

AMENDED AGENDA

PLANNING & ZONING COMMISSION REGULAR MEETING TUESDAY, FEBRUARY 3, 2026 - 3:30 PM MCALLEN CITY HALL, 1300 HOUSTON AVENUE CITY COMMISSION CHAMBERS, 3RD FLOOR

At any time during the course of this meeting, the Planning & Zoning Board may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code

CALL TO ORDER -

PLEDGE OF ALLEGIANCE -

INVOCATION -

1) MINUTES:

- a) Approval of January 6, 2026 meeting minutes.

2) PUBLIC HEARING

- a) ROUTINE ITEMS CITY INITIATED REZONINGS: *(All Rezoning listed under this section come with a favorable recommendation from Planning & Zoning Staff and will be enacted by one motion. However, if there is opposition at the meeting or a discussion is desired, that item(s) will be removed from the Routine Items section of the agenda and will be considered separately.)*

Rezoning from C-3 (General Business-OC) and R-2 (Duplex-Fourplex-OC) District under the Old Code (OC) to C-2 (Regional Commercial -UDC) District under the new Unified Development Code (UDC) for the following properties:

1. CASE REZ2025-0257:

Main Place Lot 5 and Quincy Lots 1-4, Hidalgo County, Texas

1501-1613 Expressway 83

Quincy Lots 6-7, Hidalgo County, Texas

1701-1705 Expressway 83

Valram Heights Lots 1A-2B, Hidalgo County, Texas and (PID: 211089)

2601-2901 Expressway 83

Tex-Mex Ut. No. 2 Lots 2-3, O'Neall Lot 1, Hidalgo County, Texas and (PID: 211078, 211081, 211079, 195365)

3317-3621 Expressway 83

Tex-Mex Ut. No. 2 Lot 1, Hidalgo County, Texas and (PID: 211084)

3100-3212 Colbath Avenue

Speedy Stop Lot A, Hidalgo County, Texas and (PID: 230736, 230735)

1600-1606 South 23rd Street

Velez Lot 1, Hidalgo County, Texas

1713 Quebec Avenue

Quincy Lot 18, Hidalgo County, Texas

1600 Richmond Avenue

Quincy Lots 12-15, Hidalgo County, Texas
1612-1704 Richmond Avenue
Main Place Lot 4, and South Main Street Block 1 Lot 9, Hidalgo County, Texas
1400-1405 Savannah Avenue
South Main Street Block 4 Lots 1-2, Hidalgo County, Texas
1717-1721 Savannah Avenue
South Main Street Block 2 Lots 8-10, Hidalgo County, Texas
1401-1409 Toronto Avenue
Jones Lot 1
1821 South Bicentennial Boulevard
Main Place Lots 2-3 and Common Area, Hidalgo County, Texas
1800-1812 South 16th Street
Main Place Lot 1, and South Main Street Block 1 Lots 10-12, Hidalgo County, Texas
1800-1916 South Main Street
Quincy Lot 5, Hidalgo County, Texas
1617 Expressway 83

2. Rezoning from C-1 (Office Building Office-OC) District under the Old Code (OC) to C-1 (Local Commercial-UDC) District under the new Unified Development Code (UDC) for the following properties:

CASE REZ2025-0259:

David Farb Subdivision Lot A, Hidalgo County, Texas
101 Expressway 83
Tavarez Medical Center Subdivision Lot 1, Hidalgo County, Texas
100 Ridge Road
Ridgeview Place Unit No. 1 Lots 1-4, Hidalgo County, Texas
1901 - 1913 South 1st Street
Ridgeview Place Unit No. 1 Lots 5 & 6, Hidalgo County, Texas
105 - 109 East Toronto Avenue
Ridgeview Place Unit No. 1 Lots 7A & 8A, Hidalgo County, Texas
201 - 205 East Toronto Avenue
Medical Estates Unit No. 2 Lot 1, Hidalgo County, Texas
110 East Savannah Avenue
Medical Estates Unit No. 1 Lot 1, Hidalgo County, Texas
222 East Ridge Avenue
HCA Rio Grande Regional Subdivision Lots 1 & 2 Hidalgo County, Texas
1801 - 1809 South Cynthia Street
1901 South Cynthia Street (Prop ID: 513301)
Med Plex South Subdivision Lots A, B & C, Hidalgo County, Texas
1913 - 2101 South Cynthia Street
500 East Ridge Rd (Prop ID: 552572)
Medcath Subdivision Lot A Hidalgo County, Texas
1900 South D Street
Timberwalk Subdivision Lot 1, Hidalgo County, Texas
510 East Ridge Rd
Timberwalk Subdivision No. 2 Lot A, Hidalgo County, Texas
1817 South D Street
Timberwalk Subdivision No.3 Lot 1, Hidalgo County, Texas
1901 South D Street

Ridgeview Place Unit No. 3 Lot 2, Hidalgo County, Texas
2010 South Cynthia Street

3. CASE REZ2025-0260:

South Main Street Subdivision Lots 3-4, Block 4, Hidalgo County, Texas
1711-1715 Savannah Avenue

4. Rezoning from R-1 (Single Family Residential-OC) District under the Old Code (OC) to R-1 (Low Density Residential-UDC) District under the new Unified Development Code (UDC) for the following properties:

CASE REZ2025-0261:

South Main Street Subdivision Lots 1-8, Block 1, Hidalgo County, Texas
1409-1517 Savannah Avenue

South Main Street Subdivision Lots 13-20, Block 1, and Lots 1-7, Block 2, Hidalgo County, Texas

1408-1517 Toronto Avenue

South Main Street Subdivision Lots 5-13, Block 4, Hidalgo County, Texas

1601-1705 Savannah Avenue

South Main Street Subdivision Lots 14-26, Block 4, and Lots 1-13, Block 3, Hidalgo County, Texas

1600-1721 Toronto Avenue

5. Rezoning from R-2 (Duplex Fourplex Residential-OC) District under the Old Code (OC) to R-2 (Medium Density Residential-UDC) District under the new Unified Development Code (UDC) for the following properties:

CASE REZ2025-0258:

Quincy Subdivision Lots 16-17, Hidalgo County, Texas
1604 & 1608 Richmond Avenue

6. Rezoning from C-4 (Commercial Industrial-OC) District under the Old Code (OC) to C-2 (Regional Commercial -UDC) District under the new Unified Development Code (UDC) for the following properties:

CASE REZ2026-0002:

Judco No. 2 Subdivision Lots 1-2, Hidalgo County, Texas

3025 Expressway 83

3101 Expressway 83

Foodmaker Subdivision Lot A, Hidalgo County, Texas

1601 South 23rd Street

1605 South 23rd Street (PID: 185472)

Martinez Subdivision Lot 1, Hidalgo County, Texas

1609 South 23rd Street

D. Castilla Subdivision Lot 1, Hidalgo County, Texas

1809 South 23rd Street

Martinez Subdivision Unit 2 Lot 1, Hidalgo County, Texas
1900 South 23rd Street
2900 Colbath Road (PID: 211087)

7. Rezoning from C-4 (Commercial Industrial-OC) District under the Old Code (OC) to I-1 (Light Industrial-UDC) District under the new Unified Development Code (UDC) for the following properties:

CASE REZ2026-0001:

3001 Expressway 83 (PID: 531528)

b) REZONING:

1. Rezone from I-1 (Light Industrial-OC) District to A-O (Agricultural and Open Space-UDC) District: 10.94 Acres out of Lot 1, Section, 3, Hidalgo Canal Company's Subdivision, Hidalgo County, Texas; 7401 South 10th Street Rear 5. **(REZ2025-0270)**
2. Rezone from R-1 (Single-Family Residential-OC) District to R-1 (Low-Density Residential-UDC) District: Lot 9, Hackberry Terrace Subdivision, Hidalgo County, Texas; 220 Hackberry Avenue **(REZ2025-0275)**

c) CONDITIONAL USE PERMITS:

1. Request of Muhammad Akhtar on behalf of MFLP Properties for a Conditional Use Permit, for one year, and adoption of an ordinance, for a Vape Shop (Vape Time McAllen, LLC.) at Lot A, Tiffany Plaza Subdivision, Hidalgo County, Texas; 1001 South 10th Street Suite Q **(CUP2025-0131)**

d) SUBDIVISION:

1. THE HILLS AT SHARYLAND LOT 20A & 21A SUBDIVISION, 9306 N. 56TH LN ALDAPE DEVELOPMENT, LLC., **(SUB2024-0092) (FINAL) MAS**

3) CONSENT:

- a) CXL ACRES SUBDIVISION, 11624 N. 29TH ST., CESAR XAVIER LEAL, **(SUB2025-0078) (FINAL) SEA**
- b) THE SHOPPES ON 2ND SUBDIVISION, 120 TRENTON ROAD, A.I.M.Z DEVELOPMENT, LLC **(SUB2025-0110) (FINAL) M&H**

4) SUBDIVISIONS:

- a) ARBOLERA ON MONTECRISTO SUBDIVISION, 1601 MONTE CRISTO RD., 2A INVESTMENT GROUP, LLC, **(SUB2026-0003) (PRELIMINARY) M2E**
- b) J&A RANCH SUBDIVISION, 11601 N BRYAN RD, JORGE ALBERTO DE HOYOS & ANITA MORENO, **(SUB2026-0005) (PRELIMINARY) S2E**

- c) JANICE AT SYCAMORE TERRACE, 1107 TAMARACK AVE., SAMUEL F. VALE, (SUB2026-0004) (PRELIMINARY) SPEC
- d) THE TREE HOUSE SUBDIVISION, 801 S TAYLOR RD, GURA LIVING COMMUNITIES, LLC, (SUB2026-0011) (PRELIMINARY) ACHCE
- e) EBONY STREET ADDITION LOT 2A & 2B, BLOCK 1 SUBDIVISION, 506 N 6TH ST, FAITH DEVELOPMENT LEASING, LLC, (SUB2025-0135) (REVISED PRELIMINARY) STIG
- f) MCALLEN O.T. LOTS 1A & 2A, BLOCK 58 SUBDIVISION, 1619 GALVESTON AVE, MARC & ANGELA MILLIS, (SUB2025-0131) (REVISED PRELIMINARY) **TABLED ON (1/21/2026)**
- g) AMISTAD MCALLEN SUBDIVISION, 4120 N. TAYLOR RD., AMISTAD MCALLEN, (SUB2025-0013) (REVISED PRELIMINARY) TC
- h) ZUMA SUBDIVISION, 11001 N. BENTSEN PALM DR., ZUMA DEVELOPMENT CO., LLC, (SUB2025-0107) (REVISED PRELIMINARY) CHLH
- i) VICTORIA ACRES SUBDIVISION, 13424 N. 29TH ST., ADRIANA REGALADO, (SUB2025-0096) (REVISED PRELIMINARY) SAMES
- j) PREMIER ESTATES, 4232 S. WARE RD, PREMIER ASSET HOLDINGS, LLC, (SUB2025-0168) (REVISED PRELIMINARY) SEA
- k) WARE HOTEL GROUP, LP, 401 S. WARE RD., WARE HOTEL GROUP, LP, (SUB2024-0019) (REVISED FINAL) M&H

5) DISCUSSION:

6) INFORMATION ONLY:

ADJOURNMENT:

IF ANY ACCOMMODATIONS FOR A DISABILITY ARE REQUIRED, PLEASE NOTIFY THE PLANNING DEPARTMENT (681-1250) 72 HOURS BEFORE THE MEETING DATE. WITH REGARD TO ANY ITEM, THE PLANNING & ZONING COMMISSION MAY TAKE VARIOUS ACTIONS, INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR PARTICULAR ACTION AT A FUTURE DATE.

STATE OF TEXAS
COUNTY OF HIDALGO
CITY OF McALLEN

The McAllen Planning and Zoning Commission convened in a Regular Meeting on Tuesday, December 2, 2025 at 3:30p.m.at the McAllen City Hall, 3rd Floor Commission Chambers Room,1300 Houston Avenue, McAllen, Texas.

Present:	Emilio Santos Jr. Jesse Ozuna Raul Sesin Jose Caso	Member Member Member Member
Absent:	Marco Suarez Gabriel Kamel Reza Badiozzamani	Chairperson Vice Chairperson Member
Staff Present:	Martin Canales Omar Sotelo Eduardo Garza Kaveh Forghanparast Julio Constantino Natalie Moreno Marcos Johnson Samantha Trevino Porfirio Hernandez Even Gonzalez Miguel Hernandez Carmen White Ofelia Camacho	Assistant City Attorney III Planning Director Development Coordinator Senior Planner Planner III Planner III Planner III Planner II Planner II Development Engineer Planner Technician I Administrative Assistant Administrative Assistant

CALL TO ORDER – 3:33 pm Mr. Emilio Santos Jr., Member

PLEDGE OF ALLEGIANCE

INVOCATION. Mr. Jesse Ozuna

1) MINUTES:

- a) Approval of the minutes for September 24, 2025 meeting minutes
- b) Approval of the minutes for October 21, 2025 meeting minutes

Being no discussion, Mr. Jesse Ozuna motioned to approve September 24,2025 minutes. Chairperson Mr. Jose Caso second the motion with four members present and voting.

Being no discussion, Mr. Jesse Ozuna motioned to approve October 21, 2025 minutes. Chairperson Mr. Raul Sesin second the motion with four members present and voting.

2) PUBLIC HEARING:

a) REZONING:

- 1. Rezone from C-3 (general Business-OC) district to C-2 (Regional Commercial-UDC) district: 21,027 sq. Ft. Tract of Land out of the Missouri Pacific railroad

company Right-of-Way out of Hidalgo Canal Company Subdivision, Hidalgo County, Texas, 1001 Ash Avenue **(REZ2025-0264)**

Ms. Samantha Trevino stated that the subject property is The subject property is located on the south side of Ash Avenue between North 10th Street and north 11th street and is currently zoned C-3 (General Business-OC) District. The applicant is requesting to rezone the property to C-2 (Regional Commercial-UDC) District for an existing food truck park.

The adjacent properties are C-3 (General Business-OC) District in all directions.

Surrounding land uses include, commercial uses in all directions.

The Envision McAllen Future Land Use Plan designates the future land use for these properties as Old Towne. These areas are primarily residential, commercial, business and office uses that occur just north of the Downtown Core and is intended as a lower-intensity area that compliments Downtown activity.

The development trend of this area is primarily commercial use.

The requested zoning conforms to the future land use designation as shown on the Envision McAllen Future Land Use Plan.

Any future constructions must comply with all development and conditional use permit requirements where applicable under the UDC.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

Staff recommends approval of the rezoning request to C-2 (Regional Commercial-UDC) District.

Board member Emilio Santos Jr. asked if there was anyone present in opposition of the proposed rezoning request.

Being no discussion, Mr. Jesse Ozuna moved to approve the rezoning request. Mr. Raul Sesin second the motion with four members present and voting.

2. Rezone from C-3 (General Business-OC) District to R-2 (Medium Density Residential-UDC) District: Lot 7, Block 1, Rio Grande Securities Co. Inc Subdivision no. 3, Hidalgo County, Texas; 822 Chicago Avenue. **(REZ2025-0265)**

Ms. Samantha Trevino stated that the subject property is The subject property is located on the north side of Chicago Avenue, and is currently zoned C-3 (General Business-OC) District

The applicant is requesting to rezone the property to R-2 (Medium Density Residential-UDC) District in order to construct a tri-plex.

The adjacent zoning is C-3 (General Business-OC) District to the south, west and north, and R-1 (Single Family Residential -OC) to the north and east.

The property is currently vacant. Surrounding land uses include single-family dwellings and retail business.

The Envision McAllen Future Land Use Plan designates the future land use for this property as Complete Communities, which is a land use designation primarily for single-family residential use. Other appropriate land uses include townhouses, multifamily dwellings of no more than four units, government buildings, and office uses for adjacent residential properties.

The development trend of this area along Chicago Avenue is general business and single-family residential development.

The tract was zoned C-3 (General Business-OC) District under the comprehensive zoning in 1979. The current rezoning application was submitted on November 3rd, 2025.

The requested zoning conforms to the future land use designation as shown on the Envision McAllen Future Land Use Plan. It also follows the development trend in this area.

If the zoning change is approved, any future development must comply with requirements and conditions of the zoning district in which it is located. Based on Hidalgo County Appraisal District Information, the lot size is 6,874 square feet. UDC requires a minimum of 9,000 square feet for a triplex in an R-2 zone. If the rezoning is approved, a duplex could be built on the subject property, subject to compliance with all code requirements.

Staff has received two phone calls in opposition to the rezoning request. The oppositions were concerned about possible noise at night in higher density housing developments.

Staff recommends approval of the rezoning request to R-2 (Medium Density Residential-UDC) District since the rezoning request conforms to the future land use and follows the development trend in this area.

Board member Emilio Santos asked if there was anyone present in opposition of the proposed rezoning request. There was none.

Mr. Raul Sesin questioned the trend regarding the rezoning duplex trend if there was any near the area. Mr. Kaveh Forghanparast senior planner made the clarifications on rezoning questions.

After brief discussion, Mr. Raul Sesin moved to approve the rezoning request. Mr. Jose Caso second the motion with four members present and voting.

b) CONDITIONAL USE PERMITS:

1. Request of Daniel Sanchez on behalf of forged by Faith Church, for a Conditional Use Permit, for one year, for an Institutional use (Church) at Lot 1A, Pecan Commercial Park Subdivision, Hidalgo County, Texas; 1613 pecan boulevard. **(CUP2025-0105)**

Mr. Porfirio Hernandez stated that the subject property is located on the south side of Pecan Boulevard west of North 16th Street and is zoned C-3 (General Business-OC) District. The adjacent zoning is C-3 (General Business-OC) District to the east and west, C-1 (Office Building-OC) District to the north, and R-3A (Multifamily Residential Apartment-OC) District to the east and south. Surrounding land uses

include commercial, apartments, and vacant land. A church is allowed in a C-3 District with a conditional Use Permit and in compliance with requirements.

Pecan Commercial Park Subdivision was recorded on February 27, 1996. This is the initial request for an institutional use at this location.

The applicant is proposing to operate a church at this location. Based on the proposed 20 seats in the assembly room, 5 parking spaces are requiring and 20 spaces are provided. The hours of service will be 7 p.m. on Thursdays and 10 a.m. – 12 p.m. on Sundays.

The Fire Department has allowed applicant to continue with CUP process. The proposed use must also meet the requirements set forth in Section 138-118 of the Zoning Ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial; The property will have access to Pecan Boulevard.
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking, especially in residential areas; 5 parking spaces are required and 20 spaces are provided.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits.
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the building shall be restricted to those allowed by the Fire Marshal and Building Official at the time of permit issuance;
- 7) Sides adjacent to residentially zoned or used properties shall be screened by a 6 ft. opaque fence.

Staff has not received any phone calls, emails or letters in oppositions to this request.

Staff recommends approval of the request for one-year subject to compliance with Section 138-118 of the Zoning Ordinance, Building and Fire Department requirements.

Board member Mr. Emilio Santos Jr. asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Board member Mr. Jose Caso had questions regarding nearby businesses.

After a brief discussion, Mr. Jose Caso moved to approve. Mr. Jesse Ozuna second the motion with four members present and voting.

2. Request of Robert Wilson for a conditional use permit, for one year, and adoption of an ordinance, for a bar/ billiards at Lot A-1, Nolana Tower Subdivision, Hidalgo County, Texas; 400 Nolana Avenue, Suite G **(CUP2025-0106)**

Mr. Porfirio Hernandez stated that the subject property the property is located at the northeast corner of Nolana Avenue and North 6th Street and is zoned C-3 (general business-OC) District. The adjacent zoning is C-1 (office building-OC) District to the north, C-3 District to the south, east and west, R-1 (single family residential-OC) District to the east and A-O (agricultural and open space-OC) District to the west. Surrounding land uses include commercial businesses, offices, restaurants, single and multifamily residences, vacant land, and a water tower. A bar is allowed in a C-3 District with a Conditional Use Permit and in compliance with requirements.

The conditional use permit for this establishment has been periodically renewed over the years. The most recent renewal granted with a variance to the distance requirement was approved by the City Commission for a one-year term on November 11, 2024. The current application to renew the conditional use permit was submitted on October 28, 2025.

The applicant is proposing to continue to operate a bar/billiards hall under the name of Eddy's Tavern from the existing 14,891 sq. ft. lease space within the shopping center. The hours of operation will continue to be from 11:00 a.m. to 2:00 a.m. Monday thru Saturday and from 12:00 p.m. to 2:00 a.m. on Sundays

A police activity report has been requested and is still pending. Fire and Health Department have inspected the establishment and allowed the CUP process to continue. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

a) The property line of the lot of the above-mentioned business must be at least 400 ft. from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00

p.m. The proposed establishment is within 400 ft. of residential zones and uses, and a water tower owned by the city;

b) The abovementioned business must be as close as possible to a major arterial, and shall not allow the traffic generated by such business onto residential streets, or allow such traffic to exit into and disrupt residential areas. The property has direct access to Nolana Avenue, North 4th Street, and North 6th Street. The existing gates on North 4th Street need to be closed as required by other Conditional Use Permits issued in this commercial plaza;

c) The abovementioned business must provide parking in accordance with the city off- street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. Currently there is a multi-tenant commercial building on the property. The shopping center consists of various uses including office, retail, vacant suites, restaurants, a children's event center, and bars. The proposed 14,891 sq. ft. bar/billiards hall requires 149 parking spaces; 729 parking spaces are provided on the common parking area in the front and rear of the building. As per section 138-400(a) of the Off-Street Parking and Loading requirements, all off-street parking must be clearly striped and free of potholes;

d) The abovementioned business must do everything possible to prevent the unauthorized parking by the patrons of such business on adjacent businesses or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances;

e) The abovementioned business should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility as much as possible of the site from a public street;

f) The abovementioned business must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties;

g) The abovementioned business shall restrict the number of persons within the building to those allowed by the Chief Building Official and Fire Marshal. The occupancy load will be established by the Building Inspections Department as part of the building permit review process.

Staff recommends disapproval of the request based on noncompliance with requirement of distance to a residence or residentially zoned property of Section 138-118(4) of the Zoning Ordinance

Board member Mr. Emilio Santos Jr. asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Board member Mr. Jose Caso question if there was law enforcement activity report he then moved to disapproved with favorable recommendation the conditional use permit request. Mr. Raul Sesin second the motion with four members present and voting.

c) SUBDIVISIONS:

1. CASA CORSICA - LOTS 1A & 1B SUBDIVISION, 3601 NOLANA Ave, GRACO REAL ESTATE DEVELOPMENT, LLC, **(SUB2025-0160) (FINAL) AMD**

Mr. Julio Constantino stated that the property located on Nolana Avenue dedication for 60 feet from Centerline for total 120 ft. R.O.W. Paving: By the State Curb & gutter: By the State. Revisions Needed need to Provide copies of existing R.O.W. for being shown on the plat, for staff review prior to final/recording. Please add label as required: existing, total, etc. prior to final/recording. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan North Ware Road: Dedication as required for 60 ft. from Centerline for total 120 ft. R.O.W. Paving: By the State Curb & gutter: By the State Revisions needed. Need to show Document numbers for acquired R.O.W. on Bentsen Rd. on the plat prior to recording to assure compliance with requirements. Disclaimer abandonment of easements cannot be done by plat; it must be done by a Separate Instrument/Document. Subdivision ordinance section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan 1,200 feet Block Length subdivision ordinance: Section 134-118 R.O.W. 20 feet paving 16 feet. Alley/Service drive easement required for Commercial, industrial, and multi-family developments. Private access/service drive easement must be at least 24 ft. wide. Proposed private access/service drive easement needs to label dimensions. Access/service drive easement layout must be approved by Fire and Public Works Departments. Alley/service drive easement required for commercial properties. Subdivision Ordinance: Section 134-106 front (Nolana Avenue & N. Ware Road) In accordance with the Zoning Ordinance or

greater for approved site plan or easements or in line with existing structures, whichever is greater applies. Zoning ordinance section 138-356. In accordance with the Zoning Ordinance or greater for approved site plan, whichever is greater applies. Zoning ordinance section 138-356. In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Zoning ordinance section 138-356. Corner: See reference to Front Setback above. Please remove the Corner Setback note, you were not required to add it to plat. Zoning ordinance section 138-356. All setbacks are subject to increase for easements or approved site plan. 5 feet wide minimum sidewalk required on N. Ware Road and Nolana Avenue. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 feet opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping ordinance section 110-46. 8 feet masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Subdivision Ordinance: Section 134-1 Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing C-3 proposed C-3 zoning ordinance article V. As per Traffic Department, Trip Generation Approved, TIA Honored from Previous TIA Approval. Use Sec. 134-61 of the subdivision ordinance for the signature blocks' wording, including the owner's acknowledgement prior to recording. Title of the Subdivision needs to reflect the Application. This subdivision is a Replat of Lot 1 of the Recorded Casa Corsica Subdivision. Needs to add all relevant plat notes from previously recorded subdivision. Need to provide staff with an official signed and sealed survey. Verify Metes and Bounds matches bearings and distances. Needs to provide staff with copy of recorded document/instrument numbers for staff review prior to final/recording. Update the Vicinity map to show all the Hidalgo County Parcel Information. Must comply with City's Access Management Policy. Recommendation: staff recommends approval of the subdivision in final form, subject to the conditions noted.

Staff recommends approval of the subdivision in preliminary form, subject to the conditions noted, drainage and utilities approval.

Being no discussion, Mr. Raul Sesin moved to approve the subdivision in preliminary form, subject to the conditions noted, drainage & utilities approval. Mr. Jose Caso second the motion with four members present and voting.

2. REPLAT OF LOT 9A OF KINGWOOD ESTATES SUBDIVISION PH II, 5259 & 5263 N 23rd, FIRST MCALLEN INDUSTRIAL LTD, (SUB2025-0174) (FINAL) RD

Mr. Julio Constantino stated that the property located on North 23rd Street (F.M. 1926): Dedication of 60 ft. from centerline for a total of 120 ft. R.O.W. Paving 65 -85 ft. Curb & gutter both sides. Need to show N. 23rd Street on plat with R.O.W properly labeled on both sides. Label centerline provide a copy of the existing R.O.W. for staff's review, prior to final/recording. Provide the legal description of the adjacent property with the R.O.W. dedication. Subdivision ordinance section 134-105. Monies must be escrowed if improvements are required prior to final. COM thoroughfare plan. Zinnia Avenue: Dedication of 30 ft. from centerline for a 60 ft. total R.O.W. Paving 40 ft. Curb & gutter both sides need to show Zinnia Avenue on plat with R.O.W properly labeled on both sides. In March of 2000, the developer was proposing to dedicate 55.85 ft. of R.O.W west of the curve and balance of the 60 ft. R.O.W for zinnia was proposed to be dedicated when the property to the south developed, that was

approved. Show centerline provide copy of existing R.O.W. for staff's review, prior to final/recording. Subdivision ordinance section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. ROW 25 ft. existing paving Minimum 16 feet. Alley/service drive easement required for commercial properties. ROW 25 ft. existing Paving Minimum 16 feet. Alley/service drive easement required for commercial properties. Plat references existing 25 feet alley R.O.W pavement width remains as now exists. Subdivision ordinance section 134-106. As per existing plat notes lots 9A-11A: 277.89' on north 23rd street. Existing plat notes should remain. if any plat notes change, a vacate and replat will be required. Zoning Ordinance: Section 138-356. Per existing plat note: 4.0 feet setback required. Existing plat notes should remain. if any plat notes change, a vacate and replat will be required. Zoning ordinance section 138-356 per existing plat note as per zoning ordinance. Existing plat notes should remain. if any plat notes change, a vacate and replat will be required. Zoning Ordinance: Section 138-356. Corner as per existing plat note: 22.16 feet on Zinnia Avenue. Existing plat notes should remain. if any plat notes change, a vacate and replat will be required. Zoning ordinance section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 feet wide minimum sidewalk required on North side of Zinnia Avenue and West side of N. 23rd street, and also N. 25th street. Add plat note as stated above, prior to final. Subdivision ordinance section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 feet buffer is required between commercial and residential zone/uses. Add plat note as stated above, prior to final. Existing plat notes should remain. if any plat notes change, a vacate and replat will be required. Landscaping Ordinance: Section 110-46. 8 feet masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping ordinance section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Must comply with City Access Management Policy Site plan must be approved by the Planning and Development Departments prior to building permit issuance. As per existing recorded plat. A site plan must be approved for Lots 9A - 11A. Common area shall be providing parking, landscaping, detention, blanket utility easement and access for benefit of all lot owners, common area shall be maintained by lot owners. Add plat note as stated above, prior to final/recording. Existing plat notes should remain. if any plat notes change, a vacate and replat will be required. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. In March of 2000 a variance to allow lots not fronting a public was approved/ the variance will subdivision ordinance section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing C-3 Propose C-3. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Zoning Ordinance: Article V as per Traffic Department, Trip Generation Approved, No TIA required. Please show centerline for R.O.W. on north 23rd street and Zinnia Avenue. Existing Plat notes must remain as now exist on recorded plat. if any plat notes change, a vacate and replat will be required. Replats will need to have a public hearing. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in final form, subject to the conditions noted.

Being no discussion, Mr. Raul Sesin moved to approve the subdivision in final form, subject to the conditions noted, drainage & utilities approval. Mr. Jesse Ozuna, second the motion with four members present and voting.

3. RE-PLAT OF LOTS 1 THRU 15, BLOCK 2, SUNRISE TERRACE SUBDIVISION, 3001 N. JACKSON RD., L360 GROUP, LLC (SUB2025-0133) (FINAL) RDE

Mr. Julio Constantino stated that the property located on North Jackson Road: Dedication needed for 60 ft. from centerline for 120 ft. total R.O.W. Paving by state curb & gutter by State revisions needed. Provide a copy of referenced documents for staff review prior to Final/Recording. Ensure that R.O.W.

complies with State plans for N. Jackson Road, any acquisitions should be included with document number, dimensions, and labeling, finalize prior to final/recording. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. COM Thoroughfare Plan East Daffodil Ave. 60 feet R.O.W. Paving: 40 feet curb & gutter both sides. Street names need to be clarified on the plat prior to final/recording. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan North "M" Lane: 60 ft. R.O.W. Paving: 40 ft. Curb & gutter: Both Sides. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. R.O.W.: 20 ft. Paving: 16 feet. Alley/service drive easement required for commercial properties. 20.00 ft. Alley (Private) shown as was in the original Sunrise Terrace Subdivision. Disclaimer: Any abandonments must be done prior to Final. If abandoned, needs to be labeled on the plat and presented in Revised-Final Form. Subdivision Ordinance: Section 134-106. Front: (N. Jackson Rd.): 92 ft. from the West line of Front 20 ft. private alleys as shown on the plat or greater for approved site plan or easements. Zoning Ordinance: Section 138-356. Rear: In accordance with Zoning Ordinance, or greater for approved for approved site plan or easements. Zoning Ordinance: Section 138-356. Sides: In accordance with the Zoning Ordinance or greater for approved Site plan or easements. Zoning Ordinance: Section 138-356. Corner: 10 ft. along E. Daffodil Ave. & Private alleys or greater for approved site plan or easements. Zoning Ordinance: Section 138-356. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 feet wide minimum sidewalk required on N. Jackson Road and both sides of all interior streets. Revisions Needed plat notes remain the same as the Recorded Plat of Sunrise Terrace. If any restrictions are removed, this would trigger a vacate & replat process. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 feet opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 feet masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Add plat note as shown above prior to final/recording. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along N. Jackson Road. Access for Lot 1A/Lot 9A shall be from Camelia Avenue and Daffodil Ave. not Jackson Road. Must comply with City Access Management Policy. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Disclaimer that Plat note #13 is from the Original Sunrise Terrace. As such, site plan must be approved by Planning & Zoning Commission for Block. 2 prior to issuance of Building Permit...etc. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: C-2 (Neighborhood Commercial District) Proposed: C-2 (Neighborhood Commercial District). Zoning Ordinance: Article V. As per Traffic Department, Trip Generation approved, No TIA Required. If any restrictions are removed, this will trigger a Vacate & Replat process. Disclaimer: Any abandonments cannot be done by plat, must be done by a separate instrument/documents prior to final. If any variances that may be requested must be finalized prior to final and will establish additional requirements as needed prior to finalizing the plat. If abandoned, needs to be labeled on the plat and presented in revised-final form. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in final form, subject to the conditions noted.

Being no discussion, Mr. Jesse Ozuna moved to approve the subdivision in preliminary form, subject to the conditions noted, drainage & utilities approval. Mr. Raul Sesin second the motion with four members present and voting.

3) SUBDIVISIONS

a) TEXAS GENERAL MEDICAL CENTER SUBDIVISION, 5200 MONTE CRISTO RD,
PROACTION SKYLINE REAL ESTATE HOLDINGS, LLC (SUB2025-0161) (PRELIMINARY)
M&H

Mr. Julio Constantino stated that the property located on Monte Cristo Rd.: R.O.W. required from centerline for 150 ft. of total R.O.W., prior to final. Paving: 65' B-B Curb & gutter: Both Sides. Revisions needed provide a COPY of all the R.O.W. documents along Monte Cristo road for staff review prior to final. Need to clarify easements as any existing easements would need to be abandoned if it lies within the R.O.W., to be done prior to final. Disclaimer: Abandonment of easements cannot be done by plat, must be done by a separate instrument/document. No overlap of easements into R.O.W. for Sharyland easements along Monte Cristo Rd., need to clarify prior to final. All R.O.W. requirements must be addressed prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are not built prior to recording. COM Thoroughfare Plan North Shary Road: 60 ft. R.O.W. dedication required from centerline for 120 ft. of total ROW. Paving: by State Curb & gutter: by State Revisions needed no overlap of easements into R.O.W. for Sharyland easements along N. Shary Rd., there is an encroaching easement inside the road R.O.W. Need to clarify prior to final. Need to provide a copy of the R.O.W. documents for staff review prior to final. Abandonment of easements cannot be done by plat, must be done by a separate instrument. Make sure that the Road name is labeled as ""N. Shary Rd. All R.O.W. requirements must be addressed prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are not built prior to recording. COM Thoroughfare Plan (E/W Collector) - Dedication needed for 60ft. of R.O.W. Paving: 40-44 feet curb & gutter both Sides. Revisions Needed please clarify curvature of the R.O.W. Area shown on the plat. R.O.W. area shown on the plat meanders going North, verify with City roadmap. R.O.W. area and acreage shown needs to be replaced with the street name. Need to provide an Area map to verify for street alignments/offsets. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final COM Thoroughfare Plan. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118 600 ft. Maximum Cul-de-Sac. Turn around needed if drive is deeper than 150' from roadway via a paved road designed and maintained to support the imposed loads of fire apparatus. Subdivision Ordinance: Section 134-105. R.O.W.: 20 ft. Paving 16 feet. Alley required for commercial properties. If a private service drive easement is proposed, minimum 24 ft. paved width is required and cannot be dead-end. Maintenance of such service drive is by the property owner and not the City of McAllen. Alley/service drive requirement must be addressed prior to final. Revisions Needed: Please revise plat note #13 as it needs to state the following: "A minimum 24 ft. service drive easement will be established as part of the site plan and will be maintained by lot owners, not the city of McAllen." Subdivision Ordinance: Section 134-106. Front: (Monte Cristo Road & N. Shary Road) In accordance with the Zoning Ordinance or greater for approved site plan or easements or in line with existing structures, whichever is greater applies. Revise plat note as shown above prior to final. Zoning Ordinance: Section 138-356. Rear: In accordance with the Zoning Ordinance or greater for approved site plan or easements, whichever is greater applies. Zoning Ordinance: Section 138-356. Sides: In accordance with the Zoning Ordinance or greater for approved site plan or easements, whichever is greater applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 feet wide minimum sidewalk required on N. Shary Rd. & Monte Cristo Road. May increase to 5 ft. as per Engineering, prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 feet masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Must comply with City Access Management Policy.

Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private service drive easements, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: C4 Proposed: C4 There is a section that falls within the R-3A zoning for the previous Villas at Las Palmas Subdivision. Please clarify status of this plat with staff and rezoning required prior to final. Zoning Ordinance: Article V Rezoning Needed Before Final Approval. Zoning Ordinance: Article V Streets and right-of-ways. Monte Cristo Rd.: R.O.W. required from centerline for 150 ft. of total R.O.W., prior to final. Paving: 65' B-B Curb & gutter: Both Sides. Revisions needed provide a COPY of all the R.O.W. documents along Monte Cristo road for staff review prior to final. Need to clarify easements as any existing easements would need to be abandoned if it lies within the R.O.W., to be done prior to final. Disclaimer: Abandonment of easements cannot be done by plat, must be done by a separate instrument/document. No overlap of easements into R.O.W. for Sharyland easements along Monte Cristo Rd., need to clarify prior to final. All R.O.W. requirements must be addressed prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are not built prior to recording. COM Thoroughfare Plan Non-compliance North Shary Road: 60 ft. R.O.W. dedication required from centerline for 120 ft. of total ROW. Paving: by State Curb & gutter: by State Revisions needed. No overlap of easements into R.O.W. for Sharyland easements along N. Shary Rd., there is an encroaching easement inside the road R.O.W. Need to clarify prior to final. Need to provide a copy of the R.O.W. documents for staff review prior to final. Abandonment of easements cannot be done by plat, must be done by a separate instrument. Make sure that the Road name is labeled as ""North Shary Rd."" All R.O.W. requirements must be addressed prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are not built prior to recording. COM Thoroughfare Plan Non-compliance. (E/W Collector) - Dedication needed for 60ft. of R.O.W. Paving: 40-44 feet Curb & gutter Both Sides revisions needed. Please clarify curvature of the R.O.W. Area shown on the plat. R.O.W. area shown on the plat meanders going North, verify with City roadmap. R.O.W. area and acreage shown needs to be replaced with the street name. Need to provide an Area map to verify for street alignments/offsets. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan Non-compliance. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan NA. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final COM Thoroughfare Plan NA. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118 Non-compliance. 900 ft. Block Length for R-3 Zone Districts Subdivision Ordinance: Section 134-118. 600 ft. Maximum Cul-de-Sac. Turn around needed if drive is deeper than 150' from roadway via a paved road designed and maintained to support the imposed loads of fire apparatus. Subdivision Ordinance: Section 134-105. Non-compliance. R.O.W.: 20 feet Paving 16 feet. Alley required for commercial properties. If a private service drive easement is proposed, minimum 24 ft. paved width is required and cannot be dead-end. Maintenance of such service drive is by the property owner and not the City of McAllen. Alley/service drive requirement must be addressed prior to final. Revisions Needed please revise plat note #13 as it needs to state the following: "A minimum 24 ft. service drive easement will be established as part of the site plan and will be maintained by lot owners, not the city of McAllen. Subdivision Ordinance: Section 134-106 non-compliance. Front (Monte Cristo Road & N. Shary Road) In accordance with the Zoning Ordinance or greater for approved site plan or easements or in line with existing structures, whichever is greater applies. -Revise plat note as shown above prior to final. Zoning Ordinance: Section 138-356. Non-compliance. Rear: In accordance with the Zoning Ordinance or greater for approved site plan or easements, whichever is greater applies. Zoning Ordinance: Section 138-356. Applied sides in accordance with the Zoning Ordinance or greater for approved site plan or easements, whichever is greater applies. Zoning Ordinance: Section 138-356. Applied corner See reference to Front above.

Zoning Ordinance: Section 138-356 Garage Commercial Development Zoning Ordinance: Section 138-356 all setbacks are subject to increase for easements or approved site plan. 4 feet wide minimum sidewalk required on N. Shary Rd. & Monte Cristo Road. May increase to 5 feet as per Engineering, prior to final. Subdivision Ordinance: Section 134-120 Non-compliance. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 feet opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 feet masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Must comply with City Access Management Policy. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private service drive easements, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-72 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Section 110-72 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: C4 Proposed: C4 there is a section that falls within the R-3A zoning for the previous Villas at Las Palmas Subdivision. Please clarify status of this plat with staff and rezoning required prior to final. Zoning Ordinance: Article V. Non-compliance Rezoning Needed Before Final Approval Zoning Ordinance: Article V Required. Land dedication in lieu of fee. Submitted application proposes commercial development. As per Parks Dept. park fees do not apply to commercial subdivision, unless changed. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Submitted application proposes commercial development. As per Parks Dept. park fees do not apply to commercial subdivision, unless changed. Pending review by the City Management's Office. Submitted application proposes commercial development. As per Parks Dept. park fees do not apply to commercial subdivision, unless changed. As per Traffic Department, Trip Generation needs to be submitted to determine if TIA is required, prior to final plat. Please contact Traffic Department for any further questions. Traffic Impact Analysis (TIA) required prior to final plat. If any Variance request is submitted, must be finalized prior to final. Plat submitted references United Irrigation District signature block. You can remove the City Secretary signature block as it is not required in our process. Need to determine if alley/service drive is being proposed. Need to provide copies of documents for the abandoned R.O.W. easement that goes from North-South located on the plat for staff review prior to final. No overlap of easements into R.O.W. for Sharyland easements along N. Shary Rd. & Monte Cristo. Any abandonment must be done by a separate instrument/document, not by plat, prior to final. Verify location of S.W.S.C. easement located on the West, outside of the plat boundary. Provide S.W.S.C. easement documents for staff review. There should be no overlap of easements into R.O.W. Need to Provide the Documents to verify who is authorized to sign on behalf of the LLC, LTD. etc. Owner's Authorization mentions an LLC, application mentions and LTD, please clarify and revise application as needed. Please add page numbers at the bottom of the plats, ""e.g. Page 1, Page 2"". Must comply with City's Access Management Policy."

Staff recommends approval of the subdivision in preliminary form, subject to the conditions noted drainage and utility approvals.

Being no discussion, Mr. Jose Caso moved to approve the subdivision in preliminary form, subject to the conditions noted drainage and utility approval. Mr. Raul Sesin second the motion with four members present and voting.

b) BALBOA ACRES SUBDIVISION, 3512 HELENA AVE LOT 18, BLOCK 30 (EAST HALF) ALEX LOZANO (SUB2025-0170) (PRELIMINARY) AL

Mr. Julio Constantino stated that the property located on Helena Avenue: 60 ft. ROW (existing). Paving: Approximately 35 ft. existing Curb & gutter: both sides. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. COM Thoroughfare Plan. ROW: 20 ft. Paving: Existing conditions remain. Alley/service drive easement required for commercial properties. Subdivision Ordinance: Section 134-106 Front: 25 feet. Zoning Ordinance: Section 138-356. Rear: In accordance with the Zoning Ordinance or greater for easements. Zoning Ordinance: Section 138-356 sides. In accordance with the Zoning Ordinance or greater for easements. Zoning Ordinance: Section 138-356 Garage: 18 ft. except where greater setback is required, greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on Helena Ave. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area: Survey for the East half of Lot 18, Block 30 shows a 50 ft. width. Zoning Ordinance: Section 138-356. Existing: R-1 (Low-Density Residential District) Proposed: R-1(Low-Density Residential District). As part of the City Initiated Rezoning, Balboa Acres was Rezoned to the UDC R-1 for Low-Density Residential District. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Zoning Ordinance: Article V. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Existing plat notes remain the same. Public hearing is required for the subdivision of the lot. Must comply with other department requirements prior to recording as may be applicable.

Staff recommends approval of the subdivision in preliminary form, subject to the conditions noted, drainage and utilities approvals.

Mr. Kaveh Forghanparast from planning department clarified the situation regarding the proposed property by being subdivided.

After a lengthy discussion, regarding subdividing. Mr. Jesse Ozuna moved to approve the subdivision in preliminary form, subject to the conditions noted, drainage and utilities approval. Mr. Jose Caso second the motion with four members present and voting.

c) BALBOA ACRES SUBDIVISION, 3516 HELENA AVE LOT 18, BLOCK 30 (WEST HALF) ALEX LOZANO (SUB2025-0169) (PRELIMINARY) AL

Mr. Julio Constantino stated that the property located on Helena Avenue: 60 ft. ROW (existing). Paving: Approximately 35 ft. existing Curb & gutter: both sides. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. COM Thoroughfare Plan. ROW: 20 ft. Paving: Existing conditions remain. Alley/service drive easement required for commercial properties. Subdivision Ordinance: Section 134-106 Front: 25 feet. Zoning Ordinance: Section 138-356. Rear: In accordance with the Zoning Ordinance or greater for easements. Zoning Ordinance: Section 138-356 sides. In accordance with the Zoning Ordinance or greater for easements. Zoning Ordinance: Section 138-356 Garage: 18 ft. except where greater setback is required, greater setback

applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on Helena Ave. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area: Survey for the East half of Lot 18, Block 30 shows a 50 ft. width. Zoning Ordinance: Section 138-356. Existing: R-1 (Low-Density Residential District) Proposed: R-1(Low-Density Residential District). As part of the City Initiated Rezoning, Balboa Acres was Rezoned to the UDC R-1 for Low-Density Residential District. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Zoning Ordinance: Article V. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Existing plat notes remain the same. Public hearing is required for the subdivision of the lot. Must comply with other department requirements prior to recording as may be applicable.

Staff recommends approval of the subdivision in preliminary form, subject to conditions noted, drainage and utility approval.

Mr. Kaveh Forghanparast from planning department clarified the situation regarding the proposed property by being subdivided.

After a lengthy discussion, regarding subdividing. Mr. Jesse Ozuna moved to approve the subdivision in preliminary form, subject to the conditions noted, drainage and utilities approval. Mr. Jose Caso second the motion with four members present and voting.

d) AQUALINA AT TRES LAGOS PHASE V SUBDIVISION, 6800 RUSSEL RD (REAR) RHODES DEVELOPMENT, INC., (SUB2025-0162) (PRELIMINARY) M&H.

Ms. Natalie Moreno stated that the property located at Stewart Road: Dedication 80 ft. R.O.W Paving: 52 ft. Curb & gutter: both sides. Stewart Road west of this location. Revisions required please show centerline and dedication on both sides, prior to final. Please provide the special warranty deed document, prior to final. Provide copy of documents of any existing dedications on plat. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. Interior Streets: Dedication of 50 ft. ROW. Paving: 32 ft. Curb & gutter: both sides. Street names will be established prior to recording. Please provide temporary paved turnaround at the end of interior streets on Lots 223 and 265. Access to subdivision will be from phase IV of Aqualina. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. 600 ft. Maximum Cul-de-Sac. Cul-de-sac street length does not apply provided that the development uses the "coving method" and emergency access walk/drives are provided, per agreement. As per Fire department, paving must be 96 ft. in diameter face to face. Clarify if any islands may be proposed which will affect paving requirements, prior to final. Subdivision Ordinance: Section 134-105. Front: 20 ft. or greater for easements the proposed subdivision complies with minimum setback requirements, as per agreement. Zoning Ordinance: Section 138-356 rear- 11 feet or greater for easements. Zoning Ordinance: Section 138-356 Sides: 5 ft. or greater for easements. The proposed subdivision complies with minimum setback requirements, as per agreement. Zoning Ordinance: Section 138-356. Side Corner: 10 ft. or greater for easements. Zoning Ordinance: Section

138-356. Garage: 18 ft., except where greater setback is required, greater setbacks applies. Revisions required. Please correct spelling from "grater" to "greater". Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required along N. Stewart Road. Revisions required. Plat note #15 mentions Russell Road and Tres Lagos, please revise prior to final. Other sidewalks will not apply provided a sidewalk having at least an adequate width for pedestrians and bike traffic is provided in a plan that is sealed by the registered engineer designing the unit development, per agreement. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 feet opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses along N. Stewart Road. Revisions required. Plat note #8 references Russell Road and Tres Lagos Blvd, please revise and correct, prior to final. Landscaping Ordinance: Section 110-46. 8 feet masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along N. Stewart Road. Plat note #12 references roads that do not pertain to this phase, please correct and revise prior to final. The subdivision will be having access from Aqualina Phase IV. Must comply with City Access Management Policy common areas, any private drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions required add plat note as stated above, prior to final. Public Improvement District (PID) or Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Section 110-72 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. Common area no. 2 is not fronting a public street, please clarify prior to final. Subdivision Ordinance Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: R-1 (Single-Family Residential) (OC) Proposed: R-1 (Single-Family Residential) (OC) Zoning Ordinance Article V. Rezoning Needed Before Final Approval zoning ordinance Article V. Land dedication in lieu of fee. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, in this case Park fees do not apply because Park land dedication exceeds City's requirements as of 10/30/2014, as per agreement. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, in this case Park fees do not apply because Park land dedication exceeds City's requirements as of 10/30/2014, as per agreement. Pending review by the Parkland Dedication Advisory Board and CC. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, in this case Park fees do not apply because Park land dedication exceeds City's requirements as of 10/30/2014, as per agreement. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Please revise plat note #8, 15 and 21, they reference streets that do not pertain to this phase. Need to Label the Centerline & Total R.O.W. on N. Stewart Road and show on plat, prior to final. Provide the special warranty deed documents, prior to final. Access will be coming from phase IV. Common area no. 2 is not fronting a public street, please clarify prior to final. How will you access common area number 2. How would common area no. 3 service as emergency access point. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in preliminary form, subject to the conditions noted and drainage approval and clarification to the variance request.

Mr. Raul Sesin had questions regarding drainage detention and outfall. Mr. Alberto de la Garza made clarification regarding the drainage detention. Mr. Kaveh Forghanparast clarified the situation regarding drainage report being in revised preliminary form.

After a lengthy discussion, Mr. Jesse Ozuna moved to approve the subdivision in revised preliminary form, subject to the conditions noted and drainage approval. Mr. Raul Sesin second the motion with four members present and voting.

e) CITRUS SOUTH RESIDENTIAL SUBDIVISION, 221 S 8TH ST, HEIR FUND LLC (SUB2025-0093) (REVISED PRELIMINARY) LC

Ms. Natalie Moreno stated that the property located at S. 8th Street: Dedication needed for 25 ft. from centerline for Total 50 ft. of R.O.W. Paving: 32 feet curb & gutter both sides. Provide a copy of the referenced document being shown on the plat for staff review prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan Chicago Avenue. Dedication for 50 ft. total R.O.W. Paving 32 ft. Curb & gutter both sides. Provide staff with copy of the referenced document to finalize requirements prior to final. The engineer submitted a variance request for no dedication on Chicago avenue. The variance will be heard on December 2, 2025 at the planning and zoning commission board and city commission January 12, 2026. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. 200 feet Block Length for R-2 Zone Districts Block lengths in the R-2 districts shall be between two hundred (200) and eight hundred (800) feet or twelve (12) lots, whichever is less. Unified Development Code Section 5.3.6.C.3.a R.O.W. 20 feet paving, 16 feet. Alley/service drive easement required for commercial and Townhome Developments. Subdivision Ordinance: Section 134-106. Front in accordance with the UDC, or greater for easements, whichever greater applies. Unified Development Code Section 2.2.3.D. 4. Rear in accordance with the UDC, or greater for easements, whichever greater applies. Zoning Ordinance: Section 138-356. Sides in accordance with the UDC, or greater for easements, whichever greater applies. Unified Development Code Section 2.2.3. D.4. Corner 10 feet or greater for easements, whichever is greater applies. Revise plat note as shown above prior to final. Zoning Ordinance: Section 138-356. Garage 18 ft. except where greater setback is required, greater setback applies. Unified Development Code Section 2.2.3. D.4. All setbacks are subject to increase for easements or approved site plan. 4 feet wide minimum sidewalk required on S. 8th Street & Chicago Avenue. Subdivision Ordinance: Section 134-120 Perimeter sidewalks must be built or money escrowed if not built at this time. 6 feet opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance section 110-46. 8 feet masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46 Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along Chicago Ave. & S.8th Street. Must comply with City Access Management Policy. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Need to add HOA plat note. Section 110-72 applies if public subdivision is proposed. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Section 110-72 applies if public subdivision is proposed. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72 Subdivision Ordinance: Section 134-168. Lots fronting public streets. Lots to front along S. 8th Street. Subdivision Ordinance section 134-

1. Minimum lot width and lot area. Minimum lot width is 20 ft. and minimum lot area is 2,250 square feet. Unified Development Code Section 2.2.3. D.4. Existing R-2 (Medium-Density Residential District) Proposed R-2 (Medium-Density Residential District). Parcel went through a rezoning application and was presented and approved by the P&Z board on 06/03/25. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Zoning Ordinance: Article V. Land dedication in lieu of fee. The application and plat submitted proposes 3 lots and 3 dwelling units. A park fee of \$700 per dwelling unit must be paid prior to recording. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. The application and plat submitted proposes 3 lots and 3 dwelling units. A park fee of \$700 per dwelling unit must be paid prior to recording. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Please revise application to show to proposed zone "R-2" - application still shows R-1. Please correct application for the name change, prior to final. Parcel went through a rezoning application and was presented and approved by the PNZ board on 06/03/2025. The engineer submitted a variance request for no dedication on Chicago avenue. The variance will be heard on December 2, 2025 at the planning and zoning commission board and city commissions January 12, 2026. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in revised preliminary form subject to conditions noted, drainage and utility approval and clarification to the variance request.

Being no discussion, Mr. Jesse Ozuna moved to approve the subdivision in revised preliminary form. Mr. Raul Sesin. second the motion with four members present and voting.

f) RUSSELL CREEK PHASE I, 13701 N. 23RD ST, ELITE DEVELOPMENT 768, LLC (SUB2025-0053) (FINAL) M&H

Ms. Natalie Moreno stated that the property located on Russell Road: 30 ft. dedication for 50 ft. from centerline for 100 ft. total ROW. Paving 65 feet Curb & gutter both sides. Please clarify additional ROW it appears to overlap the 20-foot existing ROW. Provide document numbers for existing ROW dedications and provide a copy for staff review. Existing transmission power line poles along Russell Road appear to be within the ROW dedication. Need to finalize dedication requirements or relocation of transmission power line poles as applicable, prior to recording. Subdivision Ordinance section 134-105. Monies must be escrowed if improvements are required prior to recording. COM Thoroughfare Plan North 23rd Street (Depot Road): Dedication required for 60 ft. from centerline for 120 ft. total ROW Paving: 65 ft. Curb & gutter: both sides. 15 ft. SWSC shows to overlap with ROW. Please clarify. Please label how existing ROW was dedicated. Provide document numbers for existing ROW, dedications and provide a copy for staff review, prior to recording. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required. COM Thoroughfare Plan. 8-3/4 Mile Road (E/W 1/4 Mile Collector): Dedication as needed for 60 ft. total ROW. Paving 40 feet Curb & gutter: both sides. The project engineer submitted a variance application (VAR2025-0013) on April 9, 2025 to request the interior E/W street to be considered the 1/4 Mile Collector with the ROW to be reduced to 50 ft. instead of the required 60 ft. and for the paving to be 32 feet back to back instead of the required 40 ft. The project engineer submitted an additional variance request for the minimum 125 ft. street jog offset. The submitted plat shows the centerline for 8-3/4 Mile Road as a 100 ft. offset from centerlines. If the request to reduce the ROW is approved staff recommends a 10 ft. sidewalk and utility easement on both sides. Interior Streets: 50 ft. ROW. Paving 32 feet curb & gutter both sides. Street names to be finalized, prior to recording. There have been discussions with our Engineering Department that a stub out to the property to the northeast may be required for connectivity for a secondary access that is under review and must be finalized prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required. COM Thoroughfare Plan. Subdivision Ordinance section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare

Plan. 1,200 ft. Block Length. Subdivision Ordinance section 134-118. 900 ft. Block Length for R-3 Zone Districts Subdivision Ordinance section 134-118. Lots fronting public streets. Subdivision Ordinance section 134-1. Minimum lot width and lot area. Need to provide more information on the curve table as there appears to be missing curve dimensions to determine if minimum lot width is compliance. Curve dimensions seem to be off set. Lots 29 and 43 don't have the minimum 5,000 sq. ft. for a R-1 single family zone. On some lot frontage, they do not meet the min lot frontage of minimum 50 feet. Zoning Ordinance section 138-356. Existing: R-1 Proposed: R-1. Zoning Ordinance Article V. Land dedication in lieu of fee. Based on the submitted application and plat, 100 dwelling units/lots are proposed. As per Parks Department, park land dedication of 1.6059 acres will be required prior to final. If park fee in lieu of park land dedication is proposed, a letter must be submitted to the Planning Director and reviewed by the City Manager, prior to final. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Based on the submitted application and plat, 100 dwelling units/lots are proposed. As per Parks Department, park land dedication of 1.6059 acres will be required prior to final. If park fee in lieu of park land dedication is proposed, a letter must be submitted to the Planning Director and reviewed by the City Manager, prior to final. Pending review by the City Manager's Office. Based on the submitted application and plat, 100 dwelling units/lots are proposed. As per Parks Department, park land dedication of 1.6059 acres will be required prior to final. If park fee in lieu of park land dedication is proposed, a letter must be submitted to the Planning Director and reviewed by the City Manager, prior to final. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Any abandonments must be done by separate process and not by plat, prior to final. Application states this is a public subdivision, but plat has indications of subdivision being private, engineer must clarify if subdivision will be public or private. Subdivision plat and survey show conflicting information for the subdivision boundary dimensions. Also, some easements shown on survey aren't shown on the plat. Subdivision was previously "Russell Creek Subdivision Phase I" If the name has changed the subdivision application must be revised, prior to recording. At the Planning and Zoning Commission meeting of May 6, 2025, the Board recommended approval of the variances to the ROW and street offset, and no action on paving width requirement as the engineer agreed to the required 40 ft. of paving. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in revised final form, subject to conditions noted.

Mr. Raul Sesin questioned the the drainage detention. Mr. Omar Sotelo clarified where this area for drainage was located.

After a brief discussion, Mr. Raul Sesin moved to approve the subdivision in revised final form, subject to conditions noted then Mr. Jesse Ozuna second the motion with four members present and voting.

g) ALHAMBRA ON 10TH SUBDIVISION, 11301 N 10TH ST, AL YAZJI DEVELOPMENT, (SUB2025-0072) (FINAL) RIOPLEX

Ms. Natalie Moreno stated that the property located on N. 10th Street (S. H. 336): ROW dedication needed for 60 ft. from centerline for 120 ft. total ROW. Paving by state curb & gutter by State Label centerline and show the existing ROW on both sides to finalize the ROW dedication requirements prior to recording. Provide a copy of the existing ROW documents for staff review to recording. Subdivision Ordinance section 134-105 and/or UDC. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan North Bicentennial Boulevard. Dedication as needed for 75 ft. from centerline for 150 ft. total ROW. Paving: 65-05 feet curb & gutter both sides. Label the centerline and the existing ROW on both sides to finalize the ROW dedication. Requirements as required above prior to recording. Please label "Existing" or "Total" on ROW. Subdivision Ordinance: Section 134-105 and/or

UDC. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan Interior street ROW dedication needed for 60 ft. total ROW. Paving: 40 ft. Curb & gutter: both sides. Interior street is dead-end on all sides. The subdivision on the south side must be recorded first before this plat can be recorded. Provide a paving layout including the other proposed subdivision for staff review of the proposed access prior to final. A variance request was submitted and will be heard at the planning and zoning commission board on November 4, 2025 and city commission on November 24, 2025 for the 50 ft. with a 10 -foot utility and sidewalk easement on both side. Two rezoning requests for the subject property to R-2 (Medium Density Residential - UDC) District (REZ2025-0046) and M-2 (Regional Mixed Use - UDC) District (REZ2025-0047) have been submitted and is scheduled to be heard by the P&Z on June 3, 2025, and the City Commission on June 23, 2023. The rezoning must be finalized prior to final. The subdivision requirements will be adjusted if the rezoning is approved. Two proposed subdivisions under the names of "Vacate A Portion of Racquet Club and Replat to Park West Subdivision" & "Vacate A Portion of Racquet Club and Replat to Villages at Park West Subdivision" are in process but have not been recorded yet. Subdivision Ordinance: Section 134-105 and/or UDC. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. Reviewed on 11/20/2025. These comments are for subdivision requirements only – additional requirements may apply at time of site plan review. 11/20/2025 Page 1 of 6 SUB2025-0167. Subdivision Ordinance Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan Subdivision ordinance section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan 900 ft. Block Length for R-3 Zone Districts Block Length for R-3 Zone Districts. 200-800 ft. Block Length or twelve lots, whichever is less, will apply if the rezoning request is approved. A variance to this request was submitted and will be heard at the planning and zoning commission board on November 4, 2025. Subdivision Ordinance: Section 134-118 and/or UDC Sec. 5.3.6. Two rezoning requests for the subject property to R-2 (Medium Density Residential - UDC) District (REZ2025-0046) and M-2 (Regional Mixed Use - UDC) District (REZ2025-0047) have been submitted and is scheduled to be heard by the P&Z on June 3, 2025, and the City Commission on June 23, 2023. The rezoning request was approved. The rezoning must be finalized prior to final. The subdivision requirements will be adjusted if the rezoning is approved. Subdivision Ordinance: Section 134-118 600 ft. Maximum Cul-de-Sac 300 ft. Maximum Cul-de-Sac will apply if the rezoning request is approved. If the rezoning is approved, minimum ROW diameter of 120 ft. and 100 ft. concrete paving will be required as per UDC Section 5.3. Please submit the radius dimensions on the cul-de-sac requirements. A variance request was submitted for this requirement and will be heard at the planning and zoning commission board on Nov 4, 2025 and city commission on Nove 24, 2025 for exceeding cul-de-sac length. Subdivision Ordinance: Section 134-105 and/or UDC. Two rezoning requests for the subject property to R-2 (Medium Density Residential - UDC) District (REZ2025-0046) and M-2 (Regional Mixed Use - UDC) District (REZ2025-0047) have been submitted and is scheduled to be heard by the P&Z on June 3, 2025, and the City Commission on June 23, 2023. The rezoning must be finalized prior to final. The subdivision requirements will be adjusted if the rezoning is approved. ROW: 20 ft. Paving: 16 ft. Provide alley according to Public Works Department's requirements prior to final. Alley/service drive easement required for commercial properties. Subdivision Ordinance: Section 134-106 and/or UDC. These comments are for subdivision requirements only – additional requirements may apply at time of site plan review 11/20/2025 Page 2 of 6 SUB2025-0167. Front: Lot 1: In accordance with the zoning ordinance or greater for approved site plan or easements or in line with existing structures whichever is greater applies. Lots 2-69 (proposing): 20 ft. or greater for easements. Please revise the number of lots to (2-66). Zoning Ordinance: Section 138-356 and/or UDC Rear lot 1 in accordance with the zoning ordinance or greater for approved site plan or easements. Lots 2-69 (proposing): 10 ft. or greater for easements. Please revise the number of lots to (2-66). Zoning Ordinance section 138-356 and/or UDC. Sides lot 1 In accordance with the zoning ordinance or greater for approved site plan or easements. Lots 2-69 (proposing): 5 ft. or greater

for easements. Please revise the number of lots to (2-66). Zoning Ordinance: Section 138-356 and/or UDC Corner lot 1 in accordance with the zoning ordinance or greater for approved site plan or Easements. Lots 2-69: 10 ft. or greater for easements. Please revise the number of lots to (2-66). Zoning Ordinance section 138-356 and/or UDC garage 18 feet except where greater setback is required, greater setback applies. Zoning Ordinance section 138-356 and/or UDC. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on North 10th Street, Bicentennial Blvd and both sides of all interior streets. Sidewalks shall comply with the sidewalk design requirements provided in the SDG, as per the UDC. Sidewalk requirements will be finalized once the zoning is finalized prior to final. Subdivision Ordinance: Section 134-120 and/or UDC. Two rezoning requests for the subject property to R-2 (Medium Density Residential - UDC). District (REZ2025-0046) and M-2 (Regional Mixed Use - UDC) District (REZ2025-0047) have been submitted and is scheduled to be heard by the P&Z on June 3, 2025, and the City Commission on June 23, 2023. The rezoning must be finalized prior to final. The subdivision requirements will be adjusted if the rezoning is approved. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 feet opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along N. Bicentennial Boulevard. Revise plat note #9 as shown above prior to final. Landscaping Ordinance: Section 110-46 and/or UDC 8 feet masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping ordinance section 110-46 and/or UDC. These comments are for subdivision requirements only additional requirements may apply at time of site plan review. 11/20/2025 Page 3 of 6 SUB2025-0167 Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along north Bicentennial Boulevard. Plat note #13. Proposes no curb cut or access along N. 10th Street as well. The plat note will be finalized once the Traffic Department review is finalized. As per Traffic Department, no curb cut will be allowed along N. Bicentennial Boulevard. Contact Traffic Department for the requirement along N. 10th Street to finalize the plat note prior to final. Must comply with City Access Management Policy Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-72 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Section 110-72 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72 Subdivision Ordinance: Section 134-168. Lots fronting public/private streets. If the access is pending another subdivision on the south side, the plat cannot be recorded until the other plat is recorded. Provide a paving layout including the other proposed subdivision for staff review of the proposed access prior to recording. Subdivision Ordinance: Section 134-1 and/or UDC. Minimum lot width and lot area zoning ordinance section 138-356. Existing: R-2 (duplex-fourplex residential) and C-3 (general business Districts). Proposed R-2 (medium density residential - UDC) and M-2 (Regional Mixed-Use - UDC) Districts. Zoning Ordinance: Article V and/or UDC. Two rezoning requests for the subject property to R-2 (Medium Density Residential - UDC). District (REZ2025-0046) and M-2 (Regional Mixed Use - UDC) District (REZ2025-0047) have been submitted and is scheduled to be heard by the P&Z on June 3, 2025, and the City Commission on June 23, 2023. The rezoning must be finalized prior to final. The subdivision requirements will be adjusted if the rezoning is approved. These comments are for subdivision requirements only – additional requirements may apply at time of site plan review 11/20/2025 Page 4 of 6 SUB2025-0167. Rezoning Needed Before Final Approval Zoning Ordinance: Article V. Two rezoning requests for the subject property to R-2 (Medium Density Residential - UDC)

District (REZ2025-0046) and M-2 (Regional Mixed Use - UDC) District (REZ2025-0047) have been submitted and is scheduled to be heard by the P&Z on June 3, 2025, and the City Commission on June 23, 2023. The rezoning must be finalized prior to final. The subdivision requirements will be adjusted if the rezoning is approved. Land dedication in lieu of fee. Land dedication in lieu of fee. Based on 64 townhome lots, 1.02 acres of park land dedication is required. If park fee in lieu of land dedication is proposed, a letter with the request must be submitted to the Planning Director. The request will be routed to the City Manager and if approved, \$44,800 (\$700 per dwelling unit) must be paid prior to recording. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Land dedication in lieu of fee. Based on 64 townhome lots, 1.02 acres of park land dedication is required. If park fee in lieu of land dedication is proposed, a letter with the request must be submitted to the Planning Director. The request will be routed to the City Manager and if approved, \$44,800 (\$700 per dwelling unit) must be paid prior to recording. Pending review by the Parkland Dedication Advisory Board and CC. Required As per Traffic Department, Trip Generation required to determine if TIA is required. TIA Level I was waived with the following conditions. Compliance with the conditions on the approved Access variance letter dated September 2, 2025. Southern most proposed shared street with Park West Subdivision must be aligned with median opening along N 10th Street (FM 336). Dedication of shared street might have to be shown on the plat so that it can line up with the median opening. Gate Details must meet the standard design guidelines. Traffic Impact Analysis (TIA) required prior to final plat. Provide a paving layout including the subdivision on the south side for staff review of the proposed access prior to recording. Remove plat note #20, as the use will be controlled by the Zoning, not by plat, if plat note remains please make corrections to the lot numbers. A variance request was submitted and will be heard at the planning and zoning commission board on Nov 4, 2025 and city commission on November 24, 2025 for 3 requests. Two rezoning requests for the subject property to R-2 (Medium Density Residential - UDC) District (REZ2025-0046) and M-2 (Regional Mixed Use - UDC) District (REZ2025-0047) have been submitted and is scheduled to be heard by the P&Z on June 3, 2025, and the City Commission on June 23, 2023. The rezoning must be finalized prior to final. The subdivision requirements will be adjusted if the rezoning is approved. A subdivision variance application (VAR2025-0016) has been submitted and is under review; however, the requirements may change if the rezoning request is approved. A revised application may be needed prior to finalizing the comments if the rezoning request is approved. Must comply with City's Access Management Policy. These comments are for subdivision requirements only – additional requirements may apply at time of site plan review 11/20/2025 Page 5 of 6 SUB2025-0167.

Staff recommends approval of the subdivision in final form, subject to conditions noted.

