

AGENDA

PLANNING & ZONING COMMISSION REGULAR MEETING TUESDAY, JANUARY 17, 2023 - 3:30 PM MCALLEN CITY HALL, 1300 HOUSTON AVENUE CITY COMMISSION CHAMBERS, 3RD FLOOR

At any time during the course of this meeting, the Planning & Zoning Board may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code -

CALL TO ORDER -

PLEDGE OF ALLEGIANCE -

INVOCATION -

1) MINUTES:

- a) Approval/Disapproval of minutes for the January 4, 2023 meeting.

2) PUBLIC HEARING

a) CONDITIONAL USE PERMITS:

1. Request of Saul E. Chavez for a Conditional Use Permit, for more than one year (life of the use), for an institutional use (prayer house), at Lot 7, Block 1, Monterrey Subdivision, Hidalgo County, Texas; 1214 South Main Street. **(CUP2022-0191)**
2. Request of Diego A. Ramos for a Conditional Use Permit, for one year, for a portable building greater than ten feet by twelve feet, at Lot 7, Block 4, Orange Terrace Subdivision No. 3, Blocks 4 & 5, Hidalgo County, Texas; 1109 Pecan Boulevard. **(CUP2022-0199)**
3. Request of OL Beverage Holdings, LLC for a Conditional Use Permit, for one year, for a bar at Lot A2, Lots A 2 & A3 Wichita Commercial Park Subdivision, Hidalgo County, Texas; 2121 South 10th Street. **(CUP2022-0197)**
4. Request of Damian C. Orozco, one behalf of Hacienda Las Mariposas, for a Conditional Use Permit, for one year, and adoption of an ordinance, for an event center with a chapel at 4.32 acre tract of land, out of the North 5 acres of the South 20 acres of Lot 80, La Lomita Irrigation and Construction Company's Subdivision, Hidalgo County, Texas; 6117 North Ware Road. **(CUP2022-0183)**

b) REZONING:

1. Rezone from R-1 (single-family residential) District to C-3 (general business) District: 0.76 acres out of the North 5 acres of the South 20 acres of Lot 80, La Lomita Irrigation and Construction Company's Subdivision, Hidalgo County, Texas; 6117 North Ware Road (Mid). **(REZ2022-0051)**
2. Rezone from C-3L (light commercial) District to C-3 (general business) District: 1.70 acres out of the North 5 acres of the South 20 acres of Lot 80, La Lomita Irrigation and Construction Company's Subdivision, Hidalgo County, Texas; 6117 North Ware Road. **(REZ2022-0054)**
3. Rezone from C-3L (light commercial) District to C-3 (general business) District: Lot 1, Rooth Crossing Subdivision, Hidalgo County, Texas; 2825 Pecan Boulevard. **(REZ2022-0052)**

3) CONSENT:

- a) Aqualina at Tres Lagos Phase II Subdivision, 6609 Tres Lagos Boulevard, Rhodes Development, Inc. **(SUB2023-0002)(FINAL) M&H**
- b) Lakehurst Phase II Subdivision, 5101 8 Mile Line, Sunni J Miller & Ty Andrew Runge **(SUB2023-0003)(FINAL) M&H**
- c) Eagle's Nest Subdivision, 8401 North 2nd Street, Millennial Bear Farms, LLC **(SUB2021-0098)(PRELIMINARY 6-MONTH EXTENSION) M&H**
- d) Estancia at Tres Lagos Phase III Subdivision, 4800 Town Lake Drive, Rhodes Development, Inc. **(SUB2021-0138)(PRELIMINARY 6-MONTH EXTENSION) M&H**
- e) The District Phase II Subdivision, 1201 Auburn Avenue, Auriel Investments **(SUB2021-0133)(PRELIMINARY 6-MONTH EXTENSION) M&H**
- f) The District Phase III Subdivision, 1301 Auburn Avenue, Auriel Investments **(SUB2021-0134)(PRELIMINARY 6-MONTH EXTENSION) M&H**
- g) Arellano Subdivision, 6416 South 11th Street, Eva Yolanda Castillo Ibarra **(SUB2021-0100)(PRELIMINARY 6-MONTH EXTENSION) SEA**
- h) Georgia Subdivision, 7701 North 29th Street, Georgia A. Alanis **(SUB2021-0126)(PRELIMINARY 6-MONTH EXTENSION) SEA**
- i) Sister's Subdivision, 12200 Mile 7 Road, Patty Cash & Sansire Silva **(SUB2021-0102)(PRELIMINARY 6-MONTH EXTENSION) SEA**
- j) Habitat Estates No. 2 Subdivision, 3300 Hackberry Avenue, Habitat Developers, LLC **(SUB2021-0125)(PRELIMINARY 6-MONTH EXTENSION) SEC**
- k) Taylor Estates Subdivision, 7600 North Taylor Road, RGV Villa Investments, LLC **(SUB2021-0122)(PRELIMINARY 6-MONTH EXTENSION) SEC**
- l) Trenton Pecan Subdivision Phase I, Lot 1A, 1705 Umar Avenue, Valmor Service Corp. **(SUB2020-0050)(PRELIMINARY 6-MONTH EXTENSION) SEC**

4) SUBDIVISIONS:

- a) Nolana Estates Subdivision, 3901 North McColl Road, Fred Loya Insurance (SUB2022-0136) (FINAL)M&H**
- b) Taylor Villas Subdivision, 2021 South Taylor Road, Port Bilbao Group, LLC (SUB2022-0151)(PRELIMINARY)MAS**
- c) Villas on Bentsen Subdivision, 5912 North 42nd Street, Carlo and Brooke Cantu (SUB2023-0001)(PRELIMINARY)QHA**

ADJOURNMENT:

IF ANY ACCOMMODATIONS FOR A DISABILITY ARE REQUIRED, PLEASE NOTIFY THE PLANNING DEPARTMENT (681-1250) 72 HOURS BEFORE THE MEETING DATE. WITH REGARD TO ANY ITEM, THE PLANNING & ZONING COMMISSION MAY TAKE VARIOUS ACTIONS, INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR PARTICULAR ACTION AT A FUTURE DATE.

STATE OF TEXAS
COUNTY OF HIDALGO
CITY OF McAllen

The McAllen Planning and Zoning Commission convened in a Regular Meeting on Wednesday January 4, 2023, at 3:30p.m. in the McAllen City Hall, 3rd Floor Commission Chambers Room, 1300 Houston Avenue, McAllen, Texas.

Present:	Michael Fallek Gabriel Kamel Jose Saldana Erica De la Garza Aaron D. Rivera	Chairperson Vice Chairperson Member Member Member
Absent:	Emilio Santos Jr. Marco Suarez	Member Member
Staff Present:	Austin Stevenson Edgar Garcia Liliana Garza Kaveh Forghanparast Katia Sanchez Samuel Nunez Adriana Solis Julian Hernandez Bilkis Martinez Magda Ramirez	Assistant City Attorney III Planning Director Planner III Planner II Planner II Planner II Planner II Planner Technician I Development Engineer Administrative Assistant

CALL TO ORDER – Chairperson Mr. Michael Fallek

PLEDGE OF ALLEGIANCE

INVOCATION- Vice Chairperson Mr. Gabriel Kamel

1) MINUTES:

- a) Minutes for the Regular meeting held on December 20, 2022.

The minutes for the regular meeting held in December 20, 2022 was approved as submitted by Vice Chairperson Mr. Gabriel Kamel. Seconding the motion was Mr. Jose Saldana which carried unanimously with 5 members present and voting.

2) PUBLIC HEARING:

- a) **CONDITIONAL USE PERMIT:**

- 1) Request of Jesus Dasael Gonzalez for a Conditional Use Permit, for the life of the use, and adoption of an ordinance, for an automotive service and repair (Eurostar Auto Werks Auto Repair) at Lot 9, Block 2, Poorbaugh's Subdivision, Hidalgo County, Texas; 304 North 3rd Street. **(CUP2022-0186)**

Mr. Samuel Nunez stated that the property is located on the east side of North 3rd Street, approximately 50 ft. north of Cedar Avenue. The subject property is zoned C-3 (general business) District. The adjacent zoning is C-3 District in all directions. Surrounding land uses include single family residential and commercial uses. An automotive service and repair shop is permitted in a C-3 District with a Conditional Use Permit and in compliance with all other requirements.

A commercial permit application was submitted for a proposed change of use from a vacant warehouse to an office/car repair shop on November 28, 2022. This is the initial Conditional Use Permit request for an auto service and repair for this applicant at this location. The Conditional Use Permit application was submitted on December 5, 2022.

The applicant is proposing to use the existing vacant warehouse space for an auto repair shop. According to the submitted floor plan, the shop will include one car shop working area, two restrooms, a storage area, a reception desk, and one office. The proposed hours of operation for the business are Monday to Friday between 8:00 AM and 6:00 PM by appointment only. Based on the total square footage of the existing building (2,500 square feet), 9 parking spaces are required; 8 parking spaces are provided on site (excluding bay area).

The Fire Department has completed their inspections of the property and no violations were found.

The business must meet the requirements set forth in Section 138-281 of the Zoning Ordinance and specific requirements as follows:

- 1) A minimum lot size of 10,000 sq. ft. is required. According to the submitted site plan and Hidalgo County Appraisal District records, the subject property's total lot size is 5,000 square feet.
- 2) All service, repair, maintenance, painting, and other work shall take place within an enclosed area. The work will be performed in an enclosed workshop area;
- 3) Outside storage of materials is prohibited. Storage area is proposed to be inside workshop as per the floor plan
- 4) The building where the proposed work is to take place shall be at least 100 feet from the nearest residence. There are at least two single-family residential uses within 100 feet. There are other single-family residential uses along North 3rd Street.
- 5) A 6-foot opaque fence to buffer the proposed use from any residential use or residentially zoned area is required (if applicable).
- 6) New buildings and all conversions of existing buildings to such uses shall meet current building code and fire code requirements in terms of separation of high hazard uses from other occupancy use classifications, etc.

If approval is granted to this request, the applicant must still comply with all other Zoning Ordinance and Building Code requirements that will be requested during the building permitting process.

Staff has not received any phone calls, emails, or letters in opposition to this request.

Staff recommends disapproval of the request based on noncompliance with requirements #1 (minimum lot size) and #4 (distance from nearest residence) of Section 138-281 of the Zoning Ordinance.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to disapprove with favorable recommendation. Ms. Erica De la Garza seconded the motion, which was disapproved with favorable recommendation with five members present and voting.

- 2) Request of the City of McAllen for a Conditional Use Permit, for the life of the use, and adoption of an ordinance, for an Institutional Use (Fire Station) at the 2.290 acres out of Section 227 and 232, Texas-Mexican Railway Company's Survey (Proposed Fire Station No. 8 Subdivision), Hidalgo County, Texas; 14300 North Shary Road. **(CUP2022-0189)**

Mr. Samuel Nunez stated that the vacant property is located on the east side of North Shary Road, approximately 800 feet south of Tres Lagos Boulevard. The subject property is zoned C-4 (commercial-industrial) District. The adjacent zoning is C-4 District to the north, and R-1 (single family residential) District in all other directions. Surrounding land uses include single-family residential and vacant land. An institutional use (Fire Station) is permitted in the C-4 District with a Conditional Use Permit and in compliance with requirements.

This is the initial Conditional Use Permit request of any kind for this property. This Institutional Use request for a Fire Station was submitted on December 8, 2022. A proposed subdivision plat review application for "Fire Station Number 8 Subdivision" was submitted on September 23, 2022 and received approval in preliminary form at the Planning and Zoning Commission meeting of October 18, 2022.

The property consists of 2.290 acres and the applicant is proposing to construct a Fire Station and parking area. The Fire Station will include a dispatch office, a dayroom and kitchen area, an apparatus bay, an exercise/gym room, and 8 dorm rooms. Based on the proposed number of dorm rooms, 8 parking spaces will be required. According to the provided site plan, 19 total parking spaces will be provided on site.

The Fire and Health Departments will be conducting the necessary inspections prior to building permit issuance. Should the Conditional Use Permit be approved, the applicant would be required to sign the application acknowledging and agreeing to all conditions noted of the permit.

The proposed use must comply with requirements set forth in Section 138-118 of the Zoning Ordinance and specific requirements as follow:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The property fronts and has access to North Shary Road, a principal arterial.
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of parking along street, especially in residential areas.

According to the provided site plan, 19 parking spaces (not including the Fire Station's bay area) will be provided along the south side of the proposed Fire Station.

- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the main building shall be determined by the Building Inspections Department and shall maintain the existing seating capacity for the main sanctuary; and
- 7) Sides adjacent to residential zones or uses shall be screened by a 6-foot opaque fence. An 8-foot high masonry wall is proposed along the south side property line, which is adjacent to an R-1 District and single-family residential uses.

If this request is granted approval, the applicant must still comply with all other Zoning Ordinance and Building Code requirements that will be requested during the building permitting process.

Staff did not receive any phone calls, emails, or letters in opposition to this request.

Staff recommends approval of the request, for the life of the use, subject to compliance with requirements in Section 138-118 of the Zoning Ordinance, and all other Zoning Ordinance, Building Department, and Fire Department requirements.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve subject to conditions noted. Mr. Jose Saldana seconded the motion, which was approved with five members present and voting.

- 3) Request of the City of McAllen for a Conditional Use Permit, for the life of the use, and adoption of an ordinance, for an Institutional Use (Fire Fighter Training Facility) at the south 15 acres out of Lot 19, La Lomita Irrigation & Construction Company's Subdivision (Proposed Fire Fighter Training Facility Subdivision), Hidalgo County, Texas; 10700 North La Lomita Road.
(CUP2022-0190)

Mr. Samuel Nunez stated that the property is located along the east side of North La Lomita Road, approximately 810 feet south of Sprague Road. The subject property is zoned A-O (agricultural and open space) District. The adjacent zoning is A-O District to the north, R-1 (single family

residential) District to the east, west and south, and R-3A (multi-family residential apartment) District also to the south. The surrounding land uses include single family residential and vacant land. An institutional use is permitted in an A-O District with a Conditional Use Permit and in compliance with requirements.

A Conditional Use Permit application for an Institutional Use (Training Facility) was submitted and approved for the life of the use at the City Commission meeting of May 29, 2012. A subdivision application for a "Fire Fighter Training Facility Subdivision" was submitted for the tract of land on September 23, 2022, and approved in preliminary form at the City Commission meeting of October 18, 2022.

An application for Conditional Use Permit for an Institutional Use (Fire Fighter Training Facility) was submitted on December 8, 2022 as an amendment to the original Conditional Use Permit approved by City Commission on May 29, 2012. This amendment was made necessary due to the change of placement and restructuring of the training facility within the lot.

The property consists of 15 acres and is primarily vacant except for an existing mobile home structure located along the south property line which is used for storage. Other existing structures and improvements include a "burn tower" and a paved area used for field training. The applicant is now proposing to construct a Fire Fighter Training Facility and a parking area. The proposed training facility will include administrative offices, a conference room, and several classrooms. Based on the total number of proposed administrative offices and classrooms, 30 parking spaces will be required; 57 total parking spaces are proposed for the site.

