applied For ☐ Yes ☒ No Date _____
SINGLE FAMILY
 Existing Land Use RESIDENTIAL Proposed Land Use SINGLE FAMILY Irrigation District # 2
RESIDENTIAL
 Residential Replat Yes ☐ No ☐ Commercial Replat Yes ☐ No ☐ ETJ Yes ☒ No ☐
 Agricultural Tax Exempt Yes ☐ No ☒ Estimated Rollback tax due _____
 Parcel No. _____ Tax Dept. Review _____
 Legal Description A 12.829 ACRE TRACT OUT OF LOTS 20,22 AND 23, EBONY HEIGHTS
CITRUS GROVES UNIT No. ONE, CITY OF McALLEN, HIDALGO COUNTY,
TEXAS VOL. 5, PAGE 39, H.C.M.R.

Owner

Name ANTONIO ESPARZA Phone (956) 802-1295
 Address _____
 City MCALLEN State TX Zip _____
 E-mail _____

Developer

Name URBAN CITY BUILDERS Phone (956) 358-1212
 Address 4501 EXPRESSWAY 83, SUITE 10
 City MCALLEN State TX Zip 78501
 Contact Person MARCO LOPEZ
 E-mail mlopez@urbancitytx.com

Engineer

Name IDEN I. TREVINO Phone (956) 283-8847
 Address 200 S. 10th ST. SUITE 1303
 City McALLEN State TX Zip 78501
 Contact Person IDEN I TREVINO, KARIME FARACHALA
 E-mail ident@trevinoengineering.com, karime@trevinoengineering.com

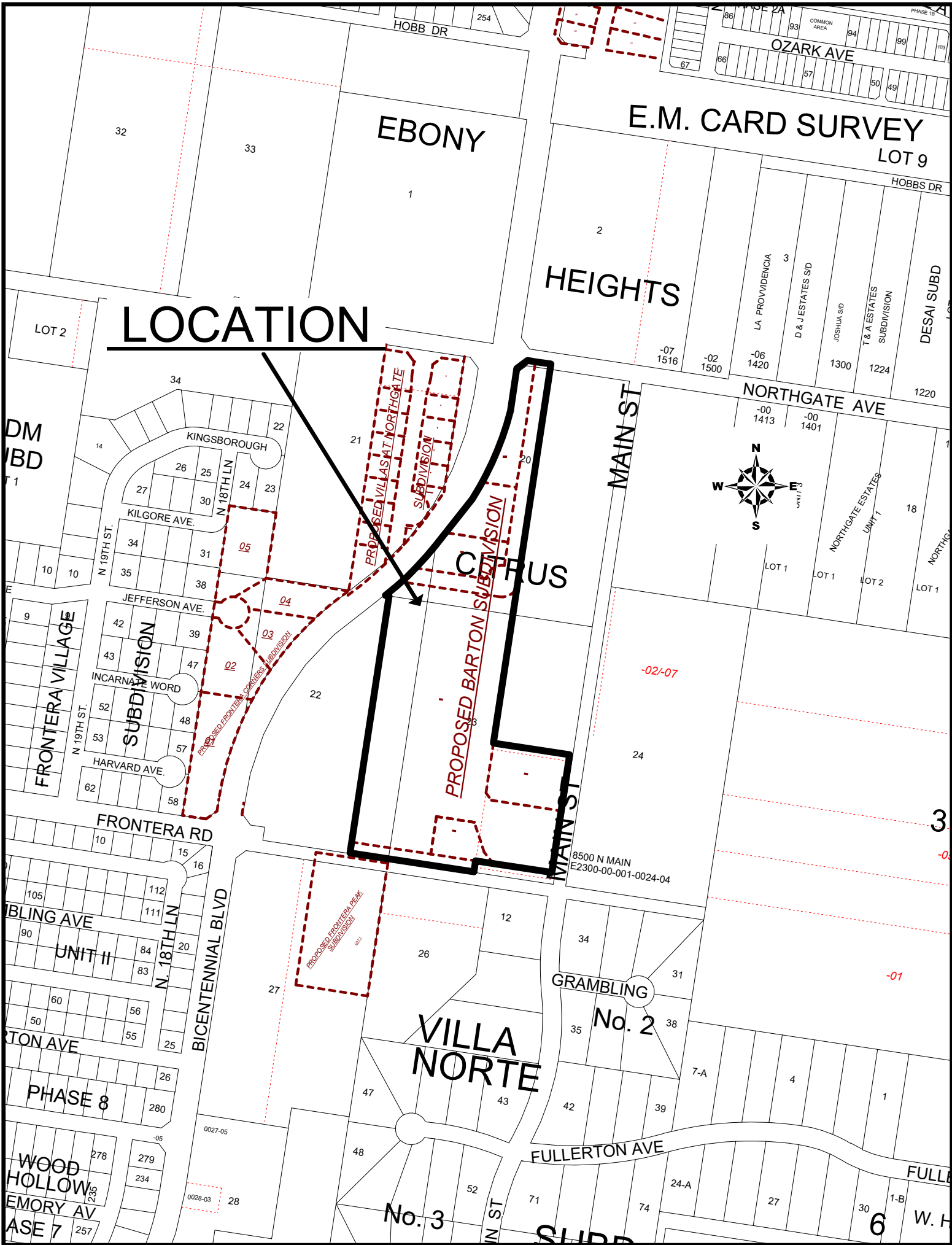
Surveyor

Name HOMERO GUTIERREZ Phone (956) 369-0988
 Address P.O. BOX 548
 City McALLEN State TX Zip 78505

ENTERED

JAN 9 1 2022

Initial: Om



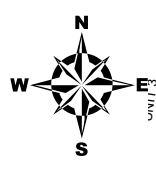
LOCATION

PROPOSED VILLAS AT NORTHGATE
SUBDIVISION

PROPOSED FRONTIER VILLAGE
SUBDIVISION

PROPOSED FRONTIER PEAK
SUBDIVISION

PROPOSED BARTON SUBDIVISION



VILLA NORTE

E.M. CARD SURVEY
LOT 9

HEIGHTS

FRONTIER VILLAGE
SUBDIVISION

NORTHGATE AVE

MAIN ST

FRONTIER RD

BICENTENNIAL BLVD

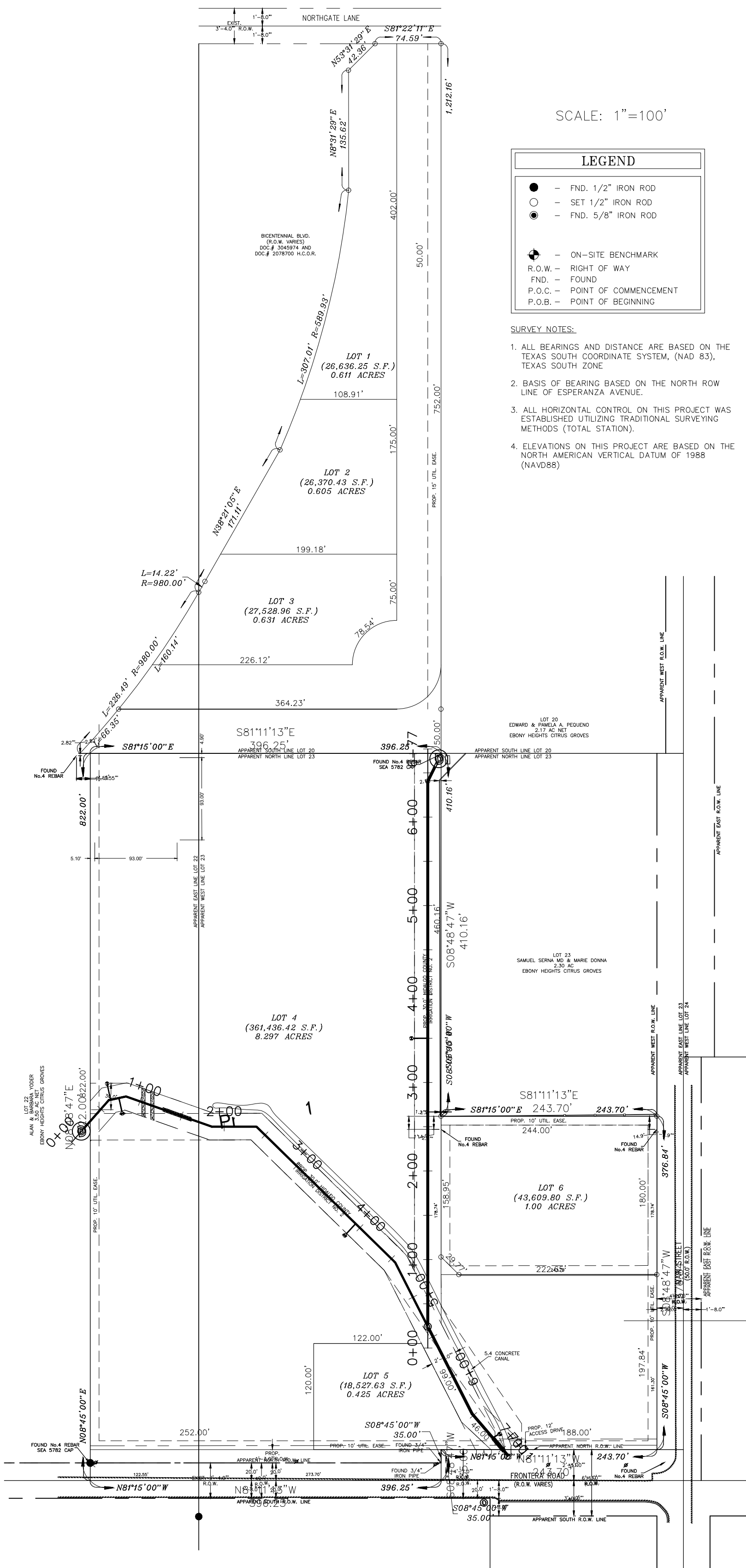
GRAMBLING
No. 2

No. 3

FULLERTON AVE

W. H.

6



OWNER'S DECLARATION AND ACKNOWLEDGEMENT

I, (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT, THAT IS HEREBY BEING SUBDIVIDED TO CREATE THE BARTON SUBDIVISION, AN ADDITION TO THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, DO HEREBY DEDICATE ALL STREETS, ALLEYS, EASEMENTS, RIGHTS OF WAYS, PARKS, WATER COURSES, DRAINS AND ALL OTHER PUBLIC FACILITIES TO THEIR RESPECTIVE AND INDICATED INDIVIDUAL LOT OWNER(S), THEIR HEIR(S), AND/OR A "HOME OWNERS ASSOCIATION", OF THE ABOVE SAID SUBDIVISION AND SHALL BE HELD RESPONSIBLE FOR THE PURPOSES OF ADMINISTRATION AND MAINTENANCE, ARE THEREOF HERON EXPRESSED, FURTHERMORE, ACKNOWLEDGEMENT AND DECREE THAT THE CITY OF McALLEN, BY THE AUTHORITY OF SECTION 311.008 OF THE TEXAS TRANSPORTATION CODE, SHALL NOT BE HELD RESPONSIBLE FOR THE PURPOSES OF ADMINISTRATION NOR THE MAINTENANCE OF SUCH, HOWEVER, THE CITY OF McALLEN RETAINS THE RIGHT TO ENTER UPON AND USE THE SAID, ALL STREETS, ALLEYS, EASEMENTS, RIGHTS OF WAY, PARKS, WATER COURSES, DRAINS AND ALL OTHER PUBLIC FACILITIES FOR THE PURPOSES OF CONDUCTING MUNICIPAL BUSINESS, INCLUDING BUT NOT LIMITED TO INSPECTIONS, LAW ENFORCEMENT, DEALING WITH EMERGENCIES, AND OTHER GOVERNMENTAL PURPOSES, AND TO AUTHORIZE OTHER GOVERNMENT BODIES OR AGENCIES OR PRIVATE ENTERPRISES TO ENTER UPON AND USE THE SAID, ALL STREETS, ALLEYS, EASEMENTS, RIGHTS OF WAYS, PARKS, WATER COURSES, DRAINS AND ALL OTHER PUBLIC FACILITIES, FOR THE SAME OR SIMILAR PURPOSES.

ANTONIO ESPARZA
900 W. SAM HOUSTON, SUITE 1
PHARR, TEXAS 78577

BARBARA JO GUERRA
900 W. SAM HOUSTON, SUITE 1
PHARR, TEXAS 78577

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED ANTONIO ESPARZA & BARBARA JO GUERRA, KNOWN TO ME TO BE THE PERSON(S) WHOSE NAME IS SUBSCRIBED TO THE FOREGOING DOCUMENT AND DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, IN THE YEAR OF OUR LORD, 20____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

STATE OF TEXAS
COUNTY OF HIDALGO

KNOW ALL MEN BY THESE PRESENTS:

THAT I, HOMERO LUIS GUTIERREZ, DO HEREBY CERTIFY, THAT I PREPARED THIS PLAT FROM AN ACTUAL ON THE GROUND SURVEY OF THE LAND AS DESCRIBED AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE PLATING RULES AND REGULATIONS OF THE CITY OF McALLEN.

HOMERO LUIS GUTIERREZ, RPLS NO. 2791 DATE

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, IDEN I. TREVINO, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

IDEN I. TREVINO, PE NO. 92036 DATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE 49.21(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

BY: RAUL E. SESIN, P.E., C.F.M. DATE
GENERAL MANAGER

HIDALGO COUNTY IRRIGATION DISTRICT NO. 2

THIS PLAT IS HEREBY APPROVED BY HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 ON THIS, THE _____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 RIGHT-OF-WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A CONVEYANCE, WAIVER OR ABANDONMENT ANY PROPERTY INTEREST HELD BY THE DISTRICT IN THE PROPERTY SHOWN ON THE PLAT; OR THE ACCEPTANCE OR APPROVAL OF THE ACCURACY OF ANY STATEMENT, DIMENSION OR DESCRIPTION SHOWN ON THE PLAT.

BY: _____ ATTEST: _____
PRESIDENT SECRETARY

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN DATE

CITY SECRETARY DATE

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED CHAIRMAN OF PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MUNICIPAL APPROVAL IS REQUIRED.