Being no discussion, Mr. Jesse Ozuna moved to approve the subdivision in final form, subject to conditions noted. Mr. Raul Sesin. second the motion with four members present and voting.

h) Hidden Grove Estates, 8601 N. 2ND Street., Millennial Bear Farms, LLC, (SUB2024-0131) (REVISED PRELIMINARY) M&H

Ms. Natalie Moreno stated that the property located on N. 2nd Street (N. Col Rowe Blvd.): 60 ft. ROW required from centerline for 120 ft. total R.O.W. Paving: min. 65 ft. Curb & gutter: both sides. The plat shows a 50 ft existing ROW on the adjacent property, please clarify, prior to recording. Please provide staff with copy of existing R.O.W. documents for staff review prior to final. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are not built prior to recording. Interior street: 50 ft. R.O.W. Paving: *40ft. Curb & gutter: both sides 40 ft. of pavement would be required. If variance is requested for Cul-De-Sac street exceeding the 600 ft. length, it would be subject to that 40 ft. of pavement. R.O.W. for gate area needs to be increased to 65 ft. to accommodate all gate and related improvements. Knuckle to be provided on the internal street.

Need to label the Center Line (C.L.) of internal street. Need to provide Gate Details for staff review prior to final. Street name will be established prior to final. Finalize street name requirement prior to final Disclaimer: H.C.I.D. No. 2 easement falls on top of the internal street. The engineer submitted a variance request to the ROW gate entrances. 58.73 ROW with a 20 ft paving face to face on each side and 4 ft side walk along the north side only. HCID #2 does not allow public improvements on ROW, email was sent to the engineer. - Variance got approved on 11.24.25. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are not built prior to recording. 1,200 ft. Block Length. 600 ft. Maximum Cul-de-Sac. Subdivision layout does not appear to comply with the 600 ft. Cul-De-Sac block length requirement, please revise accordingly prior to final. If no changes, please submit a variance request for 600 ft. maximum block length requirement. If variance is requested for Cul-De-Sac street exceeding the 600 ft. length, if variance is approved it would be subject to that 40 ft. of pavement. the variance was approved on 11.24.25 Subdivision Ordinance: Section 134-105. Subdivision Ordinance: Section 134-118. 600 ft. Maximum Cul-de-Sac. Subdivision layout does not appear to comply with the 600 ft. Cul-De-Sac block length requirement, please revise accordingly prior to final. If no changes, please submit a variance request for 600 ft. maximum block length requirement. If variance is requested for Cul-De-Sac street exceeding the 600 ft. length, if variance is approved it would be subject to that 40 ft. of pavement. the variance was approved on 11.24.25. Subdivision Ordinance: Section 134-105. * Front: 25 ft. or greater for easements Zoning Ordinance: Section 138-356". Rear: 10 ft. or greater for easements. Zoning Ordinance: Section 138-356. Sides: 6 ft. or greater for easements. Zoning Ordinance: Section 138-356. Side corner: 10 ft. or greater for easements, whichever is greater applies. Revisions needed. Include note as shown above prior to final. Zoning Ordinance section 138-356. Garage 18 feet except where a greater setback is required; greater setback applies. Zoning Ordinance section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 feet wide minimum sidewalk required on the west side of N. 2nd Street (Col. Rowe Blvd.) and both sides of all interior streets. Revise plat #6 as shown above prior to recording. Plat references incarnate word and North 3rd street, please make correction, prior to recording. Sidewalk requirement may increase to 5 ft. as per Engineering Department prior to final. Subdivision Ordinance: Section 134-120". Perimeter sidewalks must be built or money escrowed if not built at this time. 6 feet opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along N. 2nd Street. Landscaping Ordinance: Section 110-46. 8 feet masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along N. 2nd Street. As per Traffic Department, "No curb cuts will be allowed along N. 2nd street for any individual lots..." Contact traffic department for more details. Must comply with City Access Management Policy. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Add a plat note as shown above prior to final. Section 134-168 applies if private subdivision is proposed. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. HOA covenants would need to be submitted for staff review. Need to add a plat note with a space to cross-reference the recorded HOA document number. Section 134-168 applies if private subdivision is proposed. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Lot dedication min. 25 frontage on street. Zoning Ordinance: Section 138-356. Existing: R-1 (Single-Family Residential District) Proposed R-1 (Single-Family Residential District) Zoning Ordinance: Article V. As per plat submitted

on December 5, 2024, plat depicts 8 residential lots, a request to pay park fees in lieu of land dedication for the Hidden Grove Estates Subdivision has been submitted and will be reviewed by City Manager's Office. This request includes paying half of the park fees prior to recording and the other half prior to building permit issuance. Half of the park fees (\$2,800) are based on the \$350 per 8 proposed dwelling units, which is needed prior to recording, and \$350 per 8 dwelling units must be paid prior to building permit issuance. If the number of dwelling unit's increases, additional park fees will apply. The variance request was denied, full park fees must be paid, prior to recording. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per plat submitted on December 5, 2024, plat depicts 8 residential lots, a request to pay park fees in lieu of land dedication for the Hidden Grove Estates Subdivision has been submitted and will be reviewed by City Manager's Office. This request includes paying half of the park fees prior to recording and the other half prior to building permit issuance. Half of the park fees (\$2,800) are based on the \$350 per 8 proposed dwelling units, which is needed prior to recording, and \$350 per 8 dwelling units must be paid prior to building permit issuance. If the number of dwelling unit's increases, additional park fees will apply. The variance request was denied, Full Park fees must be paid, prior to recording. Pending review by the City Manager's Office. As per plat submitted on December 5, 2024, plat depicts 8 residential lots, a request to pay park fees in lieu of land dedication for the Hidden Grove Estates Subdivision has been submitted and will be reviewed by City Manager's Office. This request includes paying half of the park fees prior to recording and the other half prior to building permit issuance. Half of the park fees (\$2,800) are based on the \$350 per 8 proposed dwelling units, which is needed prior to recording, and \$350 per 8 dwelling units must be paid prior to building permit issuance. If the number of dwelling unit's increases, additional park fees will apply. The variance request was denied, Full Park fees must be paid, prior to recording. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Trip Generation has been approved, no TIA required. The engineer submitted a variance to 3 requests. This variance will be heard at the planning and zoning commission board on 11.4.25. The requests are 1. 58.73 ROW with 20ft of paving and 4 ft sidewalk on the north side only. 3. cul-de-sac requirement exceeding. Verify that the Metes & Bounds provided on the application match the bearings and distances labeled on the plat and plat boundary. Contour lines on the plat are missing the elevations. Application refers to subdivision name as "Hidden Grove Estates Subdivision" need to make sure that this subdivision title is reflected as such on all pertaining signature lines, reports, paperwork, etc. Owner signature refers to the wording used for public subdivisions, but as per application and the plat shown, this subdivision will be for a private subdivision. Please clarify the wording to match for private subdivisions. If owner is under an LLC, the most recent Secretary of State (SOS) Documents would need to be provided to verify the owner's signature. If there are multiple owners on the LLC, owner's authorization letters would be required for each owner. Any abandonments must be done by a separate instrument/document, cannot be abandoned by plat. Ownership map of the surrounding properties needs to be provided for staff review prior to final, to ensure that no landlocked properties exist. Needs to provide for a knuckle on the interior street by lot 8. Please clarify with staff to determine how Lot 3 will be developed. Subdivision was previously processed as the Proposed Eagle's Nest Subdivision and was withdrawn by the Engineer on April 21, 2023. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in final form subject to the conditions noted.

Ms. Natalie Moreno requested item to be tabled

Being no discussion, Member Mr. Jesse Ozuna moved to table item. Mr. Raul Sesin second the motion with four members present and voting.

- i) **VILLAS AT TRES LAGOS PHASE I, 5300 TRES LAGOS BLVD, RHODES ENTERPRISES INC, (SUB2025-0006) (REVISED FINAL) M&H**

Tres Lagos Blvd. 100 ft. R.O.W. Paving: 65 ft. B-B curb & gutter both sides. Based on the submitted plat, the subdivision does not appear to have any access to the Tres Lagos Blvd. and would be considered 'landlocked.' Clarify/submit additional documents prior to final/recording. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. COM Thoroughfare Plan Interior Streets. Dedications as needed for 60 ft. minimum R.O.W. Paving: 40 ft. Curb & gutter: both sides. Submitted master layout shows islands within the streets and cul-de-sac. Paving layout must comply with all Development Departments conditions, including fire apparatus maneuvering, no parking fire lane marking, etc. Street names will be established prior to final/recording. Submit master layout with proposed street names for staff review prior to final/recording. Provide paved temporary turnaround document number and a copy for staff review prior to final/recording. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. COM Thoroughfare Plan. Interior streets show 32 ft.-50 ft. R.O.W. A variance application (VAR2025-0005) has submitted to request approval for the ROW as shown on plat. For the streets with 32 ft. ROW, 32 ft. paving and 10 ft. sidewalk and utility easement is proposed on both sides. If the request is approved, it will be subject to the Development Departments conditions, which may include sidewalk and utility easement on all lots fronting any streets with ROW less than 60 ft., no parking fire lane marking on both sides, etc. The variance was approved at the planning and zoning commission. At the request of the engineer, the Planning and Zoning Commission considered the subdivision in final form at their meeting of February 18, 2025, subject to the variance approval. Various development departments, including Fire Department, had recommended disapproval of the variance request. After a brief discussion, the Board tabled the item so that the project engineer would have an opportunity to meet with staff for further discussion. The project engineer and developer met with staff and discussed the departments concerns. At the Planning and Zoning Commission meeting of March 18, 2025, the board removed the item from the table and discussed the variance request. Staff informed the board that the departments had no more objections to the request. Fire Chief was present and mentioned that they had no objections to the variance request. Edgar Garcia, from Melden & Hunt, was present and stated that there will be no on-street parking allowed in this development and that it would be enforced by the HOA. He added that guest parking would be provided as part of the next phase. After further discussion, the Board approved the subdivision in final form, subject to the conditions noted, and recommended approval of the requested variance, subject to no on-street parking be allowed by the HOA and a plat note reflecting this stipulation. At the City Commission meeting of April 14, 2025, the Board unanimously approved option No. 1 Approve the variance request, subject to no on-street parking be allowed, as recommended by Planning and Zoning Commission. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. 900 ft. Block Length for R-3 Zone Districts. Subdivision Ordinance: Section 134-118. 600 ft. Maximum Cul-de-Sac. Subdivision Ordinance: Section 134-105. ROW: 20 ft. Paving: 16 ft. Alley/service drive easement required for commercial and multi-family properties. Finalize the Public Works Department's requirements prior to final/recording. Subdivision Ordinance: Section 134-106. Front: 10 ft. or greater for easements. Proposing: "10 ft. minimum or (greater for easement)"/Rear (proposing): 11 ft. or greater for easements. Zoning Ordinance: Section 138-356 sides. In accordance with the Zoning ordinance or greater for easements. Zoning Ordinance: Section 138-356. Corner: 10 ft. or greater for easements. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required, greater setback applies. Zoning Ordinance section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on Tres Lagos Blvd, N. Shary Road and both sides of all interior streets. Proposing plat note #16, to be in accordance with agreement for interior streets. Submit sidewalk plan prior to final/recording to establish requirements. Any revisions needed by staff must be finalized prior to final/recording. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and

industrial zones/uses. Prior to final/recording, buffer requirements along Tres Lagos Blvd. must be established. Note is subject to change once lot frontage requirements have been finalized. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along Tres Lagos Blvd. Must comply with City Access Management Policy. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Note #26 Proposing: "Common Areas A, B and C will have maintained by the property owner/HOA and no City of McAllen." Note must be finalized prior to final/recording. *Public Improvement District (PID) or Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Revise Plat note #12 as shown above prior to final/recording. Section 134-168 applies if private subdivision is proposed. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Section 134-168 applies if private subdivision is proposed. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: R-3T, R-3A, and C-4 Proposed: R-3T. Two rezoning applications (REZ2024-0064 & REZ2024-0065) to rezone the property from C-4 and R-3A Districts to R-3T District were approved by the City Commission on January 27, 2025. Engineer must verify if proposed subdivision is within appropriate zoning as it may prompt changes to plat and/or rezoning process, review and finalize prior to final/recording. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Two rezoning applications (REZ2024-0064 & REZ2024-0065) to rezone the property from C-4 and R-3A Districts to R-3T District were approved by the City Commission on January 27, 2025. Engineer must verify if proposed subdivision is within appropriate zoning as it may prompt changes to plat and/or rezoning process, review and finalize prior to final/recording. Zoning Ordinance: Article V* As per Traffic Department, TIA level I was waived with conditions. Must follow the conditions prior to final/recording. As per Traffic Department, TIA level I was waived with conditions. Must follow the conditions prior to final/recording. Must comply with City's Access Management Policy. Proposed Private subdivision. Correct wording for private subdivisions must be used prior to recording. Submit referenced documents for staff review prior to final/recording. Revise the application for the Number of Dwelling units prior to final/recording. Street names will be established, prior to recording. Please add "Private" to the second page of the subdivision plat. Clarify the use of C.A. A and C.A. B prior to final/recording. A plat note to clarify the use may be needed prior to final/recording. Interior streets show 32 ft.-50 ft. R.O.W. A variance application (VAR2025-0005) has submitted to request approval for the ROW as shown on plat. For the streets with 32 ft. ROW, 32 ft. paving and 10 ft. sidewalk and utility easement is proposed on both sides. If the request is approved, it will be subject to the Development Departments conditions, which may include sidewalk and utility easement on all lots fronting any streets with ROW less than 60 ft., no parking fire lane marking on both sides, etc. The project engineer requested the plat to be presented to the Planning and Zoning Commission for final approval consideration, subject to the variance approval. At the Planning and Zoning Commission meeting of February 18, 2025, staff recommended disapproval of the variance request. After a brief discussion, the board unanimously tabled the item so that the engineer and staff meet to discuss the issues with the variance request. There were five members present and voting.

Staff recommends approval of the subdivision in revised final form, subject to the conditions noted.

Mr. Julio Constantino requested item to be tabled.

Mr. Raul Sestin had questions regarding a revised final subdivision and drainage. Mr. Even Gonzalez from Engineering department clarified the outfall situation for drainage.

After a lengthy discussion, Mr. Raul Sestin moved to approve subdivision in revised final form. Mr. Jesse Ozuna second the motion with four members present and voting.

j) D' COSTA SUBDIVISION, 801 N 23RD St, D, COSTA, INC. (SUB2023-0100) (REVISED FINAL) SEA

Mr. Julio Constantino stated that the property located on North 23rd Street (FM 1926): 20ft. dedication for 50 ft. from centerline for 100 ft. total ROW Paving: By the state Curb & gutter: By the state. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are not constructed prior to recording. North 24th Street: 10 ft. of dedication for 30 ft. from centerline for 50 ft. total ROW Paving: 40 ft. curb & gutter both sides. Label total R.O.W. after accounting dedication from center-line as "Total," prior to recording. Provide a copy of document regarding referenced existing dedications prior to recording. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are not built prior to recording. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. 600 ft. Maximum Cul-de-Sac. Subdivision Ordinance: Section 134-105. R.O.W.: 20 ft. Paving: 16 feet. Alley/service drive easement required for commercial properties and multi-family properties. Subdivision Ordinance: Section 134-106. A variance application (VAR2025-0021) was submitted by the applicant on June 9, 2025, to request the plat without an alley, essentially leaving the existing alley dead-end. The applicant stated that the previously proposed alley would reduce 20 ft. of the frontage of the lot to N. 24th Street and 3000 square foot of the lot size (from 25,000 sq. ft. to 22,000 sq. ft.). At the City Commission meeting of September 8, 2025, the commission approved variance request to the alley right-of-way dedication and paving requirements for proposed D'Costa Subdivision. At the P&Z meeting of July 8, 2025, the Board disapproved the plat in revised final form and recommended disapproval of the variance request. At the special meeting of July 29, 2024, the Subdivision was approved in Final Form, subject to the conditions noted. Previous approval provided for looping for existing 20 ft. N/S alley abutting northern property line dedicated by Falcon Addition. Plat submitted on July 3, 2024 provided a 20 ft. E/W alley R.O.W. dedication from the existing alley to the West to N. 24th street to eliminate dead-end alley. Dedication of the alley extension will be necessary to provide the access needed for Public Works Department for the lots located on the north side. The Planning and Zoning Commission approved the subdivision in Final Form on July 29, 2024, with the proposed alley extension and subject to compliance to Public Works requirements. Front: (N.23rd Street):In accordance with the zoning ordinance, or greater for easements or approved site plan, or in line with average setback, whichever is greater applies. Zoning Ordinance: Section 138-356,138-367. Rear: (N.24th Street): In accordance with the zoning ordinance, or greater for easements or approved site plan, or in line with average setback, whichever is greater applies. Zoning Ordinance: Section 138-356. Sides in accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Side Setback requirements subject to change once alley requirements have been finalized, finalize setback requirements, prior to recording. Proposed: As per zoning ordinance or greater for approved site plan or easements. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 5 ft. sidewalk along North 23rd Street and 4 ft. wide minimum sidewalk required on North 24th Street. 5 ft. sidewalk requirement as per Engineering Department. Sidewalk requirement for North 24th Street subject to be increased to 5 ft. prior to recording by Engineering Department. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-

family residential and commercial, and industrial zones/uses, and along N. 24th Street. A buffer shall be provided to screen refuse areas (including refuse dumpsters, compactors and contained compactors), outdoor storage areas and loading docks from public streets. Finalize plat note wording for note #8 once buffer requirements have been finalized, prior to recording. Landscaping Ordinance: Section 110-46, 110-49. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. As per City Commission meeting decision on September 8, 2025, masonry wall would be required abutting North-Section properties. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Any access agreements must be shown on plat and if done by separate instrument, document numbers must be shown on plat and finalized prior to recording. Must comply with City Access Management Policy. As per Traffic Department, as per Access Management Policy, spacing requirement along S. 23rd Street is 250 ft. between access, a shared access with the northern lot required. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: C-3 (General Business) District Proposed: C-3 (General Business) District. As per application dated September 08, 2023 proposed land use is commercial, please review intended use as it may require a conditional use permit. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation is approved, TIA waived with conditions. Traffic Impact Analysis (TIA) required prior to final plat. As per Traffic Department, Trip Generation is approved, TIA waived with conditions. Must comply with City's Access Management Policy. A variance application (VAR2025-0021) was submitted by the applicant on June 9, 2025, to request the plat without an alley, essentially leaving the existing alley dead-end. The applicant stated that the previously proposed alley would reduce 20 ft. of the frontage of the lot to N. 24th Street and 3000 square foot of the lot size (from 25,000 sq. ft. to 22,000 sq. ft.). At the City Commission meeting of September 8, 2025, the commission approved variance request to the alley right-of-way dedication and paving requirements for proposed D'Costa Subdivision. At the P&Z meeting of July 8, 2025, the Board disapproved the plat in revised final form and recommended disapproval of the variance request. At the special meeting of July 29, 2024, the Subdivision was approved in Final Form, subject to the conditions noted. Disclaimer any abandonments must be done by separate process, not by plat, any abandonments by separate instrument must be finalized prior to recording.

Staff recommends approval of the subdivision in final form, subject to the conditions noted.

Being no discussion, Mr. Raul Sesin moved to approve subdivision in final form. Mr. Jesse Ozuna second the motion and moved to approve the subdivision in final form with four members present and voting.

k) PALM VALLEY ESTATES LOT 4A SUBDIVISION, 2600 S 39th St, TGR CAPITAL, LLC, (SUB2025-0163) (FINAL) RDE

S. 39th Street: ROW dedication needed for total 50 ft. ROW. Paving: 32 feet Curb & gutter: both sides. Variance application submitted on October 17, 2025 with the request to request to keep the existing Cul-De-Sac R.O.W. Radius was presented at the November 4, 2025 P&Z meeting with a Public Hearing and approved. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. 600 ft. Maximum Cul-de-Sac. Variance application submitted on October 17, 2025 with the request to request to keep the existing Cul-De-Sac Radius R.O.W. was approved at the

November 4, 2025 P&Z meeting with a Public Hearing. Subdivision Ordinance: Section 134-105. Front: 20 ft. or greater for easements. Zoning ordinance section 138-356. Rear 10 feet or greater for easements. Zoning ordinance section 138-356. Sides 6 feet or greater for easements. Zoning Ordinance section 138-356. Garage 18 feet except where greater setback is required, greater setback applies Zoning ordinance section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 feet wide minimum sidewalk required on S. 39th Street. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Must comply with City Access Management Policy. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: R-1 (Low Density Residential District). Proposed: R-1 (Low Density Residential District) Zoning Ordinance: Article V. If the property is rezoned to UDC zones prior to final, it must comply and the plat notes must reference UDC. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Variance application submitted on October 17, 2025 with the request to request to keep the existing Cul-De-Sac Radius R.O.W. was approved at the November 4, 2025 P&Z meeting with a Public Hearing. Pending approval by the City Commission meeting, to be presented in Final Form subject to CC approval. Must comply with City's Access Management Policy. Any notes or restrictions on the recorded plat of Palm Valley Estates Subdivision will apply to the replat.

Staff recommends approval of the subdivision in final form, subject to the conditions noted.

Being no discussion, Mr. Jesse Ozuna moved to approve subdivision in final form. Mr. Raul Sesin second the motion and moved to approve the subdivision in final form with four members present and voting.

**I) BARRERA SUBDIVISION, 5721 N. WARE RD., SAMES INC.,
(SUB2025-0166) (FINAL) SAMES**

Mr. Julio Constantino stated that the property located on North Ware Road: 15 ft. minimum dedication for 75 ft. from centerline for 150 ft. total ROW paving by the state Curb & Gutter: By the state. Label ROW after accounting for ROW dedication (total and total ROW from centerline), prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. * 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118 R.O.W. 20 feet. Paving 16ft. Alley or service drive cannot dead-end. Provide for alley or service drive, prior to final. If a service drive is proposed a plat note stating ""A minimum 24 ft. private service drive will be established as part of the site plan and will be maintained by the lot owners and not the City of McAllen. Alley/service drive required for commercial properties. Subdivision Ordinance: Section 134-106. In accordance with the Zoning Ordinance or in line with existing structures, or greater for easements or approved site plan, whichever is greater applies. Revise front setback as shown above, prior to final. Zoning Ordinance: Section 138-356. In accordance with the Zoning Ordinance or greater for easements or approved site plan whichever is greater applies. Revise rear setback as shown above, prior to final. Zoning Ordinance: Section 138-356. In accordance with the Zoning Ordinance or greater for easements or approved site plan whichever is greater applies. Revise side setback as shown above, prior to final. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan 4 ft. wide minimum sidewalk required on North Ware Road. Sidewalk requirements for North Ware Rd. may increase to 5ft. per Engineering Department requirements.

Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Shown as Plat note #13. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Shown as Plat note # 14. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Plat note shown in #15. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing C-3 Proposed C-3. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation approved, no TIA required. Pending all clear Traffic Department. If you want more information, please call the Traffic Operations Department at (956) 681-2715. Traffic Impact Analysis (TIA) required prior to final plat. Any abandonments must be done by separate process and not by plat, prior to final. Engineer must verify subdivision boundaries as they show discrepancies from submitted survey. Signatures blocks must comply with Section 134-61 of the Subdivision Ordinance. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in final form, subject to the conditions noted.

Being no discussion, Mr. Jose Caso moved to approve the item subdivisions in final form, subject to the conditions noted. Mr. Raul Sesin second the motion with four members present and voting.

m) LAS BRISAS PHASE II SUBDIVISION, 3105 MONTE CRISTO RD, RHODES DEVELOPMENT INC, (SUB2025-0111) (FINAL) M&H

Mr. Julio Constantino stated that the property located on Interior Streets: 50 ft. ROW. Paving: 32 ft. Curb & gutter: both sides. Street names will be finalized, prior to final. Temporary paved turnarounds as shown on plat by separate document will need to be recorded, prior to recording. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan* 1,200 ft. Block Length: Common Areas and access walks/drives provided per agreement. Subdivision Ordinance: Section 134-118. 600 ft. Maximum Cul-de-Sac. Please provide dimensions of Cul-de-Sacs. Please clarify if islands are proposed and provide paving dimensions around all islands to determine compliance prior to final. Paving must be 96 ft. in diameter face to face and island must meet 32 ft. paving all around and must be fire lane striped, as applicable. Front: 20 feet minimum or greater for easements. Zoning Ordinance: Section 138-356. Rear: 11 feet or greater for easements. Zoning Ordinance: Section 138-356. Sides: 5 feet or greater for easements. Zoning Ordinance: Section 138-356. Corner: 10 feet or greater for easements. Remove side from corner setback. Zoning Ordinance: Section 138-356. Garage: 18 feet except where greater setback is required; greater setback applies. Revise plat note as shown above, prior to final. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. Interior sidewalks shall be installed at building permit stage as per sidewalk plan filed with the city by registered engineer designing the unit of development, per agreement. City ordinance will not apply provided a sidewalk having at least an adequate width for pedestrian and bike traffic is provided in a plan that is sealed by the registered engineer designing the unit of development, per agreement. Must provide sidewalk, prior to final. Revise plat note #16 as shown above, prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Revise plat note as shown above, prior to final. Landscaping Ordinance: Section 110-46

8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, etc. must be maintained by the lot owners/PID and not the City of McAllen. Revise plat note as shown above, prior to final/Recording. Public Improvement District (PID) (Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 110-72 of the Vegetation Ordinance, including but not limited to common areas. Section 110-72 applies if public subdivision is proposed. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Public Improvement District (PID) Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Section 110-72 applies if public subdivision is proposed. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. Access to subdivision from Las Brisas Phase I Subdivision, which has access to Monte Cristo Road. The subdivision must comply with minimum access points, as per agreement. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Lots must comply with the minimum 50 ft. frontage requirement and 54 ft. on corner lots, or in compliance per Agreement. Zoning Ordinance: Section 138-356. Existing: R-1 Proposed: R-1. Zoning Ordinance: Article V. Land dedication in lieu of fee. As per Parks Department, in this case Park fees do not apply because Park land dedication exceeds City's requirements as of 10/30/2014, as per agreement. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, in this case Park fees do not apply because Park land dedication exceeds City's requirements as of 10/30/2014, as per agreement. Pending review by the City Manager's Office. As per Parks Department, in this case Park fees do not apply because Park land dedication exceeds City's requirements as of 10/30/2014, as per agreement. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. As per Traffic, Phase II was included and approved in the Master TG approved, Master TIA approved with conditions. Traffic Impact Analysis (TIA) required prior to final plat. As per Traffic, Master TIA approved with conditions. Any abandonments must be done by separate process, not by plat, prior to final. Signature blocks must be revised to show correct subdivision name. Clarify dotted line shown outside subdivision boundary line at the southwest corner. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in final form, subject to the conditions noted.

Mr. Kaveh Forghanparast senior planner clarified subdivision and drainage report process. Mr. Even Gonzalez stated he won't move forward in providing a preconstruction meeting. Citizen Michelle Lozano, address 200 South 10th street clarified the situation regarding the outfall for engineering.

After a lengthy discussion, Mr. Jesse Ozuna moved to table item subdivision in final form, subject to the conditions noted. Mr. Jose Caso second the motion with four members present and voting.

**n) WARE VILLAGE SUBDIVISION, 4100 SH 107, ADOLFO GUTIERREZ,
(SUB2025-0165) (FINAL) SEA**

Ms. Natalie Moreno stated that the property located on S.H. 107 86 ft. from centerline for 172 ft. ROW existing. Paving: by the state. Curb & gutter: by the state. Subdivision Ordinance: Section 134-105 Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan North Ware Road: 35 ft. ROW dedication required for 75 ft. from centerline for 150 ft. ROW. Paving: by the state Curb & gutter: by the state. Revise plat to show the Total ROW, Aquations ROW by the state is 160 ft ROW, please show on plat. Please clarify and provide documentation. Please indicate how

existing ROW has been dedicated on plat. Verify with TX Dot for ROW acquisition and if any dedication will be needed on the west side of Ware Road, prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan North Bentsen Road: ROW dedication required for 100 ft. total ROW. Paving: 65 ft. Curb & gutter: both sides Provide document numbers for existing ROW dedications and provide a copy to staff for review, prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. E/W Quarter Mile Collector (north boundary): dedication as needed for 60 ft. total ROW. Paving: 40 ft. Curb & gutter: both sides. A variance request was submitted on May 29, 2025 to not provide the 1/4-mile collector road. The engineer states 1/4 cannot be extended east across N. Bentsen Road or west across N. Ware Road and site already has 3 other access roads. Staff recommends disapproval of the variance request as the collector road can provide adequate traffic flow east and west and location can be ideal for alignment of future water line. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. 1,200 ft. Block Length. Once zoning is finalized subdivision layout will need to be revised to comply with block length requirement. Additional requirements/revisions may be established when new zoning/annexation is finalized. Subdivision Ordinance: Section 134-118. ROW: 20 feet Paving; 16 ft. If service drive is proposed a plat note stating "A minimum 24 ft. private service drive will be established as part of the site plan and must be maintained by the lot owners and not the City of McAllen"., prior to recording. Additional requirements/revisions may be established when new zoning/annexation is finalized. Alley/service drive easement required for commercial/multi-family properties. Subdivision Ordinance: Section 134-106. State highway 107 Proposing - 75 ft. or greater for approved site plan or easements. North Ware Road (FM 2220) Proposing - 75 ft. or greater for approved site plan or easements. Finalize setbacks as needed, prior to final. Additional requirements/revisions may be established when new zoning/annexation is finalized. Zoning Ordinance: Section 138-356 on 138-356. Rear proposing in accordance with the Zoning Ordinance, or greater for approved site plan or easements. Finalize setbacks as needed, prior to final. Additional requirements/revisions may be established when new zoning/annexation is finalized. Zoning Ordinance: Section 138-356. 356 Sides proposing in accordance with the Zoning Ordinance, or greater for approved site plan or easements. Finalize setbacks as needed, prior to final. Additional requirements/revisions may be established when new zoning/annexation is finalized. Zoning Ordinance: Section 138-356. Corner proposing - 75 ft. or greater for approved site plan or easements. Finalize setbacks as needed, prior to final. Additional requirements/revisions may be established when new zoning/annexation is finalized. Zoning Ordinance: Section 138-356. 5 feet wide minimum sidewalk required on State Highway 107 and North Ware Road and a 4 ft. wide minimum sidewalk required on North Bentsen Road and E/W 1/4 Mile Collector Road. 5 ft. wide sidewalk required along S. H. 107 and N. Ware Road as per Engineering Department. Plat note wording to be finalized, prior to recording. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Must comply with City Access Management Policy. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Remove plat note #9 as it is not needed, site plan will be reviewed by the Planning and Development Departments if annexed into the City. Additional requirements/revisions may be established when new zoning/annexation is finalized. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets.

Subdivision Ordinance section 134-1. Minimum lot width and lot area. Zoning Ordinance section 138-356. Existing C-3 & ETJ Proposed: C-3, C-2 & A-O. A rezoning request was submitted on June 23, 2025 to rezone to C-2 & A-O and was approved. An annexation request was submitted on May 29, 2025 and approved. Additional requirements/revisions may be established when new zoning/annexation is finalized. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval A rezoning request was submitted on June 23, 2025 to rezone to C-2 & A-O and was approved. An annexation request was submitted on May 29, 2025 and was approved. Additional requirements/revisions may be established when new zoning/annexation is finalized. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Plat shows access easement, update plat to show E/W QUARTER MILE COLLECTOR. Additional requirements/revisions may be established when new zoning/annexation is finalized. Any abandonments must be done by separate process, not by plat. Easements must be annotated with dedicated by this plat or with a plat note. Label clearly the lot lines for each individual lot as it is difficult to establish what are the property lines and ROW lines. Application will need to be revised to reflect changes on the plat. The original Kamary subdivisions in process had a plat note for McAllen Public Utilities, get with them to determine if the plat note will still be needed. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in final form subject to conditions noted, drainage and traffic approval.

Being no discussion, Mr. Raul Sesin moved to approve the subdivision in revised final form, subject to the conditions noted. Mr. Jesse Ozuna second the motion with four members present and voting.

6) DISCUSSION:

No discussion.

7) INFORMATION ONLY:

Planning Director, Mr. Omar Sotelo gave an update to the board members regarding the last City Commission meeting.

ADJOURNMENT:

There being no further business to come before the Planning & Zoning Commission, Mr. Jesse Ozuna adjourned the meeting at 4:22p.m. with Mr. Raul Sesin seconding the motion with four members present and voting.

Emilio Santos Jr, Board Member

ATTEST: _____
Ofelia Camacho, Administrative Assistant

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: February 3, 2026

SUBJECT: REZONING FROM C-3 (GENERAL BUSINESS-OC) AND R-2 (DUPLEX-FOURPLEX-OC) DISTRICT UNDER THE OLD CODE (OC) TO C-2 (REGIONAL COMMERCIAL - UDC) DISTRICT UNDER THE NEW UNIFIED DEVELOPMENT CODE (UDC) FOR THE FOLLOWING PROPERTIES:

REZ2025-0257:

Main Place Lot 5 and Quincy Lots 1-4, Hidalgo County, Texas:

1501-1613 Expressway 83

Quincy Lots 6-7

1701-1705 Expressway 83

Valram Heights Lots 1A-2B and Property ID: 211089, Hidalgo County, Texas:

2601-2901 Expressway 83

Tex-Mex Ut. No. 2 Lots 2-3, O'Neall Lot 1 and Property IDs: 211078, 211081, 211079, 195365, Hidalgo County, Texas:

3317-3621 Expressway 83

Tex-Mex Ut. No. 2 Lot 1 and Property ID: 211084, Hidalgo County, Texas:

3100-3212 Colbath Avenue

Speedy Stop Lot A and Property IDs: 230736, 230735, Hidalgo County, Texas:

1600-1606 South 23rd Street

Velez Lot 1, Hidalgo County, Texas:

1713 Quebec Avenue

Quincy Lot 18, Hidalgo County, Texas:

1600 Richmond Avenue

Quincy Lots 12-15, Hidalgo County, Texas:

1612-1704 Richmond Avenue

Main Place Lot 4 and South Main Street Block 1 Lot 9, Hidalgo County, Texas:

1400-1405 Savannah Avenue

South Main Street Block 4 Lots 1-2, Hidalgo County, Texas:

1717-1721 Savannah Avenue

South Main Street Block 2 Lots 8-10, Hidalgo County, Texas:

1401-1409 Toronto Avenue

Jones Lot 1, Hidalgo County, Texas:

1821 South Bicentennial Boulevard

Main Place Lots 2-3 and Common Area, Hidalgo County, Texas:

1800-1812 South 16th Street

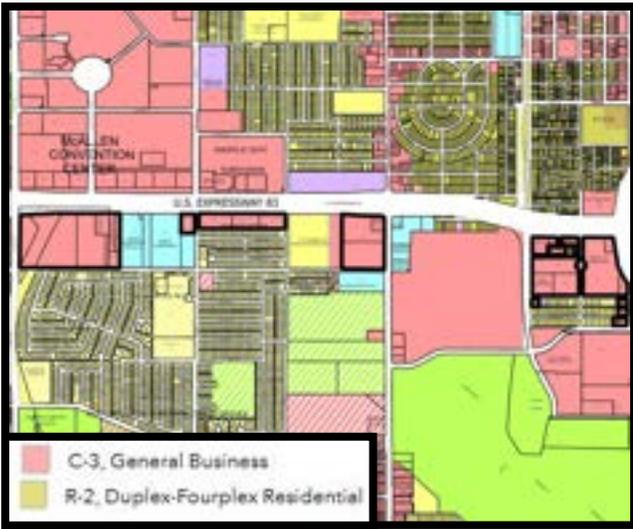
Main Place Lot 1 and South Main Street Block 1 Lots 10-12, Hidalgo County, Texas:

1800-1916 South Main Street

Quincy Lot 5, Hidalgo County, Texas:

1617 Expressway 83

LOCATION: The subject properties are located along Expressway 83 between South Ware Road and South Main Street and are Zoned C-3 (General Business-OC) District and R-2 (Duplex-Fourplex-OC) District



PROPOSAL: The City of McAllen is requesting to rezone the properties to C-2 (Regional Commercial-UDC) District as part of the citywide rezoning pertaining to the adoption of the new McAllen Unified Development Code (UDC).

ADJACENT ZONING: The adjacent properties are zoned C-3 (General Business-OC), C-4 (Commercial Industrial-OC), R-1 (Single-Family Residential-OC), R-1 (Low-Density Residential-UDC), and R-2 (Duplex-Fourplex-UDC).

LAND USE: Surrounding uses include single-family dwellings, multi-family units, commercial uses and vacant land.

COMPREHENSIVE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for these property as Regional Commercial, which is a land use designation where the area consists of nonresidential land uses that meet the needs of both local and regional residents.

DEVELOPMENT TRENDS: The development trend around this area is primarily commercial uses.

ANALYSIS: The requested zoning conforms to the future land use designation as shown on the Envision McAllen Future Land Use Plan. It also follows the development trend of the area.

Any future constructions must comply with all development and conditional use permit requirements where applicable under the UDC.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to C-2 (Regional Commercial-UDC) District.

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: January 21, 2026

SUBJECT: REZONING FROM C-1 (OFFICE BUILDING OFFICE-OC) DISTRICT UNDER THE OLD CODE (OC) TO C-1 (LOCAL COMMERCIAL-UDC) DISTRICT UNDER THE NEW UNIFIED DEVELOPMENT CODE (UDC) FOR THE FOLLOWING PROPERTIES:

CASE REZ2025-0259:

David Farb Subdivision, Lot A, Hidalgo County, Texas

101 Expressway 83

Tavarez Medical Center Subdivision, Lot 1, Hidalgo County, Texas

100 Ridge Road

Ridgeview Place Unit No. 1, Lots 1-4, Hidalgo County, Texas

1901 - 1913 South 1st Street

Ridgeview Place Unit No. 1, Lots 5 & 6, Hidalgo County, Texas

105 - 109 East Toronto Avenue

Ridgeview Place Unit No. 1, Lots 7A & 8A, Hidalgo County, Texas

201 - 205 East Toronto Avenue

Medical Estates Unit No. 2, Lot 1, Hidalgo County, Texas

110 East Savannah Avenue

Medical Estates Unit No. 1, Lot 1, Hidalgo County, Texas

222 East Ridge Avenue

HCA Rio Grande Regional Subdivision, Lots 1 & 2, Hidalgo County, Texas

1801 - 1809 South Cynthia Street

1901 South Cynthia Street (Prop ID: 513301)

Med Plex South Subdivision, Lots A, B & C, Hidalgo County, Texas

1913 - 2101 South Cynthia Street

500 East Ridge Rd (Prop ID: 552572)

Medcath Subdivision, Lot A, Hidalgo County, Texas

1900 South D Street

Timberwalk Subdivision, Lot 1, Hidalgo County, Texas

510 East Ridge Rd

Timberwalk Subdivision No. 2, Lot A, Hidalgo County, Texas

1817 South D Street

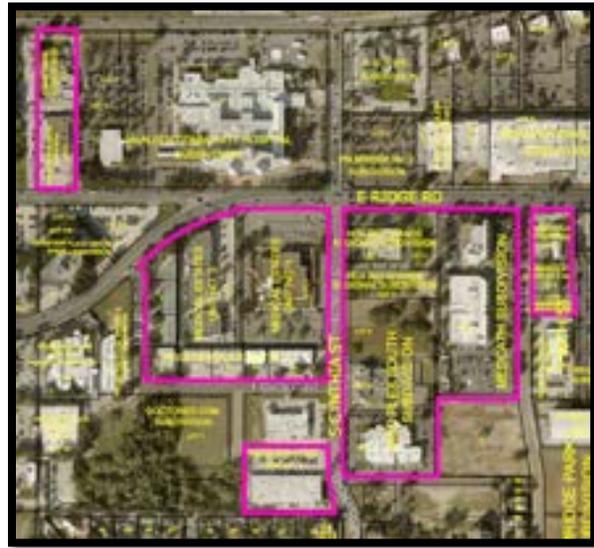
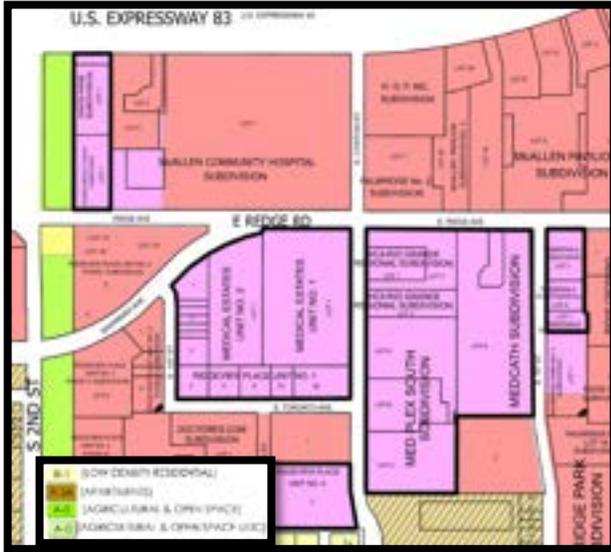
Timberwalk Subdivision No.3, Lot 1, Hidalgo County, Texas

1901 South D Street

Ridgeview Place Unit No. 3, Lot 2, Hidalgo County, Texas

2010 South Cynthia Street

LOCATION: The subject properties are located on the south side of U.S. Expressway 83, east of South 2nd Street



PROPOSAL: The City of McAllen is requesting to rezone the properties to C-1 (Local Commercial-UDC) District as part of the citywide rezoning pertaining to the adoption of the new McAllen Unified Development Code (UDC).

ADJACENT ZONING: The adjacent properties are zoned C-3 (General Business-OC) District, R-1 (Low-Density Residential-UDC) District, R-3 (High Density Residential-UDC) District, and A-O (Agricultural and Open Space-OC) District.

LAND USE: Surrounding uses include hospitals, medical offices, single-family homes, and multi-family apartments.

FUTURE LAND USE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for these properties as Regional Commercial.

DEVELOPMENT TRENDS: The development trend in this area is office, medical and hospital use.

ANALYSIS: The requested zoning conforms to the future land use designation as shown on the Envision McAllen Future Land Use Plan. The proposed district is appropriate for this area as it provides a balanced mix of commercial, office, and medical uses in a higher-density, pedestrian-oriented setting that complements the existing residential surroundings.

Any future construction must comply with all development and conditional use permit requirements as applicable under the UDC.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to C-1 (Local Commercial-UDC) District.

Memo

TO: Planning and Zoning Commission

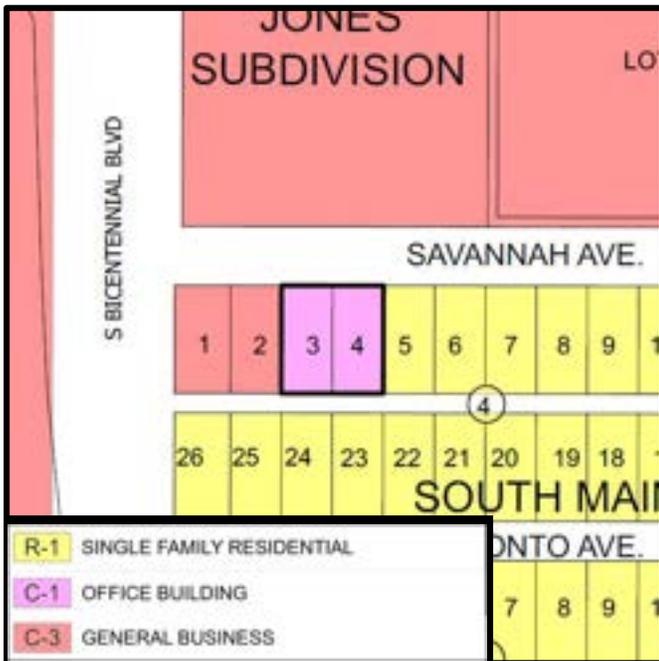
FROM: Planning Staff

DATE: February 3, 2026

SUBJECT: REZONING FROM C-1 (OFFICE BUILDING-OC) DISTRICT UNDER THE OLD CODE (OC) TO C-1 (LOCAL COMMERCIAL-UDC) DISTRICT UNDER THE NEW UNIFIED DEVELOPMENT CODE (UDC) FOR THE FOLLOWING PROPERTIES:

REZ2025-0260:
SOUTH MAIN STREET SUBDIVISION LOTS 3-4, BLOCK 4, HIDALGO COUNTY, TEXAS
1711-1715 SAVANNAH AVENUE

LOCATION: The subject properties are located along the southside of Savannah Avenue, east of South Bicentennial Boulevard and zoned C-1 (Office Building – OC) District.



PROPOSAL: The City of McAllen is requesting to rezone the properties to C-1 (Local Commercial-UDC) District as part of the citywide rezoning pertaining to the adoption of the new McAllen Unified Development Code (UDC).

ADJACENT ZONING: The adjacent properties are zoned C-3 (General Business – OC) District to the north and west, and R-1 (Single-Family Residential – OC) District to the east and south.

LAND USE: The subject property is being used as an office. Surrounding uses include single-family dwellings, multi-family units, commercial uses, Boeye Reservoir, McAllen International Airport, and vacant land.

COMPREHENSIVE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for these property as Complete Communities, which is a land use designation that allows for established low-density neighborhoods to welcome compatible density and commercial uses into their neighborhoods via incremental infill. Nonresidential uses in this category primarily include neighborhood serving retail, services, and offices.

DEVELOPMENT TRENDS: The development trend along this area include single-family homes, offices, and commercial plazas.

ANALYSIS: The requested rezoning does conform to the Future Land Use Plan designation as shown on the Envision McAllen Future Land Use Plan and follows the development trend in this area.

The proposed C-1 (Local Commercial – UDC) District provides for a range of commercial activities, including the development of small-scale neighborhood offices. This district offers a transition between neighborhoods and intensive commercial areas.

Any future construction must comply with all development requirements where applicable under the UDC.

Staff has not received any phone calls, emails, or letters in opposition to this request.

RECOMMENDATION: Staff recommends approval of the rezoning request to C-1 (Local Commercial – UDC) District.

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: February 03, 2026

SUBJECT: REZONING FROM R-1 (SINGLE-FAMILY RESIDENTIAL-OC) DISTRICT UNDER THE OLD CODE (OC) TO R-1 (LOW DENSITY RESIDENTIAL-UDC) DISTRICT UNDER THE NEW UNIFIED DEVELOPMENT CODE (UDC) FOR THE FOLLOWING PROPERTIES:

CASE REZ2025-0261:

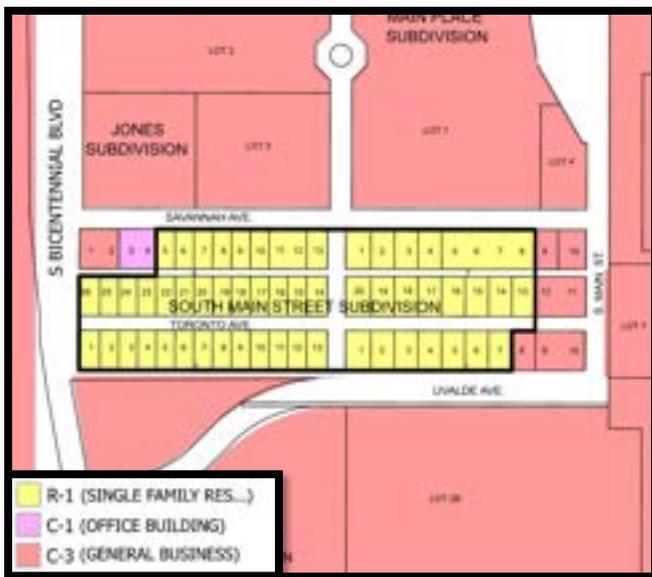
South Main Street Subdivision Lots 1-8, Block 1, Hidalgo County, Texas
1409-1517 Savannah Avenue

South Main Street Subdivision Lots 13-20, Block 1, and Lots 1-7, Block 2,
Hidalgo County, Texas
1408-1517 Toronto Avenue

South Main Street Subdivision Lots 5-13, Block 4, Hidalgo County, Texas
1601-1705 Savannah Avenue

South Main Street Subdivision Lots 14-26, Block 4, and Lots 1-13, Block 3,
Hidalgo County, Texas
1600-1721 Toronto Avenue

LOCATION: The subject properties are located on the south side of Savannah Avenue and along the east side of South Biccennial Road.



PROPOSAL: The City of McAllen is requesting to rezone the properties to R-1 (Low Density Residential-UDC) District as part of the citywide initiated rezoning pertaining to the adoption of the new McAllen Unified Development Code (UDC).

ADJACENT ZONING: The adjacent properties are zoned C-3 (General Business-OC) District and C-1 (Office Building Office-OC) District to the west.

LAND USE: Surrounding uses include single-family homes, commercial business, and a major retail center.

FUTURE LAND USE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for these properties as Complete Communities.

DEVELOPMENT TRENDS: The development trend along Savannah Avenue is single-family residences and commercial businesses.

ANALYSIS: The requested zoning conforms to the future land use designation as shown on the Envision McAllen Future Land Use Plan. The proposed R-1 (Low Density Residential) District is an equivalent zoning district to the current R-1 District zoning designation.

Any future constructions must also comply with all development and conditional use permit requirements as applicable under the UDC.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to R-1 (Low Density Residential-UDC) District.

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

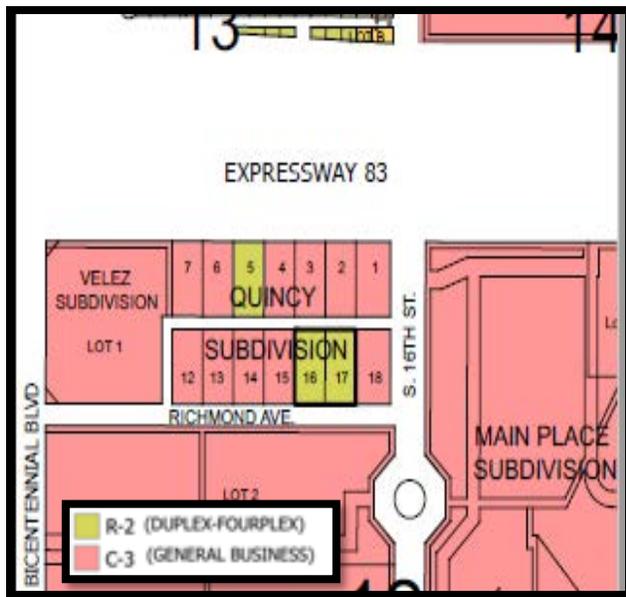
DATE: February 03, 2026

SUBJECT: REZONING FROM R-2 (DUPLIX FOURPLEX RESIDENTIAL-OC) DISTRICT UNDER THE OLD CODE (OC) TO R-2 (MEDIUM DENSITY RESIDENTIAL-UDC) DISTRICT UNDER THE NEW UNIFIED DEVELOPMENT CODE (UDC) FOR THE FOLLOWING PROPERTIES:

CASE REZ2025-0258:

Quincy Subdivision Lots 16-17, Block 1, Hidalgo County, Texas
1604 & 1608 Richmond Avenue

LOCATION: The subject properties are located on the north side of Richmond Avenue and along the west side of South 16th Street.



PROPOSAL: The City of McAllen is requesting to rezone the properties to R-2 (Medium Density Residential-UDC) District as part of the citywide initiated rezoning pertaining to the adoption of the new McAllen Unified Development Code (UDC).

ADJACENT ZONING: The adjacent properties are zoned C-3 (General Business-OC) District to the south, east, and west, and R-2 (Duplex Fourplex Residential-OC) District to the north.

LAND USE: Surrounding uses include commercial business and multi-family residences.

FUTURE LAND USE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for these properties as Regional Commercial.

DEVELOPMENT TRENDS: The development trend along Richmond Avenue is commercial businesses.

ANALYSIS: The requested zoning does not conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan. The proposed R-2 (Medium Density Residential) District is an equivalent zoning district to the current R-2 District zoning designation.

Any future constructions must also comply with all development and conditional use permit requirements as applicable under the UDC.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to R-2 (Medium Density Residential-UDC) District.

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: February 3, 2026

SUBJECT: REZONING FROM C-4 (COMMERCIAL INDUSTRIAL -OC) DISTRICT UNDER THE OLD CODE (OC) TO C-2 (REGIONAL COMMERCIAL -UDC) DISTRICT UNDER THE NEW UNIFIED DEVELOPMENT CODE (UDC) FOR THE FOLLOWING PROPERTIES:

REZ2026-0002:

Judco No. 2 Subdivision Lots 1-2, Hidalgo County, Texas

3025 Expressway 83

3101 Expressway 83

Foodmaker Subdivision Lot A, Hidalgo County, Texas

1601 South 23rd Street

Martinez Subdivision Lot 1, Hidalgo County, Texas

1609 South 23rd Street

D. Castilla Subdivision Lot 1, Hidalgo County, Texas

1809 South 23rd Street

Martinez Subdivision Unit 2 Lot 1, Hidalgo County, Texas

1900 South 23rd Street

2900 Colbath Road (PID: 211087)

1605 South 23rd Street (PID: 185472)

LOCATION: The subject properties are located on the south side of Expressway 83, between South Bicentennial Boulevard and South Ware Road.



PROPOSAL: The City of McAllen is requesting to rezone the property to C-2 (Regional Commercial-UDC) District as part of the citywide rezoning pertaining to the adoption of the new McAllen Unified Development Code (UDC).

ADJACENT ZONING: The adjacent properties are zoned C-4 (Commercial Industrial –OC) District, C-3 (General Business-OC) District, and R-1 (Low Density Residential-UDC).

LAND USE: The properties consist of restaurants, retail stores, parking areas, and vacant land. Surrounding uses include vacant land, retail, parking area, single family residential homes, and restaurants.

FUTURE LAND USE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for this property as Regional Commercial. Regional Commercial areas consist of nonresidential land uses that meet the needs of both local and regional residents.

DEVELOPMENT TRENDS: The development trend along this area is a mix of commercial, Industrial and Residential.

ANALYSIS: The requested zoning conforms to the future land use designation as shown on the Envision McAllen Future Land Use Plan.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to C-2 (Regional Commercial-UDC) District.

MCALLEN
CONVENTION
CENTER

SHOPS AT HIGH
SUBDIVISION

U.S. EXPRESSWAY 83

U.S. EXPRESSWAY 83



MCALLEN SECOND SUBURBAN CITRUS GROVES



**CITY OF MCALLEN
PLANNING DEPARTMENT**

 SUBJECT PROPERTY

LEGEND
SCALE: N.T.S.

AREA MAP

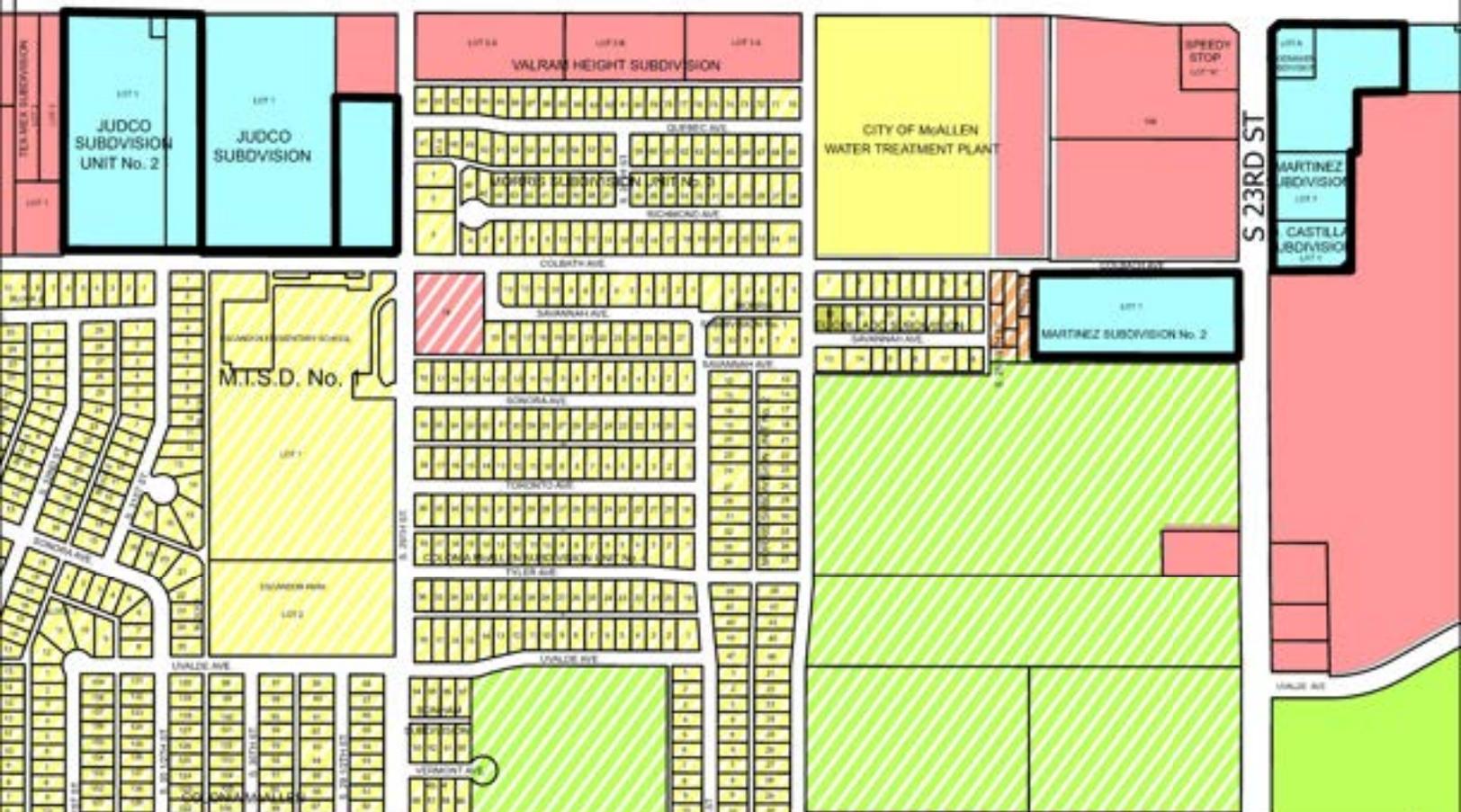


This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.



U.S. EXPRESSWAY 83

U.S. EXPRESSWAY 83



**CITY OF McALLEN
PLANNING DEPARTMENT**

LEGEND
SCALE: N.T.S.

AREA MAP



SUBJECT PROPERTY

OLD ZONE

- A-O (AGRICULTURAL & OPEN...)
- R-1 (SINGLE FAMILY RES...)
- R-2 (DUPLEX-FOURPLEX)

UDC ZONE

- A-O (AGRICULTURAL & OPEN...)
- R-1 (LOW DENSITY RES...)

- R-3A (APARTMENTS)
- R-3C (CONDOMINIUMS)
- R-3T (TOWNHOMES)
- R-4 (MOBILE HOMES)
- R-2 (MEDIUM-DENSITY RES...)
- R-3 (HIGH-DENSITY RES...)
- C-1 (LOCAL COMMERCIAL)

- C-1 (OFFICE BUILDING)
- C-2 (NEIGHBORHOOD COMM...)
- C-3 (GENERAL BUSINESS)
- C-3L (LIGHT COMMERCIAL)
- C-2 (REGIONAL COMMERCIAL)
- I-1 (LIGHT INDUSTRIAL)
- I-2 (HEAVY INDUSTRIAL)

- C-4 (COMMERCIAL IND...)
- I-1 (LIGHT INDUSTRIAL)
- I-2 (HEAVY INDUSTRIAL)
- M-1 (LOCAL MIXED USE)
- M-2 (REGIONAL MIXED USE)
- C-C (CITY CORE)

This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.

Planning Department

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

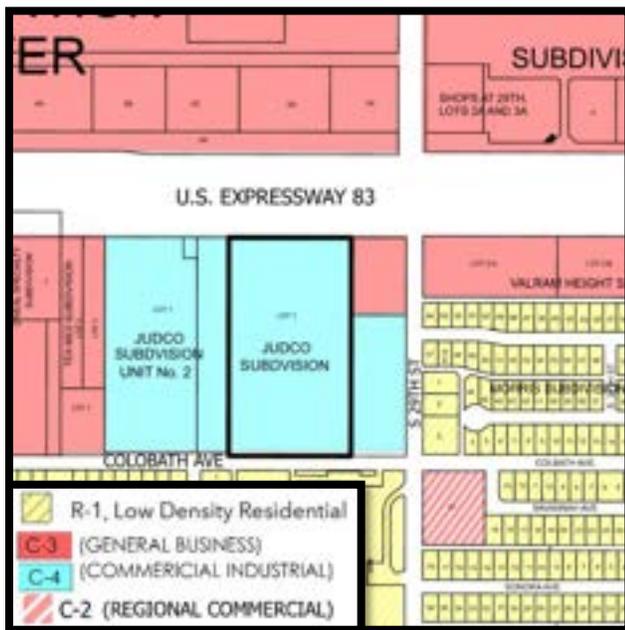
DATE: February 3, 2026

SUBJECT: REZONING FROM C-4 (COMMERCIAL INDUSTRIAL-OC) DISTRICT UNDER THE OLD CODE (OC) TO I-1 (LIGHT INDUSTRIAL-UDC) DISTRICT UNDER THE NEW UNIFIED DEVELOPMENT CODE (UDC) FOR THE FOLLOWING PROPERTIES:

CASE REZ2026-0001:

3001 Expressway 83 (PID: 531528)

LOCATION: The subject property is located on the south side of Expressway 83, west of South 29th Street.



PROPOSAL: The City of McAllen is requesting to rezone the property to I-1 (Light Industrial-UDC) District as part of the citywide rezoning pertaining to the adoption of the new McAllen Unified Development Code (UDC).

ADJACENT ZONING: The adjacent properties are zoned C-3 (General Business –OC) District to the north and east, C-4 (Commercial Industrial-OC) District to the east and west, and R-1 (Low Density Residential-UDC) to the south.

LAND USE: The subject property is being used as trucks and equipment sales and service. Surrounding uses include vacant land, parking area, single family residential homes, and restaurant.

FUTURE LAND USE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for this property as Regional Commercial. Regional Commercial areas consist of nonresidential land uses that meet the needs of both local and regional residents.

DEVELOPMENT TRENDS: The development trend along this area is commercial, industrial and residential.

ANALYSIS: The requested zoning conforms to the future land use designation as shown on the Envision McAllen Future Land Use Plan. It also follows the development trend in this area.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to I-1 (Light industrial-UDC) District.

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: February 3, 2026

SUBJECT: REZONE FROM I-1 (LIGHT INDUSTRIAL-OC) DISTRICT TO A-O (AGRICULTURAL AND OPEN SPACE-UDC) DISTRICT: 10.94 ACRES OUT OF LOT 1, SECTION, 3, HIDALGO CANAL COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS; 7401 SOUTH 10TH STREET REAR 5. (REZ2025-0270)

LOCATION: The subject property is located on the east side of South 10th Street, north of Dicker Road and is currently zoned I-1 (Light Industrial-OC) District.



PROPOSAL: The applicant is requesting to rezone the property to A-O (Agricultural and Open Space-UDC) District to be used as agriculture for farm animals.

ADJACENT ZONING: The adjacent properties are zoned I-1 (Light Industrial-OC) in all directions.

LAND USE: Surrounding land uses include, commercial uses, and vacant land.

COMPREHENSIVE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for these properties as Industrial. The Industrial category is largely confined to the southern portion of the City. This category should be located away from uses likely to cause

compatibility concerns for both future businesses and residents. Industrial allows for major manufacturing and major employers, along with some supportive commercial uses.

DEVELOPMENT TRENDS: The development trend of this area is primarily commercial uses.

ANALYSIS: The requested zoning does not conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan. The subject property is surrounded by properties zoned industrial on all sides.

If the rezoning is approved, any future constructions must comply with all development and conditional use permit requirements where applicable under the UDC.

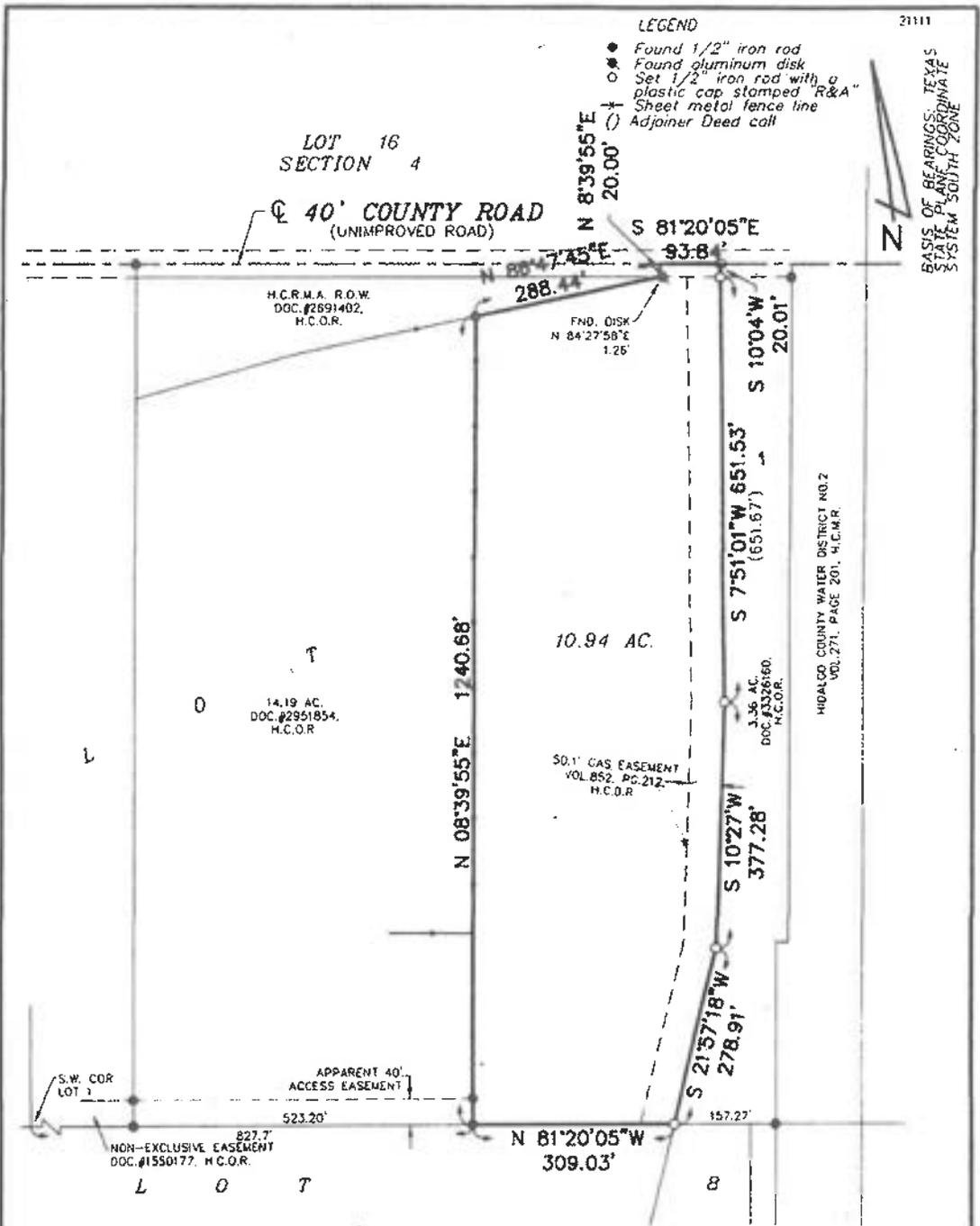
Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends disapproval of the rezoning request to A-O (Agricultural and Open Space-UDC) District.

LEGEND

- Found 1/2" iron rod
- Found aluminum disk
- ⊕ Set 1/2" iron rod with a plastic cap stamped "R&A"
- Sheet metal fence line
- () Adjoiner Deed call

BASIS OF BEARINGS: TEXAS
MERCATOR COORDINATE
SYSTEM SOUTH ZONE



SURVEY PLAT OF
 10.94 ACRES OF LAND OUT OF
 LOT 1, SECTION 3,
 HIDALGO CANAL COMPANY'S SUBDIVISION,
 HIDALGO COUNTY, TEXAS
 AS SHOWN ON MAP RECORDED IN VOLUME Q, PAGE 177, H.C.D.R.

ROBLES & ASSOCIATES, PLLC HAS THE SURVEYOR OF RECORD RESEARCHED OR PREPARED A TITLE REPORT OR ABSTRACT OF TITLE ON THE ABOVE PROPERTY. EASEMENTS OF RECORD MAY AFFECT SUBJECT PROPERTY.