The proposed use must comply with the following requirements:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The property has direct access through La Lomita Road;
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking, especially in residential areas. A paved parking area is proposed within the Fire Fighter Training Facility with 57 total parking spaces proposed;
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the building shall be restricted to the existing seating capacity for the building; and

- 7) Sides adjacent to commercially and residentially zoned or used properties shall be screened by a 6 ft. opaque fence.

If this request is granted approval, the applicant must still comply with all other Zoning Ordinance and Building Code requirements that will be requested during the building permitting process.

Staff has not received any phone calls, emails or letters in oppositions to this request.

Staff recommends approval of the request for the life of the use, subject to compliance with the relevant Conditional Use Permit requirements and all other requirements set forth by the Zoning Ordinance, Building Department, and Fire Department.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Mr. Jose Saldana moved to approve. Mr. Aaron Rivera seconded the motion, which was approved with five members present and voting.

- 4) Request of Miguel A. Martinez for a Conditional Use Permit, for one year, for a home occupation for swimming lessons, at Lot 1, Duarte Subdivision, Hidalgo County, Texas; 4724 Buddy Owens Boulevard. **(CUP2022-0185)**

Ms. Katia Sanchez stated that the subject property is located along the north side of Buddy Owens Boulevard, east of 48th Street. The property is zoned R-1 (single family residential) District. Adjacent Zoning is R-1 District to the north, east, and west. It is C-3 (general commercial) District to the south. To the east, there is A-O (agricultural-open space) District. A home occupation for swimming lessons is permitted in an R-1 District with a conditional use permit and in compliance with all requirements.

An application for a Home Occupation Conditional Use Permit request was submitted on November 29, 2022. This is the second request for a home occupation at that location within the past two months. On November 16, 2022, the Planning and Zoning Commission unanimously voted to approve the initial home occupation request at 4724 Buddy Owens Boulevard. Since the approved site plan for the swimming pool did not coincide with the actual dimension of the swimming pool and covered structure over entire pool, an amended Conditional Use Permit for a home occupation for swimming lessons was required.

The applicant is proposing to operate swimming lessons located at his residence. The proposed hours of operation will be from 9 AM to 8 PM Monday through Saturday. According to the submitted site plan, the swimming pool is located at the rear of the property. The dimensions of the swimming pool are as follows: 30 feet by 50 feet.

The fire inspection conducted by the Fire Department was satisfactory. Should the conditional use permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The occupation may not be operational until issuance of the certificate. The business must comply with requirements set forth in Section 138-118(a)(1) of the Zoning Ordinance and other specific requirements as follows:

- 1) The home occupation must be clearly secondary to the residential use. As per the applicant,

- the applicant lives at the residence;
- 2) One nameplate attached to the building not larger than two square feet is permitted in all districts except R-1 single-family residential district;
 - 3) There shall be no exterior display or alterations indicating that the building is being used for any purpose other than that of a dwelling. The applicant does not propose any alteration;
 - 4) There shall be no more than one additional unrelated employee other than immediate members of the family residing on the premises;
 - 5) There shall be no outside storage of materials or products;
 - 6) The permitted use shall not create frequent or heavy traffic, not greater than ten percent (10%) of the average load per hour as determined by the city traffic engineer. The applicant stated that classes are by appointment only;
 - 7) No retail sales (items can be delivered). The proposed use does not involve retail sales;
 - 8) No additions to the residence or accessory building specifically to accommodate the business. The applicant proposes no additions or accessory building to accommodate the business;
 - 9) The business must take place in the primary residential structure on the property rather than in a detached garage or separate accessory building. The occupation is proposed to take place in the primary residential structure; and
 - 10) The activity must take place at the location of which the permit was issued.

Staff recommends approval of the Conditional Use Permit request, since home occupations are permitted in an R-1 District with a Conditional Use Permit. Any approval is subject to compliance with the Zoning Ordinance and Building Permit requirements.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve. Ms. Erica De la Garza seconded the motion, which was approved with five members present and voting.

- 5) Request of Eugene T. Hague III on behalf of VCCMA, LLC for a Conditional Use Permit, for life of the use, for an Institutional Use (cosmetology academy) at Lot 1, Plaza Del Norte Subdivision, Hidalgo County, Texas; 3420 North 10th Street, Suite 200. **(CUP2022-0187)**

Ms. Katia Sanchez stated that the property is located on the east side of North 10th Street, approximately 300 feet south of Jonquil Avenue. The adjacent zoning is C-2 (neighborhood commercial) District and C-3 (general business) District. The contiguous zoning is C-3 district to the north, south, and west. To the north, the zoning is R-3T (multi-family townhouse residential) District. The zoning district to the east is R-3A (multi-family residential apartment) and R-3C (multi-family residential condominiums). Surrounding land uses are HEB, Delias Tamales, and Country Omelette. An institutional use (beauty school) is permitted in the C-3 District with a Conditional Use Permit.

Plaza Del Norte Subdivision was recorded on June 03, 1986. The applicant submitted an application for a Conditional Use Permit for the proposed cosmetology school on December 09, 2022.

The applicant is proposing to operate a cosmetology school from the 3,862.14 square feet lease

space. The proposed days and hours of operation are from Monday through Thursday 8:00 a.m. to 9:30 p.m., and Friday through Saturday 8:00 a.m. to 5:00 p.m. There will be 3 classrooms, 1 break room, 1 storage room, and 1 office. Based on (5) parking spaces per classroom area and (1.5) parking spaces for space use as an administration office, 17 parking spaces are required; as per submitted site plan there are 429 parking spaces are provided on site. The parking spaces are provided as part of shared parking with the existing commercial development. The parking requirement for the proposed business is in compliance based on the hours of operation for other businesses.

The Fire Department conducted an inspection and the result was satisfactory. Should the conditional use permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The proposed use must meet the requirements set forth in Section 138-118 of the Zoning Ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial;
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking, especially in residential areas; 17 parking spaces are required. Based on (5) parking spaces per classroom area and (1.5) parking spaces for space use as an administration office, 17 parking spaces are required. The parking spaces are provided as part of the existing commercial development. The parking spaces for the proposed business is in compliance based on the staggered hours of operation for the majority of the businesses;
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the building shall be restricted to those allowed by the Fire Marshal and Building Official at the time of permit issuance.

Staff recommends approval of the request, for life of the use; subject to compliance with the conditions noted, Zoning Ordinance, Fire Department and building permit requirements.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Mr. Jose Saldana moved to approve. Ms. Erica De la Garza seconded the motion, which was approved with five members present and voting.

- 6) Request of Daisy Gonzalez and Karina Gonzalez for a Conditional Use Permit, for one year, for an event center at Lot 1, Plaza Del Norte Subdivision, Hidalgo County, Texas; 3420 North 10th Street, Suite 240,245, and 250. **(CUP2022-0188)**

Ms. Katia Sanchez stated that the property is located on the east side of North 10th Street, approximately 300 feet south of Jonquil Avenue. The adjacent zoning is C-2 (neighborhood commercial) District and C-3 (general business) District. The contiguous zoning is C-3 district to the north, south, and west. To the north, the zoning is R-3T (multi-family townhouse residential) District. The zoning district to the east is R-3A (multi-family residential apartment) and R-3C (multi-family residential condominiums). Surrounding land uses are HEB, Delias Tamales, and Country Omelette. An institutional use (beauty school) is permitted in the C-3 District with a Conditional Use Permit.

Plaza Del Norte Subdivision was recorded on June 03, 1986. The applicant submitted an application for a Conditional Use Permit for the proposed cosmetology school on December 09, 2022.

The applicant is proposing to operate an event center from the 3,371 square feet lease space. The proposed days and hours of operation are from Monday through Sunday 8:00 a.m. to 12 a.m. There will be a reception area, the main area, restrooms, and a preparation area.

The Fire Department has inspected the proposed event center and allowed the CUP process to continue. The police activity report is still pending. The Planning Department has received no complaints regarding this use. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

1. The property line of the lot of any of the abovementioned businesses must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The establishment is within 400 ft. of the above mentioned land uses;
2. The abovementioned business must be as close as possible to a major arterial, and shall not allow the traffic generated by such business onto residential streets, or allow such traffic to exit into and disrupt residential areas. The establishment has access to North 10th Street and shall not generate traffic into residential areas;
3. The abovementioned business must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. Based on the floor area, 34 parking spaces are required, based on the submitted site plan 429 parking spaces are provided;
4. The abovementioned business must do everything possible to prevent the unauthorized parking by the patrons of such businesses on adjacent business or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances;
5. The abovementioned business should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility of as much

as possible of the site from a public street;

6. The abovementioned business must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties;
7. The abovementioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Director of Planning. This number cannot exceed the number provided for in existing city ordinances.

Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of the Zoning Ordinance.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to disapprove with favorable recommendation. Mr. Jose Saldana seconded the motion, which was disapproved with favorable recommendation with five members present and voting.

b) REZONING:

- 1) Rezone from R-2 (duplex-fourplex residential) District to R-3A (multifamily residential apartment) District: 0.75 acres being all of Lot 1A and 2A, La Villita Subdivision, and the East 31 feet of the abandoned 6th Street right-of-way, Hidalgo County, Texas; 520 Jackson Avenue. **(REZ2022-0053)**

Mr. Kaveh Forghanparast stated that the property was located on the north side of Jackson Avenue, 160 ft. west of South 5th Lane. The irregularly shaped tract had 161.29 ft. of frontage along Jackson Avenue with a depth of 199.98 ft. at its deepest point for a lot size of 0.75 acres.

The applicant was requesting to rezone the property to R-3A (multifamily residential apartment) District in order to build 4 duplexes (8 apartment units). A feasibility plan submitted by the applicant was included in the packet.

The adjacent zoning was R-1 (single-family residential) District to the east and south, R-3T (multifamily residential townhouse) District to the north, and R-3A (multifamily residential apartment) District to the west.

The subject property was currently vacant. Surrounding land uses included single-family residences, Jackson Square Apartments, Villas del Tesoro townhouses, office, and vacant land.

The Foresight McAllen Comprehensive Plan designated the future land use for this property as Suburban Residential, which was comparable to R-1 District.

The development trend for this area along Jackson Avenue was a single-family residences and apartments.

The tract was zoned R-1 District during the comprehensive zoning in 1979. City Commission abandoned South 6th Street between Houston Avenue and Jackson Avenue on December 16,

1974, creating a landlocked parcel, Lot 2-A. Two subdivision plats for creating single-family lots fronting Jackson Avenue was proposed in 1993 and 2009, but were subsequently expired. City Commission disapproved a rezoning request to R-3C (multifamily residential condominium) District for the subject property in 1999 due to oppositions. A City-initiated rezoning to C-1 (office building) District along Jackson Avenue from Colonel Rowe Boulevard to South 8th Street was not recommended by the Planning and Zoning Commission for approval in 2003, due to neighborhood's request to retain the residential character of the area. A rezoning request to R-3C District for the property was withdrawn on May 10, 2005, after being disapproved by the Planning and Zoning Commission. Another rezoning request to R-3C District for the subject property was disapproved and alternatively approved for R-2 (duplex-fourplex residential) District on September 26, 2005. There has been no other rezoning request for the subject property since then.

The adjacent property to the west was zoned R-3A District in 1979. A rezoning request to R-3T District for the adjacent property to the north was approved on December 11, 2006.

The requested zoning did not conform to Suburban Residential land use designation as indicated on Foresight McAllen Comprehensive Plan. However, it was compatible with the surrounding zoning and development trend in this area. Approval of the rezoning request would allow residential development of the vacant lot.

A recorded subdivision plat was required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit was required prior to recording a subdivision plat.

Staff has not received any calls, letters, or emails in opposition to the rezoning request.

Staff recommended approval of the rezoning request to R-3A (multifamily residential apartment) District, since it was compatible with the surrounding zoning and development trend in this area and would allow residential development of the vacant land.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was two citizens in opposition.

Citizen Mr. Jesus Ramos and Mrs. Ana Maria Ramos (both 611 Jackson Avenue McAllen, Texas) stated their concerns are noise, traffic, and the traditional ways of living throughout the neighborhood area.

Applicant, Mr. Sam Giard stated the plan is to build duplexes instead of units that would consist of 4 units per property. Chairperson Mr. Michael Fallek stated that once the property rezoned to R-3A, it wouldn't limit the number of units to duplexes; however, the applicant intended to build less than he could build in an R-2 district which might be better for everyone.

After a lengthy discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve. Ms. Erica De la Garza seconded the motion, which was approved with five members present and voting.

- 2) Rezone from R-1 (single-family residential) District to C-3 (general business) District: 0.97 acres out of Lot 11, Section 12, Hidalgo Canal Company Subdivision, Hidalgo County, Texas; 1009 Jay Avenue. **(REZ2022-0046)(TABLED SINCE 12/6/2022)**

Mr. Kaveh Forghanparast requested for the item to be removed from table. Vice Chairperson Mr. Gabriel Kamel moved to remove and Mr. Jose Saldana seconded the motion. Item has been removed from table.

Mr. Kaveh Forghanparast stated that the property was located on the south side of Jay Avenue, 319.20 ft. west of North 10th Street. The tract had 128 ft. of frontage along Jay Avenue with a depth of 330 ft., for a lot size of 0.97 acres.

The applicant was requesting to rezone the property to C-3 (general business) District for commercial use. A submitted site plan depicts that it will be part of a larger commercial development at the southwest corner of North 10th Street and Jay Avenue. A proposed subdivision under the name of QQ 10th & Jay Subdivision, was approved for the subject property in preliminary form by the Planning and Zoning Commission on December 7, 2021.

The adjacent zoning was C-3 (general business) District to the south, east, and northeast, R-3A (multifamily residential) District to the north and northwest, and R-1 (single-family residential) District to the west and southwest.

The property is currently vacant. Surrounding land uses include single-family residences, Valencia Apartments, Breakaway Cycling Boutique, offices, Tenth at Jay Street Shopping Plaza, Top 10 Plaza, Falcon International Bank, Affordable Attic Self Storage, and vacant land.

The Foresight McAllen Comprehensive Plan designated the future land use for this property as Auto Urban Single Family which was comparable to R-1 (single-family residential) District.

The development trend for this area along Jay Avenue was residential and commercial.

The subject property was zoned R-1 (single-family residential) District and the eastern portion of the larger tract was zoned C-3 (general business) District upon comprehensive zoning in 1979. Three rezoning requests to C-3 District for the subject property was withdrawn in 2009, 2018, and 2021, after some neighbors appeared in opposition to the rezoning request. There has been no other rezoning request for the subject property since then.

The requested zoning did not conform to the Auto Urban Single Family land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, it is adjacent to properties zoned C-3 District to the east and south. The proposed zone will be part of a larger commercial development that fronts North 10th Street, according to the submitted site plan. The rezoning request is following the development trend in this area along North 10th Street and is in character with the adjacent commercial use to the south side. If the rezoning is approved, the boundary line of C-3 zone would follow about the same lot depth as Sun Place Subdivision.

A recorded subdivision plat and approved site plan are required prior to building permit issuance. A masonry screen eight feet in height shall be required where a commercial, industrial or multifamily use has a side or rear property line in common with a single family use or zone.