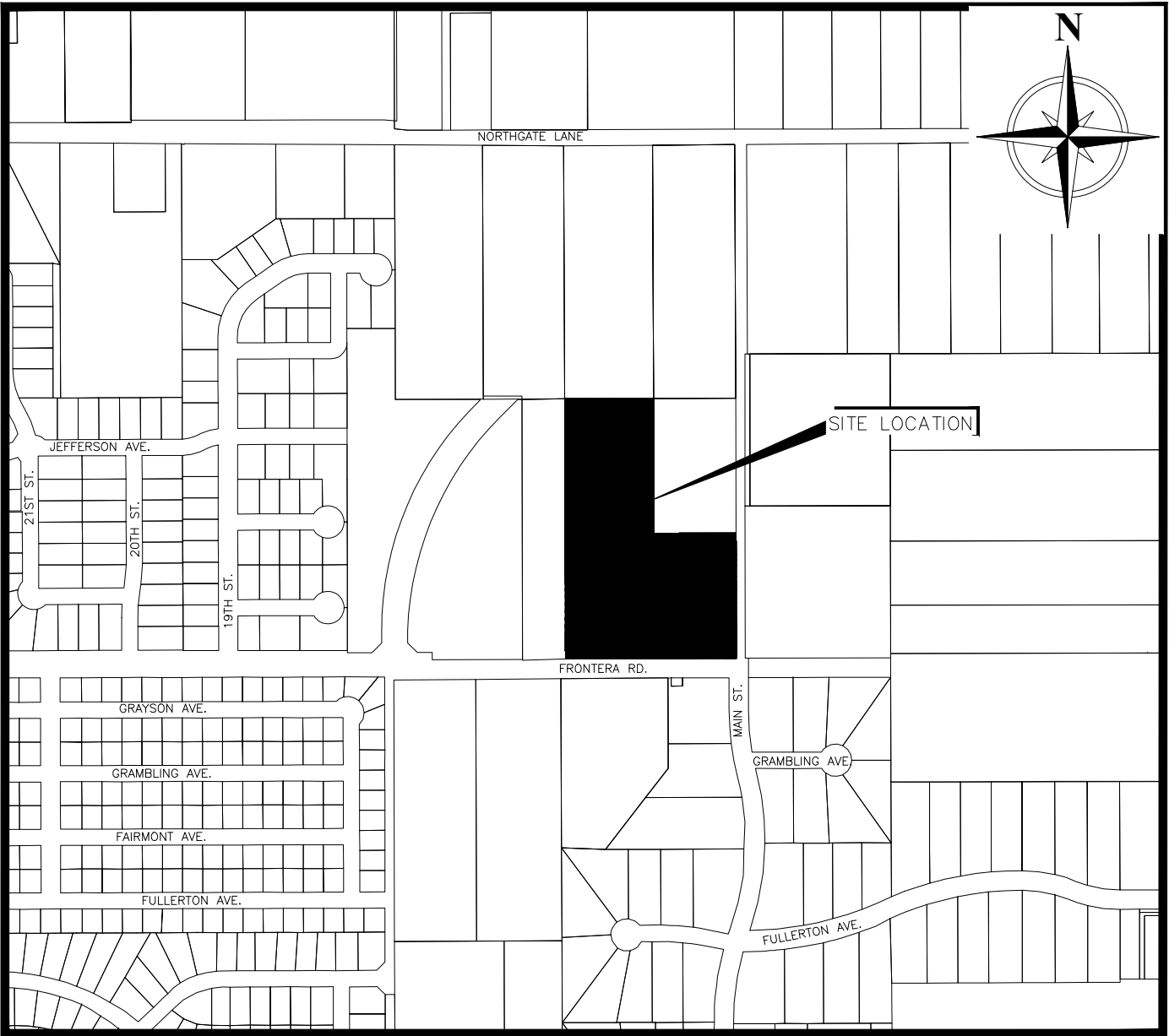
DATED THIS _____ DAY OF _____, 20____

CHAIRMAN, PLANNING & ZONING COMMISSION



GENERAL NOTES:

- FLOOD INSURANCE RATING ZONE: "B" (SHADED) AREAS BETWEEN LIMITS OF THE 100-YR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE, OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD (MEDIUM SHADING)
INSURANCE RATE MAP COMMUNITY PANEL NUMBER 480343 0005 C
REVISED: NOVEMBER 20, 1982
- MINIMUM BUILDING SETBACKS LINES SHALL BE AS FOLLOWS:
FRONT: N. 11TH ST. - 25 FT. OR GREATER FOR EASEMENTS.
REAR: 10 FT. FOR EXISTING EASEMENT.
INTERIOR SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS.
CORNER: ESPERANZA AVE. - 10 FT. OR GREATER FOR EASEMENTS.
GARAGE: 18 FT. EXCEPT WHERE GREATER SETBACK IS REQUIRED, GREATER SETBACK APPLIES.
- MINIMUM FINISH FLOOR ELEVATION: 18 INCHES ABOVE TOP OF CURB AT CENTER OF LOT.
- NO BUILDING STRUCTURE SHALL BE CONSTRUCTED OVER ANY EASEMENT OR LOT LINE.
- NO CONSTRUCTION OF ANY STRUCTURES IS ALLOWED UNLESS FIRE PROTECTION IS IN PLACE.
- ALL SUBDIVISION IMPROVEMENTS SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPP) REQUIREMENTS AND TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM (T.P.D.E.S.).
- STORM WATER DETENTION IS REQUIRED FOR THIS PROPERTY. THE ENGINEER OF RECORD FOR THIS SUBDIVISION PLAT HAS ESTIMATED THAT A VOLUME OF APPROXIMATELY 0.04 ACRE-FEET WILL BE REQUIRED FOR THIS USE. THIS IS AN ESTIMATE ONLY AND DETAILED ANALYSIS MAY REVEAL DIFFERENT REQUIREMENTS. CALCULATIONS WERE BASED ON FULL 0.269 ACRE DEVELOPMENT.
NO BUILDING PERMIT SHALL BE ISSUED FOR THIS PLATTED PROPERTY UNTIL A STORM WATER DETENTION SYSTEM DESIGN HAS BEEN APPROVED BY THE CITY OF McALLEN FOR THIS DEVELOPMENT.
- OWNERS ARE TO MAINTAIN DETENTION AREAS AND NOT THE CITY OF McALLEN.
- CITY OF McALLEN BENCHMARK: CITY OF McALLEN STATION MC XX-X.
LOCATED AT THE _____
- ENFORCEMENT OF ALL PLAT NOTES AND DEDICATIONS SHALL BE THE RESPONSIBILITY OF THE AGENCY OR ENTITY TO WHOM THE DEDICATION IS GRANTED.
- PERIMETER FENCE NEEDED IF DETENTION AREA(S) ARE 3 FEET OR DEEPER.
- a. ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO HIDALGO COUNTY IRRIGATION DISTRICT NO. 2, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
b. NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM HIDALGO COUNTY IRRIGATION DISTRICT NO. 2.
c. NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY HIDALGO COUNTY IRRIGATION DISTRICT NO. 2. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
d. NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
- ALL BUILDING CONSTRUCTION SHALL BE IN COMPLIANCE WITH ALL CITY OF McALLEN ORDINANCE, REQUIREMENTS, CITY CODES AND STATE AND FEDERAL REGULATIONS.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- 4 FT. WIDE MINIMUM SIDEWALK REQUIRED ON N. 11TH STREET AND ESPERANZA AVENUE.
- 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/ USES.
8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONES/ USES.



LOCATION MAP
SCALE: 1"=500'

BARTON SUBDIVISION

BEING A 7.48 GROSS ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF LOTS 22 AND 23, EBONY HEIGHTS CITRUS GROVES UNIT NO. ONE, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT HEREOF RECORDED IN VOLUME 05, PAGE 39, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

METES AND BOUNDS

BEING A 7.48 GROSS ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF LOTS 22 AND 23, EBONY HEIGHTS CITRUS GROVES UNIT NO. ONE, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT HEREOF RECORDED IN VOLUME 05, PAGE 39, MAP RECORDS OF HIDALGO COUNTY, TEXAS, SAID 7.48 ACRE TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A NAIL SET ON THE SOUTHEAST CORNER OF SAID LOT 23 LOCATED AT THE INTERSECTION OF MAIN STREET AND FRONTERA ROAD; THENCE, AS FOLLOWS:

NORTH 81 DEGREES 15 MINUTES WEST, COINCIDENT WITH THE SOUTH LINE OF SAID LOT 23, A DISTANCE OF 273.70 FEET TO A NAIL SET FOR THE SOUTHEAST CORNER AND POINT OF BEGINNING (P.O.B.) OF THIS HEREIN DESCRIBED TRACT.

THENCE, NORTH 81 DEGREES 15 MINUTES WEST, CONTINUING COINCIDENT WITH THE SOUTH LINE OF SAID LOT 23, A DISTANCE OF 273.70 FEET PASS THE SOUTHWEST CORNER OF SAID LOT 23 SAME BEING THE SOUTHEAST CORNER OF SAID LOT 22, CONTINUING WITH THE SOUTH LINE OF SAID LOT 22, A DISTANCE OF 396.25 FEET IN ALL TO A NAIL SET FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;

THENCE, NORTH 08 DEGREES 45 MINUTES EAST, ALONG A LINE PARALLEL TO AND 122.55 FEET WESTERLY FROM THE EAST LINE OF SAID LOT 22, A DISTANCE OF 26.0 FEET PASS A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" SET ON INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF SAID FRONTERA ROAD, AT A DISTANCE OF 822.0 FEET IN ALL TO POINT LOCATED ON INTERSECTION WITH THE NORTH LINE OF SAID LOT 22 FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT; SAID POINT IS MONUMENTED BY A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" OFFSET SOUTH 00 DEGREES 42 MINUTES 47 SECONDS WEST, A DISTANCE OF 3.51 FEET FROM A 1/2" DIAMETER IRON ROD;

THENCE, SOUTH 81 DEGREES 15 MINUTES EAST, COINCIDENT WITH THE NORTH LINE OF SAID LOT 22, A DISTANCE OF 122.55 FEET PASS THE NORTHEAST CORNER OF SAID LOT 22 SAME BEING THE NORTHWEST CORNER OF SAID LOT 23, CONTINUING COINCIDENT WITH THE NORTH LINE OF SAID LOT 23, A DISTANCE OF 396.25 FEET IN ALL TO A 1/2 INCH DIAMETER IRON ROD FOUND FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;

THENCE, SOUTH 08 DEGREES 45 MINUTES WEST, ALONG A LINE PARALLEL TO AND 273.70 FEET EASTERLY FROM THE WEST LINE OF SAID LOT 23, A DISTANCE OF 802.00 FEET PASS A 1/2 INCH DIAMETER IRON PIPE FOUND ON THE INTERSECTION WITH THE NORTH RIGHT-OF-WAY LINE OF SAID FRONTERA ROAD, AT A DISTANCE 822.0 FEET IN ALL TO THE POINT OF BEGINNING, CONTAINING 7.48 GROSS ACRE OF LAND, MORE OR LESS, OF WHICH THE SOUTH 20.0 FEET (OR 0.18 ACRES, MORE OR LESS) ARE LOCATED WITHIN THE RIGHT-OF-WAY OF SAID FRONTERA ROAD, LEAVING 7.30 NET ACRES OF LAND, MORE OR LESS.

BASIS OF BEARING: EBONY HEIGHTS CITRUS GROVES UNIT NO. ONE.

THE ABOVE DESCRIPTION WAS SURVEYED ON THE GROUND UNDER MY DIRECTION ON JUNE 06, 2019.

STATE OF TEXAS
COUNTY OF HIDALGO
COUNTY CLERK'S RECORDED CERTIFICATE

FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.

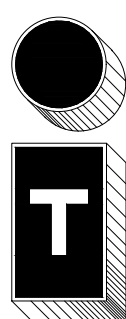
ON: _____ AT _____ A.M./P.M.

INSTRUMENT NUMBER _____

OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____, DEPUTY CLERK

DATE OF PREPARATION: FEBRUARY 10, 2020



TREVIÑO ENGINEERING
FIRM No. F-7906

TEL No. (956) 283-8847
ident@trevinoengineering.com

200 S. 10th. Ste. 1303
McALLEN, TEXAS 78501

| NO. | SHEET | REVISION | DATE | APPROVED |
|-----|-------|----------|------|----------|
| | | | | |
| | | | | |
| | | | | |
| | | | | |

PRINCIPAL CONTACTS:

| | | | | |
|-----------|---|--|----------------------------------|----------------|
| OWNER: | NAME ANTONIO ESPARZA & BARBARA JO GUERRA | ADDRESS 900 W. SAM HOUSTON, SUITE 1 | CITY & ZIP PHARR, TEXAS 78501 | PHONE |
| ENGINEER: | IDEN I. TREVINO, P.E. | 200 S. 10TH ST. SUITE 1301 | McALLEN, TEXAS 78501 | (956) 283-8847 |
| SURVEYOR: | HOMERO LUIS GUTIERREZ | | McALLEN, TEXAS 78505 | (956) 583-5479 |



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 2/9/2022

SUBDIVISION NAME: BARTON SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

N. Bicentennial Blvd: 75 ft. from centerline for 150 ft. ROW
 Paving: min. 65 ft. Curb & gutter: both sides
 ****Label N. Bicentennial Blvd. on plat prior to final
 ****Provide existing ROW from centerline to determine if any ROW dedication is required prior to final
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

Non-compliance

Northgate Lane: 15 ft. dedication for 35 ft. from centerline for 70 ft. ROW
 Paving: 40 ft. - 44 ft. Curb & gutter: both sides
 ***Provide ROW dimension from centerline on both sides and total ROW prior to final
 ***Label ROW dedication dimension prior to final
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

Non-compliance

Frontera Rd.: Dedication required for 40 ft. from centerline for 80 ft. ROW
 Paving: 52 ft. Curb & gutter: both sides
 ****ROW dimensions must be legible, please revise accordingly prior to final
 ****Provide existing ROW from centerline to determine if any ROW dedication is required prior to final
 ****Provide document referenced on survey prior to final
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

Non-compliance

N. Main Street: 30 ft. from centerline for 60 ft. ROW
 Paving: min. 40 ft. Curb & gutter: both sides
 ****ROW dimensions must be legible, please revise accordingly prior to final
 ****Provide existing ROW from centerline to determine if any ROW dedication is required prior to final
 ****Provide document referenced on survey prior to final
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

Non-compliance

N/S Internal Street: 50 ft. ROW
 Paving: 32 ft. Curb & gutter: both sides
 ***Provide ROW dimension for internal street
 ***Street name will be assigned prior to final
 ***Internal street cannot have curb cut along N. Bicentennial, please revise layout prior to final
 ***If a cul-de-sac is proposed, it cannot exceed 600 ft. in length
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