I, REYNALDO ROBLES, REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE ABOVE PLAT REPRESENTS A SURVEY AS MADE ON THE GROUND UNDER MY SUPERVISION, THAT THERE ARE NO VISIBLE ENCROACHMENTS, NOR VISIBLE AND APPARENT EASEMENTS AT THE TIME OF SURVEY EXCEPT AS SHOWN AND BY GRAPHIC PLOTTING ONLY THIS PROPERTY IN FLOOD ZONE "B" (AREAS BETWEEN LIMITS OF THE 100-YEAR AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE, OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD.) OF FIRM COMMUNITY PANEL NO. 480334 0475 B, DATED JANUARY 2, 1981

Reynaldo Robles
 REYNALDO ROBLES, R.P.L.S. #032

PREPARED FOR: JOHNNY JOHNSON

RA ROBLES &
 ASSOCIATES, PLLC
 PROFESSIONAL LAND SURVEYORS

P.O. BOX 476
 107 W. HUSACHE ST.
 WESLACO, TEXAS 78596

PHONE (361) 888-2422
 FAX (361) 989-2011
 FIRM NO. 10084700

SURVEYED: 06-09-22 DRAWN BY: JR/06-22-22

SCALE 1"=200' JOB No. 21111

TITLE COMMITMENT No. REVISED:

SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL EMBOSSED SEAL OF SURVEYOR OF RECORD.

© COPYRIGHT 2022

BY: *A.V.*

DEC 03 2025

RECEIVED



ROBLES &
ASSOCIATES, PLLC

PROFESSIONAL LAND SURVEYORS

P.O. BOX 476

WESLACO, TEXAS 78599-0476

PHONE (956) 969 - 2422

FAX (956) 969 - 2014

DESCRIPTION OF 10.94 ACRES OF LAND OUT OF
LOT 1, SECTION 3, HIDALGO CANAL COMPANY'S SUBDIVISION,
HIDALGO COUNTY, TEXAS

Being 10.94 acres of land situated in Hidalgo County, Texas and being out of Lot 1, Section 3, Hidalgo Canal Company's Subdivision, as per map recorded in Volume "Q", Page 177, Hidalgo County Deed Records, and said 10.94 acre tract of land being out of a 30.46 acre tract of land described in Document # 1550177 of the Hidalgo County Official Records, and said 10.94 acre tract being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod found on the south line of said Lot 1 for the southwest corner of said tract herein described; said point bears SOUTH 81°20'05" EAST 827.70 feet from the southwest corner of said Lot 1;

THENCE, NORTH 8°39'55" EAST, 1240.68 feet with the east line of a 14.19 acre tract of land described in Document #2951854 of the Hidalgo County Official Records, to a 1/2 inch iron rod found for the northeast corner of said 14.19 acre tract and the northwest corner of said tract herein described;

THENCE, NORTH 86°47'45" EAST, 288.44 feet with the south line of a tract of land described in Document #2691402 of the Hidalgo County Official Records to a point of the south right-of-way line of an unimproved 40 foot county road for the east corner of said tract described in Document #2691402 and an inside corner of said tract herein described; from which a found aluminum disk bears NORTH 84°27'58" EAST 1.26 feet;

THENCE, NORTH 8°39'55" EAST, 20.00 feet to a point on the north line of said Lot 1 and the center line of said 40 foot county road for a corner of said tract herein described;

THENCE, SOUTH 81°20'05" EAST, 93.84 feet with the north line of said Lot 1, the south line of Lot 4, Section 14, and the center line of said 40 foot county road to a 1/2-inch iron rod with a plastic cap stamped "R&A" set for the northeast corner of said tract herein described;

THENCE, SOUTH 10°04' WEST, 20.01 feet with the west line of a 3.36 acre tract of land described in Document #3326160 of the Hidalgo County Official Records, to a 1/2-inch iron rod with a plastic cap stamped "R&A" set on the south right-of-way of said 40 foot county road for an angle point of said 3.36 acre tract and said tract herein described;

THENCE, SOUTH 7°51'01" WEST, 651.53 feet (adjoiner deed 651.67 feet) with the west line of said 3.36 acre tract to a 1/2-inch iron rod with a plastic cap stamped "R&A" set for an angle point of said 3.36 acre tract and of said tract herein described;

THENCE, SOUTH 10°27' WEST, 377.28 feet with the west line of said 3.36 acre tract to a 1/2-inch iron rod with a plastic cap stamped "R&A" set for an angle point of said 3.36 acre tract and of said tract herein described;

THENCE, SOUTH 21°57'18" WEST, 278.91 feet with the west line of said 3.36 acre tract to a 1/2-inch iron rod with a plastic cap stamped "R&A" set for the southwest corner of said 3.36 acre tract and southeast corner of said tract herein described;

THENCE, NORTH 81°20'05" WEST, 309.06 feet with the south line of said Lot 1 and the north line of Lot 8 to the POINT OF BEGINNING and containing 10.94 acres of land more or less

Surveyed: 6-09-2022

Basis of bearings: Texas State Plane Coordinate System, South Zone

21111

6-22-2022

BY: *A.N.*

DEC 03 2025

RECEIVED

Reynaldo Robles
Reynaldo Robles, R.P.L.S. #4032

Memo

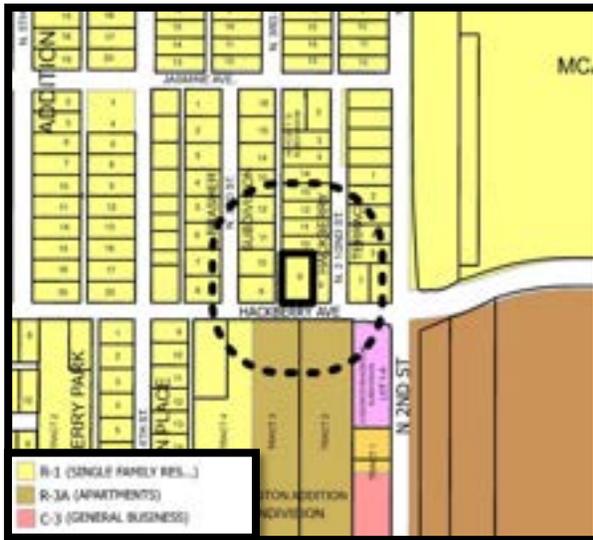
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: February 03, 2026

SUBJECT: REZONE FROM R-1 (SINGLE-FAMILY RESIDENTIAL-OC) DISTRICT TO R-1 (LOW-DENSITY RESIDENTIAL-UDC) DISTRICT: LOT 9, HACKBERRY TERRACE SUBDIVISION, HIDALGO COUNTY, TEXAS; 220 HACKBERRY AVENUE (REZ2025-0275)

LOCATION: The subject property is located on the north side of Hackberry Avenue east of 2nd ½ Street.



PROPOSAL: The applicant is requesting to rezone the property to R-1 (Low Density Residential-UDC) District under the new McAllen Unified Development Code (UDC) for residential use.

ADJACENT ZONING: The adjacent properties are zoned R-1 (Single-Family Residential–OC) District to the north, east, and west, and R-3A (Multi-family Residential Apartment-OC) District to the South.

LAND USE: Surrounding land uses include, single-family residences, commercial businesses, Mobile Home Parks and a school.

FUTURE LAND USE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for these properties as Complete Communities. Single-family homes make up the majority of the land use category but also supports townhomes, duplexes and multifamily housing options.

DEVELOPMENT TRENDS: The development trend along Hackberry Avenue and 2nd Street is single-family residential, multi-family, and commercial.

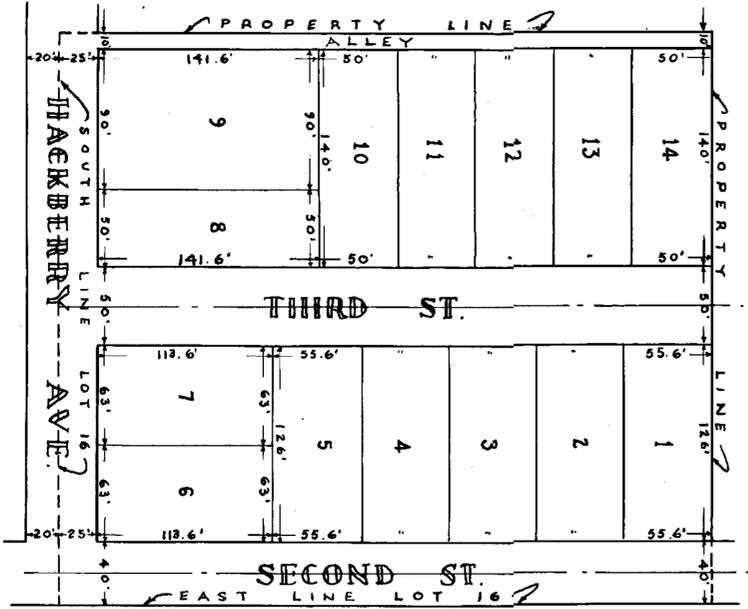
HISTORY: The subdivision was recorded on October 28th 2024. The earliest zoning record found for the property, indicating an R-1 zoning designation, dates back to 1979.

ANALYSIS: The requested zoning does conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan. It also follows the development trend in this area.

Any future constructions must comply with all development and conditional use permit requirements as applicable under the UDC.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request.



STATE OF TEXAS
COUNTY OF HIDALGO:

Know all men by these presents that I, E. Orval Brown, owner of the property hereon described and designated as Hackberry Terrace, being a subdivision of 3.5 Acres in the South East part of Lot 16, Section 9, Hidalgo Canal Co.'s subdivision of Portions 64, 65 & 66, Hidalgo County, Texas, do hereby adopt, dedicate and confirm the foregoing map of Hackberry Terrace and do hereby dedicate to the public the streets and alleys designated thereon for use as public thoroughfares and for the purpose of constructing and maintaining over, under and across said streets and alleys of all times, electric power lines, telephone lines, drain ditches, pipe lines and other conduits necessary in the public interest.

E. Orval Brown
Notary Public in and for
Hidalgo County, Texas
Commission Expires June 1, 1947

Before me, the undersigned authority, on this day personally appeared E. Orval Brown, owner, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purposes and consideration therein expressed.
Given under my hand and seal of office this 12th day of April, A.D. 1946.

Guy L. Johnson
Notary Public in and for
Hidalgo County, Texas
Commission Expires June 1, 1947

MAP OF
HACKBERRY TERRACE
BEING A SUBDIVISION OF 3.5 ACRES IN THE
S.E. PART OF LOT 16, SECTION 9, HIDALGO
CANAL CO.'S SUBDIVISION OF PORTIONS 64,
65, 66, HIDALGO COUNTY, TEXAS

PREPARED BY
H. E. SNOW ENGINEERING CO.
MC ALLEN, TEXAS

Filed April 17, 1946 8:50 A.M.

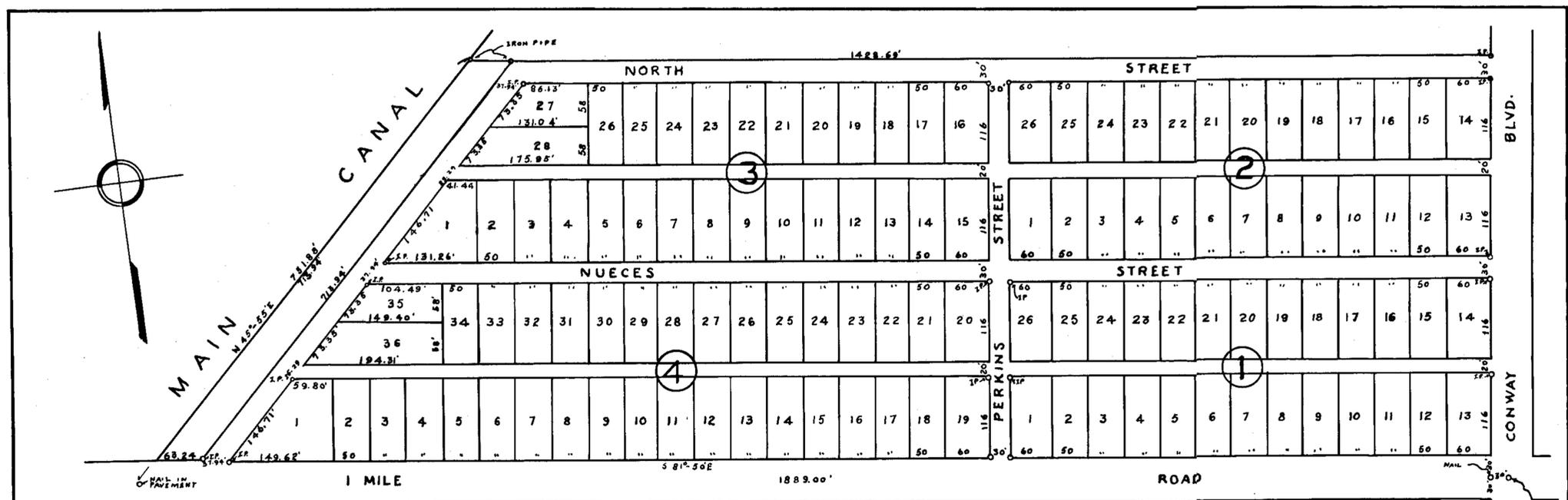
I, H. E. Snow, a Civil Engineer, do hereby certify that the foregoing map of Hackberry Terrace is a true and correct plat of the subdivision of 3.5 Acres in the Southeast part of Lot 16, Section 9, Hidalgo Canal Co.'s Subdivision of Portions 64, 65 & 66, Hidalgo County, Texas, as surveyed by me on the ground.

H. E. Snow
Civil Engineer

Subscribed and sworn to before me this 12th day of April, A.D. 1946.

This Plat Approved by the
McAllen Zoning and Planning Board
April 15th, 1946

Guy L. Johnson
Notary Public in and for
Hidalgo County, Texas
Commission Expires June 1, 1947



MAP OF
COLONIA NUECES SUBDIVISION

OUT OF LOTS 17-5 & 17-6 WEST ADDITION TO SHARYLAND
HIDALGO COUNTY TEXAS

SCALE: 1 IN = 100 FEET

THE STATE OF TEXAS
COUNTY OF HIDALGO

KNOW ALL MEN BY THESE PRESENTS: That we Raymond Peace and W. B. Thornton Jr. owners of 21.63 Acres more or less out of the south part of Lots 17-5 & 17-6, lying east of Main Canal West Addition to Sharyland, do hereby subdivide said land as shown on the above plat. We here by dedicate the roads, streets and alleys to the use of the public and unto Hidalgo County, Texas so long as it shall accept, maintain and protect same to the use and benefit of the public, reserving unto us, our heirs and assigns, the right to construct, maintain and operate, telegraph, telephone and electric light and power lines, wires, poles, and other structures; pipelines conveying water, gas and/or oil, canals and laterals, for irrigation purposes; and lines for sewer, drains and drainage systems.
In Witness whereof we have hereunto subscribed our names this the 20 day of March A.D. 1946.

Raymond Peace
W. B. Thornton Jr.

THE STATE OF TEXAS
COUNTY OF HIDALGO

I, Roy Boger, Civil Engineer, do hereby certify the above plat to be a true and correct representation of surveys made by me upon the ground. The width of all public roads and streets is shown thereon; the dimensions of each lot run to the adjoining boundary line of said roads or streets.

Roy Boger
Civil Engineer

Subscribed and sworn to this the 20 day of March AD 1946.

Roy V. Jones
NOTARY PUBLIC IN AND FOR HIDALGO COUNTY TEXAS

THE STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, the undersigned authority, a Notary Public in and for Hidalgo County, Texas, on this day personally appeared Raymond Peace and W. B. Thornton Jr., known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and consideration therein expressed.
Given under my hand and seal of office on this 20 day of March A.D. 1946.

Roy V. Jones
NOTARY PUBLIC IN AND FOR HIDALGO COUNTY TEXAS

Memo

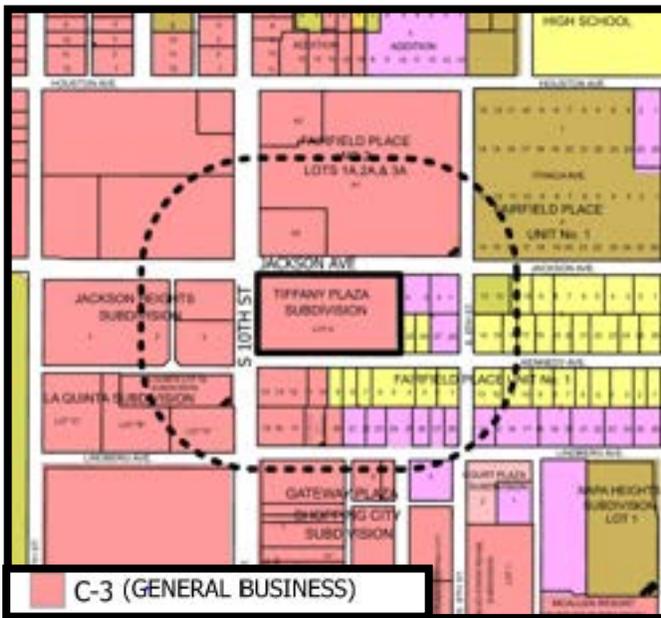
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: February 03, 2026

SUBJECT: REQUEST OF MUHAMMAD AHKTAR FOR A CONDITIONAL USE PERMIT FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR A SMOKE SHOP (VAPE TIME MCALLEN) AT LOT A, TIFFANY PLAZA SUBDIVISION, HIDALGO COUNTY, TEXAS; 1001 SOUTH 10TH STREET SUITE Q. (CUP2025-0131)

BRIEF DESCRIPTION: The subject property is located on the corner of South 10th Street and Jackson Avenue. The property is zoned C-3 (General Business-OC) District. Surrounding land uses are C-3 (General Business-OC) District to the north, south, and west, R-1 (Single-Family Residential-OC) District to the east, and C-1 (Office Building-OC) to the east. A smoke shop is allowed in a C-3 District with a Conditional Use Permit and in compliance with requirements.



HISTORY: The applicant submitted an application for a Conditional Use Permit on December 19, 2025. The proposed days and hours of operation are to be seven days a week and 24 hours a day.

ANALYSIS: As per Section 138-400 of the Zoning Ordinance, the parking lot must be properly striped and free of potholes. The establishment must also meet the requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of those businesses having late hours (after 10:00 PM) must be at least 400 feet from the nearest residence, church, school or publicly-owned property or must provide sufficient buffer and sound insulation of the building such that the building is not visible and cannot be heard from the residential areas. This establishment is within 400 ft. of the above mentioned land uses;
- 2) The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The property has direct access to South 10th Street and does not generate traffic into residential areas;
- 3) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional on-site parking. Ten parking spaces are required, and 198 spaces are provided on site;
- 4) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties by providing, when necessary, fences, hedges or reorientation of entrances and exits under the vegetation ordinance;
- 5) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
- 6) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and
- 7) The above mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

If approval is granted, the establishment must comply with all other Zoning Ordinances, Building Codes, and Fire Department requirements.

Staff has not received any phone calls, emails, or letters in opposition to this request.

RECOMMENDATION: Staff recommends disapproval of the conditional use permit request due to non-compliance with requirement number 1: The subject property is within 400 feet of single-family residential properties.

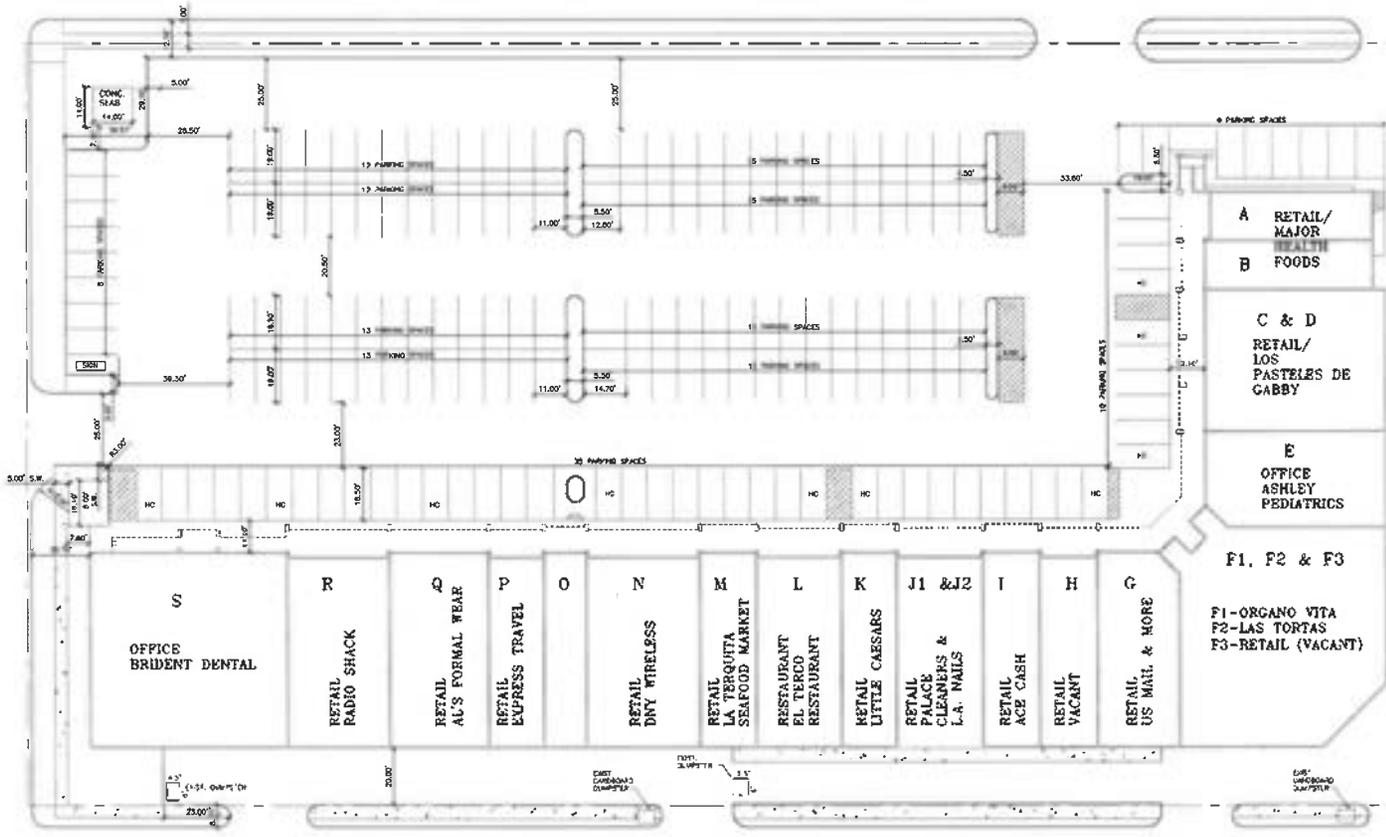
BY: 
 DEC 19 2025

EXISTING PARKING SPACES	
REGULAR	= 163
HC	= 10
TOTAL	= 173



SOUTH 10TH STREET

JACKSON AVENUE



KENNEDY AVE.

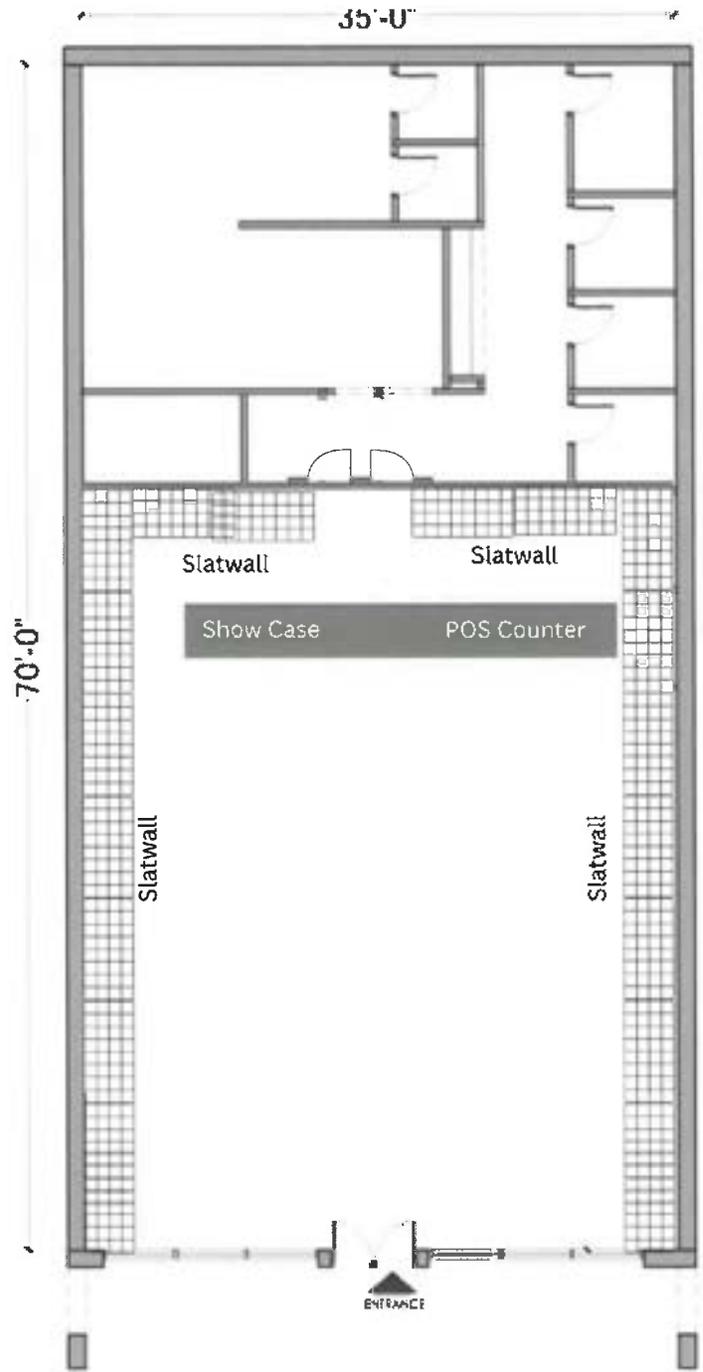
PROJECT NAME: TIFFANY PLAZA
 ADDRESS: JACKSON AVE. & SOUTH 10TH ST.
 CLIENT: MCDONALD

MAS ENGINEERING LLC.
 CONSULTING ENGINEERING
 FIRM NO. F-15499
 200 SOUTH 10 STREET SUITE 905
 MCALLEN, TEXAS 78501
 PH: (956) 537-1311
 E-MAIL: MISALINA5697@ATT.NET

THIS IS THE PROPERTY OF THE PROFESSIONAL ENGINEER WHOSE SEAL APPEARS ON THIS DRAWING AND IT IS UNLAWFUL TO REPRODUCE THIS DRAWING OR ANY PARTS THEREOF WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.



REVISION	BY	APPROVED BY
1	MG	MAS
DATE: 03-11-2014		
PROJECT NO.	PROJECT TITLE	
	C-1	



1001 S 10TH ST, MCALLEN, TX 78501, USA
(SUITE Q)

DEC 19 2025

BY: CW





Sub 2024-0092

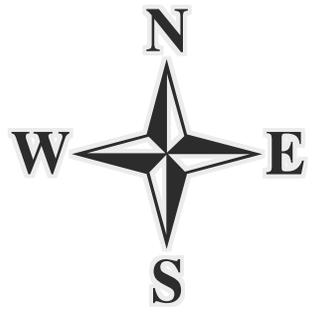
City of McAllen Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

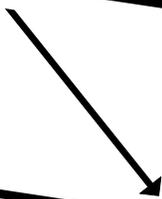
Project Information	Subdivision Name ^{As:} <u>Replat of The Hills of Sharyland Subdivision, Lot 20A</u>
	Legal Description <u>REPLAT OF THE HILLS AT SHARYLAND, LOTS 20 & 21</u>
	Location <u>NORTHEAST CORNER OF OZARK AVENUE AND N. 56TH LANE</u>
	City Address or Block Number <u>9306 N. 56th Lane</u>
	Total No. of Lots <u>1</u> Total Dwelling Units <u>1</u> Gross Acres <u>47</u> Net Acres <u>47</u>
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No
	For Fee Purposes: <input type="checkbox"/> Commercial (<u> </u> Acres) / <input checked="" type="checkbox"/> Residential (<u>1</u> Lots) Replat: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No
	Existing Zoning <u>R-3A</u> Proposed Zoning <u>R-3A</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date <u> </u>
	Existing Land Use <u>VACANT</u> Proposed Land Use <u>APARTMENTS</u>
	Irrigation District # <u>UID</u> Water CCN: <input type="checkbox"/> MPU / <input checked="" type="checkbox"/> Sharyland Water SC Other <u> </u>
Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # <u>L20-1559077, L21-1559078</u>	
Estimated Rollback Tax Due <u>N/A</u> Tax Dept. Review <u>L.D.L</u>	
Owner	Name <u>ALDAPE DEVELOPMENT, LLC.</u> Phone <u>956-802-4785</u>
	Address <u>4508 TYLER AVENUE</u> E-mail <u>ACRE.CONSTRUCTION@OUTLOOK.COM</u>
	City <u>MCALLEN</u> State <u>TX</u> Zip <u>78503</u>
Developer	Name <u>SAME AS ABOVE</u> Phone <u> </u>
	Address <u> </u> E-mail <u> </u>
	City <u> </u> State <u> </u> Zip <u> </u>
	Contact Person <u> </u>
Engineer	Name <u>MAS ENGINEERING, LLC.</u> Phone <u>956-537-1311</u>
	Address <u>3911 N. 10TH STREET, SUITE H</u> E-mail <u>MSALINAS6973@ATT.NET</u>
	City <u>MCALLEN</u> State <u>TX</u> Zip <u>78501</u>
	Contact Person <u>MARIO A. SALINAS, P.E.</u>
Surveyor	Name ^{As:} <u>David O. Salinas</u> Phone <u>956-682-9081</u>
	Address <u>2221 W Daffodil Ave</u> E-mail <u>dsalinas@salinasengineering.com</u>
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>

AUG 21 2024 CW

STATES



LOCATION



**REPLAT OF THE HILLS AT
SHARYLAND SUBDIVISION
LOT 20A**

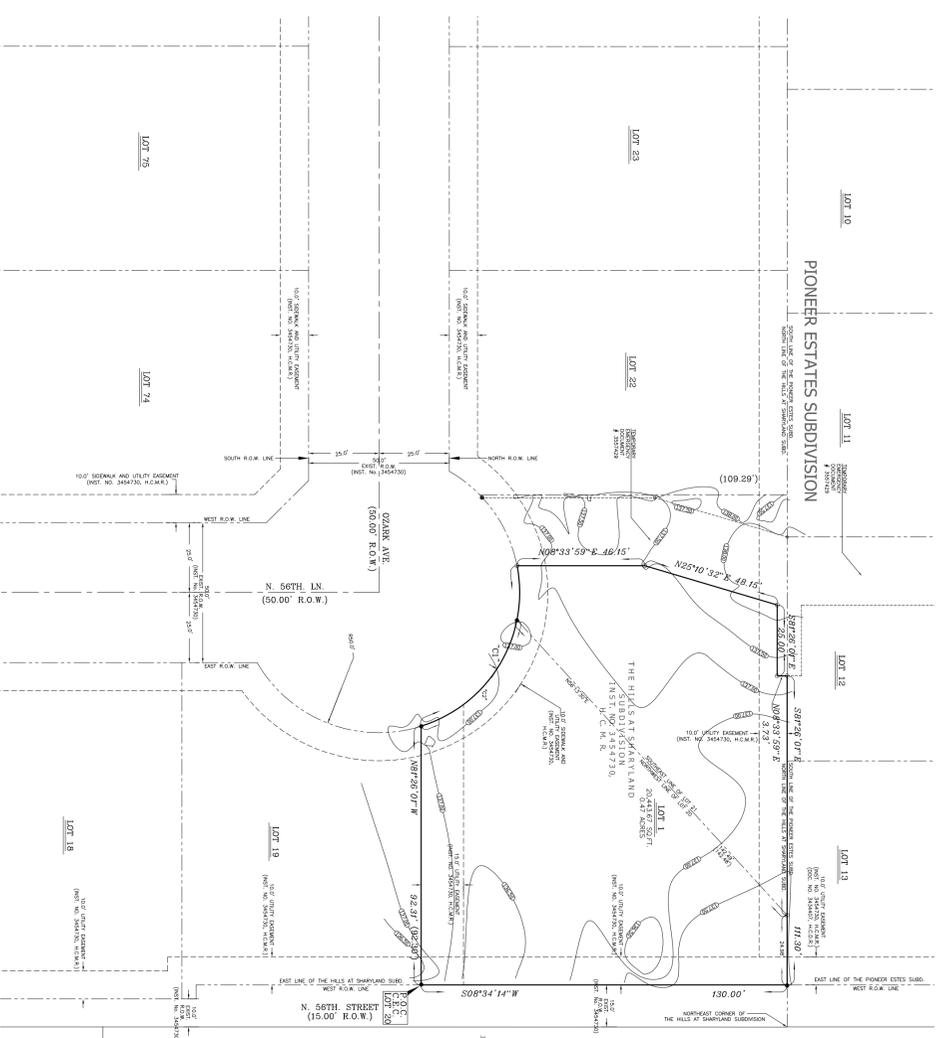
OZARK AVE

N 56TH LN

N 56TH ST

ST

- LEGEND
- FOUND 1/2" IRON ROD
 - ✕ FOUND "X" MARK ON CONCRETE
 - SET 1/2" IRON ROD W/YELLOW CAP
 - MARKED SEA 5782
 - (50'00"W.0.0') - RECORD BEARING & DISTANCE
 - 5/4" SIDE WALK
 - R.O.W. RIGHT OF WAY
 - METC. MAGIC VALLEY ELECTRIC CO.-OP



CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING
C1*	23.45'	50.00'	84.09/48°	165°58'22"W 67.02'
C2*	53.43'	50.00'	61°13'50"	129°20'23"W 50.93'



I, (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THE PLAT AND DESIGNATED HEREIN AS THE HILLS AT SHARYLAND SUBDIVISION TO THE CITY OF MCALLEN, TEXAS AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEVOLVE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM DRAINAGE, AND PUBLIC PLACES WHICH HAVE BEEN OR SHALL BE INSTALLED OR SHALL BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, TEXAS AND ALL THE SAME FOR THE PURPOSES HEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN, TEXAS.

ADARF DEVELOPMENT, LLC
 JAVIER ADARF MALDONADO
 MANAGING MEMBER
 4508 TILER AVE MCALLEN, TX 78803

STATE OF TEXAS
 COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JAVIER ADARF MALDONADO, MANAGING MEMBER OF ADARF DEVELOPMENT, LLC, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE (SHE) EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE DAY _____ OF _____, 2024.

NOTARY PUBLIC

THIS PLAT IS HEREBY APPROVED BY THE UNITED IRRIGATION DISTRICT, ON THIS THE _____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHT OF WAYS OR EASEMENTS, APPROVAL OR NOT. THE DISTRICT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

ATTEST:

STATE OF TEXAS
 COUNTY OF HIDALGO

 PRESIDENT

I, THE UNDERSIGNED, MARIO A. SAUNAS, A LICENSED PROFESSIONAL ENGINEER, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

MARIO A. SAUNAS
 REGIONAL ENGINEER # 96611
 3911 N. 10TH STREET, SUITE H
 MCALLEN, TEXAS 78801

STATE OF TEXAS
 COUNTY OF HIDALGO
 CERTIFICATION OF SUPERVISOR

DAVID O. SAUNAS, P.E.
 SAUNAS ENGINEERING & ASSOCIATES
 CONSULTING ENGINEERS & SURVEYORS
 3911 N. 10TH STREET, SUITE H
 MCALLEN, TEXAS 78801
 (959) 682-9081

NOTES:

1. FLOOD ZONE STATEMENT: THE TRACT LIES IN ZONE X1 IS DENIED AS AREAS WITH 500-YEAR FLOOD. AREAS OF 100-YEAR FLOOD WITH AN AVERAGE DEPTH OF LESS THAN ONE FOOT OR WITH DRAINAGE AREAS LESS THAN ONE SQUARE MILE. AREAS PROTECTED BY ELEVATIONS FROM 100-YEAR FLOODS, IN ACCORDANCE WITH FEMA-FIRM MAP NO. 480334 0295 D, MAP REVISED JUNE 6, 2000.
2. SETBACKS: FRONT: 20 FEET EXCEPT 15.00 FEET FOR UNENCLOSED CARPORT OR GREATER FOR EASEMENT REAR: 10.00 FEET OR GREATER FOR EASEMENT SIDE: 6.00 FEET OR GREATER FOR EASEMENT GARAGE: 18.00 FEET EXCEPT WHERE A GREATER SETBACK IS REQUIRED. GREATER SETBACK APPLIES TO BOTH SIDES OF INTERIOR STREETS ON N. 56TH LN & OZARK AVE.
3. 5.0 FEET WIDE MINIMUM SIDEWALK REQUIRED ON N. 56TH STREET PER RECORDED PLAT AND A 4 FEET SIDEWALK ON BOTH SIDES OF INTERIOR STREETS ON N. 56TH LN & OZARK AVE.
4. MINIMUM FINISHED FLOOR ELEVATIONS SHALL BE AT LEAST 18 INCHES ABOVE TOP OF CURB MEASURED AT FRONT CENTER OF EACH LOT.
5. CITY OF MCALLEN BEINGWARE, INC. 43 IS LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF GLASSCOCK ROAD AND 6 MILE LANE. THE MONUMENT IS 28 FEET WEST OF THE CENTERLINE OF GLASSCOCK ROAD AND 122 FEET NORTH OF THE CENTERLINE OF MILE 6 LANE. ELEV. 149.58 FEET HORIZONTAL DAIN AND 83 LAT. LONG. 098.701452, 909.7070"W.
6. IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DEFINE A TOTAL OF 208,519.00 CUBIC-FEET 4.79 ACRE-FEET OF STORM WATER RUNOFF. DRAINAGE DETENTION IN ACCORDANCE WITH LOCAL REQUIREMENTS.
7. 6.0 FT. OP-AQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES AND ALONG N. 56TH STREET.
8. NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, TREES, SHRUBS, TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT), GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
9. NO CLUB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG N. 56TH STREET.
10. ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
11. NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW WITHOUT ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.
12. 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONE/USES.
13. NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
14. DRAINAGE DETENTION AREAS MUST BE MAINTAINED BY THE LOT OWNERS/HOA, AND NOT THE CITY OF MCALLEN.
15. AS PER DECLARATION OF COVENANTS AND RESTRICTIONS FOR THE HILLS AT SHARYLAND SUBDIVISION, RECORDED AS DOCUMENT NUMBER 344272A, HIDALGO COUNTY, OFFICIAL RECORDS, DEVELOPER/HOMEOWNER ASSOCIATION/OWNER, THEIR SUCCESSORS AND/OR ASSIGNS AND NOT THE CITY OF MCALLEN SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REPAIR OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO THE COMMON AREAS, AND DETENTION AREA. ANY AMENDMENT TO DECLARATIONS THAT CONFLICT WITH THE REQUIREMENTS OF SECTION 100-72 SHALL BE NULL AND VOID.
- AS PER DECLARATION OF COVENANTS AND RESTRICTIONS FOR THE HILLS AT SHARYLAND SUBDIVISION, RECORDED UNDER DOCUMENT NUMBER 344272B, HIDALGO COUNTY, OFFICIAL RECORDS, DEVELOPER/HOMEOWNER ASSOCIATION/OWNER, THEIR SUCCESSORS AND/OR ASSIGNS, AND NOT THE CITY OF MCALLEN SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL LOTS', COMMON DETENTION AREA AND ITS PERIMETER FENCE/WALL.
16. 25 FT. X 25 FT. SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS.
17. ALL SHARYLAND WATER SUPPLY CORPORATION EASEMENTS ARE EXCLUSIVE TO OTHER USE OF EASEMENT IS PERMITTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF SHARYLAND WATER SUPPLY CORPORATION.
18. ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
19. NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENTS OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.
20. NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE INSTALLED OR EXIST ON THE EASEMENT OR RIGHT OF WAY OF THE IRRIGATION DISTRICT. ANY VIOLATION SHALL BE SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
21. NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
22. UID BLANKET EASEMENT RESERVATION DOC. 1920-11-01692, PER 09/22/19/20
23. ALL UTILITY EASEMENTS ARE DEDICATED BY THIS PLAT UNLESS OTHERWISE NOTED.
24. ONCE THE TEMPORARY EMERGENCY EASEMENT IS ABANDONED (DOC. NO. 3557429), THE PROPERTY OWNER MAY APPLY FOR A NEW BUILDING PERMIT FOR ADDITIONAL STRUCTURES IN COMPLIANCE WITH THE CITY OF MCALLEN.
25. AS PER THE PLAT NOTE ON PIONEER ESTATES A TEMPORARY EMERGENCY EASEMENT WILL BE UTILIZED AND DEDICATED BY SEPARATE INSTRUMENT #3557429, UNTIL NORTH 56TH STREET IS CONSTRUCTED, ONCE NORTH 56TH STREET IS ESTABLISHED THE TEMPORARY EMERGENCY EASEMENT WILL THEN BE ABANDONED BY SEPARATE INSTRUMENT NUMBER.
26. AS PER THE PLAT NOTE ON PIONEER ESTATES, LOT 12 TOTAL ACREAGE: 0.2928ACRES, 9941 SQ. FT. SAME AND EXCEPT: TEMPORARY EASEMENT AGREEMENT FOR ACRES OF CALLED "TRACT-1" 0.0727ACRES, 3149 SQ. FT. AS DESCRIBED IN DOCUMENT # 3557429, OFFICIAL PUBLIC RECORDS, HIDALGO COUNTY, TEXAS. THE TEMPORARY EASEMENT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
27. THE HOA IS ACKNOWLEDGING THE REPLAT OF THE ORIGINAL THE HILLS AT SHARYLAND.
28. NO PARKING ALONG THE TEMPORARY EASEMENT.

FILED FOR RECORD IN
 HIDALGO COUNTY
 ARTURO GUAYARDO, JR.
 HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____

OF MAP RECORDS OF HIDALGO COUNTY, TEXAS

PRINCIPAL CONTACTS:

NAME	ADDRESS	CITY & ZIP	PHONE
JAVIER ADARF	4508 S. TILER AVE.	MCALLEN, TEXAS 78803	(959) 802-4735
MARIO A. SAUNAS	3911 N. 10TH ST. SUITE H	MCALLEN, TEXAS 78801	(959) 537-1311
DAVID O. SAUNAS	2221 DARTFORD AVE.	MCALLEN, TEXAS 78801	(959) 682-9081

BY: _____ DEPUTY

MAP OF
THE HILLS AT SHARYLAND LOT 20A & 21A
 SUBDIVISION
 HIDALGO COUNTY, TEXAS

BEGING ALL OF LOTS 20 & 21, THE HILLS AT SHARYLAND SUBDIVISION INSTRUMENT NUMBER 3454720, H.C.M.R. HIDALGO COUNTY, TEXAS.

METES AND BOUNDS DESCRIPTION:

- BEGING A 0.40 ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF LOTS 20 AND 21, THE HILLS AT SHARYLAND SUBDIVISION, MCALLEN, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN INSTRUMENT NO. 3454720, MAP RECORDS OF HIDALGO COUNTY, TEXAS. SAID 0.40 ACRE TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:
- (1) THENCE, NORTH 81 DEGREES 28 MINUTES 01 SECONDS WEST, CONCORDANT WITH THE SOUTH LINE OF SAID LOT 20, A DISTANCE OF 92.31 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND ON THE EAST RIGHT-OF-WAY OF OZARK AVE, SAME BEING ON THE BEGINNING OF A CURVE (C1) TO THE LEFT WHOSE RADIUS IS 50 FEET LOCATED ON INTERSECTION WITH THE RIGHT-OF-WAY OF OZARK AVE. FOR AN OUTSIDE SOUTHWEST CORNER THIS HEREBY DESCRIBED TRACT;
 - (2) THENCE, TO THE LEFT, CONTINUING CONCORDANT WITH SOUTH LINE OF SAID LOT 20 AND BEING WITH THE RIGHT-OF-WAY LINE OF SAID OZARK AVE, ALONG SAID CURVE (C1), AN ARC LENGTH DISTANCE OF 73.45 FEET (DELTA 84 DEGREES 09 MINUTES 48 SECONDS, CHORD BEARING AND DISTANCE, NORTH 50 DEGREES 58 MINUTES 22 SECONDS WEST, 67.02 FEET) TO A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED SEA 5782, SET AT THE END OF THIS CURVE (C1) LOCATED ON A SOUTHERN LINE OF SAID LOT 21 FOR THE SOUTHWEST CORNER OF THIS HEREBY DESCRIBED TRACT;
 - (3) THENCE, NORTH 08 DEGREES 33 MINUTES 59 SECONDS EAST, ALONG A LINE PARALLEL TO THE WEST LINE OF SIDE LOT 21, A DISTANCE OF 46.35 FEET TO A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED SEA 5782, SET FOR AN OUTSIDE CORNER OF THIS HEREBY DESCRIBED TRACT;
 - (4) THENCE, NORTH 25 DEGREES 21 MINUTES 32 EAST, A DISTANCE OF 48.15 FEET TO A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED SEA 5782, SET FOR THE NORTHWEST CORNER OF THIS HEREBY DESCRIBED TRACT;
 - (5) THENCE, SOUTH 81 DEGREES 28 MINUTES 01 SECONDS EAST, ALONG A LINE PARALLEL TO THE NORTH LINE OF SIDE LOT 21, A DISTANCE OF 25.0 FEET TO A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED SEA 5782, SET FOR AN INSIDE NORTHERN CORNER OF THIS HEREBY DESCRIBED TRACT;
 - (6) THENCE, NORTH 08 DEGREES 33 MINUTES 59 SECONDS EAST, ALONG A LINE PARALLEL TO THE WEST LINE OF SAID LOT 1, A DISTANCE OF 23.23 FEET TO A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED SEA 5782, SET ON INTERSECTION WITH THE NORTH LINE OF SAID LOT 21 FOR AN OUTSIDE NORTHERN CORNER OF THIS HEREBY DESCRIBED TRACT;
 - (7) THENCE, SOUTH 81 DEGREES 28 MINUTES 01 SECONDS EAST, CONCORDANT WITH THE NORTH LINE OF SIDE LOTS 21 AND 20, A DISTANCE OF 111.20 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND ON THE NORTHEAST CORNER OF SAID LOT 20 FOR THE NORTHEAST CORNER OF THIS HEREBY DESCRIBED TRACT;
 - (8) THENCE, SOUTH 08 DEGREES 34 MINUTES 14 SECONDS WEST, CONCORDANT WITH THE EAST LINE OF SAID LOT 20, A DISTANCE OF 130.0 FEET TO THE POINT OF THE BEGINNING, CONTAINING 0.40 ACRES OF LAND, MORE OR LESS.

STATE OF TEXAS
 COUNTY OF HIDALGO

 MAYOR, CITY OF MCALLEN

STATE OF TEXAS
 COUNTY OF HIDALGO

 CHAIRMAN, PLANNING & ZONING COMMISSION

CERTIFICATION OF THE MAYOR OF THE CITY OF MCALLEN, I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CERTIFICATION OF THE CHAIRMAN OF THE COMMISSION: I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THE SUBDIVISION CONFORM WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(6) THE DISTRICT HAS NOT RECEIVED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

SHARYLAND WATER SUPPLY CORPORATION

 GENERAL MANAGER
 SHARYLAND WATER SUPPLY CORPORATION

DATE OF PREPARATION: OCTOBER-31-2025

CARLOS LUNA
 GENERAL MANAGER
 SHARYLAND WATER SUPPLY CORPORATION

DATE _____

DATE _____

DATE OF PREPARATION: OCTOBER-31-2025

MAS ENGINEERING LLC.
 CONSULTING ENGINEERING
 FIRM NO. F-15499

3911 N. 10TH STREET, SUITE H
 MCALLEN, TEXAS, 78801

PH: (959) 537-1311
 E-MAIL: MSALUNAS@738ATT.NET



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/28/2026

SUBDIVISION NAME: THE HILLS AT SHARYLAND LOTS 20A & 21A	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>N. 56th Street: 30 ft. R.O.W. dedication required for future 60 ft. R.O.W. 15 ft. existing R.O.W. is shown on the plat as per approved variance for future 60 ft. R.O.W. Paving: 40 ft. Curb & gutter: Both Sides - At the meeting of April 5, 2022, the P&Z commission recommended approval of a variance for 10-15 ft. of R.O.W. dedication for N. 56th Street. - At the meeting of April 25, 2022 the City Commission approved the variance request for R.O.W. dedication requirements for N. 56th Street. **The Actions on this variance will apply to this subdivision. - Please provide document number of recorded R.O.W. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>Interior Streets: 60 ft. of R.O.W. (The recorded plat of the Hills proposed 50 ft. R.O.W. with 40 ft. of paving and sidewalk easements provided on both sides.) Paving: 40 ft. Curb & gutter: both sides - Variances approved by P&Z for 50 ft R.O.W. with 10 ft. sidewalk & utility easements will apply. **The Actions on this variance will apply to this subdivision. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118</p>	Compliance
<p>* 600 ft. Maximum Cul-de-Sac _____ **Subdivision Ordinance: Section 134-105</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEYS	
R.O.W.: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties and multifamily residential districts. - Residential subdivision with commercial service. As per public works, this project does not provide for service drives, to be done at the time of site plan review. **Subdivision Ordinance: Section 134-106	Applied
SETBACKS	
* Front: 20 feet except 15 feet for unenclosed carport or greater for easement. **Scripter error on recorded plat. - At the meeting of April 5, 2022, the P&Z commission recommended approval of a variance for 15 ft. front setback for unenclosed carports. **Zoning Ordinance: Section 138-356	Applied
* Rear: 10.00 feet or greater for easement. **Zoning Ordinance: Section 138-356	Applied
* Sides: 6.00 feet or greater for easement. **Zoning Ordinance: Section 138-356	Applied
* Corner: 10.00 feet or greater for easement. **Zoning Ordinance: Section 138-356	Applied
* Garage: 18.00 feet except where a greater setback is required, greater setback applies. **Zoning Ordinance: Section 138-356	Applied
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 5 ft. wide minimum sidewalk required on N. 56th street per recorded plat and a 4 ft. sidewalk on both sides of interior streets on N. 56th Ln & Ozark Ave. **Subdivision Ordinance: Section 134-120	Applied
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along N. 56th street. -Buffer lots side only to N. 56th St. **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
NOTES	
* No curb cut, access, or lot frontage permitted along N. 56th Street. -Property only sides only up to N. 56th Street. **Must comply with City Access Management Policy	Applied
* Site plan must be approved by the Planning and other Development Departments prior to building permit issuance.	NA
* Common Areas, any private service drives, etc. must be maintained by the lot owners and not the City of McAllen.	Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</p> <p>**Section 110-72 applies if private subdivision is proposed.</p> <p>**Landscaping Ordinance: Section 110-72</p> <p>**Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</p> <p>**Section 110-72 applies if private subdivision is proposed.</p> <p>**Landscaping Ordinance: Section 110-72</p> <p>**Subdivision Ordinance: Section 134-168</p>	<p>NA</p>
	<p>Required</p>
	<p>Required</p>
<p>LOT REQUIREMENTS</p>	
<p>* Lots fronting public streets.</p> <p>**Subdivision Ordinance: Section 134-1</p>	<p>Applied</p>
<p>* Minimum lot width and lot area.</p> <p>**Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>ZONING/CUP</p>	
<p>* Existing: R-3A Proposed: R-3A - R-3A (Apartment Residential District)</p> <p>***Zoning Ordinance: Article V</p>	<p>Applied</p>
<p>* Rezoning Needed Before Final Approval</p> <p>***Zoning Ordinance: Article V</p>	<p>NA</p>
<p>PARKS</p>	
<p>* Land dedication in lieu of fee. For the recorded Plat of the Hills, as per Parks Department, a waiver to McAllen's Park Land Dedication and Park Development Fees Ordinance was granted -- as part of the annexation process, Park fees were waived.</p>	<p>Applied</p>
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording.</p> <p>** For the recorded Plat of the Hills, as per Parks Department, a waiver to McAllen's Park Land Dedication and Park Development Fees Ordinance was granted -- as part of the annexation process, Park fees were waived.</p>	<p>Applied</p>
<p>* Pending review by the Parkland Dedication Advisory Board and CC.</p> <p>** For the recorded Plat of the Hills, as per Parks Department, a waiver to McAllen's Park Land Dedication and Park Development Fees Ordinance was granted -- as part of the annexation process, Park fees were waived.</p>	<p>Applied</p>
<p>TRAFFIC</p>	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. As per Traffic Department, TG Waived for replat of the two lots.</p>	<p>Applied</p>
<p>* Traffic Impact Analysis (TIA) required prior to final plat. As per Traffic department, TG Waived for replat of the two lots.</p>	<p>Applied</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

COMMENTS	
Comments: *Need to revise application as per the revised name. * For Aldape Development, LLC please verify how many owners will be requiring signatures. This would also need to be reflected on the Notary signatures. * Needs to add a plat note for the HOA acknowledgement that this replat is part of the original subdivision, finalize prior to final/recording. Plat note shown may require revision. *Name changed to "THE HILLS AT SHARYLAND LOTS 20A & 21A" *Must comply with City's Access Management Policy.	Required
RECOMMENDATION	
RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE & UTILITIES APPROVAL.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

STATES



LOCATION

REPLAT OF THE HILLS AT SHARYLAND SUBDIVISION LOT 20A

20

OZARK AVE

N 56TH ST

N 56TH LN

5

74

73

T



City of McAllen

Planning Department

SUB2024-0125

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>CXL ACRES SUBD.</u>
	Legal Description <u>1.08 AC. 0/0 LOT 2 E.M. CARD SURVEY No. 1, H.C.T.</u>
	Location <u>SEC N. 29TH ST ; S.W. 107</u>
	City Address or Block Number <u>11624 N. 29th Street</u>
	Total No. of Lots <u>1</u> Total Dwelling Units <u>—</u> Gross Acres <u>1.08</u> Net Acres <u>1.08</u>
	<input checked="" type="checkbox"/> Public Subdivision/ <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes/ <input type="checkbox"/> No
	For Fee Purposes: <input checked="" type="checkbox"/> Commercial (<u>1.08</u> Acres)/ <input type="checkbox"/> Residential (<u>—</u> Lots) Replat: <input checked="" type="checkbox"/> Yes/ <input type="checkbox"/> No
	Existing Zoning <u>C-3</u> Proposed Zoning <u>C-3</u> Applied for Rezoning <input checked="" type="checkbox"/> No/ <input type="checkbox"/> Yes: Date <u>—</u>
	Existing Land Use <u>Open</u> Proposed Land Use <u>COMMERCIAL / CAR LOT</u>
	Irrigation District # <u>1</u> Water CCN: <input type="checkbox"/> MPU/ <input checked="" type="checkbox"/> Sharyland Water SC Other <u>—</u>
Agricultural Exemption: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No Parcel # <u>132554</u>	
Estimated Rollback Tax Due <u>NO ACCT. PER CITY TAX OFFICE</u> Tax Dept. Review <u>C1600-00-000-0002-00</u>	
Owner	Name <u>CESAR XAVIER LEAL</u> Phone <u>—</u>
	Address <u>2420 NORMA DR.</u> E-mail <u>CXLMOTORS@HOTMAIL.COM</u>
	City <u>MISSION</u> State <u>TX</u> Zip <u>78501</u>
Developer	Name <u>SAME AS OWNER</u> Phone <u>—</u>
	Address <u>—</u> E-mail <u>—</u>
	City <u>—</u> State <u>—</u> Zip <u>—</u>
	Contact Person <u>—</u>
Engineer	Name <u>DAVID SALINAS</u> Phone <u>682-9081</u>
	Address <u>2221 DAFFODIL AVE.</u> E-mail <u>dsalinas@calmceengineerinc.com</u>
	City <u>MISSION</u> State <u>TX</u> Zip <u>78501</u>
	Contact Person <u>DAVID / MICK</u>
Surveyor	Name <u>—</u> Phone <u>—</u>
	Address <u>—</u> E-mail <u>—</u>
	City <u>—</u> State <u>—</u> Zip <u>—</u>

RECEIVED
 NOV 15 2024
 By NB

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

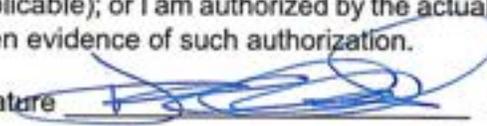
PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 11/15/24

Print Name Dr. D. O. Salinas

Owner Authorized Agent

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion



8

GOL

9

LOCATION

SH 107

PROPOSED CXL
ACRE SUBDIVISION

N 29TH ST



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/29/2026

SUBDIVISION NAME: CXL ACRES SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>State Highway 107: 86 ft. from centerline for 172 ft. total existing ROW Paving: by the state Curb & gutter: by the state - Provide how existing ROW was dedicated with document number and provide a copy for staff review, prior to recording. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to recording. **COM Thoroughfare Plan</p>	Required
<p>N.29th Street (Rooth Road): Dedication as needed for 50 ft. from centerline for 100 ft. total ROW. Paving: 65 ft. Curb & gutter: Both Sides. - Show centerline on plat to finalize dedication requirements as noted above, prior to recording. - Any overlap of ROW dedication and existing easements must be resolved prior to recording. - Please provide how existing ROW was dedicated on plat, prior to recording. - Please provide a copy of any referenced document regarding existing ROW. - Correct the street name to ""N.29th Street (Rooth Road)"" , prior to recording. - Clarify ""Variable ROW"" label prior to final. Show ROW at multiple points to clarify how it varies prior to recording. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to recording. **COM Thoroughfare Plan</p>	Required
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEYS	
R.O.W.: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106	Applied
SETBACKS	
* Front (State Highway 107/North 29th Street: In accordance with the Zoning Ordinance or greater for approved site plan or easements, or inline with existing structures, whichever is greater applies. - Remove 45 ft. and revise to reflect above. - Proposing 45 ft. or greater for easements or or in line with existing structures, whichever is greater. - Engineer must clarify setback, prior to recording. **Zoning Ordinance: Section 138-356	Required
* Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. - Proposing 10 ft. or greater for easements. - Engineer must clarify setback, prior to recording. **Zoning Ordinance: Section 138-356	Applied
*Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan , whichever is greater applies. - Proposing 45 ft. or greater for easements or or in line with existing structures, whichever is greater. - Revise side setback as shown above, prior to recording. **Zoning Ordinance: Section 138-356	Applied
* Corner: See front setback note - Include a corner setback as shown above, prior to recording. **Zoning Ordinance: Section 138-356	Required
* Garage **Zoning Ordinance: Section 138-356	NA
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 5 ft. wide minimum sidewalk required along State Highway 107 and a 4 ft. wide minimum sidewalk required along North 29th Street (Rooth Road). -Plat note 4 & 15 repeat, revise and clarity accordingly. - Sidewalk requirements may increase to 5 ft. per Engineering Department, plat note wording to be finalized, prior to recording. **Subdivision Ordinance: Section 134-120	Required
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required

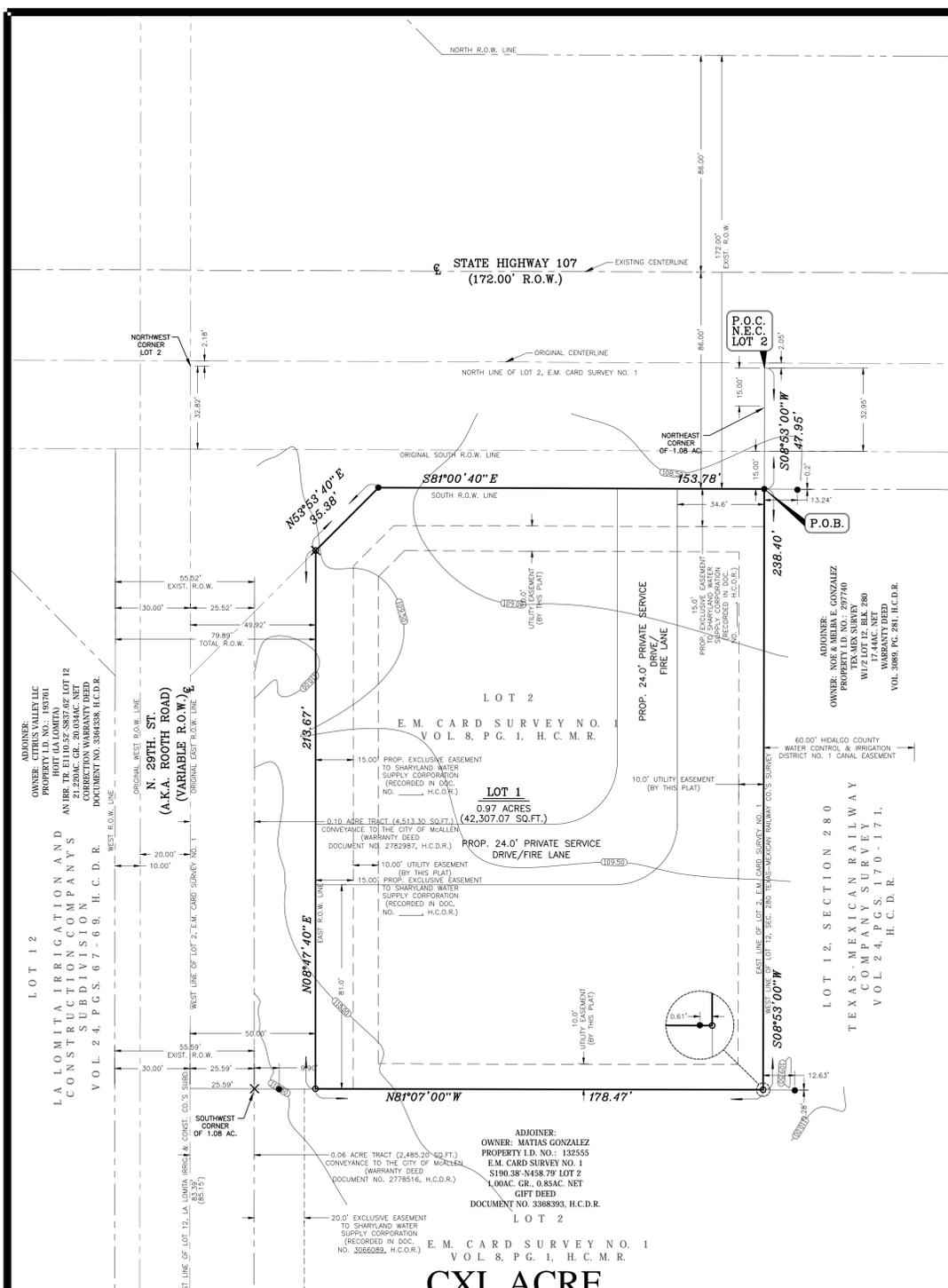
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

NOTES	
* No curb cut, access, or lot frontage permitted along N. 29th Street & State Highway 107. **Must comply with City Access Management Policy	Required
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	Required
* Common Areas, any private streets/drives, etc. must be maintained by the lot owners and not the City of McAllen. - Include a plat note as shown above wording to be finalized, prior to recording.	Applied
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	Applied
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing:C-3 Proposed: C-3 ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	Applied
PARKS	
* Land dedication in lieu of fee. Commercial developments do not apply to Parks.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Commercial developments do not apply to Parks.	NA
* Pending review by the by the City Manager's Office. Commercial developments do not apply to Parks.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.	Applied
* Traffic Impact Analysis (TIA) required prior to final plat.	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

COMMENTS	
Comments: - Any abandonments must be done by separate process not by plat, prior to recording. *Must comply with City's Access Management Policy.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO THE CONDITIONS NOTED.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

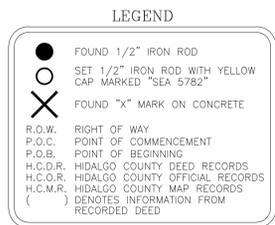


CXL ACRE SUBDIVISION

AN ADDITION TO THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS

BEING A 1.08 ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF LOT 2, E.M. CARD SURVEY NO. 1, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 08, PAGE 01, MAP RECORDS OF HIDALGO COUNTY, TEXAS; SAID 1.08 ACRE TRACT OF LAND BEING ALL THOSE SAME LANDS AS DESCRIBED IN A WARRANTY DEED WITH VENDOR'S LIEN CONVEYANCE FROM CLAUDIO RODRIGUEZ, MARIA MAGDALENA AND MARIO DE LA LUZ RODRIGUEZ UNTO CESAR XAVIER LEAL RECORDED ON AUGUST 13, 2020, AND, RECORDED IN DOCUMENT NO. 3138985, H.C.O.R.;

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER: CESAR XAVIER LEAL	2420 NORMA DRIVE	MISSION, TEXAS 78574	(956) 380-4040	NONE
ENGINEER: DAVID O. SALINAS	2221 DAFFODIL AVE.	McALLEN, TEXAS 78501	(956) 682-9081	(956) 686-1489
SURVEYOR: DAVID O. SALINAS	2221 DAFFODIL AVE.	McALLEN, TEXAS 78501	(956) 682-9081	(956) 686-1489



SCALE: 1" = 30'

GENERAL PLAT NOTES:

- MINIMUM SETBACK LINES = FRONT (STATE HIGHWAY 107/NORTH 29TH. ST.: 45.0 FT. OR GREATER FOR EASEMENTS OR IN LINE WITH EXISTING STRUCTURES, WHICHEVER IS GREATER APPLIES. IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS, OR IN LINE WITH EXISTING STRUCTURES, WHICHEVER IS GREATER APPLIES. REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES. SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES. CORNER: 10.0 FT. (ALONG N. 29TH. ST.) IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES.
- LANDS CONTAINED WITHIN THIS SUBDIVISION LIE IN ZONE "X" (UNSHADED) ACCORDING TO THE FIRM (FLOOD INSURANCE RATE MAP) DATED JUNE 6, 2000, COMMUNITY PANEL NO. 480334 0295 D. ZONE "X" (UNSHADED) DEFINED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN.
- MINIMUM FINISHED FLOOR ELEVATION ON ALL NEW CONSTRUCTION SHALL BE A MINIMUM OF 18.0 INCHES ABOVE THE TOP OF THE ROAD AS MEASURED FROM THE CENTER OF THE LOT ALONG NORTH Rooth ROAD
- MINIMUM 4 FT. WIDE SIDEWALK IS REQUIRED ON N. 29TH. ST. (A.K.A. Rooth ROAD) AND, A 5 FT. SIDEWALK IS REQUIRED ALONG STATE HIGHWAY 107.
- THIS SUBDIVISION PLAT SHALL BE REQUIRED TO DETAIN A TOTAL OF 11,795.07 CUBIC FEET, OR, 0.27 ACRE-FEET OF DRAINAGE RUNOFF VOLUME.
- THE CONSTRUCTION OF ANY STRUCTURES ON OR WITHIN ANY UTILITY EASEMENTS SHALL BE PROHIBITED.
- 6' OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES.
- 8' MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT, MAY BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS.
- BENCHMARK: McALLEN SURVEY CONTROL POINT NO. 36, LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF MILE 7 NORTH ROAD AND GLASSCOCK ROAD. IT IS 28 FEET WEST FROM THE CENTERLINE OF GLASSCOCK AND 170 FEET SOUTH FROM THE CENTERLINE OF MILE 7 NORTH ROAD. ELEV. = 149.19. HORIZONTAL DATUM: NAD83 VERTICAL DATUM: NAVD83
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- ALL SHARYLAND WATER SUPPLY CORPORATION EASEMENTS ARE EXCLUSIVE. NO OTHER USE OF EASEMENT IS PERMITTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF SHARYLAND WATER SUPPLY CORPORATION.
- COMMON AREAS, ANY PRIVATE STREETS/DRIVES, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.
- A MINIMUM 24 FT. PRIVATE SERVICE DRIVE EASEMENT WILL BE ESTABLISHED AS PART OF THE SITE PLAN AND WILL BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.

STATE OF TEXAS UNITED IRRIGATION DISTRICT
THIS PLAT IS HEREBY APPROVED BY THE UNITED IRRIGATION DISTRICT
ON THIS THE _____ DAY OF _____, 20 ____

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

ATTEST: _____ PRESIDENT _____ SECRETARY

SHARYLAND APPROVAL:
I, CARLOS LIMA, HEREBY CONDITIONALLY CERTIFY THAT POTABLE WATER SERVICE IS AVAILABLE FOR THE CXL ACRE SUBDIVISION LOCATED AT McALLEN IN HIDALGO COUNTY, TEXAS, SUBJECT TO THE SUBDIVISION'S POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DEVELOPER'S DESIGN ENGINEER, ALL APPLICABLE RULES AND REGULATIONS OF SHARYLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE, AND FEDERAL AGENCIES.

DEVELOPER AND ITS DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER SYSTEM IS CONSTRUCTED WITHIN THE DESIGNATED SHARYLAND WATER SUPPLY CORPORATION EXCLUSIVE EASEMENT.

CARLOS LIMA _____ DATE _____
GENERAL MANAGER
SHARYLAND WATER SUPPLY CORPORATION

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS CXL ACRE SUBDIVISION, TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

OWNER: CESAR XAVIER LEAL
2420 NORMA DRIVE
MISSION, TEXAS 78574

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED CESAR XAVIER LEAL, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 2025.