Staff has received three phone calls in opposition to the rezoning request with concerns regarding increasing noise and traffic due to commercial development in the mainly residential area.

Staff recommends approval of the rezoning request to C-3 (general business) District since it is compatible with the adjacent zoning and development trend in this area and will be part of a larger commercial development along North 10th Street.

At the Planning and Zoning Commission meeting of December 6, 2022, two people appeared in opposition to the rezoning request. Steve Widnick, 1105 Jay Avenue, and Don Drefke, 1101 Jay Avenue, spoke in opposition to the proposed rezoning and commercial development on Jay Avenue. Their concerns included increasing noise and traffic on a residential street, impacting the quality of life and property values. Mario Reyna, the engineer and the applicant, spoke in favor of the request. After further discussion, the applicant requested that the item be tabled to speak with the opposition and address their concerns. The Board voted to table the request with five members present, four voting, and one abstaining.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was one citizen in opposition. Mr. Fallek also stated that Vice Chairperson Mr. Gabriel Kamel has abstained from this item.

Citizen Mr. Don Drefke (1101 Jay Avenue McAllen, Texas) stated his concern is flooding.

Applicant representative, Ms. Kelly Vela with Melden & Hunt stated that the drainage system project with the City of McAllen is in the planning process at this time. Other concerns that Mr. Drefke had in previous meetings have been addressed to Mr. Drefke and Melden & Hunt have been in contact with him throughout the process.

Mr. Drefke then stated he is not in opposition, he is only concerned that the issues will be addressed.

Staff mentioned that they received an email from Mario Reyna, the applicant and Melden & Hunt's President, indicating that they would build an 8ft masonry wall and provide a 15ft. landscape buffer by plat. Staff clarified that during the site plan review, the buffer will be required according to the code and anything in addition to the requirements could be done voluntarily by the applicant.

After a lengthy discussion, Ms. Erica De la Garza moved to approve subject to conditions noted. Mr. Jose Saldana seconded the motion, which was approved with four members present and voting and one member abstaining from the vote.

3) SITE PLAN:

- a) Site plan approval for Lot 1, Plaza On Ridge Road Subdivision; 1101 East Ridge Road. **(SPR2022-0045)**

Ms. Katia Sanchez stated that the property is located on the north side of East Ridge Road, west of K Street. The property is approximately 3.436 acres. The property is zoned C-3 (general commercial) District and the adjacent zoning is C-3 District in all directions.

Based on 5,154.22 square feet of carwash use, 17 parking spaces are required. Two of the proposed parking spaces must be accessible, which must also be van accessible with an 8 feet wide aisle. Access to the site is from a proposed curb cut along South "K" Center Street and East Ridge Road. Required landscaping for the lot is 6,534 square feet of which 26,829 square feet is

provided. The tree requirement is as follows: 19-2 ½" caliper trees, 10-4" caliper trees, 5-6" caliper trees, or eight palm trees. A minimum 10 feet wide landscaped strip is required inside the property line along East Ridge Road and South "K" Center Street. Fifty percent of the landscaping must be visible from the street, and each parking space must be within 100 feet of a landscaped area with a tree, as required by ordinance. A 6 ft. buffer is required around dumpsters/compactors if visible from the street. No structures are permitted over easements. The plat was recorded on September 21, 2007; South "K" Center Street setback is 30 feet, East Ridge Road setback is 50 feet. No structures are permitted over easements nor setbacks.

The Building Permit Site Plan must comply with requirements noted on the Development Team Review sheet.

Staff recommends approval of the site plan subject to the conditions noted, Building Permit requirements, and the subdivision and zoning ordinances.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve. Mr. Jose Saldana seconded the motion, which was approved with five members present and voting.

4) CONSENT:

- a) Kamary Subdivision, 4000 State Highway 107, Kamary Investments, Ltd.
(SUB2022-0139)(FINAL)SA
- b) Kamary II Subdivision, 4200 State Highway 107, Kamary Investments, Ltd.
(SUB2022-0138)(FINAL)SA

Being no discussion, Ms. Erica De la Garza moved to approve subdivisions in consent form Items 4a-b. Mr. Jose Saldana seconded the motion, which was approved with five members present and voting.

5) SUBDIVISION:

- a) Dove Meadows Subdivision, 5517 North Bentsen Road, Riverside
Development Services, LLC **(SUB2022-0079) (FINAL)JEH**

Ms. Liliana Garza stated N. Bentsen Road: Dedication as needed for 100 ft. total ROW. Paving: 65 ft. Curb & gutter: both sides Revisions needed: Label centerline along N. Bentsen Road prior to recording. Label ROW dedications from centerline to new plat boundary, total, existing, etc., prior to recording. Provide Document Numbers on plat for existing ROW dedication and Documents, prior to recording. Staff is reviewing street alignment with the subdivisions to the north and south, ROW requirements are subject to change to match existing ROW and paving widths, finalize prior to recording. Finalize ROW requirements prior to recording. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan monies must be escrowed if improvements are required prior to recording. Dove Avenue: Dedication as needed for 75 ft. from centerline for 150 ft. total ROW. Paving; 65 ft. min. Curb & gutter. both sides Revisions needed: The Foresight Comprehensive Map called Dove Avenue to be 75 ft. from centerline for 150 ft. total ROW Subdivision initially submitted on July 7, 2022, proposed only an additional 10 ft. ROW.; however, on October 25, 2022, engineer submitted plat demonstrating existing 70 ft. ROW with no additional dedication. Label centerline along Dove Avenue., prior to recording. Provide Document Numbers on plat for existing ROW

dedication and Documents, prior to recording. Engineer submitted a variance request to allow existing 70 ft. ROW with no additional dedication. As per Engineering Department, they are recommending disapproval of variance request to the 150 ft. ROW requirement for Dove Avenue and in lieu they are recommending for the additional 10 ft. ROW dedication to be dedicated. Plat would need to be revised accordingly prior to recording. Subdivision Ordinance: Section 134-105 and/ or COM Thoroughfare Plan. Monies must be escrowed if improvements are required prior to recording. N. 46th Street: Proposing 50 ft. total ROW. Paving: 32 ft. Curb & gutter: Both Sides. Revisions needed: Verify street alignment with the subdivision the south, as ROW requirements are subject to change to match existing ROW and paving widths, finalize prior to recording. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are required prior to recording. N. 48th Street: Proposing minimum 50 ft. of ROW. Paving: 40 ft. Curb & gutter: both sides. Verify street alignment with the subdivision the south, as ROW requirements are subject to change to match existing ROW and paving widths, finalize prior to recording. Provide for dedication dimensions as ROW width varies prior to recording. Finalize and label ROW dedication prior to recording. 10 ft. of additional dedication will be required from adjacent property along the westside for a future 60 ft. of ROW with 40 ft. of paving. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are required prior to recording. Cardinal Avenue(Interior Street): Proposing 50 ft. total ROW Paving: 32 ft. Curb & gutter: Both Sides. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are required prior to recording. 1,200 ft. Block Length Subdivision Ordinance: Section 134-118. Front: 25 ft. or greater for easements. Zoning Ordinance: Section 138-356. Rear: 10 ft. or greater for easements. Zoning Ordinance: Section 138-356. Interior sides: 6 ft. or greater for easements. Zoning Ordinance: Section 138-356. Corner: 10 ft. or greater for easements. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required, greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required along N. Bentsen Road, Dove Avenue, N.48th Street and Both Sides of all Interior Streets. Revisions needed: Revise plat note #7 as shown above prior to recording. Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along Dove Avenue and N. Bentsen Road. Revisions needed: Revise plat note #9 as shown above prior to recording. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along N. Bentsen Road, Dove Avenue, and N.48th Street. Revisions needed: Provide plat note as shown above on plat prior to recording. Must comply with City Access Management Policy. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing:C-2(Neighborhood Commercial) District / R-1(Single-Family Residential) District Proposed:R-1(Single-Family Residential) District.

Rezoning for a portion of proposed subdivision currently from C-2(Neighborhood Commercial) District to R-1(Single-Family Residential) District, was approved by the Planning and Zoning Commission board at their meeting of August 2,2022 and by City Commission at their meeting of August 22,2022. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Rezoning for a portion of proposed subdivision currently from C-2(Neighborhood Commercial) District to R-1(Single-Family Residential) District, was approved by the Planning and Zoning Commission board at their meeting of August 2,2022 and by City Commission at their meeting of August 22,2022. Zoning Ordinance: Article V Compliance. Land dedication in lieu of fee. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Park Department fees apply to this subdivision at a rate of \$700 per dwelling unit, this in accordance with McAllen's Park Land Dedication and Park Development Fees Ordinance. Amount comes to \$31,500, based on \$700 for each individual home and payable prior to plat recording. Fees can go up or down, they are dependent on the number of units. Pending review by City Manager's Office. As per Traffic Department, Trip generation for 45 lot single family is approved and no TIA is required. Verify street alignment with the subdivision the south, as ROW requirements are subject to change to match existing ROW and paving widths, finalize prior to final. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in final form subject to conditions noted, and clarification of the variance request to row requirement for Dove Avenue.

Chairperson Mr. Michael Fallek asked for certification or staff recommendation and if there is going to be a right-turn only lane. Ms. Liliana Garza stated that staff recommends disapproval of the variance request but in exchange require a 10ft ROW dedication with corner clip on Dove Avenue and North Bentsen Road in lieu of no dedication at all. Ms. Bilkis Martinez, Development Engineer for the City of McAllen stated there already is plans in process to expand 4 lanes on Dove Avenue and 5 lanes on Bentsen Avenue and the additional 10ft will allow for additional utilities.

After a lengthy discussion, Vice Chairperson, Mr. Gabriel Kamel moved to approve the subdivision in final form based on staff recommendation of the additional 10ft right of way dedication for a minimum total 80ft ROW in lieu of the 150ft total right away requirement. Mr. Jose Saldana seconded the motion, which was approved with five members present and voting.

ADJOURNMENT:

There being no further business s to come before the Planning & Zoning Commission, Mr. Jose Saldana adjourned the meeting at 4:09p.m. with Ms. Erica De La Garza seconding the motion and with five members present and voting.

Chairperson Michael Fallek

ATTEST: _____
Magda Ramirez, Administrative Assistant

Planning Department

Memo

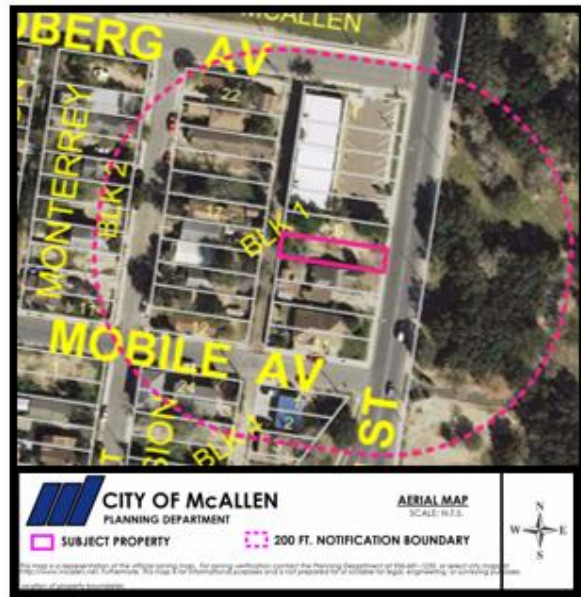
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: January 09, 2023

SUBJECT: Request of Saul E. Chavez for a Conditional Use Permit, for more than one year (life of the use), for an institutional use (prayer house), at Lot 7, Block 1, Monterrey Subdivision, Hidalgo County, Texas; 1214 South Main Street. (CUP2022-0191)

BRIEF DESCRIPTION: The property is located approximately 180 feet south of Lindberg Avenue, on the west side of South Main Street. The subject property is zoned as C-2 (neighborhood commercial) District. The contiguous zoning is C-2 District to the north, and R-2 (duplex-fourplex) District to the east, south, and west. Surrounding land uses include single family residences and Roselawn Cemetary and Mausoleum. A prayer house is permitted in a C-2 District with a Conditional Use Permit and in compliance with the requirements.



HISTORY: The application for a Conditional Use Permit for an institutional use (prayer house) was submitted to the Planning Department on December 08, 2022.

REQUEST/ANALYSIS: The applicant is proposing to operate a prayer house from the proposed 956 square feet building. The building consists of a sitting area, an office, two restrooms, and one porch. The hours of operation of the prayer house will be from 10 AM through 12 PM on

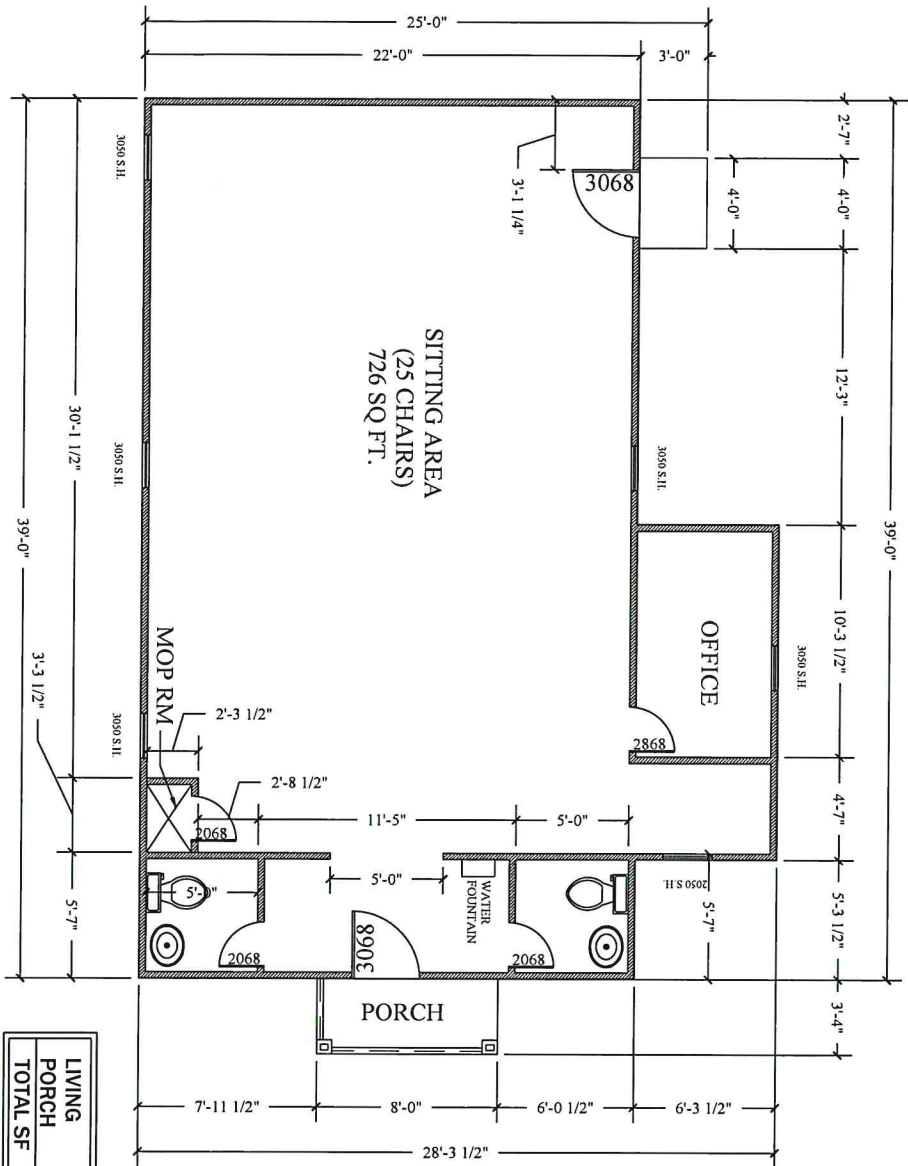
Sundays and 7 PM through 9 PM on Wednesday.