Non-compliance

* 1,200 ft. Block Length
 **Subdivision Ordinance: Section 134-118

Compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

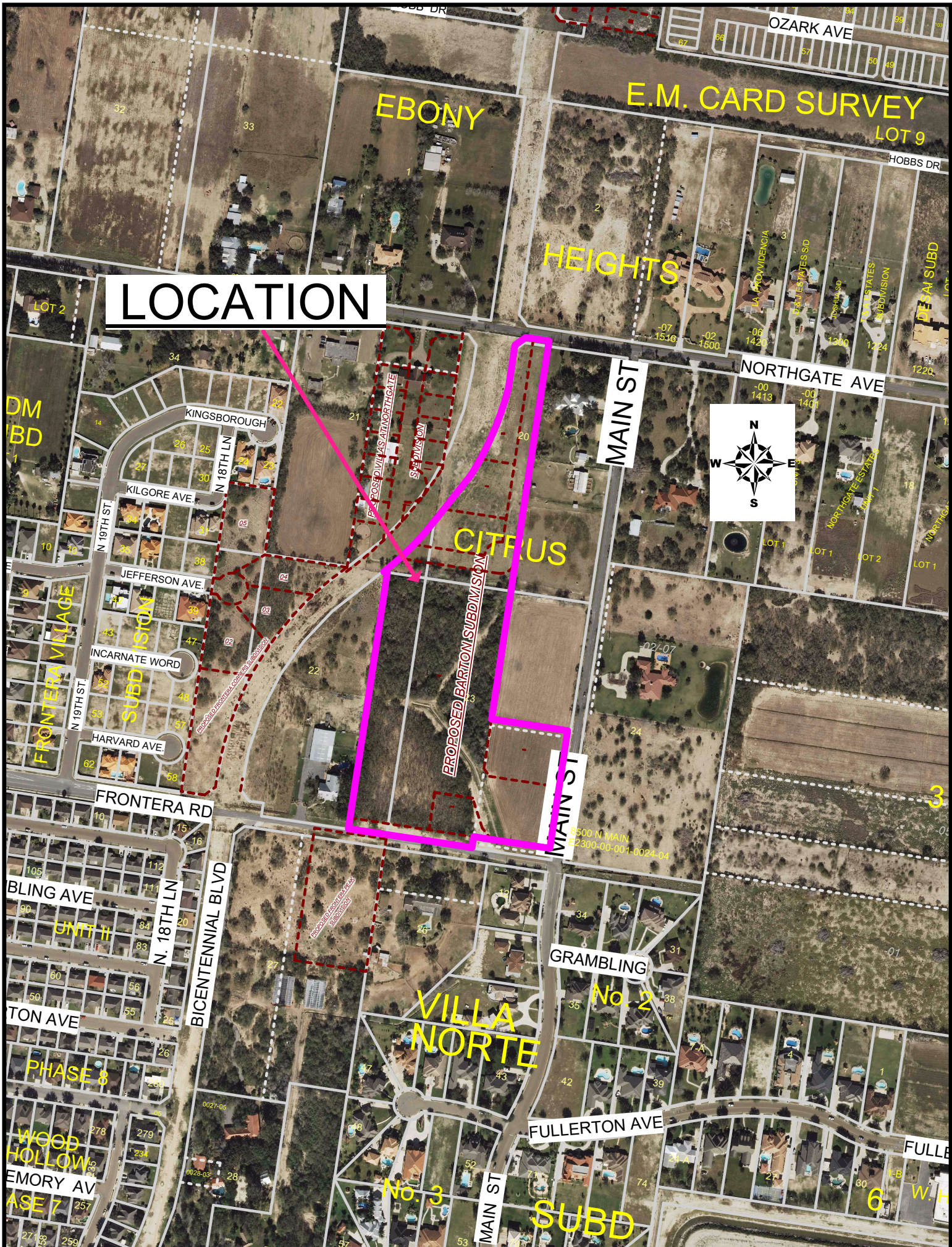
| | |
|---|----------------|
| <ul style="list-style-type: none"> * 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118 * 600 ft. Maximum Cul-de-Sac ***Subdivision layout does not comply with cul-de-sac requirement, please revise accordingly prior to final as internal street exceeds the maximum 600 ft. ***No connection to N. Bicentennial Blvd. is allowed ***If variance is requested to exceed 600 ft. length requirement for cul-de-sac, paving width of street must increase to 40 ft. **Subdivision Ordinance: Section 134-105 | NA |
| | Non-compliance |
| ALLEYS | |
| <ul style="list-style-type: none"> ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106 | NA |
| SETBACKS | |
| <ul style="list-style-type: none"> * Front: 25 ft. or greater for easements ***Please revise plat note #2 as shown above prior to final **Zoning Ordinance: Section 138-356 * Rear: 10 ft. or greater for easements ***Please revise plat note #2 as shown above prior to final **Zoning Ordinance: Section 138-356 * Interior Sides: 6 ft. or greater for easements ***Please revise plat note #2 as shown above prior to final **Zoning Ordinance: Section 138-356 * Corner: 10 ft. or greater for easements ***Please revise plat note #2 as shown above prior to final ***Lot 1 as shown on plat is a corner lot on both N. Bicentennial Blvd. and N/S internal street **Zoning Ordinance: Section 138-356 * Garage: 18 ft. except where greater setback is required, greater setback applies **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN | Non-compliance |
| | Non-compliance |
| | Non-compliance |
| | Non-compliance |
| | Applied |
| | Applied |
| SIDEWALKS | |
| <ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required along N. Bicentennial Blvd., Frontera Rd., Northgate Lane, N. Main St., and both sides of internal streets. ***5 ft. sidewalk might be required on N. Bicentennial Blvd., Frontera Rd., Northgate Lane, N. Main St., and both sides of internal streets by Engineering Department ***Plat note #15 will need to be revised as shown above, and once sidewalk requirements are determined **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time. | Non-compliance |
| | Applied |
| BUFFERS | |
| <ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along N. Bicentennial Blvd. ***Revise plat note #16 as shown above prior to final ***Other buffers may be required prior to final **Landscaping Ordinance: Section 110-46 | Non-compliance |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| | |
|--|----------------|
| <ul style="list-style-type: none"> * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements. | Applied |
| | Applied |
| NOTES | |
| <ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along N. Bicentennial Blvd. ***Please add plat note as shown above prior to final **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 | Non-compliance |
| | NA |
| | Applied |
| | NA |
| | Required |
| | Required |
| LOT REQUIREMENTS | |
| <ul style="list-style-type: none"> * Lots fronting public streets ***Clarify property boundaries for lots 4 to 6 prior to final **Subdivision Ordinance: Section 134-1 * Minimum lot width and lot area ***Clarify property boundaries for lots 4 to 6 prior to final **Zoning Ordinance: Section 138-356 | Non-compliance |
| | Non-compliance |
| ZONING/CUP | |
| <ul style="list-style-type: none"> * Existing: R-1 Proposed: R-1 ***Zoning Ordinance: Article V * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V | Compliance |
| | Compliance |
| PARKS | |
| <ul style="list-style-type: none"> * Land dedication in lieu of fee. ***Must comply with Park Department requirements. * Park Fee of \$4,200 based on (6 X \$700 per lot/dwelling unit) to be paid prior to recording. Total amount of park fees is subject to change if amount of proposed lots and dwelling units change. ***Must comply with Park Department requirements. | TBD |
| | Required |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| | |
|---|----------------|
| <ul style="list-style-type: none"> * Must comply with Park Department requirements **Park Fee of \$700 per lot/dwelling unit to be paid prior to recording and/or land dedication. Total amount of park fees is subject to amount of proposed lots and dwelling units per each lot. | TBD |
| TRAFFIC | |
| <ul style="list-style-type: none"> * As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. * Traffic Impact Analysis (TIA) required prior to final plat. | Non-compliance |
| | TBD |
| COMMENTS | |
| Comments: <ul style="list-style-type: none"> *Must comply with City's Access Management Policy. ***Clarify property boundaries for lots 4 to 6 prior to final ***Clarify proposed 12 ft. access drive on the south prior to final ***Clarify if it's a private development or proposed to be public prior to final ***Clarify wording shown for the owner's signature block | Applied |
| RECOMMENDATION | |
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVAL. | Applied |



LOCATION



SUB2022-0018



City of McAllen
Planning Department
APPLICATION FOR

SUBDIVISION PLAT REVIEW

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

| | |
|---------------------|--|
| Project Description | <p>Subdivision Name <u>LOT 7A, RE-PLAT OF LOTS 7, 8, 9 & 10, MEANED</u> BLK. 16, NORTH</p> <p>Location <u>SEC. N. 11TH ST. AND GUMWOOD AVE.</u></p> <p>City Address or Block Number <u>612 N. 11TH ST</u></p> <p>Number of lots <u>1</u> Gross acres <u>0.64</u> Net acres <u>0.64</u></p> <p>Existing Zoning <u>R3A</u> Proposed <u>R3A</u> Rezoning Applied For <input type="checkbox"/> Yes <input type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>HMS</u> Proposed Land Use <u>APTS.</u> Irrigation District # <u>3</u></p> <p>Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>1500⁰⁰</u></p> <p>Parcel No. <u>247834, 247835</u> Tax Dept. Review <u>N 5400-00-016-0007-00</u> <u>247836</u> <u>N 5400-00-016-0008-00</u> <u>N 5400-00-016-0010-00</u></p> <p>Legal Description <u>LOTS 7, 8 & 9, 10 BLK. 16, TOWN OF</u> <u>NORTH MEANED, H.C.T.</u></p> |
| Owner | <p>Name <u>DANIEL OLIVAREZ</u> Phone <u>739-2179</u></p> <p>Address <u>408 PADRE LONE</u></p> <p>City <u>EDINBURG</u> State <u>TX</u> Zip <u>78539</u></p> <p>E-mail <u>dolivarezdaniel@aol.com</u></p> |
| Developer | <p>Name <u>SAME AS OWNER</u> Phone _____</p> <p>Address _____</p> <p>City _____ State _____ Zip _____</p> <p>Contact Person _____</p> <p>E-mail _____</p> |
| Engineer | <p>Name <u>DAVID SALINAS</u> Phone <u>682-9081</u></p> <p>Address <u>2221 DAFFODIL AVE.</u></p> <p>City <u>MCALLEN</u> State <u>TX</u> Zip <u>78501</u></p> <p>Contact Person <u>DAVID</u></p> <p>E-mail <u>dsalinas@salinasengineering.com</u></p> |
| Surveyor | <p>Name <u>SAME AS ENGR.</u> Phone _____</p> <p>Address _____</p> <p>City _____ State _____ Zip _____</p> |

ENTERED

FEB 01 2022

Initials

WILSON
SCHOOL

O.L.S. CATHOLIC
CHURCH

SUBD.

IVY AVE

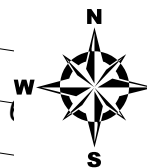
HACKBERRY PLACE

13

HACKBERRY

LOCATION

RENKEN'S



4

GUMWOOD

LOT 7A

16

FIR

18

10TH ST

9TH ST

ADDIT

2

12TH ST

11TH ST

PROPOSED ADAME
ARTS SUBD
LOT 1

17

SAUNDERS

Lot C

Lot B

W.L. HART

Lot A

SCHUSTER

N. 9TH ST.

ACRES SUBD.

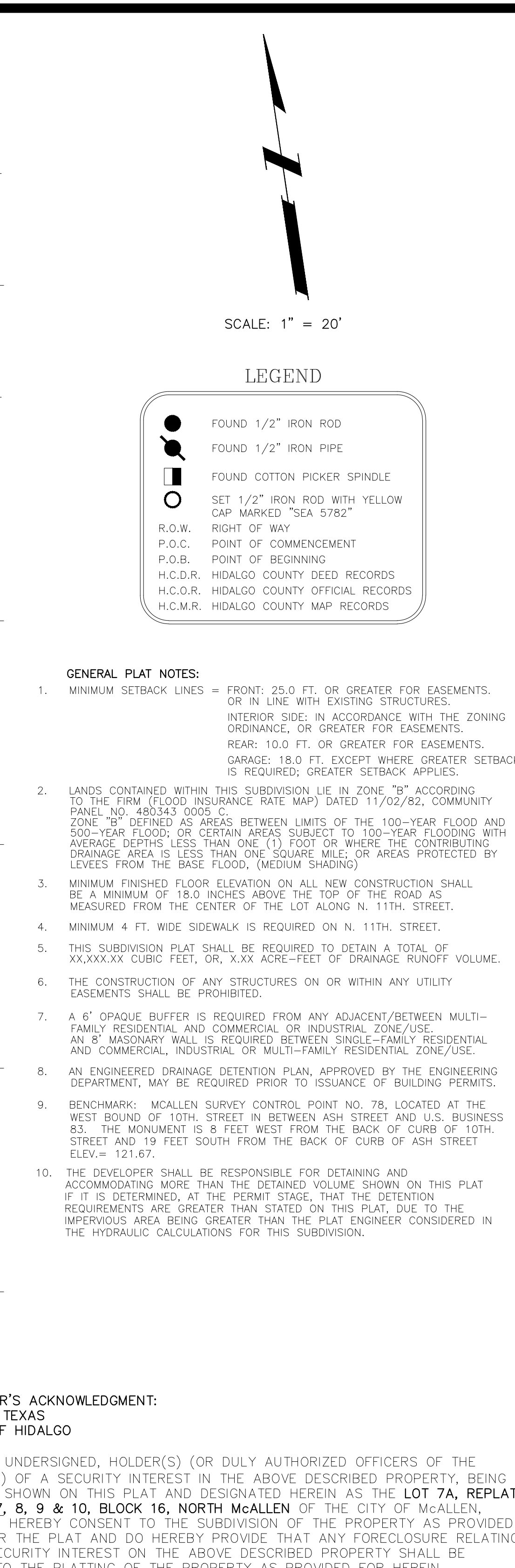
EBONY

32

SUBDIVISION

DATE PALM AV

TE PALM AV



BEING A 0.64 ACRE TRACT OF LAND, MORE OR LESS, CONSISTING OF ALL OF LOTS 7, 8, 9 AND 10, BLOCK 16, NORTH McALLEN, McALLEN, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME "Z," PAGE 40, DEED RECORDS OF HIDALGO COUNTY, TEXAS

CONSULTING ENGINEERS & SURVEYORS
2221 DAFFODIL — McALLEN, TEXAS 78501
(556) 682-9081 (956) 686-1489 (FAX)
TBPLS 12100 PARK 35 CIRCLE BLDG. A, SUITE 156, MC-230, AUSTIN, TEXAS 78573 (512) 239-5263



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 2/10/2022

SUBDIVISION NAME: NORTH MCALLEN LOT 7A BLOCK 16

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

South 11th Street: 32.5 ft. from centerline for 65 ft. of ROW
 Paving: 40 ft. Curb & gutter: Both sides
 ***Approximately 36 ft. of paving existing, clarify total paving prior to final.
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

Non-compliance

Gumwood Avenue: 25 ft. from centerline for 50 ft. ROW
 Paving: 40 ft. Approximately 30 ft. existing Curb & gutter: both sides
 ***Approximately 30 ft. of paving existing, clarify total paving prior to final.
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

Non-compliance

Paving _____ Curb & gutter _____
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

Applied

* 1,200 ft. Block Length
 **Subdivision Ordinance: Section 134-118
 * 900 ft. Block Length for R-3 Zone Districts
 **Subdivision Ordinance: Section 134-118
 * 600 ft. Maximum Cul-de-Sac
 **Subdivision Ordinance: Section 134-105