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES _____

STATE OF TEXAS
CITY OF McALLEN

I, THE UNDERSIGNED, MAYOR OF THE CITY McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR DATE _____

STATE OF TEXAS
CITY OF McALLEN

I, THE UNDERSIGNED CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN,
PLANNING AND ZONING COMMISSION
DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, DAVID OMAR SALINAS, P.E., A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, REGISTRATION NUMBER TX. 71973, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

DAVID OMAR SALINAS, P.E.
REG. PROFESSIONAL ENGINEER #71973 DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, DAVID O. SALINAS, THE UNDERSIGNED A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

DAVID O. SALINAS, R.P.L.S.
REG. PROFESSIONAL LAND SURVEYOR #5782 DATE _____

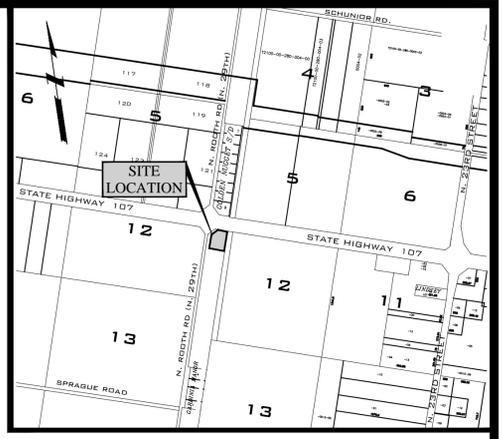
APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER DATE _____

DISCLAIMER: THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW BY THE CITY OF McALLEN ONLY & BY NO OTHERS UNDER THE AUTHORITY OF DAVID OMAR SALINAS, P.E., TX. REG. NO. 71973 ON NOV. 21, 2025. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.



LOCATION MAP SCALE: 1" = 1000'

METES AND BOUNDS DESCRIPTION

BEING A 1.08 ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF LOT 2, E.M. CARD SURVEY NO. 1, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 08, PAGE 01, MAP RECORDS OF HIDALGO COUNTY, TEXAS; SAID 1.08 ACRE TRACT OF LAND BEING ALL THOSE SAME LANDS AS DESCRIBED IN A WARRANTY DEED WITH VENDOR'S LIEN CONVEYANCE FROM CLAUDIO RODRIGUEZ, MARIA MAGDALENA AND MARIO DE LA LUZ RODRIGUEZ UNTO CESAR XAVIER LEAL RECORDED ON AUGUST 13, 2020, AND, RECORDED IN DOCUMENT NO. 3138985, H.C.O.R.; SAID 1.08 ACRE TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 2: THENCE, AS FOLLOWS:

- THENCE, SOUTH 08 DEGREES 53 MINUTE WEST, CONTINUING COINCIDENT WITH THE EAST LINE OF SAID LOT 2, A DISTANCE OF 238.40 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND FOR THE SOUTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, NORTH 81 DEGREES 07 MINUTE WEST, A DISTANCE OF 178.47 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND ON INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF N. 29TH. STREET FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, NORTH 08 DEGREES 47 MINUTES 40 SECONDS EAST, COINCIDENT WITH THE EAST RIGHT-OF-WAY LINE OF SAID N. 29TH. STREET, A DISTANCE OF 213.67 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND ON THE BEGINNING OF A CORNER CLIP FOR AN OUTSIDE CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, NORTH 53 DEGREES 53 MINUTES 40 SECONDS EAST, COINCIDENT WITH SAID ROADWAY CORNER CLIP AND BEING WITH THE EAST RIGHT-OF-WAY LINE OF SAID N. 29TH. STREET, A DISTANCE OF 35.38 FEET TO A 1/2 INCH DIAMETER IRON ROD WITH CAP MARKED "SEA 5782" SET ON INTERSECTION WITH THE SOUTH RIGHT-OF-WAY LINE OF SAID S.H. 107 FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, SOUTH 81 DEGREES 00 MINUTES 40 SECONDS EAST, COINCIDENT WITH THE SOUTH RIGHT-OF-WAY LINE OF SAID S.H. 107, A DISTANCE OF 153.78 FEET TO THE POINT OF BEGINNING, CONTAINING 1.08 ACRES OF LAND, MORE OR LESS.

BASIS OF BEARING: SAID WARRANTY DEED WITH VENDOR' LIEN
N:\SUBDIVISIONPLATS\CXL\SUB\1.08.111124



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

CXL ACRES SUBDIVISION

PREPARED BY: SALINAS ENGINEERING & ASSOC.
DATE OF REVISION: NOV. 21, 2025.
JOB NUMBER: SP-24-26251
OWNER: CESAR XAVIER LEAL
2420 NORMA DRIVE
MISSION, TEXAS 78574

SALINAS ENGINEERING & ASSOC.
(P-6675) (TBPLS-10065700)
CONSULTING ENGINEERS & SURVEYORS
2221 DAFFODIL McALLEN, TEXAS 78501
(956) 682-9081 (956) 686-1489 (FAX)
TBPLS 12100 PARK 35 CIRCLE BLDG. A, SUITE 156, MC-230, AUSTIN, TEXAS 78773 (512) 239-5263



GOLD

8

9

LOCATION

SH 107

**PROPOSED CXL
ACRE SUBDIVISION**

N 29TH ST



Sub 2024-0065

City of McAllen Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name ^{Fr 9/19/25} 2nd & Trenton Plaza <u>The Shoppes on 2nd Subdivision</u>
	Legal Description <u>5.285 acres out of Lot 4, Block 3, Steele and Pershing Subdivision, Volume 8, Pages 114-115 H.C.D.R. Hidalgo County</u>
	Location <u>Corner of Col Rowe Blvd. & Trenton Rd</u>
	City Address or Block Number <u>120 Trenton Road</u>
	Total No. of Lots <u>2</u> ^{Fr 9/26/24} Total Dwelling Units _____ Gross Acres <u>5.285</u> Net Acres <u>5.136</u>
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No
	For Fee Purposes: <input checked="" type="checkbox"/> Commercial (<u>5.285</u> Acres) / <input type="checkbox"/> Residential (_____ Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No
	Existing Zoning <u>C-3</u> Proposed Zoning <u>C-3</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Plaza</u>
	Irrigation District # <u>HCID #2</u> Water CCN: <input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other _____
Agricultural Exemption: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No Parcel # <u>289979</u>	
Estimated Rollback Tax Due <u>\$7,207.08</u> Tax Dept. Review <u>MR 6/10/24</u>	
Owner	Name <u>Joe V. Corso, Suzan Kidd Corso, Ann L. Corso</u> Phone <u>956-225-5295</u>
	Address <u>131 Oakcrest Way</u> E-mail <u>valecha.ash@gmail.com</u>
	City <u>Kerville</u> State <u>TX</u> Zip <u>78029</u>
Developer	Name <u>A.I.M.Z Development LLC</u> Phone <u>956-225-5295</u>
	Address <u>8025 N. 10th St. Suite 170</u> E-mail <u>valecha.ash@gmail.com</u>
	City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u>
	Contact Person <u>Ashish Valecha</u>
Engineer	Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u>
	Address <u>115 West McIntyre Street, Edinburg, Texas</u> E-mail <u>mario@meldenandhunt.com, beto@meldenandhunt.com and valeria@meldenandhunt.com</u>
	City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>
	Contact Person <u>Mario A. Reyna, P.E., Beto De La Garza, and Valeria Garza</u>
Surveyor	Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u>
	Address <u>115 West McIntyre Street, Edinburg, Texas</u> E-mail <u>robert@meldenandhunt.com</u>
	City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>

KCF

BY:

JUN 07 2024
[Signature]

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

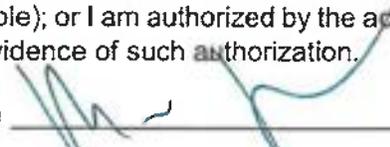
PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

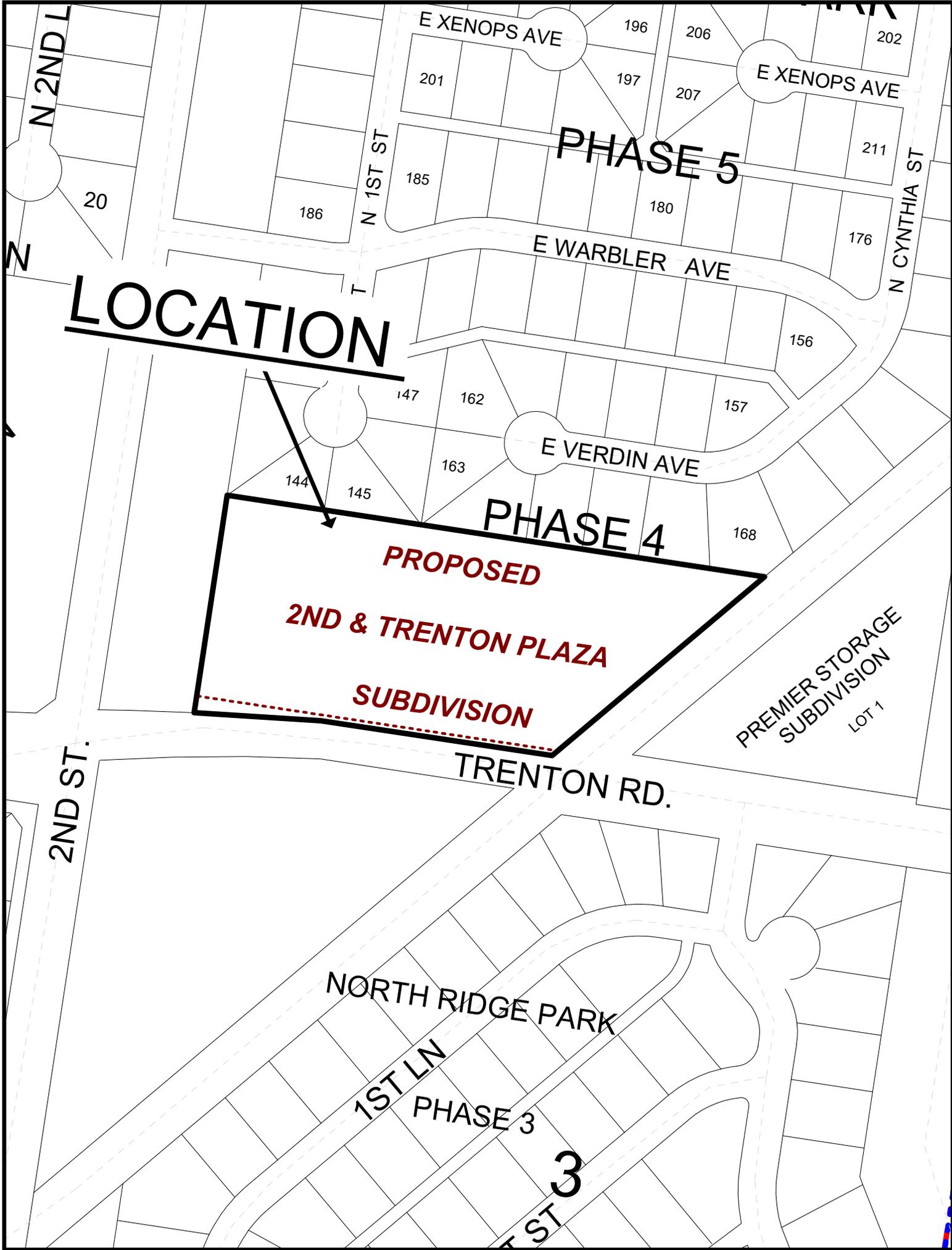
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 06.07.2024

Print Name Marlo A. Reyna, P.E.

Owner Authorized Agent

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion



LOCATION

PHASE 5

PHASE 4

**PROPOSED
2ND & TRENTON PLAZA
SUBDIVISION**

**PREMIER STORAGE
SUBDIVISION
LOT 1**

3

SUBDIVISION MAP OF THE SHOPPES ON 2ND SUBDIVISION

BEING A SUBDIVISION OF 5.404 ACRES
[235,425.554 Sq. Ft.] OUT OF
LOT 4, BLOCK 3
STEELE & PERSHING SUBDIVISION
VOLUME 8, PAGES 114-115 H.C.D.R.
HIDALGO COUNTY, TEXAS

METES AND BOUNDS DESCRIPTION:

A TRACT OF LAND CONTAINING 5.404 ACRES SITUATED IN THE COUNTY OF HIDALGO, TEXAS, BEING OUT OF LOT 4, BLOCK 3, STEELE AND PERSHING SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8, PAGES 114-115, HIDALGO COUNTY DEED RECORDS, SAID 5.404 ACRES IS OUT OF A CERTAIN TRACT CONVEYED TO JOE V. CORSO, JR., TONY J. CORSO, AND ANNA L. CORSO, BY VIRTUE OF A WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2862249, HIDALGO COUNTY OFFICIAL RECORDS, SAID 5.404 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A NO. 4 REBAR SET AT THE SOUTHWEST CORNER OF SAID LOT 4, BLOCK 3, ON THE EXISTING NORTH RIGHT-OF-WAY LINE OF TRENTON ROAD, FOR THE SOUTHWEST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

1. THENCE, S 81° 21' 28" E, ALONG THE WEST LINE OF SAID LOT 4, BLOCK 3, A DISTANCE OF 340.00 FEET TO A NO. 4 REBAR SET AT THE SOUTHWEST CORNER OF NORTHTRIDGE PARK PHASE NO. 4, ACCORDING TO THE PLAT RECORDED IN VOLUME 29, PAGE 134, HIDALGO COUNTY MAP RECORDS, FROM WHICH A NO. 4 REBAR FOUND BEARS N 74° 37' 37" W, A DISTANCE OF 1.62 FEET, FOR NORTHWEST CORNER OF THIS TRACT;
2. THENCE, S 81° 21' 42" E, ALONG THE SOUTH LINE OF SAID NORTHTRIDGE PARK PHASE NO. 4, A DISTANCE OF 859.87 FEET TO A NO. 4 REBAR SET ON THE EXISTING WEST 80-FOOT RIGHT-OF-WAY LINE DEDICATED TO SOUTHERN UNION PACIFIC RAILROAD, FOR THE NORTHWEST CORNER OF THIS TRACT;
3. THENCE, S 49° 54' 11" W, ALONG SAID WEST 80-FOOT RIGHT-OF-WAY LINE DEDICATED TO SOUTHERN UNION PACIFIC RAILROAD, AT A DISTANCE OF 0.80 FEET PASS A NO. 4 REBAR FOUND IN LINE, CONTAINING A TOTAL DISTANCE OF 425.72 FEET TO A NO. 4 REBAR SET ON THE EXISTING NORTH RIGHT-OF-WAY LINE OF TRENTON ROAD, FROM WHICH A NO. 5 REBAR FOUND BEARS N 76° 01' 25" W A DISTANCE OF 1.25 FEET, AND FROM WHICH A NO. 4 REBAR FOUND AT THE SOUTHWEST CORNER OF PREMIER STORAGE SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN INSTRUMENT NUMBER 3343225, HIDALGO COUNTY MAP RECORDS, BEARS S 81° 21' 42" E A DISTANCE OF 106.43 FEET, FOR THE SOUTHWEST CORNER OF THIS TRACT;
4. THENCE, N 81° 21' 42" W, ALONG AN EXISTING NORTH RIGHT-OF-WAY LINE OF TRENTON ROAD, A DISTANCE OF 215.61 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
5. THENCE, N 85° 28' 11" W ALONG AN EXISTING NORTH RIGHT-OF-WAY LINE OF TRENTON ROAD, A DISTANCE OF 139.59 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
6. THENCE, S 08° 38' 18" W, A DISTANCE OF 10.00 FEET TO A NO. 4 REBAR SET ON THE SOUTH LINE OF SAID LOT 4, BLOCK 3, FOR AN OUTSIDE CORNER OF THIS TRACT;
7. THENCE, N 81° 21' 42" W ALONG THE SOUTH LINE OF SAID LOT 4, BLOCK 3, AND ALONG AN EXISTING NORTH RIGHT-OF-WAY LINE OF TRENTON ROAD, A DISTANCE OF 224.25 FEET TO THE POINT OF BEGINNING AND CONTAINING 5.404 ACRES GROSS, OF WHICH 0.034 OF ONE ACRE LIES WITHIN THE EXISTING RIGHT-OF-WAY OF TRENTON ROAD, LEAVING A NET OF 5.370 ACRES OF LAND, MORE OR LESS.

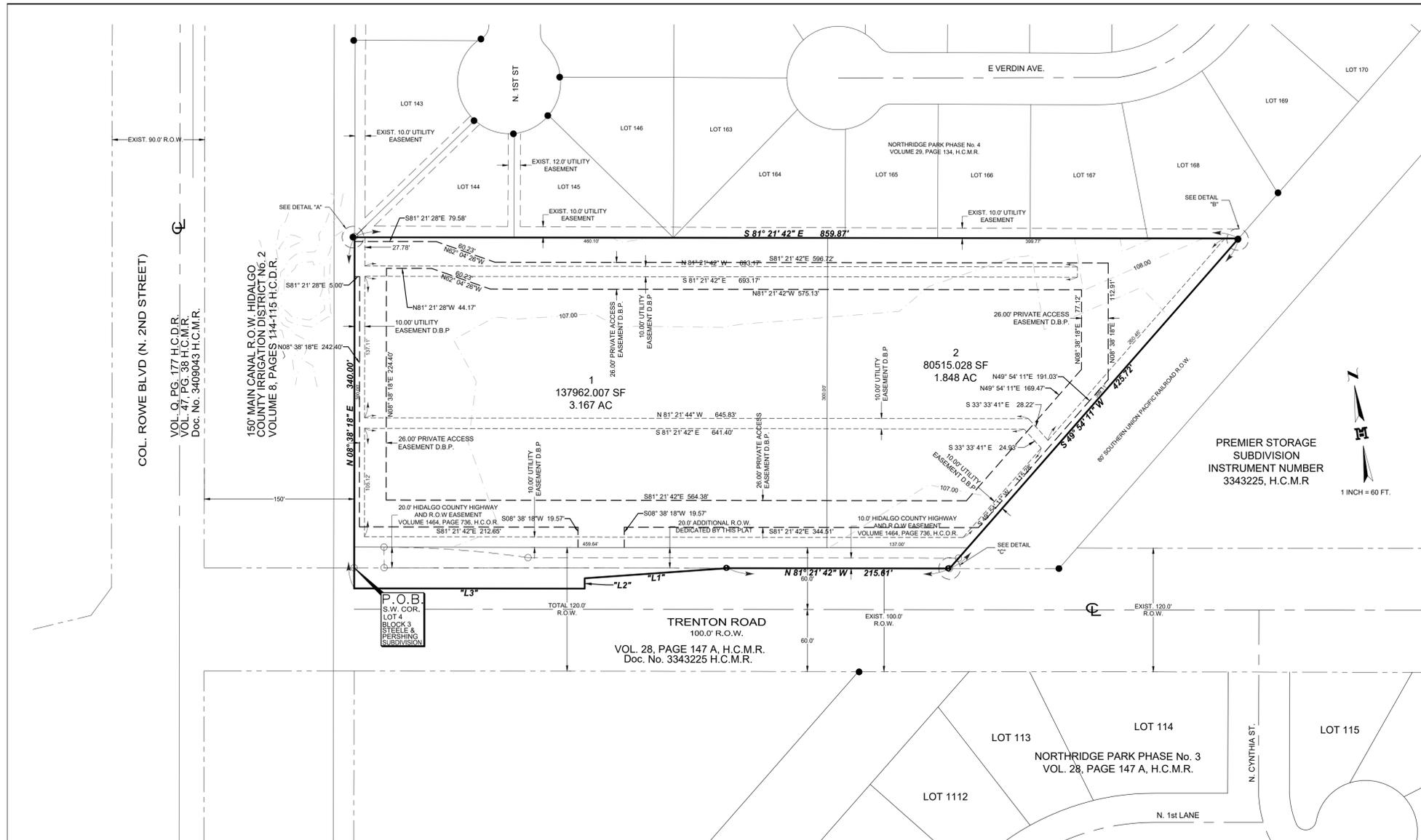
GENERAL NOTES :

1. THIS SUBDIVISION IS IN FLOOD ZONE "B" AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD. OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE(1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE, OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. COMMUNITY-PANEL NUMBER: 480334 0425 C MAP REVISED: NOVEMBER 16, 1982.
2. MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE THE FRONT TOP OF CURB MEASURED FROM THE CENTER OF THE LOT.
3. MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF McALLEN ZONING CODE:
FRONT: E. TRENTON ROAD: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN OR IN LINE WITH EXISTING STRUCTURES, WHICHEVER IS GREATER APPLIES.
REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES.
SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN WHICHEVER IS GREATER APPLIES.
CORNER: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN WHICHEVER IS GREATER APPLIES.
4. CITY OF McALLEN BENCHMARK: NUMBER MC 56, TOP OF 30" ALUMINUM PIPE WITH A 3-1/4" BRASS MONUMENT CAP ON TOP, LOCATED 197 FEET WEST OF THE INTERSECTION OF N. CYNTHIA STREET & E. MARTIN AVE. GEODETIC G.P.S. TEXAS STATE PLANE GRID COORDINATE SYSTEM, NAD 83 TEXAS SOUTH 4205 ELEVATION PER NAVD 88 (GEOID 2003) N=16619814.0049, E=1079929.82243, ELEV.=108.46
5. REQUIRED STORM SEWER RUNOFF DETENTION FOR THIS SUBDIVISION AS PER THE APPROVED DRAINAGE REPORT: 62,552 C.F.; 1.436 Ac.-Fl. TO BE PROVIDED WITHIN DESIGNATED DETENTION AREA.
6. AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF McALLEN ENGINEERING DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT FOR ALL NEW BUILDING.
7. NO STRUCTURES PERMITTED TO BE BUILT OVER EASEMENTS.
8. 4' SIDEWALK REQUIRED ON TRENTON ROAD.
9. 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONUSES.
10. 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONUSES.
11. THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
12. 25 X 25 SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS AND 10 X 10 CLIP REQUIRED AT ALL STREET AND ALLEY INTERSECTIONS.
13. A MINIMUM 24 FT. SERVICE DRIVE EASEMENT WILL BE ESTABLISHED AS PART OF THE SITE PLAN AND WILL BE MAINTAINED BY LOT OWNERS, NOT THE CITY OF McALLEN.
13. PRIVATE ACCESS DRIVE TO BE OWNED/MAINTAINED BY THE PROPERTY OWNERS AND NOT THE CITY OF McALLEN.
14. PRIVATE ACCESS DRIVE TO BE OWNED/MAINTAINED BY THE PROPERTY OWNERS AND NOT THE CITY OF McALLEN.



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY



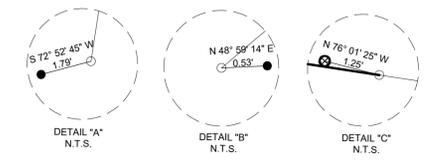
- LEGEND**
- FOUND No 4 REBAR
 - ⊙ FOUND No 5 REBAR
 - SET No 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT, INC
 - R.O.W. - RIGHT OF WAY
 - H.C.M.R. - HIDALGO COUNTY MAP RECORDS
 - H.C.D.R. - HIDALGO COUNTY DEED RECORDS
 - H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
 - R.C.P. - REINFORCED CONCRETE PIPE
 - Sq. Ft. - SQUARE FEET
 - N.T.S. - NOT TO SCALE
 - D.B.P. - DEDICATED BY THIS PLAT

Line #	Direction	Length
"L1"	N 85° 28' 11" W	139.59'
"L2"	S 08° 38' 18" W	10.00'
"L3"	N 81° 21' 42" W	224.25'



REVISED BY: EM DATE: 12-05-2025
DRAWN BY: CESAR DATE: 06-07-2024
SURVEYED, CHECKED DATE _____
FINAL CHECK DATE _____

M MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS
115 W. McINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com



I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION _____ DATE _____

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN _____ DATE _____

CITY SECRETARY _____ DATE _____

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

RAUL E. SESIN, P.E., C.F.M. _____ DATE _____
GENERAL MANAGER

STATE OF TEXAS
COUNTY OF

THE UNDERSIGNED, LIENHOLDER OF RECORD IN THE DESCRIBED REAL PROPERTY, AS SHOWN ON THIS PLAT AND DESIGNATED AS THE SHOPPES ON 2ND SUBDIVISION, OF THE CITY OF McALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE REAL PROPERTY AS PROVIDED FOR UNDER THE PLAT, AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED REAL PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

BY: STEVE EDLUND, SAN ANTONIO MARKET EXECUTIVE _____ DATE _____
SUSSER BANK
11503 NW MILITARY HWY, SUITE 325
SAN ANTONIO, TEXAS 78231

STATE OF TEXAS
COUNTY OF

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED STEVE EDLUND, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN GIVEN UNDER MY HAND AND SEAL OF THIS

THE ____ DAY OF _____, 2022.

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

DATED THIS THE ____ DAY OF _____, 20 ____.

MARIO A. REYNA, PROFESSIONAL ENGINEER No. 117368
STATE OF TEXAS

DATE PREPARED: 09/03/2021
ENGINEERING JOB # 21161.00

STATE OF TEXAS
COUNTY OF HIDALGO

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF McALLEN, TEXAS.

DATED THIS THE ____ DAY OF _____, 20 ____.

ROBERTO N. TAMEZ, PROFESSIONAL LAND SURVEYOR No. 6238
STATE OF TEXAS

DATE SURVEYED: 08/19/2021
T-1093, PG. 74-76
SURVEY JOB # 2447.08

SUBDIVISION MAP OF THE SHOPPES ON 2ND SUBDIVISION

BEING A SUBDIVISION OF 5.285 ACRES
[230,221.505 Sq. Ft.] OUT OF
LOT 4, BLOCK 3
STEELE & PERSHING SUBDIVISION
VOLUME 8, PAGES 114-115 H.C.D.R.
HIDALGO COUNTY, TEXAS

THE STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE SHOPPES ON 2ND SUBDIVISION SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

RAM RGV, INC.
A TEXAS CORPORATION

RAUL GARCIA, PRESIDENT _____ DATE _____
1312 ENCANTO BLVD
MISSION, TEXAS 78574

A.I.M.Z. DEVELOPMENT L.L.C.
A TEXAS LIMITED LIABILITY COMPANY

ASHISH VALECHA, MANAGING MEMBER _____ DATE _____
8025 N. 10TH ST. STE 170
McALLEN, TEXAS 78504

PRESHINA SAMTANI, MANAGING MEMBER _____ DATE _____
8025 N. 10TH ST. STE 170
McALLEN, TEXAS 78504

THE STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RAUL GARCIA, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE. THIS THE ____ DAY OF _____, 20 ____.

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

THE STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ASHISH VALECHA, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE. THIS THE ____ DAY OF _____, 20 ____.

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

THE STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED PRESHINA SAMTANI, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE. THIS THE ____ DAY OF _____, 20 ____.

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

DRAWN BY: CESAR _____ DATE 06-07-2024
SURVEYED, CHECKED _____ DATE _____
FINAL CHECK _____ DATE _____



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/29/2026

SUBDIVISION NAME: THE SHOPPES ON 2ND SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>Trenton Road: R.O.W. dedication needed for 60 ft. from centerline for total 120 ft. ROW Paving: 65' to 85 ft. Curb & gutter: both sides - Please show the existing ROW on each side of the centerline, reference the document number, and provide a copy for staff review. - Please submit a copy of the referenced documents in the plat for staff review. -Remove the wording "Proposed" from the Utility Easement. -Please indicate the new lot line after ROW dedication. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Required
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	NA
ALLEYS	
<p>R.O.W.: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties - Show alley/service drive easement on the property. **Subdivision Ordinance: Section 134-106</p>	Required
SETBACKS	
<p>* Front: In accordance with the Zoning Ordinance or greater for easements or approved site plan or in line with existing structures, whichever is greater applies. **Zoning Ordinance: Section 138-356</p>	Compliance
<p>* Rear: In accordance with the zoning ordinance, or greater for easements or approved site plan, whichever is greater applies **Zoning Ordinance: Section 138-356</p>	Compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>Sides: In accordance with the zoning ordinance, or greater for easements or approved site plan, whichever is greater applies **Zoning Ordinance: Section 138-356</p>	<p>Compliance</p>
<p>Corner: In accordance with the zoning ordinance, or greater for easements or approved site plan, whichever is greater applies **Zoning Ordinance: Section 138-356</p>	<p>Compliance</p>
<p>* Garage **Zoning Ordinance: Section 138-356</p>	<p>NA</p>
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	<p>Applied</p>
<p>SIDEWALKS</p>	
<p>* 4 ft. wide minimum sidewalk required on Trenton Road. Proposing: 5 ft. sidewalk required on E. Trenton Road. **Subdivision Ordinance: Section 134-120</p>	<p>Compliance</p>
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	<p>Required</p>
<p>BUFFERS</p>	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46</p>	<p>Applied</p>
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46</p>	<p>Applied</p>
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	<p>Required</p>
<p>NOTES</p>	
<p>* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy</p>	<p>Applied</p>
<p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p>	<p>Required</p>
<p>* Common Areas, any private drives, etc. must be maintained by the lot owners and not the City of McAllen. - Add a plat note as shown above.</p>	<p>Required</p>
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	<p>Applied</p>
<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 136-168 applies if private subdivision is proposed. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	<p>NA</p>
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Section 136-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	<p>NA</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing: C-3 Proposed: C-3 **If a use is proposed which requires a CUP, it must be submitted and approved prior to final. ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA
PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording	NA
* Pending review by the City Manager's Office.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required.	Required
* Traffic Impact Analysis (TIA) required prior to final plat.	Required
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> - There are some references on the plat notes to "E. Trenton Road" Staff will finalize the street name label - Show the width of the Hidalgo County Irrigation District No. 2 canal ROW, reference the document number on the plat, and provide a copy for staff. - Reference the document number for the existing 90 ft. ROW shown for Col. Rowe Boulevard and provide a copy for staff review - Reference the document number for 80 ft. Southern Union Pacific railroad ROW and provide a copy for staff review. - Legal description of all adjacent properties on all sides are needed, including the south side of Trenton Road. - The name of the streets in vicinity of the subject property on the north and south side of the subdivision are incorrect, including Cynthia St, N. 1st Lane, Cynthia Ave, etc. Review and revise as applicable - If an access to N. 2nd Street is proposed, it requires City approval and an agreement with the Irrigation District -Please show the new lot line after dedication on plat, -Traffic department: Pending Approval Letter -Plat note #13 & #14 are repeated. Revise and clarify accordingly. *Must comply with City's Access Management Policy. 	Required
RECOMMENDATION	
Recommendation: STAFF RECOMMENDED APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



N 2ND

E XENOPS AVE

E XENOPS AVE

N CYNTHIA ST

PHASE 5



N 1ST ST

E WARBLER AVE

LOCATION

E VERDIN AVE

PHASE 4

PROPOSED
2ND & TRENTON PLAZA
SUBDIVISION

PREMIER STORAGE
SUBDIVISION
LOT 1

2ND ST.

TRENTON RD.

NORTH RIDGE PARK

1ST LN

PHASE 3

3

*New
Sub 2026-0003

City of McAllen Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Arbolera on Montecristo Subdivision</u>	
	Legal Description <u>TEX-MEX SURVEY E242'-W725'-N990' LOT 4 SEC 235 5.50 AC GR 5.183 AC NET</u>	
	Location <u>South side of W. Monte Cristo Rd., approx. 1,800-ft West of N 10th Street</u>	
	City Address or Block Number <u>2820 Monte Cristo Road, Edinburg, Texas</u>	
	Total No. of Lots <u>32</u> Total Dwelling Units <u>30</u> Gross Acres <u>5.50</u> Net Acres <u>5.38</u>	
	<input checked="" type="checkbox"/> Public Subdivision/ <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input checked="" type="checkbox"/> Yes/ <input type="checkbox"/> No	
	For Fee Purposes: <input checked="" type="checkbox"/> Commercial (<u>.85</u> Acres)/ <input checked="" type="checkbox"/> Residential (<u>30</u> Lots) Replat: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No	
	Existing Zoning <u>n/a</u> Proposed Zoning <u>n/a</u> Applied for Rezoning <input type="checkbox"/> No/ <input type="checkbox"/> Yes: Date <u>n/a</u>	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Single Family Residential/Commercial</u>	
	Irrigation District # <u>HCID1</u> Water CCN: <input type="checkbox"/> MPU/ <input checked="" type="checkbox"/> Sharyland Water SC Other _____	
Agricultural Exemption: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No Parcel # <u>294828</u>		
Estimated Rollback Tax Due <u>N/A</u> Tax Dept. Review <u>ma</u>		
Owner	Name <u>2A Investment Group, LLC</u> Phone <u>956-600-8628</u>	
	Address <u>1613 Red River Ave</u> E-mail <u>2ainvtgroup@gmail.com</u>	
	City <u>Edinburg</u> State <u>TX</u> Zip <u>78539</u>	
Developer	Name <u>2A Investment Group, LLC</u> Phone <u>956-600-8628</u>	
	Address <u>1613 Red River Ave</u> E-mail <u>2ainvtgroup@gmail.com</u>	
	City <u>Edinburg</u> State <u>TX</u> Zip <u>78539</u>	
	Contact Person <u>Ali Moya</u>	
Engineer	Name <u>M2 Engineering, PLLC</u> Phone <u>956-600-8628</u>	
	Address <u>1810 E. Griffin Parkway</u> E-mail <u>milo@m2-engineers.com</u>	
	City <u>Mission</u> State <u>TX</u> Zip <u>78572</u>	
	Contact Person <u>Emigdio Salinas</u>	
Surveyor	Name <u>Homero Luis Gutierrez, RPLS</u> Phone <u>956-369-0988</u>	
	Address <u>PO Box 548</u> E-mail <u>homero_gutierrez@sbcglobal.net</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>	

RECEIVED
JAN 8 2026

BY: AV.

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 11/14/2025

Print Name Emigdio Salinas

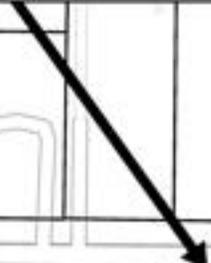
Owner Authorized Agent

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

BLOCK 29



LOCATION



**PROPOSED ARBOLERA ON
MONTECRISTO SUBDIVISION**

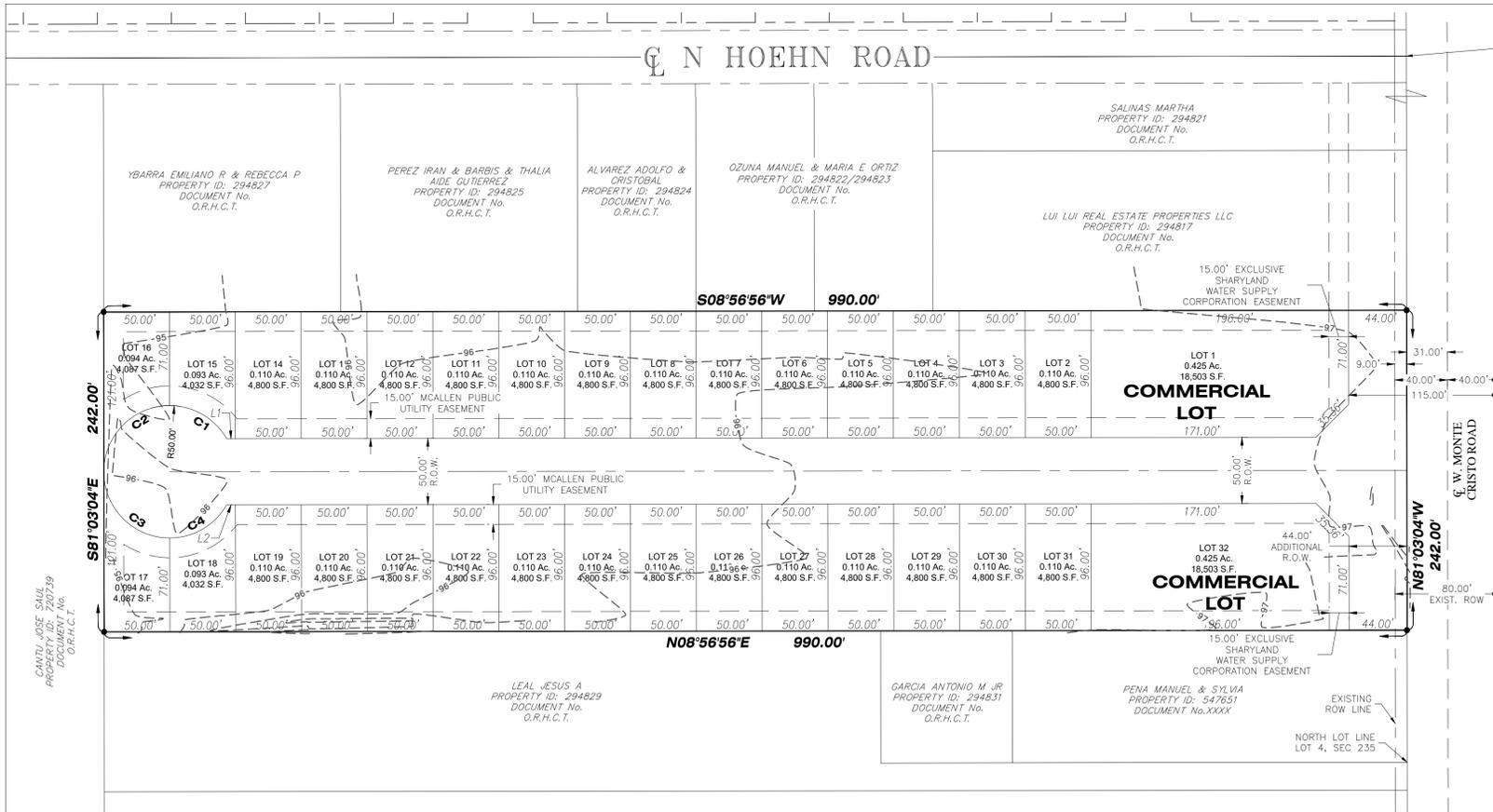
HOEHN RD

MONTECRISTO RD

98

5

6

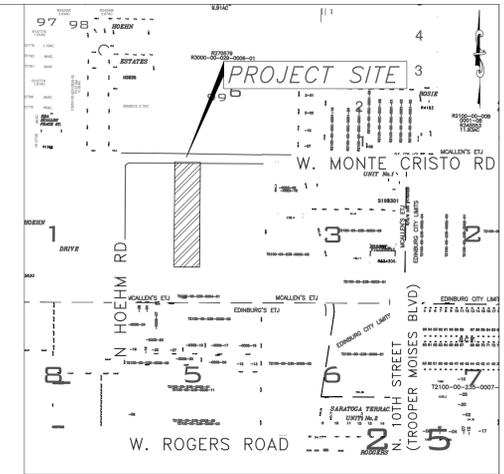


N.W.C. LOT 4, SEC. 235
 N=16650884.1729'
 E=1078628.6549'

SCALE: 1"=60'

LINE #	LENGTH	DIRECTION
L2	6.70	N8° 56' 55.82"E
L1	6.70	N8° 56' 55.82"E

CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	52.36'	50.00'	60° 00' 00"	S38° 56' 56"W	50.00'
C2	78.54'	50.00'	89° 59' 59"	S36° 03' 04"E	70.71'
C3	78.54'	50.00'	89° 59' 59"	N53° 56' 55"E	70.71'
C4	52.36'	50.00'	60° 00' 00"	N21° 03' 04"W	50.00'



LOCATION MAP
 SCALE: 1"=800'

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY: ARBOLERA ON MONTECRISTO SUBDIVISION IS LOCATED IN WEST HIDALGO COUNTY, ON THE SOUTH SIDE OF W. MONTE CRISTO ROAD, BETWEEN N. 10TH STREET AND N. HOEHN ROAD, AND APPROXIMATELY 1,800 FEET WEST OF W. MONTE CRISTO ROAD AND N. 10TH STREET INTERSECTION. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF MCALLEN ACCORDING TO THE MAP IN THE OFFICE OF SECRETARY OF THE CITY OF MCALLEN (POPULATION 148,782). ARBOLERA ON MONTECRISTO SUBDIVISION LIES APPROXIMATELY 1.0 MILES OUTSIDE OF THE CITY LIMITS AND IT'S WITHIN THE CITY OF MCALLEN 5-MILE JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE 212.001 AND LIES IN PRECINCT No. 4.

ARBOLERA ON MONTECRISTO SUBDIVISION

A 5.50 ACRE TRACT OF LAND BEING OUT OF THE REMAINING LAND OUT OF A TRACT OF LAND DESCRIBED AS TRACT 1, OUT OF LOT 4, SECTION 235, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS



TBPELS FIRM REGISTRATION F-19545
 1810 E. GRIFFIN PARKWAY
 MISSION TX 78572
 956-600-8628



FILED FOR RECORD IN
 HIDALGO COUNTY
 ARTURO GUAJARDO, JR.
 HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
 INSTRUMENT NUMBER _____
 OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
 BY: _____ DEPUTY

- LEGEND**
- 1/2" CAPPED IRON ROD FOUND "CIRF"
 - 1/2" IRON ROD FOUND "IRF"
 - PIPE FOUND "PF"
 - 1/2" IRON ROD SET WITH PINK CAP "CIRS"
 - RECORD BEARING & DISTANCE
 - ⊗ MAG NAIL SET "MNS"
 - △ CALCULATED POINT "CP"

No.	DESCRIPTION	DATE	BY
1			
2			
3			
4			
5			

PREPARATION DATE: JUNE 2025
 SUBMITTAL DATE:

SHEET	DESCRIPTION
SHEET 1	HEADING, INDEX, LOCATION AND ETJ MAP; PRINCIPAL CONTACTS; MAP; LOT, STREETS, AND EASEMENT LAYOUT; SURVEYOR'S CERTIFICATION; OWNERS DEDICATION, CERTIFICATION, ATTESTATION; ENGINEERING CERTIFICATION; HIDALGO COUNTY IRRIGATION DISTRICT No. 6 CERTIFICATION; COUNTY CLERK'S RECORDING CERTIFICATE; SHARYLAND WATER SUPPLY CORPORATION CERTIFICATE; LOT AREAS; PLAT NOTES AND RESTRICTIONS; DESCRIPTION (METES AND BOUNDS); HIDALGO COUNTY CERTIFICATE; HIDALGO DRAINAGE DISTRICT No.1 CERTIFICATE; CITY APPROVAL CERTIFICATE;
SHEET 2	ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND SANITARY SEWER ENGINEER'S CERTIFICATION (ENGLISH AND SPANISH VERSION), WATER AND SANITARY LAYOUT; DETAILS;
SHEET 3	MAP OF TOPOGRAPHY AND DRAINAGE LAYOUT; STORM DRAINAGE CONSTRUCTION DETAILS; DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE, ENGINEERING CERTIFICATION;

NAME: _____ ADDRESS: _____ CITY & ZIP: _____ PHONE: _____
 OWNER: 2A INVESTMENTS GROUP LLC 1613 RED RIVER AVENUE EDINBURG, TEXAS 78539 (956) XXX-XXXX
 ENGINEER: EMIGDIO "MILO" SALINAS, P.E. 1810 E. GRIFFIN PARKWAY MISSION, TEXAS 78572 (956) 600-8628
 SURVEYOR: HOMERO LUIS GUTIERREZ, RPLS P.O. BOX 548 MCALLEN, TEXAS (956) 369-0988

STATE OF TEXAS COUNTY OF HIDALGO OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I, 2A INVESTMENT GROUP LLC, OWNER OF THE 10.0 ACRE TRACT OF LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS ARBOLERA ON MONTECRISTO SUBDIVISION, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREETS, AND EASEMENTS SHOWN HEREIN.

I CERTIFY THAT I HAVE COMPLIED WITH REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE §232.032 AND THAT:

- (A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS;
- (B) SEWER CONNECTIONS TO THE LOTS MEET OR WILL MEET THE MINIMUM REQUIREMENTS OF STATE STANDARDS;
- (C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET OR WILL MEET THE MINIMUM STATE STANDARDS, AND;
- (D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

2A INVESTMENT GROUP LLC
 ALI MOYA, PRESIDENT
 1613 RED RIVER AVENUE
 EDINBURG, TEXAS 78539

STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2025.

NOTARY PUBLIC, STATE OF TEXAS
 MY COMMISSION EXPIRES: _____

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.
 GENERAL MANAGER

HIDALGO COUNTY IRRIGATION DISTRICT No. 1

THIS PLAT HAS BEEN APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 1 ON THIS THE _____ DAY OF _____, 2025.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT No. 1 RIGHT-OF-WAY OR EASEMENT.

PRESIDENT: _____ SECRETARY: _____

SHARYLAND WATER SUPPLY CORPORATION

I, CARLOS LIMA, HEREBY CONDITIONALLY CERTIFY THAT POTABLE WATER SERVICE IS AVAILABLE FOR ARBOLERA ON MONTECRISTO SUBDIVISION, LOCATED AT MISSION ETJ IN HIDALGO COUNTY, TEXAS, SUBJECT TO THE SUBDIVISION'S POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DEVELOPER'S DESIGN ENGINEER, ALL APPLICABLE RULES AND REGULATIONS OF SHARYLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE, AND FEDERAL AGENCIES.

DEVELOPER AND ITS DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER SYSTEM IS CONSTRUCTED WITHIN THE DESIGNATED SHARYLAND WATER SUPPLY CORPORATION EXCLUSIVE EASEMENT.

CARLOS LIMA
 GENERAL MANAGER
 SHARYLAND WATER SUPPLY CORPORATION

STATE OF TEXAS COUNTY OF HIDALGO

UNDER LOCAL GOVERNMENT CODE § 232.028(a)

WE, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF THE ARBOLERA ON MONTECRISTO SUBDIVISION WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON _____

HIDALGO COUNTY JUDGE: _____ DATE: _____
 HIDALGO COUNTY CLERK: _____ DATE: _____

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL

THE UNDERSIGNED, CERTIFY THAT THIS PLAT OF ARBOLERA ON MONTECRISTO SUBDIVISION WAS REVIEW AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON _____, 2025.

HIDALGO COUNTY ENVIRONMENTAL HEALTH DIVISION MANAGER: _____ DATE: _____

STATE OF TEXAS CITY OF McALLEN PLANNING AND ZONING COMMISSION

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION: _____ DATE: _____

CITY OF McALLEN MAYOR APPROVAL

I, THE UNDERSIGNED MAYOR OF THE CITY OF MCALLEN HEREBY CERTIFY TAHT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN: _____ DATE: _____

ATTESTED BY: _____ DATE: _____
 CITY SECRETARY: _____ DATE: _____

STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, EMIGDIO "MILO" SALINAS, P.E., A LICENSED PROFESSIONAL ENGINEER, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

EMIGDIO "MILO" SALINAS, P.E.
 LICENSED PROFESSIONAL ENGINEER No. 107703
 FIRM REGISTERED No. F-19545



STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARE FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE CITY OF MCALLEN SUBDIVISION ORDINANCE AND ALL STATE STATUTES GOVERNING SURVEYS.

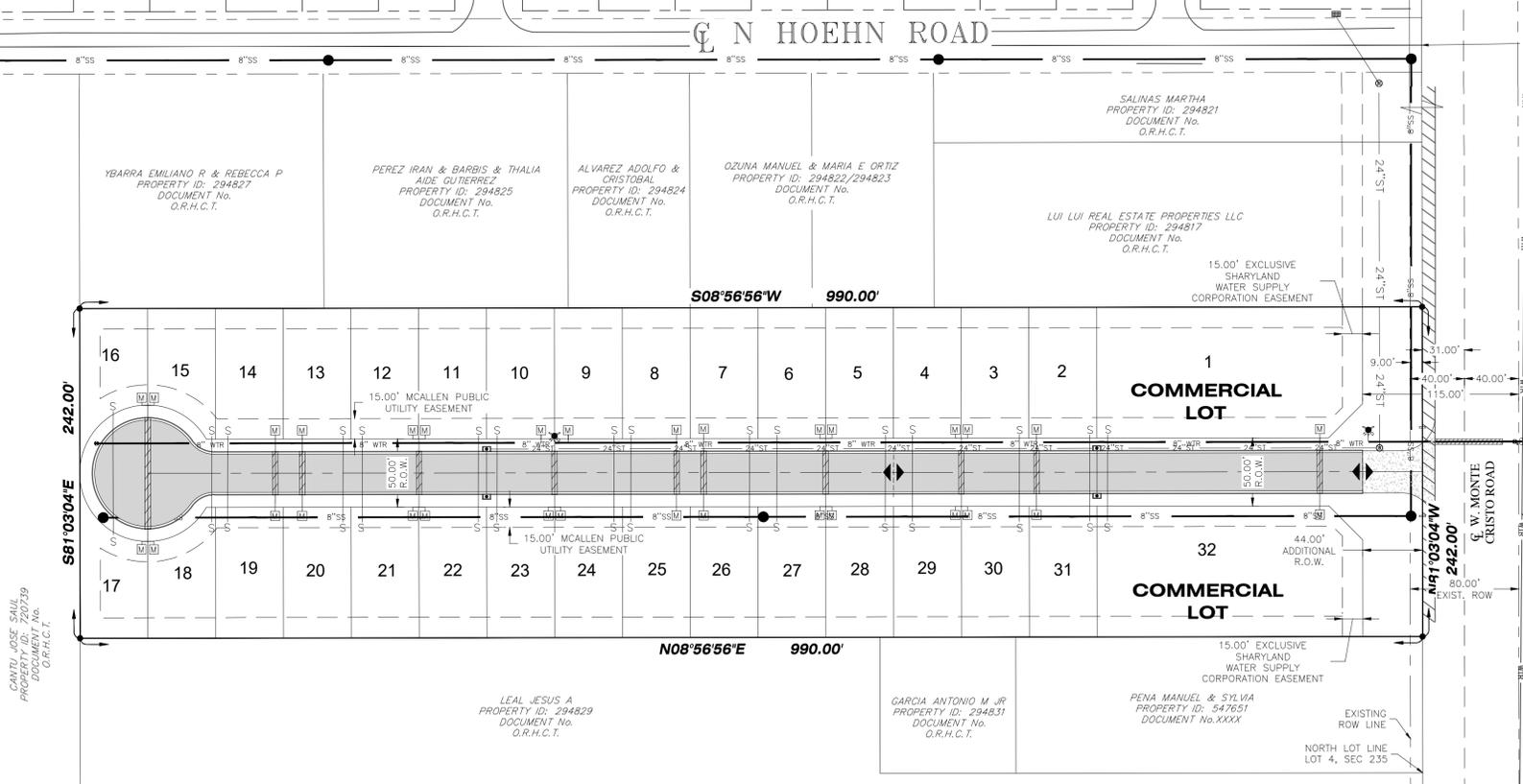


ARBOLERA ON MONTECRISTO SUBDIVISION UTILITY LAYOUT

A 5.50 ACRE TRACT OF LAND BEING OUT OF THE REMAINING LAND OUT OF A TRACT OF LAND DESCRIBED AS TRACT 1, OUT OF LOT 4, SECTION 235, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS

N.W.C. LOT 4, SEC. 235
N=16650884.1729'
E=1078628.6549'

SCALE: 1"=60'



CANTU JOSE SAUL
PROPERTY ID: 294829
DOCUMENT No. 0.R.H.C.T.

LOT 6, SEC 29
RD GRANDE
DEVELOPMENT
COMPANY
SUBDIVISION

SUBDIVIDER CERTIFICATION

BY COMPLETING THE IMPROVEMENTS DESCRIBED ON THIS PLAT, SUBDIVIDER WILL COMPLY WITH MINIMUM STATE STANDARDS AND THAT (A) WATER QUALITY AND CONNECTIONS INCLUDING WATER METES AND OR WATER WELLS FOR EACH LOTS MEET SUCH STANDARDS AND (B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET SUCH STANDARDS AND WILL BE CONSTRUCTED IN ACCORDANCE WITH STATE AN COUNTY REGULATIONS.

SUBDIVIDER STATEMENT:
I, ZA INVESTMENT GROUP LLC, SUBDIVIDER OF MOYA SUBDIVISION HERE BY CERTIFY SEWER PERMITS HAVE BEEN PAID AND COPIES OF RECEIPTS ARE ON FILE WITH THE HIDALGO COUNTY HEALTH DEPARTMENT THAT ANY ADEQUATE DRINKING WATER SOURCE IS IMMEDIATELY AVAILABLE TO EACH LOT OF THE TYPE, QUALITY AND QUANTITY TO ENABLE EACH PERSON PURCHASING A LOT HAVE ADEQUATE WATER TO COMPLY WITH THE REGULATIONS AND THE LAWS OF THE STATE AS REQUIRED BY STATE AND COUNTY REGULATIONS.

ZA INVESTMENT GROUP LLC _____ DATE
XXXX, PRESIDENT
1813 RED RIVER AVENUE
EDINBURG, TEXAS 78539

STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED XXXX, PRESIDENT KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____ 20____

NOTARY PUBLIC, STATE OF TEXAS
MY COMMISSION EXPIRES: _____

FINAL ENGINEERING REPORT:

WATER SUPPLY: DESCRIPTION AND COSTS.

MOYA SUBDIVISION HAS BEEN PROVIDED WITH POTABLE WATER BY THE SHARYLAND WATER SUPPLY CORPORATION ("S.W.S.C."). THE SUBDIVIDER AND S.W.S.C. SIGNED A CONTRACT BY WHICH, THE SUBDIVISION WILL RECEIVE SUFFICIENT WATER PROVISION FOR AT LEAST 30 YEARS AND S.W.S.C. HAS PROVIDED SUFFICIENT DOCUMENTATION TO ESTABLISH THE LONG TERM QUANTITY AND QUALITY OF THE AVAILABLE WATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THIS SUBDIVISION.

S.W.S.C. HAS AN EXISTING 8" DIAMETER WATER LINE RUNNING ALONG THE NORTH SIDE OF WEST MONTE CRISTO ROAD.

THE WATER SYSTEM FOR MOYA SUBDIVISION CONSIST OF AN 8" DIAMETER WATER LINE THAT TAPS INTO THE EXISTING 8" DIAMETER WATER LINE THAT RUNS ALONG THE NORTH SIDE OF WEST MONTE CRISTO ROAD, THE PROPOSED 8" DIAMETER WATER LINE RUNS SOUTH ALONG THE EAST SIDE OF THE PROPOSED SUBDIVISION STREET FOR APPROXIMATELY XX L.F. ENDING AT THE CUL DE SAC WITH A 2" FLUSH VALVE/CLEAN OUT.

THE PROPOSED 8" DIAMETER WATER LINE WILL HAVE TWENTY-NINE (29) SINGLE SERVICE LINES OF 1" DIAMETER. SAID SERVICES TERMINATE AT THE WATER METERS OF EACH LOT. THE 8" DIAMETER WATER LINE, THE WATER SERVICE LINES, AND THE WATER METER BOXES WILL BE INSTALLED AT TOTAL COST OF \$XXXX,XXX PER LOT. IN ADDITION THE SUBDIVIDER HAS PAID S.W.S.C. THE AMOUNT OF \$XXXX,XXX WHICH COVERS THE \$XXXX PER LOT STATE IN THE 30 YEAR WATER SERVICE AGREEMENT, WHICH SUM REPRESENTS THE TOTAL COST OF WATER METER, RIGHTS ACQUISITION FEES, AND ALL MEMBERSHIP OR OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOTS IN THE SUBDIVISION TO S.W.S.C. THE SUBDIVIDER HAS INSTALLED TWO (2) FIRE HYDRANTS AT A UNIT COST OF \$5,500 FOR A TOTAL OF \$11,000. UPON REQUEST BY THE LOT OWNER, S.W.S.C. WILL PROMPTLY INSTALL AT NO CHARGE THE WATER METER FOR THAT LOT. THE ENTIRE WATER FACILITIES HAVE BEEN APPROVED AND ACCEPTED BY S.W.S.C. AND SAID DISTRIBUTION SYSTEM IS OPERABLE AS OF THE DATE OF THE RECORDING OF THE PLAT.

SANITARY SEWAGE DESCRIPTION AND EXPENSES:

MOYA SUBDIVISION WILL BE TREATED BY WASTEWATER SERVICE FROM THE CITY OF MCALLEN, THE SUBDIVIDER AND THE CITY OF MCALLEN HAVE ENTERED INTO A CONTRACT IN WHICH THE CITY OF MCALLEN HAS PROMISED TO TREAT THE SUFFICIENT WASTEWATER FOR AT LEAST 30 YEAR AND THE CITY OF MCALLEN HAS PROVIDED DOCUMENTATION TO SUFFICIENTLY ESTABLISH THE LONG TERM QUANTITY OF THE AVAILABLE WASTEWATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THIS SUBDIVISION.

THE CITY OF MCALLEN CURRENTLY HAS A SANITARY SEWER SYSTEM IN PLACE SERVING THE HOEHN DRIVE SUBDIVISION. THE PROPOSED SANITARY SEWER SYSTEM FOR THE NEW SUBDIVISION WILL CONSIST OF AN 8-INCH DIAMETER SEWER LINE THAT WILL CONNECT TO AN EXISTING MANHOLE LOCATED ON IVORY STREET.

FROM THIS CONNECTION POINT, THE SEWER LINE WILL CROSS NORTH HOEHN ROAD, WHERE A NEW MANHOLE IS PROPOSED, AN 8-INCH DIAMETER SEWER LINE WILL THEN EXTEND NORTH ALONG THE EAST SIDE OF NORTH HOEHN ROAD FOR APPROXIMATELY 500 LINEAR FEET (L.F.), LEADING TO A SECOND PROPOSED MANHOLE. IT WILL CONTINUE NORTH FOR APPROXIMATELY 500 L.F. TO A THIRD PROPOSED MANHOLE, THEN PROCEED AN ADDITIONAL 170 L.F. TO A FOURTH PROPOSED MANHOLE.

FROM THIS POINT, THE LINE WILL TURN EAST ALONG THE SOUTH SIDE OF WEST MONTE CRISTO ROAD, EXTENDING APPROXIMATELY 224 L.F. TO A FIFTH PROPOSED MANHOLE, AND CONTINUING AN ADDITIONAL 343 L.F. TO A SIXTH PROPOSED MANHOLE.

THE SEWER LINE WILL THEN TURN SOUTH ONTO THE PROPOSED SUBDIVISION STREET, RUNNING ALONG THE WEST SIDE FOR APPROXIMATELY 478 L.F. TO A SEVENTH PROPOSED MANHOLE, AND CONTINUING 492 L.F., TERMINATING AT A PROPOSED CLEAN-OUT AND/OR MANHOLE LOCATED BEYOND THE CUL-DE-SAC OF THE PROPOSED STREET.

SANITARY SERVICES TERMINATE AT THE SEWER METERS OF EACH LOT FOR A TOTAL OF TWENTY-NINE (29) 4" SANITARY SEWER SERVICES.

THE 8" SEWER LINES, THE TWENTY-NINE (29) 4" SEWER SERVICES, THE XX MANHOLES WILL BE INSTALLED, AT A TOTAL COST OF \$XXXX,XXX OR \$XXXX PER LOT. IN ADDITION, THE ENTIRE WASTEWATER FACILITY WILL BE APPROVED AND ACCEPTED BY THE CITY OF MCALLEN AND SAID DISTRIBUTION SYSTEM IS OPERABLE AS OF THE DATE OF THE RECORDING OF THE PLAT.

ENGINEER CERTIFICATION:

I CERTIFY THAT THE WATER AND SEWAGE SERVICE FACILITIES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343, WATER CODE AND THAT THE COST TO INSTALL WATER AND THE UNCONSTRUCTED ON-SITE SEWAGE FACILITIES, DISCUSSED ABOVE, ARE AS FOLLOWS:

WATER FACILITIES - SEWAGE FACILITIES - THESE FACILITIES FULLY CONSTRUCTED HAS COST A GRAND TOTAL OF \$X,XXX.00 WHICH EQUALS TO \$X,XXX.00 PER LOT.

EMIGDIO SALINAS, P.E. No. 107703 _____ DATE _____



NAME ADDRESS CITY & ZIP PHONE
OWNER: 2A INVESTMENTS GROUP LLC 1613 RED RIVER AVENUE EDINBURG, TEXAS 78539 (956) XXX-XXXX
ENGINEER: EMIGDIO "MILO" SALINAS, P.E. 1810 E. GRIFFIN PARKWAY MISSION, TEXAS 78572 (956) 600-8628
SURVEYOR: HOMERO LUIS GUTIERREZ, RPLS P.O. BOX 548 MCALLEN, TEXAS (956) 369-0988



EMIGDIO SALINAS, P.E. No. 107703 _____ DATE _____

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ENGINEER: EMIGDIO "MILO" SALINAS, P.E. 1810 E. GRIFFIN PARKWAY MISSION, TEXAS 78572 (956) 600-8628
SURVEYOR: HOMERO LUIS GUTIERREZ, RPLS P.O. BOX 548 MCALLEN, TEXAS (956) 369-0988

EMIGDIO SALINAS, P.E. No. 107703 _____ DATE _____

EMIGDIO SALINAS, P.E

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C N HOEHN ROAD



N.W.C.
LOT 4, SEC. 235
N=16650884.1729'
E=1076626.6549'

SCALE: 1"=40'

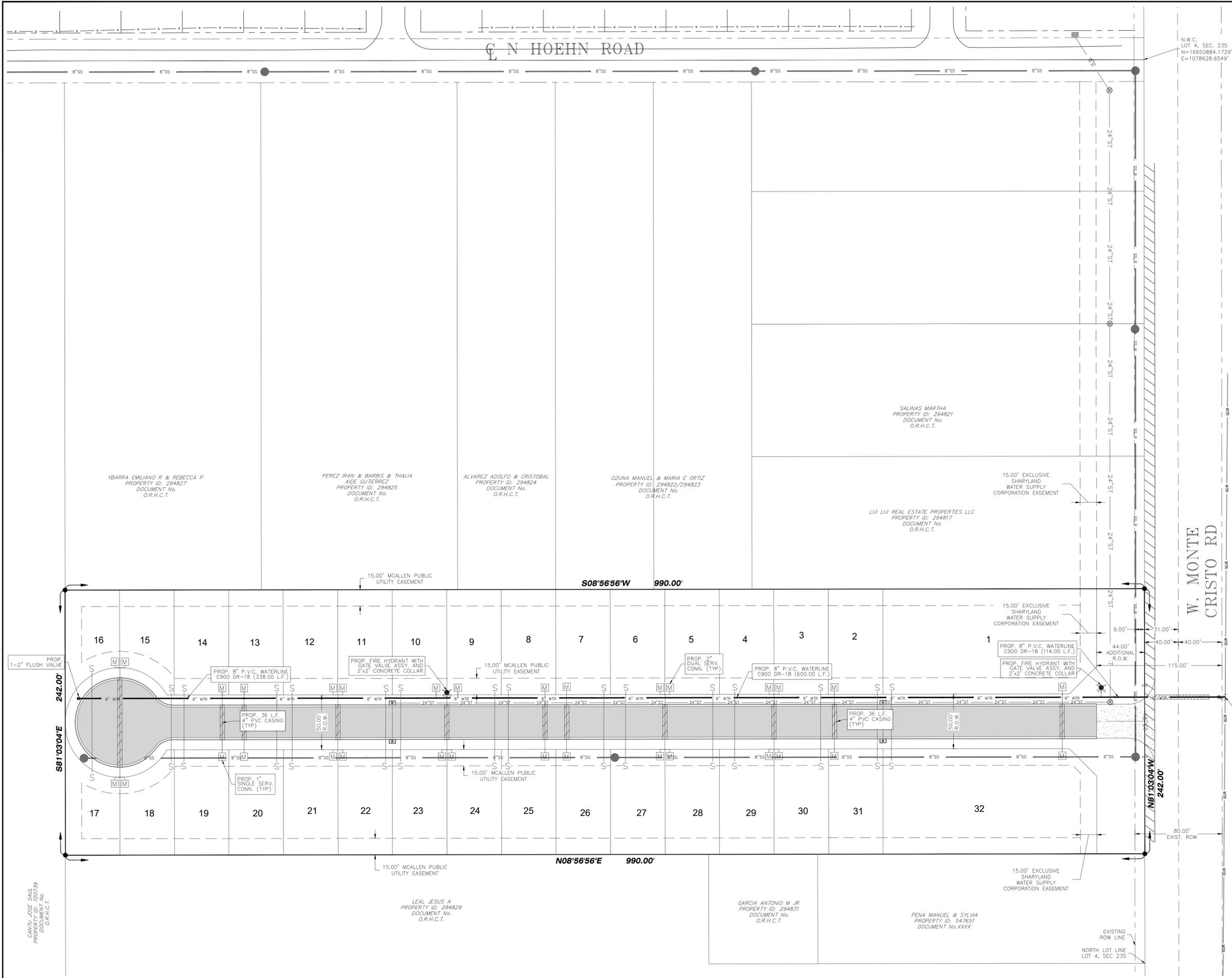
1810 E. GRIFFIN PARKWAY
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956.600.8628
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WATER LAYOUT ARBOLERA ON MOTECRISTO SUBDIVISION ALTON, TEXAS

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SURVEYED BY: HLG
SHEET:



LOT 6, SEC 29
RIO GRANDE
DEVELOPMENT
COMPANY
SUBDIVISION

CONNECT TO
EXIST. 8" WATERLINE
1-8" CUT IN TEE
1-8" GATE VALVE & BOX

EXISTING
ROW LINE
NORTH LOT LINE
LOT 4, SEC 235

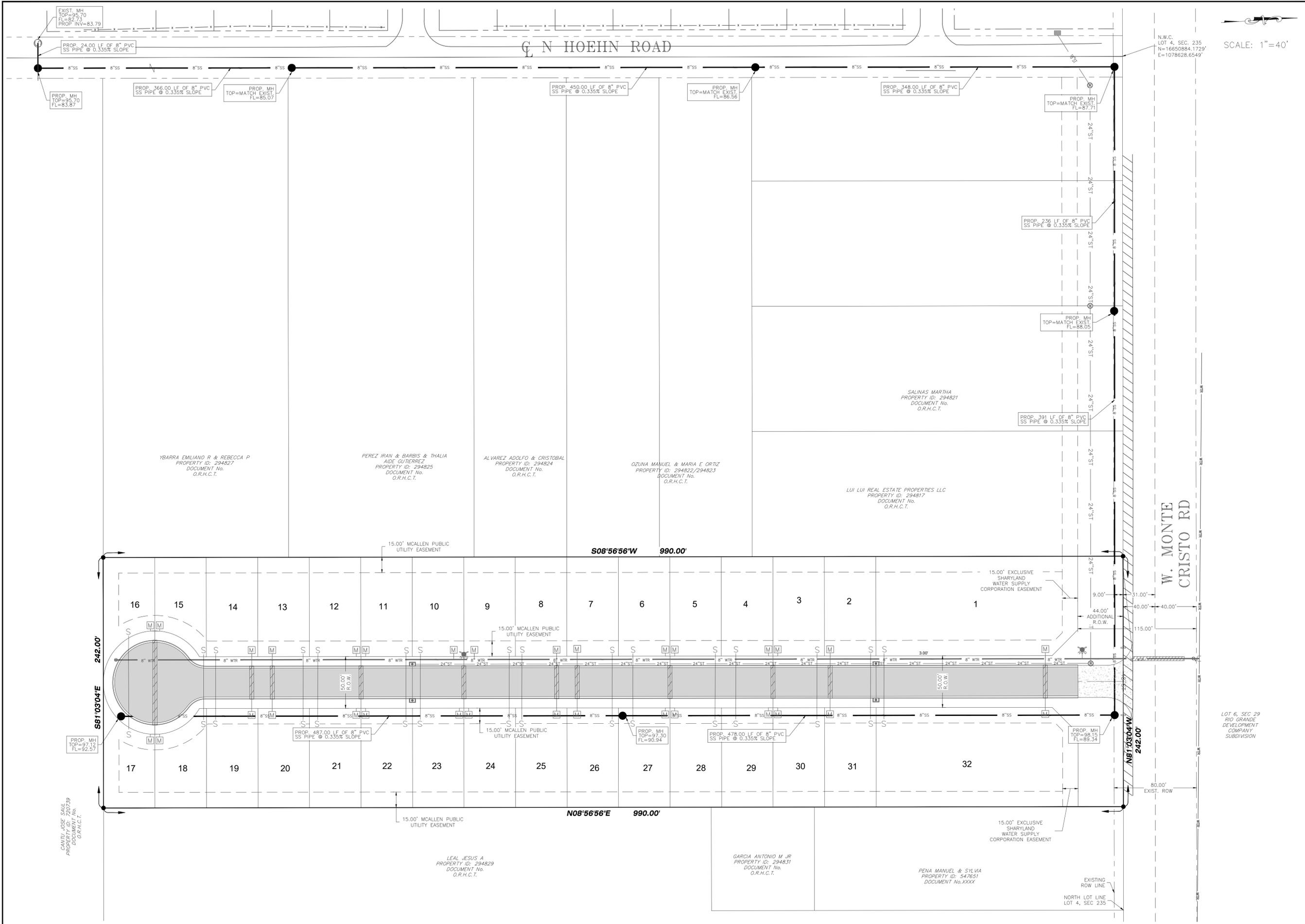
CADTECH
PROPERTY ID: 290759
DOCUMENT No.
O.R.H.C.T.