Based on 25 proposed seats in the main sitting area, seven parking spaces are required of which one parking space must be for persons with disabilities. There are eight total parking spaces proposed as per the submitted site plan.

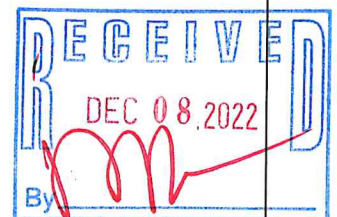
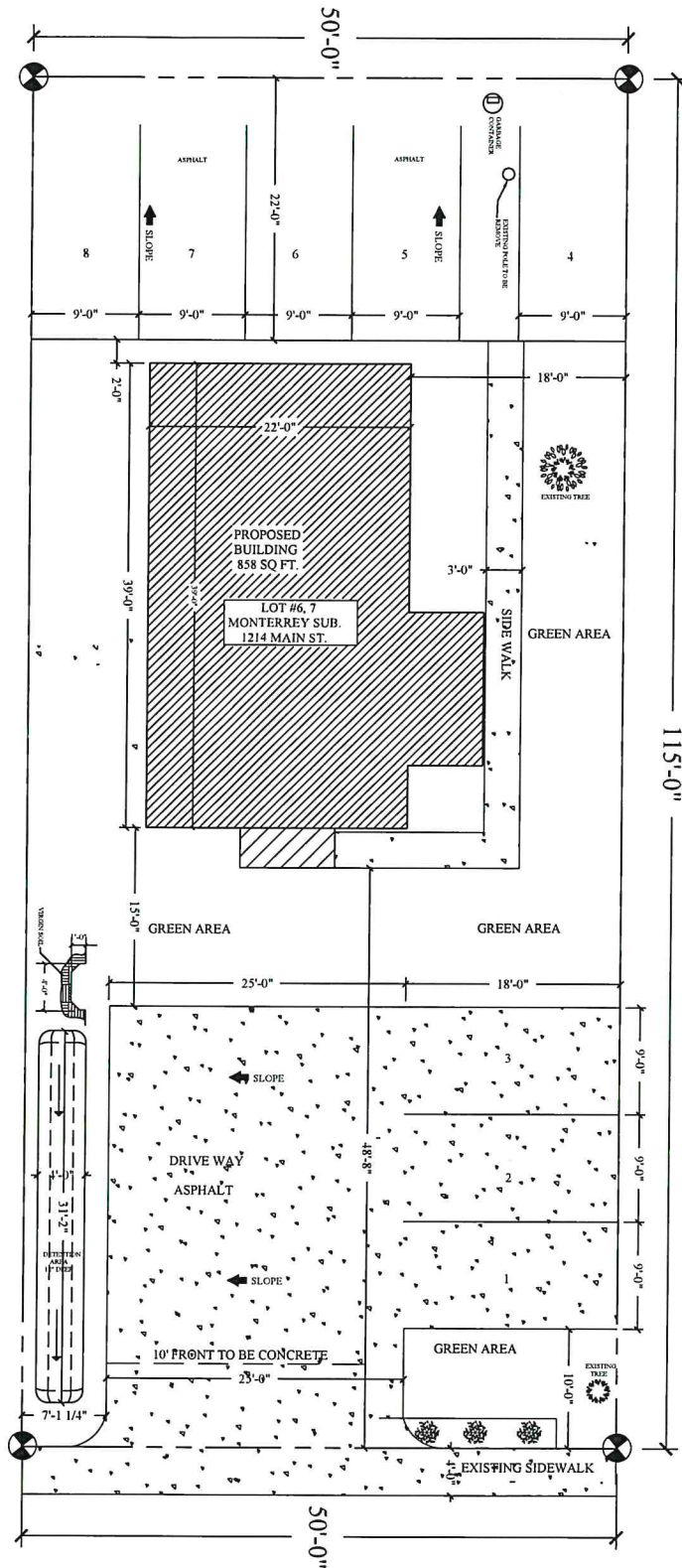
The Fire Department has conducted their necessary inspection and is satisfactory. Should the conditional use permit be approved, the applicant would be required to sign the application acknowledging and agreeing to all conditions of the permit. The proposed use must also comply with the zoning ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The property fronts South Main Street;
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking, especially in residential areas. Based on the seating area of 25 proposed seats, 7 parking spaces are required; 8 parking spaces are proposed;
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas.
- 6) The number of persons within each building shall be restricted to the existing seating capacity for the building.

RECOMMENDATION: Staff recommends approval of the request, for life of the use, subject to compliance with requirements of the Zoning Ordinance, Building Permits and Fire Department requirements.



THESE DRAWINGS SHALL REMAIN THE PROPERTY OF SC. DESIGN. THEY MAY NOT BE REPRODUCED, COPIED, OR ALTERED IN ANY WAY WITHOUT PRIOR WRITTEN APPROVAL & PERMISSION FROM SC DESIGN.	
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, REGULATIONS, AND ORDINANCES.	
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING WORK. ANY DISCREPANCIES SHALL BE REPORTED TO DESIGNER FOR JUSTIFICATION AND OR PROCEEDING WITH WORK.	
3. ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.	
4. ALL FOOTING TO BE BELOW FROST LINE (SEE LOCAL CODE) AND MUST REST ON UNDISTURBED SOIL OR PAVE OF HANDLING THE BUILDING.	
5. ALL WOOD, CONCRETE & STEEL SHALL BE TREATED TO RESIST ROT AND INSECT DAMAGE & MEET ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE.	
NEW RESIDENCE OF: SAUL CHAVEZ PROJECT ADDRESS LOT #6,7 MONTERREY SUB	
SC-DESIGN 789-6915	
DRAWN BY: S.C. DATE: 9-22 SCALE: 1/8"=1'-0"	SHEET 1 of 7



THESE DRAWINGS SHALL BE THE PROPERTY OF S.C. DESIGN. THEY ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. THEY ARE NOT TO BE REPRODUCED, COPIED, ALTERED IN ANY WAY WITHOUT PRIOR WRITTEN APPROVAL & SIGNATURE OF S.C. DESIGN FROM S.C. DESIGN.	
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CITY, STATE, AND LOCAL CODES, REGULATIONS, AND FHWA/MR.	
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO S.C. DESIGN FOR CORRECTION BEFORE PROCEEDING WITH WORK.	
3. ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.	
4. ALL FOOTING TO BE BELOW FROST LINE (SEE LOCAL CODE) AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE BUILDING.	
5. ALL WOOD, CONCRETE & STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE & QUALITY AND MEET ALL NATIONAL, STATE, AND LOCAL CODES WHERE APPLICABLE.	
NEW RESIDENCE OF: SAUL CHAVEZ	
PROJECT ADDRESS: LOT #4.5 MONTERREY SUB	
S.C. DESIGN 789-6915	
DRAWN BY: S.C.	SHEET: 7
DATE: 09-22	OF: 7
SCALE: 1/8"=1'-0"	



Planning Department

Memo

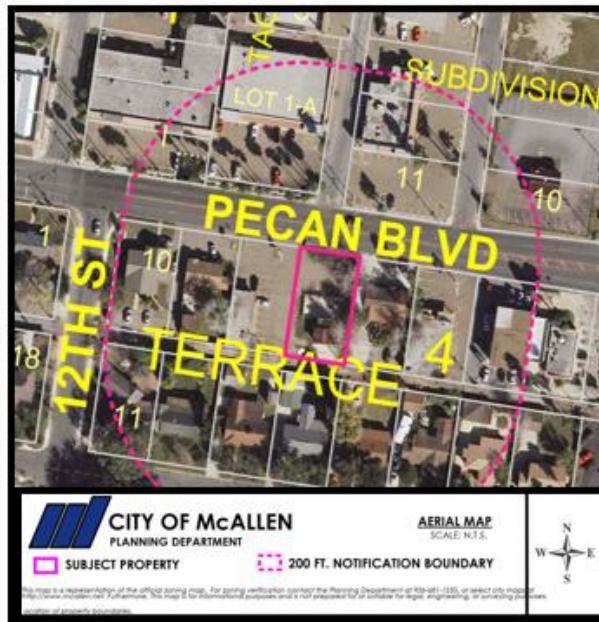
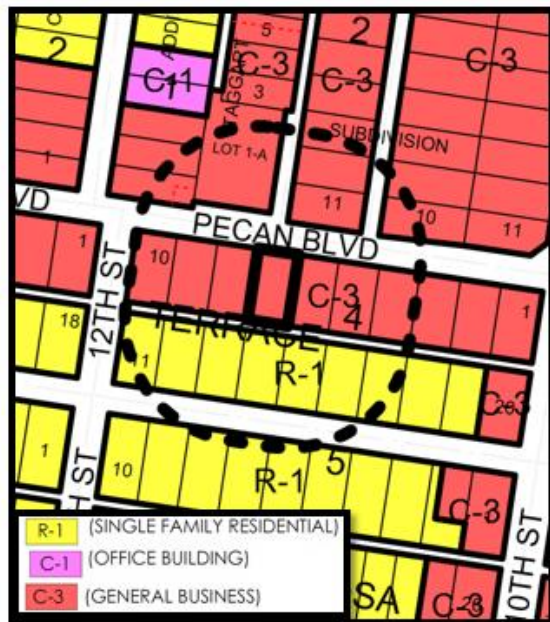
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: January 12, 2023

SUBJECT: Request of Diego A. Ramos for a Conditional Use Permit, for one year, for a portable building greater than ten feet by twelve feet, at Lot 7, Block 4, Orange Terrace Subdivision No. 3, Blocks 4 & 5, Hidalgo County, Texas; 1109 Pecan Boulevard. (CUP2022-0199)

DESCRIPTION: The subject property is located on the south of Pecan Boulevard, approximately 230 feet east of 12th Street. The property is zoned C-3 (general commercial), and it is zoned C-3 to the north, east, and west. The contiguous zoning to the south is zoned R-1 (single-family residential) District. Surrounding land uses include Kuressence Hair Salon, Michael Harms Construction, The Office Bar and Grill, and residential homes. A portable building for commercial use is permitted in the C-3 District with a conditional use permit.



HISTORY: Orange Terrace Subdivision No.3, Blocks 4 & 5 Subdivision was recorded on July 17, 1945. An application for a Conditional Use Permit was submitted to the Planning Department on December 21, 2022.

REQUEST/ANALYSIS: The applicant is requesting a conditional use permit for a portable building to be located on the property near an existing commercial (snack shop)

establishment. The portable building dimensions are 9 feet by 24 feet as per the submitted site plan. The portable building will be used for selling of food (Diego's Farm to Table Food Truck). The proposed hours of operation are from Wednesday to Sunday from 12 PM to 12 AM. As per the submitted site plan, the portable building will not be placed on any existing parking spaces. Any addition or canopy on site would require the necessary permits and must comply with our city ordinances.

The Fire and Health Department review are currently under review. Should the Conditional Use Permit be approved, the applicant would be required to sign the application acknowledging and agreeing to the conditions of the permit.

The establishment must also meet the requirements set forth in Section 138-118 of the Zoning Ordinance and specific requirements as follows:

Section 138-118(3) of the Zoning Ordinance as follows:

- 1) Portable buildings must not be used for living quarters. The portable building will be used as a food truck;
- 2) Must be located in such a manner as to have access to a public right-of-way within 200 feet;
- 3) The proposed use and adjacent businesses shall comply with the off-street parking and loading ordinance. The parking lot has to be paved and striped according to Section 138-400 of the Zoning Ordinance;
- 4) Must provide garbage and trash collection and disposal;
- 5) No form of pollution shall emanate beyond the immediate property line of the permitted use; and
- 6) Additional reasonable restrictions or conditions such as increased open space, loading and parking requirements, suitable landscaping, curbing, sidewalks or other similar improvements may be imposed in order to carry out the spirit of the Zoning Ordinance or mitigate adverse effects of the proposed use.

RECOMMENDATION: Staff recommends approval of the Conditional Use Permit request, subject to compliance with the Zoning Ordinance, Health Department requirements, and in compliance with Fire Department requirements.

W

Table w
4 seats

Alley

29 ft

16 ft

25 ft

25 ft

42 ft

S

20 ft

Alley

10 ft

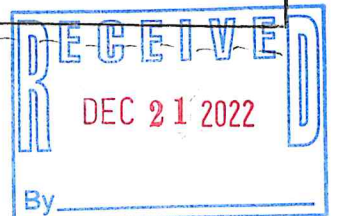
9 ft

W.C.

Doorway

Neighboring line

ET



N

PELHAM DRIVE

65 ft

40 ft

50 ft

Sign

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8

KITCHEN

FOOD TRUCK
portable building
no wheels

1109
Outdoor Seating

portable building

w.c.

71'

ALLEY

20 ft

W

S







Memo

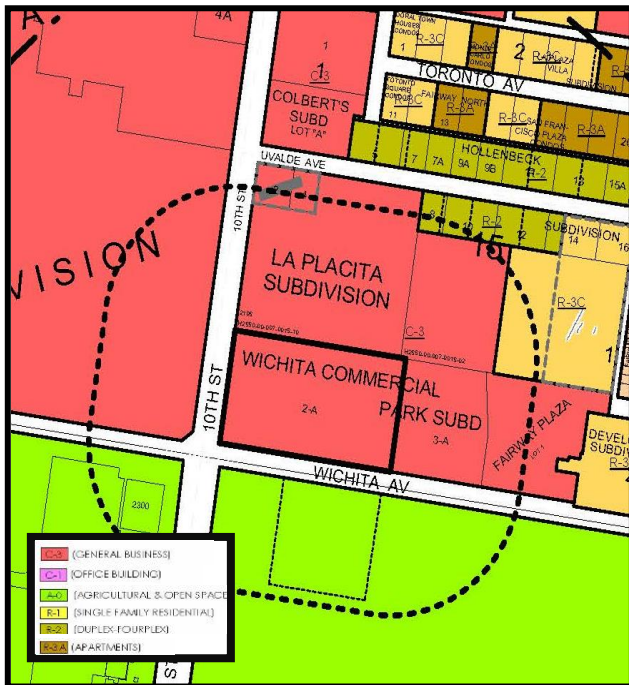
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: January 10, 2023

SUBJECT: Request of OL Beverage Holdings, LLC for a Conditional Use Permit, for one year, for a bar at Lot A2, Lots A 2 & A3 Wichita Commercial Park Subdivision, Hidalgo County, Texas; 2121 South 10th Street. (CUP2022-0197)

DESCRIPTION: The property is located on the corner of South 10th Street and Wichita Avenue and is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the north, west, and east, and A-O (agricultural and open space) District to the south. Surrounding land uses include McAllen Country Club, Logan's Roadhouse, Mccrery Aviation Co., La Placita retail plaza, Fairway Plaza Shopping Center, and multifamily condominiums. A bar is allowed in a C-3 zone with a Conditional Use Permit and in compliance with requirements.