NA

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.
 ***Existing alley must be properly paved to city standards
 *Alley/service drive easement required for commercial properties
 **Subdivision Ordinance: Section 134-106

Required

SETBACKS

* Front: Proposing: 25 ft. or greater for easements or approved site plan or inline with the average of existing structures, whichever is greater.
 **Clarify plat note #1 regarding front setback prior to final.
 **Zoning Ordinance: Section 138-356
 * Rear: 10 ft. or greater for easements or approved site plan.
 **Please revise plat note #1 as shown above prior to final.
 **Zoning Ordinance: Section 138-356

Non-compliance

Non-compliance

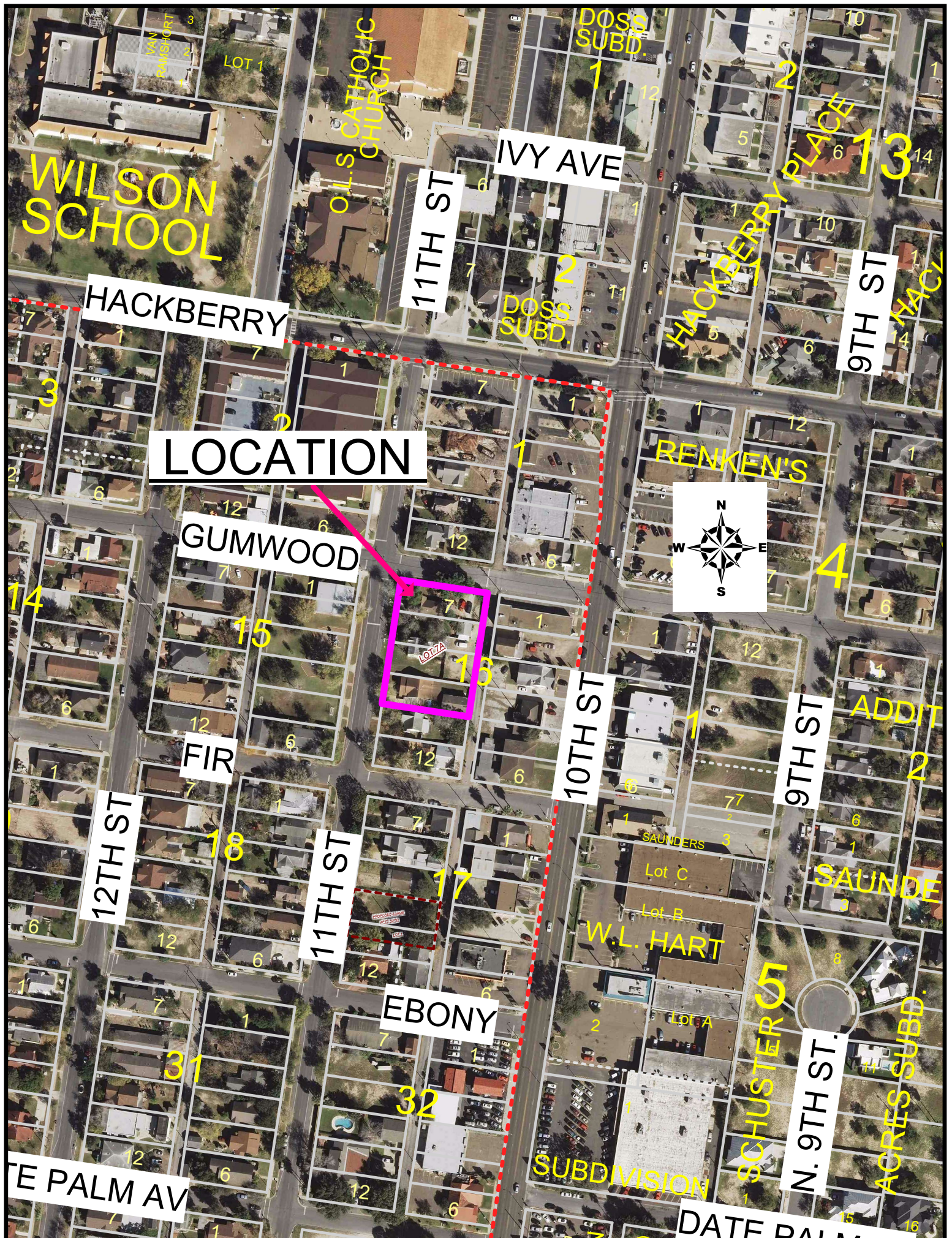
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| | |
|---|----------------|
| <ul style="list-style-type: none"> * Sides: In accordance with the Zoning Ordinance or approved site plan or greater for easements; whichever is greater **Please revise plat note #1 as shown above prior to final. **Zoning Ordinance: Section 138-356 | Non-compliance |
| <ul style="list-style-type: none"> * Corner: 10 ft. or greater for easements or approved site plan. **Please add plat note as shown above prior to final. **Zoning Ordinance: Section 138-356 | Non-compliance |
| <ul style="list-style-type: none"> * Garage: 18 ft. except where greater setback is required; greater setback applies. **Zoning Ordinance: Section 138-356 | Applied |
| <ul style="list-style-type: none"> *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN | Applied |
| SIDEWALKS | |
| <ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on South 11th Street and Gumwood Avenue. **Please revise plat note #4 as shown above prior to final **Subdivision Ordinance: Section 134-120 | Non-compliance |
| <ul style="list-style-type: none"> * Perimeter sidewalks must be built or money escrowed if not built at this time. | Applied |
| BUFFERS | |
| <ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46 | Applied |
| <ul style="list-style-type: none"> * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46 | Applied |
| <ul style="list-style-type: none"> *Perimeter buffers must be built at time of Subdivision Improvements. | Applied |
| NOTES | |
| <ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along. **Must comply with City Access Management Policy | NA |
| <ul style="list-style-type: none"> * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. **Requirement might be triggered depending on the # of units proposed on multifamily lot | Required |
| <ul style="list-style-type: none"> * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. | Required |
| <ul style="list-style-type: none"> * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. | NA |
| <ul style="list-style-type: none"> * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 | NA |
| <ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 | NA |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| LOT REQUIREMENTS | |
|--|----------------|
| * Lots fronting public streets **Subdivision Ordinance: Section 134-1 | Compliance |
| * Minimum lot width and lot area **Zoning Ordinance: Section 138-356 | Compliance |
| ZONING/CUP | |
| * Existing: R-3A Proposed: R-3A ***Zoning Ordinance: Article V | Compliance |
| * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V | NA |
| PARKS | |
| * Land dedication in lieu of fee. **Must clarify number of units to determine if land dedication or park fees will be required prior to final. | TBD |
| * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording **Must clarify number of units to determine if land dedication or park fees will be required prior to final. | TBD |
| * Pending review by the Parkland Dedication Advisory Board and CC. **Must clarify number of units to determine if land dedication or park fees will be required prior to final. | TBD |
| TRAFFIC | |
| * As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. | Non-compliance |
| * Traffic Impact Analysis (TIA) required prior to final plat. | TBD |
| COMMENTS | |
| Comments: *Must comply with City's Access Management Policy. **Existing plat notes remain the same as now they exist **Subdivision name will need to be revised to North McAllen Lot 7A Block 16 prior to final | Applied |
| RECOMMENDATION | |
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVAL. | Applied |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



WILSON
SCHOOL

O.L.S. CATHOLIC
CHURCH

IVY AVE

HACKBERRY

LOCATION

GUMWOOD

FIR

EBONY

W.L. HART

DATE PALM



12TH ST

11TH ST

10TH ST

9TH ST

N. 9TH ST.

SUBDIVISION

SCHUSTER

ACRES SUBD.

SAUNDE

ADDIT

RENKEN'S

HACKBERRY PLACE

DOSS
SUBD.

DOSS
SUBD.

LOT 1

VAN
SHOIRT

TE PALM AV

SUB 2022-0015



City of McAllen
Planning Department
APPLICATION FOR

SUBDIVISION PLAT REVIEW

1300 Houston Avenue
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

| | |
|---------------------|---|
| Project Description | Subdivision Name <u>Replat of Lots 1 and 2, TNB 3 Subdivision</u> |
| | Location <u>Southwest corner of N. 10th and Robin Avenue</u> |
| | City Address or Block Number <u>6901 N. 10th St. McAllen, TX 78504</u> |
| | Number of lots <u>1</u> Gross acres <u>3.58</u> Net acres <u>3.58</u> |
| | Existing Zoning <u>C3</u> Proposed _____ Rezoning Applied For <input type="checkbox"/> Yes <input type="checkbox"/> No Date _____ |
| | Existing Land Use <u>Bank</u> Proposed Land Use <u>Bank Facility</u> Irrigation District # <u>3</u> |
| | Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |
| | Agricultural Tax Exemption Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due \$ <u>0</u> |
| | Legal Description <u>Lots 1 and 2, TNB 3 Subdivision, McAllen, Hidalgo County, Texas</u> |
| | |
| Owner | Name <u>Texas National Bank</u> Phone <u>(956) 731-6880</u> |
| | Address <u>4126 Crosspoint</u> |
| | City <u>Edinburg</u> State <u>TX</u> Zip <u>78539</u> |
| | E-mail <u>eleal@texasnational.com</u> |
| Developer | Name <u>Texas National Bank</u> Phone <u>(956) 731-6880</u> |
| | Address <u>4126 Crosspoint</u> |
| | City <u>Edinburg</u> State <u>TX</u> Zip <u>78539</u> |
| | Contact Person <u>Eddie Leal</u> |
| | E-mail <u>eleal@texasnational.com</u> |
| | |
| Engineer | Name <u>Quintanilla, Headley & Associates, Inc.</u> Phone <u>(956) 381-6480</u> |
| | Address <u>124 E. Stubbs</u> |
| | City <u>Edinburg</u> State <u>TX</u> Zip <u>78539</u> |
| | Contact Person <u>Alfonso Quintanilla, P.E.</u> |
| | E-mail <u>alfonsoq@qha-eng.com</u> |
| | |
| Surveyor | Name <u>Alfonso Quintanilla, R.P.L.S.</u> Phone <u>(956) 381-6480</u> |
| | Address <u>124 E. Stubbs</u> |
| | City <u>Edinburg</u> State <u>TX</u> Zip <u>78539</u> |
| | E-mail <u>alfonsoq@qha-eng.com</u> |

ENTERED

JAN 28 2022

Initials:

an

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- _____ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- _____ Title Report
- _____ 8 1/2" by 11" Sealed Survey showing existing structures/easements or 3 blueline copies
- _____ 2 Location Maps
- _____ 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- _____ 6 Folded blueline prints of the proposed plat
- _____ 2 Warranty Deeds (Identifying owner on application)
- _____ Autocad DWG file of plat
- _____ Letter of Authorization from the owner, if applicable
- _____ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 1/2" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature _____ Date 11/18/2022

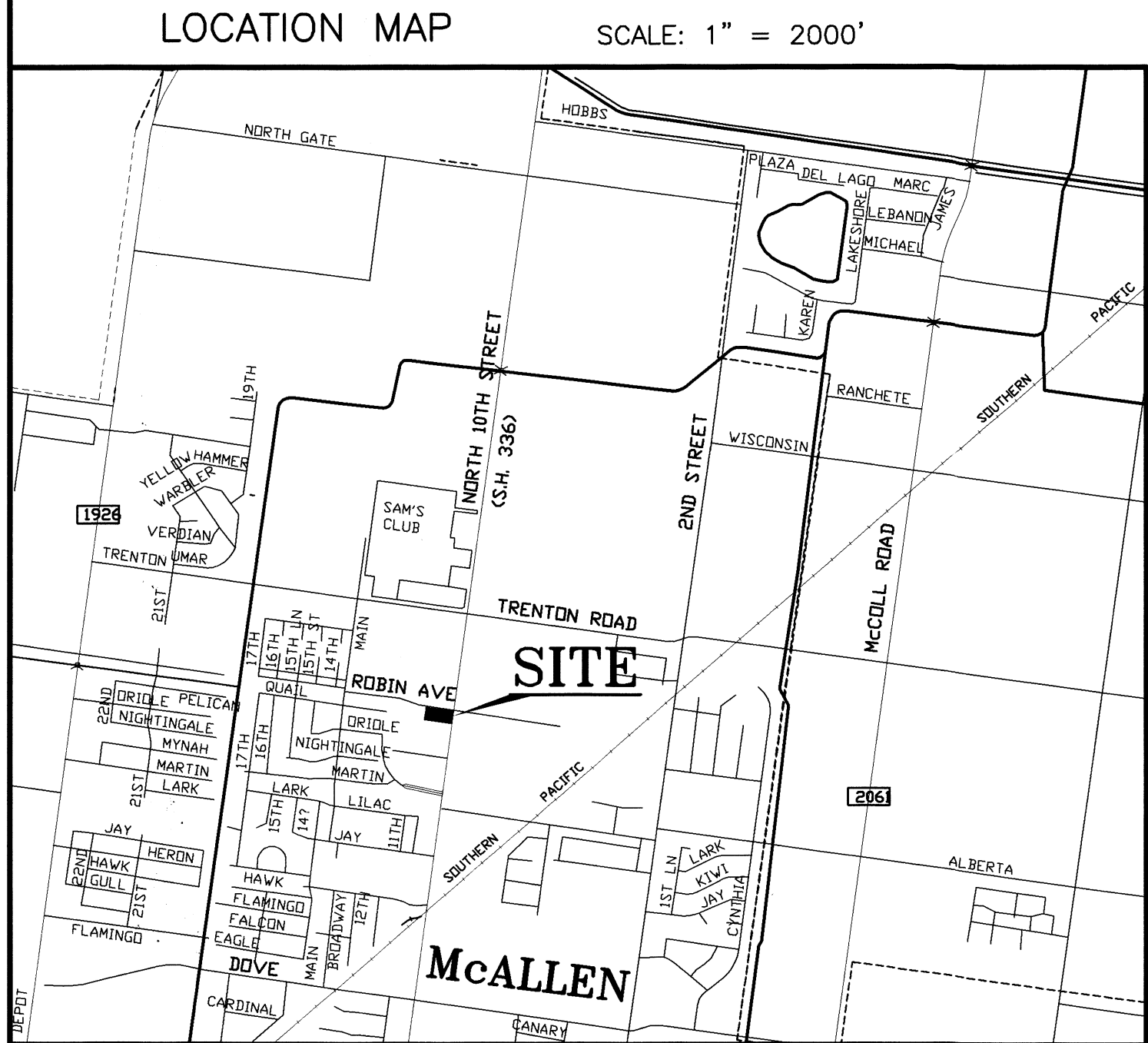
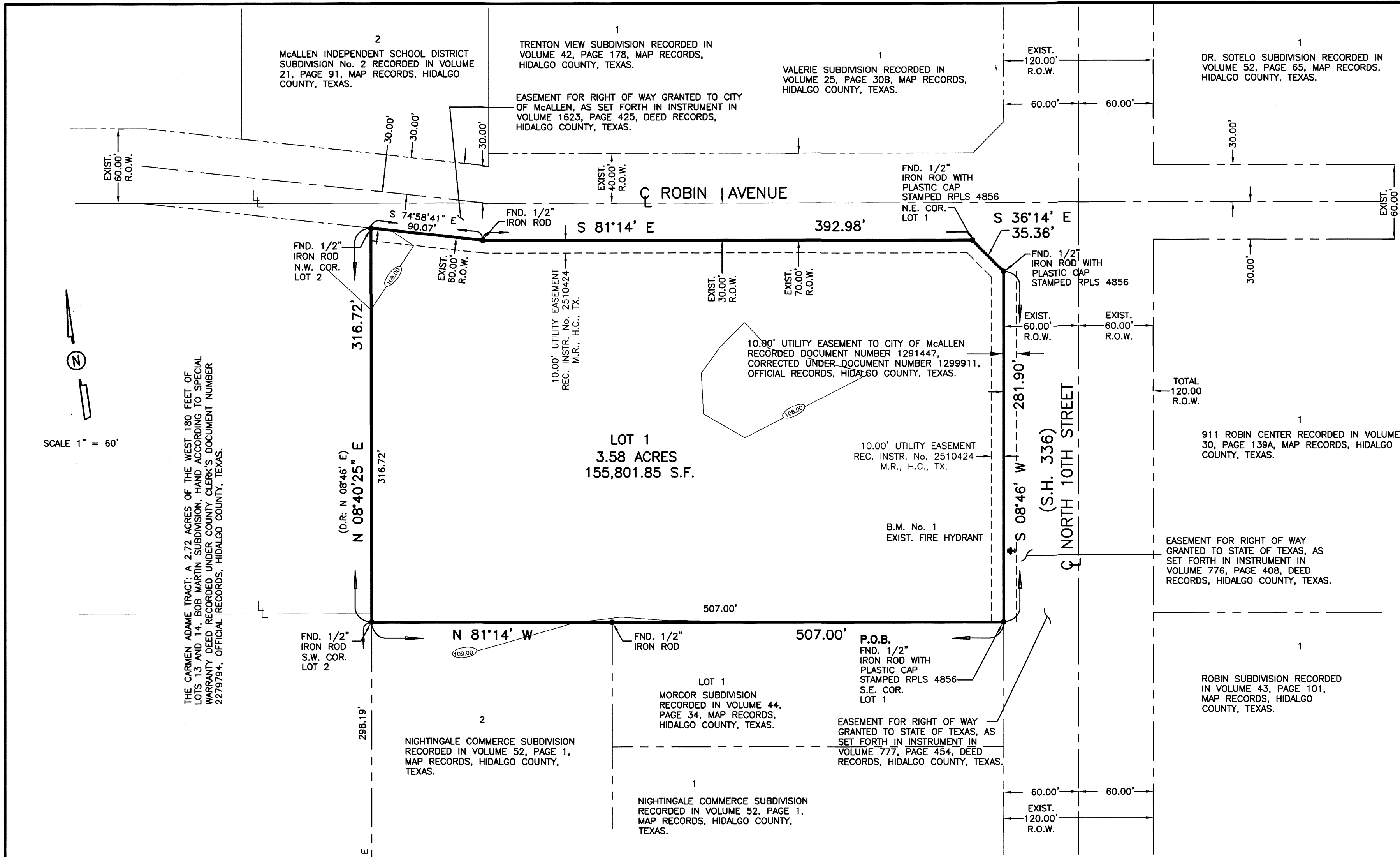
Print Name Eddie Leal