LEAL JESUS A
PROPERTY ID: 294829
DOCUMENT No.
O.R.H.C.T.

GARCIA ANTONIO M JR
PROPERTY ID: 294831
DOCUMENT No.
O.R.H.C.T.

PENA MANUEL & SYLVIA
PROPERTY ID: 547651
DOCUMENT No. XXXX

C:\Users\Pravin\Desktop\VERNOVDV_2025\p-206 Arbolera on Motecristo Subdivision\VDV\01-DWG_Design_Files\Sheets\05 P206 SEWER Layout.dwg Nov 12, 2025 - 9:13PM Pravin



SCALE: 1"=40'

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FIRM REGISTRATION # F-19545



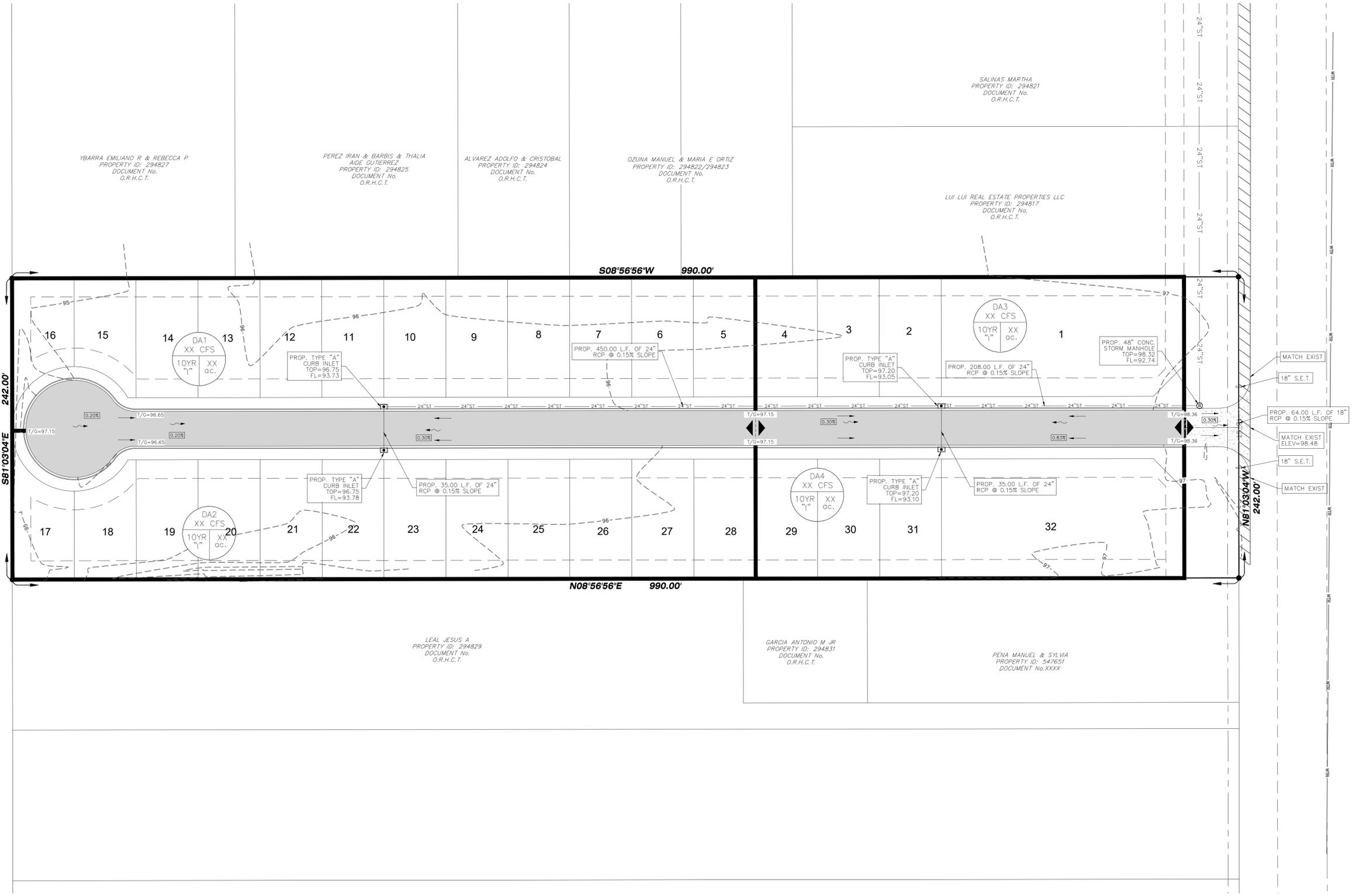
SANITARY SEWER LAYOUT
ARBOLERA ON MOTECRISTO SUBDIVISION
ALTON, TEXAS

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CHECKED BY: MS
SURVEYED BY: HLG
SHEET:

LOT 6, SEC 29
RIO GRANDE
DEVELOPMENT
COMPANY
SUBDIVISION

SCALE: 1"=40'



LOT 6, SEC 29
RIO GRANDE
DEVELOPMENT
COMPANY
SUBDIVISION

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956.600.8628
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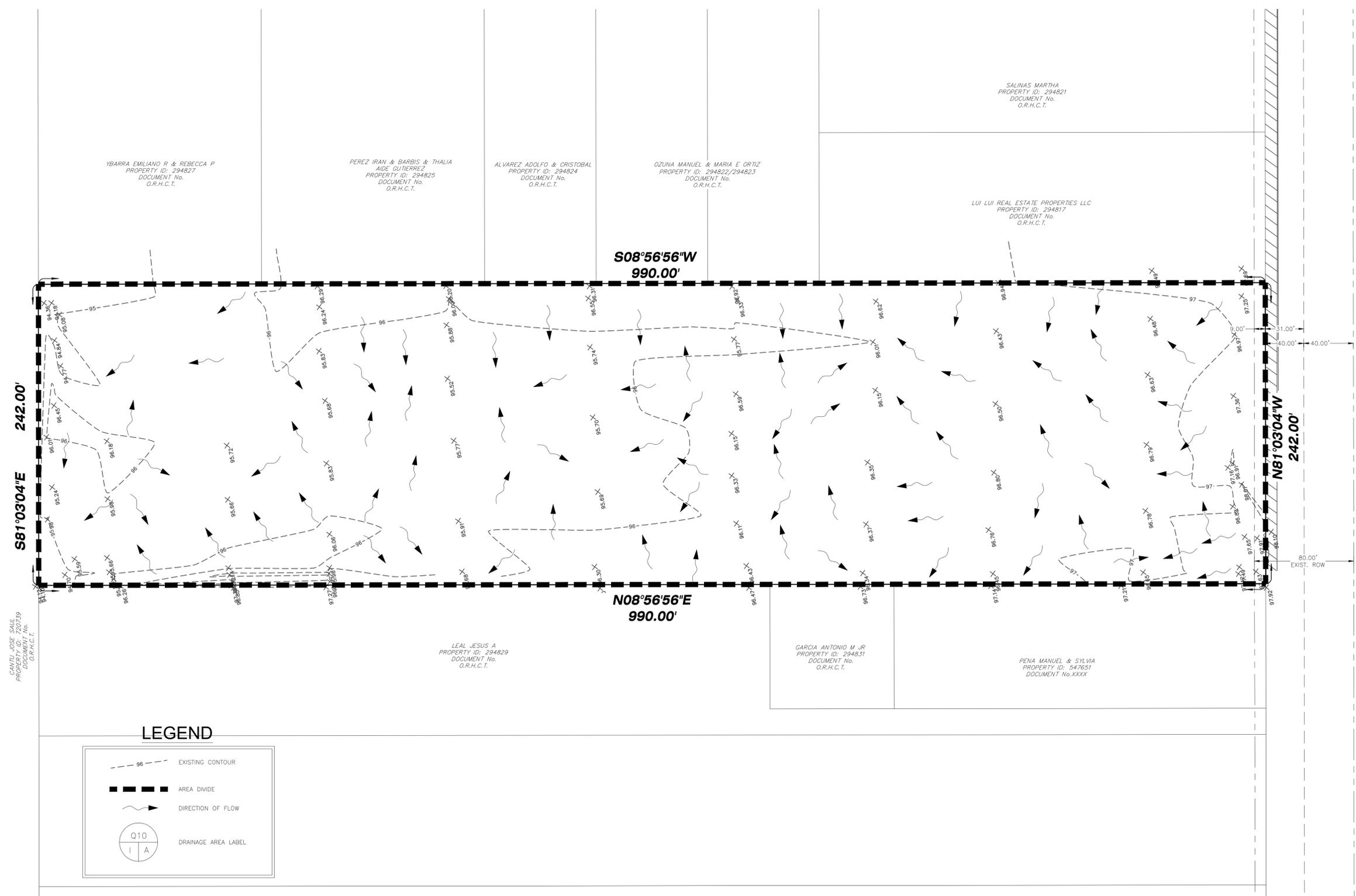
PROPOSED DRAINAGE AREA
ARBOLERA ON MOTECRISTO SUBDIVISION
ALTON, TEXAS

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CHECKED BY: MS
SURVEYED BY: HLG
SHEET:

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CAMILO JOSE SAILIN
PROJECT No. 20250739
DOCUMENT No.
O.R.H.C.T.

SCALE: 1"=40'



LEGEND

- EXISTING CONTOUR
- AREA DIVIDE
- DIRECTION OF FLOW
- DRAINAGE AREA LABEL

LOT 6, SEC 29
RIO GRANDE
DEVELOPMENT
COMPANY
SUBDIVISION

CANTIL JOSE SAUL
PROPERTY ID: 720739
DOCUMENT No. XXXX
O.R.H.C.T.

YBARRA EMILIANO R & REBECCA P
PROPERTY ID: 294827
DOCUMENT No. XXXX
O.R.H.C.T.

PEREZ IRAN & BARBIS & THALIA
AIDE GUTIERREZ
PROPERTY ID: 294825
DOCUMENT No. XXXX
O.R.H.C.T.

ALVAREZ ADOLFO & CRISTOBAL
PROPERTY ID: 294824
DOCUMENT No. XXXX
O.R.H.C.T.

OZUNA MANUEL & MARIA E ORTIZ
PROPERTY ID: 294822/294823
DOCUMENT No. XXXX
O.R.H.C.T.

SALINAS MARTHA
PROPERTY ID: 294821
DOCUMENT No. XXXX
O.R.H.C.T.

LUI LUI REAL ESTATE PROPERTIES LLC
PROPERTY ID: 294817
DOCUMENT No. XXXX
O.R.H.C.T.

LEAL JESUS A
PROPERTY ID: 294829
DOCUMENT No. XXXX
O.R.H.C.T.

GARCIA ANTONIO M JR
PROPERTY ID: 294831
DOCUMENT No. XXXX
O.R.H.C.T.

PENA MANUEL & SYLVIA
PROPERTY ID: 547651
DOCUMENT No. XXXX

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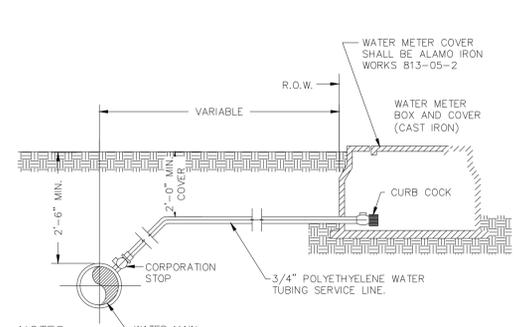


EXISTING DRAINAGE AREA MAP
ARBOLERA ON MOTECRISTO SUBDIVISION
ALTON, TEXAS

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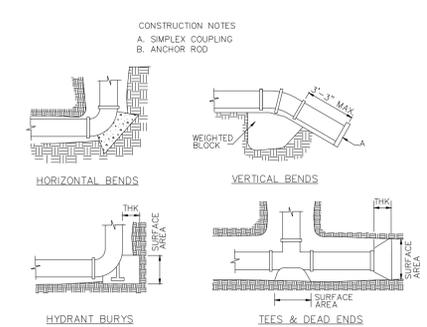
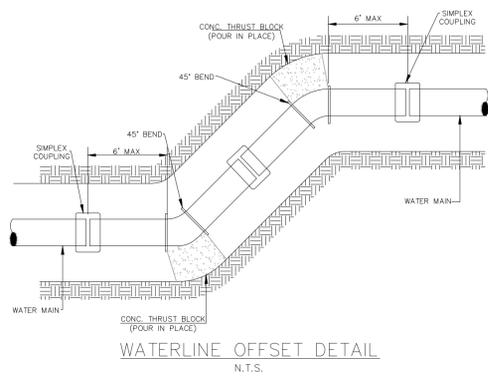
SCALE:
DRAWN BY: CADTech4
CHECKED BY: MS
SURVEYED BY: HLG
SHEET:

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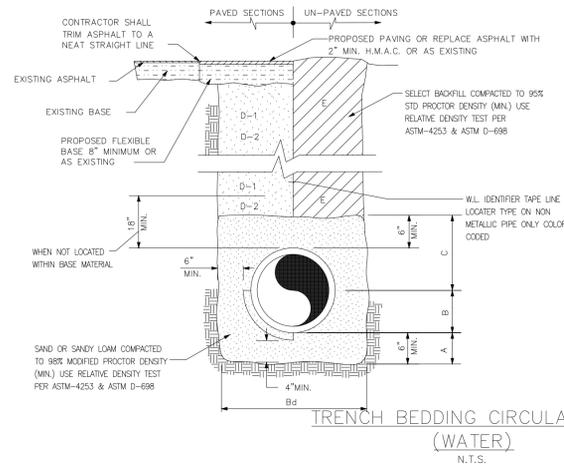
- NOTES:**
- ALL SERVICE CONNECTIONS NEED TO HAVE A MIN. 2'-0" COVER FROM FINISHED GRADE.
 - WATER METER COVER SHALL BE ALAMO IRON WORKS 813-05-2.
 - ALL WATER MAINS HAVE 4 FT OF COVER FROM FINISHED GRADE.
 - METER BOX SHALL BE CAST IRON.
 - ALL CONCRETE TO HAVE A MIN. 28 DAYS COMPRESSIVE STRENGTH OF 3,000 P.S.I.
 - 2" GATE VALVE ONLY REQUIRED FOR 2" SERVICE.
 - POLYETHYLENE TUBING ACCEPTABLE FOR LINE SIZES 2" OR LESS.
- CONSTRUCTION NOTES:**
- WATER COVER
 - CURB COCK
 - METER BOX & METER PROVIDED
 - WATER TUBING SERVICE LINE
 - CORPORATION STOP
 - WATER MAIN

TYPICAL SERVICE CONNECTION WITH METER BOX
N.T.S.



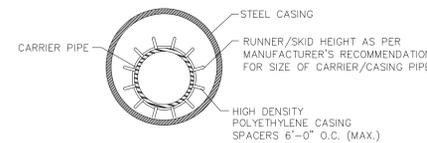
- CONSTRUCTION NOTES:**
- SIMPLEX COUPLING
 - ANCHOR ROD
- GENERAL NOTES:**
- SEE THRUST BLOCK SIZE CHART FOR PROPER THICKNESS AND SURFACE AREAS. (SHEET 2 OF 2)
 - THE LOCATION OF THRUST BLOCKS DEPENDS UPON THE DIRECTION OF THRUST AND TYPE FITTINGS.

CONCRETE THRUST BLOCK DETAILS
N.T.S.



THRUST BLOCK SIZE

DIAMETER OF PIPE INCHES	HORIZONTAL BEND SURFACE AREA SQ. FEET	THICKNESS INCHES	WEIGHT AT VERTICAL BENDS-LBS
22-1/2" BENDS			
6 OR LESS	2	8	1700
8	3	8	3,000
10	3.5	12	4,500
12	4	14	6,600
14	5	18	9,000
16	6	18	11,800
45° BENDS			
6 OR LESS	4	12	3,200
8	5	14	5,800
10	6	18	9,000
12	7	18	13,000
14	8	24	17,000
16	11.5	24	23,200
90° BENDS			
6 OR LESS	6	12	6,000
8	8	15	10,700
10	10	18	16,700
12	12	18	24,000
14	18	24	32,600
16	21	24	42,700
TEES & DEAD ENDS			
6 OR LESS	3	12	
8	4	15	
10	6	18	
12	8.5	18	
14	11.5	24	
16	15	24	

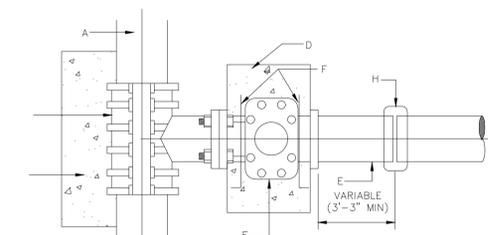


BORING INSTALLATION

CARRIER PIPE SIZE	PIPE CASING SIZE	MIN. WALL THICKNESS
6"	14"	0.3125"
8"	16"	0.3125"
10"	18"	0.3125"
12"	21"	0.3750"
14", 15"	24"	0.4375"
16"	26"	0.4375"
18"	30"	0.5000"
24"	36"	0.5625"
36"	48"	0.6250"

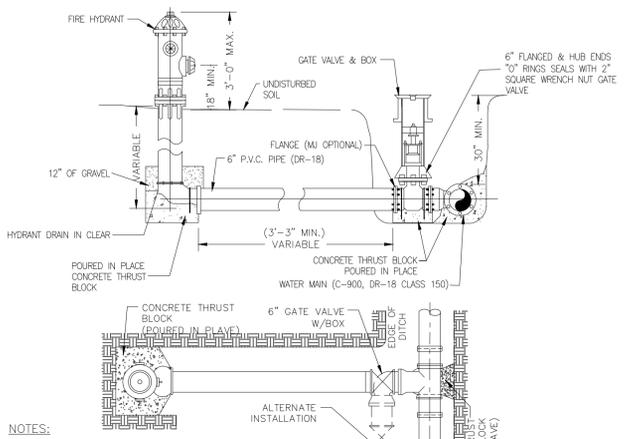
- GENERAL NOTES:**
- ALL STEEL CASING SHALL BE WELDED.
 - STEEL CASING SHALL BE CLOSED AT EACH END USING USING SYNTHETIC RUBBER END SEALS.
 - CASING SPACERS SHALL BE USED TO INSTALL THE CARRIER PIPE INSIDE THE ENCASUREMENT PIPE. CASING SPACERS SHALL FASTEN TIGHTLY ON THE CARRIER PIPE TO PREVENT RELATIVE MOVEMENT ON PIPE DURING INSTALLATION. CASING SPACERS SHALL BE DOUBLED ON EACH END OF THE ENCASUREMENT.
 - PROJECTION TYPE CASING SPACERS SHALL BE CONSTRUCTED SECTIONS OF HIGH DENSITY POLYETHYLENE.
 - INSTALLATION AND SIZE OF SPACERS SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.

UTILITY PIPE ENCASUREMENT
N.T.S.



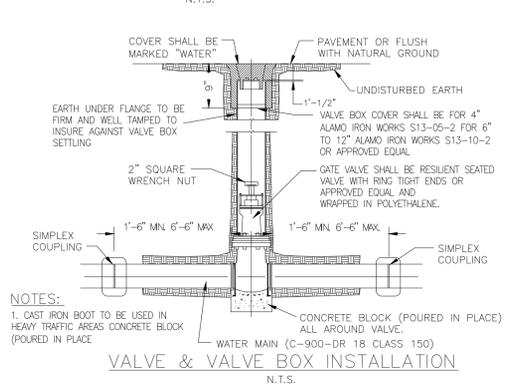
- GENERAL NOTES:**
- ALL CONCRETE TO HAVE A MINIMUM OF 28 DAYS COMPRESSIVE STRENGTH OF 3,000 P.S.I.
- CONSTRUCTION NOTES:**
- WATER MAIN (SEE PLANS AND SPECIFICATION)
 - TAPPING SLEEVE (SIZE AS REQUIRED)
 - CONCRETE SUPPORT UNDER TAPPING SLEEVE AND BEHIND
 - THRUST BLOCK AS PER SPECIFICATIONS
 - FLANGED AND HUB ENDS "O" RING SEALS WITH 2" SQUARE WRENCH NUT GATE VALVE
 - ANCHOR RODS
 - PVC PIPE
 - SIMPLEX COUPLING

WATER TAPPING SLEEVE & VALVE INSTALLATION
N.T.S.



- NOTES:**
- FIRE HYDRANT ELEVATIONS WILL BE SET BY THE ENGINEER.
 - FLANGE MUST BE AT FINISHED GRADE OR 3" TO 6" ABOVE TOP OF CURB OR GREATER.
 - FLANGED GATE VALVE INSTALLATION TO BE USED WITH 10" WATER LINES OR GREATER.
 - BBF TEES TO BE USED WITH 10" WATER LINE OR GREATER BBF TEES TO BE USED WITH SMALLER DIA. PIPES.
 - ACCEPTABLE HYDRANT BRANDS ARE MUELLER OR KENNEDY.

FIRE HYDRANT INSTALLATION DETAIL
N.T.S.



- NOTES:**
- CAST IRON BOOT TO BE USED IN HEAVY TRAFFIC AREAS CONCRETE BLOCK (POURED IN PLACE)

VALVE & VALVE BOX INSTALLATION
N.T.S.

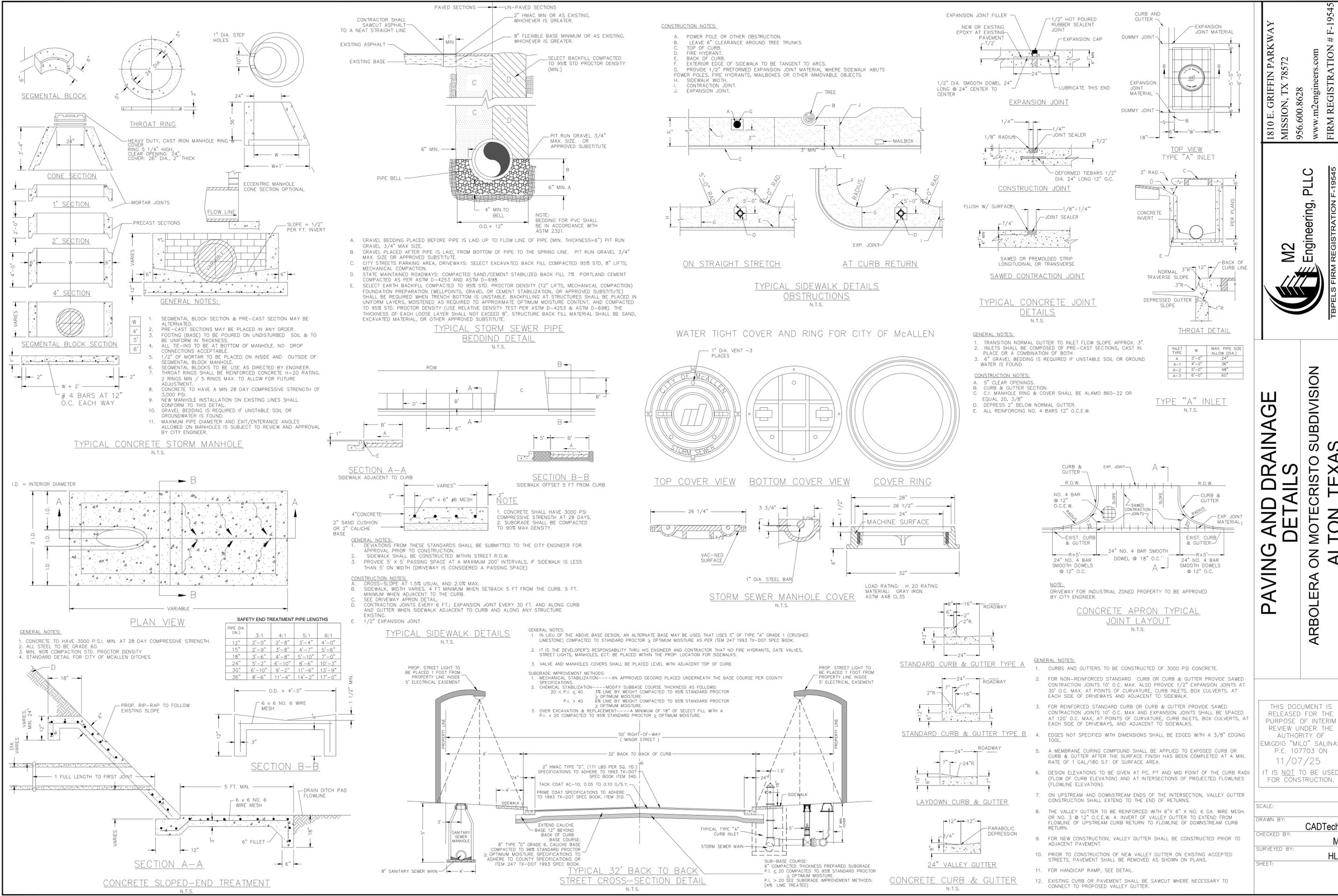
1810 E. GRIFFIN PARKWAY
MISSION, TX 78772
956.600.8628
www.m2engineers.com
FIRM REGISTRATION # F-19545



ARBOLERA ON MOTECRISTO SUBDIVISION
ALTON, TEXAS

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SHEET:



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SURVEYED BY: HLG
SHEET:



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/28/2026

SUBDIVISION NAME: ARBOLERA ON MONTECRISTO SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>Monte Cristo Road: 175 ft ROW dedication from centerline for a total of 350 ft. ROW. Paving: by state Curb & gutter: by state Revision required: - Monte Cristo is a high speed arterial with 350ft of total ROW. - Please remove "W" from W. Monte Cristo Road. - Identify the state road (FM 1925) on Monte Cristo Road. - Please provide document number of existing ROW on plat and provide documents, prior to final. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>Interior Street: 50 ft. of ROW Paving: 32 ft. Curb & gutter: both sides - Appraisal District is showing a small sliver on the west side of the property, please clarify, prior to final. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 600 ft. Maximum Cul-de-Sac -The cul-de-sac length is at 990 ft and exceeds the required amount. **Subdivision Ordinance: Section 134-105</p>	Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEYS		
ROW: 20 ft. Paving: 16ft *Alley/service drive easement required for commercial properties and multifamily development. - Engineer must clarify if alley or service drive will be provided, prior to final. Alley or service drive cannot dead-end. **Subdivision Ordinance: Section 134-106		Non-compliance
SETBACKS		
Front: (Proposing) 20 ft or greater for easements. - Please clarify setback requirements with the county and provide staff with documentation. **Zoning Ordinance: Section 138-356 Rear: (Proposing) 10 ft. or greater for easements. - Please clarify with county regarding setback requirements, prior to final. Provide staff with documentation. **Zoning Ordinance: Section 138-356 * Sides (Proposing) 5ft or greater for easements. - Please clarify with county regarding setback requirements, prior to final. Provide staff with documentation. **Zoning Ordinance: Section 138-356 * Corner (Proposing) 10 ft. or greater for easements. - Please clarify with county regarding setback requirements, prior to final. Provide staff with documentation. **Zoning Ordinance: Section 138-356 * Garage: (Proposing): 18 ft. except where greater setback is required; greater setbacks applies. - Please clarify with county regarding setback requirements, prior to final. Provide staff with documentation. **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN		TBD
		Applied
SIDEWALKS		
* 4 ft. wide minimum sidewalk required on Monte Cristo Road and both sides of interior streets. - Add plat not as stated above, prior to final. - May increase to 5 ft. as per engineering requirement. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time.		Non-compliance
		Required
BUFFERS		
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements.		Applied
		Applied
		Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

NOTES	
<p>* No curb cut, access, or lot frontage permitted along Monte Cristo Road (FM 1925) -add plat not as states above, prior to final. **Must comply with City Access Management Policy</p> <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p> <p>Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. - Add plat note as stated above, prior to final.</p> <p>Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. - Please provide HOA Documents, prior to final. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	Non-compliance
	Applied
	Non-compliance
	Applied
	Applied
LOT REQUIREMENTS	
<p>* Lots fronting public streets **Subdivision Ordinance: Section 134-1</p> <p>* Minimum lot width and lot area **Zoning Ordinance: Section 138-356</p>	Applied
	Applied
ZONING/CUP	
<p>* Existing: ETJ Proposed ETJ ***Zoning Ordinance: Article V - If annexed to the city of McAllen, new requirements may occur.</p> <p>* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V - If annexed to the city of McAllen, new requirements may occur.</p>	Applied
	Applied
PARKS	
<p>* Land dedication in lieu of fee.</p> <p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording - if annexed to the city, park fees may apply</p> <p>* Pending review by the Parkland Dedication Advisory Board and CC. - if annexed, park fees may apply.</p>	NA
	NA
	NA
TRAFFIC	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</p>	TBD

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

* Traffic Impact Analysis (TIA) required prior to final plat.	Required
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> - Vicinity map must be legible with adjacent legal descriptions. - Appraisal District is showing a small sliver on the west side of the property, please clarify, prior to final. - Application references Single family residential and Commercial properties. - Please clarify setback requirements with the county and provide staff with documentation. - Monte Cristo is designated as High-Speed arterial with a 350 ft total ROW. - Need to submit an ownership map of surrounding properties to assure no landlock property exists or additional streets required, prior to final. - Survey and plat do not correspond with dimensions, please clarify prior to final. - Must also comply with county requirements. - May need to redesign the street for a future stub out to the south. <p>*Must comply with City's Access Management Policy.</p>	Non-compliance
RECOMMENDATION	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO CONDITIONS NOTED, DRAINAGE AND UTILITY APPROVAL..</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

BLOCK 29



LOCATION



**PROPOSED ARBOLERA ON
MONTECRISTO SUBDIVISION**

MONTECRISTO RD

HOEHN RD

5

6

98



SUB 2026-0005



City of McAllen Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name	J&A RANCH SUBDIVISION		
	Legal Description	7.50-AC RE TRACT OUT OF LOT 50-10 OF THE WEST ADDITION TO SHARYLAND SUBDIVISION, VOLUME 1, PAGE 56, H.C.M.R, TEXAS		
	Location	West side of Bryan Rd, approximately 1,800 ft north of SH 107.		
	City Address or Block Number	11601 N Bryan Rd		
	Total No. of Lots	2	Total Dwelling Units	2
	Gross Acres	7.5	Net Acres	7.16
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No			
	For Fee Purposes: <input checked="" type="checkbox"/> Commercial (5.05 Acres) / <input checked="" type="checkbox"/> Residential (1 Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No			
	Existing Zoning	ETJ	Proposed Zoning	ETJ
	Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____			
Existing Land Use	HOUSE AND WAREHOUSE		Proposed Land Use	HOUSE AND WAREHOUSE
Irrigation District #	UNITED	Water CCN:	<input type="checkbox"/> MPU / <input checked="" type="checkbox"/> Sharyland Water SC	Other _____
Agricultural Exemption:	<input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No		Parcel #	554427
Estimated Rollback Tax Due	_____		Tax Dept. Review	_____
Owner	Name	JORGE ALBERTO DE HOYOS AND ANITA MORENO		
	Address	1006 Peregrin Dr		
	City	Edinburg	State	TX
Developer	Name	JORGE ALBERTO DE HOYOS AND ANITA MORENO		
	Address	1006 Peregrin Dr		
	City	Edinburg	State	TX
	Contact Person	JORGE ALBERTO DE HOYOS		
	Engineer	Name	S2 ENGINEERING PLLC	
Address		2020 E GRIFFIN PKWY		
City		MISSION	State	TX
Contact Person		LUIS R. MARTINEZ		
Surveyor		Name	S2 ENGINEERING PLLC	
	Address	2020 E GRIFFIN PKWY		
	City	MISSION	State	TX
	Contact Person	LUIS R. MARTINEZ		
	Phone	956-627-9671		

RECEIVED
JAN 12 2026
By VR



LOCATION



50-10

**PROPOSED J&A RANCH
SUBDIVISION**

LOT 1 CHARLES SUBDIVISION

LOT 2

N. 96TH ST.

0-9

50-1

1 2 3 4 5 6 7 8 AZELEA 1 2 3 4 5 6 7 8

BOUGAINVILLEA BOUGAINVILLEA DR. 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 SUBDIVISION

N BRYAN RD.

KENTUCKY AVE.
KENT ESTATES
LOT 1
SUBD.

9-9

49-10

49-1

BRYAN WEST
1 2 3 4
ESTATES

S.H. 107

SH 107

SUBDIVISION PLAT OF: J & A RANCH SUBDIVISION

BEING A 7.50-ACRE TRACT SITUATED IN HIDALGO COUNTY, TEXAS AND OUT OF LOT 50-10 OF THE WEST ADDITION TO SHARYLAND SUBDIVISION AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 56, HIDALGO COUNTY MAP RECORDS, HIDALGO COUNTY, TEXAS.

DOUGLAS SCHACK AND WIFE MONICA SCHACK
MARSHALTY DEED
MAY 10, 2011
5.0 ACRES DOC#114144
H.C.O.R.

JUAN OSMAR SEPULVEDA
MARSHALTY DEED W.C.L.
APRIL 17, 2013 DOC#145104
H.C.O.R.

RECTOR OSIEL LOPEZ
MARSHALTY DEED W.C.L. OCTOBER 13, 1997
5.0 ACRES DOC#67999
H.C.O.R.

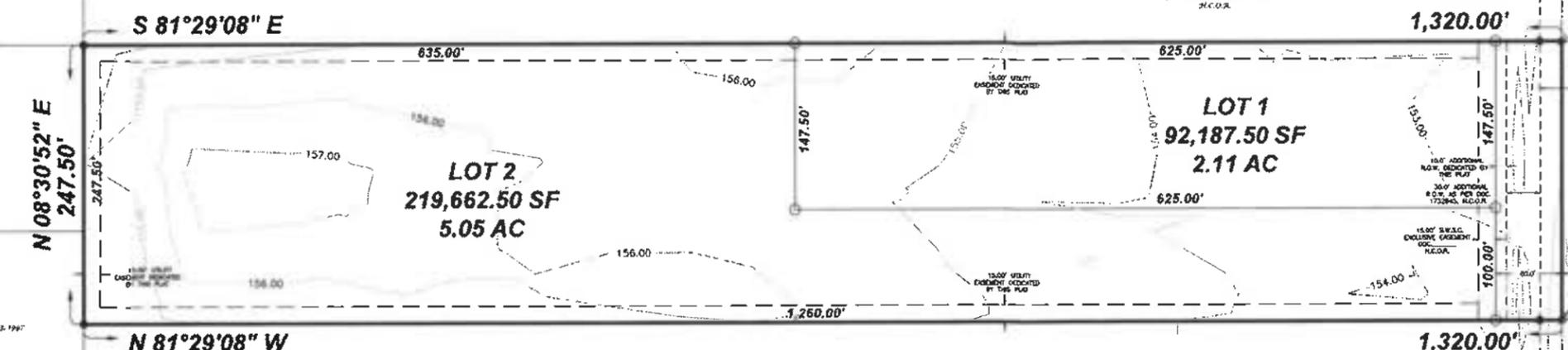
E. REYES FAMILIA, L.P.
MARSHALTY DEED
JUNE 4, 2016
15.00 ACRES DOC#18181
H.C.O.R.

JACOB PEREZ AND
JORDAN PEREZ
MARSHALTY DEED
MAY 15, 2004
0.68 ACRES DOC#155007
H.C.O.R.

JOSUE LUIS RODRIGUEZ
MARSHALTY DEED
MARCH 2, 2000
8.14 ACRES DOC#499558
H.C.O.R.

RUSALENDA QUINTERO
MARSHALTY DEED WITH
WARRANTY DEED
DECEMBER 3, 2010
1.00 ACRES DOC#106471
H.C.O.R.

NEWMAN STEVEN EDEM
MARSHALTY DEED
JULY 28, 2015 DOC#2117977
WARRANTY DEED
MAY 18, 2015
1.00 ACRES DOC#164971
H.C.O.R.



LOCATION OF SUBDIVISION WITH RESPECT TO THE HIDALGO COUNTY AREA:
J & A RANCH SUBDIVISION IS LOCATED NORTH HIDALGO COUNTY, TEXAS, ON THE WEST SIDE OF BRYAN RD. THE NEAREST MUNICIPALITY IS THE CITY OF MCALLEN (POPULATION 41,024 - 2021 CENSUS). THIS SUBDIVISION LIES WITHIN THE CITY'S 2.5 MILE EXTRA TERRITORIAL JURISDICTION (ETJ) HIDALGO COUNTY, TEXAS UNDER LOCAL GOVERNMENT CODE 42.02 PRECINCT NO. 1.

SURVEYING LEGEND

○ SET TO BE PLACED WITHIN 100 FEET OF CORNER	— 1/4\"/>
--	-----------

PLAT NOTES AND RESTRICTIONS:

1. - FLOOD ZONE DESIGNATION: ZONE "X" AREAS DETERMINED TO BE OUTSIDE 100-YEAR FLOOD PLAIN. COMMUNITY-PANEL NUMBER: 480334 0295 D. REVISED DATE: NOVEMBER 16, 1992. FLOOD ZONE IS BEING REMOVED CASE NO. 24-06-18840 LOMR-1.
2. - REQUIRED DETENTION FOR STORM SEWER RUNOFF FOR THE APPROVED DRAINAGE REPORT SHALL BE 11.816 CUBIC FEET (0.27 AC-FEET). THE PROPOSED DETENTION POND AREA SHOULD BE DETERMINED AND PROVIDED DURING SITE PLAN APPROVAL. SAID AREA MUST COMPLY WITH THE VOLUME PROVIDED IN THIS PLAT.
3. - MINIMUM FINISH FLOOR NOTE: MINIMUM FINISH FLOOR ELEVATION SHALL BE 18\"/>

METES AND BOUNDS

BEING A 7.50-ACRE TRACT SITUATED IN HIDALGO COUNTY, TEXAS AND OUT OF LOT 50-10 OF THE WEST ADDITION TO SHARYLAND SUBDIVISION AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 56, HIDALGO COUNTY MAP RECORDS, HIDALGO COUNTY, TEXAS, SAID 7.50-ACRE TRACT BEING PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCEMENT, AT A COTTON PICKER SHAPOLE FOUND AT THE SOUTHEAST CORNER OF LOT 50-10 OF SAID WEST ADDITION TO SHARYLAND SUBDIVISION, AND WITHIN THE BOUNDARIES OF BOURQUAVILLA SUBDIVISION AS RECORDED IN VOLUME 22, PAGE 374 MAP RECORDS OF HIDALGO COUNTY, TEXAS, A DISTANCE OF 165.00 FEET PASSING NORTHEAST CORNER OF SAID BOURQUAVILLA SUBDIVISION AND THE SOUTHWEST CORNER OF A TRACT OF LAND CONVEYED TO TOTAL COMMITMENT IN INSTRUMENTS, AS DESCRIBED IN A CITY DEED, DATED DECEMBER 21, 2018, RECORDED IN DOCUMENT NUMBER 2773201, HIDALGO COUNTY OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, CONTINUING TO A TOTAL DISTANCE OF 412.50 FEET TO A MAG NAIL SET FOR THE NORTHEAST CORNER OF SAID TRACT OF LAND CONVEYED TO TOTAL COMMITMENT IN INSTRUMENTS, AND FOR THE SOUTHWEST CORNER AND THE POINT OF BEGINNING OF THE TRACT HEREIN DESCRIBED;
THENCE, NORTH 01° 28' 00\"/>

**STATE OF TEXAS
COUNTY OF HIDALGO**

OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I (WE) _____ AS OWNER(S) OF THE 2.5 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED J & A RANCH SUBDIVISION HEREBY SUBDIVIDE THE LAND AS SHOWN IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREETS AND EASEMENTS SHOWN HEREIN.

I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE 232.032 AND SECTION 134-61 (4)(5) OF THE SUBDIVISION ORDINANCE, THAT:

(A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET OR WILL MEET THE MINIMUM STATE STANDARDS;
(B) SEWER CONNECTIONS TO THE LOTS MEET OR WILL MEET THE MINIMUM REQUIREMENTS OF STATE STANDARDS;
(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET OR WILL MEET THE MINIMUM STATE STANDARDS; AND
(D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET OR WILL MEET THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

JORGE ALBERTO DE HOYOS _____ DATE: _____
1006 PERCORN DR
EDINBURG, TEXAS 78542

**STATE OF TEXAS
COUNTY OF HIDALGO**

OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I (WE) _____ AS OWNER(S) OF THE 2.5 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED J & A RANCH SUBDIVISION HEREBY SUBDIVIDE THE LAND AS SHOWN IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREETS AND EASEMENTS SHOWN HEREIN.

I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE 232.032 AND SECTION 134-61 (4)(5) OF THE SUBDIVISION ORDINANCE, THAT:

(A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET OR WILL MEET THE MINIMUM STATE STANDARDS;
(B) SEWER CONNECTIONS TO THE LOTS MEET OR WILL MEET THE MINIMUM REQUIREMENTS OF STATE STANDARDS;
(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET OR WILL MEET THE MINIMUM STATE STANDARDS; AND
(D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET OR WILL MEET THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

ANITA MORENO _____ DATE: _____
1006 PERCORN DR
EDINBURG, TEXAS 78542

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

PAUL E. DEEM, P.E., C.F.M.
GENERAL MANAGER

INDEX TO SHEETS OF J & A SUBDIVISION

1 OF 2	MEASURING INDEX, LOCATION MAP, PRINCIPAL CONTACTS, PLAT WITH LOT, STREETS, AND EASEMENT DESIGNATIONS; LEGAL DESCRIPTION (METES AND BOUNDS); SURVEYOR'S AND OWNER'S DEDICATION, CERTIFICATION, PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION; COUNTY CLERK'S RECORDING CERTIFICATE; HIDALGO COUNTY JUDICIAL CERTIFICATE OF PLAT APPROVAL; DESCRIPTION OF LOCATION OF SUBDIVISION WITH RESPECT TO THE ETJ OF A MUNICIPALITY AND GEOMETRIC PRECINCT THE PROJECT IS SITUATED; M.C.O.D. NO. 1 CERTIFICATION; AND RECORD NOTES.
2 OF 2	WATER DISTRIBUTION AND OSSF MAP; TYPICAL WATER SERVICE CONNECTION; DESIGN NOTES; ENGINEERING REPORT (ENGLISH AND SPANISH VERSIONS), INCLUDING DESCRIPTION OF WATER AND OSSF AND ENGINEER'S CERTIFICATION (ENGLISH AND SPANISH VERSIONS); OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION; TYPICAL WATER SERVICE CONNECTION; DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE AND HOW IT WILL SERVE THIS DEVELOPMENT; MAP OF TOPOGRAPHY AND DRAINAGE; AND ENGINEER'S CERTIFICATION; REVISION NOTES, & CONSTRUCTION DETAILS.

**STATE OF TEXAS
CITY OF MCALLEN
PLANNING AND ZONING COMMISSION**

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN, HEREBY CERTIFY THIS J & A RANCH SUBDIVISION PLAT WHICH CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

DATED THIS _____ DAY OF _____, 20____.

CHAIRMAN OF PLANNING AND ZONING COMMISSION

**STATE OF TEXAS
CITY OF MCALLEN
MAYOR APPROVAL**

I, THE UNDERSIGNED MAYOR OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN _____ DATE _____
CITY SECRETARY _____ DATE _____

**STATE OF TEXAS
COUNTY OF HIDALGO**

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.



Preliminary
JOSE N. SALVADOR, P.E., C.F.M.
LICENSED PROFESSIONAL ENGINEER No. 94076
S2 ENGINEERING, PLLC
2020 E GRIFFIN PARKWAY
MISSION, TEXAS 78574



Preliminary
OSCAR HERNANDEZ, P.E., P.L.S., No. 5005
S2 ENGINEERING, PLLC
2020 E GRIFFIN PARKWAY
MISSION, TEXAS 78574

HIDALGO COUNTY UNITED IRRIGATION DISTRICT

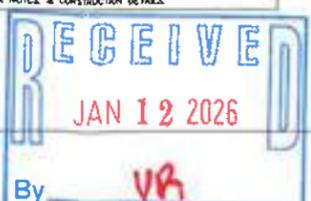
THIS PLAT IS HEREBY APPROVED BY THE UNITED IRRIGATION DISTRICT ON THIS THE _____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHT OF WAY'S OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

PRESIDENT _____ ATTEST: SECRETARY _____

PRINCIPAL CONTACTS:

Name	Address	City & State	Phone
OWNER: JORGE ALBERTO DE HOYOS AND ANITA MORENO	1006 PERCORN DR	EDINBURG, TEXAS 78542	
ENGINEER: JOSE N. SALVADOR P.E., C.F.M.	2020 E GRIFFIN PARKWAY	MISSION, TEXAS 78574	(956)403-9787
SURVEYOR: RESURIO A. ASCOBI B.P.L.S.	2020 E GRIFFIN PARKWAY	MISSION, TEXAS 78574	(956)403-9787



S2 ENGINEERING, PLLC
CIVIL ENGINEERING & LAND SURVEYING
1006 PERCORN DR
MISSION, TEXAS 78574
2020 E GRIFFIN PARKWAY, MISSION, TEXAS 78574 956-403-9787
S2ENGINEERINGPLLC.COM



City of McAllen
SUBDIVISION PLAT REVIEW

Reviewed On: 1/27/2026

SUBDIVISION NAME: J&A RANCH SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>N. Bryan Road: 60 ft. from centerline for a 120 ft. total ROW Paving: 65-85 ft. Curb & gutter: both sides Revisions required: - Please add "N" to N. Bryan Road on plat, prior to final. - Needs to provide existing R.O.W. documents number on the plat and provide copies for staff review prior to final. - remove the word "original" on the 40 ft. or ROW. indicate if its either "existing" "total" etc. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>N/S Quarter Mile Collector (West Boundary): Dedicate 30 ft. from centerline for 60 ft. total ROW. Paving: 40 ft. Curb & gutter: both sides Revision Required: - Staff is still reviewing if a N/S collector will be required and will be established, prior to final. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length - The block length does not meet the requirement. exceeds 120 ft. **Subdivision Ordinance: Section 134-118</p>	Non-compliance
<p>* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEYS	
ROW: 20ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties/multifamily development - Alley/service drive easement required for commercial properties. -Engineer must clarify if alley or service drive will be provided, prior to final. Alley or service drive cannot dead-end. **Subdivision Ordinance: Section 134-106	Non-compliance
SETBACKS	
* Front: 60 ft. or greater for easements. **Zoning Ordinance: Section 138-356 * Rear: 15 ft. or greater for easements **Zoning Ordinance: Section 138-356 * Sides 6 ft with fire wall or greater for easements. - please clarify "firewall" firewall as it is not part of the plat note. -Please submit documentation regarding county's requirements to setbacks for residential and commercial property. **Zoning Ordinance: Section 138-356 * Corner: 10 ft. or greater for easements **Zoning Ordinance: Section 138-356 * Garage: 18 ft. except where greater setback is required, greater setback applies - Add plat note as stated above, prior to final. **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
	Applied
	Non-compliance
	Applied
	Non-compliance
	Applied
SIDEWALKS	
* 4 ft. wide minimum sidewalk required on N. Bryan Road and N/S quarter miles collector -Staff is still reviewing if a N/S collector will be required and will be established, prior to final. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time.	Non-compliance
	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses - Add plat note as stated above, prior to final. **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses - Add plat note as stated above, prior to final. **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements.	Non-compliance
	Non-compliance
	Required
NOTES	
* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	TBD
	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. - Add plat note as stated above, prior to final.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</p> <p>**Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	Required
	Non-compliance
	NA
	NA
LOT REQUIREMENTS	
<p>* Lots fronting public streets **Subdivision Ordinance: Section 134-1</p> <p>* Minimum lot width and lot area - Minimum requirement for a single-family home is 5,000 sq ft. **Zoning Ordinance: Section 138-356</p>	Applied
	Applied
ZONING/CUP	
<p>* Existing: ETJ Proposed ETJ - If annexed to the city, a rezoning application & park requirements would apply. ***Zoning Ordinance: Article V</p> <p>* Rezoning Needed Before Final Approval - - If annexed to the city, a rezoning application & park requirements would apply. ***Zoning Ordinance: Article V</p>	Applied
	Applied
PARKS	
<p>* Land dedication in lieu of fee. -If annexed to the city, a rezoning application & park requirements would apply.</p> <p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. -- If annexed to the city, park fees will apply for residential, prior to final.</p> <p>* Pending review by the Parkland Dedication Advisory Board and CC. - If annexed to the city, park fees will apply for residential, prior to final.</p>	Applied
	Applied
	Applied
TRAFFIC	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</p> <p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	TBD
	TBD

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

COMMENTS	
Comments: *Must comply with City's Access Management Policy. - Application indicates Single- family home and commercial property. - If annexed to the city, a rezoning application & park requirements would apply. - Must comply with the county's requirements. - Please submit documentation regarding county's requirements to setbacks for residential and commercial property.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO DRAINAGE AND UTILITY APPROVALS.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



LOCATION



50-10

**PROPOSED J&A RANCH
SUBDIVISION**

N. 00TH ST

N. BRYAN RD

N. BRYAN RD

BRYAN RD

N. BRYAN RD

N. BRYAN RD

LOT 1 CHARLES SUBDIVISION

BOUGAINVILLEA

BOUGAINVILLEA DR

BOUGAINVILLEA

SUBDIVISION

KENTUCKY AVE
KENT ESTATES

SUBD.

49-10

BRYAN WEST

ESTATES

49-10

S.H. 107

SH 107



City of McAllen Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

*New
Sub 2026-0004

Project Information	Subdivision Name <u>Janice at Sycamore Terrace</u>	
	Legal Description <u>A resubdivision of Lot 18, Janice Addition, City of McAllen, Hidalgo County, Texas</u>	
	Location <u>Between Tamarack and Sycamore, approximately 200 feet east of N. 12th St.</u>	
	City Address or Block Number <u>1107 Tamarack Avenue</u>	
	Total No. of Lots <u>1</u> Total Dwelling Units <u>1</u> Gross Acres <u>1.08</u> Net Acres <u>1.08</u>	
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial (<u> </u> Acres) / <input type="checkbox"/> Residential (<u>1</u> Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R-1</u> Proposed Zoning <u>R-1</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date <u> </u>	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Residential</u>	
	Irrigation District # <u>3</u> Water CCN: <input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other <u> </u>	
Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # <u>199178 & 199186</u>		
Estimated Rollback Tax Due <u>n/a</u> Tax Dept. Review <u></u>		
Owner	Name <u>Samuel F Vale</u> Phone <u>956-683-1000</u>	
	Address <u>PO Drawer 156</u> E-mail <u>sfvale@aol.com</u>	
	City <u>Rio Grande City</u> State <u>Tx</u> Zip <u>78582</u>	
Developer	Name <u>Same as Owner</u> Phone <u> </u>	
	Address <u> </u> E-mail <u> </u>	
	City <u> </u> State <u> </u> Zip <u> </u>	
	Contact Person <u> </u>	
Engineer	Name <u>Spoor Engineering Consultants, Inc.</u> Phone <u>956-683-1000</u>	
	Address <u>510 S. Broadway St.</u> E-mail <u>sec@spooreng.com</u>	
	City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u>	
	Contact Person <u>Steve Spoor, P.E.</u>	
Surveyor	Name <u>Robles & Associates - Reynaldo Robles</u> Phone <u>956-968-2422</u>	
	Address <u>107 W. Huisache Street</u> E-mail <u>roblesandassoc@gmail.com</u>	
	City <u>Weslaco</u> State <u>Texas</u> Zip <u>78596</u>	

RECEIVED

JAN 8 2026

BY: AV.

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
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- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

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- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in PDF format. No scanned documents

*Please submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. It is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 6/2/23

Print Name S.F. Volk

Owner Authorized Agent

The Planning Department is now accepting DocuSign signatures on application



LOCATION

UPAS AVE. 44

J. B. MORTON
SUBDIVISION

BLOCK 1

TAMARACK AVE. TAMARACK AVE

**PROPOSED
JANICE AT
SYCAMORE TERRACE
SUBDIVISION**

53 SYCAMORE AVE.

JANICE ADDITION No.2

N 10TH ST

JANICE ADDITION

RTMAN'S S

N. 12TH S

No. 1

BLOCK

TION

TH ST.

ART

ION

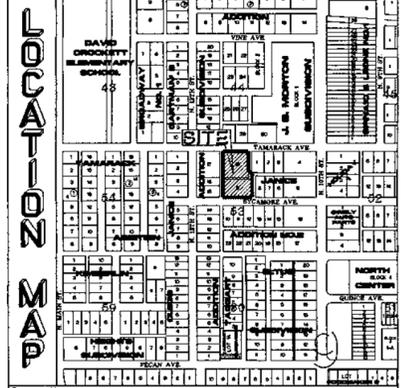


March 06 2024
Scale: 1"=50'
REV: OCT. 3, 2025

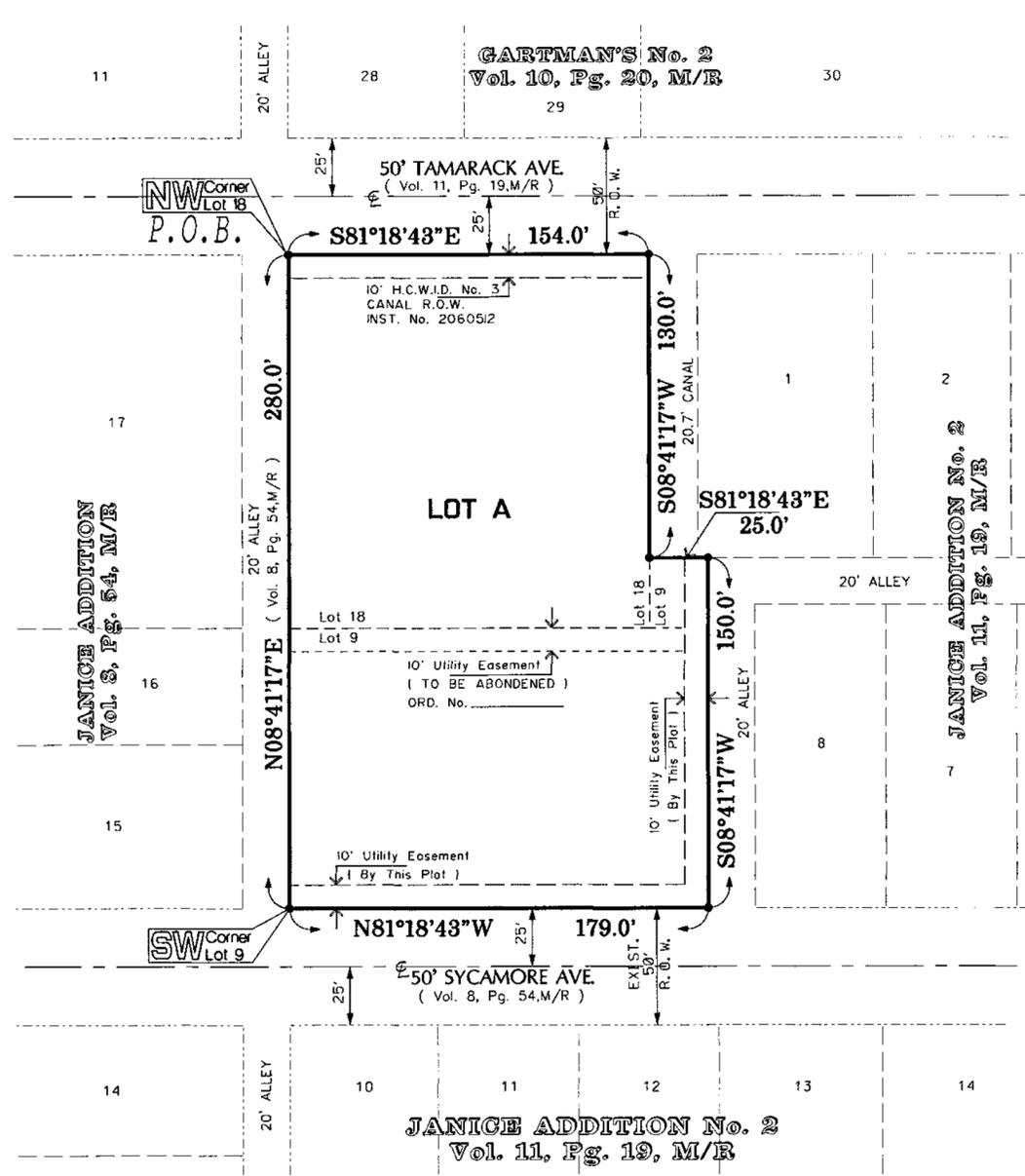
MAP OF JANICE AT SYCAMORE TERRACE

McAllen, Texas

Being a resubdivision of Lot 18, Janice Addition City of McAllen, Hidalgo County, Texas, and Lot 9, Janice Addition No. 2, City of McAllen, Hidalgo County, Texas recorded in Vol. 8, Pg. 54 and Vol. 11, Pg. 19, Respectively, Map Records, Hidalgo County, Texas. Containing 1.08 acres of land, more or less.



Prepared by:
Spoor Engineering Consultants, Inc.
Consulting Engineers - Civil Land Planning
FIRM # F-6003
202 South 4th Street McALLEN, TEXAS 78501
Scale: 1"=125' SEC@spooreng.com (956) 683 1000



STATE OF TEXAS:
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED AS JANICE AT SYCAMORE TERRACE SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS, AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED EITHER ON THE PLAT HEREOF, OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

By: Samuel F. Vole
PO Drawer 56
Rio Grande City, Texas 78582

STATE OF TEXAS:
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED SAMUEL F. VALE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 2025.

NOTARY PUBLIC

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR # 5571 IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOW THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MCALLEN, TEXAS.

REYNALDO ROBLES, RPLS # 4032 DATE
ROBLES AND ASSOCIATE, PLLC
107 W. HUISACHE ST.
WESLACO, TEXAS 78596
TEPELS FIRM No. 10096700

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, STEPHEN SPOOR, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.



Stephen Spoor 10-03-25
REGISTERED PROFESSIONAL ENGINEER
P. E. REGISTRATION No. 56752

I, THE UNDERSIGNED MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHERE IN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN

DATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE 49.21(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

By: RAUL E. SESN, PE, CFM.
GENERAL MANAGER

DATE

NOTES:

- MINIMUM BUILDING SETBACK SHALL BE AS FOLLOWS:
 - FRONT: (TAMARACK AVE.) - 25 FT. OR GREATER FOR EXISTING STRUCTURES, WHICHEVER IS GREATER APPLIES.
 - REAR: (SYCAMORE AVE.) - 10 FT OR GREATER FOR EASEMENT, OR IN LINE WITH AVERAGE SETBACKS OF EXISTING STRUCTURES, WHICH IS GREATER APPLIES
 - SIDE: - 6 FT. OR GREATER FOR EASEMENT.
 - ALLEY SIDE: - 10 FT. OR GREATER FOR EASEMENT.
 - GARAGE: - 18 FT, EXCEPT WHERE GREATER SETBACK IS REQUIRED, GREATER SETBACK APPLIES.
- MINIMUM FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE TOP OF CURB MEASURED AT CENTER OF LOT.
- THIS PROPERTY FALLS IN ZONE "B" OF THE FLOOD INSURANCE RATE MAP, PANEL NO. 480 343 0005 C, REVISED NOVEMBER 2, 1992. ZONE "B" IS DESCRIBED AS "AREA OF MODERATE FLOOD HAZARD, USUALLY THE AREA BETWEEN THE LIMITS OF THE 100- YEAR AND 500-YEAR FLOODS. B ZONES ARE ALSO USED TO DESIGNATE BASE FLOODPLAINS OF LESSER HAZARDS, SUCH AS AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD, OR SHALLOW FLOODING AREAS WITH AVERAGE DEPTHS OF LESS THAN ONE FOOT OR DRAINAGE AREAS LESS THAN 1 SQUARE MILE."
- A 6' OPAQUE BUFFER IS REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL AND INDUSTRIAL ZONES/USES, AND ALONG SYCAMORE AVE.
- AN 8' MASONRY WALL IS REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- A 4.0 FT WIDE MINIMUM SIDEWALK IS REQUIRED ALONG TAMARACK AVE. AND SYCAMORE AVE.
- OWNER IS REQUIRED TO PROVIDE AN ENGINEERED STORM WATER DETENTION PLAN APPROVED BY THE CITY OF MCALLEN ENGINEERING DEPT. PRIOR TO ISSUANCE OF BUILDING PERMIT.
- STORM WATER DETENTION OF 0.09 AC-FT (4,00 cubic feet) SHALL BE REQUIRED FOR THIS SUBDIVISION.
- BENCHMARK- STATION NAME: MC 72 SET BY ARANDA & ASSOC. LOCATED AT SOUTHEAST CORNER OF REDWOOD AND N. 10TH ST. ELEV.- 16.93 FT (NAVOD83)

10) THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.

11) NO CURB CUT, ACCESS OR LOT FRONTAGE PERMITTED ALONG SYCAMORE AVE.

METES & BOUNDS

A 1.08 ACRE TRACT OF LAND BEING ALL OF LOT 18, JANICE ADDITION, CITY OF MCALLEN, HIDALGO COUNTY, TEXAS ACCORDING TO PLAT RECORDED IN VOLUME 8, PAGE 54, MAP RECORDS, AND ALL OF LOT 9, JANICE ADDITION NO. 2, CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, ACCORDING TO PLAT RECORDED IN VOLUME 11, PAGE 19, MAP RECORDS, HIDALGO COUNTY, TEXAS.

BEGINNING at the northwest corner of Lot 18, for the northwest corner of the following described tract of land, said point being the intersection of the South line of Tamarack Avenue, and the East line of 20 foot alley;
THENCE, with the North line of Lot 18, South 81 Deg. 18 Min. 43 Sec. East, 154.0 feet to the northeast corner of Lot 18 for the most northerly northeast corner hereof; said point being on the West line of 20.7 foot canal right of way;
THENCE, with the East line of Lot 18, and the West line of said canal right of way, South 08 Deg. 41 Min. 17 Sec. West, 130.0 feet to the most northerly northwest corner of Lot 18 for an interior corner hereof;
THENCE, with the most northerly North line of Lot 9, South 81 Deg. 18 Min. 43 Sec. East, 25.0 feet to the northeast corner of Lot 9 for the most southerly northeast corner hereof; said point being the intersection of the North line of 20 foot alley and the West line of 20 foot alley;
THENCE, with the East line of Lot 9, and the West line of 20 foot alley, South 08 Deg. 41 Min. 17 Sec. West, 150.0 feet to the southeast corner of Lot 9 for the southeast corner hereof; said point being on the North line of Sycamore Avenue;
THENCE, with the South line of Lot 9, and the North line of Sycamore Avenue, North 81 Deg. 18 Min. 43 Sec. West, 179.0 feet to the southwest corner of Lot 9, for the southwest corner hereof; said point being on the southeast corner of 20 foot alley;
THENCE, with the West line of Lots 9 and 18, and the East line of 20 foot alley, North 08 Deg. 41 Min. 17 Sec. East, at 120.0 feet pass the common West corner between Lots 9 and 18, and at 280.0 feet the POINT OF BEGINNING, containing 1.08 acres of land, more or less.



City of McAllen
SUBDIVISION PLAT REVIEW

Reviewed On: 1/26/2026

SUBDIVISION NAME: JANICE AT SYCAMORE TERRACE	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
Sycamore Ave. 50 ft. ROW existing Paving: 32 ft. Curb & gutter: Both sides **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Applied
Tamarack Ave. 50 ft. ROW existing Paving: 32 ft. Curb & gutter: Both sides -Tamarack Ave show a 50 ft. ROW, revise and clarify it total, existing etc. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Non-compliance
Paving Curb & gutter **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	NA
Paving Curb & gutter **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	NA
Paving Curb & gutter **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	NA
* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118	NA
* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118	NA
* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105	NA
ALLEYS	
ROW: 20 ft. Paving: 16 ft. -Existing alley along the west and southeast portion of the property- clarify existing condition/pavement prior to final. **Subdivision Ordinance: Section 134-106	Non-compliance
SETBACKS	
* Front:(Proposing Tamarack Ave.) 25 ft. or greater for easement or in line with average setbacks of existing structures, whichever is greater applies. **Zoning Ordinance: Section 138-356	TBD

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Rear: (Proposing Sycamore Ave.) 10 ft. or greater for easement or in line with average setbacks of existing structures, whichever is greater applies. **Zoning Ordinance: Section 138-356</p> <p>* Sides: 6 ft. or greater for easement. **Zoning Ordinance: Section 138-356</p> <p>* Alley Side:(Proposing) 10 ft. or greater for easements. -Please clarify 10 ft. for alley sides. This setback note is not needed, please adjust prior to final. **Zoning Ordinance: Section 138-356</p> <p>* Garage: 18 ft. except where greater setbacks required, greater setback applies. **Zoning Ordinance: Section 138-356</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	TBD
	TBD
	TBD
	TBD
	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on Tamarack Ave and Sycamore Ave. **Subdivision Ordinance: Section 134-120</p>	Applied
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Applied
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along Sycamore Ave. **Landscaping Ordinance: Section 110-46</p>	Applied
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46</p>	Applied
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Applied
NOTES	
<p>* No curb cut, access, or lot frontage permitted along Sycamore Ave. **Must comply with City Access Management Policy</p>	TBD
<p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p>	NA
<p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p>	Applied
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	Applied
<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	NA
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing: R1 Proposed:R1 ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	Applied
PARKS	
* Land dedication in lieu of fee. -Proposed use is for one dwelling unit/lot- if number of dwelling units/lots change, will be reviewed accordingly prior to final.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording --Proposed use is for one dwelling unit/lot- if number of dwelling units/lots change, will be reviewed accordingly prior to final.	Required
* Pending review by the Parkland Dedication Advisory Board and CC. --Proposed use is for one dwelling unit/lot- if number of dwelling units/lots change, will be reviewed accordingly prior to final.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation for 1-lot Single Family subdivision is waived. .	Applied
* Traffic Impact Analysis (TIA) required prior to final plat.	NA
COMMENTS	
Comments: *Must comply with City's Access Management Policy. - Abandonment must be done by separate instrument, not by plat, prior to final. -Being the property is Zoned R-1 and is being re-platted, public hearing with notices will be required prior to final P&Z hearing notice configuration. -An abandonment was submitted for the 10 ft. utility easement. This case is in process.	Non-compliance
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS approval in Preliminary Form subject to conditions noted, drainage and utilities approvals.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



LOCATION

UPAS AVE.

44

J. B. MORTON
SUBDIVISION

BLOCK 1

TAMARACK AVE. TAMARACK AVE

**PROPOSED
JANICE AT
SYCAMORE TERRACE
SUBDIVISION**

N 10TH ST

53 SYCAMORE AVE.

JANICE ADDITION No. 2

JANICE ADDITION

RTMAN'S

N. 12TH ST

No. 1

TION

TH ST.