HISTORY: The initial Conditional Use Permit was approved by the City Commission on December 4, 2020 with a variance to the distance requirement of being at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property. The permit must be renewed annually therefore; it has to come before the Planning and Zoning Commission for consideration.

ANALYSIS: The applicant is proposing to continue operating the bar (Ojos Locos Sports

Cantina) from the existing 6,450 sq. ft. building. The proposed hours of operation would be from 11 a.m. to 12 a.m. Sunday through Wednesday and 11 a.m. to 2 a.m. Thursday through Saturday.

The Fire Department inspection is pending. The Health Department inspected the bar and determined the property to be in compliance. The Planning Department has received no complaints regarding this use. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of the lot of any of the abovementioned businesses must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The establishment is within 400 ft. of the residential zone/use to the north;
- 2) The abovementioned businesses must be as close as possible to a major arterial, and shall not allow the traffic generated by such businesses onto residential streets, or allow such traffic to exit into and disrupt residential areas. The establishment has direct access to South 10th Street;
- 3) The abovementioned businesses must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. 65 parking spaces are required and are provided as per site plan.
- 4) The abovementioned businesses must do everything possible to prevent the unauthorized parking by the patrons of such businesses on adjacent business or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances.
- 5) The abovementioned businesses should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility of as much as possible of the site from a public street.
- 6) The abovementioned businesses must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties.
- 7) The abovementioned businesses shall restrict the number of persons within the building to those allowed by the planning and zoning commission at the time of permit issuance, after having taken into account the recommendations of the fire marshal, building official and director of planning. This number cannot exceed the number provided for in existing city ordinances.

RECOMMENDATION: Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(4) of the Zoning Ordinance.



Please contact Angie Stiers if you have questions!
(682) 348-4048 or via email:
angela.stiers@ojoslocos.com

2121 S. 10TH STREET
MCALLEN, TEXAS 78503

OCCUPANT LOAD CALC				
AREA NAME	ROOM SQ. FT.	LOAD FACTOR	OCCUPANT LOAD	
RESTAURANT	1,551	15	233	
BAR (SERVING AREA)	470	200	1	
KITCHEN	1,373	200	1	
RESTROOMS	400	5	8	
OFFICE/OWNER	100	150	1	
MECHANICAL	88	5	8	
NON-DRINKING SPACE	357	5	8	
TOTAL OCCUPABLE SQ. FT.	6,136			
TOTAL OCCUPANT LOAD EXCLUDING PATIO AREA			251	

PLUMBING FIXTURE CALC				
OCCUPANCY	WATER CLOSETS	LABORATORIES	MALE	FEMALE
2500 ± 146	1 PER 25	1 PER 25	1 PER 200	1 PER 200
FIXTURES REQUIRED	2	1	1	1
FIXTURES PROVIDED	2	1	1	1

NOTES

THIS DRAWING IS PART OF A COORDINATED SET OF DOCUMENTS INCLUDING WRITTEN SPECIFICATIONS. DO NOT SEPARATE BOUND SETS.	
ATTENTION	THIS SET OF DOCUMENTS CONTAINS MULTIPLE NOTES AND DETAILS OF SPECIFIC AREAS. IF ANY OF THE NOTES OR DETAILS CONFLICT WITH OR CONTRADICT ANOTHER NOTE OR DETAIL, THE TENANT G.C. SHALL CALL THE ARCHITECT/ENGINEER OR THE OWNER FOR CLARIFICATION OR CORRECTION FROM THE ARCHITECT OR ENGINEER. IF THE TENANT G.C. FAILS TO REQUEST CORRECTION FROM THE ARCHITECT OR ENGINEER AND OBTAIN APPROVAL BEFORE DOING THE WORK AND IF THAT WORK NEEDS TO BE REDONE, IT SHALL BE REDONE BY THE TENANT G.C. AT THE TENANT G.C.'S EXPENSE.
TENANT SIGNAGE	TENANT'S SIGN VENDOR SHALL PROVIDE SIGNAGE PERMIT PACKAGE UNDER SEPARATE REVIEW NOT INCLUDED IN THIS PACKAGE. SIGNAGE SHOP DRAWINGS SHALL BE PROVIDED TO TENANT'S CONSTRUCTION MANAGER, DESIGNER, AND TO LANDLORD FOR REVIEW.
MISC NOTE	THE TENANT G.C. SHALL VISIT THE PREMISES AND VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND SHALL REPORT ALL DISCREPANCIES TO TENANT'S ARCHITECT. THE TENANT G.C. SHALL CONFORM TO ALL REQUIREMENTS REGARDING CONSTRUCTION PROCEDURES, INSURANCE, ETC., AS SET FORTH BY THE LANDLORD.

DEFERRED SUBMITTALS

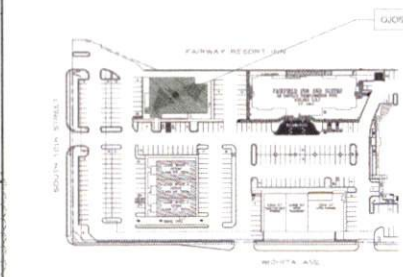
SIGNAGE	SEPARATE PERMIT BY VENDOR
FIRE ALARM SYSTEM	SEPARATE SUBMITTAL BY GC
WASTEWATER/GREASE INTERCEPTOR	SEPARATE SUBMITTAL BY GC

GENERAL NOTES

1. THE TERM "FURNISH" SHALL MEAN TO SUPPLY AND DELIVER TO THE PROJECT SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY AND INSTALLATION. THE TERM "INSTALL" SHALL MEAN TO UNLOAD, UNPACK, ASSEMBLY, FIX INTO POSITION, CONNECT FOR USE, CLEAN, AND PROTECT FROM ONGOING CONSTRUCTION ACTIVITIES. THE TERM "PROVIDE" SHALL MEAN TO FURNISH AND INSTALL, COMPLETE AND READY FOR THE INTENDED USE.
2. DEMOLITION AND NEW CONSTRUCTION ACTIVITIES SHALL IN NO WAY DISRUPT ONGOING OPERATIONS IN ADJACENT OCCUPIED SPACES OR FLOORS. TEMPORARY UTILITY SHUTDOWNS MUST BE SCHEDULED AND APPROVED IN ADVANCE BY THE OWNER.
3. ALL WORK SHALL BE PERFORMED BY QUALIFIED PERSONNEL IN A CLEAN AND WORKMANLIKE MANNER AND IN COMPLIANCE WITH APPLICABLE REGULATORY REQUIREMENTS.
4. ISOLATE WORK AREAS BY MEANS OF TEMPORARY FLOOR TO CEILING DUSTPROOF PARTITIONS OR TAPPS TO PROTECT OCCUPIED AREAS FROM DIRT, DUST, FUMES AND NOISE. PROTECT ALL SURFACES THAT ARE TO REMAIN OR THAT ARE EXPOSED DURING CONSTRUCTION ACTIVITIES.
5. PROVIDE SIGNAGE, TEMPORARY BARRICADES AND OTHER PROTECTIONS TO ENSURE SAFE PASSAGE OF OCCUPANTS TO AND FROM OCCUPIED PORTIONS OF BUILDING, WHERE POSSIBLE. MAINTAIN ACCESS TO ALL EXISTING EGRESS ROUTES, WHERE EXISTING EGRESS ROUTES ARE AFFECTED BY CONSTRUCTION ACTIVITIES. PROVIDE PROTECTED TEMPORARY EGRESS ROUTES AS DIRECTED BY AUTHORITIES HAVING JURISDICTION.
6. EXAMINE THE SITE AND VERIFY EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. NOTIFY DESIGN PROFESSIONAL OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION ACTIVITIES.
7. IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. IMMEDIATELY NOTIFY DESIGN PROFESSIONAL AND OWNER. HAZARDOUS MATERIALS SHALL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.
8. LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF UTILITY SERVICES: MECHANICAL AND ELECTRICAL SYSTEMS SERVING PROJECT AREAS. COORDINATE WITH OWNER AND UTILITY COMPANIES FOR TEMPORARY SHUT OFF OF SERVICES/SYSTEMS. IF SERVICES/SYSTEMS ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE TEMPORARY SERVICES/SYSTEMS THAT BYPASS THE PROJECT AREA IF REQUIRED TO MAINTAIN CONTINUITY OF SERVICES/SYSTEMS TO OTHER PARTS OF BUILDING.
9. EXISTING FIRE SUPPRESSION SYSTEMS SHALL REMAIN IN OPERATION THROUGHOUT THE CONSTRUCTION PERIOD. UNLESS TEMPORARY SHUTDOWN IS NECESSARY FOR THE PERFORMANCE OF THE WORK, WHERE EXISTING FIRE SUPPRESSION SYSTEMS MUST BE TEMPORARILY DISABLED, PROVIDE TEMPORARY FIRE PROTECTION MEASURES AS DIRECTED BY AUTHORITIES HAVING JURISDICTION.
10. CLEAN THE JOB SITE DAILY. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DIRT, DIRT AND DEBRIS CAUSED BY CONSTRUCTION ACTIVITIES. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE CONSTRUCTION ACTIVITIES BEGIN. DO NOT ALLOW CONSTRUCTION DEBRIS TO ACCUMULATE ON-SITE. COMPLY WITH APPLICABLE REGULATORY REQUIREMENTS FOR WASTE DISPOSAL.
11. PRIOR TO PURCHASE OR FABRICATION OF ANY ITEM, ASSEMBLY OR SYSTEM, ENSURE ITEM, ASSEMBLY OR SYSTEM HAS BEEN FULLY COORDINATED WITH EXISTING CONDITIONS AND ADJACENT CONSTRUCTION. RELATED ITEMS, ASSEMBLIES AND SYSTEMS AND THE WORK OF OTHER TRADES.
12. RESTORE FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO RETAINED ADJACENT CONSTRUCTION IN A MANNER THAT WILL MINIMIZE EVIDENCE OF PATCHING AND REFINISHING.
13. REMOVE, REPLACE, PATCH, AND REPAIR MATERIALS AND SURFACES CUT OR DAMAGED DURING INSTALLATION OR CUTTING AND PATCHING OPERATIONS. BY METHODS AND WITH MATERIALS SO AS NOT TO VOID EXISTING WARRANTIES AND AS REQUIRED TO MAINTAIN EXISTING FINISHES DURING CONSTRUCTION.
14. UPON COMPLETION OF THE WORK OR SEPARATE PARTS OF THE WORK DESIGNATED FOR OWNER OCCUPANCY, CLEAN EXPOSED SURFACES TO REMOVE ALL CONSTRUCTION DEBRIS, DIRT, STAINS, FILMS, AND SIMILAR FOREIGN SUBSTANCES. REMOVE DEBRIS AND SURFACE DUST FROM LIMITED ACCESS SPACES, INCLUDING ROOFS, PLUMBING, EQUIPMENT PLATFORMS, SHAFTS, TRENCHES, EQUIPMENT VAULTS, MANHOLES, AND SIMILAR SPACES. REPLACE DISPOSABLE AIR FILTERS AND CLEAN PERMANENT AIR FILTERS. CLEAN ALL DUCTS, BLOWERS, COILS, DIFFUSERS, REGISTERS AND GRILLS. LEAVE WORK AREA CLEAN AND READY FOR OCCUPANCY.

PROJECT SUMMARY

PROJECT ADDRESS	2121 S. 10TH STREET MCALLEN, TEXAS 78503
SCOPE OF WORK	REMODEL OF EXISTING VACANT NONSPRINKLERED 17,000 SQ. FT. RESTAURANT. LEASE SPACE OF 16,000 SQ. FT. FOR A NEW OJOS LOCOS SPORTS CANTINA. EXISTING BUILDING FOOTPRINT AND PARKING TO REMAIN. SCOPE OF WORK INCLUDES DEMOLITION OF INTERIOR WALLS AND DEMOLITION OF SOME EXISTING STOREFRONT WINDOWS AND DOORS FOR NEW CONSTRUCTION OF INTERIOR WALLS, ROLL UP GARAGE DOORS, PATIO DOORS, NEW LIGHTS, DUCTWORK AND PLUMBING FIXTURES. ALL MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL SCOPE IS INCLUDED.
BUILDING DATA	BUILDING AREA: 6,500 S.F. (WITH 170 S.F. OF COVERED PATIO) OCCUPANCY TYPE: A2 (RESTAURANT) CONSTRUCTION TYPE: V-B SPRINKLERED: NON-SPRINKLERED BUILDING NUMBER OF STORIES: ONE STORY
EXIT ILLUMINATION	EXIT SIGNAGE AND EMERGENCY LIGHTING SHALL BE INSTALLED AS SHOWN ON ELECTRICAL SHEETS UNLESS INSTRUCTED OTHERWISE BY BUILDING INSPECTOR AND/OR FIRE MARSHAL.
BUILDING DEPARTMENT	CITY OF MCALLEN 311 N. 15TH STREET MCALLEN, TX 78501 PHONE: 256-6851-1000
HEALTH DEPARTMENT	CITY OF MCALLEN ENVIRONMENTAL HEALTH AND CODE ENFORCEMENT 311 N. 15TH STREET MCALLEN, TEXAS 78501 PHONE: 256-6851-1000 CCOCCOMPLIANCE@MCALLEN.TX
BUILDING CODES	ALL WORK SHALL BE IN CONFORMANCE WITH, BUT NOT LIMITED TO, THE REQUIREMENTS OF THE FOLLOWING AND ANY OTHER STATE AND LOCAL CODES HAVING JURISDICTION: BUILDING: 2018 INTERNATIONAL BUILDING CODE MECHANICAL: 2018 INTERNATIONAL MECHANICAL CODE PLUMBING: 2018 INTERNATIONAL PLUMBING CODE FIRE: 2016 INTERNATIONAL FIRE CODE ENERGY: 2015 INTERNATIONAL ENERGY CONSERVATION CODE ELECTRICAL: 2017 NATIONAL ELECTRICAL CODE ACCESSIBILITY: 2009 ICC A117.1 ACCESSIBILITY CODE



2121 S. 10TH STREET
MCALLEN, TEXAS 78503

N.T.S.

KEY MAP
THE LANDING - TUCSON AZ

N.T.S.