Owner ☐

Authorized Agent ☒

Rev 03/11





PLAT NOTES AND RESTRICTIONS:

- FLOOD ZONE DESIGNATION: ZONE "B" AREAS BETWEEN LIMITS OF THE 100-YEAR AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE (1) SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. COMMUNITY-PANEL NUMBER 480343 0005 C MAP REVISED: NOVEMBER 2, 1982
- MINIMUM FINISH FLOOR ELEVATION: 18" ABOVE THE TOP OF CURB OF THE STREET AT MID POINT OF EACH LOT.
- LEGEND • - DENOTES 1/2"x 24" IRON ROD SET WITH PLASTIC CAP STAMPED RPLS 4856, UNLESS OTHERWISE NOTED.
- MINIMUM BUILDING SETBACK LINES:
FRONT-10TH STREET..... 60.00' OR GREATER FOR APPROVED SITE PLAN OR EASEMENT
SIDE CORNER ON ROBIN AVE..... 15.00' OR GREATER FOR APPROVED SITE PLAN OR EASEMENT
REAR..... IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS.
SIDE..... IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS.
OTHER..... IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS.
- NO BUILDINGS NOR DRAINAGE DETENTION AREAS SHALL BE CONSTRUCTED OVER ANY EASEMENT.
- REQUIRED DRAINAGE DETENTION IS: **45,593.00 C.F.** (**1.05 AC./FT.**) TOTAL
- BENCHMARK No. 1= ELEV.=110.48 SOUTH BOLT ON FIRE HYDRANT, LOCATED 57 FEET NORTH AND 50.5 FEET WEST FROM THE SOUTHEAST CORNER OF THIS SUBDIVISION. N.A.V.D. 88 DATUM
CITY OF McALLEN BENCHMARK - ELEV.= 108.31 MC 55 SET BY ARANDA & ASSOCIATES LOCATED AT THE NORTHWEST CORNER OF ROBIN AVENUE AND NORTH 10TH STREET. N.A.V.D. 88 DATUM
- AN ENGINEERED DRAINAGE DETENTION PLAN SHALL BE SUBMITTED TO THE CITY ENGINEERING DEPARTMENT FOR APPROVAL AS A PREREQUISITE FOR THE ISSUANCE OF BUILDING PERMITS WITHIN THIS SUBDIVISION.
- A 5.00 FOOT SIDEWALK IS REQUIRED ON NORTH 10TH STREET (AS PER TX-DOT). A MINIMUM 4.00 FOOT SIDEWALK IS REQUIRED ALONG ROBIN AVENUE.
- A 6.00' OPAQUE BUFFER IS REQUIRED FROM ADJACENT/BETWEEN MULTIFAMILY RESIDENTIAL AND COMMERCIAL OR INDUSTRIAL ZONES/USES.
- SITE PLAN MUST BE APPROVED BY THE PLANNING AND ZONING COMMISSION PRIOR TO ISSUANCE OF BUILDING PERMITS FOR BOTH LOTS
- NO PERMANENT STRUCTURE, (FOR EXAMPLE FENCES OR DRIVEWAYS OF ANY CONSTRUCTION) WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY THE DISTRICT. ANY UNAUTHORIZED STRUCTURE IN THE EASEMENT AREA IS SUBJECT TO REMOVAL.
- AN 8.00' MASONRY WALL IS REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- COMMON AREAS, PRIVATE SERVICE DRIVE, ETC. TO BE MAINTAINED BY LOT OWNERS, NOT CITY OF McALLEN.

SUBDIVISION PLAT OF :
**REPLAT OF LOTS 1 AND 2
TNB 3 SUBDIVISION**

A 3.58 ACRE TRACT OF LAND BEING ALL OF LOTS 1 AND 2, TNB 3 SUBDIVISION, AN ADDITION TO THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN INSTRUMENT NUMBER 2510424, MAP RECORDS HIDALGO COUNTY, TEXAS, AND ACCORDING TO SPECIAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 2451166, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

METES AND BOUNDS

A 3.58 ACRE TRACT OF LAND BEING ALL OF LOTS 1 AND 2, TNB 3 SUBDIVISION, AN ADDITION TO THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN INSTRUMENT NUMBER 2510424, MAP RECORDS HIDALGO COUNTY, TEXAS, AND ACCORDING TO SPECIAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 2451166, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS.

BEGINNING AT A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 FOUND ON THE WEST RIGHT OF WAY LINE OF NORTH 10TH STREET (S.H. 336) FOR THE SOUTHEAST CORNER OF LOT 1 AND THE SOUTHEAST CORNER OF THIS TRACT.

THENCE: N 81°14' W, ALONG THE SOUTH LINE OF LOTS 1 AND 2, A DISTANCE OF 507.00 FEET TO A 1/2" IRON ROD FOUND FOR THE SOUTHWEST CORNER OF LOT 2 AND THE SOUTHWEST CORNER OF THIS TRACT.

THENCE: N 08°40'25" E, ALONG THE WEST LINE OF LOT 2, A DISTANCE OF 316.72 FEET TO A 1/2" IRON ROD FOUND ON THE SOUTH RIGHT OF WAY LINE OF ROBIN AVENUE FOR THE NORTHWEST CORNER OF LOT 2 AND THE NORTHWEST CORNER OF THIS TRACT.

THENCE: S 74°58'41" E, ALONG THE NORTH LINE OF LOT 2 AND THE SOUTH RIGHT OF WAY LINE OF ROBIN AVENUE, A DISTANCE OF 90.07 FEET TO A 1/2" IRON ROD FOUND FOR AN INTERIOR CORNER OF THIS TRACT.

THENCE: S 81°14' E, ALONG THE NORTH LINE OF LOTS 1 AND 2 AND THE SOUTH RIGHT OF WAY LINE OF ROBIN AVENUE, A DISTANCE OF 392.98 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 FOUND FOR THE MOST NORTHERLY NORTHEAST CORNER OF LOT 1 AND THE MOST NORTHERLY NORTHEAST CORNER OF THIS TRACT.

THENCE: S 36°14' E, ALONG THE NORTH LINE OF LOT 1 AND THE SOUTH RIGHT OF WAY OF ROBIN AVENUE, A DISTANCE OF 35.36 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 FOUND ON THE WEST RIGHT OF WAY LINE OF NORTH 10TH STREET FOR THE MOST SOUTHERLY NORTHEAST CORNER OF LOT 1 AND THE MOST SOUTHERLY NORTHEAST CORNER OF THIS TRACT.

THENCE: S 08°46' W, ALONG THE EAST LINE OF LOT 1 AND THE WEST RIGHT OF WAY LINE OF NORTH 10TH STREET, A DISTANCE OF 281.90 FEET TO THE POINT OF BEGINNING AND CONTAINING 3.58 ACRES OF LAND MORE OR LESS.

BEARINGS ARE IN ACCORDANCE WITH TNB 3 SUBDIVISION, RECORDED IN INSTRUMENT NUMBER 2510424, MAP RECORDS, HIDALGO COUNTY, TEXAS.

**STATE OF TEXAS
COUNTY OF HIDALGO**

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.



Alfonso Quintanilla
ALFONSO QUINTANILLA
R.P.L.S. No. 4856

JANUARY 18, 2022
DATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211 DLS(G). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

BY: _____

**STATE OF TEXAS
COUNTY OF HIDALGO**

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE **REPLAT OF LOTS 1 AND 2, TNB 3 SUBDIVISION**, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

TEXAS NATIONAL BANK
EDDIE LEAL, EXECUTIVE VICE PRESIDENT
4126 CROSSPOINT
EDINBURG, TEXAS 78539

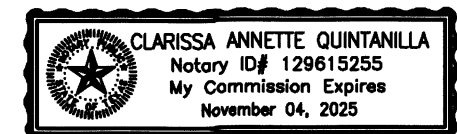
DATE

**STATE OF TEXAS
COUNTY OF HIDALGO**

BEFORE ME, the undersigned notary public, on this day personally appeared
EDDIE LEAL, EXECUTIVE VICE PRESIDENT OF TEXAS NATIONAL BANK

proved to me through her Texas Department of Public Safety Driver License to be the person whose name is subscribed to the foregoing instrument, who, being by me first duly sworn, declared that the statements therein are true and correct and acknowledged that she executed the same for the purpose and consideration thereby expressed.

Given under my hand and seal of office this _____ day of _____, 20____.



CLARISSA ANNETTE QUINTANILLA- NOTARY PUBLIC

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION

DATE

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR

DATE

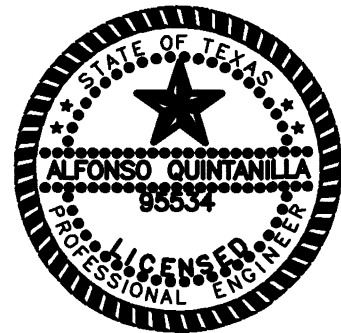
ATTEST:

CITY SECRETARY

DATE

**COUNTY OF HIDALGO
STATE OF TEXAS**

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.



Alfonso Quintanilla
ALFONSO QUINTANILLA
P.E. No. 95534

1-18-22
DATE

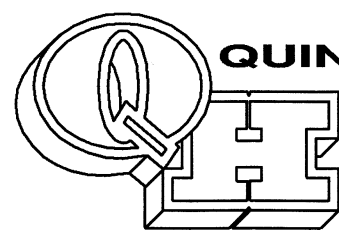


FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

CONSULTING ENGINEERS • LAND SURVEYORS
124 E. STUBBS ST. PHONE 956-381-6480
EDINBURG, TEXAS 78539 FAX 956-381-0527
REGISTRATION NUMBER F-1513 OFFICE@QHAENGINEERING.COM

| | | | |
|--|-------------|------------|-------------|
| FILENAME : F:\DATA\SUBD\McALLEN\TNB SUBDIVISION\PLAT | | | |
| DATE PREPARED | PREPARED BY | CHECKED BY | APPROVED BY |
| SEPT. 18, 2013 | LG | | |
| DATE REVISED | REVISED BY | CHECKED BY | APPROVED BY |
| | | | |



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 2/9/2022

SUBDIVISION NAME: TNB 3 LOT 1A

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

N. 10th Street: 60 ft. from centerline for 120 ft. ROW

Paving: by the state Curb & gutter: by the state

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Applied

Robin Avenue: 30 ft. from centerline for 60 ft.- 70 ft. ROW

Paving: 40 ft. - 44 ft. Curb & gutter: both sides

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Applied

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Applied

* 1,200 ft. Block Length

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac

**Subdivision Ordinance: Section 134-105

NA

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

**The proposed plat does not show the existing 24 ft. private service drive easement; if proposing to remove vacating of plat applicable

*Alley/service drive easement required for commercial properties

**Subdivision Ordinance: Section 134-106

Non-compliance

SETBACKS

* Front:

N. 10th Street: 60 ft. or greater for approved site plan or easements

Robin Avenue: 30 ft. or greater for approved site plan or easements

**Revise plat note #4 as shown above prior to final

**Vacating plat applicable if proposing to remove Robin Avenue setback restriction from existing recorded plat

**Zoning Ordinance: Section 138-356

* Rear: In accordance with the zoning ordinance or greater for approved site plan or easements