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ION

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Sub 2026-0011

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>The Tree House Subdivision</u>	
	Legal Description <u>a 24.457 acre tract of land out of lot 197 John H. Shary Subdivision, as per map or plat thereof recorded in volume 1, page 17, map records, hidalgo county, texas.</u>	
	Location <u>901 S. Taylor Rd. McAllen, TX 78501</u>	
	City Address or Block Number <u>901 S. Taylor Rd. McAllen, TX 78501</u>	
	Total No. of Lots <u>113</u> Total Dwelling Units <u>112</u> Gross Acres <u>24.457</u> Net Acres _____	
	<input type="checkbox"/> Public Subdivision / <input checked="" type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial (_____ Acres) / <input checked="" type="checkbox"/> Residential (<u>112</u> Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R-3A</u> Proposed Zoning <u>R1</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Residential</u>	
	Irrigation District # <u>United</u> Water CCN: <input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other _____	
Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # <u>281,076</u>		
Estimated Rollback Tax Due <u>0</u> Tax Dept. Review <u>I.D.L</u>		
Owner	Name <u>GuRa Living Communities LLC</u> Phone <u>(956) 227-5446</u>	
	Address <u>1001 S. Taylor Rd.</u> E-mail <u>miguel@ginther.com.mx</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>	
Developer	Name <u>GuRa Living Communities LLC</u> Phone <u>(956) 227-5446</u>	
	Address <u>1001 S. Taylor Rd.</u> E-mail <u>miguel@ginther.com.mx</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>	
	Contact Person <u>Miguel Ramirez</u>	
Engineer	Name <u>ACHC Engineering LLC</u> Phone <u>(956) 207-6072</u>	
	Address <u>2112 S. Shary Rd.</u> E-mail <u>ruben.alfaro@achc-engineering.com</u>	
	City <u>Mission</u> State <u>TX</u> Zip <u>78572</u>	
	Contact Person <u>Ruben Alfaro, P.E.</u>	
Surveyor	Name <u>Victor H. Trevino</u> Phone <u>(956) 424-3335</u>	
	Address <u>900 S. Stewart Rd.</u> E-mail <u>victor@southtexasig.com</u>	
	City <u>Mission</u> State <u>TX</u> Zip <u>78572</u>	

RECEIVED

MAY 15 2026

BY: _____

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
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Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

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- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

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Owner(s) Signature(s)

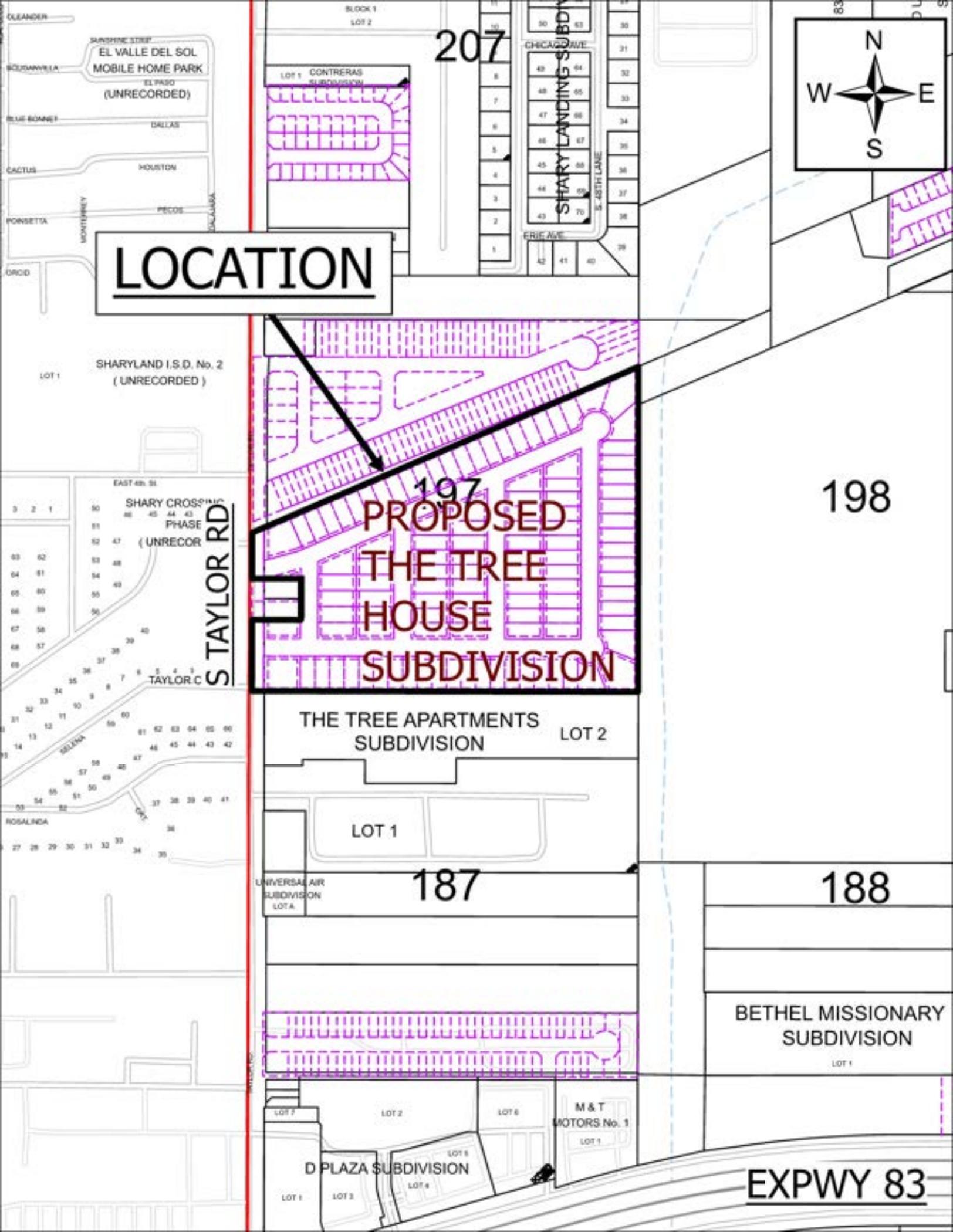
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature _____ Date 12-17-2025

Print Name Miguel Ramirez Manager of Gura Management LLC, Manager of Gura

Owner Authorized Agent Living Communities LLC, Owner

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion



207

LOCATION

**197
PROPOSED
THE TREE
HOUSE
SUBDIVISION**

198

THE TREE APARTMENTS
SUBDIVISION LOT 2

LOT 1

187

188

BETHEL MISSIONARY
SUBDIVISION

LOT 1

D PLAZA SUBDIVISION

M & T
MOTORS No. 1

EXPWY 83

SHARYLAND I.S.D. No. 2
(UNRECORDED)

S TAYLOR RD

SHARY CROSSING
PHASE
(UNRECORDED)

LOT 1 CONTRERAS
SUBDIVISION

SHARYLAND SUBD
CHICAGO AVE
FRIG AVE
S. 48TH LANE

UNIVERSAL AIR
SUBDIVISION
LOT A

LOT 7

LOT 2

LOT 6

LOT 1

LOT 3

LOT 4

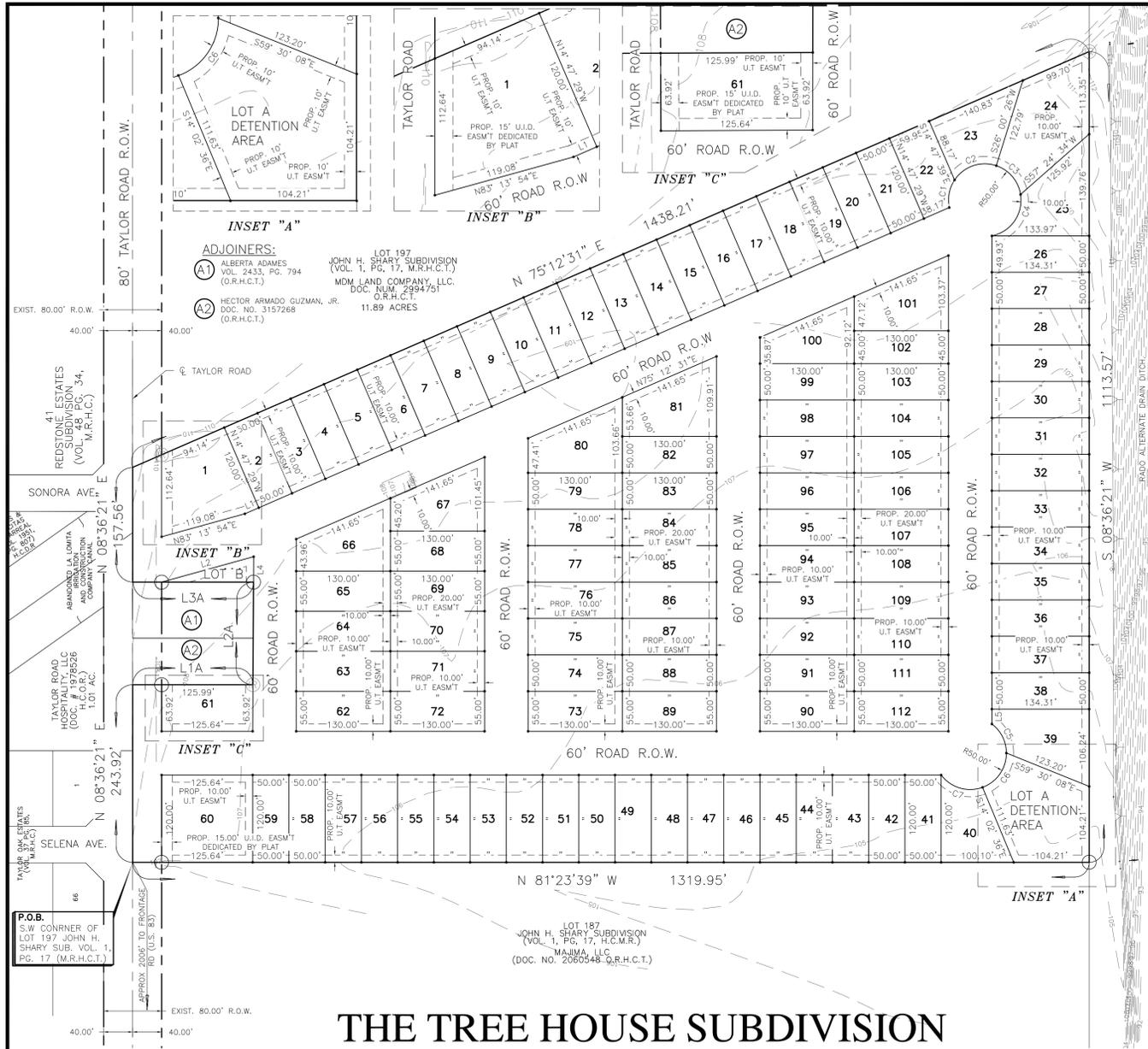
LOT 5

LOT 1

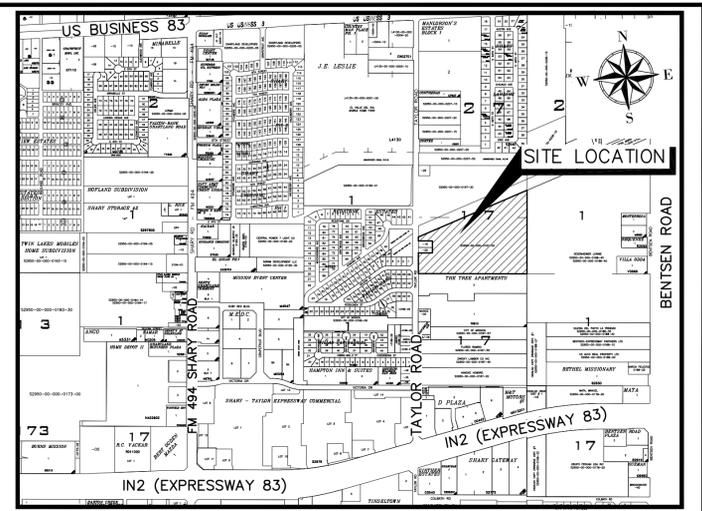
CLELAND
SOLBANNILLA
BLUE BONNET
CACTUS
PONSSETA
ORCOT
SUNSHINE STRIP
EL VALLE DEL SOL
MOBILE HOME PARK
EL PASO
(UNRECORDED)
DALLAS
HOUSTON
PECOS
MONTBERRY
SALINAS

LOT 1
EAST 48th St
SHARY CROSSING
PHASE
(UNRECORDED)
TAYLOR C
SILAS
ROSALINDA
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- GENERAL NOTES:**
- FLOOD INSURANCE RATING ZONE: "C"
AREAS OF MINIMAL FLOODING (NO SHADING)
FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 480334 0400 C
REVISED: NOVEMBER 16, 1982
 - BENCHMARK: CITY OF MCALLEN MC-80 ELEV. 104.41 - LOCATED ON THE SOUTH (FRONTAGE ROAD) BOUND OF EXPRESS WAY 83 BY A CANAL CLOSE TO TAYLOR RD. THE 30" ALUMINUM PIPE WITH A 3-1/4" BRASS MONUMENT CAP ON TOP IS COATED 60 FT SOUTH FROM THE EDGE OF PAVEMENT AND 16 FT NORTH FROM THE EDGE OF CANAL. MONUMENT IS SET APPROXIMATELY 500 FT EAST OF TAYLOR RD.
 - THE FOLLOWING SETBACKS AS PER SINGLE-FAMILY SUBDIVISION:
FRONT: 20-FT
REAR: 10-FT OR TO EASEMENT LINE WHICHEVER IS GREATER IN ALL CASES.
GARAGE: 18-FT
SIDE: 5-FT OR TO EASEMENT LINE WHICHEVER IS GREATER IN ALL CASES.
CORNER: 10-FT OR TO EASEMENT LINE WHICHEVER IS GREATER IN ALL CASES.
 - FINISH FLOOR ELEVATIONS ESTABLISHED MUST BE HIGHER THAN OR 18" ABOVE TOP OF CURB OR CENTERLINE OF STREET, WHICHEVER IS GREATER, MEASURED FROM THE CENTER OF THE LOT.
 - HOMEOWNER'S ASSOCIATION SHALL BE RESPONSIBLE TO MAINTAIN DETENTION POND, PRIVATE STREET AND PERIMETER OF THE SUBDIVISION, INCLUDING COMMON AREAS AS PER DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR THE TREE HOUSE SUBDIVISION.
 - NO SIDE ENTRANCE FROM TAYLOR ROAD TO LOTS 1,60 AND 61.
 - THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES OF THIS SUBDIVISION.
 - NO PERMANENT STRUCTURES ARE PERMITTED OVER ANY EASEMENTS, EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS, TREES AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18" MATURE HEIGHT, GROUND COVER, GRASS OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATION AND MAINTENANCE OF THE EASEMENT.
 - REQUIRED TO DETAIN IS _____ CUBIC FEET (____ ACRE-FT) TOTAL DETENTION IS BEING PROVIDED IN LOT "A". LOT "A" WILL BE MAINTAIN BY DEVELOPER'S/HOMEOWNER'S ASSOCIATION/OWNERS AND NOT THE CITY OF MCALLEN.
 - ALL CONSTRUCTION SHALL COMPLY WITH STORMWATER POLLUTION PREVENTION PLANS (SWPP) REQUIREMENTS.
 - AN ENGINEER DRAINAGE DETENTION PLAN APPROVED BY THE ENGINEERING DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
 - ALL SUBDIVISION AND PROPOSED LOT CORNERS SHALL BE PROPERLY MONUMENT AND SET WITH CAPPED IRON RODS BY SURVEYOR PRIOR TO RECORDING.
 - ENFORCEMENT OF ALL PLAT NOTES AND DEDICATIONS SHALL BE THE RESPONSIBILITY OF THE AGENCY OR ENTITY TO WHOM THE DEDICATION IS GRANTED.
 - ALL BUILDING CONSTRUCTION SHALL BE IN COMPLIANCE WITH ALL CITY OF MCALLEN ORDINANCE, REQUIREMENTS, CITY CODES AND STATE AND FEDERAL REGULATIONS.
 - LOTS 1,60 AND 61 SHALL PAVE THEIR 4' SIDEWALK INTERFACING THE 5' SIDEWALK ALONG TAYLOR ROAD. DEVELOPER TO PAVE 5' SIDEWALK ALONG TAYLOR ROAD PRIOR TO PLAT RECORDATION.
 - BUFFER FENCING- A 6' BUFFER FENCE AROUND THE ENTIRE PERIMETER OF THE COMMON LOT A SHALL BE REQUIRED OF THE DEVELOPER; AND SHALL THEREAFTER BE PERPETUALLY MAINTAINED BY THE OWNERS, AND/OR HOMEOWNERS ASSOCIATION. THE PRIVATE FENCE SHALL NOT BE MAINTAINED BY THE CITY OF MCALLEN.
 - ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
 - NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.
 - NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
 - NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
 - AS PER MASTER DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR THE TREE HOUSE SUBDIVISION, RECORDED AS DOCUMENT NUMBER _____ AND AS PER DECLARATIONS OF COVENANTS, CONDITIONS AND RESTRICTIONS THE TREE HOUSE SUBDIVISION, RECORDED AS DOCUMENT NUMBER _____ (SINGLE FAMILY LOTS 1-112), HIDALGO COUNTY, OFFICIAL RECORDS, DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNERS, THEIR SUCCESSORS AND/OR ASSIGNEES, AND NOT THE CITY OF MCALLEN SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 134-16B OF THE CODE OF ORDINANCE OF THE CITY OF MCALLEN, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND PRIVATE STREETS. ANY AMENDMENT TO DECLARATIONS THAT CONFLICT WITH THE REQUIREMENTS OF SECTION 134-16B SHALL BE NULL AND VOID.
 - AS PER MASTER DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR THE TREE HOUSE SUBDIVISION, RECORDED AS DOCUMENT NUMBER _____ AND AS PER DECLARATIONS OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR THE TREE HOUSE SUBDIVISION, RECORDED AS DOCUMENT NUMBER _____ (SINGLE FAMILY LOTS 1-112), HIDALGO COUNTY, OFFICIAL RECORDS, DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNERS, THEIR SUCCESSORS AND/OR ASSIGNEES, AND NOT THE CITY OF MCALLEN SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 110-72 OF THE CODE OF ORDINANCE OF THE CITY OF MCALLEN, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND PRIVATE STREETS ANY AMENDMENT TO DECLARATIONS THAT CONFLICT WITH THE REQUIREMENTS OF SECTION 110-72 SHALL BE NULL AND VOID.



LOCATION MAP
SCALE: 1"=1000'

METES AND BOUNDS:

BEING A 24.457 ACRE TRACT OF LAND OUT OF LOT 197 JOHN H. SHARY SUBDIVISION, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS, HIDALGO COUNTY, TEXAS, CONVEYED BY "SPECIAL WARRANTY DEED WITH VENDORS LIEN" TO NEW MILLENNIUM L. INVESTMENTS, INC. AS DESCRIBED IN DOCUMENT NUMBER 2155004, OF THE OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, SAID 24.457 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A POINT BEING THE SOUTHWEST CORNER OF LOT 197, JOHN H. SHARY SUBDIVISION, ALSO BEING THE NORTHWEST CORNERS OF A TRACT OF LAND CONVEYED TO MAJIMA, LLC, AS DESCRIBED IN DOCUMENT NUMBER 2060548, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, AND ALSO BEING ON THE CENTERLINE OF TAYLOR ROAD,

THENCE, NORTH 08°36'21" EAST A DISTANCE OF 243.92 FEET, ALONG THE CENTERLINE OF TAYLOR ROAD, TO A POINT BEING ON THE CENTERLINE OF TAYLOR ROAD, ALSO BEING THE SOUTHWEST CORNER OF A TRACT OF LAND CONVEYED TO HECTOR ARMANDO GUZMAN, JR. AS DESCRIBED IN DOCUMENT NUMBER 3157268, OF THE OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, AND ALSO BEING A CORNER OF THIS HEREIN DESCRIBED TRACT OF LAND;

THENCE, SOUTH 81°23'39" EAST A DISTANCE OF 40.00 FEET, ALONG THE SOUTH LINE OF SAID HECTOR ARMANDO GUZMAN, JR. TRACT, PASSING A 1/2-INCH IRON ROD FOUND ON THE EXISTING EAST RIGHT-OF-WAY LINE OF TAYLOR ROAD, CONTINUING FOR A TOTAL DISTANCE OF 165.99 FEET, TO 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "ROWSS PROP COR-SET FOR A CORNER OF THIS HEREIN DESCRIBED TRACT OF LAND;

THENCE, NORTH 08°55'19" EAST A DISTANCE OF 140.98 FEET, ALONG THE EAST LINE OF SAID HECTOR ARMANDO GUZMAN, JR. TRACT, TO 1/2-INCH IRON ROD FOUND FOR THE NORTHEAST CORNER OF A TRACT OF LAND CONVEYED TO ADAMES ALBERTA AS DESCRIBED IN VOLUME 2433, PAGE 794, OF THE OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS AND ALSO BEING A CORNER OF THIS HEREIN DESCRIBED TRACT OF LAND;

THENCE, NORTH 81°23'39" WEST A DISTANCE OF 126.77 FEET, ALONG THE NORTH LINE OF SAID ADAMES ALBERTA TRACT, PASSING A 1/2-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "ROWSS PROP COR-SET" ON THE EXISTING EAST RIGHT-OF-WAY LINE OF TAYLOR ROAD, CONTINUING FOR A TOTAL DISTANCE OF 166.7 FEET, TO A POINT ON THE CENTERLINE OF TAYLOR ROAD, AND ALSO BEING A CORNER OF HEREIN DESCRIBED TRACT OF LAND;

THENCE, NORTH 08°36'21" EAST A DISTANCE OF 157.56 FEET, ALONG THE CENTERLINE OF TAYLOR ROAD, TO A POINT BEING A CORNER OF A TRACT OF LAND CONVEYED TO MDM LAND COMPANY, LLC, AS DESCRIBED IN DOCUMENT NUMBER 2994751, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, AND ALSO BEING THE NORTHWEST CORNER OF HEREIN DESCRIBED TRACT OF LAND;

THENCE, NORTH 75°12'31" EAST A DISTANCE OF 43.58 FEET, ALONG THE SOUTH LINE OF SAID MDM LAND COMPANY, LLC TRACT, TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "ROWSS PROP COR-SET" ON THE EXISTING EAST RIGHT-OF-WAY LINE OF TAYLOR ROAD, CONTINUING FOR A TOTAL DISTANCE OF 1,438.21 FEET, TO A 5/8-INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "ROWSS PROP COR-SET" ON THE COMMON LINE OF SAID LOT 197 AND LOT 198, FROM WHICH A 1/2-INCH IRON ROD FOUND BEARS NORTH 09°05'51" EAST A DISTANCE OF 2.87 FEET, ALSO BEING THE WEST LINE OF A TRACT OF LAND CONVEYED TO NICOLE KENYON SCHROEDER AS DESCRIBED IN DOCUMENT NUMBER 3208508, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, AND ALSO BEING THE NORTHEAST CORNER OF HEREIN DESCRIBED TRACT OF LAND;

THENCE, SOUTH 08°36'21" WEST A DISTANCE OF 1,113.57 FEET, ALONG THE COMMON LINE OF SAID LOT 197 AND LOT 198, TO 1/2-INCH IRON ROD FOUND ON THE NORTH LINE OF SAID MAJIMA, LLC., TRACT, AND ALSO BEING THE SOUTHWEST CORNER OF HEREIN DESCRIBED TRACT OF LAND;

THENCE, NORTH 81°23'39" WEST AT A DISTANCE OF 1,279.95 FEET, ALONG THE NORTH LINE OF SAID MAJIMA, LLC., TRACT, PASSING A 1/2-INCH IRON ROD FOUND ON THE EXISTING EAST RIGHT-OF-WAY LINE OF TAYLOR ROAD WHICH BEARS SOUTH 50°32'21" EAST AT A DISTANCE OF 0.78 FEET, CONTINUING FOR A TOTAL DISTANCE OF 1,319.95 FEET, TO THE POINT OF BEGINNING, CONTAINING A COMPUTED AREA OF 24.457 ACRE TRACT OF LAND.

THE TREE HOUSE SUBDIVISION

BEING A 24.457 ACRE TRACT OF LAND OUT OF LOT 197 JOHN H. SHARY SUBDIVISION, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS, HIDALGO COUNTY, TEXAS, CONVEYED BY "SPECIAL WARRANTY DEED WITH VENDORS LIEN" TO NEW MILLENNIUM L. INVESTMENTS, INC. AS DESCRIBED IN DOCUMENT NUMBER 2155004, OF THE OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, SAID 24.457 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

STATE OF TEXAS
COUNTY OF HIDALGO
OWNER'S DECLARATION, AND ACKNOWLEDGEMENT

THE OWNERS OF THE LAND ON THIS PLAT AND DESIGNATES HEREIN AS THE PLAT OF THE TREE HOUSE SUBDIVISION ADDITION TO THE CITY OF MCALLEN, AND WHOSE NAME IS SUBSCRIBED HERETO, DO HEREBY GRANT AN EASEMENT TO THE SAID CITY AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE USE OF THE STREETS IS RESTRICTED TO THE EMPLOYEES AND AGENTS OF THE CITY OF MCALLEN, EMPLOYEES OF UTILITY COMPANIES UNDER FRANCHISE TO SAID CITY, AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. THE OWNER(S) DOES HEREBY DEDICATE TO USE OF THE PUBLIC THE PORTION OF EAST TAYLOR ROAD FOR USE AS PERIMETER AND INTERIOR STREETS RIGHT OF THE WAY DEDICATED TO THE CITY OF MCALLEN BY THIS PLAT.

STATE OF TEXAS
COUNTY OF HIDALGO
OWNER'S DECLARATION, AND ACKNOWLEDGEMENT

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS OF THE TREE HOUSE SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL PERIMETER AND INTERIOR STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED. ON THE PLAT HEREOF ON THE OFFICIAL.

Parcel #	Area	Acrage	Parcel #	Area	Acrage	Parcel #	Area	Acrage
1	13372.17 Sf.	0.31 Ac.	40	8183.49 Sf.	0.19 Ac.	81	10632.18 Sf.	0.24 Ac.
2-20	6000.00 Sf.	0.14 Ac.	41-59	6000.00 Sf.	0.14 Ac.	82-88	6500.00 Sf.	0.15 Ac.
21	6000.19 Sf.	0.14 Ac.	60	15076.61 Sf.	0.35 Ac.	91-99	6500.00 Sf.	0.15 Ac.
22	6747.74 Sf.	0.15 Ac.	61	8042.05 Sf.	0.18 Ac.	100	8319.41 Sf.	0.19 Ac.
23	8790.17 Sf.	0.20 Ac.	62,72,73, 89,90,112	7150.00 Sf.	0.16 Ac.	101	9781.55 Sf.	0.22 Ac.
24	14908.19 Sf.	0.34 Ac.	63	7149.83 Sf.	0.16 Ac.	102	5850.17 Sf.	0.13 Ac.
25	9780.73 Sf.	0.22 Ac.	64-65 68-72	7150.01 Sf.	0.16 Ac.	103-111	6500.00 Sf.	0.15 Ac.
26	6706.07 Sf.	0.15 Ac.	66	9370.49 Sf.	0.22 Ac.	112	7150.00 Sf.	0.16 Ac.
27	6715.60 Sf.	0.15 Ac.	67	9532.79 Sf.	0.22 Ac.	LOT A	16131.79 Sf.	0.37 Ac.
28	6715.59 Sf.	0.15 Ac.	67	9532.79 Sf.	0.22 Ac.	LOT B	2211.83 Sf.	0.05 Ac.
29-38	6715.59 Sf.	0.15 Ac.	74-79	6500.00 Sf.	0.15 Ac.			
39	10169.35 Sf.	0.23 Ac.	80	9819.87 Sf.	0.23 Ac.			

	FOUND 1/2" IRON ROD UNLESS OTHERWISE NOTED
	SET 5/8" IRON ROD WITH PLASTIC CAP STAMPED "ROWSS PROP COR. UNLESS OTHER WISE NOTED.
	PROPERTY CORNER
H.C.M.R.	Hidalgo County Map Records
H.C.O.R.	Hidalgo County Official Records
H.C.D.R.	Hidalgo County Deed Records
P.O.B.	Point of Beginning
P.O.C.	Point of Commencing
R.O.W.	Right-of-Way
S.E.	Southeast
U.T. EASMT	Utility Easement
U.I.D. EASMT	Excludes United Irrigation Easement

Curve #	Length	Radius	Delta	Chord	Direction	Chord Length
C1	39.60	50.00	45.37	S19° 35' 42"W		38.57
C2	65.34	50.00	74.87	S79° 43' 09"W		60.79
C3	54.45	50.00	62.40	N31° 38' 46"W		51.80
C4	76.56	50.00	87.73	N43° 25' 00"E		69.30
C5	46.22	50.00	52.96	N18° 02' 32"W		44.59
C6	61.22	50.00	70.15	N43° 30' 55"E		57.47
C7	63.83	50.00	73.15	S64° 50' 12"E		59.58

Line #	Length	Direction
L1	20.95	N75° 12' 31.00"E
L2	131.65	N83° 13' 54.34"E
L3	126.74	S81° 23' 39.00"E
L4	34.90	N8° 55' 19.00"E
L5	20.45	S8° 36' 21.00"W

Line #	Length	Direction
L1A	165.99'	S81°23'39"E
L2A	140.98'	N08°55'19"E
L3A	166.77'	N81°23'39"W

PLANNING AND ZONING COMMISSION ACKNOWLEDGEMENT

I, THE UNDERSIGNED CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN TEXAS HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF MCALLEN WHEREIN MY APPROVAL IS REQUIRED.

DATED THIS _____ DAY OF _____ 20__

CHAIRMAN, PLANNING AND ZONING COMMISSION DATE

STATE OF TEXAS COUNTY OF HIDALGO HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATION

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. GENERAL MANAGER DATE: _____

PRINCIPAL CONTACTS:

OWNER: MIGUEL RAMIREZ ADDRESS: 1001 S. TAYLOR RD.
ENGINEER: RUBEN JESUS ALFARO CARRILLO 2112 S. SHARY RD. SUITE 40
SURVEYOR: VICTOR H. TREVINO 900 S. STEWART RD SUITE 13



FILED FOR RECORD IN HIDALGO COUNTY BY ARTURO GUJARDO, JR. HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____ OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

GURA LIVING COMMUNITIES LLC
1001 S. TAYLOR RD.
MCALLEN, TX. 78501

GURA LIVING COMMUNITIES LLC
1001 S. TAYLOR RD.
MCALLEN, TX. 78501

CITY OF MCALLEN MAYORS CERTIFICATE COUNTY OF HIDALGO

I, THE UNDERSIGNED MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATION OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN ATTEST: CITY CLERK

PRELIMINARY REVIEW
THIS DOCUMENT HAS BEEN RELEASED FOR PRELIMINARY SUBMITTAL BY RUBEN JESUS ALFARO CARRILLO, P.E. No. 135019 ON Jan 06, 2026
THIS DOCUMENT IS FOR DESIGN REVIEW AND IS NOT INTENDED FOR PLANNING OR CONSTRUCTION PURPOSES.

STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, RUBEN JESUS ALFARO CARRILLO, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

RUBEN JESUS ALFARO CARRILLO, P.E. NO. 135019 DATE

VICTOR H. TREVINO, RPLS TBPLS REG. FIRM NO. 10193886 DATE



ENGINEERING FIRM No. F-21299

2112 S. SHARY RD. SUITE 40 MISSION TX, Texas 78572 (956) 207-6072
pans@acha-engineering.com



City of McAllen
SUBDIVISION PLAT REVIEW

Reviewed On: 1/28/2026

SUBDIVISION NAME: THE TREE HOUSE SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

<p>S. Taylor Rd: 40 ft. from center line for a total of 80 ft. ROW Paving:52 ft. - 65 ft. Curb & gutter: Both sides -Please provide document of existing ROW for staff review, prior to final **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	<p>Non-compliance</p>
<p>N/S Collector Street along the east boundary: 60 ft. ROW. Paving: 40ft. Curb & gutter: Both sides **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan -Need to submit variance request if not proposing to extend road to the north.</p>	<p>Non-compliance</p>
<p>E/W quarter mile collector: Total of 60 ft. ROW Paving: 40 ft. Curb & gutter: Both Sides **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan -Staff reviewing any and all existing drain ditch on east boundary which may hinder E/W collector. - Include in variance request if not proposing to provide street.</p>	<p>Non-compliance</p>
<p>Interior Streets: 60 ft. ROW Paving: 40ft. Curb & gutter: Both Sides **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan -Please provide the measured centerline distance from the proposed interior street(s) intersecting S. Taylor Road to the centerline of the existing street(s) located west of S. Taylor Road. The dimension shall be clearly shown on the plat to demonstrate compliance with the minimum 125 ft. centerline to centerline offset requirement.</p>	<p>Non-compliance</p>
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	<p>Applied</p>
<p>* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118 -Block length with no stub outs to the north and to the south. -Plat submitted on 1/15/26 showing property to the south and north are un-subdivided, which allows for the stub out streets to be extended as these properties are developed. -May include in variance request if proposing not to provide.</p>	<p>Non-compliance</p>
<p>* 900 ft. Block Length for R-3 Zone Districts _____ **Subdivision Ordinance: Section 134-118</p>	<p>Applied</p>
<p>* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	<p>Applied</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEYS	
<p>ROW: 20 ft. Paving: 16ft. *Alley/service drive easement required for commercial properties and may be required for multifamily development **Subdivision Ordinance: Section 134-106 -Once rezoning of the property to R-1 (UDC) is finalized, comments may revised if approved. -Private/public alley op service drive must be provided. -Plat notes 21 & 22 mention both, revise and clarify as needed. -Rezoning submitted 1/26/26, if approved, new comments will be made.</p>	Non-compliance
SETBACKS	
<p>* Front: 20 ft. or greater for easements -(Proposing - 20ft) **Zoning Ordinance: Section 138-356 -Rezoning submitted on 1-26-26 for R-1 (UDC) If the rezoning is approved, requirements may be revised and established prior to final.</p>	Non-compliance
<p>* Rear: 10 ft. or greater for easements -(Proposing - 10 ft. or to easement line whichever is greater in all cases) **Zoning Ordinance: Section 138-356 -Rezoning submitted on 1-26-26 for R-1 (UDC) If the rezoning is approved, requirements may be revised and established prior to final.</p>	Non-compliance
<p>* Sides: 6 ft. or greater for easements whichever greater applies. - (Proposing - 5 ft. or to easement line whichever is greater in all cases) **Zoning Ordinance: Section 138-356 -Rezoning submitted on 1-26-26 for R-1 (UDC) If the rezoning is approved, requirements may be revised and established prior to final.</p>	Non-compliance
<p>* Corner: 10 ft. or greater for easements -(Proposing 10 ft. or to easement line whichever is greater in all cases) **Zoning Ordinance: Section 138-356 -Rezoning submitted on 1-26-26 for R-1 (UDC) If the rezoning is approved, requirements may be revised and established prior to final.</p>	Non-compliance
<p>* Garage: 18 ft. except where greater setback is required, greater setback applies -(Proposing - 18 ft.) **Zoning Ordinance: Section 138-356 -Rezoning submitted on 1-26-26 for R-1 (UDC) If the rezoning is approved, requirements may be revised and established prior to final.</p>	Non-compliance
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on S. Taylor Rd, N/S collector street, E/W collector street and both sides all interior streets. **Subdivision Ordinance: Section 134-120</p>	Non-compliance
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Applied
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, and along N. Taylor Rd and any collector streets that may be required. **Landscaping Ordinance: Section 110-46</p>	Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements.</p>	<p>Non-compliance Applied</p>
<p>NOTES</p>	
<p>* No curb cut, access, or lot frontage permitted along N. Taylor Rd and any collector streets that may be required. -Plat note #6 reflects lots 1-60 & 61, Revise and clarify to reflect no curb cut access as mentioned above. **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. -Plat notes 21 & 22 mention both private and public, revise and clarify as needed. -Once wording is finalized, plat note will be required prior to final. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 -Clarify notes #21 & #22 as they reference both public and private developments. * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	<p>Non-compliance TBD Non-compliance NA Non-compliance Required</p>
<p>LOT REQUIREMENTS</p>	
<p>* Lots fronting public streets **Subdivision Ordinance: Section 134-1 -Please clarify on plat whether it will be private or public prior to final. * Minimum lot width and lot area **Zoning Ordinance: Section 138-356</p>	<p>Applied Applied</p>
<p>ZONING/CUP</p>	
<p>* Existing: R-3A Proposed: R1 ***Zoning Ordinance: Article V * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V -Currently zoned as R-3A and application shows R-1 -Application for R-1 Zoning submitted on 1-26-26, must be finalized prior to final. If property is rezoned, requirements will be established prior to final.</p>	<p>Non-compliance Required</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

PARKS		
<ul style="list-style-type: none"> * Land dedication in lieu of fee. -According to city ordinance, 8.71 acres to be dedicated prior to final. -If proposing to pay Park Fee in lieu of land dedication, variance will be required. * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording -Variance request will be required for Park Fee in lieu of land dedication. -112 X \$700 = \$78,400 to be paid prior to recording. * Pending review by city management if variance is submitted. 	Non-compliance	
	Non-compliance	
	Required	
TRAFFIC		
<ul style="list-style-type: none"> * As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. * Traffic Impact Analysis (TIA) required prior to final plat. 	Non-compliance	
	TBD	
COMMENTS		
<p>Comments:</p> <ul style="list-style-type: none"> *Must comply with City's Access Management Policy. - Owner signature block verbiage needs to be revised to reflect whether the subdivision is public or private. Plat submitted 1-15-26 reflecting both public and private. Revise and clarify prior to final. -Plat notes #21 & #22 reference public and private. Revise and clarify prior to final -Name of subdivision to the south is a recorded plat. Please revise and clarify accordingly with legal description. -Application to R-1 Zoning submitted on 1-26-26, must be finalized prior to final. If the property is approved, requirements subject to change and be established prior to final. 	Applied	
RECOMMENDATION		
<p>Recommendation: Staff recommends approval of the subdivision in preliminary form subject to the conditions noted, and utility and drainage approvals.</p>	Applied	

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



207

LOCATION



SHARPY LANDING SUBDIVISION



**PROPOSED
THE TREE
HOUSE
SUBDIVISION**

197

198

S TAYLOR RD

THE TREE APARTMENTS SUBDIVISION LOT 2

187

188

BETHEL MISSIONARY SUBDIVISION LOT 1



5 PLAZA SUBDIVISION

EXPWY 83

SUB 2025-0135

City of McAllen Planning Department

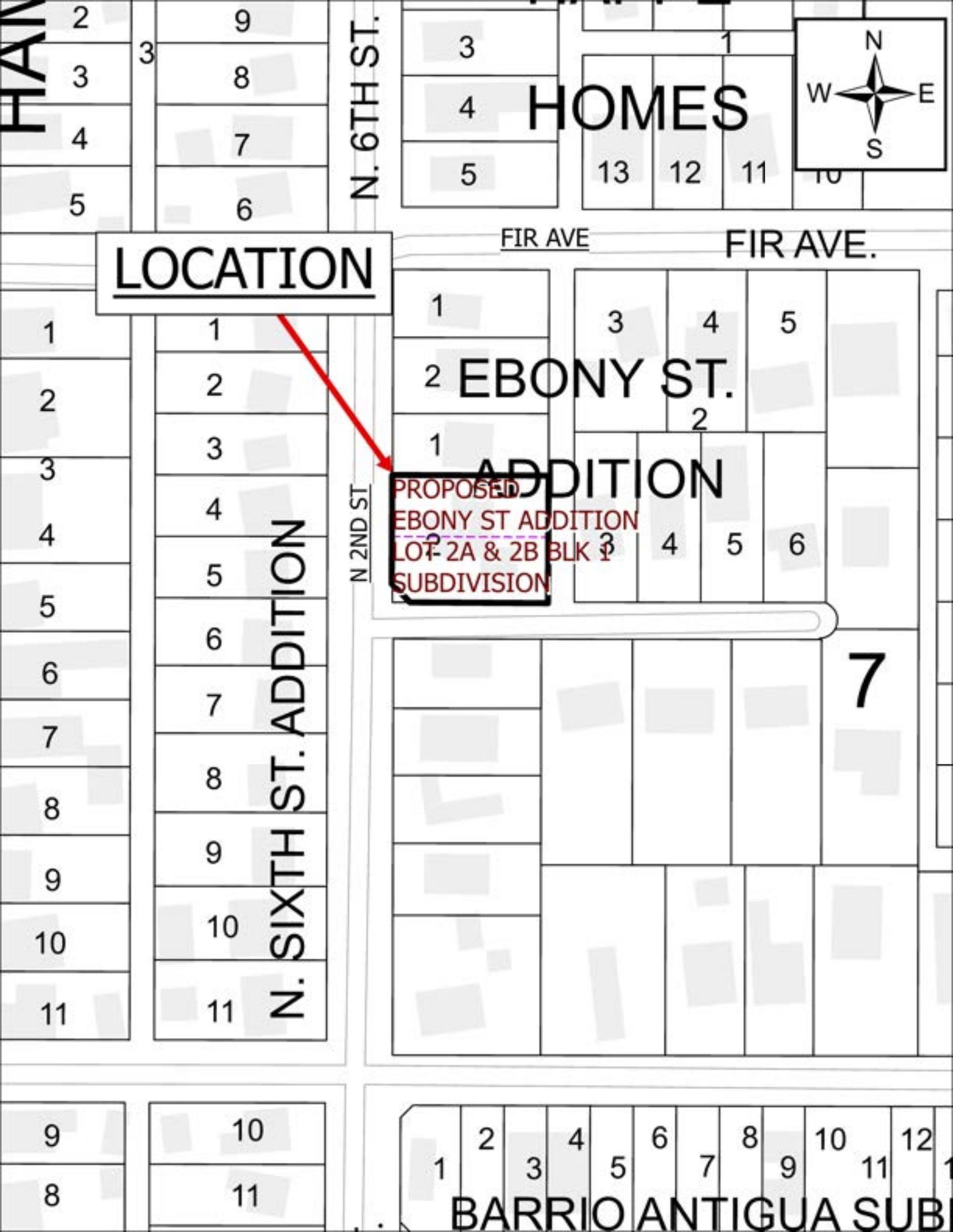
311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Ebony Street Addition Lot 2A+2B, Block 1 subdivision.</u>
	Legal Description <u>BEING ALL OF LOT 2, EBONY STREET ADDITION TO THE CITY OF McALLEN, TEXAS, AS PER MAP THEREOF RECORDED IN VOLUME 9, PAGE 6, MAP RECORDS, HIDALGO COUNTY, TEXAS</u>
	Location <u>506 N. 6th ST. McALLEN, TEXAS 78501</u>
	City Address or Block Number <u>506 N 6th St</u>
	Total No. of Lots <u>2</u> Total Dwelling Units <u>2</u> Gross Acres _____ Net Acres <u>.30</u>
	<input checked="" type="checkbox"/> Public Subdivision/ <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No
	For Fee Purposes: <input type="checkbox"/> Commercial (_____ Acres)/ <input checked="" type="checkbox"/> Residential (<u>2</u> Lots) Replat: <input checked="" type="checkbox"/> Yes/ <input type="checkbox"/> No
	Existing Zoning <u>R-1</u> Proposed Zoning <u>R-1</u> Applied for Rezoning <input type="checkbox"/> No/ <input type="checkbox"/> Yes: Date _____
	Existing Land Use <u>RESIDENTIAL HOME</u> Proposed Land Use <u>SINGLE FAM. USE</u>
	Irrigation District # <u>HCWID No.3</u> Water CCN: <input checked="" type="checkbox"/> MPU/ <input type="checkbox"/> Sharyland Water SC Other _____
Agricultural Exemption: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No Parcel # <u>E270000001000200</u>	
Estimated Rollback Tax Due <u>N/A</u> Tax Dept. Review <u>I.D.L</u>	
Owner	Name <u>FAITH DEVELOPMENT LEASING, LLC</u> Phone <u>956-450-0203</u>
	Address <u>4000 N. RAUL LONGORIA RD.</u> E-mail <u>contact@faith-yourpropertydeveloper.com</u>
	City <u>SAN JUAN</u> State <u>TEXAS</u> Zip <u>78589</u>
Developer	Name <u>FAITH DEVELOPMENT LEASING, LLC</u> Phone <u>956-450-0203</u>
	Address <u>4000 N. RAUL LONGORIA RD.</u> E-mail <u>contact@faith-yourpropertydeveloper.com</u>
	City <u>SAN JUAN</u> State <u>TEXAS</u> Zip <u>78589</u>
	Contact Person <u>GERARDO GARZA</u>
Engineer	Name <u>VICTOR H. TREVINO</u> Phone <u>(956)424-3355</u>
	Address <u>900 S. STEWART, SUITE 13</u> E-mail <u>victor@southtexasig.com</u>
	City <u>MISSION</u> State <u>TEXAS</u> Zip <u>78572</u>
	Contact Person <u>(956)424-3355</u>
Surveyor	Name <u>VICTOR H. TREVINO</u> Phone <u>(956)424-3355</u>
	Address <u>900 S. STEWART, SUITE 13</u> E-mail <u>victor@southtexasig.com</u>
	City <u>MISSION</u> State <u>TEXAS</u> Zip <u>78572</u>

RECEIVED
 SEP 24 2025
 By OC

Proposed Plat Submittal

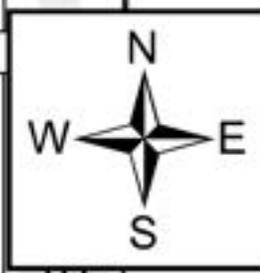
Minimum Developer's Requirements Submitted with Application	<p align="center"><u>In Person Submittal Requirements</u></p> <ul style="list-style-type: none"> - Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes - Title Report - 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps - 2 8 ½" by 11" copies/legible copies of plat with name & north arrow - 6 Folded blue-line prints of the proposed plat - 2 Warranty Deeds (identifying owner on application) - AutoCAD 2005 DWG file and PDF of plat - Letter of Authorization from the owner (if applicable) - Proof of authority of person signing application on behalf of partnership/corporation (if applicable) 	<p align="center"><u>Email Submittal Requirements</u></p> <ul style="list-style-type: none"> - Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes - Title Report - Sealed Survey - Location Map - Plat & Reduced Plat - Warranty Deed - DWG File - Letter of Authorization from the owner (if applicable) - Proof of authority of person signing application on behalf of partnership/corporation, if applicable <p><small>*Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents*</small></p> <p><small>*Submit documents to subdivisions@mcallen.net</small></p> <p align="center">*ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL*</p>
	<p>PLAT TO SHOW:</p> <ul style="list-style-type: none"> - Metes and bounds - Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts - Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines - North arrow, scale and vicinity map - Name & dimension of adjoining street ROWs (total width & width from centerline) <p><small>Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net</small></p>	
Owner(s) Signature(s)	<p>I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.</p> <p>Signature <u></u> Date <u>9/22/25</u></p> <p>Print Name <u>Victor Treviño</u></p> <p>Owner <input type="checkbox"/> Authorized Agent <input checked="" type="checkbox"/></p> <p align="center"><small>The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion</small></p>	



HAIN

N. 6TH ST.

HOMES



LOCATION

FIR AVE

FIR AVE.

EBONY ST.

ADDITION

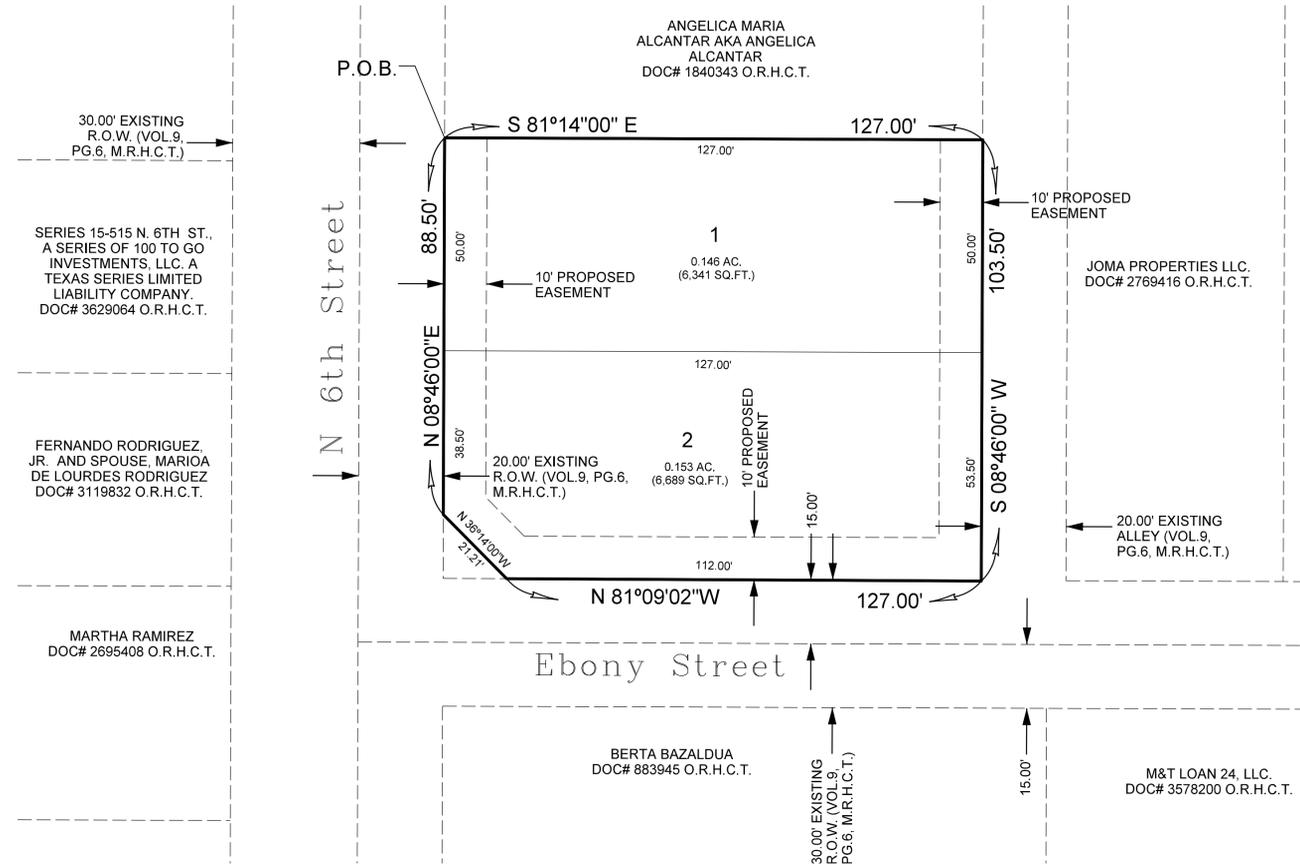
PROPOSED
EBONY ST ADDITION
LOT 2A & 2B BLK 3
SUBDIVISION

N. SIXTH ST. ADDITION

N 2ND ST

7

BARRIO ANTIGUA SUB



30.00' EXISTING R.O.W. (VOL.9, PG.6, M.R.H.C.T.)

SERIES 15-515 N. 6TH ST., A SERIES OF 100 TO GO INVESTMENTS, LLC, A TEXAS SERIES LIMITED LIABILITY COMPANY, DOC# 3629064 O.R.H.C.T.

FERNANDO RODRIGUEZ, JR. AND SPOUSE, MARIOA DE LOURDES RODRIGUEZ DOC# 3119832 O.R.H.C.T.

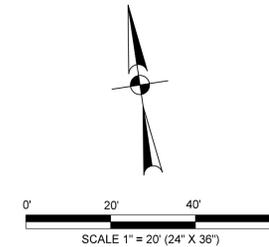
MARTHA RAMIREZ DOC# 2695408 O.R.H.C.T.

ANGELICA MARIA ALCANTAR AKA ANGELICA ALCANTAR DOC# 1840343 O.R.H.C.T.

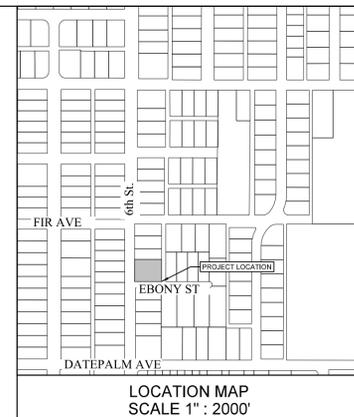
JOMA PROPERTIES LLC, DOC# 2769416 O.R.H.C.T.

BERTA BAZALDUA DOC# 883945 O.R.H.C.T.

M&T LOAN 24, LLC, DOC# 3578200 O.R.H.C.T.



- LEGEND:**
- SET # 5/8" IRON ROD WITH PLASTIC CAP STAMPED "ROWSS PROP. COR." ●
 - FOUND IRON ROD WITH PLASTIC CAP STAMPED "ROWSS PROP. COR." UNLESS OTHERWISE NOTED ○
 - OFFICIAL RECORDS HIDALGO COUNTY TEXAS ○ R.H.C.T.
 - MAP RECORDS HIDALGO COUNTY TEXAS ○ M.R.H.C.T.
 - DEED RECORDS HIDALGO COUNTY TEXAS ○ D.R.H.C.T.
 - RIGHT-OF-WAY ○ R.O.W.
 - HIDALGO COUNTY DRAINAGE DISTRICT ○ H.C.D.D.
 - UTILITY EASEMENT ○ U.E.
 - ELECTRIC EASEMENT ○ E.E.



GENERAL NOTES

1. FLOOD ZONE STATEMENT: FLOOD ZONE: THE PROPERTY SHOWN HEREON LIES IN ZONE "C". ZONE "C" IS AREAS OF MINIMAL FLOODING. COMMUNITY-PANEL NUMBER: 480584 (480584). MAP REVISED: NOVEMBER 15, 1992.
2. SETBACK LINES TO BE AS PER CITY OF McALLEN ZONING ORDINANCE: FRONT: 20 FT. OR GREATER FOR EASEMENTS, OR IN LINE WITH EXISTING STRUCTURES, WHICHEVER GREATER APPLIES. REAR: 10 FT. OR GREATER FOR EASEMENTS, WHICHEVER GREATER APPLIES. SIDES: 5 FT. OR GREATER FOR EASEMENTS, WHICHEVER GREATER APPLIES. CORNER: 10 FT. OR GREATER FOR EASEMENTS, WHICHEVER GREATER APPLIES. GARAGE: 18 FT. OR GREATER FOR EASEMENTS, WHICHEVER GREATER APPLIES. ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN.
3. MINIMUM FINISH FLOOR NOTE: MINIMUM FINISH FLOOR ELEVATION SHALL BE 1" ABOVE TOP OF CURB AT CENTER OF LOT.
4. CITY OF McALLEN BENCHMARK: "MC 54" FROM THE CITY OF McALLEN G.P.S. REFERENCE MARKS LIST PREPARED BY GLENN LIND OFFICE, PEDRO ON OCTOBER 21, 1999, BEING LOCATED AT THE GARZA PARK ON MILE 4 ROAD, 30' ALUMINUM PIPE WITH A 3-1/4" BRASS MONUMENT CAP ON TOP AT ELEVATION +117.05 FEET (NWDBR).
5. A MINIMUM 24 FT. PRIVATE SERVICE DRIVE EASEMENT SHALL BE ESTABLISHED AS PART OF THE SITE PLAN AND SHALL BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.
6. ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
7. NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.
8. NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD SHALL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
9. NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
10. IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 489 CFT OR 0.01 ACRE-FT OF STORM WATER RUNOFF, DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: THROUGH THE GREEN AREAS OF THE PROPOSED LOTS.
11. 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ON N. 6TH STREET & EBONY STREET.
12. 6 FT. GRADE BUFFER REQUIRED FROM ADJACENT BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL AND INDUSTRIAL ZONES/USES.
13. 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
14. COMMON AREAS: ANY PRIVATE STREETS/DRIVES, GATE AREAS, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.

METES & BOUNDS

BEING ALL OF LOT 2, EBONY STREET ADDITION TO THE CITY OF McALLEN, TEXAS, AS PER MAP THEREOF RECORDED IN VOLUME 9, PAGE 6, MAP RECORDS, HIDALGO COUNTY, TEXAS, SAID 3.624 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT AN IRON FOUND FOR THE NORTHWEST CORNER OF SAID LOT 2, EBONY STREET ADDITION, AND ALSO BEING THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT OF LAND:

THENCE, SOUTH 81°14'00" EAST AT A DISTANCE 127.00 FEET.

THENCE, SOUTH 08°46'00" WEST AT A DISTANCE 103.50 FEET.

THENCE, NORTH 81°09'02" WEST AT A DISTANCE 112.00 FEET.

THENCE, NORTH 08°46'00" EAST AT A DISTANCE 88.50 FEET, ALONG THE EAST LINE OF SAID OF LOT 1, TO THE POINT OF BEGINNING OF THIS TRACT BEING A COMPUTED AREA OF 3.624 ACRES.

H.C.D.D. NO. 1

APPROVED BY DRAINAGE DISTRICT:
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 46.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

PAUL E. SEBIL, P.E., C.F.M. DATE

CITY OF McALLEN

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, TEXAS HEREBY CERTIFY THAT EBONY STREET ADDITION LOT 2A & 2B, BLOCK 1, SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF McALLEN WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN PLANNING AND ZONING COMMISSION

DATE: CERTIFICATION OF THE MAYOR OF THE CITY OF McALLEN

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS HERON COVE SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR CITY OF McALLEN DATE

OWNER ACKNOWLEDGMENT

STATE OF TEXAS
COUNTY OF HIDALGO

I/WE, THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE EBONY STREET ADDITION LOT 2A & 2B, BLOCK 1, SUBDIVISION OF THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DESIGNATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I/WE WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

FAITH DEVELOPMENT AND LEASING, LLC (OWNER) DATE
JERRY GARZA, MANAGER
4000 N. LONGORIA RD.
SAN JUAN, TEXAS 78589

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JERRY GARZA, KNOWN TO ME TO BE THE PERSONS WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ___ DAY OF _____

NOTARY PUBLIC

ENGINEER & SURVEYOR CERTIFICATE

STATE OF TEXAS
COUNTY OF HIDALGO

KNOW ALL MEN BY THESE PRESENTS:

I, VICTOR H. TREVINO, A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, LICENSE NUMBER 128195, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

VICTOR H. TREVINO, P.E., LICENSED PROFESSIONAL ENGINEER, TEXAS LIC. NO. 128195



STATE OF TEXAS
COUNTY OF HIDALGO

KNOW ALL MEN BY THESE PRESENTS:

I, VICTOR H. TREVINO, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND ON _____ UNDER MY DIRECTION.

VICTOR H. TREVINO, R.P.L.S., REG. PROFESSIONAL LAND SURVEYOR # 6968



DATE OF PREPARATION: AUGUST 04, 2025

PRINCIPAL CONTACTS	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	FAITH DEVELOPMENT AND LEASING, LLC	4000 N. LONGORIA RD.	SAN JUAN, TEXAS 78589	(956) 781-3990	
ENGINEER:	VICTOR H. TREVINO, P.E.	900 S. STEWART RD., STE. 13	MISSION, TEXAS 78572	(956) 424-3335 (956) 424-3132	
SURVEYOR:	VICTOR H. TREVINO, P.E.	900 S. STEWART RD., STE. 13	MISSION, TEXAS 78572	(956) 424-3335 (956) 424-3132	

SOUTH TEXAS INFRASTRUCTURE GROUP
800 S. STEWART, SUITE 13
MISSION, TEXAS 78572
PH: (956) 424-3335
FAX: (956) 424-3132
TBE REG # 1500

EBONY STREET ADDITION LOT 2A & 2B, BLOCK 1 SUBDIVISION

BEING ALL OF LOT 2, EBONY STREET ADDITION TO THE CITY OF McALLEN, TEXAS, AS PER MAP THEREOF RECORDED IN VOLUME 9, PAGE 6, MAP RECORDS, HIDALGO COUNTY, TEXAS.

SOUTH TEXAS INFRASTRUCTURE GROUP

800 S. STEWART, SUITE 13
MISSION, TEXAS 78572
PH: (956) 424-3335
FAX: (956) 424-3132
TBE REG # 1500

SHEET

1



FILED FOR RECORD IN HIDALGO COUNTY ARTURO GUARDIA, JR. HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/29/2026

SUBDIVISION NAME: EBONY STREET ADDITION LOT 2A & 2B, BLOCK 1 SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>N. 6th Street: Existing 50 ft. R.O.W Paving: 32 ft. Curb & gutter: both sides Revision needed: - Show existing R.O.W. on Dedication on both sides of centerline and total R.O.W. to determine any ROW dedication required. - Show centerline on plat, prior to final. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>Ebony Avenue: 50 ft. total dedication needed. Paving: 32 ft. Curb & gutter: both sides Revisions Required: - Show existing R.O.W. Dedication on both side of centerline and total R.O.W. to determine any ROW dedication, prior to final. . - Show centerline on plat, prior to final. - The engineer submitted a variance request to not dedicate ROW, this variance will be heard at the planning and zoning meeting on 02/03/2026 and city commission on 02/23/2026. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEYS	
ROW 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106	Applied
SETBACKS	
* Front: 20 ft. or greater for easements, or in line with existing structures, whichever greater applies. **Zoning Ordinance: Section 138-356	Compliance
Rear: 10 ft. or greater for easements, whichever greater applies. -Please add plat note as shown above, prior to final. **Zoning Ordinance: Section 138-356	Applied
Sides: 5 ft. or greater for easements, whichever greater applies. **Zoning Ordinance: Section 138-356	Compliance
Corner: 10 ft. or greater for easement, whichever greater applies. **Zoning Ordinance: Section 138-356	Compliance
Garage: 18 ft. or greater for easements, whichever greater applies. **Zoning Ordinance: Section 138-356	Compliance
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 4 ft. wide minimum sidewalk required on N. 6th Street & Ebony Street. - May increase to 5 ft. as per engineering department. **Subdivision Ordinance: Section 134-120	Compliance
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46	Compliance
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46	Compliance
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
NOTES	
* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy	Applied
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	NA
* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.	Compliance
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. -Does not pertain to residential	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	<p>NA</p>
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	<p>NA</p>
<p>LOT REQUIREMENTS</p>	
<p>* Lots fronting public streets **Subdivision Ordinance: Section 134-1</p>	<p>Applied</p>
<p>* Minimum lot width and lot area **Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>ZONING/CUP</p>	
<p>Existing R-1 Proposed R-1 ***Zoning Ordinance: Article V</p>	<p>Applied</p>
<p>* Rezoning Needed Before Final Approval - The City Commission Board members on July 8,2025 approved the rezoning request from R-1(Single-family Residential) OC to R-1 (Low-Density Residential) UDC. ***Zoning Ordinance: Article V</p>	<p>Applied</p>
<p>PARKS</p>	
<p>Park Fee of \$700 per lot/dwelling unit to be paid prior to recording A park fee of \$700 (1 lots/dwelling units x \$700) will be required prior to recording. If the number if dwelling units' changes, the park fee will be adjusted accordingly. - will only pay for one lot since there is already an existing home on the other lot.</p>	<p>Applied</p>
<p>Park Fee of \$700 per lot/dwelling unit to be paid prior to recording A park fee of \$700 (1 lots/dwelling units x \$700) will be required prior to recording. If the number if dwelling units' changes, the park fee will be adjusted accordingly. - will only pay for one lot since there is already an existing home on the other lot.</p>	<p>Applied</p>
<p>* Pending review by the Parkland Dedication Advisory Board and CC.</p>	<p>Applied</p>
<p>TRAFFIC</p>	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. -Trip generation is waived for a single family lots</p>	<p>Non-compliance</p>
<p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	<p>TBD</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> - Public hearing required with noticed may be applicable, prior to final. -Any abandonments must be done by separate document, not by plat, must finalize prior to final. - Dimensions on survey and plat are not corresponding - Replat name change should be "Ebony Street Addition Lot 2A & 2B, Block 1 Subdivision" - Recorded plat notes should remain effective. If any plat notes is proposed to be removed or altered, a vacate and re-plat will be required. - -Please add legal descriptions from the adjacent properties, prior to final. - the comments are provided from the plat submittal of 12.09.25. Any other comments may occur with the new submittal of plat. - The engineer submitted an application to not dedicate ROW, and it is scheduled to be heard at the planning and zoning of 02/03/2026 and city commission on 02/23/2026. <p>*Must comply with City’s Access Management Policy.</p>	Applied
RECOMMENDATION	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED AND DRAINAGE APPROVAL AND CLARIFICATION TO THE VARIANCE REQUEST.</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



HOMES

LOCATION

PROPOSED
EBONY ST ADDITION
LOT 2A & 2B BLK 1
SUBDIVISION

N. 6TH ST.

FIR AVE

FIR AVE.

EBONY ST.

N. SIXTH ST. ADDITION

N 2ND ST

7

BARRIO ANTIGUA SUB

City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>McAllen, O.T. Lots 1A and 2A</u> Legal Description <u>1619 Galveston Ave. Subd.</u> <u>ALL OF LOTS 1-12, Bk. 3, O.T. OF McAllen</u> Location <u>NWC HOUSTON AVE. : S. 17TH ST.</u> City Address or Block Number <u>1619 Galveston Ave</u> Total No. of Lots <u>2</u> Total Dwelling Units <u>2</u> Gross Acres <u>2.06</u> Net Acres <u>2.06</u> <input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No For Fee Purposes: <input checked="" type="checkbox"/> Commercial (<u>2.06</u> Acres) / <input type="checkbox"/> Residential (<u> </u> Lots) Replat: <input type="checkbox"/> Yes / <input type="checkbox"/> No Existing Zoning <u>C-3</u> Proposed Zoning <u>C-3</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date <u> </u> Existing Land Use <u>2-Com. Build.</u> Proposed Land Use <u>2-Com. Build.</u> Irrigation District # <u>N/A</u> Water CCN: <input checked="" type="checkbox"/> MPMU / <input type="checkbox"/> Sharyland Water SC Other <u> </u> Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # <u>229111</u> Estimated Rollback Tax Due <u> </u> Tax Dept. Review <u> </u>
Owner	Name <u>MARC & ANGELA MILLS</u> Phone <u>408-0084</u> Address <u>1305 JASMINE AVE.</u> E-mail <u>MARC@MILLS199.COM</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>
Developer	Name <u>SAME AS OWNER</u> Phone <u> </u> Address <u> </u> E-mail <u> </u> City <u> </u> State <u> </u> Zip <u> </u> Contact Person <u> </u>
Engineer	Name <u>DAVID D. SALINAS</u> Phone <u>682-9081</u> Address <u>2221 DAFFODIL AVE.</u> E-mail <u>dsalinas@salinaseng.com</u> <u>EEER</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u> <u>146.COM</u> Contact Person <u>David / Mick</u>
Surveyor	Name <u>SAME AS ENGR.</u> Phone <u> </u> Address <u> </u> E-mail <u> </u> City <u> </u> State <u> </u> Zip <u> </u>

SEP 19 2025

MW

VAR 2025-0044



City of McAllen

311 North 15th Street
McAllen, TX 78501
P. O. Box 220

Planning Department VARIANCE TO SUBDIVISION PROCESS APPLICATION

McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project	<p>Legal Description <u>LOTS 1-12, MEALREW O.T. AND PART OF AN ABANDONED ALLEY</u></p> <p>Proposed Subdivision (if applicable) <u>MEALREW O.T. LOTS 1A-2A</u></p> <p>Street Address <u>BK. 58 1619 GALVESTON AVE.</u></p> <p>Number of lots <u>2</u> Gross acres <u>2.06 GR.</u></p> <p>Existing Zoning <u>C-3</u> Existing Land Use <u>BUILDINGS (FORMER SCHOOL)</u></p> <p><input checked="" type="checkbox"/> Current Survey and Metes and Bounds (required if the legal description is a portion of a lot)</p>
Applicant	<p>Name <u>MARC MILLIS</u> Phone <u>408-0084</u></p> <p>Address <u>1305 JASMINE AVE.</u> E-mail <u>MARC@MILLISREG.COM</u></p> <p>City <u>MEALREW</u> State <u>TX</u> Zip <u>78501</u></p>
Owner	<p>Name <u>SAME AS APPLICANT</u> Phone _____</p> <p>Address _____ E-mail _____</p> <p>City _____ State _____ Zip _____</p>
Authorization	<p>To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated?</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.</p> <p>Signature <u>[Signature]</u> Date <u>11/11/25</u></p> <p>Print Name <u>David O. Salinas</u> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Authorized Agent</p>
Office	<p>*FOR OFFICE USE ONLY*</p> <p>APPLICATION FILING FEE: <input type="checkbox"/> \$250.00</p> <p>Accepted by <u>NM</u> Payment received by <u>Natake</u> Date <u>11/12/25</u></p> <p>Rev 06/21</p> <p style="text-align: right;">NOV 11 2025</p>

BT



City of McAllen

Planning Department

REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are not an eligible standing for a variance. Please submit for consideration and review any combination of the following: (If necessary, please use an additional page to complete responses)

**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

VARIANCE ON ROW : FUTURE PAVEMENT DUE TO CLOSE PROXIMITY OF BUILDING : OTHER IMPROVEMENTS ALONG BOTH SIDE OF HOUSTON XVE.
SAME ARGUMENT ALONG GALVESTON.

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

THE VARIANCE WOULD PERMIT THE FUTURE AND FURTHER DEVELOPMENT OF THIS SITE W/ OUT THE BURDEN OF DEDICATED LANDS : STREET WIDENING COSTS WAREE SUCH ROW : PAVEMENT IS NOT LIKELY.

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

THE VARIANCE WILL NOT AFFECT THE RIGHTS OR WELFARE OF ADJ. PROPERTY OWNERS.