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A-03	FINISH SCHEDULE AND LIGHTING SCHEDULE		01.16.2021
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A-05	EXISTING SITE PLAN		01.16.2021
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A-07	ACCESSIBILITY DETAILS		01.16.2021
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A-98	MEP DETAILS		02.05.2021
A-99	MEP DETAILS		02.05.2021
A-100	MEP DETAILS		02.05.2021

PROJECT TEAM

OWNER/CLIENT	OJOS LOCOS SPORTS CANTINA 6010 W. SPRING CREEK PARKWAY PLANO, TX 75024 CONTACT: TYSON BORDO EMAIL: TYSON.BORDO@OJOSLOCOS.COM ALL PROPERTIES, LTD. A TEXAS LIMITED PARTNERSHIP 1706 E. GARDNER MCALLEN, TEXAS 78501 CONTACT: MICHAEL MILLER PHONE: 361-871-0217 EMAIL: MILLER@ALLPROPERTIES.COM
LANDSCAPE / TRENT COORDINATOR	SARGENT & SARGENT 2004 NORTH FARM ROAD #120 SCOTTSDALE, AZ 85254 TEL: 480-448-0000 CONTACT: ALEXANDER PECK EMAIL: APECK@SARGENT.COM
ARCHITECT	UP MECHANICAL INC. 1702 N. 72ND STREET, D-140 ALBUQUERQUE, AZ 85020 TEL: 505-268-0000 CONTACT: ART BORDO EMAIL: ABORDO@UPMECHANICAL.COM

PROJECT TEAM

ELECTRICAL ENGINEER	4 DESIGN GROUP 2415 LAMAR BLVD. SUITE 100 MCALLEN, TX 78501 TEL: 361-871-0000 CONTACT: NEDDY BARR-MILLER EMAIL: NEDDY@4DESIGNGROUP.COM
STRUCTURAL ENGINEER	CARRERA TURLEY BOYD INC. 1318 N. 860 TALLADO HWY. SUITE 200 TEMPLE, TEXAS 76788 TEL: 800-774-1700 CONTACT: TIM CARRERA EMAIL: TCARRERA@CTIAZ.COM
KITCHEN CONSULTANT	W. WEST 8000 NORTHFIELD BLVD. DENVER, CO 80231 TEL: 303-268-0000 CONTACT: MATT KASAKA EMAIL: MKASAKA@WESTEQUIPMENT.COM



PROJECT INFORMATION	
PROJECT NAME	0JOS LOCOS
OWNER	0JOS LOCOS
DESIGNER	ANGIE STIERS
DATE	02/05/2021
SCALE	AS SHOWN

CHECKED BY: [Signature]
DATE: 02/05/2021

CHECKED BY: [Signature]
DATE: 02/05/2021

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ALL FROM KITCHEN, BATHROOM, AND STUDY
Specialty Kitchen • Stone Countertops •

Our design and construction specialists create the look and feel of your kitchen, bathroom, and study. We work with you to create a space that is both functional and beautiful. Our experienced designers and craftsmen will work with you to create a space that is both functional and beautiful. Our experienced designers and craftsmen will work with you to create a space that is both functional and beautiful.

SARGENTI

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ACCESSIBLE SIGNAGE		MODEL	ADA SIGN DESCRIPTION
	ADA-1001	ADAPTION	ADAPTION: CONCRETE PLATE, SYMBOL OF ACCESSIBILITY - SIZE 5"
	ADA-1002	ADAPTION	5" x 7" - SIZE 5" x 7" IN PLASTER FINISH
	ADA-1003	ADAPTION	5" x 7" - SIZE 5" x 7" IN PLASTER FINISH
	ADA-1004	ADAPTION	5" x 7" - SIZE 5" x 7" IN PLASTER FINISH
	ADA-1005	ADAPTION	5" x 7" - SIZE 5" x 7" IN PLASTER FINISH
	ADA-1006	ADAPTION	5" x 7" - SIZE 5" x 7" IN PLASTER FINISH
	ADA-1007	ADAPTION	5" x 7" - SIZE 5" x 7" IN PLASTER FINISH
	ADA-1008	ADAPTION	5" x 7" - SIZE 5" x 7" IN PLASTER FINISH
	ADA-1009	ADAPTION	5" x 7" - SIZE 5" x 7" IN PLASTER FINISH
	ADA-1010	ADAPTION	5" x 7" - SIZE 5" x 7" IN PLASTER FINISH
	ADA-1011	ADAPTION	5" x 7" - SIZE 5" x 7" IN PLASTER FINISH

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2121 S 10TH STREET
MCALLEN, TX 78503

OJOS LOCOS
SPORTS CANTINA

REVISION
DATE REVISION
A. 12/1/21 BUILDING COMMENTS
B. 12/1/21 OWNER COMMENTS

REVISION
DATE REVISION
A. 12/1/21 BUILDING COMMENTS
B. 12/1/21 OWNER COMMENTS

REVISION
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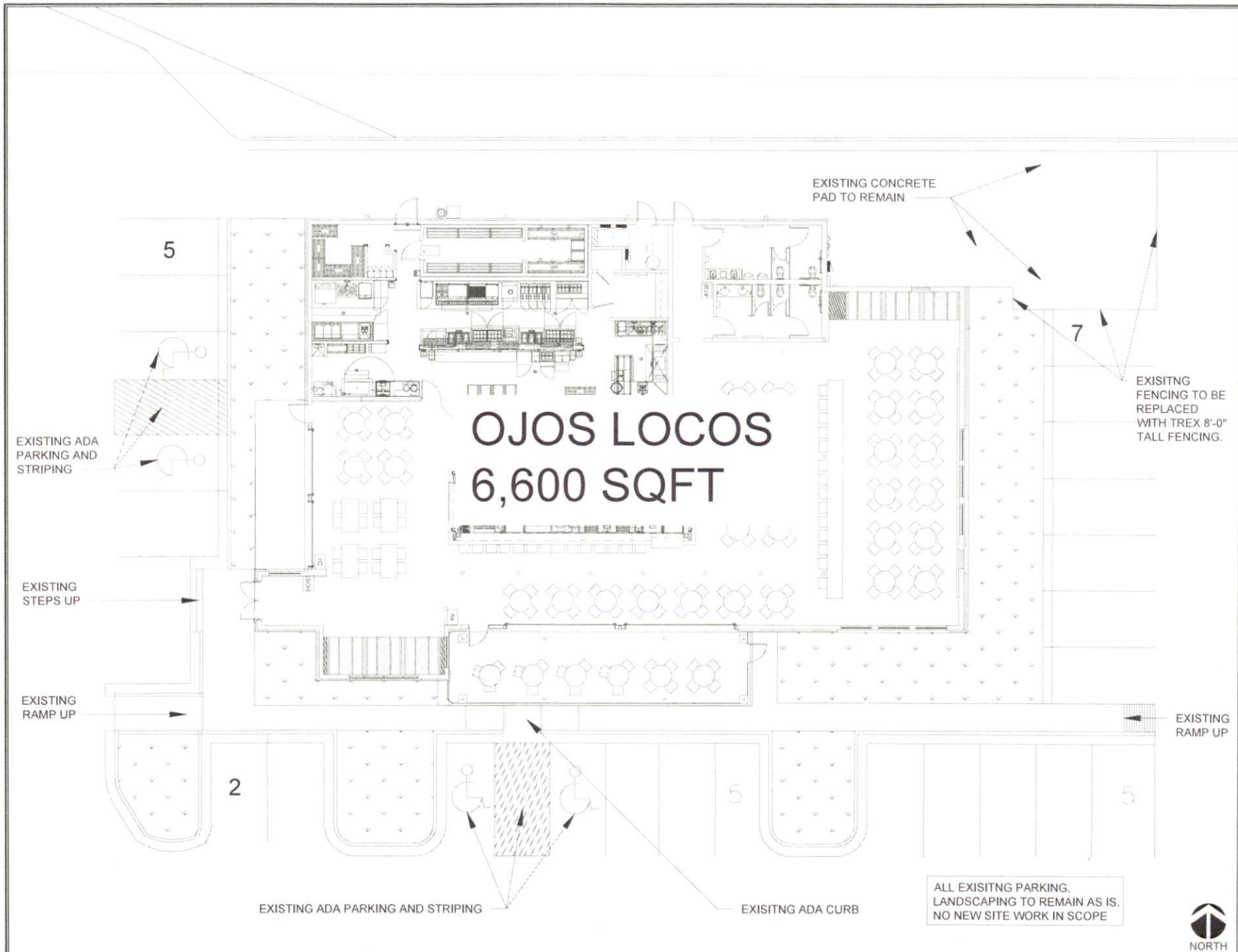
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B. 12/1/21 OWNER COMMENTS



SOUTH 10th STREET

FAIRWAY RESORT INN

OJOS LOCOS
6,600 SQFT

FAIRFIELD INN AND SUITES
68 UNITS/3 STORY/INDOOR POOL
±35,663 G.S.F.
F.F. 108.0

LEASE SPACE 1
~2'X34'
2,448 S.F. TOTAL

LEASE SPACE 2
~2'X34'
2,448 S.F. TOTAL

LEASE SPACE 3
72'X34'
2,448 S.F. TOTAL

DRIVE THRU

2,800 S.F.
"JUST FOR FELT"
STORAGE

2,800 S.F.
OFFICE
"PANASONIC"

3,800 S.F.
HOTEL STORAGE

WICHITA AVE.



SITE PLAN - FAIRWAY PLAZA

Ops Locos
2121 S 10TH STREET
MCALLEN, TX 78503

SARGENTI
ARCHITECTS
1010 WEST SPINDLER PARKWAY
PLANO, TX 75075
(972) 422-1000

THESE PLANS AND SPECIFICATIONS were prepared for the use of the City of McAllen, Texas, and are not to be used for any other purpose without the written consent of Sargenti Architects. The City of McAllen, Texas, is responsible for the accuracy and completeness of the information provided to Sargenti Architects. Sargenti Architects is not responsible for the accuracy and completeness of the information provided to the City of McAllen, Texas.

LOCATION: MCALLEN, TX

OJOS LOCOS
SPORTS CANTINA
2121 S 10TH STREET
MCALLEN, TX 78503

DATE	REVISION
12/12/11	1

DATE	REVISION	BY	DESCRIPTION
12/12/11	1	AS	12/12/11 BUILDING COMMENTS
12/12/11	2	AS	12/12/11 CIVIL COMMENTS

SEAL/NOTARY
I hereby certify that the above is a true and correct copy of the original plans and specifications for the project described herein, and that I am a duly licensed Professional Engineer in the State of Texas.



PROJECT INFORMATION
PROJECT NAME
OWNER
DESIGNER
DATE

DRAWING TITLE
SITE PLAN

DRAWING NUMBER
A0.10

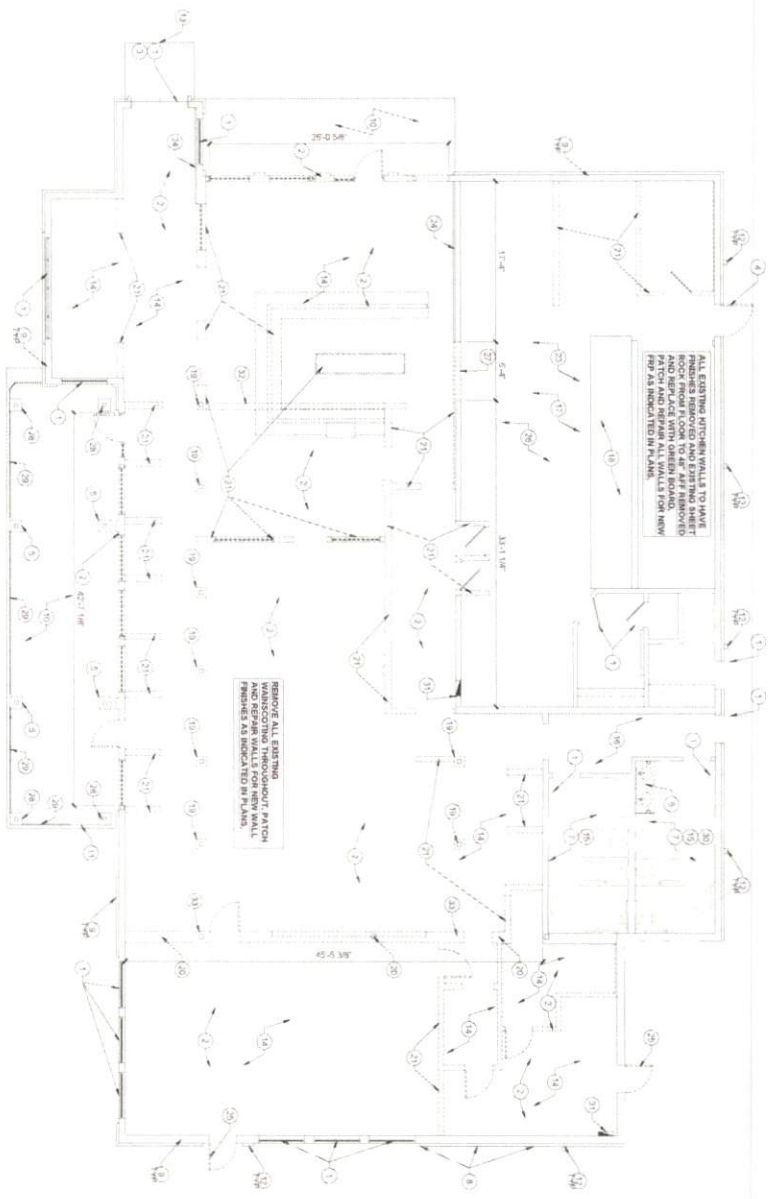
PROJECT CYCLES LOGGING

OJOS LOCOS
SPORTS CANTINA
2121 S 10TH STREET
MCALLEN, TX 78503



DEMOLITION PLAN

A.1.01



DEMOLITION PLAN

DEMOLITION GENERAL NOTES

1. THE EXISTING BUILDING SHALL BE DEMOLISHED IN ACCORDANCE WITH THE FOLLOWING NOTES:
2. ALL EXISTING WALLS, PARTITIONS, CEILING, FLOORING, AND FINISHES SHALL BE REMOVED.
3. ALL EXISTING ROOFING SHALL BE REMOVED AND THE ROOF SHALL BE REBUILT WITH A NEW ROOFING SYSTEM.
4. ALL EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS SHALL BE REMOVED.
5. ALL EXISTING INTERIORS SHALL BE REMOVED AND THE INTERIORS SHALL BE REBUILT WITH NEW INTERIORS.
6. ALL EXISTING EXTERIORS SHALL BE REMOVED AND THE EXTERIORS SHALL BE REBUILT WITH NEW EXTERIORS.
7. ALL EXISTING FOUNDATIONS SHALL BE REMOVED AND THE FOUNDATIONS SHALL BE REBUILT WITH NEW FOUNDATIONS.
8. ALL EXISTING UTILITIES SHALL BE REMOVED AND THE UTILITIES SHALL BE REBUILT WITH NEW UTILITIES.
9. ALL EXISTING LANDSCAPING SHALL BE REMOVED AND THE LANDSCAPING SHALL BE REBUILT WITH NEW LANDSCAPING.
10. ALL EXISTING SITEWORK SHALL BE REMOVED AND THE SITEWORK SHALL BE REBUILT WITH NEW SITEWORK.
11. ALL EXISTING PAVING SHALL BE REMOVED AND THE PAVING SHALL BE REBUILT WITH NEW PAVING.
12. ALL EXISTING FENCING SHALL BE REMOVED AND THE FENCING SHALL BE REBUILT WITH NEW FENCING.
13. ALL EXISTING SIGNAGE SHALL BE REMOVED AND THE SIGNAGE SHALL BE REBUILT WITH NEW SIGNAGE.
14. ALL EXISTING LIGHTING SHALL BE REMOVED AND THE LIGHTING SHALL BE REBUILT WITH NEW LIGHTING.
15. ALL EXISTING SECURITY SHALL BE REMOVED AND THE SECURITY SHALL BE REBUILT WITH NEW SECURITY.
16. ALL EXISTING ACCESSIBILITY SHALL BE REMOVED AND THE ACCESSIBILITY SHALL BE REBUILT WITH NEW ACCESSIBILITY.
17. ALL EXISTING SAFETY SHALL BE REMOVED AND THE SAFETY SHALL BE REBUILT WITH NEW SAFETY.
18. ALL EXISTING COMPLIANCE SHALL BE REMOVED AND THE COMPLIANCE SHALL BE REBUILT WITH NEW COMPLIANCE.
19. ALL EXISTING RECORDS SHALL BE REMOVED AND THE RECORDS SHALL BE REBUILT WITH NEW RECORDS.
20. ALL EXISTING AS-BUILT SHALL BE REMOVED AND THE AS-BUILT SHALL BE REBUILT WITH NEW AS-BUILT.
21. ALL EXISTING DOCUMENTS SHALL BE REMOVED AND THE DOCUMENTS SHALL BE REBUILT WITH NEW DOCUMENTS.