**Zoning Ordinance: Section 138-356

Non-compliance

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

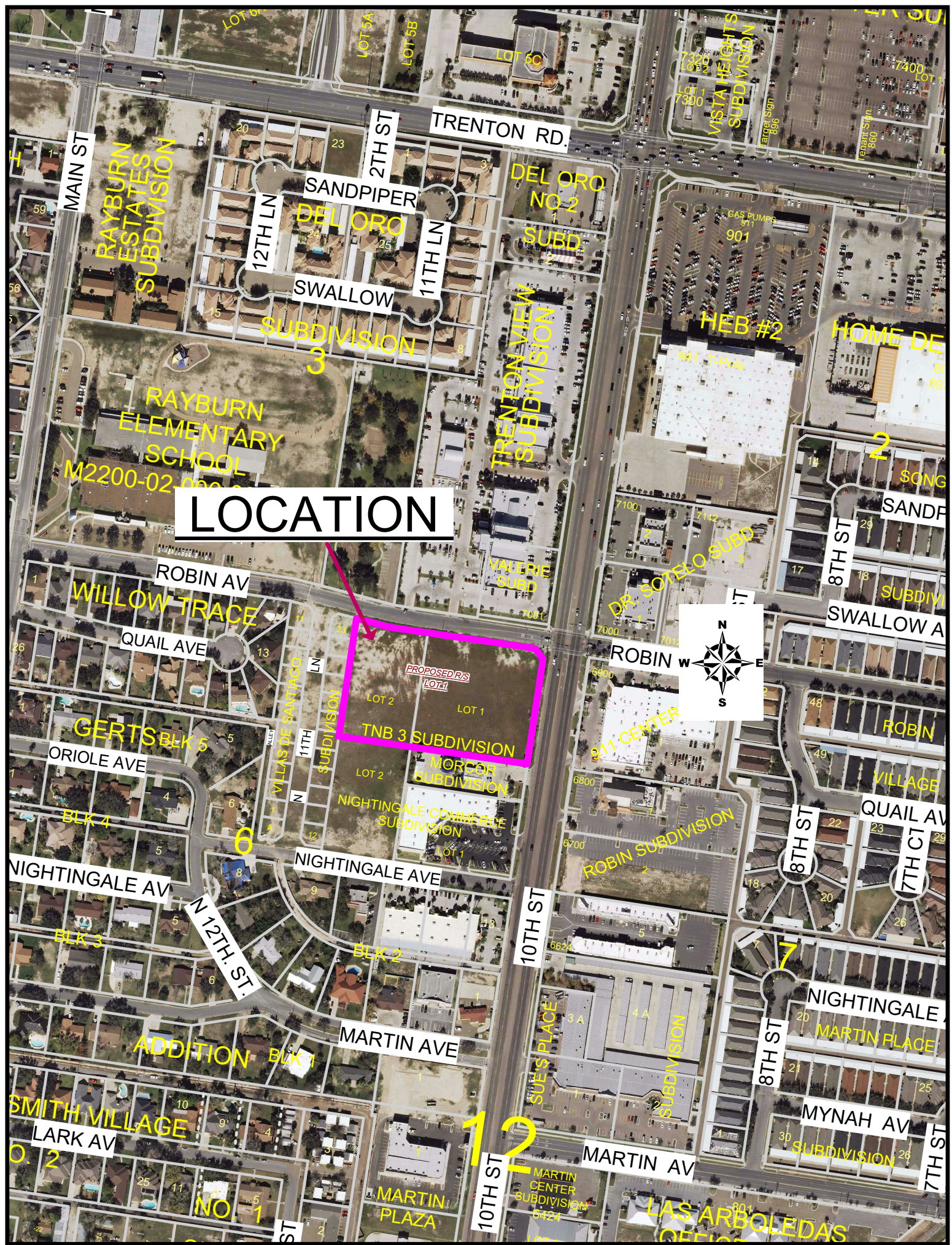
| | |
|---|----------------|
| <ul style="list-style-type: none"> * Sides: In accordance with the zoning ordinance or greater for approved site plan or easements **Zoning Ordinance: Section 138-356 * Corner Robin Avenue: 30 ft. or greater for approved site plan or easements **Vacating plat applicable if proposing to change Robin Avenue setback restriction from existing recorded plat **Zoning Ordinance: Section 138-356 * Garage **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN | Applied |
| | Non-compliance |
| | NA |
| | Applied |
| SIDEWALKS | |
| <ul style="list-style-type: none"> * 5 ft. wide minimum sidewalk required on N. 10th Street as per Engineering Department * 4 ft. wide minimum sidewalk required on Robin Avenue **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time. | Applied |
| | Applied |
| BUFFERS | |
| <ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements. | Applied |
| | Applied |
| | Applied |
| NOTES | |
| <ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Zoning Commission prior to building permit issuance. **Revise plat #11 as shown above prior to final * Common Areas, any private streets/service drive easements, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 | NA |
| | Non-compliance |
| | Required |
| | Applied |
| | NA |
| | NA |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| LOT REQUIREMENTS | |
|---|----------------|
| * Lots fronting public streets **Subdivision Ordinance: Section 134-1 | Compliance |
| * Minimum lot width and lot area **Zoning Ordinance: Section 138-356 | Compliance |
| ZONING/CUP | |
| * Existing: C-3 Proposed: C-3 ***Zoning Ordinance: Article V | Compliance |
| * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V | NA |
| PARKS | |
| * Land dedication in lieu of fee. | NA |
| * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording | NA |
| * Pending review by the Parkland Dedication Advisory Board and CC. | NA |
| TRAFFIC | |
| * As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. | Non-compliance |
| * Traffic Impact Analysis (TIA) required prior to final plat. | TBD |
| COMMENTS | |
| Comments: *Must comply with City's Access Management Policy. ***Subdiviosn name will need to be revised to TNB 3 Lot 1A prior to final ***Vacating plat applicable if any restrictions, etc. are proposed to be removed from existing recorded plat. | Applied |
| RECOMMENDATION | |
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVAL | Applied |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOCATION



SUB2021-0087



City of McAllen
Planning Department

APPLICATION FOR
SUBDIVISION PLAT REVIEW

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

| | |
|---------------------|---|
| Project Description | <p>Subdivision Name <u>Oak Valley Subdivision</u></p> <p>Location <u>Northeast Corner of Bryan Road and Mile 6 North Road</u></p> <p>City Address or Block Number <u>9600 N. BRYAN RD</u></p> <p>Number of lots <u>32</u> Gross acres <u>27.00</u> Net acres <u>25.37</u></p> <p>Existing Zoning <u>N.A.</u> Proposed <u>N.A.</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>Vacant</u> Proposed Land Use <u>Multi-Family</u> Irrigation District # <u>United Irr.</u></p> <p>Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input type="checkbox"/> ETJ Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due _____</p> <p>Parcel No. <u>318652</u> Tax Dept. Review _____</p> <p>Legal Description <u>The South 26.97 Acres (Deed 27.00 Acres) (25.37 Ac. Net) Out of Lot 45-11, West Addition to Sharyland</u></p> |
| Owner | <p>Name <u>Raymundo P. Platas / Oak Valley LLP</u> Phone <u>956 258 4656</u></p> <p>Address <u>Violet Av 4100</u></p> <p>City <u>McAllen TX</u> State <u>TX</u> Zip <u>78504</u></p> <p>E-mail <u>Theinvestmenttour@gmail.com</u></p> |
| Developer | <p>Name <u>Oak Valley LLP</u> Phone <u>956 258 4656</u></p> <p>Address <u>Violet Av. 4100</u></p> <p>City <u>Mc</u> State <u>TX</u> Zip <u>78504</u></p> <p>Contact Person <u>Raymundo P. Platas Herino</u></p> <p>E-mail _____</p> |
| Engineer | <p>Name <u>Rene Barrera, P.E.</u> Phone <u>956-687-3355</u></p> <p>Address <u>3525 W. Freddy Gonzalez Ave, Suite B2,</u></p> <p>City <u>Edinburg</u> State <u>TX</u> Zip <u>78539</u></p> <p>Contact Person <u>Rene Barrera, P.E.</u></p> <p>E-mail <u>rene@big-engineering.com</u></p> |
| Surveyor | <p>Name <u>PABLO SOTO JR., RPLS</u> Phone <u>956-460-1605</u></p> <p>Address <u>1208 SOUTH IRONWOOD</u></p> <p>City <u>PHARR</u> State <u>TX</u> Zip <u>78577</u></p> |

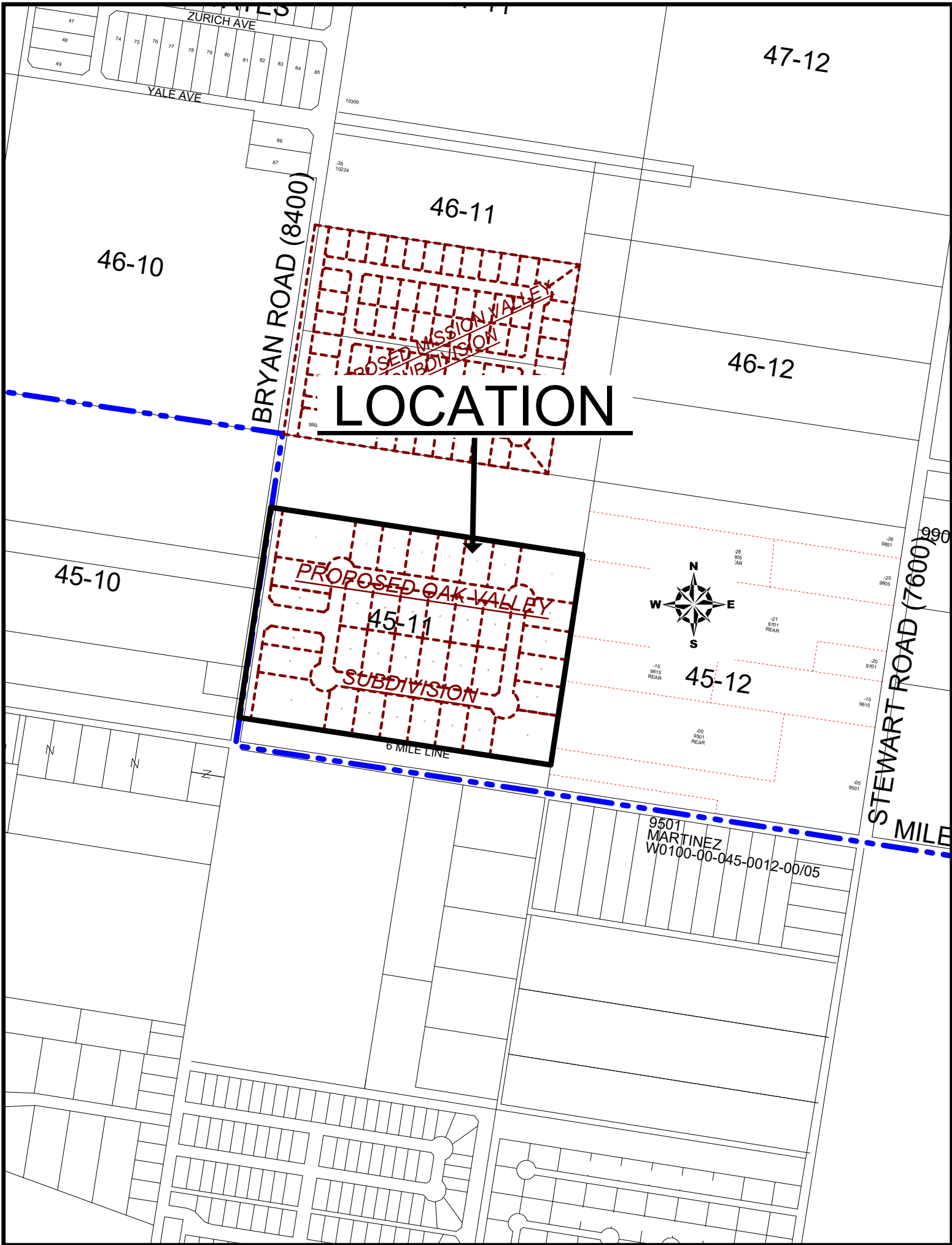
Carlos Alanis
Imperial Nurseries of TX

RPM

ENTERED

AUG 13 2021

Initial: NM



47-12

46-11

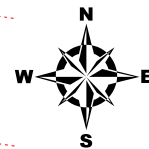
46-10

46-12

LOCATION

45-10

45-11



45-12

STEWART ROAD (7600) 990
MILE

BRYAN ROAD (8400)

PROPOSED OAK VALLEY
SUBDIVISION

6 MILE LINE

9501
MARTINEZ
W0100-00-045-0012-00/05

PLAT OF
OAK VALLEY SUBDIVISION

HIDALGO COUNTY, TEXAS

PLAT OF THE SOUTH 26.97 ACRES (DEED 27.00 ACRES) (25.95 AC. NET)
MORE OR LESS OUT OF LOT 45-11, WEST ADDITION TO SHARYLAND,
HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN
VOLUME 1, PAGE 56, H.C.M.R.

THE STATE OF TEXAS
COUNTY OF HIDALGO

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED
HEREIN AS THE OAK VALLEY SUBDIVISION, AN ADDITION TO THE CITY OF MCALLEN, AND WHOSE
NAME IS SUBSCRIBED HERETO, HEREBY GRANT AN EASEMENT TO SAID CITY AND THOSE WHO
MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE USE OF THE STREETS IS
RESTRICTED TO THE EMPLOYEES AND AGENTS OF THE CITY OF MCALLEN, EMPLOYEES OF
UTILITIES UNDER FRANCHISE TO SAID CITY AND RESIDENTS OF THE SUBDIVISION AND THEIR
GUEST. ADDITIONAL PUBLIC RIGHT FOR NORTH BRYAN ROAD IS BEING DEDICATED BY THIS
PLAT.

OWNER: OAK VALLEY, LLC.
BY: RAYMUNDO P. PLATAS
4100 VIOLET AVE.
MCALLEN, TEXAS 78504

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED
_____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS
SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE
EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY
OF _____, 20____.

NOTARY PUBLIC IN AND FOR HIDALGO COUNTY, TEXAS
EXPIRATION DATE: _____

I, THE UNDERSIGNED CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF
MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAN CONFORMS TO ALL REQUIREMENTS OF
THE SUBDIVISION OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING & ZONING COMMISSION _____ DATE _____

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION
PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN
MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN _____ DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, RENE BARRERA, P.E., A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF
TEXAS, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND
ADEQUATE ENGINEERING CONSIDERATION.

RENE BARRERA, P.E.
LICENSED PROFESSIONAL ENGINEER No. 86862

STATE OF TEXAS
COUNTY OF HIDALGO

I, PABLO SOTO JR., A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE
STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY
MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE
UNDER MY SUPERVISION ON THE GROUND.