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

THE VARIANCE HAS NO IMPACT ON ADJ PROPERTIES AND IS REALISTIC TO THE EXISTING ROAD CONDITIONS - THESE LANDS ARE OLD : ESTABLISHED W/ RESPECT TO FUTURE ROADS

Natalie Moreno

From: David Salinas <dsalinas@salinasengineering.com>
Sent: Tuesday, November 11, 2025 1:26 PM
To: Natalie Moreno
Cc: Mickael Salinas; Monica Guerra; Marc Millis; Omar Sotelo; Eduardo Garza
Subject: McAllen O.T. Lots 1A and 2A, Block 58 Variance

Natalie, per your request, please find below a more detailed explanation of the Variance being requested for McAllen O.T. Lots 1A and 2A, Block 58:

City Comments

ALONG GALVESTON AVE:

Total Existing ROW on Galveston Ave: 50.0 feet (25 feet on each side of centerline)
Total Existing Pavement on Galveston Ave.: 38 feet B-B (or 19 feet on each side of centerline)

Total ROW requested by City on Galveston Ave.: 60.0 feet (30.0 feet each way from centerline)
Total Pavement requested by City on Galveston Ave: 40' B-B (20.0 feet each way from centerline)

VARIANCE REQUESTED ALONG GALVESTON AVE.

**No additional dedication by plat of 5.0 feet along south side (plat side) of Galveston Ave.
To not provide any additional pavement of 1.0 foot**

ALONG HOUSTON AVE.

Total Existing ROW on Houston Ave: 40.0 feet (20 feet on each side of centerline)
Total Existing Pavement on Houston Ave.: 34 feet B-B (or 17 feet on each side of centerline)

Total ROW requested by City on Galveston Ave.: 80.0 feet (40.0 feet each way from centerline)
Total Pavement requested by City on Galveston Ave: 52' B-B (26.0 feet each way from centerline)

VARIANCE REQUESTED ALONG GALVESTON AVE.

**No additional dedication by plat of 20.0 additional feet along north side (plat side) of Houston Ave.
To not provide any additional pavement of 9.0 feet**

Please confirm these numbers and if good this will help clarify the variances being requested. We can meet up to discuss to be sure your clear. Let me know if you have any questions.

Thank you.

David

David Omar Salinas, P.E., RPLS, MSEE, CFM

SALINAS ENGINEERING & ASSOCIATES

2221 Daffodil Ave.

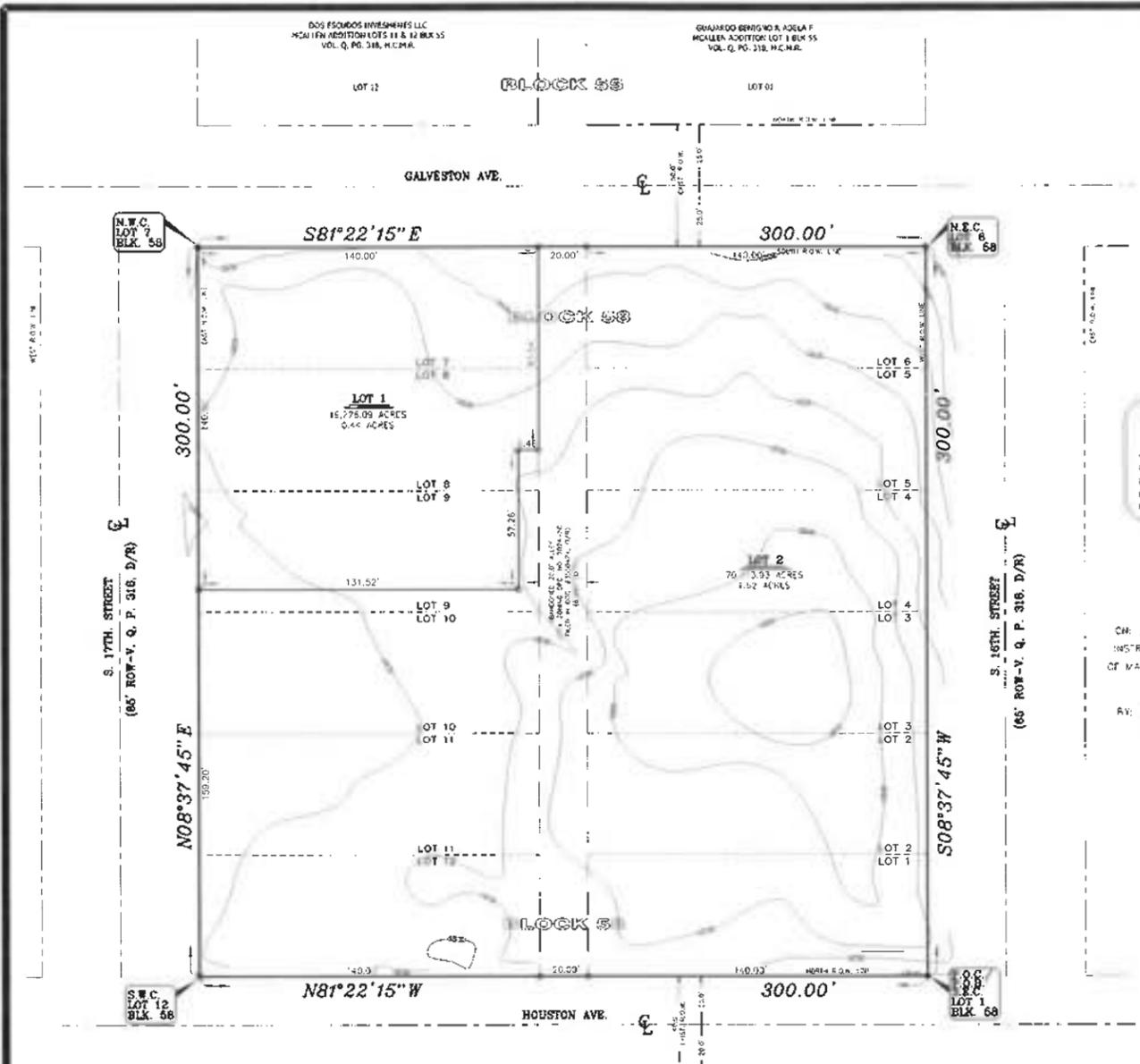
McAllen, Texas, 78501

(956) 682-9081

(956) 686-1489 Fax

(956) 648-8899 Cell

dsalinas@salinasengineering.com



FILED FOR RECORD IN
HIDALGO COUNTY
ASTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY _____ CLERK

**MCALLEN O. T.
LOTS 1A AND 2A, BLOCK 58**
AN ADDITION TO THE CITY OF MCALLEN,
HIDALGO COUNTY, TEXAS

BEING A 2.06 GROSS ACRE TRACT OF LAND, MORE OR LESS, CONSISTING OF ALL OF LOTS 1-12, BLOCK 58, INCLUDING A 20.0 FOOT PUBLIC DEDICATED ALLEY LOCATED BETWEEN LOTS 1 THRU 6, AND LOTS 7 THRU 12, HAVING BEEN ABANDONED BY MCALLEN CITY ORDINANCE NO. 2024-50, ALL OUT OF THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAN THEREOF RECORDED IN VOLUME Q, PAGE 318, DEED RECORDS OF HIDALGO COUNTY, TEXAS.

- GENERAL PLAT NOTES:**
- MINIMUM SETBACK LINES FRONT, IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR CASSEMENTS OR IN LINE WITH EXISTING STRUCTURES, WHICHEVER IS GREATER.
SIDE, IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR CASSEMENTS, WHICHEVER IS GREATER APPLIES.
REAR, IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR CASSEMENTS, WHICHEVER IS GREATER APPLIES.
CORNER, IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR CASSEMENTS, WHICHEVER IS GREATER APPLIES.
 - LANDS CONTAINED WITHIN THIS SUBDIVISION ARE IN ZONE "C" ACCORDING TO THE FPM (FLOOD INSURANCE RATE MAP) DATED 11/07/87, COMMUNITY PANEL NO. 480343 0070 C. ZONE "C" AREAS OF MINOR FLOODING (NO SHADING).
 - MINIMUM FINISHED FLOOR ELEVATION ON ALL HIGH CONSTRUCTION SHALL BE A MINIMUM OF 1.0 FEET ABOVE THE TOP OF CURB MEASURED FROM THE CENTER OF THE ROAD ALONG SOUTH 17TH STREET FOR LOT 1, AND SOUTH 16TH ALONG FOR LOTS 2.
 - MINIMUM 4 FT. WIDE SIDEWALK IS REQUIRED ON SOUTH 16TH STREET, GALVESTON AVENUE, HOUSTON AVENUE, AND SOUTH 17TH STREET.
 - THIS SUBDIVISION PLAT SHALL BE REQUIRED TO OBTAIN A TOTAL OF 16763.78 C.U.B. FEET, OR 0.385 ACRE-FT. OF DRAINAGE RUNOFF VOLUME. LOT 1 SHALL OBTAIN A MINIMUM OF 3,590.51 CU. FT. AND LOT 2 SHALL OBTAIN A MINIMUM OF 3,183.77 CU. FT. (PRO RATED VOLUMES).
 - THE CONSTRUCTION OF ANY STRUCTURES ON OR WITHIN ANY UTILITY CASSEMENTS SHALL BE PROHIBITED.
 - AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT, MAY BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS.
 - B.M. -MCALLEN SURVEY CONTROL POINT NO. 82, LOCATED IS AT THE NORTH-WEST CORNER OF THE INTERSECTION OF BROADWAY AVE. AND JACKSON AVE. THE MONUMENT IS 15 FT. WEST FROM THE BC OF BROADWAY AVE. AND 8' 11" NORTH FROM THE BC OF JACKSON AVE.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED AT THE PERMIT STAGE THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE VARIOUS AREAS BEING GREATER THAN THE PLAN ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
 - 8' OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL AND INDUSTRIAL ZONES/USES.
 - 8' MASONRY WALL, REQUIRED BETWEEN SINGLE-FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
 - COMMON AREAS, ANY PRIVATE STREETS/ALLEYS, GATE AREAS, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF MCALLEN.
- PRINCIPAL CONTACTS**
- | OWNER | NAME | ADDRESS | CITY & ZIP | PHONE | FAX |
|----------|------------------|-------------------|----------------------|----------------|----------------|
| OWNER | MARC MULLS | 1305 JASMINE AVE | MCALLEN, TEXAS 78501 | (956) 408-0084 | |
| OWNER | ANGELA MULLS | 1305 JASMINE AVE | MCALLEN, TEXAS 78501 | (956) 408-0084 | |
| ENGINEER | DAVID O. SALINAS | 2721 DAFFODIL AVE | MCALLEN, TEXAS 78501 | (956) 882-3081 | (956) 886-1489 |
| SURVEYOR | DAVID O. SALINAS | 2721 DAFFODIL AVE | MCALLEN, TEXAS 78501 | (956) 882-3081 | (956) 886-1489 |

STATE OF TEXAS
COUNTY OF HIDALGO

WE, THE UNDERSIGNED OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS **MCALLEN O.T. LOTS 1A AND 2A, BLOCK 58** TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAMES ARE SUBSCRIBED HEREON, HEREBY DELEGATE TO THE SE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, CASSEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, THE IMPROVEMENTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR PROVIDED UNDER THE SUPERVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES HEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MAPS OR THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

OWNER: ALMONDINE PROPERTIES LLC
MARC MULLS, MANAGER
1305 JASMINE AVE
MCALLEN, TEXAS 78501

OWNER: ALMONDINE PROPERTIES LLC
ANGELA MULLS, MANAGER
1305 JASMINE AVE
MCALLEN, TEXAS 78501

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MARC MULLS AND ANGELA MULLS, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY
OF _____ 2025

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS
MY COMMISSION EXPIRES _____

STATE OF TEXAS
CITY OF MCALLEN

I, THE UNDERSIGNED MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN, AND ACKNOWLEDGES TO ME THAT THE PLAT CONFORMS TO ALL REQUIREMENTS OF THE CITY ORDINANCES, IF APPROVAL IS REQUIRED.

STATE OF TEXAS
CITY OF MCALLEN

I, THE UNDERSIGNED CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY, IF APPROVAL IS REQUIRED.

STATE OF TEXAS
COUNTY OF HIDALGO

DAVID OMAR SALINAS, P.E., A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, REGISTRATION NUMBER TX 71973, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.



DAVID OMAR SALINAS, P.E.
REG. PROFESSIONAL ENGINEER #71973

STATE OF TEXAS
COUNTY OF HIDALGO

DAVID O. SALINAS, THE UNDERSIGNED A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.



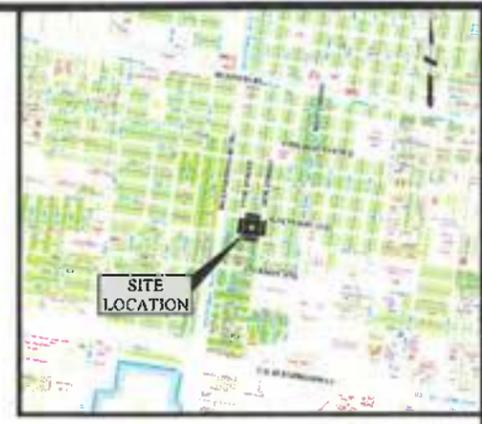
DAVID O. SALINAS, RPLS.
REG. PROFESSIONAL LAND SURVEYOR #5782

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE, §9.111(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

MAIL P. 58348, P.F., CHM
GENERAL MANAGER



LOCATION MAP SCALE: 1" = 1000'

METES AND BOUNDS DESCRIPTION

BEING A 2.06 GROSS ACRE TRACT OF LAND, MORE OR LESS, CONSISTING OF ALL OF LOTS 1-12, BLOCK 58, INCLUDING AN ABANDONED 20.0 FOOT PUBLIC DEDICATED ALLEY LOCATED BETWEEN LOTS 1 THRU 6, AND LOTS 7 THRU 12, HAVING BEEN ABANDONED BY MCALLEN CITY ORDINANCE NO. 2024-50, ALL OUT OF THE O.T. OF MCALLEN, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAN THEREOF RECORDED IN VOLUME Q, PAGE 318, DEED RECORDS OF HIDALGO COUNTY, TEXAS; SAID 2.06 ACRE TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A 1/2 INCH DIAMETER IRON ROD FOUND ON THE SOUTHEAST CORNER OF SAID LOT 1 LOCATED AT THE INTERSECTION OF S. 16TH STREET AND HOUSTON AVE. FOR THE SOUTHEAST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT:

- THENCE, NORTH 81 DEGREES 22 MINUTES 15 SECONDS WEST, COINCIDENT WITH THE SOUTH LINE OF SAID LOTS 1 AND 12, AND THE SOUTH LINE OF SAID ABANDONED ALLEY, AND, FURTHER BEING COINCIDENT WITH THE NORTH RIGHT-OF-WAY LINE OF SAID HOUSTON AVE., A DISTANCE OF 300.0 FEET IN ALL TO AN "X" CUT FOUND ON THE SOUTHWEST CORNER OF SAID LOT 12 LOCATED AT THE INTERSECTION OF S. 17TH STREET, AND HOUSTON AVE. FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT.
- THENCE, NORTH 08 DEGREES 37 MINUTES 45 SECONDS EAST, COINCIDENT WITH THE WEST LINES OF SAID LOTS 12 THRU 7, AND, BEING COINCIDENT WITH THE EAST RIGHT-OF-WAY LINE OF SAID S. 17TH STREET, A DISTANCE OF 300.0 FEET IN ALL TO A 1/2 INCH DIAMETER IRON ROD FOUND ON THE NORTHWEST CORNER OF SAID LOT 7 LOCATED ON INTERSECTION WITH S. 17TH STREET, AND GALVESTON AVE. FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT.
- THENCE, SOUTH 81 DEGREES 22 MINUTES 15 SECONDS EAST, COINCIDENT WITH THE NORTH LINE OF SAID LOTS 7 AND 6, AND, THE NORTH LINE OF SAID 20.0 FOOT ABANDONED ALLEY, AND, BEING COINCIDENT WITH THE SOUTH RIGHT-OF-WAY LINE OF SAID GALVESTON AVE., A DISTANCE OF 300.0 FEET IN ALL TO A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" SET ON THE NORTHEAST CORNER OF SAID LOT 6 LOCATED ON THE INTERSECTION WITH GALVESTON AVE., AND, S. 16TH STREET FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT.
- THENCE, SOUTH 08 DEGREES 37 MINUTES 45 SECONDS WEST, COINCIDENT WITH THE WEST RIGHT-OF-WAY OF SAID LOTS 6 THRU 1, AND, BEING COINCIDENT WITH THE WEST RIGHT-OF-WAY LINE OF SAID S. 16TH STREET, A DISTANCE OF 300.0 FEET IN ALL TO THE POINT OF BEGINNING CONTAINING 2.06 ACRES OF LAND, MORE OR LESS.

BASIS OF BEARING: ART SALINAS, RPLS SURVEY
N:\SUBDIVISION\PLATS\1619\GALVESTONAVE. SUB\2.06.091625

**MCALLEN O. T.
LOTS 1A AND 2A, BLOCK 58**

PREPARED BY: SALINAS ENGINEERING & ASSOC.
DATE OF PREPARATION: JAN. 22, 2025.
JOB NUMBER: SP-25-26301

OWNER: ALMONDINE PROPERTIES LLC
MARC MULLS, MANAGER
ANGELA MULLS, MANAGER
1305 JASMINE AVE
MCALLEN, TEXAS 78501

SEA
SALINAS ENGINEERING & ASSOC.
(P-6676) (TEPLS-10066700)
CONSULTING ENGINEERS & SURVEYORS
2221 DAFFODIL - MCALLEN, TEXAS 78501
(956) 882-3081 (956) 886-1489 (FAX)
30% REDEMPTION ON CHECKS - 10% OFFER - 10% OFFER - 10% OFFER

THIS DOCUMENT IS FILED FOR THE PUBLIC RECORD IN THE OFFICE OF THE CITY CLERK OF MCALLEN, TEXAS, ON JANUARY 22, 2025, AT 10:11:35 AM. FOR FURTHER INFORMATION, CONTACT THE CITY CLERK'S OFFICE AT (956) 882-3081.



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/27/2026

SUBDIVISION NAME: MCALLEN O.T. LOTS 1A & 2A, BLOCK 58 SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>Houston Avenue: Dedication as required 40 ft. from centerline for a total of 80 ft. R.O.W. Paving 52 ft. Curb & gutter both sides Revisions Required: - Label centerline and show R.O.W. existing on both sides to determine R.O.W. dedication requirements, prior to final. - Provide any existing R.O.W on plat with documents numbers and provide a copy to staff for review, prior to final. - Engineer submitted a variance request to not dedication ROW. Variance will be heard on for P&Z 02/03/2026 **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>S. 16th Street: 65 ft. existing R.O.W Paving 40 ft. Curb & gutter both sides Revision needed: -Label centerline and show R.O.W. existing on both sides to determine R.O.W. dedication requirements, prior to final. - Provide documents of existing R.O.W., prior to final **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>Galveston Avenue: Dedication of 30 ft. from centerline for a total of 60 ft. R.O.W Paving 40 ft. Curb & gutter both sides *Revisions required: - Label centerline and show R.O.W. existing on both sides to determine R.O.W. dedication requirements, prior to final. - If the existing R.O.W remains, a variance request may need to be submitted. - - Engineer submitted a variance request to not dedication ROW. Variance will be heard on for P&Z 01/06/2026 and City Commission on 02/09/2026. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>S. 17th Street: 65 ft. existing R.O.W Paving 40 ft. Curb & gutter both sides -Label centerline and show R.O.W. existing on both sides to determine R.O.W. dedication requirements, prior to final. - provide existing R.O.W from the property to the west - Provide documents from the existing R.O.W., prior to final **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan * 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118 * 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118 * 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	Applied
	Applied
	Applied
	Applied
ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft. -Plat reference abandoned alley R.O.W. by document number #3550424 -Engineer must clarify if alley or service drive will be provided, prior to final. Alley or service drive must not be a dead end. - if service drive is proposed a plat note stating "A minimum 24 ft. private service drive will be established as part of the site plan and maintained by the lot owners and not the city of McAllen *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106</p>	Applied
SETBACKS	
<p>* Front: In accordance with the zoning ordinance or greater for easements or inline with existing structures, whichever is greater. **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Rear: In accordance with the zoning ordinance or greater for easements, whichever is greater applies. **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Sides: In accordance with the zoning ordinance or greater for easements, whichever is greater applies. **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Corner: In accordance with the zoning ordinance or greater for easements. whichever greater applies. -Add plat note as stated above. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Garage **Zoning Ordinance: Section 138-356</p>	NA
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on South 16th Street, Galveston Avenue, Houston Avenue, and South 17th Street. - Add plat note as shown above, prior to final -Sidewalk requirement may increase to 5 ft. per Engineering department. **Subdivision Ordinance: Section 134-120</p>	Non-compliance
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
NOTES	
* No curb cut, access, or lot frontage permitted along -	TBD
**Must comply with City Access Management Policy	Applied
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	Non-compliance
* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. - Add plat note as stated above, prior to final.	Applied
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	Applied
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing C-3 Proposed C-3 ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	Applied
PARKS	
* Land dedication in lieu of fee. - This does not pertain to commercial use	NA

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<ul style="list-style-type: none"> * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. -This does not pertain to commercial development. 	<p>NA</p>
<ul style="list-style-type: none"> * Pending review by the Parkland Dedication Advisory Board and CC. -does not pertain to commercial development 	<p>NA</p>
<p>TRAFFIC</p>	
<ul style="list-style-type: none"> * As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. 	<p>Required</p>
<ul style="list-style-type: none"> * Traffic Impact Analysis (TIA) required prior to final plat. 	<p>TBD</p>
<p>COMMENTS</p>	
<p>Comments:</p> <ul style="list-style-type: none"> *Must comply with City’s Access Management Policy. - Public hearing for re subdivision is required, prior to final. - Provide centerline on all adjacent streets. - Engineer needs to clarify if any existing structures will remain to determine additional requirements as applicable, prior to final - Engineer submitted a variance request to not dedication ROW. Variance will be heard on for P&Z 02/03/2026 and city commission TBD. 	<p>Applied</p>
<p>RECOMMENDATION</p>	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE AND UTILITES APPROVAL AND CLARIFICATION TO THE VARIANCE REQUESTS.</p>	<p>Applied</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



M

LOCATION



**PROPOSED
MCALLEN O.T.
LOTS 1A & 2A
BLOCK 58
SUBDIVISION**

BICENTENNIAL BLVD.

S. 17TH ST.

S. 16TH ST.

FRESNO AVE.

GALVESTON AVE.

S 16TH ST

HOUSTON AVE.

SOUTH McALLEN

NELSON ADDITION

4
ADDITION

ITHACA AVE.

JACKSON AVE.

3

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3	22	3	22	3	22
4	21	4	21	4	21
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LOCATION

**MCALLEN
ADDITION
ALL OF
BLK 58**

BICENTENNIAL BLVD.
S BICENTENNIAL BLVD

S MAIN ST

ERIE AVE.

FRESNO AVE

GALVESTON AVE

HOUSTON AVE

ITHACA AVE.

JACKSON AVE.

JUNIPER AVE.

S.T.C.C.

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20	22	24	26	28	30	32	34	36

S.T.C.C.

6

VAR 2025-0009



City of McAllen

Planning Department

VARIANCE TO SUBDIVISION PROCESS APPLICATION

311 North 15th Street
McAllen, TX 78501
P. O. Box 220

McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project	Legal Description <u>John H Shary W225'-N193.8'-L0+317 1.0 AC GRO.82A NET</u> <u>John H Shary 2.24 AC Out of E1095'-N193.77' Lot 317 2.24 ACLET</u>
	Proposed Subdivision (if applicable) <u>Amisted McAllen Subdivision</u>
	Street Address <u>4120 N Taylor Rd, McAllen Tx 78504</u>
	Number of lots <u>3</u> Gross acres <u>7.39</u>
	Existing Zoning <u>B-1 PAD</u> Existing Land Use _____
<input type="checkbox"/> Current Survey and Metes and Bounds (required if the legal description is a portion of a lot)	
Applicant	Name <u>TRIMAD Consultants LLC</u> Phone <u>956 534 4110</u>
	Address <u>1803 Mozelle St</u> E-mail _____
	City <u>Pharr</u> State <u>Tx</u> Zip <u>78577</u>
Owner	Name <u>Amisted McAllen</u> Phone _____
	Address <u>4120 N Taylor Rd</u> E-mail _____
	City <u>McAllen</u> State <u>Tx</u> Zip <u>78504</u>
Authorization	To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated? <input type="checkbox"/> Yes <input type="checkbox"/> No
	I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.
	Signature <u>[Signature]</u> Date <u>March 21, 2025</u> Print Name <u>Alfonso Guzman</u> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Authorized Agent
Office	*FOR OFFICE USE ONLY*
	APPLICATION FILING FEE: <input checked="" type="checkbox"/> \$250.00 Accepted by <u>J.C.</u> Payment received by _____ Date _____

RECEIVED
MAR 21 2025
By [Signature]

City of McAllen

Planning Department

REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are not an eligible standing for a variance. Please submit for consideration and review any combination of the following: (If necessary, please use an additional page to complete responses)

**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Primrose Variance

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

AG The issue is the dedication of 60 ft. R.O.W. for the Collector^{to} street 'Primrose Ave.' on the North side of the proposed property. North side is the only way to have access into the property, and the owner just purchased that land from U.I.D. By giving up R.O.W. owner's purchase will be in vain. ^{Proposed} _{for church}

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

AG The proposed development is for a church, placing a major arterial road will put families in danger due to high volume traffic. This variance is necessary to preserve the safety of the children and families that will be assisting the church services

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

AG The variance will have no negative impact to public health, safety, or welfare or injurious to the legal rights of other property owners. The variance is being made to ensure that the safety of the public is a priority.

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

AG The development is going to be for a church, not a commercial business, the area surrounding it needs to be a safe place. Property is located along Taylor Rd. and is right next city limits of McAllen. Primrose cannot

continue west.

Reason for Appeal

City of McAllen
Planning Department
REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are not an eligible standing for a variance. Please submit for consideration and review any combination of the following: (If necessary, please use an additional page to complete responses)

**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

1,200 Block Length Variance

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

Variance request for allowance of the maximum block length to be 1,320 ft instead of 1,200 ft. There is a block connection at the east side of the property (N. 48th St) so there is no need for another block connector

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

The variance is necessary to keep the integrity of the proposed subdivision and surrounding subdivisions. There is a proposed N. 48th st at the 1320 ft mark on the East of the property.

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

The variance will not have a negative impact and will help the neighboring subdivision by keeping the street alignment of N. 48th St

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

There is a proposed N. 48th st on the west side of the property so that will serve as the block collector road



327

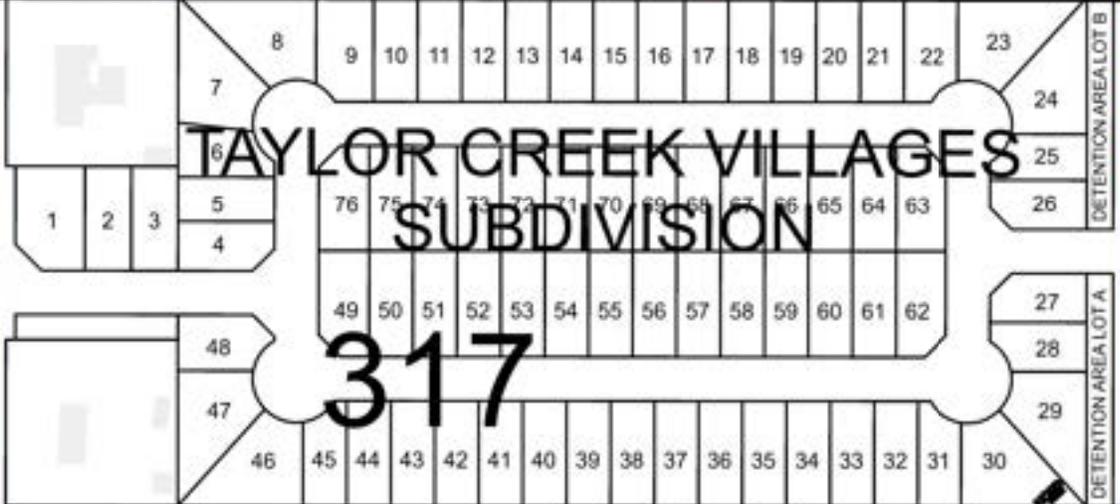
LOT 1
VICENTE SUBDIVISION

LOCATION



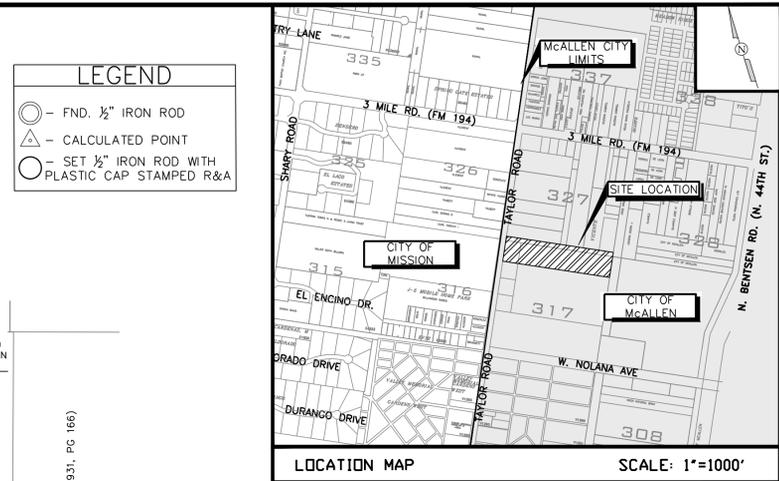
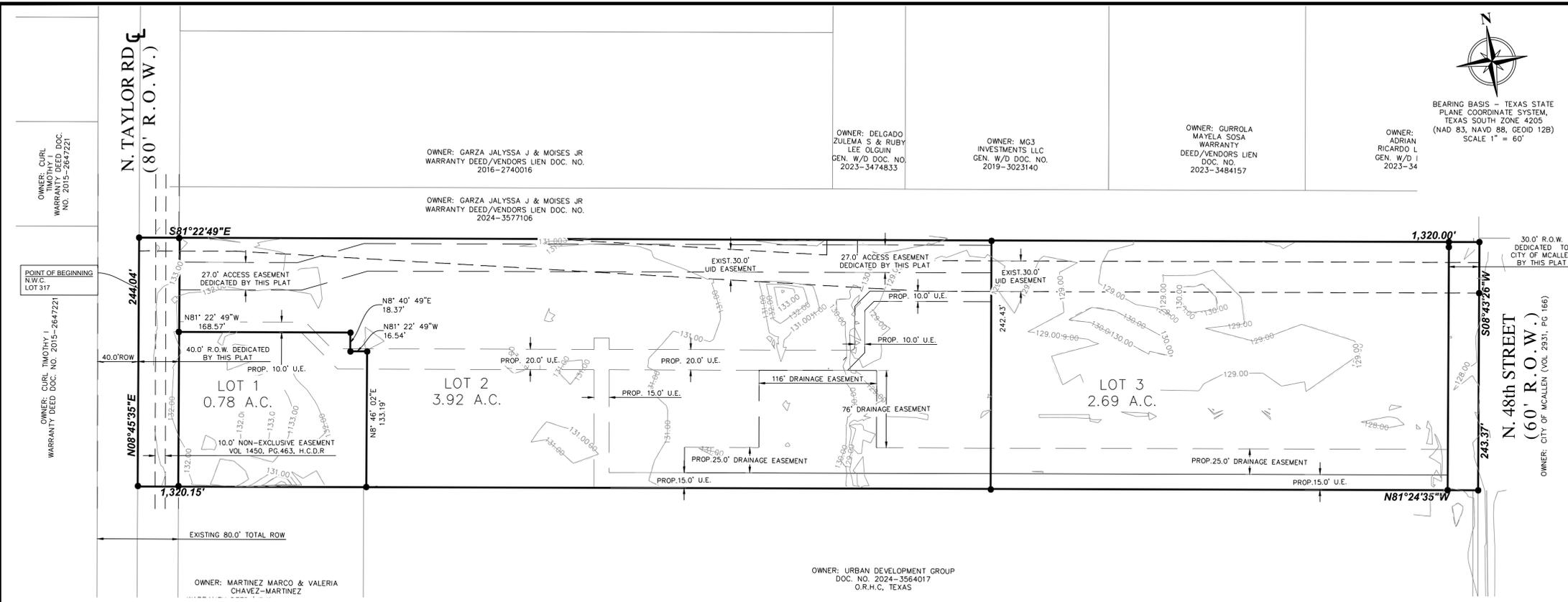
N TAYLOR RD

PROPOSED AMISTAD
MCALLEN SUBDIVISION



KREIDLER
MEMORIAL
CHAPEL

NOLANA AVE



- LEGEND**
- - FND. 1/2" IRON ROD
 - △ - CALCULATED POINT
 - - SET 1/2" IRON ROD WITH PLASTIC CAP STAMPED R&A
- GENERAL NOTES**
- FLOOD ZONE DESIGNATION: ZONE "B" AREAS BETWEEN LIMITS OF THE 100-YEAR AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE (1) SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. (MEDIUM SHADING) COMMUNITY-PANEL NUMBER 480334 0425 C MAP REVISED: NOVEMBER 16, 1982
 - MINIMUM FINISH FLOOR ELEVATION: 18" ABOVE THE TOP OF PAVEMENT.
 - MINIMUM BUILDING SETBACK LINES:
FRONT: 25.00' OR GREATER FOR EASEMENTS
SIDE: 6.00' OR GREATER FOR EASEMENTS
REAR: 10.00' OR GREATER FOR EASEMENTS
CORNER: 10.00' OR GREATER FOR EASEMENTS
 - NO BUILDING SHALL BE CONSTRUCTED OVER ANY EASEMENT OR LOT LINE.
 - A MINIMUM 4' SIDEWALK IS REQUIRED ALONG N. TAYLOR ROAD, N.48TH STREET, AND BOTH SIDES OF ALL INTERIOR STREETS.
 - ALL SUBDIVISION IMPROVEMENTS SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SW3P) REQUIRED AND T.P.D.E.S.
 - THIS SUBDIVISION SHALL BE REQUIRED TO DETAIN A TOTAL OF 30,073 CUBIC FEET (OR 0.6904 ACRE-FEET) OF DRAINAGE RUNOFF.
 - FOLLOW LANDSCAPE ORDINANCE AS PER CITY REQUIREMENTS.
 - 6FT OPAQUE BUFFER IS REQUIRED FROM ADJACENT/BETWEEN MULTIFAMILY RESIDENTIAL AND COMMERCIAL, OR INDUSTRIAL ZONE/USES, AND ALONG N. TAYLOR ROAD AND N. 48TH STREET.
 - 8FT MASONRY WALL REQUIRED FRO, ADJACENT/BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTIFAMILY RESIDENTIAL ZONE/USES
 - HOMEOWNERS ASSOCIATION SHALL MAINTAIN DETENTION AREAS, INCLUDING THE DETENTION POND.
 - THE DRAINAGE SWALES ARE PRIVATE AND SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION, SO THAT THE APPROVED DRAINAGE PLAN RETAINS ITS ENGINEERED INTEGRITY AND FUNCTIONALITY. SHOULD THE SWALES BE FILLED-IN WITHOUT ANY CITY ASSESSMENT/APPROVAL, THE CITY OF SAN JUAN SHALL ACTIVATE THE CODE ENFORCEMENT PROCESS TO REGAIN THE FUNCTIONALITY OF THE SWALE.
 - ALL GREEN SPACE LOCATED AT THE ENTRANCE OF THE SUBDIVISION AND WITHIN RIGHT-OF-WAYS, OUTSIDE OF PROPERTY LINES TO BE CLEAN AND MAINTAINED BY HOMEOWNERS ASSOCIATION.
 - ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
 - NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.
 - NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IN SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
 - NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG N. TAYLOR ROAD.
 - COMMON AREAS, ANY PRIVATE STREETS/DRIVES, GATE AREAS, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.

METES AND BOUNDS

A 7.385 TRACT OF LAND OUT OF 19.49 ACRES OUT OF LOT 317, JOHN H. SHARY SUBDIVISION, CITY OF McALLEN, HIDALGO COUNTY, TEXAS, AS PER MAP RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS OF HIDALGO COUNTY, TEXAS, SAID 19.49 ACRES ARE VESTED TO JIMMY K. JONES FROM H.P. TRUHE, JR. AND WIFE LOIS TRUHE BY VIRTUE OF A WARRANTY DEED WITH VENDOR'S LIEN DATED MARCH 16, 1977 RECORDED IN VOLUME 1527, PAGE 74, DEED RECORDS OF HIDALGO COUNTY, TEXAS AND 1.515 ACRE TRACT OF LAND OUT OF 3.03 ACRES OUT OF UNITED IRRIGATION DISTRICT CANAL RIGHT OF WAY BETWEEN LOT 317 AND LOT 327 (DOC NO. 2024-3529429). SAID 7.385 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS

COMMENCING IN THE NORTHWEST CORNER OF LOT 317, JOHN H. SHARY SUBDIVISION AND BEING THE CENTERLINE INTERSECTION OF NORTH TAYLOR ROAD AND BEING THE NORTHWEST CORNER OF THE SOUTH 50 FEET OF THE UNITED IRRIGATION DISTRICT FOOT CANAL RIGHT OF WAY (HAVING COORDINATE VALUES OF X = 1059201.3050 Y = 166665.7367 BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83) (FOUND IN DOC NO. 2024-3529429) FOR THE NORTHWEST CORNER OF THIS TRACT OF LAND AND THE POINT OF BEGINNING;

THENCE, SOUTH 81° 22' 49.01" EAST, ALONG THE SOUTH BOUNDARY OF THE NORTH 50 FEET OF THE UNITED IRRIGATION DISTRICT (FOUND IN DOC NO. 2024-3529429) A DISTANCE OF 39.41 FEET PASS AN UNFOUND IRON ROD CAPPED MEDINA AT THE APPARENT EAST RIGHT OF WAY LINE OF NORTH TAYLOR ROAD, CONTINUING FOR A TOTAL DISTANCE OF 1320 FEET TO A ROD SET (WITH A PLASTIC CAP STAMPED MEDINA) FOR THE NORTHEAST CORNER OF THIS TRACT OF LAND;

THENCE, SOUTH 08° 42' 33.39" WEST, ALONG THE EAST LINE OF SAID LOT 317 A DISTANCE OF 243.39 FEET TO A ROD SET (WITH A PLASTIC CAP STAMPED RGEC) FOR THE SOUTHEAST CORNER OF CORNER OF THIS TRACT OF LAND;

THENCE, SOUTH 81° 24' 17.47" EAST, ALONG THE SOUTH LINE OF SAID LOT 317, A DISTANCE OF 1281.80 FEET PASS A ROD SET (WITH A PLASTIC CAP STAMPED ASE5 4802) AT THE APPARENT EAST RIGHT OF WAY LINE OF NORTH TAYLOR ROAD, CONTINUING FOR A TOTAL DISTANCE OF 1320.09 TO A MAGNETIC NAIL SET AT THE CENTERLINE INTERSECTION OF NORTH TAYLOR ROAD FOR THE NORTHWEST CORNER OF THIS TRACT LAND;

THENCE, NORTH 8° 43' 51.17" EAST, ALONG THE WEST LINE OF SAID LOT 317, A DISTANCE OF 243.74 FEET TO THE POINT OF BEGINNING AND CONTAINING 7.385 ACRES OF LAND, MORE OR LESS.

**STATE OF TEXAS
COUNTY OF HIDALGO**

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.

RICARDO SALAZAR, P.E.
P.E. No. 125392
TBPELS FIRM REGISTRATION No. F-18526



**STATE OF TEXAS
COUNTY OF HIDALGO**

I, THE UNDERSIGNED, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.



PABLO SOTO JR., R.P.L.S.
R.P.L.S. No. 4541
TBPELS FIRM REGISTRATION No. F-20208

HIDALGO COUNTY IRRIGATION DISTRICT No. 2

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 2 ON THIS THE ____ DAY OF _____ 20__

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES AND BUILDINGS), SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT No. 2 RIGHTS OF WAY OR EASEMENTS.

ATTEST: SECRETARY

PRESIDENT _____

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT No. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE 49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

BY: _____ DATE: _____
GENERAL MANAGER
RAUL E. SESIN, P.E., C.F.M.

SHARYLAND WATER CORPORATION

I, CARLOS LIMA, HEREBY CONDITIONALLY CERTIFY THAT POTABLE WATER SERVICE IS AVAILABLE FOR THE AMISTAD McALLEN SUBDIVISION LOCATED AT CITY OF McALLEN, IN HIDALGO COUNTY TEXAS, SUBJECT TO THE SUBDIVISION POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DEVELOPERS DESIGN ENGINEER, ALL APPLICABLE RULES AND REGULATIONS OF SHARYLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE AND FEDERAL AGENCIES

DEVELOPER AND ITS DESIGN ENGINEER SHALL BE FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER SYSTEM IS CONSTRUCTED WITHIN THE DESIGNATED SHARYLAND WATER SUPPLY CORPORATION EXCLUSIVE EASEMENT

CARLOS LIMA _____ DATE _____

**CITY OF McALLEN
PLANNING & ZONING COMMISSION**

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORM TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRPERSON, PLANNING AND ZONING COMMISSION _____ DATE _____

**STATE OF TEXAS
COUNTY OF HIDALGO**

I, (WE) THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE AMISTAD McALLEN SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME(S) IS (ARE) SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, EASEMENTS, DRAINS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

AMISTAD McALLEN
DIRECTOR
ANTONIO E. DE LIZARDI
4120 N. TAYLOR ROAD
McALLEN, TEXAS 78504-4557
HIDALGO COUNTY

**STATE OF TEXAS
COUNTY OF HIDALGO**

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ANTONIO E. DE LIZARDI, KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20__.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS
MY COMMISSION EXPIRES _____

**CITY OF McALLEN
MAYOR CERTIFICATION**

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN _____ DATE _____

CITY SECRETARY _____ DATE _____

PRINCIPAL CONTACTS:

	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	AMISTAD McALLEN	4120 N. TAYLOR RD	McALLEN, TEXAS 78504	(956) _____	_____
ENGINEER:	RICARDO SALAZAR, P.E.	1103 N RAUL LONGORIA RD.	SAN JUAN, TEXAS 78589	(956) 688-8860	_____
SURVEYOR:	PABLO SOTO JR.	1206 S. IRONWOOD	PAHRR, TEXAS 78577	(956) 782-8277	_____

**AMISTAD McALLEN
SUBDIVISION**

A 7.39 ACRE (321,908.40 SQ. FT.) GROSS, 7.39 ACRE (321,908.40 SQ. FT.) NET, MORE OR LESS TRACT OF LAND OUT OF 19.49 ACRES OUT OF LOT 317, JOHN SHARY SUBDIVISION, CITY OF McALLEN, HIDALGO COUNTY, TEXAS, AS PER MAP RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS OF HIDALGO COUNTY, TEXAS.



TBPELS FIRM REGISTRATION No. F-18526

1103 N. RAUL LONGORIA RD., BLDG C
SAN JUAN, TEXAS 78589
(956) 688-8860

DATE OF PREPARATION: DECEMBER 9, 2025



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/29/2026

SUBDIVISION NAME: AMISTAD MCALLEN SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>N. Taylor Rd. - Dedication for 40 ft. from centerline for 80 ft. Total R.O.W. Paving: 52 B-B Curb & gutter: Both Sides Revisions Needed: - Please add/separate your labels to show the following: Existing R.O.W., Total R.O.W., Total R.O.W. after dedication, etc. - Disclaimer: Please clarify any existing easements that are being shown inside of the R.O.W. and provide Documents for Staff review prior to final. - Disclaimer: Abandonment of easements cannot be done by plat, must be done by a separate instrument/document. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final. **COM Thoroughfare Plan"</p>	Non-compliance
<p>N. 48th St.: 30 ft. of R.O.W. dedication required for 60 ft. of R.O.W. Paving: 40 ft. Curb & gutter: Both Sides Revisions Needed: - Disclaimer: Abandonment of easements cannot be done by plat, must be done by a separate instrument/document. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan"</p>	Required
<p>Primrose Ave. - *35 ft. of dedication needed for 70 ft. of R.O.W.* Paving: 44 ft. Curb & gutter: Both Sides *Disclaimer: As per our discussions & management decisions from the meeting of December 5, 2025, Primrose Ave. will no longer be required to be dedicated. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan"</p>	NA
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>* 1,200 ft. Block Length. *The Engineer submitted a Variance application (VAR2025-0009) for the Block length for the meeting of March 21, 2025. As per discussions with the Engineer & City of McAllen, Access Easement proposed for connection to Lot 3. **Subdivision Ordinance: Section 134-118</p>	TBD
<p>* 900 ft. Block Length for R-3 Zone Districts. **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	NA

ALLEYS	
R.O.W.: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties. **Subdivision Ordinance: Section 134-106	NA
SETBACKS	
Lot 1: * Front: 25 ft. or greater for easements, whichever is greater applies. Lots 2&3: * Front: In Accordance with the Zoning Ordinance or greater for easements. Revisions Needed: -Needs to add setbacks as shown above prior to final. **Zoning Ordinance: Section 138-356	Non-compliance
Lot 1: * Rear: 10 ft. or greater for easements, whichever is greater applies. Lots 2&3: * Rear: In Accordance with the Zoning Ordinance or greater for easements. Revisions Needed: -Needs to add setbacks as shown above prior to final. **Zoning Ordinance: Section 138-356	Non-compliance
Lot 1: * Sides: 6 ft. or greater for easements, whichever is greater applies. Lots 2&3: * Sides: In Accordance with the Zoning Ordinance or greater for easements. Revisions Needed: -Needs to add setbacks as shown above prior to final. **Zoning Ordinance: Section 138-356	Non-compliance
Lot 1: * Corner: 10 ft. or greater for easements, whichever is greater applies. Lots 2&3: * Rear: In Accordance with the Zoning Ordinance or greater for easements. Revisions Needed: -Needs to add setbacks as shown above prior to final. **Zoning Ordinance: Section 138-356	Non-compliance
Lot 1: * Garage: 18 ft. except where greater setback is required, greater setback applies. -Add the plat note as shown above prior to final. **Disclaimer: Only applies to Residential lot 1. **Zoning Ordinance: Section 138-356"	Non-compliance
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* A 4 ft. wide minimum sidewalk required on N. Taylor Rd. & N. 48th St. Revisions Needed: - Needs to add plat note as shown above prior to final. *Disclaimer: As per our discussions & management decisions from the meeting of December 5, 2025, Primrose Ave. will no longer be required to be dedicated. **Disclaimer: Sidewalk requirements may increase to 5 ft. prior to recording per Engineering Department requirements, finalize prior to Final. ***Subdivision Ordinance: Section 134-120	Non-compliance
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. - Plat submitted on March 20, 2025 proposes: "6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along N. Taylor Rd. & N. 48th Street." **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	Applied

*Perimeter buffers must be built at time of Subdivision Improvements.	Required
NOTES	
* No curb cut, access, or lot frontage permitted along N. Taylor Rd. **Must comply with City Access Management Policy	Applied
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	NA
* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.	Applied
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
LOT REQUIREMENTS	
* Lots fronting public streets. * Lots cannot be landlocked, access to a public street is required. * Lot 3 Proposes connection to street through a 27.0 ft. Access Easement that travels from West to East. Need to provide staff with a Variance for Lot 3 to use access easement in lieu of an 'existing' public street. **Subdivision Ordinance: Section 134-1	Non-compliance
* Minimum lot width and lot area. **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing: R-1 (Single-Family Residential District) & A-O (Agricultural and Open Space District) Proposed: Institutional Use * Disclaimer: For a church, you will need to submit an application for a Conditional Use Permit (CUP) that will need to be reviewed by the Planning & Zoning Commission and by the City Commission. ***Zoning Ordinance: Article V	Compliance
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA
PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Park Fee applies to Residential properties, for a 1 Lot residential property, fee would be \$700.00	Required
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
TRAFFIC	

<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</p>	<p>Required</p>
<p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	<p>TBD</p>
<p>COMMENTS</p>	
<p>Comments: - Update location map with an updated hidalgo county parcel maps, add the recorded subdivisions surrounding it (i.e. Taylor Creek Villages, etc.). - Clarify the overlap of easements into the R.O.W. * To be presented at the April 22, 2025 Planning & Zoning Meeting. - Need to verify Metes & Bounds that it matches with the Bearings and Distances on the Plat, there are some sections that are different. - Need to add 'crows-feet' wherever applicable, as per Metes and Bounds. - Need to correct the Planning & Zoning Commission chairman's Signature Block with correct wording, it should read;</p> <hr/> <p>Chairman, Planning & Zoning Commission DATE</p> <p>- On the City Mayor's Signature block, you can remove the signature line for the City Secretary, this part is not required. - Please verify the acreage being mentioned in the legal description, it refers to 7.385 acres on the metes and bounds, and under the title it refers to 7.9 acres. - For the R.O.W. line dedication being proposed, modify the lineweights so that it differs from the lineweight for the Subdivision boundary line, line should be easily differentiable from one another. - Verify Bearings and Metes and Bounds, initial survey provided shows different bearings, these bearings do not match what's being shown on the plat. - Verify and revise Bearings on the Metes and Bounds to match what is shown on the plat, boundaries to reflect distances and bearings. * Disclaimer: At the Planning & Zoning Commission meeting of February 18, 2025, subdivision was approved in Preliminary Form subject to conditions noted, drainage & utilities approvals. *Any variances that may be requested must be finalized prior to final and will establish additional requirements as needed prior to finalizing the plat. * Disclaimer: For a church, you will need to submit an application for a Conditional Use Permit (CUP) that will need to be reviewed by the Planning & Zoning Commission and by the City Commission. * Disclaimer: You may want to verify the signature block of the Irrigation district, it mentions H.C.I.D. #2 however on the plat notes it mentions United Irrigation (U.I.D.) as the Irrigation district. * Disclaimer: Any abandonment of easements must be done by a separate instrument/document, cannot be abandoned by plat. **Must comply with City's Access Management Policy and access spacing as specified by the Traffic Department ***Additional notes as needed prior to final regarding maintenance responsibilities of any common areas. ****Must comply with Fire, Public Works and other departments as may be applicable at time of Conditional Use Permit review, including site plan requirements related to the C.U.P.</p>	<p>Non-compliance</p>
<p>RECOMMENDATION</p>	
<p>RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE & UTILITIES APPROVAL.</p> <p>*DEPARTMENT STAFF DID NOT OBJECT TO THE REQUESTED VARIANCE TO NOT PROVIDE FOR PRIMROSE AVE.</p>	<p>Required</p>



327

LOCATION

VICENTE SUBDIVISION

N TAYLOR RD

PROPOSED AMISTAD
MCALLEN SUBDIVISION

TAYLOR CREEK VILLAGES
SUBDIVISION

317

KREIDLER
MEMORIAL
CHAPEL

NOLANA AVE

RUSH DR

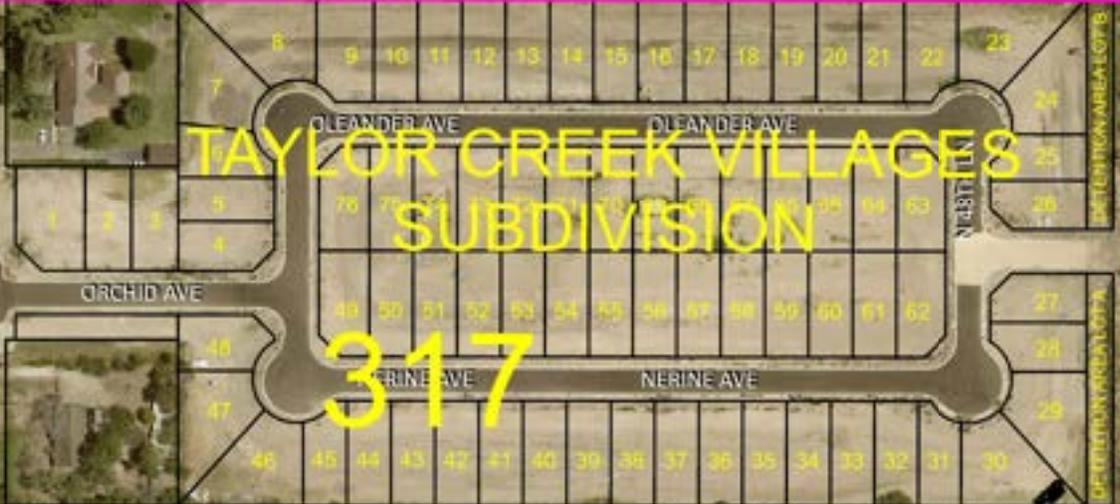
N TAYLOR RD

LOT 1

N 48TH ST

N 48TH ST

N 48TH ST



SUB 2025-0107

City of McAllen Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Zuma Subdivision</u>	
	Legal Description <u>Lot 286 Bentsen Groves Subdivision, Add "C" Vol. 7. Pg. 30</u>	
	Location <u>Southwest corner of Bentsen Palm Drive and West Mile 7 Rd.</u>	
	City Address or Block Number <u>11001 N Bentsen Palm Dr</u>	
	Total No. of Lots <u>13</u> Total Dwelling Units <u>N/A</u> Gross Acres <u>9.98</u> Net Acres <u>7.28</u>	
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No	
	For Fee Purposes: <input checked="" type="checkbox"/> Commercial (<u> </u> Acres) / <input type="checkbox"/> Residential (<u> </u> Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	Existing Zoning <u>N/A</u> Proposed Zoning <u>N/A</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date <u> </u>	
	Existing Land Use <u>Vacant / res</u> Proposed Land Use <u>commercial</u>	
	Irrigation District # <u>2</u> Water CCN: <input type="checkbox"/> MPU / <input checked="" type="checkbox"/> Sharyland Water SC Other <u> </u>	
Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # <u>2499177</u>		
Estimated Rollback Tax Due <u>\$ 0.00</u> Tax Dept. Review <u> </u>		
Owner	Name <u>Zuma Development Co., LLC</u> Phone <u>956-792-8060</u>	
	Address <u>400 N. Cage Blvd.</u> E-mail <u>backofficeaccountant@gmail.com</u>	
	City <u>Pharr</u> State <u>TX</u> Zip <u>78577</u>	
Developer	Name <u>Zuma Development Co., LLC</u> Phone <u>956-792-8060</u>	
	Address <u>400 N. Cage Blvd.</u> E-mail <u>backofficeaccountant@gmail.com</u>	
	City <u>Pharr</u> State <u>TX</u> Zip <u>78577</u>	
	Contact Person <u>Juan Garcia</u>	
Engineer	Name <u>CHLH Engineering, LLC</u> Phone <u>956-687-5560</u>	
	Address <u>701 S. 15th Street</u> E-mail <u>cloro@chlhengineering.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>	
	Contact Person <u>Cloromiro Hinojosa Jr, P.E.</u>	
Surveyor	Name <u>Rio Delta Engineering</u> Phone <u>956-380-5152</u>	
	Address <u>921 S. 10th Ave.</u> E-mail <u>ivan@riodeltaengineering.com</u>	
	City <u>Edinburg</u> State <u>TX</u> Zip <u>78539</u>	

RECEIVED
 JUL 22 2025
 By OC

VAR 2025-0037



City of McAllen

311 North 15th Street
McAllen, TX 78501
P. O. Box 220

Planning Department VARIANCE TO SUBDIVISION PROCESS APPLICATION

McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project	Legal Description	Lot 286, Bentsen Groves Subdivision Addition "C", Hidalgo County, Texas volume 7, page 30, Map records in Hidalgo County			
	Street Address	11001 N. Bentsen Palm Drive			
	Number of lots	13	Gross acres	8.49	
	Existing Zoning	Agriculture	Existing Land Use	Commercial	
	<input type="checkbox"/> Current Survey and Metes and Bounds (if the legal description of the tract is a portion of a lot) is required				
Applicant	Name	Cloromiro Hinojosa Jr., P.E.		Phone	956-222-5423
	Address	701 S. 15th Street		E-mail	cloro@chlengineering.com
	City	McAllen	State	Texas	Zip
Owner	Name	Zuma Development Company (Juan F. Garcia)		Phone	(956) 792-8060
	Address	PO Box 638		E-mail	
	City	Pharr	State	Texas	Zip
Authorization	To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No				
	I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.				
	Signature	<i>Juan F. Garcia</i>		Date	9-18-2025
	Print Name	Juan F. Garcia		<input checked="" type="checkbox"/> Owner	<input type="checkbox"/> Authorized Agent
	[President and Owner of Zuma Development Company, LLC]				
Office	*FOR OFFICE USE ONLY*				
	APPLICATION FILING FEE:	<input checked="" type="checkbox"/> \$250.00	02/13/23 from Previous Case.		RECEIVED
	Accepted by	J.C.	Payment received by		Date
	Rev 06/21				SEP 22 2025
					BY: <i>MK</i>



City of McAllen

Planning Department

REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: *(If necessary, please use an additional page to complete responses)*

**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

Variance to omit the street required at the 1,200 ft block length requirement and N/S collector (1/4 Mile Location)

These streets would not ever extend past this subdivision. The property south has building structures at this location. (residential)

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

The streets are not needed because it would not be used beyond the subdivision and these lots are all fronting Mile 7 Road.

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

The owners will have access to their lots from Mile 7 Road.

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

The subdivision to the south has no streets that would connect to these streets.

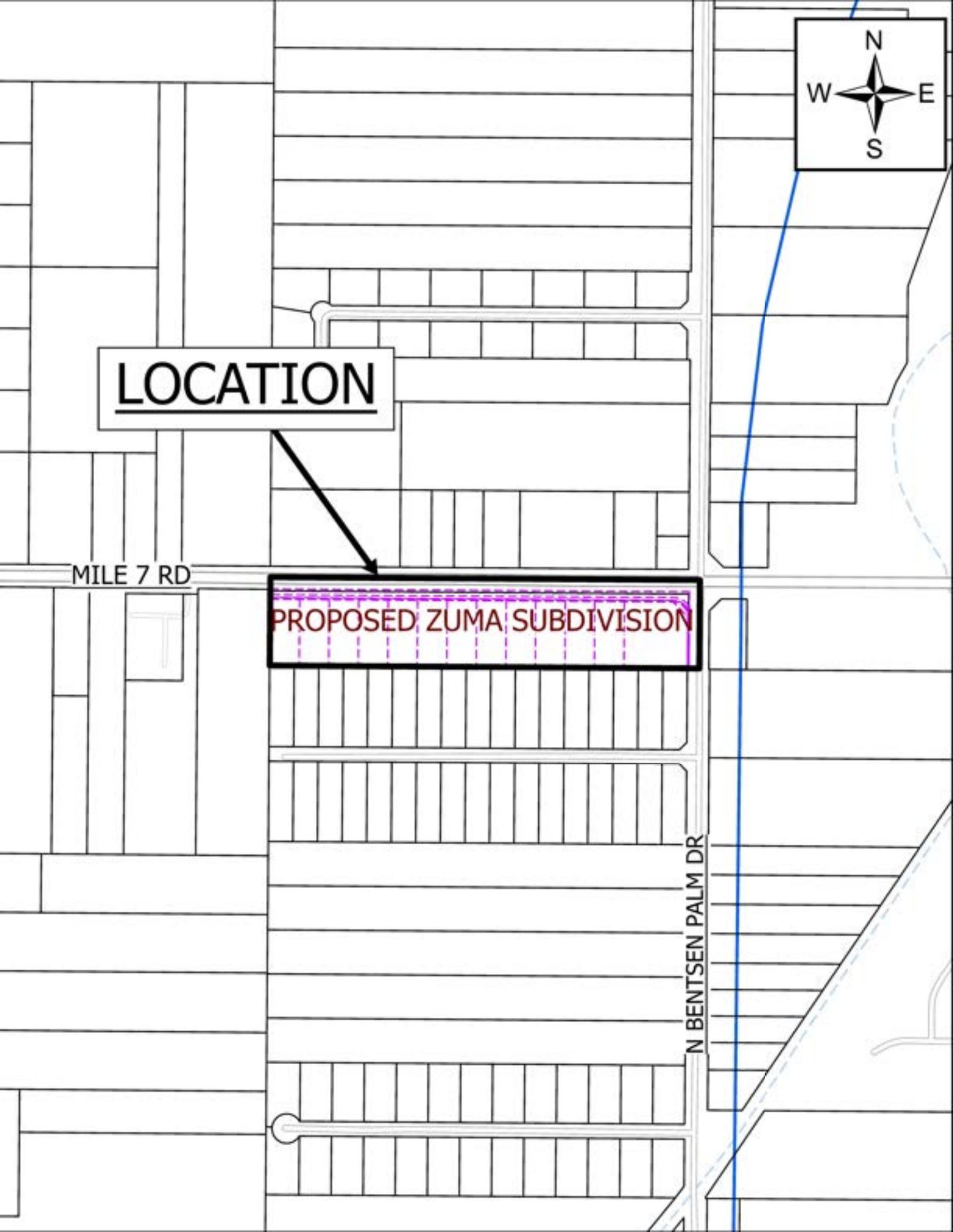


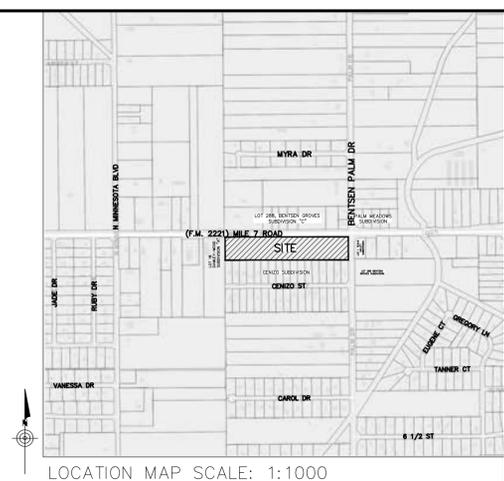
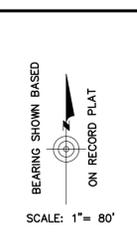
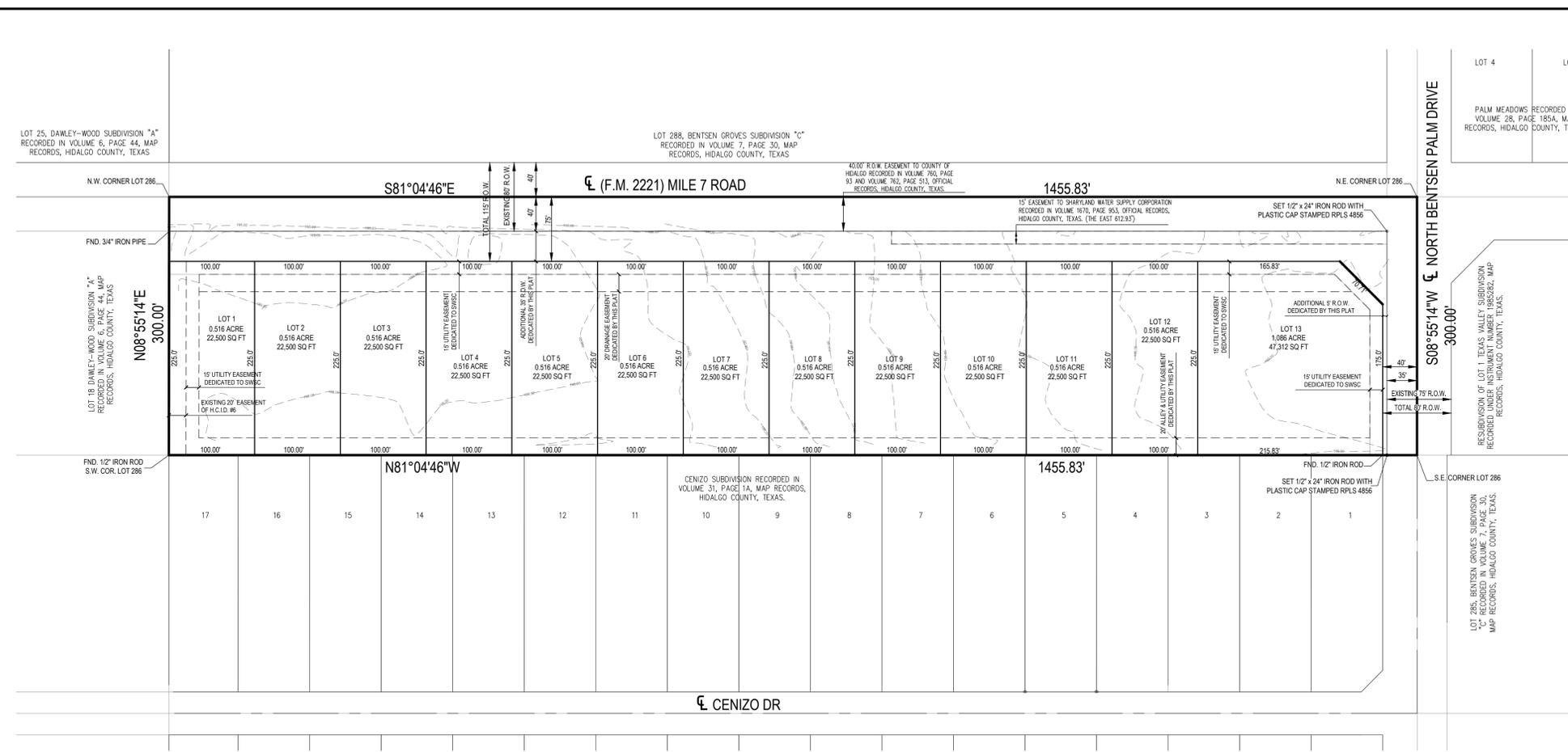
LOCATION

PROPOSED ZUMA SUBDIVISION

MILE 7 RD

N BENTSEN PALM DR





SUBDIVISION MAP OF ZUMA SUBDIVISION
 LOT 286, BENTSEN GROVES SUBDIVISION ADDITION "C", HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 7, PAGE 30, MAP RECORDS, HIDALGO COUNTY

- GENERAL PLAT NOTES:**
- MINIMUM FINISH FLOOR ELEVATION SHALL BE 16" ABOVE TOP OF CURB MEASURED AT FRONT CENTER OF EACH LOT.
 - THIS SUBDIVISION IS IN ZONE "X" AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN, COMMUNITY-PANEL NUMBER 480334 0280 D, MAP REVISED: JUNE 5, 2000
 - MINIMUM BUILDING SETBACK SHALL BE AS FOLLOWS:
 FRONT MILE 7 ROAD (F.M. 2221): 10 FT OR GREATER FOR EASEMENTS
 REAR: 10 FT OR GREATER FOR EASEMENTS
 CORNER: 10 FT OR GREATER FOR EASEMENTS
 INTERIOR SIDE: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS.
 - A TOTAL OF 0.4 ACRE FEET OF DETENTION IS REQUIRED (0.4 C.F. PER LOT) FOR THIS SUBDIVISION AND AN ENGINEERED DRAINAGE DETENTION PLAN APPROVED BY THE ENGINEERING DEPT. IS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.
 - THE CITY OF MCALLEN TO HAVE A 25'x25' CORNER CLIP EASEMENT AT ALL STREET INTERSECTIONS MEASURED FROM THE CURB.
 - 6 FT OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, OR INDUSTRIAL ZONES/USES.
 - NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG.
 - BENCHMARK CHISEL MARK ON TOP OF CURB ELEV. =
 - ALL BUFFERS MUST BE ON PRIVATE PROPERTY AND MAINTAINED BY THE LOT OWNERS ADJACENT TO BUFFER/FENCE.
 - LOT OWNERS OR BUILDERS SHOULD CONTACT IRR. DIST. No. 2 FOR EXACT LOCATION OF THEIR LINE BEFORE COMMENCING CONSTRUCTION.
 - COMMON AREAS, ANY PRIVATE DRIVES, GATE AREAS, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF MCALLEN.
 - 4 FT WIDE MINIMUM SIDEWALK REQUIRED ALONG MILE 7 ROAD, NORTH BENTSEN PALM DRIVE
 - 8 FT MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.

STATE OF TEXAS
 COUNTY OF HIDALGO

I (WE) THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE ZUMA SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

ZUMA DEVELOPMENT COMPANY LLC
 4000 N. CAGE BLVD. SUITE A, PHARR, TX 78577

STATE OF TEXAS
 COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED
 KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, 20__.