DEMOLITION KEYNOTES

1. REMOVE ALL EXISTING WALLS, PARTITIONS, CEILING, FLOORING, AND FINISHES.
2. REMOVE ALL EXISTING ROOFING AND REBUILD NEW ROOFING.
3. REMOVE ALL EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
4. REMOVE ALL EXISTING INTERIORS AND REBUILD NEW INTERIORS.
5. REMOVE ALL EXISTING EXTERIORS AND REBUILD NEW EXTERIORS.
6. REMOVE ALL EXISTING FOUNDATIONS AND REBUILD NEW FOUNDATIONS.
7. REMOVE ALL EXISTING UTILITIES AND REBUILD NEW UTILITIES.
8. REMOVE ALL EXISTING LANDSCAPING AND REBUILD NEW LANDSCAPING.
9. REMOVE ALL EXISTING SITEWORK AND REBUILD NEW SITEWORK.
10. REMOVE ALL EXISTING PAVING AND REBUILD NEW PAVING.
11. REMOVE ALL EXISTING FENCING AND REBUILD NEW FENCING.
12. REMOVE ALL EXISTING SIGNAGE AND REBUILD NEW SIGNAGE.
13. REMOVE ALL EXISTING LIGHTING AND REBUILD NEW LIGHTING.
14. REMOVE ALL EXISTING SECURITY AND REBUILD NEW SECURITY.
15. REMOVE ALL EXISTING ACCESSIBILITY AND REBUILD NEW ACCESSIBILITY.
16. REMOVE ALL EXISTING SAFETY AND REBUILD NEW SAFETY.
17. REMOVE ALL EXISTING COMPLIANCE AND REBUILD NEW COMPLIANCE.
18. REMOVE ALL EXISTING RECORDS AND REBUILD NEW RECORDS.
19. REMOVE ALL EXISTING AS-BUILT AND REBUILD NEW AS-BUILT.
20. REMOVE ALL EXISTING DOCUMENTS AND REBUILD NEW DOCUMENTS.

DEMOLITION KEYNOTES

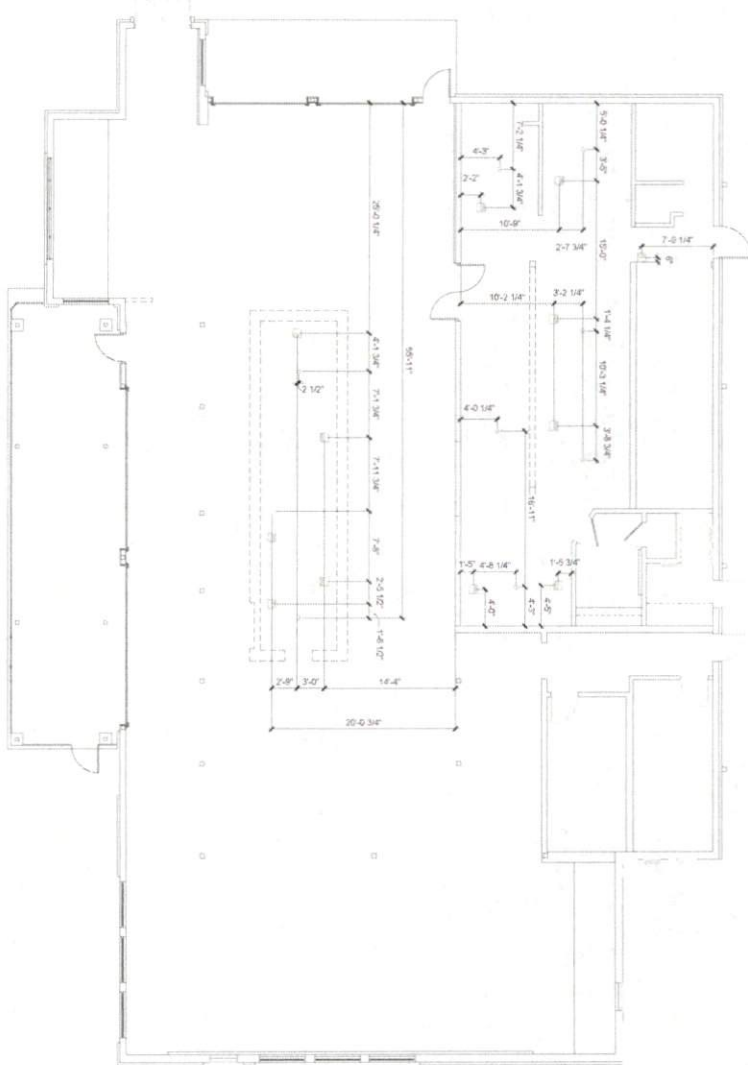
1. REMOVE ALL EXISTING WALLS, PARTITIONS, CEILING, FLOORING, AND FINISHES.
2. REMOVE ALL EXISTING ROOFING AND REBUILD NEW ROOFING.
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19. REMOVE ALL EXISTING AS-BUILT AND REBUILD NEW AS-BUILT.
20. REMOVE ALL EXISTING DOCUMENTS AND REBUILD NEW DOCUMENTS.

NOTE: EXISTING ROOF MATCH TO REMAIN. GO TO REPAIR AS NEEDED TO MEET NEW CONSTRUCTION.

NOTE: EXISTING ROOF MATCH TO REMAIN. GO TO REPAIR AS NEEDED TO MEET NEW CONSTRUCTION.

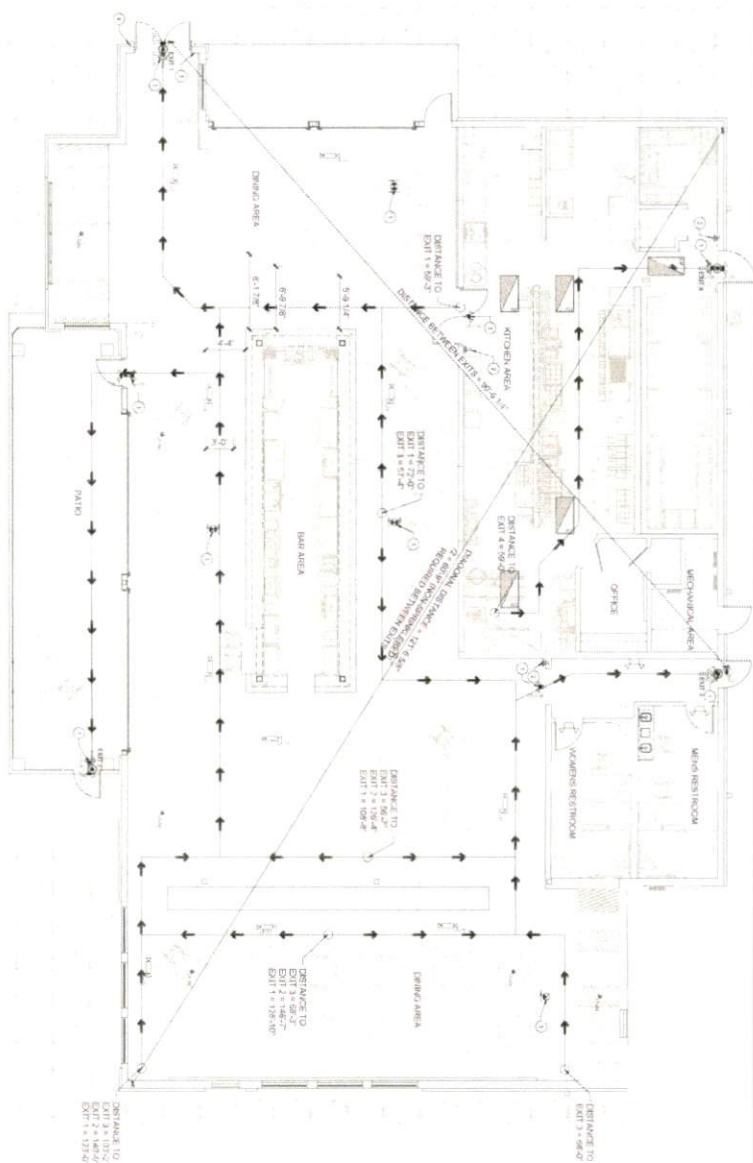
SCALE: 1/4" = 1'-0"

1



LIFE SAFETY EQ. MOUNTING HEIGHTS

SHEET SYMBOLS



SHEET SYMBOLS

E-EXIT @
E-EXIT
DOOR WAS EEE EXIT #A-08

EFFECT REQUIRED		DE	N (2)	SA	REASON
SOUND PROPERTIES					
DIFF. P	0	NS	*	0	POOR
DIFF. F	0	NS	*	0	POOR
DIFF. T	0	NS	*	0	POOR
DIFF. R	0	NS	*	0	POOR
TOTAL	0	NS	*	0	POOR
TOTAL SPEAKER DATA REQUIRED					TTS

EXIT NOTES

 $\rho = 0.15$ 

OJOS LOCOS
SPORTS CANTINA
2121 S 10TH STREET
MCALLEN, TX 78503

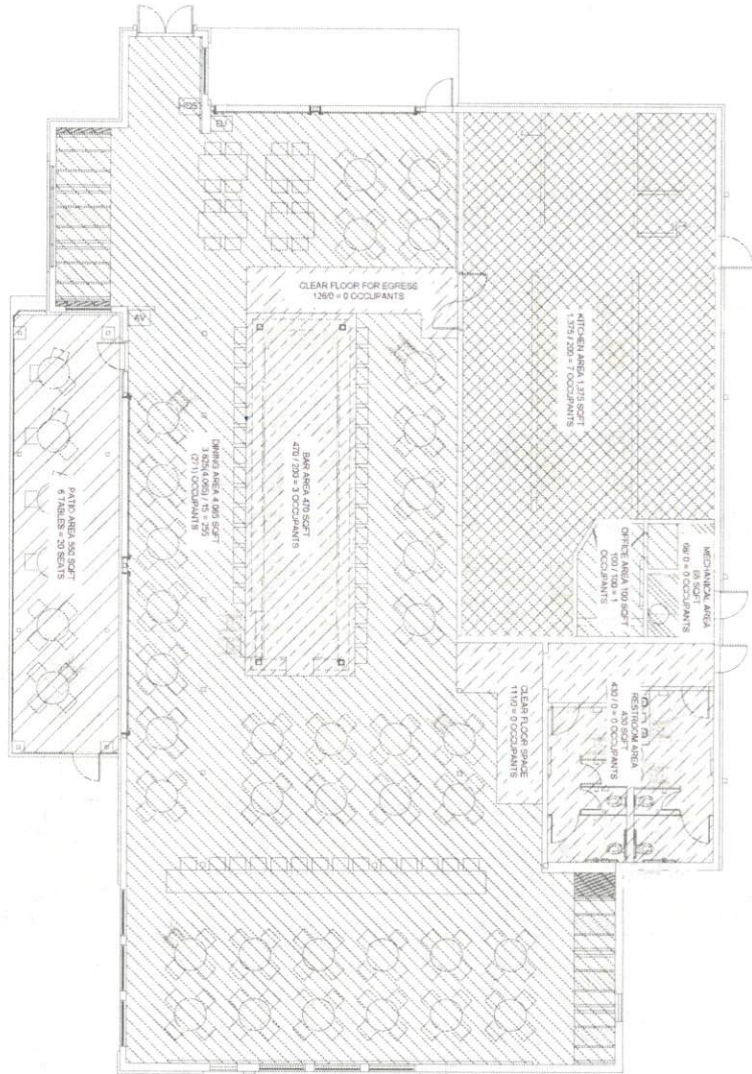
FOR MORE INFO, CONTACT: SARGENT & Lundy
7700 E. 15th Avenue, Suite 1000
Denver, CO 80202 • 303.733.8000
www.sargent-lundy.com

4010 WHITE SPRING DRIVE #404 WIL
MILWAUKEE, WI 53224
505.755.5000

EGRESS PLAN

DRAWING NUMBER:

A1.11

$D-1 = 216$ 

NORTH

2121 S 10TH STREET
MCALLEN, TX 78503

ALL-STATE RENTALS, INC.
10000 W. 10th Avenue, Suite 100
Denver, CO 80231
303-751-1000