PABLO SOTO JR., R.P.L.S.
REG. PROFESSIONAL LAND SURVEYOR #4802

I, _____ HEREBY CONDITIONALLY CERTIFY THAT POTABLE WATER
SERVICE IS AVAILABLE FOR THE OAK VALLEY SUBDIVISION LOCATED IN HIDALGO
COUNTY, TEXAS, SUBJECT TO THE SUBDIVISIONS POTABLE WATER SYSTEM MEETING
THE APPROVAL OF THE DEVELOPER'S DESIGN ENGINEER, ALL APPLICABLE RULES AND
REGULATIONS OF SHARYLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE, AND
FEDERAL AGENCIES.

DEVELOPER AND ITS DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE
THAT THE ABOVE REFERENCED POTABLE WATER SYSTEM IS CONSTRUCTED WITHIN THE
DESIGNED SHARYLAND WATER SUPPLY CORPORATION EXCLUSIVE EASEMENT.

GENERAL MANAGER _____ DATE: _____
SHARYLAND WATER SUPPLY CORP.

PRINCIPAL CONTACTS: ADDRESS CITY & ZIP PHONE FAX
OAK VALLEY LLP
C/O RAYMUNDO P. PLATAS 4100 VIOLET AVE. MCALLEN, TX 78504 956-258-4656
ENGINEER: RENE BARRERA, P.E. 3525 W. FREDDY GONZALEZ EDINBURG, TX 78539 956-687-3355 956-992-8801
SURVEYOR: PABLO SOTO JR., R.P.L.S. 1208 S. IRONWOOD PHARR, TX 78577 956-460-1605

(HIDALGO COUNTY DRAINAGE DIST. No. 1)

LOT 45-11
WEST ADDITION TO SHARYLAND
-V.1, P. 56, M.R.-

(JOSE A. SANTANA, DOC. # 879941)

SCALE: 1" = 100'

EXIST. 40' R.O.W.

30' ADDN'L. R.O.W.

LOT 45-10
WEST ADDITION TO SHARYLAND

♀ BRYAN ROAD

N 8°39' E

P.O.C. / P.O.B.
S.W. Cor.
Lot 45-11

(UNITED IRRIG. DIST. R.O.W.)

♀ MILE 6 NORTH ROAD

METES AND BOUNDS

BEING THE SOUTH 26.97 ACRES (DEED 27.00 ACRES)
(25.95 AC. NET) OUT OF LOT 45-11, WEST ADDITION TO
SHARYLAND, HIDALGO COUNTY, TEXAS, AS PER MAP OR
PLAT THEREOF RECORDED IN VOLUME 1, PAGE 56, H.C.M.R.,
AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF LOT 45-11
FOR THE POINT OF BEGINNING AND SOUTHWEST CORNER OF
THIS TRACT;

THENCE, NORTH 08 DEGREES 39 MINUTES EAST, WITH THE
WEST LINE OF LOT 391, A DISTANCE OF 890.00 FEET TO A
40-D NAIL FOUND FOR THE NORTHWEST CORNER OF THIS
TRACT;

THENCE, SOUTH 81 DEGREES 21 MINUTES EAST AT 20.00
FEET PASS A 5/8 INCH PIPE FOR THE EAST RIGHT OF WAY
LINE OF BRYAN ROAD AND CONTINUING A TOTAL DISTANCE
OF 1,320.00 FEET TO A 1/2 INCH IRON ROD FOUND AT THE
EAST LINE OF LOT 45-11 FOR THE NORTHEAST CORNER OF
THIS TRACT;

THENCE, SOUTH 08 DEGREES 39 MINUTES WEST WITH THE
EAST LINE OF LOT 45-11, A DISTANCE OF 890.00 FEET TO
A 1/2 INCH IRON ROD FOUND AT THE SOUTHEAST CORNER
OF LOT 45-11 FOR THE SOUTHEAST CORNER OF THIS
TRACT;

THENCE, NORTH 81 DEGREES 21 MINUTES WEST, WITH THE
SOUTH LINE OF LOT 45-11, AT 1,300.00 FEET PASS A 1/2
INCH IRON ROD FOUND ON THE EAST RIGHT OF WAY LINE
OF SAID BRYAN ROAD, A TOTAL DISTANCE OF 1,320.00
FEET TO THE POINT OF BEGINNING AND CONTAINING 26.97
ACRES OF LAND MORE OR LESS. (DEED 27.00 ACRES)



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

GENERAL PLAT NOTES:

- MINIMUM SETBACK LINES:
FRONT = 20' OR GREATER FOR EASEMENTS
REAR = 10' OR GREATER FOR EASEMENTS
INTERIOR SIDE = 6' OR GREATER FOR EASEMENTS
CORNER = 10' OR GREATER FOR EASEMENTS
GARAGE = 18' EXCEPT WHERE GREATER SETBACK IS REQUIRED;
GREATER SETBACK APPLIES

- FLOOD ZONE STATEMENT:
FLOOD ZONED DESIGNATION: ZONE "AE" - SPECIAL FLOOD
HAZARD AREAS INUNDATED BY 100-YEAR FLOOD WHERE BASE
FLOOD ELEVATIONS HAVE BEEN DETERMINED (BFE=153.0);
COMMUNITY PANEL NO. 480334 0295 D; EFFECTIVE: JUNE 6,
2000

- CONSTRUCTION OR RESIDENTIAL HOUSING WITHIN ANY
PORTION OF THE SUBDIVISION THAT IS IN THE 100-YEAR
FLOOD PLAIN IS PROHIBITED UNLESS THE HOUSING QUALIFIES
FOR INSURANCE UNDER THE NATIONAL FLOOD INSURANCE
ACT OF 1958 (42 U.S.C. SECTIONS 4001 - 4127)
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 153.0 FEET AS
PER F.I.R.M. BASE FLOOD ELEVATION. AN ELEVATION
CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A
DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT
PERMIT APPLICATION.

- IN ACCORDANCE WITH THE COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED
TO DETAIN A TOTAL OF _____ CF OR _____ AC-FT OF STORM RUNOFF. DRAINAGE DETENTION SHALL BE ACCOMPLISHED BY MEANS
DESCRIBED ON DRAINAGE REPORT ON _____ SHEET.
- DEVELOPER SHALL PROVIDE N ENGINEERED DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT PRIOR TO ISSUANCE OF
BUILDING PERMIT.
- UNLESS OTHERWISE NOTED ON THIS PLAT, THE LOTS ARE MONUMENTED BY 1/2 INCH WIDE BY 18" LONG IRON RODS.
- LOCAL BENCHMARK IS AN IRON ROD FOUND APPROXIMATELY 17.5 FEET NORTH OF CONCRETE RIP-RAP APPROXIMATELY 52 FEET WEST OF
BRYAN ROAD AND WEST MAIN DRAIN. ELEVATION =157.75 (FT. NGVD) ; F.I.R.M. REFERENCE MARKER: RM 5-295
- A 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL
ZONES/USES, NORTH BRYAN ROAD AND NORTH 6 MILE ROAD.
- NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG NORTH BRYAN ROAD AND NORTH 6 MILE ROAD.
- A 4.0 FOOT WIDE MINIMUM SIDEWALK IS REQUIRED ON BRYAN ROAD AND ON BOTH SIDES OF ALL INTERIOR STREETS.
- COMMON/DETENTION AREAS, ANY PRIVATE STREETS/SERVICE DRIVES, STREET ISLANDS, AND/OR GATE AREA MUST BE MAINTAINED
BY THE LOT OWNERS AND NOT THE CITY OF MCALLEN
- DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNER, THEIR SUCCESSOR AND ASSIGNS, AND NOT THE CITY OF MCALLEN, SHALL BE RESPONSIBLE
FOR COMPLIANCE OF INSTALLATION AND MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 134-168 OF THE SUBDIVISION
ORDINANCE, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND ITS PRIVATE STREETS.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENT SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, SHEDS, SHRUBS,
TREES AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER
OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- ALL SHARYLAND WATER SUPPLY CORPORATION EASEMENTS ARE EXCLUSIVE, NO OTHER USE OF EASEMENT IS PERMITTED WITHOUT THE
EXPRESS WRITTEN APPROVAL OF SHARYLAND WATER SUPPLY CORP.
- AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR OAK VALLEY SUBDIVISION RECORDED AS DOCUMENT NUMBER
_____, HIDALGO COUNTY, OFFICIAL RECORDS, DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNER, THEIR SUCCESSOR AND OR
ASSIGNS, AND NOT THE CITY OF MCALLEN SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND OR REQUIREMENTS AS PER
SECTION 134-168 OF THE CODE OF ORDINANCES OF THE CITY OF MCALLEN, INCLUDING BUT NOT LIMITED T THE COMMON AREAS AND
PRIVATE STREETS. ANY AMENDMENT TO DECLARATIONS THAT CONFLICT WITH THE REQUIREMENTS OF SECTION 134-168 SHALL BE NULL AND
VOID.

LOCATION OF SUBDIVISION :
OAK VALLEY SUBDIVISION IS LOCATED WITHIN HIDALGO COUNTY,
PRECINCT NO. 4, IN CENTRAL HIDALGO COUNTY AND IS FURTHER
LOCATED ALONG THE EAST SIDE OF BRYAN ROAD AND
APPROXIMATELY 100 FEET NORTH OF THE INTERSECTION OF BRYAN
ROAD AND MILE 6 NORTH ROAD ACCORDING TO THE OFFICIAL MAP IN
THE OFFICES OF THE SECRETARY OF THE CITY OF MCALLEN.
THE SUBDIVISION LIES WITHIN THE CITY LIMITS OF MCALLEN, TEXAS.

PREPARED BY: BARRERA INFRASTRUCTURE GROUP, INC.

DATE PREPARED: DECEMBER 30, 2021

DATE SURVEYED: AUG. 3, 2021

Curve Table

| Curve # | Length | Radius | Delta | Chord Direction | Chord Length |
|---------|--------|--------|--------|-----------------|--------------|
| C1 | 5.16 | 55.00 | 5.37 | S66° 14' 21"W | 5.15 |
| C2 | 113.97 | 55.74 | 117.16 | N51° 12' 45"W | 95.13 |
| C3 | 110.82 | 55.00 | 115.44 | N66° 22' 15"E | 93.00 |
| C4 | 56.96 | 55.00 | 59.34 | S26° 14' 14"E | 54.45 |
| C5 | 88.56 | 60.00 | 84.57 | N9° 03' 51"W | 80.74 |
| C6 | 45.80 | 60.00 | 43.73 | S56° 44' 55"E | 44.70 |
| C7 | 14.17 | 60.00 | 13.53 | S28° 06' 56"E | 14.14 |
| C8 | 48.19 | 60.00 | 46.02 | N61° 39' 27"E | 46.90 |
| C9 | 50.45 | 60.00 | 48.18 | S71° 14' 43"E | 48.98 |
| C10 | 62.46 | 60.00 | 59.64 | S38° 49' 39"W | 59.68 |
| C11 | 54.75 | 55.00 | 57.03 | N31° 57' 01"E | 52.51 |
| C12 | 123.02 | 55.00 | 128.16 | S55° 27' 21"E | 98.93 |
| C13 | 86.35 | 55.00 | 89.96 | S53° 39' 27"W | 77.75 |
| C14 | 42.73 | 60.00 | 40.80 | S30° 56' 51"E | 41.83 |
| C15 | 88.42 | 60.00 | 84.44 | S31° 40' 23"W | 80.64 |
| C16 | 37.19 | 60.00 | 35.51 | N39° 06' 17"W | 36.59 |
| C17 | 27.74 | 60.00 | 26.49 | S51° 53' 37"W | 27.49 |
| C18 | 32.23 | 60.00 | 30.78 | S80° 31' 35"W | 31.85 |
| C19 | 88.56 | 60.00 | 84.57 | N26° 21' 51"E | 80.74 |
| C20 | 61.97 | 55.00 | 64.56 | S40° 55' 45"W | 58.74 |
| C21 | 110.82 | 55.00 | 115.44 | N49° 04' 15"W | 93.00 |
| C22 | 110.03 | 55.00 | 114.62 | N65° 57' 36"E | 92.58 |

Parcel Line Table

| Line # | Length | Direction |
|--------|--------|------------------|
| L1 | 35.36 | S36° 21' 00.00"E |
| L2 | 35.36 | S53° 39' 00.00"W |
| L4 | 21.21 | N53° 39' 00.00"E |
| L5 | 21.21 | N36° 21' 00.00"W |
| L6 | 21.21 | S53° 39' 00.00"W |
| L7 | 21.21 | S36° 21' 00.00"E |
| L8 | 21.21 | S53° 39' 00.00"W |
| L9 | 21.21 | S36° 21' 00.00"E |
| L10 | 21.21 | N53° 39' 00.00"E |
| L11 | 21.21 | N36° 21' 00.00"W |
| L12 | 21.21 | N53° 39' 00.00"E |
| L13 | 21.21 | N36° 21' 00.00"W |



3525 W. Freddy Gonzalez Ave.
Suite B2
Edinburg, TX 78539
956-687-3355, FAX: 956-992-8801
TEXAS FIRM NO.: 6435



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 2/10/2022

SUBDIVISION NAME: OAK VALLEY SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

North Bryan Road: 40 ft. dedication for 60 ft. from centerline for 120 ft. of total ROW
Paving: 65 ft. Curb & gutter: Both sides
*Monies must be escrowed if improvements are not built prior to recording.
**Add "North" to all Bryan Road references prior to final.
***Clarify if "15 ft. SWSC Easement" will be abandoned or relocated since it appears that it will be encroaching into the required ROW dedication. Any abandonments must be finalized prior to final.
****Engineer submitted a is requesting a variance to allow a 30 ft. dedication instead of the required 40 ft. from for 60 ft. from centerline.
*****COM Thoroughfare Plan

Non-compliance

Entrance Street: 90 ft. ROW
Paving: 23 ft. of paving on each side of island proposed Curb & gutter: Both sides
*Monies must be escrowed if any of the improvements are pending or not accepted by City prior to recording.
**Gate details must be approved prior to final.
***Street names will be assigned prior to final.
*****Subdivision Ordinance: Section 134-105

Non-compliance

Internal Streets: 50-60 ft. ROW
Paving: 40 ft. of paving required. 20 ft. of paving on each side of islands. Curb & gutter: Both sides
*Monies must be escrowed if any of the improvements are pending or not accepted by City prior to recording.
**Street names will be assigned prior to final.
***Please provide detailed paving layout showing the paving width of the different sections throughout the subdivision prior to final to verify compliance with minimum requirements.
*****Middle E/W street is proposed with 50 ft. ROW and 43 ft. of paving face-face.
*****Cul-de-sacs streets are proposed to be 50 ft. ROW with 40 ft. paving face-face.
*****Include paving proposed for N/S street stubbed out to the south.
*****Island are still shown on paving layout. As per engineer and developer, islands will be removed to comply with paving requirements prior to final.
*****Engineer to show documents where agreement to cross 80 ft. Canal Row is recorded/approved prior to final.
*****Engineer to show who owns 80 ft. Canal ROW on plat prior to final.
*****Subdivision Ordinance: Section 134-105