NOTARY PUBLIC
 HIDALGO COUNTY, TEXAS

NOTARY PUBLIC

CERTIFICATION OF THE MAYOR OF THE CITY OF MCALLEN, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN DATE:

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHERE IN MY APPROVAL IS REQUIRED

CHAIRMAN, PLANNING AND ZONING COMMISSION DATE:

HIDALGO COUNTY
 CERTIFICATE OF PLAT APPROVAL
 UNDER LOCAL GOVERNMENT CODE 232.028(g)

WE THE UNDERSIGNED CERTIFY THAT THIS PLAT OF ZUMA WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON _____

HIDALGO COUNTY JUDGE DATE _____

ATTEST: HIDALGO COUNTY CLERK DATE _____

I, _____, COUNTY CLERK OF HIDALGO, CERTIFY THAT THE PLAT BEARING THIS CERTIFICATE WAS FILED FOR RECORD AT _____ O'CLOCK ON _____ AND WAS RECORDED IN BOOK _____ SHEET(S) _____ THE PLAT RECORDS OF HIDALGO COUNTY AT _____ O'CLOCK ON _____

I, SHERILYN DAHLBERG, HEREBY CONDITIONALLY CERTIFY THAT POTABLE WATER SERVICE IS AVAILABLE FOR THE ZUMA SUBDIVISION LOCATED AT CITY OF MCALLEN IN HIDALGO COUNTY, TEXAS, SUBJECT TO THE SUBDIVISION'S POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DEVELOPER'S DESIGN ENGINEER, ALL APPLICABLE RULES AND REGULATIONS OF SHARYLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE, AND FEDERAL AGENCIES.

DEVELOPER AND ITS DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER SYSTEM IS CONSTRUCTED WITHIN THE DESIGNATED SHARYLAND WATER SUPPLY CORPORATION EXCLUSIVE EASEMENT.

SHERILYN DAHLBERG DATE _____
 GENERAL MANAGER
 SHARYLAND WATER SUPPLY CORPORATION

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 6 ON THIS, THE _____ DAY OF _____, 20__.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT #6 RIGHTS OF WAYS OR EASEMENTS.

PRESIDENT ATTEST SECRETARY

APPROVED BY DRAINAGE DISTRICT:
 HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(G). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

PAUL E. SESIN, P.E., C.F.M. DATE _____
 GENERAL MANAGER

STATE OF TEXAS
 COUNTY OF HIDALGO

I, (SURVEYOR), REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MCALLEN, TEXAS.

DATED THIS THE _____ DAY OF _____, 20__.

REGISTERED PROFESSIONAL SURVEYOR (SEAL)
 IVAN GARCIA
 REGISTERED PROFESSIONAL PUBLIC SURVEYOR No. 6496
 921 SOUTH 10TH AVENUE EDINBURG, TEXAS 78539
 (956) 380-5152

No. _____ STATE OF TEXAS.

STATE OF TEXAS
 COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

REGISTERED PROFESSIONAL ENGINEER (SEAL)
 CLOROMIRO HINOJOSA, JR.
 CHLH ENGINEERING LLC
 701 S. 15TH STREET, MCALLEN, TX 78501
 (TEL)956-687-5560 (CELL)956-222-5423

No. _____ STATE OF TEXAS.

CHLH ENGINEERING, LLC
 TBPE FIRM No. F-8719
 701 S. 15TH STREET MCALLEN, TX 78501
 (956) 687-5560 (956) 687-5561 FAX
 DATE OF REVISION: DECEMBER 2, 2025

PRINCIPAL CONTACTS	ADDRESS	PHONE
OWNER: ZUMA DEVELOPMENT COMPANY LLC	4000 N. CAGE BLVD. SUITE A, PHARR, TX 78577	
ENGINEER: CHLH ENGINEERING LLC	701 S. 15TH STREET, MCALLEN, TX 78501	(956) 687-5560
SURVEYOR: RIO DELTA SURVEYING	24593 FM 88 MONTE ALTO TEXAS	(956) 262-0222



ON: _____ AT _____ AM/PM
 INSTRUMENT NUMBER _____
 OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
 BY: _____ DEPUTY



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/29/2026

SUBDIVISION NAME: ZUMA SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>Mile 7 Road (F.M. 2221): 35ft. of dedication for 75ft. from centerline for 150 ft. total R.O.W. Paving 65 ft. to 105 ft. Curb & gutter: Both Sides Revisions Needed: - Revise street name as shown above prior to final. - Clarify if any issues with Easement to Sharyland Water Supply Corporation overlapping with required ROW dedications & provide document for staff review prior to final. - Clarify 40.00' R.O.W. easement to County with staff, provide document for staff review prior to final. - Need to label the "Total R.O.W." after accounting for the dedication from center line, prior to final. Label as "Total", prior to final. - Boundary of Subdivision seems to extend up to the Centerline on the Survey, clarify on the plat prior to final. - Clarify all the bold lines being shown on Mile 7 Road, need to provide 'Housekeeping' - Abandonment of easements cannot be done by plat, must be done by a separate instrument/document. **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan **Monies must be escrowed if improvements are not constructed prior to recording.</p>	Non-compliance
<p>North Bentsen Palm Drive: 5 ft. of dedication for 40 ft. from centerline for 80 ft. total R.O.W Paving: 52 ft. Curb & gutter: Both Sides Revisions Needed: - Revise street name as shown above prior to final. - Clarify the dimensions on the plat, plat shows existing 70 ft. of R.O.W. and provides an "Additional 5' R.O.W. dedication," however, there is an arrow dimension of 80 ft. being shown, so where did the extra 5 ft. of R.O.W. come from? - Need to label the "Total R.O.W." after accounting for dedication from center line prior to final. - Clarify the multiple bold lines being shown on N. Bentsen Palm Drive, need to provide 'Housekeeping' **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan **Monies must be escrowed if improvements are not constructed prior to recording.</p>	Non-compliance
<p>N/S collector Street (Western Boundary 1/4 Mile Location): Dedication as needed for 30 ft. from centerline for 60 ft. total R.O.W. Paving: 40 ft. Curb & gutter: Both Sides. - Please clarify the R.O.W. area shown on the plat. - Need to provide an Area map to verify for street alignments/offsets. **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan **Monies must be escrowed if improvements are not constructed prior to recording."</p>	Non-compliance
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>* 1,200 ft. Block Length. *Subdivision layout submitted on July 22, 2025 does not comply with the 1,200 ft. block length</p>	Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>requirement, plat submitted shows an approximate 1,455.83' block length. ***Subdivision Ordinance: Section 134-118</p> <p>* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118</p> <p>* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	<p></p> <p>NA</p> <p>NA</p>
<p>ALLEYS</p>	
<p>R.O.W.: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial, industrial, and multi-family properties. Revisions Needed: - Proposing for alley or service drive easement South of the plat. Alley or service drive easement cannot dead-end. **Private Access Service Drive Easement must be minimum 24 ft. and in compliance with Fire and Public Works Department requirements. **Subdivision Ordinance: Section 134-106</p>	<p>Required</p>
<p>SETBACKS</p>	
<p>* Front Mile 7 Road (F.M. 2221):Proposing 10 ft. or greater for easements. Pending Items: -Setbacks must be established prior to final, once annexation status has been clarified, property currently in ETJ. Note wording subject to change once annexation status has been clarified. If proposed to remain in ETJ coordinate with County regarding setback requirements, the greater would apply. Finalize wording for note prior to final. **If annexed change front setback note to: In accordance with zoning ordinance, or greater for easements or approved site plan, or in line with average setback, whichever is greater applies. ****Zoning Ordinance: Section 138-356</p>	<p>Non-compliance</p>
<p>*Rear: Proposing 10 ft. or greater for easements. Pending Items: -Setbacks must be established prior to final, once annexation status has been clarified, property currently in ETJ. Note wording subject to change once annexation status has been clarified. If proposed to remain in ETJ coordinate with County regarding setback requirements, the greater would apply. Finalize wording for note prior to final. **If annexed change rear setback note to: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. ***Zoning Ordinance: Section 138-356</p>	<p>Non-compliance</p>
<p>* Interior Sides: Proposing: In accordance with the zoning ordinance or greater for easements. Pending Items: -Setbacks must be established prior to final, once annexation status has been clarified, property currently in ETJ. Note wording subject to change once annexation status has been clarified. If proposed to remain in ETJ coordinate with County regarding setback requirements, the greater would apply. Finalize wording for note prior to final. **If annexed change side setback note to: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. ***Zoning Ordinance: Section 138-356</p>	<p>Non-compliance</p>
<p>* Corner: Proposing 10 ft. or greater for easements. Pending Items: -Setbacks must be established prior to final, once annexation status has been clarified, property currently in ETJ. Note wording subject to change once annexation status has been clarified. If proposed to remain in ETJ coordinate with County regarding setback requirements, the greater would apply. Finalize wording for note prior to final. **If annexed change corner setback note to: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. ***Zoning Ordinance: Section 138-356</p>	<p>Non-compliance</p>
<p>* Garage: Proposed Commercial Development. **Zoning Ordinance: Section 138-356</p>	<p>NA</p>

*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 4 ft. wide minimum sidewalk required along Mile 7 Road ,North Bentsen Palm Drive and N/S collector street. Pending Revisions Needed: -Finalize wording for note prior to final. ***Sidewalk requirements might increase to 5 ft. prior to final as per Engineering Department requirements. **Subdivision Ordinance: Section 134-120	Non-compliance
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. ***Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Revisions Needed: -Include note as shown above prior to final. ***Landscaping Ordinance: Section 110-46	Non-compliance
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
NOTES	
* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy	Applied
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Revisions Needed: -Please remove plat note #15 prior to final, as it is a requirement not a required plat note.	Non-compliance
* Common Areas, any private drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Pending Items: -Note wording for note#11 must be finalized prior to final, once subdivision requirements have been finalized.	Required
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Revisions Needed: -Please remove plat note #12 prior to final, as it is a requirement not a required plat note. - Clarify if each lot will be able to meet their individual requirements as noted above, additional requirements may be required once clarified, finalize prior to final.	Non-compliance
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if subdivision is proposed to be public. **Section 134-168 applies if subdivision is proposed to be private. Pending Items: -Clarify note #13 as this a commercial development, remove plat note prior to final. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	No
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Homeowner's Association Covenants must be submitted for staff review, prior to recording.	No

<p>***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. Pending Items: -Clarify note #14 as this a commercial development, remove plat note prior to final. *****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168</p>	
<p>LOT REQUIREMENTS</p>	
<p>* Lots fronting public streets. **Subdivision Ordinance: Section 134-1</p>	<p>Compliance</p>
<p>* Minimum lot width and lot area. **Zoning Ordinance: Section 138-356</p>	<p>Compliance</p>
<p>ZONING/CUP</p>	
<p>* Existing: ETJ Proposed: Commercial **If annexation is proposed, process must be finalized prior to final along with initial zoning process. ***Zoning Ordinance: Article V</p>	<p>Applied</p>
<p>* Rezoning Needed Before Final Approval **If annexation is proposed, process must be finalized prior to final along with initial zoning process. ***Zoning Ordinance: Article V</p>	<p>Applied</p>
<p>PARKS</p>	
<p>* Land dedication in lieu of fee. As per Parks Department, proposed land use is commercial. Commercial developments do not apply to Parks.</p>	<p>NA</p>
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, proposed land use is commercial. Commercial developments do not apply to Parks.</p>	<p>NA</p>
<p>* Pending review by the City Manager's Office. As per Parks Department, proposed land use is commercial. Commercial developments do not apply to Parks.</p>	<p>NA</p>
<p>TRAFFIC</p>	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</p>	<p>Non-compliance</p>
<p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	<p>TBD</p>
<p>COMMENTS</p>	
<p>Comments: - Subdivision is missing the 'Metes and Bounds,' needs to be shown on the plat. - Subdivision is missing the 'Legend Table,' needs to be shown on the plat. - In addition to preparation date, please include revision dates as changes are being made, where applicable. - Pending parcel information for area located on the South-West portion of the Plat. - On the Location map, add an arrow annotation that reads "SITE", use the parcel maps, make the street names bigger, add recorded subdivisions information, add the North arrow. - Survey Bearings and Distances does not match what is shown on the plat, please clarify this discrepancy. If required, will need to provide an updated survey. Need to add Metes & Bounds to the Plat. -Document for the West Portion of the Property regarding the Existing Irrigation Easement received. * Previous Subdivision Case was (SUB2022-0048)&(SUB2023-0016). Resubmitted due to conclusion of 6-Month extension. *Disclaimer: Any abandonments must be done by a separate process, cannot be done by plat. * Must comply with City's Access Management Policy.</p>	<p>Non-compliance</p>

RECOMMENDATION	
<p>RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE & UTILITIES APPROVAL.</p> <p>**AT THE REQUEST OF THE ENGINEER, THE ENGINEER SUBMITTED TWO (2) VARIANCE REQUESTS:</p> <ol style="list-style-type: none">1. VARIANCE TO THE BLOCK LENGTH2. VARIANCE TO NOT DEDICATE FOR THE N/S COLLECTOR STREET - IRRIGATION DISTRICT DOCUMENT NO. PROVIDED <p>PENDING THE BOARDS CLARIFICATION ON THE REQUESTED VARIANCE.</p>	Applied



LOCATION

PROPOSED ZUMA SUBDIVISION

MILE 7 RD

MYRA DR

MYBA DR

CENIZO ST

CENIZO ST

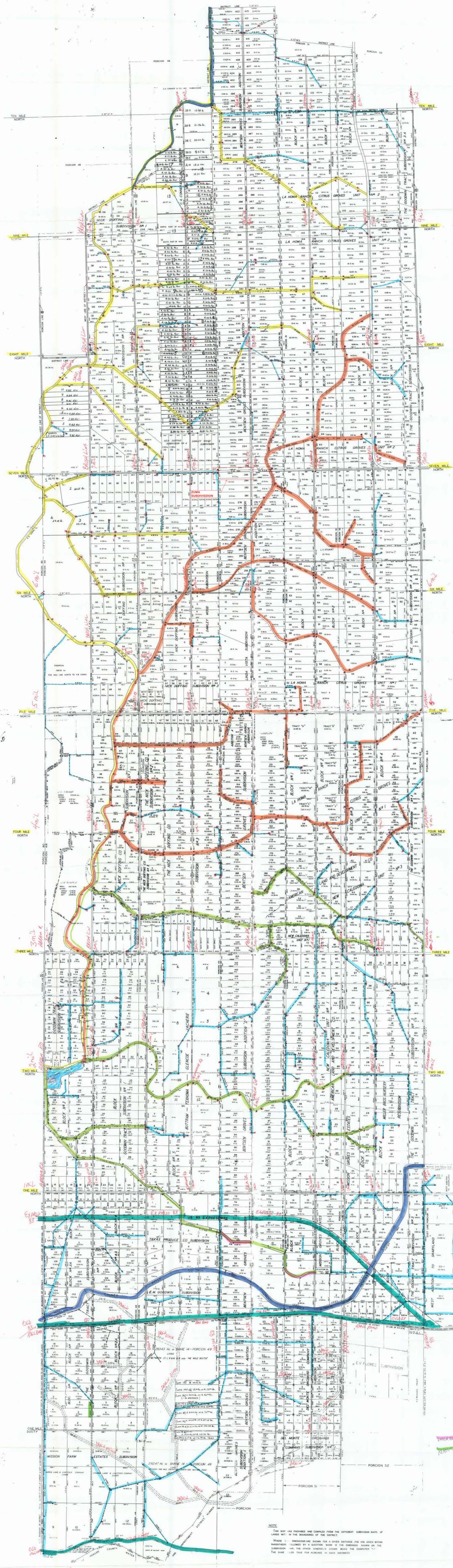
CAROL DR

CAROL DR

N BENTSEN PALM DR

TANNER CT

FM 2221



NOTE

THIS MAP HAS BEEN PREPARED AND COMPILED FROM THE DIFFERENT SUBDIVISION MAPS OF LANDS WITH IN THE BOUNDARIES OF THE DISTRICT.

WHERE DIMENSIONS ARE SHOWN FOR A GIVEN DISTANCE, THE ONE GREEN WITHIN PARENTHESES FOLLOWED BY A QUESTION MARK IS THE DIMENSION SHOWN ON THE SUBDIVISION MAP, THE OTHER DIMENSION(S) SHOWN BEING THE COMPUTED DIMENSION(S). THE SAME WILL ALSO BE TRUE FOR ACRES IN SUCH INSTANCES.

MAP

HIDALGO COUNTY WATER CONTROL AND IMPROVEMENT DISTRICT NUMBER 11X

SCALE: 1" = 1/2 MILE DATE: AUGUST, 1956

DRAWN BY: E. E. McDaniel, K. A. Sartin

SUB2025-0096

City of McAllen Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information

Subdivision Name VICTORIA ACRES SUBDIVISION

Legal Description TEX-MEX SURVEY N197.3'-S662.24'-EXC S50'-N854.12'-W332.87' & E240'-W572.79'-S170'-N854.12' LOT 5 SEC 233 4.682AC G 4.615AC NET

Location NORTHWEST CORNER FROM THE INTERSECTION OF CHAPIN AND ROUTH RD.

City Address or Block Number .13424 N 23rd ST

Total No. of Lots 3 Total Dwelling Units 2 Gross Acres 5.91 Net Acres 6.00

Public Subdivision / Private and Gated / Private but Not Gated within ETJ: Yes / No

For Fee Purposes: Commercial (Acres) / Residential (3 Lots) Replat: Yes / No

Existing Zoning R1 Proposed Zoning R1 Applied for Rezoning No / Yes: Date

Existing Land Use RESIDENTIAL Proposed Land Use RESIDENTIAL

Irrigation District # NONE Water CCN: MPU / Sharyland Water SC Other

Agricultural Exemption: Yes / No Property ID: 564556, 20831637

Estimated Rollback Tax Due 2,418.32 Tax Dept. Review UPG

Owner

Name ADRIANA REGALADO Phone 956-878-9778

Address 13432 N ROUTH RD E-mail adriana.rx15@gmail.com

City McALLEN State TX Zip 78501

Developer

Name Adriana Regalado Phone

Address Same as Owner E-mail

City State Zip

Contact Person

Engineer

Name SAMES INC. Phone 956-702-8880

Address 200 S. 10TH STREET, SUITE 1500 E-mail luis@samengineering-surveying.com

City McALLEN State TX Zip 78501

Contact Person LUIS MENDEZ

Surveyor

Name LEO L. RODRIGUEZ, JR. Phone 956-702-8880

Address 200 S. 10TH STREET, SUITE 1500 E-mail lrodriguez@samengineering-surveying.com

City McALLEN State TX Zip 78501

COMPLETIVE
JUN 23 2025
By

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

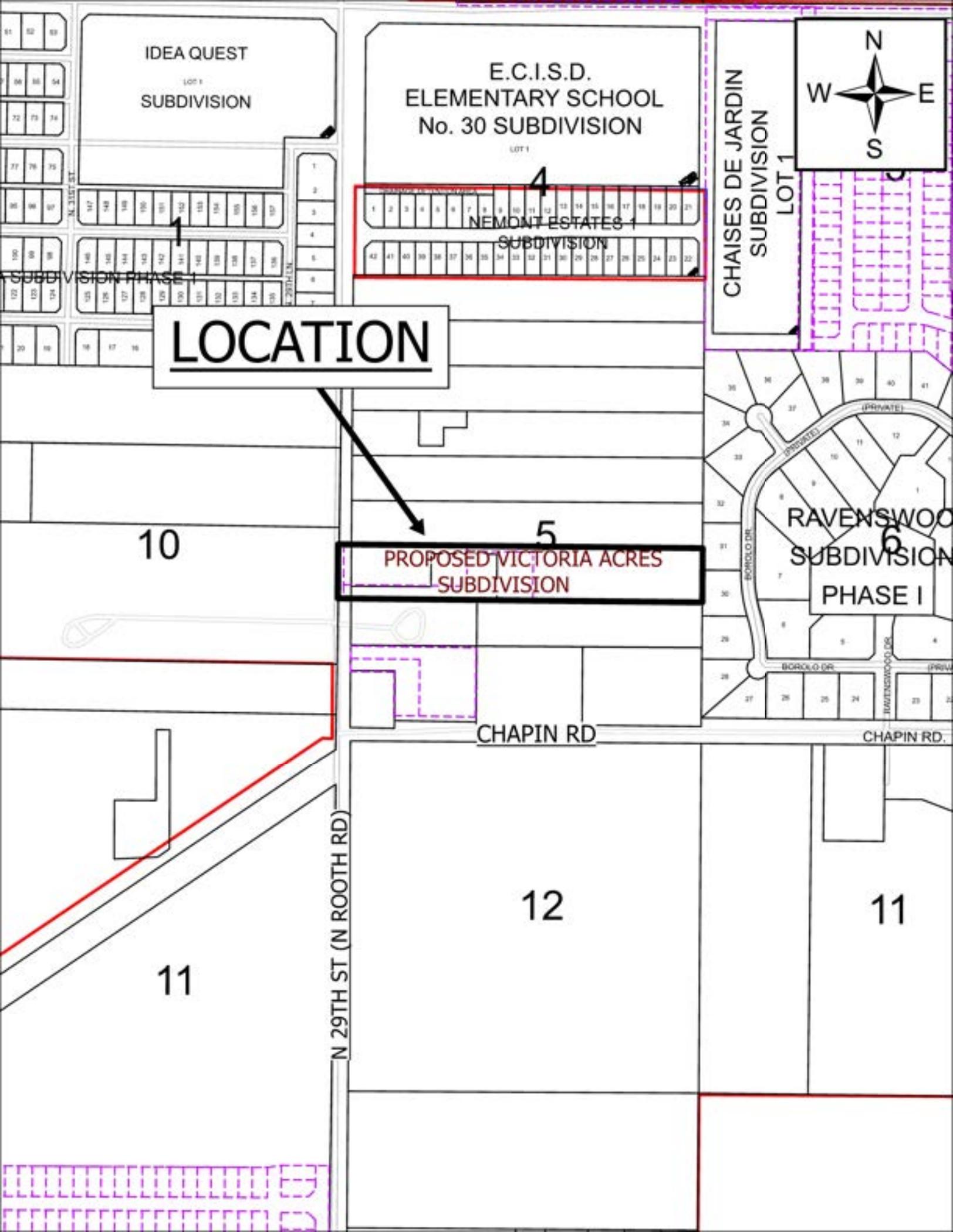
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature *Luis Mendez* Date 5/30/25

Print Name Luis Mendez

Owner Authorized Agent

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion





City of McAllen
SUBDIVISION PLAT REVIEW

Reviewed On: 1/29/2026

SUBDIVISION NAME: VICTORIA ACRES SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

<p>N. 29th Street (N. Rooth Road): Dedication as needed for 82.90 ft. from centerline for 100 ft. of Total R.O.W. Paving: 65 ft. Curb & gutter: Both Sides - Revise street name as shown above and wherever applicable prior to final. - Label the Centerline (C.L.) to determine dedication requirements, prior to final. - Needs to provide document numbers on the plat regarding any existing dedication or R.O.W. acquisitions as applicable prior to final. Provide copies of documents for staff review prior to final. Dedication requirements to be established once R.O.W. details are provided. - If road R.O.W. varies, provide arrow dimensions where R.O.W. varies. - Verify the alignment of existing street going North and South prior to final. - There are two Break Lines being shown on the North side of N. 29th Street, please clarify with staff. Break lines implies that from P.O.C. to P.O.B., the line connecting them shifts. *Disclaimer: Abandonment of easements cannot be done by plat, must be done by a separate instrument/document. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	<p>Non-compliance</p>
<p>North 25th Lane: Dedication as needed for 60 ft. R.O.W. Paving: 40 ft. Curb & gutter: Both Sides - Label street name on the plat. - Varying R.O.W. curvature going from North to South of R.O.W. - Need to provide an Area Map to verify street alignments/offsets. - R.O.W. requirements must be finalized prior to final. - All lots will require access to a public street, clarify this on the plat. *Disclaimer: Abandonment of easements cannot be done by plat, must be done by a separate instrument/document. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	<p>Non-compliance</p>
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	<p>NA</p>
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	<p>NA</p>
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	<p>NA</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* 1,200 ft. Block Length - Subdivision layout does not comply with block length requirement, please revise accordingly prior to final. If no changes, please submit a Variance request for the 1,200 ft. maximum block length requirement. **Subdivision Ordinance: Section 134-118</p> <p>* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118</p> <p>* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	<p>Non-compliance</p> <p>NA</p> <p>NA</p>
<p>ALLEYS</p>	
<p>R.O.W.: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial and multi-family residential properties. **Subdivision Ordinance: Section 134-106</p>	<p>NA</p>
<p>SETBACKS</p>	
<p>* Front: 25 ft. or greater for easements, whichever is greater applies. Revisions required: - Revise plat note as shown above. Please clarify with staff prior to final. Proposing "Front: 45.0' or line with average setback of existing structures, or easements, whichever is greater" **Zoning Ordinance: Section 138-356</p> <p>* Rear: 10 ft. or greater for easements, whichever is greater applies. Revise plat note as shown above. **Zoning Ordinance: Section 138-356</p> <p>* Sides: 6 ft. or greater for easements, whichever is greater applies. Revise plat note as shown above. **Zoning Ordinance: Section 138-356</p> <p>* Corner: 10 ft. or greater for easements, whichever is greater applies. Revise plat note as shown above. **Zoning Ordinance: Section 138-356</p> <p>* Garage: 18 ft. except where greater setback is required, greater setback applies. **Zoning Ordinance: Section 138-356</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	<p>Non-compliance</p> <p>Required</p> <p>Required</p> <p>Required</p> <p>Applied</p> <p>Required</p>
<p>SIDEWALKS</p>	
<p>* A 4 ft. wide minimum sidewalk required on East side of N. 29th Street (N. Rooth Road) and on both sides of North 25th Lane. - Revise plat note #19 as shown above prior to final. **Sidewalk requirements may increase to 5 ft. prior to recording as per Engineering Department requirements, finalize prior to final. **Subdivision Ordinance: Section 134-120</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	<p>Non-compliance</p> <p>Required</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along North 29th Street (N. Rooth Rd.) and North 25th Lane. Revisions Needed: - Add plat note as shown above. **Landscaping Ordinance: Section 110-46</p>	Non-compliance
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Revisions Needed: - Add plat note as shown above prior to final. **Landscaping Ordinance: Section 110-46</p>	Non-compliance
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Applied
NOTES	
<p>* No curb cut, access, or lot frontage permitted along North 29th Street (N. Rooth Rd.) and North 25th Lane. - Add plat note as shown above. **Must comply with City Access Management Policy</p>	Non-compliance
<p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p>	NA
<p>* Common Areas, any private streets/service drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. - Add plat not as shown above</p>	Non-compliance
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	NA
<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	NA
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	NA
LOT REQUIREMENTS	
<p>* Lots fronting public streets **Subdivision Ordinance: Section 134-1</p>	Required
<p>* Minimum lot width and lot area - Needs to provide dimensions of Lot 3. **Zoning Ordinance: Section 138-356</p>	TBD
ZONING/CUP	
<p>* Existing: R-1 (Single-Family Residential District) Proposed: R-1 (Single-Family Residential District) ***Zoning Ordinance: Article V</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

RECOMMENDATION	
RECOMMENDATION: STAFF RECOMMEND ITEM BE REMOVED FROM THE AGENDA. PENDING CLARIFICATIONS FROM THE ENGINEER.	Applied



IDEA QUEST
SUBDIVISION

E.C.I.S.D
ELEMENTARY SCHOOL
No. 30 SUBDIVISION

CHAISES DE JARDIN
SUBDIVISION
LOT 3

TRAILBLAZER AVE

LINVA AVE

4

LE MONT ESTATES 1
SUBDIVISION

LOCATION

10

5

PROPOSED VICTORIA ACRES
SUBDIVISION

RAVENSWOOD
SUBDIVISION
PHASE I

6

CHAPIN RD

11

12

11

N 29TH ST (N ROUTH RD)



City of McAllen Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information

Subdivision Name PREMIER ESTATES SUBD.

Legal Description 1.14 AC. 0/0 LOT 8, BIK. 2, RIO BRAVO PLANTATION COMPANY SUBD. W.C.T.

Location 180' WEST OF S. WARE RD. ALONG N. SIDE

City Address or Block Number 4232 S. Ware Road

Total No. of Lots 1 Total Dwelling Units Gross Acres 1.14 Net Acres 1.14

Public Subdivision / Private and Gated / Private but Not Gated within ETJ: Yes / No

For Fee Purposes: Commercial (1.14 Acres) / Residential (Lots) Replat: Yes / No

Existing Zoning C-3L Proposed Zoning C-3L Applied for Rezoning No / Yes; Date 1-24-25

Existing Land Use OPEN Proposed Land Use APARTMENTS

Irrigation District # NONE Water CCN: MPU / Sharyland Water SC Other

Agricultural Exemption: Yes / No Parcel # R2950-00-002-0008-03

Estimated Rollback Tax Due N/A Tax Dept. Review 270316 NG

Owner

Name Premier Asset Holdings, LLC Phone 655-7385

Address 2216 N. 47th Street E-mail LC TORRES091@HOTMAIL.COM

City McAllen State TX Zip 78501

Developer

Name SAME AS OWNER Phone

Address E-mail

City State Zip

Contact Person

Engineer

Name DAVID SALINAS Phone 682-9081

Address 2221 DAFFODIL AVE. E-mail dsalinas@salinasengineering.com

City McAllen State TX Zip 78501

Contact Person DAVID / MICK

Surveyor

Name SAME AS ENGR. Phone

Address E-mail

City State Zip

A.C.
01/23/25

RECEIVED
JAN 24 2025
By NG

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- Sealed Survey ✓
- Location Map ✓
- Plat & Reduced Plat ✓
- Warranty Deed ✗
- DWG File ✓
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

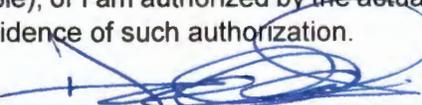
PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 1/15/25

Print Name DAVID OMAR SALINAS

Owner Authorized Agent

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

VAR 2025-0003



City of McAllen

311 North 15th Street
McAllen, TX 78501
P. O. Box 220

Planning Department VARIANCE TO SUBDIVISION PROCESS APPLICATION

McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project	<p>Legal Description <u>1.14 AC. o/o THE E. 1/2 OF LOT 8, Bk. 2, Rio Bravo Plantation Co., SUTD.</u></p> <p>Proposed Subdivision (if applicable) <u>PREMIER ESTATES</u></p> <p>Street Address <u>4232 Smith Water Rd</u></p> <p>Number of lots <u>1</u> Gross acres <u>1.14</u></p> <p>Existing Zoning <u>C3L</u> Existing Land Use <u>OPEN</u></p> <p><input checked="" type="checkbox"/> Current Survey and Metes and Bounds (required if the legal description is a portion of a lot)</p>
Applicant	<p>Name <u>JOSE G. FUENTES</u> Phone <u>655-7385</u></p> <p>Address <u>2216 N. 47th St.</u> E-mail <u>FUENTES091@</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u> <small>Flotman C 54</small></p>
Owner	<p>Name <u>SAME AS APPLICANT</u> Phone _____</p> <p>Address _____ E-mail _____</p> <p>City _____ State _____ Zip _____</p>
Authorization	<p>To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated?</p> <p style="text-align: center;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.</p> <p>Signature <u>[Signature]</u> Date <u>1/27/25</u></p> <p>Print Name <u>David Salinas, P.E.</u> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Authorized Agent</p>
Office	<p>*FOR OFFICE USE ONLY*</p> <p>APPLICATION FILING FEE: <input checked="" type="checkbox"/> \$250.00</p> <p>Accepted by <u>JL</u> Payment received by _____ Date <u>01/27/25</u></p> <p>Rev 06/21</p>

RECEIVED

JAN 27 2025



City of McAllen

Planning Department

REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: (If necessary, please use an additional page to complete responses)

**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

LANDS BEING PLATTED ARE 90' FROM ABUTTING A PUBLIC STREET (FRANCISCA AVE.). PROP. OWNERS ABUTTING FRANCISCA AVE. HAVE NOT RESPONDED TO LETTER SENT.

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

VARIANCE WILL PERMIT PROP. OWNER PLATTING TO GET ACCESS TO FRANCISCA AVE. VIA A CURRENT MEASUREMENT - PREMIER ESTATES WILL PAVE 90'

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

VARIANCE WILL PERMIT PAVING FROM THIS SITE TO EXISTING FRANCISCA AVE.

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

VARIANCE WILL PERMIT ADJ. PROP. OWNER OF 90' TRACT TO MORE EASILY PLAT AND DEVELOPED THEIR PROPERTY.

PADRE
SUBDIVISION

S. WARE ROAD



LOT 1
SOUTH WARE
ROAD PLAZA
SUBDIVISION
LOT 2

LOCATION

ERNESTO GUERRERO SUBDIVISION No. 2
LOT 1

ERNESTO GUERRERO
SUBDIVISION
LOT 1

**PROPOSED
PREMIER ESTATES
SUBDIVISION**

MADIAS-TORRES
LOT 1
SUBDIVISION

8

LOPEZ-TORRES
SUBDIVISION
LOT 1

LOS ARCOS
SUBDIVISION
LOT 1

HERNANDEZ-GARCIA
SUBDIVISION
LOT 1

IDELA'S CORNER
SUBDIVISION
LOT 1

S. WARE ROAD

14 15 16

1 2 3

14 15 16

ELMIRA AVE

1 2 3

14 15 16

FRANCISCA AVE

1 2 3 4

14 15 16

GLORIA AVE

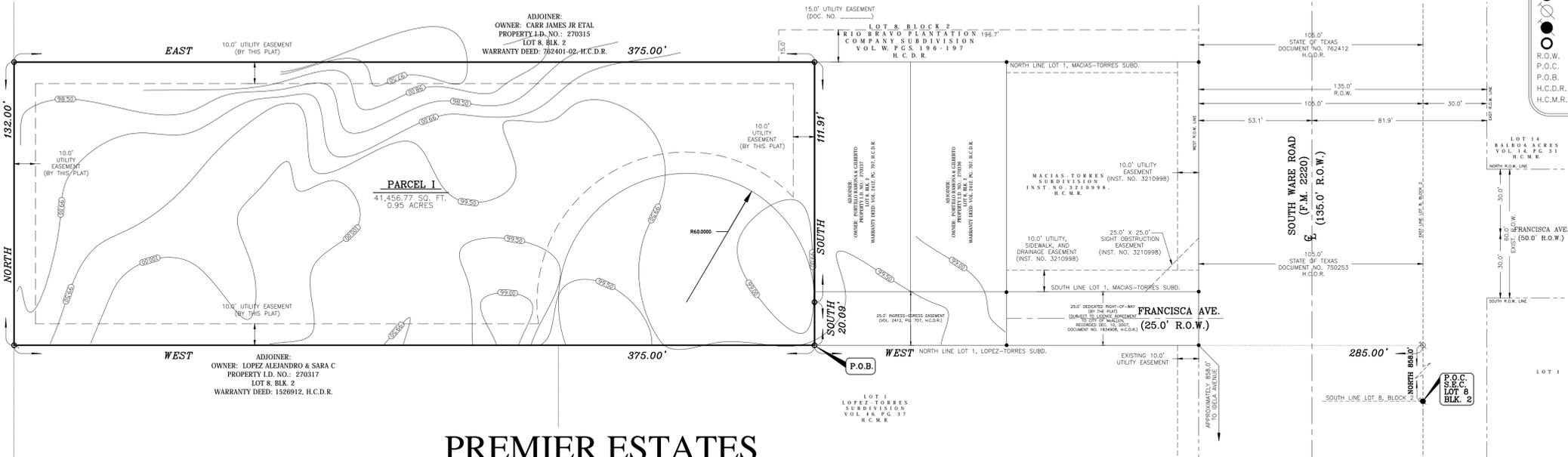
1 2 3 4-A

14 15 16

IDELA AVE.

IDELA AVE

65 66 67 68 69
64



LEGEND

- FOUND 1/2" IRON ROD
- SET NAIL
- FOUND NAIL
- SET 1/2" IRON ROD
- R.O.W. RIGHT OF WAY
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- H.C.D.R. HIDALGO COUNTY DEED RECORDS
- H.C.M.R. HIDALGO COUNTY MAP RECORDS



LOCATION MAP SCALE: 1"=1000'

PREMIER ESTATES

AN ADDITION TO THE CITY OF MCALEN,
HIDALGO COUNTY, TEXAS.

BEING A 1.14 ACRE TRACT OF LAND, MORE OR LESS, CARVED OUT OF THE NORTH 7.0 ACRES OF THE EAST 1/2 OF LOT 8, BLOCK 2, RIO BRAVO PLANTATION COMPANY SUBDIVISION OF PARTS OF PORCIONES 61, 62 AND 63, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME "W," PAGES 196 THRU 197, DEED RECORDS OF HIDALGO COUNTY, TEXAS;

METES AND BOUNDS DESCRIPTION

BEING A 1.14 ACRE TRACT OF LAND, MORE OR LESS, CARVED OUT OF THE NORTH 7.0 ACRES OF THE EAST 1/2 OF LOT 8, BLOCK 2, RIO BRAVO PLANTATION COMPANY SUBDIVISION OF PARTS OF PORCIONES 61, 62 AND 63, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME "W," PAGES 196 THRU 197, DEED RECORDS OF HIDALGO COUNTY, TEXAS; SAID 1.14 ACRE TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A NAIL FOUND ON THE SOUTHWEST CORNER OF SAID LOT 8 LOCATED WITHIN THE RIGHT-OF-WAY OF SOUTH WARE ROAD; THENCE, AS FOLLOWS:

NORTH, COINCIDENT WITH THE EAST LINE OF SAID LOT 8, A DISTANCE OF 858.0 FEET TO A NAIL SET; THENCE,

WEST, ALONG A LINE PARALLEL TO THE SOUTH LINE OF SAID LOT 8, A DISTANCE OF 105.0 FEET PASS A 1/2 INCH DIAMETER IRON ROD FOUND ON THE SOUTHWEST CORNER OF LOT 1, MACIAS-TORRES SUBDIVISION, AN ADDITION TO THE CITY OF MCALEN, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN INSTRUMENT NO. 3210998, MAP RECORDS OF HIDALGO COUNTY, TEXAS, AT A DISTANCE OF 285.0 FEET IN ALL TO A 1/2 INCH DIAMETER IRON ROD FOUND FOR THE SOUTHWEST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

- (1) THENCE, WEST, A DISTANCE OF 375.0 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;
- (2) THENCE, NORTH, ALONG A LINE PARALLEL TO THE EAST LINE OF SAID LOT 8, A DISTANCE OF 132.0 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;
- (3) THENCE, EAST, ALONG A LINE PARALLEL TO THE SOUTH LINE OF SAID LOT 8, A DISTANCE OF 375.0 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;
- (4) THENCE, SOUTH, ALONG A LINE PARALLEL TO THE WEST LINE OF SAID LOT 8, A DISTANCE OF 132.0 FEET TO THE POINT OF BEGINNING, CONTAINING 1.14 ACRES OF LAND, MORE OR LESS.

BEARING SOURCE: MACIAS-TORRES SUBD., MCALEN, HIDALGO COUNTY, TEXAS. N:\SUBDIVISION\PLATS\PREMIERESTATES\SUB\1.14.011425

STATE OF TEXAS
COUNTY OF HIDALGO

I, DAVID OMAR SALINAS, P.E., A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, REGISTRATION NUMBER TX. 71973, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

DAVID OMAR SALINAS, P.E. _____ DATE
REG. PROFESSIONAL ENGINEER #71973

STATE OF TEXAS
COUNTY OF HIDALGO

I, DAVID O. SALINAS, THE UNDERSIGNED A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

DAVID O. SALINAS, R.P.L.S. _____
REG. PROFESSIONAL LAND SURVEYOR #5782

STATE OF TEXAS
CITY OF MCALEN

I, THE UNDERSIGNED, MAYOR OF THE CITY MCALEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR _____ DATE _____

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 _____

RAUL E. SESIN, P.E., C.F.M. _____ DATE _____
GENERAL MANAGER

STATE OF TEXAS
COUNTY OF HIDALGO

WE, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS **PREMIER ESTATES** TO THE CITY OF MCALEN, TEXAS, AND WHOSE NAMES ARE SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALEN.

OWNER: PREMIER ASSET HOLDINGS, LLC
JOSE FUENTES, MANAGER
2216 N. 47th. ST.
MCALEN, TEXAS 78501

OWNER: PREMIER ASSET HOLDINGS, LLC
NAYFA M. SATARAIN, MANAGER
2216 N. 47th. ST.
MCALEN, TEXAS 78501

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED PREMIER ASSET HOLDINGS, LLC, KNOWN TO ME TO BE THE PERSON WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 2025.

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS
MY COMMISSION EXPIRES, _____

STATE OF TEXAS
CITY OF MCALEN

I, THE UNDERSIGNED CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRPERSON
PLANNING AND ZONING COMMISSION

DATE _____

GENERAL PLAT NOTES:

1. MINIMUM SETBACK LINES = FRONT (N. WARE RD.): IN ACCORDANCE WITH ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, OR ON LINE WITH AVERAGE SETBACK, WHICHEVER IS GREATER APPLIES.
SIDE: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR AN APPROVED SITE PLAN WHICHEVER IS GREATER APPLIES.
REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR AN APPROVED SITE PLAN WHICHEVER IS GREATER APPLIES.
2. LANDS CONTAINED WITHIN THIS SUBDIVISION LIE IN ZONE "B" ACCORDING TO THE FIRM (FLOOD INSURANCE RATE MAP) DATED 11/02/82, COMMUNITY PANEL NO. 480343 0010 C.
3. MINIMUM FINISHED FLOOR ELEVATION ON ALL NEW CONSTRUCTION SHALL BE 18.0 INCHES ABOVE THE TOP OF SOUTH WARE ROAD AS MEASURED FROM THE CENTER OF THIS LOT.
4. THIS SUBDIVISION PLAT SHALL BE REQUIRED TO DETAIN A TOTAL OF 11,267.12 CUBIC FEET (0.259 AC. FEET) OF DRAINAGE RUNOFF VOLUME.
5. THE CONSTRUCTION OF ANY STRUCTURES ON OR WITHIN ANY EASEMENTS SHALL BE PROHIBITED.
6. NO POTABLE DRINKING WATER WELL IS LOCATED WITHIN 150.0 FEET FROM THIS SUBDIVISION.
7. A 6' OPAQUE BUFFER IS REQUIRED FROM ANY ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL OR INDUSTRIAL ZONE/USE. AN 8' MASONARY WALL IS REQUIRED BETWEEN SINGLE-FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONE/USE.
8. AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT, IS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS.
9. BENCHMARK: BENCHMARK ELEVATION= 98.55. MCALEN SURVEY CONTROL POINT NO. 92, LOCATED INSIDE IDELA PARK 50 FEET NORTH FROM THE B.C. OF IDELA STREET AND 162 FEET EAST FROM THE CL. OF WARE ROAD. N: 16586158.14727, E: 1060517.89051
10. COMMON AREAS, ANY PRIVATE DRIVES, GATE AREAS, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NO THE CITY OF MCALEN.

PRINCIPAL CONTACTS

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER: PREMIER ASSET HOLDINGS, LLC	2216 N. 47th ST.	MCALEN, TEXAS 78501	(956) 655-7385	NONE
ENGINEER: DAVID O. SALINAS	2221 DAFFODIL AVE.	MCALEN, TEXAS 78501	(956) 682-9081	(956) 686-1489
SURVEYOR: DAVID O. SALINAS	2221 DAFFODIL AVE.	MCALEN, TEXAS 78501	(956) 682-9081	(956) 686-1489

PREMIER ESTATES

PREPARED BY: SALINAS ENGINEERING & ASSOCIATES
DATE OF PREPARATION: NOV. 14, 2025.
JOB NUMBER: SP-24-26270
OWNER: PREMIER ASSET HOLDINGS, LLC
JOSE FUENTES, MANAGER
NAYFA M. SATARAIN, MANAGER
2216 N. 47th. ST.
MCALEN, TEXAS 78501

DISCLAIMER: THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW BY THE DRAINAGE DISTRICT NO. 1 ONLY & BY NO OTHERS UNDER THE AUTHORITY OF DAVID OMAR SALINAS, P.E., TX. REG. NO. 71973 ON NOV. 14, 2025. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

SALINAS ENGINEERING & ASSOCIATES
(F-6675) (TBPLS-10065700)
CONSULTING ENGINEERS & SURVEYORS
2221 DAFFODIL - MCALEN, TEXAS 78501
(956) 682-9081 (956) 686-1489 (FAX)
TBPLS 12100 PARK 35 CIRCLE BLDG. A, SUITE 156, MC-230, AUSTIN, TEXAS 78673 (512) 239-5263



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/29/2026

SUBDIVISION NAME: PREMIER ESTATES	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
Francisca Ave.: *Dedication for 50 ft. R.O.W. Paving: 32 ft. Curb & gutter: both sides - On the recorded subdivision of Macias-Torres Subdivision, City Commission approved a variance to allow for 25 ft. R.O.W. instead of the 50 ft. subject to execution of a license agreement for pavement of a 25 ft. R.O.W. in lieu of the 50 ft. R.O.W. dedication. Will be applied if boundaries are the same as the previous project. - Subdivision submitted on April 30, 2025 is currently not fronting a public dedicated road. *Variance request (VAR2025-0003) was presented at the Planning & Zoning Commission of February 18, 2025 but Board did not make a decision on the Variance. *Disclaimer: Variance request is for the owners to get access to Francisca Ave. via a current Ingress-Egress easement. *Developer proposes that Francisca Ave. to be provided once subdivisions located East develop.	Non-compliance
_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	NA
_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	NA
_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	NA
_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	NA
* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118	NA
* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118	NA
* 600 ft. Maximum Cul-de-Sac - Cul-De-Sacs shall not exceed 600 ft. in length and shall have a 'turnaround' not less than 200 feet in diameter (right-of-way) with pavement diameter of 180 feet in commercial areas. **Subdivision Ordinance: Section 134-105	Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEYS		
<p>R.O.W.: 20 ft. Paving: 16 ft. - Alley/service drive easement required for commercial properties. - If a private service drive easement is proposed, minimum 24 ft. paved width is required and cannot dead-end. Maintenance of drive is by the property owner and not the City of McAllen. - Alley/Service drive requirement must be addressed prior to final. **Subdivision Ordinance: Section 134-106</p>		Non-compliance
SETBACKS		
<p>* Front: In Accordance with the Zoning Ordinance or greater for easements. Revisions Needed: Proposing: ""Front (N. Ware Rd.) In accordance with Zoning Ordinance or greater for easements."" - Remove the words "" (N. Ware Rd.)"" as this subdivision is technically not fronting North Ware Rd. **Zoning Ordinance: Section 138-356</p> <p>* Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. **Zoning Ordinance: Section 138-356</p> <p>* Sides: In accordance with the Zoning Ordinance or greater for approved site plan or easements, whichever is greater applies. **Zoning Ordinance: Section 138-356</p> <p>* Corner **Zoning Ordinance: Section 138-356</p> <p>* Garage **Zoning Ordinance: Section 138-356</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>		Non-compliance
		Applied
		Applied
		NA
		NA
		Required
SIDEWALKS		
<p>* 4 ft. wide minimum sidewalk required on Francisca Ave. **May increase to 5 ft. as per Engineering Department. -Add plat note for the 4 ft. wide minimum sidewalks. *Need to finalize note prior to final. **Subdivision Ordinance: Section 134-120</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>		Non-compliance
		Required
BUFFERS		
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46</p> <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46</p> <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>		Applied
		Applied
		Required
NOTES		
<p>* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy</p>		TBD

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance. - Francisca Ave. to be reviewed during Site Plan development.</p>	<p>Applied</p>
<p>* Common Areas, any private drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions Needed: - Need to add plat note as shown above prior to final.</p>	<p>Non-compliance</p>
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	<p>Required</p>
<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	<p>NA</p>
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. - Proposing Commercial Development. **Section 134-168 applies if private subdivision is proposed. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	<p>NA</p>
<p>LOT REQUIREMENTS</p>	
<p>* Lots fronting public streets.. *Disclaimer: Subdivision is currently considered ""Landlocked."" *Variance request (VAR2025-0003) was presented at the Planning & Zoning Commission of February 18, 2025 but was not acted upon. **Subdivision Ordinance: Section 134-1</p>	<p>Non-compliance</p>
<p>* Minimum lot width and lot area. **Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>ZONING/CUP</p>	
<p>* Existing: C-3L (Light Commercial District) Proposed: C-3L (Light Commercial District) ***Zoning Ordinance: Article V</p>	<p>Applied</p>
<p>* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V</p>	<p>Applied</p>
<p>PARKS</p>	
<p>* Land dedication in lieu of fee. *Application proposes a Commercial Development.</p>	<p>NA</p>
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. *Application proposes a Commercial Development.</p>	<p>NA</p>
<p>* Pending review by the Parkland Dedication Advisory Board and CC. *Application proposes a Commercial Development.</p>	<p>NA</p>
<p>TRAFFIC</p>	
<p>* As per Traffic Department, Trip Generation approved, no TIA required.</p>	<p>Applied</p>
<p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	<p>NA</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SUB 2023-0027

City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Ware Hotel Group LP</u>
	Location <u>S. Ware Rd.</u>
	City Address or Block Number <u>401 S. WARE RD</u>
	Number of Lots <u>2</u> Gross Acres <u>5</u> Net Acres <u>5</u> ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Existing Zoning <u>C-3</u> Proposed Zoning <u>C-3</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____
	Existing Land Use <u>VACANT</u> Proposed Land Use <u>HOTEL</u> Irrigation District # <u>1</u>
	Replat <input type="checkbox"/> Yes <input type="checkbox"/> No Commercial _____ Residential _____
	Agricultural Exemption <input type="checkbox"/> Yes <input type="checkbox"/> No Estimated Rollback Tax Due <u>23,194.76</u>
	Parcel # <u>204836</u> Tax Dept. Review <u>My</u>
	Water CCN <input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____
Legal Description <u>5.00 acres being all of Lot 10 King's Highway Subdivision, Volume 3, Page 8, H.C.M.R., City of McAllen, Hidalgo County Texas</u>	
Owner	Name <u>Ware Hotel Group LP</u> Phone <u>956-381-0981</u>
	Address <u>5807 N. 3rd Lane</u> E-mail _____
	City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u>
Developer	Name <u>SAME AS OWNER</u> Phone _____
	Address _____ E-mail _____
	City _____ State _____ Zip _____
	Contact Person _____
Engineer	Name <u>Melden and Hunt Inc.</u> Phone <u>956-381-0981</u>
	Address <u>115 W. McIntyre Street</u> E-mail <u>Mario@meldenandhunt.com</u>
	City <u>Edinburg</u> State <u>TX</u> Zip <u>78541</u>
	Contact Person <u>MARIO REYNA</u>
Surveyor	Name <u>SAME AS ENGINEER</u> Phone _____
	Address _____ E-mail _____
	City _____ State _____ Zip _____

My

M **MAR 17 2023**
BY: CW

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in PDF format. No scanned documents

*Please submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON

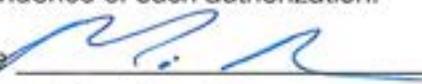
PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owners Signature

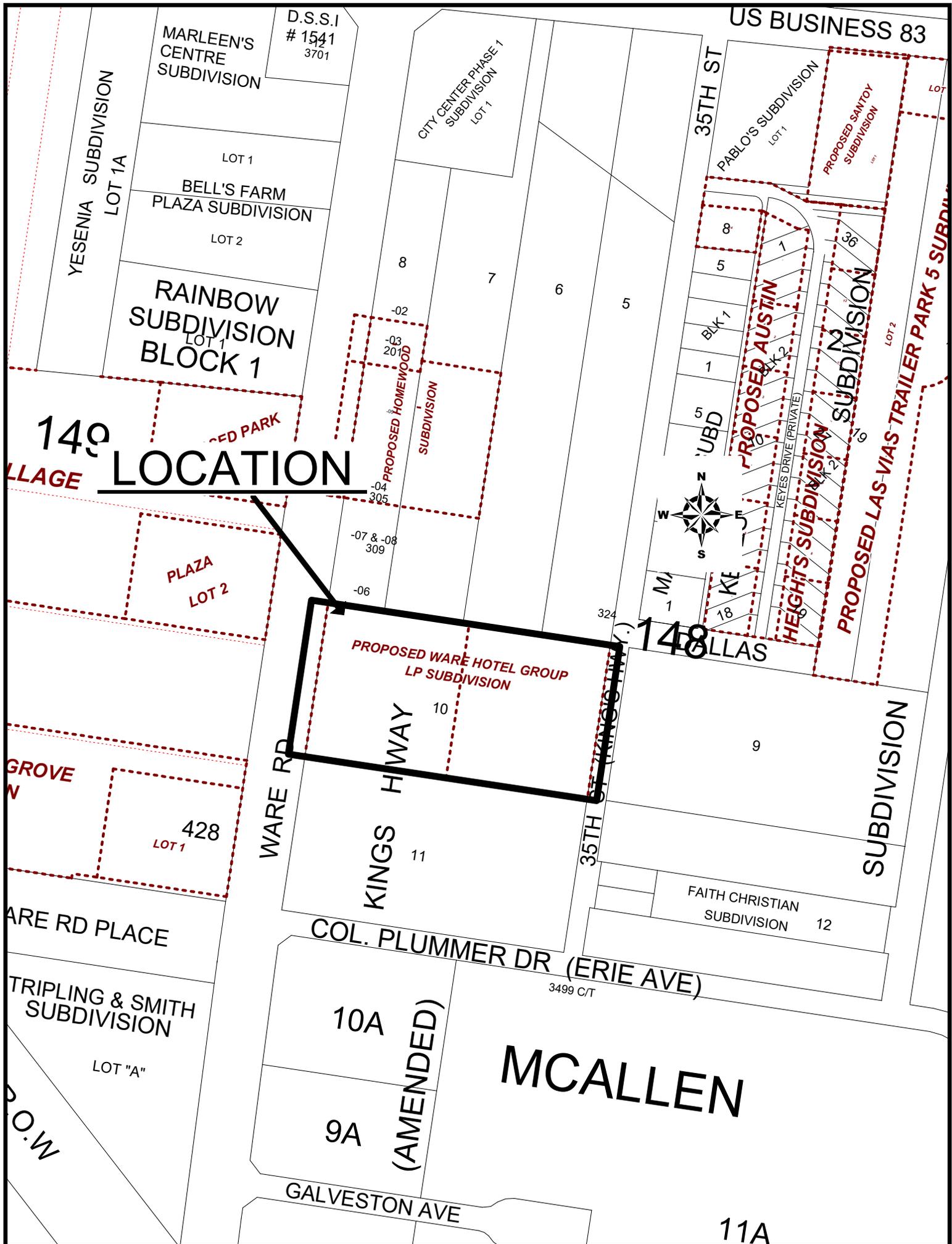
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 3-11-23

Print Name Mario Reyna

Owner Authorized Agent

The Planning Department is now accepting DocuSign signatures on application



D.S.S.I
1541
3701

US BUSINESS 83

YESENIA SUBDIVISION
LOT 1A

MARLEEN'S
CENTRE
SUBDIVISION

CITY CENTER PHASE 1
SUBDIVISION
LOT 1

35TH ST

PABLO'S SUBDIVISION
LOT 1

PROPOSED SANTOY
SUBDIVISION

BELL'S FARM
PLAZA SUBDIVISION

RAINBOW
SUBDIVISION
BLOCK 1

149 LOCATION

PROPOSED HOMEWOOD
SUBDIVISION

PROPOSED AUSTIN
HEIGHTS SUBDIVISION

PROPOSED LAS VIAS TRAILER PARK 5 SUBDIVISION



PLAZA
LOT 2

PROPOSED WARE HOTEL GROUP
LP SUBDIVISION

148

GROVE

428
LOT 1

WARE RD

KINGS
HIGHWAY

35TH ST (KINGS HWY.)

SUBDIVISION

WARE RD PLACE

COL. PLUMMER DR (ERIE AVE)
3499 C/T

FAITH CHRISTIAN
SUBDIVISION 12

TRIPLING & SMITH
SUBDIVISION

LOT "A"

10A

MCALLEN

9A

(AMENDED)

GALVESTON AVE

11A

GENERAL NOTES :

- THIS SUBDIVISION IS IN FLOOD ZONE "C" AREAS OF MINIMAL FLOODING. COMMUNITY-PANEL NUMBER: 480343 0005 C MAP REVISED: NOVEMBER 2, 1982.
- MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE THE FRONT TOP OF CURB MEASURED FROM THE CENTER OF THE LOT.
- MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF McALLEN ZONING CODE: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS OR INLINE WITH EXISTING STRUCTURES, WHICHEVER IS GREATER APPLIES.
REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS, WHICHEVER IS GREATER APPLIES.
SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS, WHICHEVER IS GREATER APPLIES.
- CITY OF McALLEN BENCHMARK #1: NUMBER MC 76, TOP OF 30" ALUMINUM PIPE WITH A 3-1/4" BRASS MONUMENT CAP ON TOP. LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF BUS 83 & WARE RD. GEODETIC G.P.S. TEXAS STATE PLANE GRID COORDINATE SYSTEM, NAD 83 TEXAS SOUTH 4205 ELEVATION PER NAVD 88 (GEOID 2003) N=16601127.0028, E=1062624.19162, ELEV.=131.44
BENCHMARK #2: SET 60D NAIL IN POWER POLE LOCATED ON THE EAST SIDE OF S. WARE ROAD R.O.W. N=16599644.8010, E=1062309.3150, ELEV.= 142.42
- REQUIRED STORM SEWER RUNOFF DETENTION FOR THIS SUBDIVISION AS PER THE APPROVED DRAINAGE REPORT: 57,648 C.F. (1.323 Ac-Ft) TO BE PROVIDED WITHIN DESIGNATED DETENTION AREAS.
AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF McALLEN ENGINEERING DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT FOR ALL NEW BUILDING.
- NO STRUCTURES PERMITTED TO BE BUILT OVER EASEMENTS.
- 5 FT. WIDE MINIMUM SIDEWALK ALONG S. WARE ROAD AND 4 FT. WIDE MINIMUM SIDEWALK REQUIRED ALONG S 35TH STREET.
- 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES.
- 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- 25 X 25 SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS AND 10 X 10 CLIP REQUIRED AT ALL STREET AND ALLEY INTERSECTIONS.
- COMMON AREAS, SHARED ACCESS EASEMENTS, SERVICE DRIVES, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.
- COMMON ACCESS EASEMENTS TO BE FOR PUBLIC ACCESS AND WILL NOT BE BLOCKED. COMMON ACCESS EASEMENTS WILL BE PRIVATELY OWNED AND MAINTAINED BY PROPERTY OWNERS AND NOT THE CITY OF McALLEN

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION _____ DATE _____

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN _____ DATE _____

CITY SECRETARY _____ DATE _____

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. ONE HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAULE SESIN, P.E., C.F.M. _____ DATE _____
GENERAL MANAGER

THE STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE WARE HOTEL GROUP LP SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

WARE HOTEL GROUP LP, A TEXAS LIMITED PARTNERSHIP
BY: WARE INVESTMENT GROUP, LLC

HARJINDER SINGH (MEMBER) _____ DATE _____
5807 NORTH 3RD LANE
McALLEN, TEXAS 78504

THE STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED HARJINDER SINGH KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN

UNDER MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20 ____.

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES: _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

DATED THIS THE ____ DAY OF _____, 20 ____.

MARIO A. REYNA, PROFESSIONAL ENGINEER No. 117368
STATE OF TEXAS

DATE PREPARED: 03/10/2023
DATE REVISED: 11/01/2024
ENGINEERING JOB # 23048.00

MELDEN & HUNT, INC.
TEXAS REGISTRATION F-1435



STATE OF TEXAS
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PRESENTED PLAT AND DESCRIPTION OF WARE HOTEL GROUP LP SUBDIVISION, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON 07-18-2022, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

ROBERTO N. TAMEZ, R.P.L.S. # 6238 _____ DATE _____
DATE SURVEYED: 07-18-2022
SURVEY JOB No. 22645.08



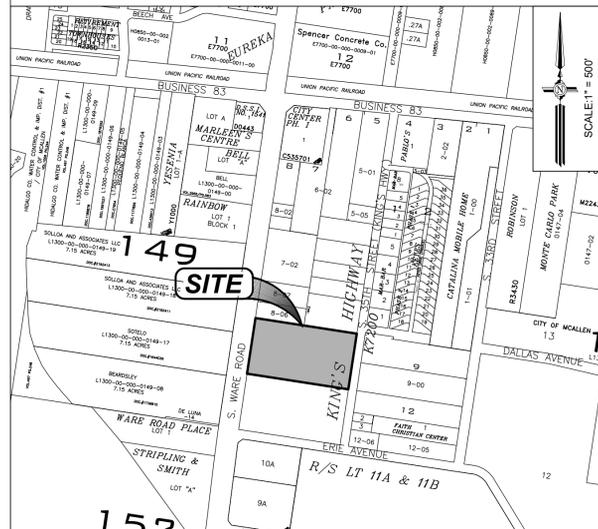
FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

SUBDIVISION MAP OF
**WARE HOTEL GROUP LP
SUBDIVISION**

BEING A SUBDIVISION OF 5,000 ACRES
BEING ALL OF LOT 10
KING'S HIGHWAY SUBDIVISION
VOLUME 3, PAGE 8, H.C.M.R.
CITY OF McALLEN,
HIDALGO COUNTY, TEXAS

LOCATION MAP



REVISED BY: EM	DATE 01-21-25
DRAWN BY: EM	DATE 02-01-24
SURVEYED, CHECKED _____	DATE _____
FINAL CHECK _____	DATE _____

M MELDEN & HUNT, INC.
CONSULTANTS • ENGINEERS • SURVEYORS
115 W. McINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com



City of McAllen
SUBDIVISION PLAT REVIEW

Reviewed On: 1/27/2026

SUBDIVISION NAME: WARE HOTEL GROUP, LP	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>S. Ware Road: 60 ft. from centerline for 120 ft. Total ROW. Paving: by the state Curb & gutter: by the state Revisions Needed: -Please provide copies of R.O.W. documents referenced on plat for staff review, prior to final/recording. -There are sidewalks being shown on the plat, public improvements do not need to be shown visually on the plat. **Subdivision Ordinance: Section 134-105 ***Monies must be escrowed if improvements are not constructed prior to recording. ****COM Thoroughfare Plan</p>	Required
<p>S.35th Street: Dedication as needed for 30 ft. from centerline for 60 ft. total ROW Paving: 40 ft. Curb & gutter: Both Sides Revision needed: -Please provide copies of R.O.W. documents referenced on plat for staff review, prior to final/recording. -There are sidewalks being shown on the plat, public improvements do not need to be shown visually on the plat. **Subdivision Ordinance: Section 134-105 ***Monies must be escrowed if improvements are not constructed prior to recording. ***COM Thoroughfare Plan</p>	Required
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length. **Subdivision Ordinance: Section 134-118</p>	Compliance
<p>* 900 ft. Block Length for R-3 Zone Districts. **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac. **Subdivision Ordinance: Section 134-105</p>	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEYS	
<p>R.O.W.: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties and multi-family properties. Revisions Needed: -Provide for alley or service drive easement on the plat prior to final. Alley or service drive easement cannot dead-end. **Private Access Service Drive Easement must be minimum 24 ft. with 24 ft. of paving and in compliance with Fire and Public Works Department requirements. Proposing: ***Plat Note #13 Min. 24 ft. wide private service drive easement for city services will be provided as part of the site plan review for this process, and it will be extended north and south when adjacent properties develop. ***Plat Note #14 Shared access easement to be extended north when property develops. ***Subdivision Ordinance: Section 134-106</p>	Applied
SETBACKS	
<p>*Front(S. Ware Road/ S.35th Street) : In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater applies. ***Zoning Ordinance: Section 138-356</p>	Applied
<p>*Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. ***Zoning Ordinance: Section 138-356</p>	Applied
<p>* Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. ***Zoning Ordinance: Section 138-356</p>	Applied
<p>* Corner: Interior Lot **Zoning Ordinance: Section 138-356</p>	NA
<p>* Garage: Commercial Development. **Zoning Ordinance: Section 138-356</p>	NA
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
SIDEWALKS	
<p>* 5 ft. wide minimum sidewalk required along S. Ware Road and 4 ft. wide minimum sidewalk required along S. 35th Street. Revisions needed: -Revise note #7 as shown above, prior to final/recording. **5 ft. Sidewalk requirements as per Engineering Department requirements. **Subdivision Ordinance: Section 134-120</p>	Required
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Required
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46</p>	Applied
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46</p>	Applied
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

NOTES	
<p>**Must comply with City Access Management Policy</p> <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p> <p>* Common Areas, any private drives, 27.0 ft. common access easements, and 24 ft. shared access easements, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p> <p>**Note subject to change once subdivision requirements have been finalized. Finalize wording on plat prior to final/recording.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</p> <p>**Section 110-72 applies if subdivision is proposed to be public</p> <p>**Landscaping Ordinance: Section 110-72</p> <p>**Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</p> <p>**Homeowner's Association Covenants must be submitted for staff review, prior to recording.</p> <p>***Section 134-168 applies if private subdivision is proposed.</p> <p>****Section 110-72 applies if public subdivision is proposed.</p> <p>*****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p>	Applied
	Required
	Required
	Required
	NA
	NA
LOT REQUIREMENTS	
<p>* Lots fronting public streets.</p> <p>**Subdivision Ordinance: Section 134-1</p> <p>* Minimum lot width and lot area.</p> <p>**Zoning Ordinance: Section 138-356</p>	Applied
	Applied
ZONING/CUP	
<p>* Existing:C-3 (General Business) District Proposed:C-3 (General Business) District</p> <p>**Engineer must verify if proposed subdivision and use is within appropriate zoning as it may prompt changes to plat and or rezoning process, review and finalize prior to final.</p> <p>***As per application dated March 17,2023 proposed land use is commercial, please review intended use as it may require a conditional use permit.</p> <p>****Zoning Ordinance: Article V</p> <p>* Rezoning Needed Before Final Approval</p> <p>***Zoning Ordinance: Article V</p>	Applied
	NA
PARKS	
<p>* Land dedication in lieu of fee. As per application dated March 17,2023 proposed land use is commercial, commercial developments do not apply to Parks.</p> <p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per application dated March 17,2023 proposed land use is commercial, commercial developments do not apply to Parks.</p> <p>* Pending review by the City Manager's Office. As per application dated March 17,2023 proposed land use is commercial, commercial developments do not apply to Parks.</p>	NA
	NA
	NA

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TRAFFIC	
* As per Traffic Department, Trip Generation is approved, no TIA is required. **As per Traffic Department and as per Access management Policy, there is spacing requirement along S. Ware Road, please contact the Traffic Department.	Applied
* Traffic Impact Analysis (TIA) required prior to final plat. *As per Traffic Department, Trip Generation is approved, no TIA is required.	Applied
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> - Must comply with City’s Access Management Policy. - Any abandonments must be done by separate process, not by plat. - Please remove the sidewalks that are being shown on the plat, as these public improvements do not need to be shown visually on the plat. **Freeze the sidewalk layer on the plat, and clean up any of the extra lines along these streets. - Note as may be required on plat regarding public use of 27.0 ft. Common Access Easement and 24 ft. shared access easement must be included, prior to recording. - Vacating plat applicable if any restrictions, etc. are proposed to be removed or changed from existing recorded plat , finalize prior to recording. - P.O.B. is missing from the Plat. - Please add the scale on the location map. - Verify that the signature lines match the number of owner's of this property. - Finalize wording for Note #13 once Shared Access Easement requirements as required by Traffic Department are established prior to final/recording. * At the Planning and Zoning Commission meeting of April 4th,2023, the subdivision was approved in preliminary form subject to the conditions noted, drainage, and utility approvals. * Please verify, on the surveyor's signature line, there is a small misspelling on the surveyor's seal, it currently says "Registerd" 	Required
RECOMMENDATION	
RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED FINAL FORM, SUBJECT TO THE CONDITIONS NOTED.	Applied

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LOCATION



WARE RD

35TH ST (KING'S HWY)

COL. PLUMMER DR (ERIE AVE)

MCALLEN

GALVESTON AVE

149

148 DALLAS

MARLEEN'S CENTRE SUBDIVISION
1541
3701
LOT 1
BELL'S FARM PLAZA SUBDIVISION
LOT 2
RAINBOW SUBDIVISION
LOT 1
BLOCK 1

CITY CENTER PHASE 1 SUBDIVISION
LOT 1

US BUSINESS &

PABLOS SUBDIVISION
LOT 1
PROPOSED SANITARY SUBDIVISION
LOT 1

PROPOSED AUSTIN
BLK 1
BLK 2
KEYS DRIVE (PRIVATE)
THAIGHTS SUBDIVISION
SUBDIVISION
SUBDIVISION

PROPOSED HOMEWOOD SUBDIVISION

-02
-03
201
-04
305
-07 & -08
309
-06

324

PROPOSED WARE HOTEL GROUP LP SUBDIVISION

KINGS HWY

SUBDIVISION

FAITH CHRISTIAN SUBDIVISION
12

THE GROVE DIVISION

428
LOT 1

WARE RD PLACE

STRIPLING & SMITH SUBDIVISION
LOT "A"

10A

9A

3499 C

11A