Non-compliance

N/S 1/4 Mile Collector Road along east property line: 30-35 ft. dedication for 60-70 ft. of total ROW
Paving: 40-44 ft. Curb & gutter: Both sides
**Road not required due to E/W Drain Ditch located north of development.
****Subdivision Ordinance: Section 134-105

NA

* 800 ft. Block Length.
**Subdivision Ordinance: Section 134-118

Applied

Compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| | |
|---|----------------|
| <ul style="list-style-type: none"> * 600 ft. Maximum Cul-de-Sac. Show knuckles radius to make sure they comply with requirements prior to final. **Cul-de-sacs radius must be increased to comply with paving requirements and ROW required back-of-curb. 96 ft. of paving face-face required as per Fire Dept. and 10 ft. of ROW required back-of-curb along cul-de-sac perimeter. **Subdivision Ordinance: Section 134-105 | Applied |
| ALLEYS | |
| <ul style="list-style-type: none"> ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106 | NA |
| SETBACKS | |
| <ul style="list-style-type: none"> * Front: 20 ft. except 15 ft. for unenclosed carport only or greater for easements. ***Revise plat note to "20 ft. or greater for easements." ***As per engineer, plat note will be revised to comply with requirements prior to final. **Zoning Ordinance: Section 138-356 | Non-compliance |
| <ul style="list-style-type: none"> * Rear: In Accordance with the Zoning Ordinance or greater for easements. **Revise plat note as shown above prior to final. **Zoning Ordinance: Section 138-356 | Non-compliance |
| <ul style="list-style-type: none"> * Interior Sides: In Accordance with the Zoning Ordinance or greater for easements. **Revise plat note as shown above prior to final. **Zoning Ordinance: Section 138-356 | Non-compliance |
| <ul style="list-style-type: none"> * Corner: 10 ft. or greater for easements. **Zoning Ordinance: Section 138-356 | Applied |
| <ul style="list-style-type: none"> * Garage: 18 ft. except where greater setback is required; greater setback is proposed. **Zoning Ordinance: Section 138-356 | Applied |
| *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN | Applied |
| SIDEWALKS | |
| <ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on North Bryan Road, both sides of all interior streets, and any other streets that may be applicable including 6 Mile north Road. ***Subdivision Ordinance: Section 134-120 | Applied |
| * Perimeter sidewalks must be built or money escrowed if not built at this time. | Applied |
| BUFFERS | |
| <ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, North Bryan Road and North 6 Mile Road. **Landscaping Ordinance: Section 110-46 | Applied |
| <ul style="list-style-type: none"> * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Please add plat note as shown above prior to final. ***Landscaping Ordinance: Section 110-46 | Non-compliance |
| *Perimeter buffers must be built at time of Subdivision Improvements. | Applied |
| NOTES | |
| <ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along North Bryan Road and North 6 Mile Road. ***City's Access Management Policy | Applied |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| | |
|--|----------------|
| <ul style="list-style-type: none"> * Site plan must be approved by the Planning and Zoning Commission prior to building permit issuance. **This requirements might be triggered if 5 unit or more are proposed per lot. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Common/Detention Areas, any private streets/service drives, street islands, and/or gate area must be maintained by the lot owners and not the City of McAllen **Add plat note as shown above prior to final. ***Section 110-72 applies if private subdivision is proposed. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168 * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **HOA Document needs to be recorded simultaneously with plat. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 | NA |
| | NA |
| | Applied |
| | Required |
| | Required |
| LOT REQUIREMENTS | |
| <ul style="list-style-type: none"> Minimum lot width and lot area. ***Zoning Ordinance: 138-1 * Lots fronting public streets. **Zoning Ordinance: Section. 138-356 | Compliance |
| | Compliance |
| ZONING/CUP | |
| <ul style="list-style-type: none"> * Existing: R-3A Proposed: R-3A **Annexation and initial zoning approved at City Commission meeting of November 22, 2021. **Zoning Ordinance: Article V * Rezoning Needed Before Final Approval **Annexation and initial zoning approved at City Commission meeting of November 22, 2021. **Zoning Ordinance: Article V | Completed |
| | Completed |
| PARKS | |
| <ul style="list-style-type: none"> * Land dedication in lieu of fee. Parks Dept. requirements waived as part of annexation incentives. * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Parks Dept. requirements waived as part of annexation incentives. * Pending review by the Parkland Dedication Advisory Board and CC. Parks Dept. requirements waived as part of annexation incentives. | NA |
| | NA |
| | NA |
| TRAFFIC | |
| <ul style="list-style-type: none"> * As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. * As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. | Non-compliance |
| | TBD |

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

| COMMENTS | |
|--|---------|
| <p>Comments: Must comply with Access Management Policy **Gate details must be approved prior to final. ***Street names will be assigned prior to final. *****Engineer to show documents where agreement to cross 80 ft. Canal Row is recorded/approved prior to final. *****Engineer to show who owns 80 ft. Canal ROW on plat prior to final. **Annexation and initial zoning approved at City Commission meeting of November 22, 2021. *****Subdivision tabled at P&Z meeting of February 1, 2022 pending clarification on requested variance.</p> | Applied |
| RECOMMENDATION | |
| Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, DRAINAGE AND UTILITIES APPROVALS, AND CLARIFICATION ON REQUESTED VARIANCE. | Applied |

ESTATES

ZURICH AVE

YALE AVE

BRYAN ROAD (8400)

47-11

47-12

46-10

46-11

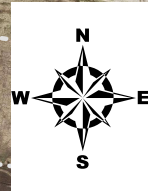
46-12

LOCATION

45-10

45-11

45-12



STEWART ROAD (7600)

MIL

PROPOSED OAK VALLEY

SUBDIVISION

5 MILE LINE

9501 MARTINEZ
WQ100-00-045-0012-00/05

[illegible][illegible]







PLANNING DEPARTMENT

311 N 15th Street McAllen, TX 78501
Phone: 956-681-1250 Fax: 956-681-1279



2022 CALENDAR

Meetings:

-  City Commission
-  Public Utility Board
-  Planning & Zoning Board
-  Zoning Board of Adjustment

HPC - Historic Preservation Council

Deadlines:

D- Zoning/CUP Application N - Public Notification

* **Holiday** - Office is closed

JANUARY 2022

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|---------------|-----|------------------------------|-----|-----|-----|
| | | | | | | 1 |
| 2 | 3 | 4 | 5 | 6 | 7 | 8 |
| | A-1/18 & 1/19 | | N-1/18 & 1/19 D-2/1 & 2/2 | | | |
| 9 | 10 | 11 | 12 | 13 | 14 | 15 |
| | | | | | | |
| 16 | 17 | 18 | 19 | 20 | 21 | 22 |
| | A-2/1 & 2/2 | | N-2/1 & 2/2 D-2/16 & 2/17 | | | |
| 23 | 24 | 25 | 26 | 27 | 28 | 29 |
| | | | HPC | | | |
| 30 | 31 | | | | | |
| | A-2/16 & 2/17 | | | | | |

FEBRUARY 2022

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|---------------|-----|---------------------------------|-----|-----|-----|
| | | 1 | 2 | 3 | 4 | 5 |
| | | | N- 2/16 & 2/17 D- 3/28 & 3/3 | | | |
| 6 | 7 | 8 | 9 | 10 | 11 | 12 |
| | | | | | | |
| 13 | 14 | 15 | 16 | 17 | 18 | 19 |
| | A-3/2 & 3/3 | | N-3/2 & 3/3 D-3/16 & 3/17 | | | |
| 20 | 21 | 22 | 23 | 24 | 25 | 26 |
| | | | | HPC | | |
| 27 | 28 | | | | | |
| | A-3/16 & 3/17 | | | | | |

MARCH 2022

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|-------------|-----|--------------------------------|-----|-----|-----|
| | | 1 | 2 | 3 | 4 | 5 |
| | | | N-3/16 & 3/17 D - 4/5 & 4/6 | | | |
| 6 | 7 | 8 | 9 | 10 | 11 | 12 |
| | | | | | | |
| 13 | 14 | 15 | 16 | 17 | 18 | 19 |
| | | | D-4/19 & 4/20 | | | |
| 20 | 21 | 22 | 23 | 24 | 25 | 26 |
| | A-4/5 & 4/6 | | N-4/5 & 4/6 | | | |
| 27 | 28 | 29 | 30 | 31 | | |
| | | | HPC | | | |

APRIL 2022

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|---------------|-----|-------------------------------|-----|---------|-----|
| | | | | | 1 | 2 |
| | | | | | | |
| 3 | 4 | 5 | 6 | 7 | 8 | 9 |
| | A-4/19 & 4/20 | | N-4/19 & 4/20 D-5/3 & 5/4 | | | |
| 10 | 11 | 12 | 13 | 14 | 15 | 16 |
| | | | | | HOLIDAY | |
| 17 | 18 | 19 | 20 | 21 | 22 | 23 |
| | A- 5/3 & 5/4 | | N- 5/3 & 5/4 D-5/17 & 5/18 | | | |
| 24 | 25 | 26 | 27 | 28 | 29 | 30 |
| | | | HPC | | | |

MAY 2022

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|----------------|-----|-------------------------------|-----|------------|-----|
| | | | | | | |
| 1 | 2 | 3 | 4 | 5 | 6 | 7 |
| | A- 5/17 & 5/18 | | D: 6/1 & 6/7 N-5/17 & 5/18 | | | |
| 8 | 9 | 10 | 11 | 12 | 13 | 14 |
| | | | | | | |
| 15 | 16 | 17 | 18 | 19 | 20 | 21 |
| | A-6/1 ZBA | | N-6/1 ZBA D-6/15 & 6/21 | | | |
| 22 | 23 | 24 | 25 | 26 | 27 | 28 |
| | A-6/7 PZ | | HPC | | A-6/15 ZBA | |
| 29 | 30 | 31 | | | | |
| | HOLIDAY | | N-6/7 PZ | | | |





JUNE 2022

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|-------------|-----|---------------------------|-----|-----|-----|
| | | | 1 | 2 | 3 | 4 |
| | | | N-6/15 ZBA D-7/6 & 7/7 | | | |
| 5 | 6 | 7 | 8 | 9 | 10 | 11 |
| | A-6/21 P&Z | | N-6/21 P&Z | | | |
| 12 | 13 | 14 | 15 | 16 | 17 | 18 |
| | | | D-7/19 & 7/20 | | | |
| 19 | 20 | 21 | 22 | 23 | 24 | 25 |
| | A-7/6 & 7/7 | | N-7/6 & 7/7 | | | |
| 26 | 27 | 28 | 29 | 30 | | |
| | | | HPC | | | |

Deadlines and Meeting Dates are subject to change at any time. Please contact the Planning Department at (956) 681-1250 if you have any questions.

2022 CALENDAR

Meetings:





-  City Commission
-  Planning & Zoning Board
-  Public Utility Board
-  Zoning Board of Adjustment
- HPC - Historic Pres Council

Deadlines:






- D- Zoning/CUP Application
- N - Public Notification

* **Holiday** - Office is closed





JULY 2022

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|---|---|------------------------------------|-----|---------------|-----|
| | | | | | 1 | 2 |
| | | | | | A-7/19 & 7/20 | |
| 3 | 4 HOLIDAY | 5 | 6 N-7/19 & 7/20 D-8/2 & 8/3 | 7 | 8 | 9 |
| 10 | 11  | 12  | 13 | 14 | 15 | 16 |
| 17 | 18 A-8/2 & 8/3 | 19 | 20 N-8/2 & 8/3 D-8/16 & 8/17 | 21 | 22 | 23 |
| 24 | 25  | 26  | 27 HPC | 28 | 29 | 30 |
| 31 | | | | | | |






AUGUST 2022

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|--|---|------------------------------------|---------------|-----|-----|
| | 1 | 2 | 3 N- 8/16 & 8/17 D-9/7 & 9/8 | 4 | 5 | 6 |
| | A- 8/16 & 8/17 |  | | | | |
| 7 | 8  | 9  | 10 | 11 | 12 | 13 |
| 14 | 15 | 16 | 17 D-9/20 & 9/21 | 18 | 19 | 20 |
| 21 | 22  | 23  | 24 N-9/7 & 9/8 | 25 HPC | 26 | 27 |
| 28 | 29 | 30 | 31 | | | |





SEPTEMBER 2022

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|---|---|--|-----|-----------------|-----|
| | | | | 1 | 2 | 3 |
| | | | | | A-10/20 & 10/21 | |
| 4 | 5 HOLIDAY | 6 | 7 N-9/20 & 9/21 D-10/4 & 10/5 | 8 | 9 | 10 |
| 11 | 12  | 13  | 14 | 15 | 16 | 17 |
| 18 | 19 A-10/4 & 10/5 | 20 | 21 D-10/18 & 10/19 N-10/4 & 10/5 | 22 | 23 | 24 |
| 25 | 26  | 27  | 28 HPC | 29 | 30 | |




OCTOBER 2022

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|--|---|---|-----|-----|-----|
| | | | | | | 1 |
| | | | | | | |
| 2 | 3 | 4 | 5 N-10/18 & 10/19 D-11/1 & 11/2 | 6 | 7 | 8 |
| | A-10/18 & 10/19 |  | | | | |
| 9 | 10  | 11  | 12 | 13 | 14 | 15 |
| 16 | 17 A- 11/1 & 11/2 | 18 | 19 N- 11/1 & 11/2 D-11/16 & 11/17 | 20 | 21 | 22 |
| 23 | 24  | 25  | 26 HPC | 27 | 28 | 29 |
| 30 | 31 A-11/16 & 11/17 | | | | | |

NOVEMBER 2022

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|---|---|---------------------------------------|----------------------|-----|-----|
| | | 1 | 2 N-11/16 & 11/17 D-12/6 & 12/7 | 3 | 4 | 5 |
| | | | | | | |
| 6 | 7 | 8 | 9 | 10 | 11 | 12 |
| 13 | 14  | 15  | 16 D-12/20 & 12/21 | 17 | 18 | 19 |
| 20 | 21 A-12/6 & 12/7 | 22 | 23 N-12/6 & 12/7 | 24 HOLIDAY | 25 | 26 |
| 27 | 28  | 29  | 30 | | | |

DECEMBER 2022

| Sun | Mon | Tue | Wed | Thu | Fri | Sat |
|-----|--|---|---|-----|----------------------|-----|
| | | | | 1 | 2 | 3 |
| | | | | | | |
| 4 | 5 | 6 | 7 HPC D-1/3 & 1/4 N- 12/20 & 12/21 | 8 | 9 | 10 |
| | A-12/20 & 12/21 |  | | | | |
| 11 | 12  | 13  | 14 | 15 | 16 | 17 |
| 18 | 19 A- 1/3 & 1/4 | 20 | 21 D-1/17 & 1/18 N- 1/3 & 1/4 | 22 | 23 HOLIDAY | 24 |
| 25 | 26 HOLIDAY | 27 | 28 | 29 | 30 | 31 |