Plus
speaks
your
language

4010 WEST SPRING CREEK PARKWAY
PLANO, TX 75074
972/857-0008

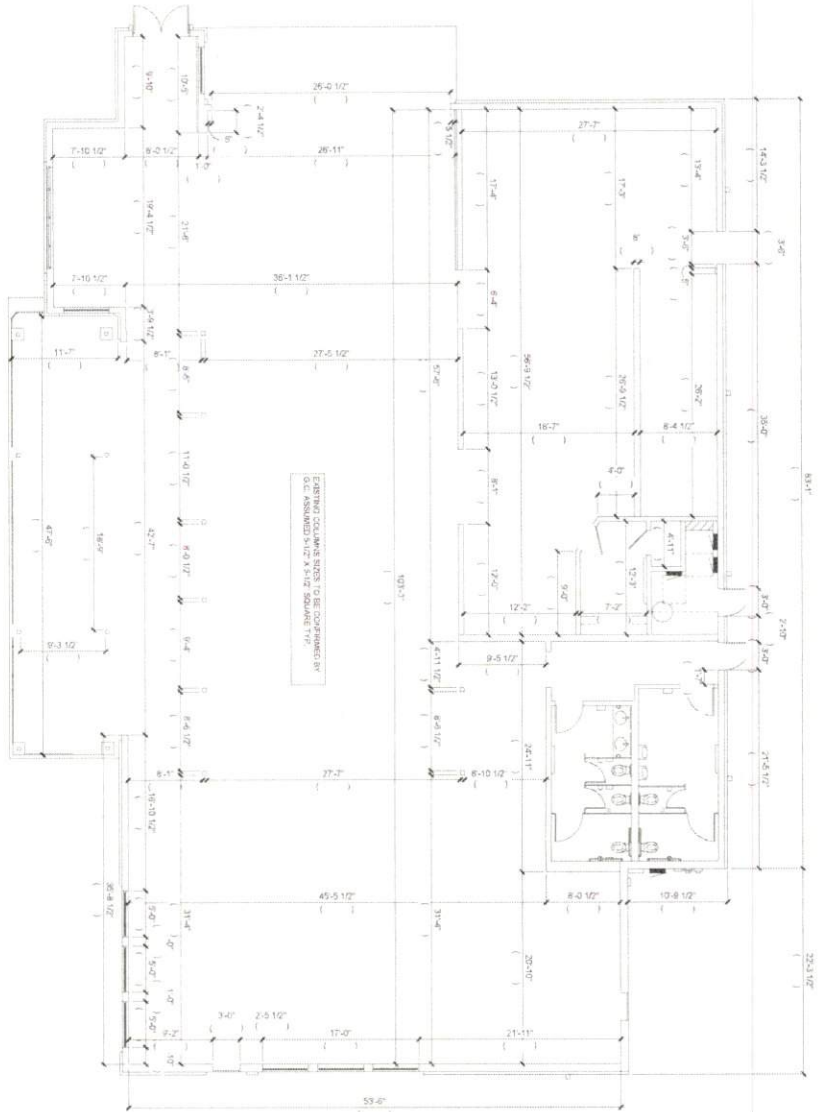
PROJECT INFORMATION	
PROJECT NAME	SOFT
LOCATION	NEW YORK
OWNER	NEW YORK CITY
DESIGNER	NEW YORK CITY
DATE	10/10/10
DRAWING TITLE	
SOFT	
OCCUPANCY PLAN	

A1.12

PROJECT: OJOS LOCOS

LOCATION: MCALLEN, TX

PROJECT NO. S857-20



GC TO COMPLETE SQUARE FOOTAGE CHECK PLAN
WITHIN 5 DAYS OF POSSESSION. EMAIL NOTES AND
DISCREPANCIES TO OWNER AND ARCHITECT



SQUARE FOOTAGE CHECK PLAN

ELECTRIC SERVICE VERIFICATION:

1. IDENTIFY ALL LOADS (EQUIPMENT OR 200VA/100VA/50VA)
2. IDENTIFY ALL SERVICE PANELS
3. IDENTIFY ALL SERVICE PANELS

GAS SERVICE VERIFICATION:

1. IDENTIFY ALL GAS APPLIANCES
2. IDENTIFY ALL GAS PIPING
3. IDENTIFY ALL GAS PIPING

HVAC VERIFICATION:

1. IDENTIFY ALL LOADS IN WORKING CONDITION
2. IDENTIFY ALL LOADS IN WORKING CONDITION
3. IDENTIFY ALL LOADS IN WORKING CONDITION

PLUMBING VERIFICATION:

1. IDENTIFY ALL LOADS IN WORKING CONDITION
2. IDENTIFY ALL LOADS IN WORKING CONDITION
3. IDENTIFY ALL LOADS IN WORKING CONDITION

FIRE ALARM VERIFICATION:

1. IDENTIFY ALL LOADS IN WORKING CONDITION
2. IDENTIFY ALL LOADS IN WORKING CONDITION
3. IDENTIFY ALL LOADS IN WORKING CONDITION

G.C. TO VERIFY THE FOLLOWING SITE CONDITIONS:

1. IDENTIFY ALL LOADS IN WORKING CONDITION
2. IDENTIFY ALL LOADS IN WORKING CONDITION
3. IDENTIFY ALL LOADS IN WORKING CONDITION

GENERAL REQUIREMENTS:

1. IDENTIFY ALL LOADS IN WORKING CONDITION
2. IDENTIFY ALL LOADS IN WORKING CONDITION
3. IDENTIFY ALL LOADS IN WORKING CONDITION

ADDITIONAL NOTES TO G.C. AND PROJECT MANAGER:

1. IDENTIFY ALL LOADS IN WORKING CONDITION
2. IDENTIFY ALL LOADS IN WORKING CONDITION
3. IDENTIFY ALL LOADS IN WORKING CONDITION

ADDRESS VERIFICATION:

1. IDENTIFY ALL LOADS IN WORKING CONDITION
2. IDENTIFY ALL LOADS IN WORKING CONDITION
3. IDENTIFY ALL LOADS IN WORKING CONDITION

NOTES:

1. IDENTIFY ALL LOADS IN WORKING CONDITION
2. IDENTIFY ALL LOADS IN WORKING CONDITION
3. IDENTIFY ALL LOADS IN WORKING CONDITION

3/16" x 1/2"

1

OJOS LOCOS
SPORTS CANTINA
2121 S 10TH STREET
MCALLEN, TX 78503



A2.01

VERIFICATION
PLAN

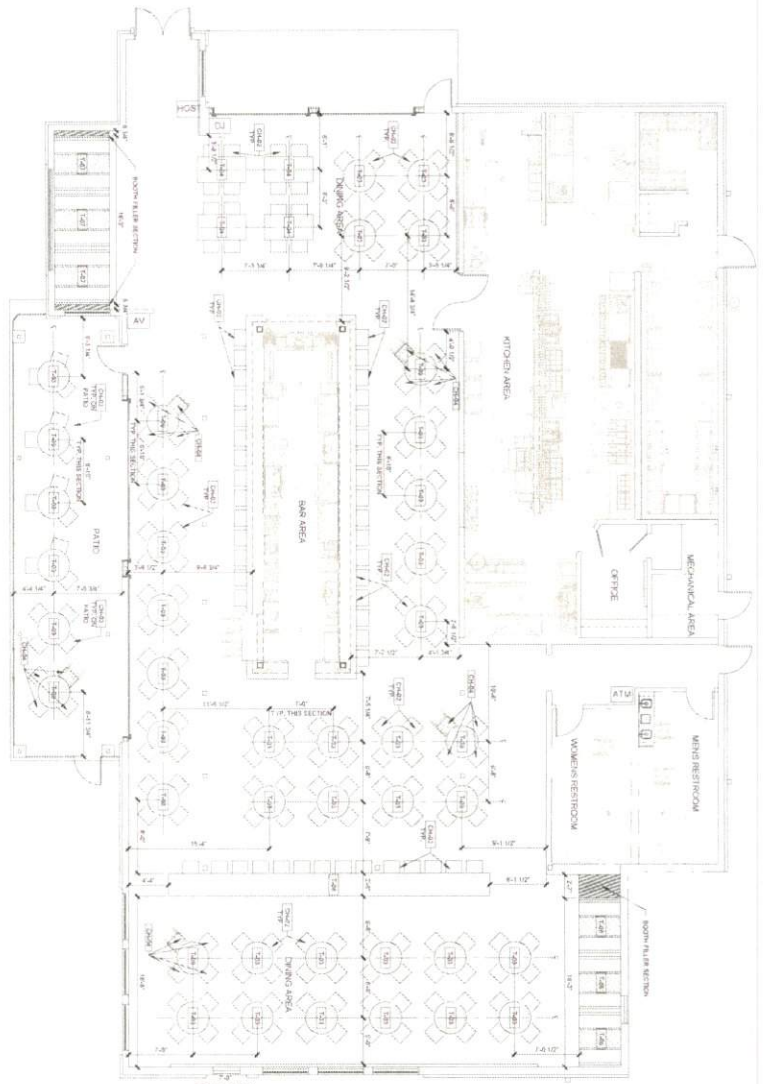


PROJECT: OJOS LOCOS

LOCATION: MCALLEN, TX

PROJECT NO: 5867-26

 $3/16" \approx 1'-0"$ [illegible]



FIXTURE PLAN

NOTE: ALL SEATING FIXTURES, TABLES AND CHAIRS ARE PROVIDED AND INSTALLED BY OWNER. OWNER WILL RECEIVE AND BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING AND REMAINING BUILDING AND INSTALLING COMMUNITY TABLES.

NOTE: 50% OF TABLES MUST BE ADA COMPLIANT.

THIS RESTAURANT PROVIDES 4-ADAPTED SEATING FOR THE 4-ADAPTED TABLES 4-ADAPTED TABLES IN CHAIRS ROOM OF THE 4-ADAPTED TABLES 4-ADAPTED SEATING SECTION.

MARK	DESCRIPTION	SIZE	HEIGHT	QUANTITY
1501	ROUND BOOTH W/TABLE	50" DIA.	30"	0
1502	STANDARD SPOOL TABLE	42" DIA.	42"	37
1503	4-TOP HIGH TABLE	36" x 64"	42"	4
1504	4-TOP STOOL HT. TABLE	36" x 36"	30"	0
1505	4-TOP BOOTH	28" x 54"	30"	3
1506	COMMUNITY HIGH TABLE	42" x 30"	42"	1 (35 LONG)
1507	ADA SPOOL TABLE	42" DIA.	34"	5
1508	4-TOP SQUARE TABLE	36" x 36"	30"	0
1509	INTERIOR STOOL	-	30"	188
1510	PATIO STOOL	-	30"	20
1511	ADA STOOL (INTERIOR AND PATIO)	-	18"	20



3/16" = 1'-0"

1

A6.01

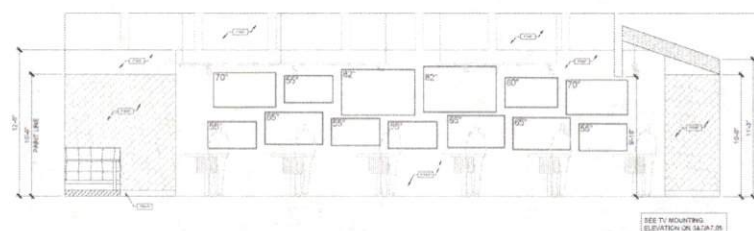
FIXTURE PLAN



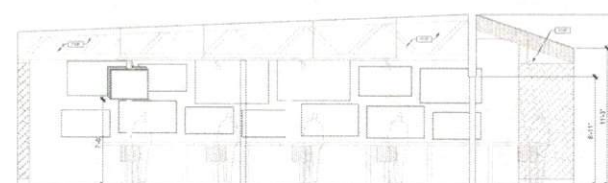
PROJECT INFORMATION
 PROJECT NAME: OJOS LOCOS
 PROJECT LOCATION: 2121 S 10TH STREET, MCALLEN, TX 78503
 PROJECT OWNER: OJOS LOCOS
 PROJECT ARCHITECT: [Firm Name]
 PROJECT ENGINEER: [Firm Name]

OJOS LOCOS
 SPORTS CANTINA
 2121 S 10TH STREET
 MCALLEN, TX 78503

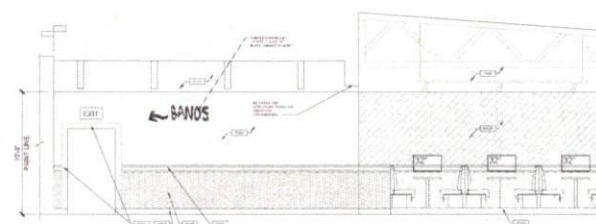


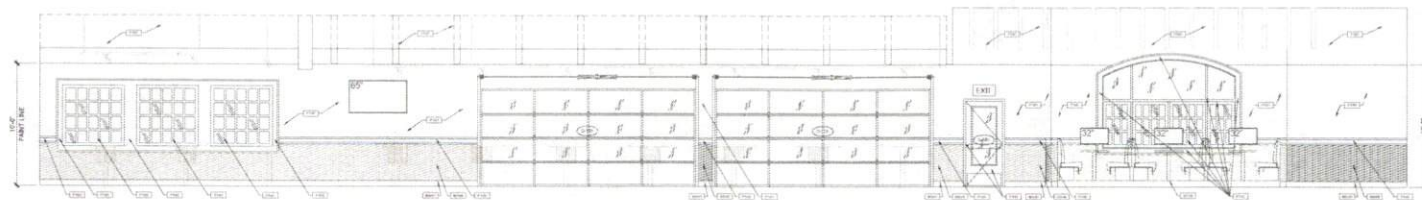


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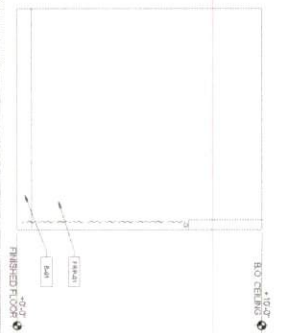
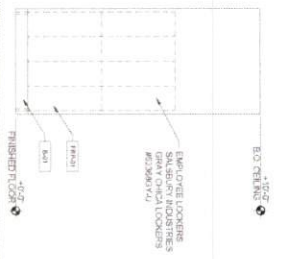
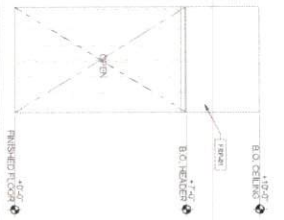


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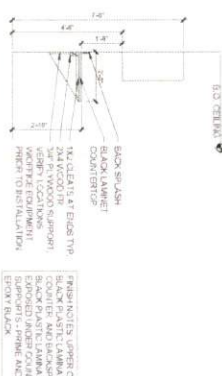
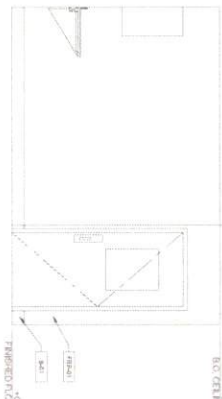
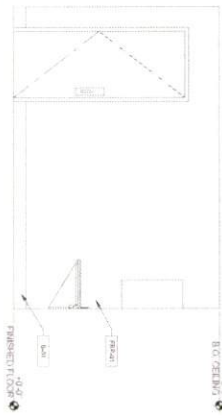


CHICA AREA ELEVATION

CHICA AREA ELEVATION

CHICA AREA ELEVATION

CHICA AREA ELEVATION

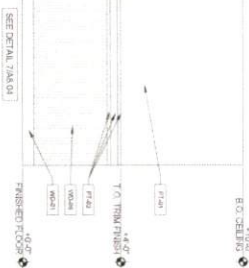


OFFICE ELEVATION

OFFICE ELEVATION

OFFICE ELEVATION

OFFICE DESK SECTION

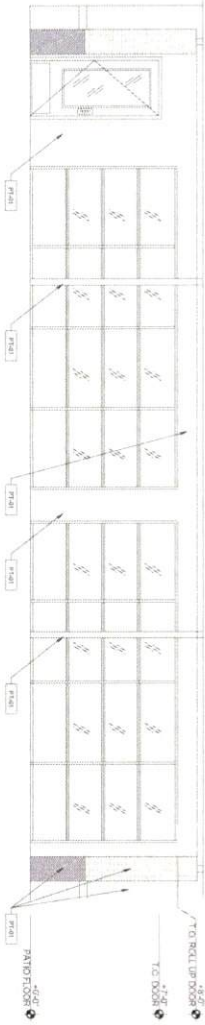


TYPICAL WALL FINISH

NOT USED

NOT USED

NOT USED



INTERIOR ELEVATION

PATIO ELEVATION

NOT USED

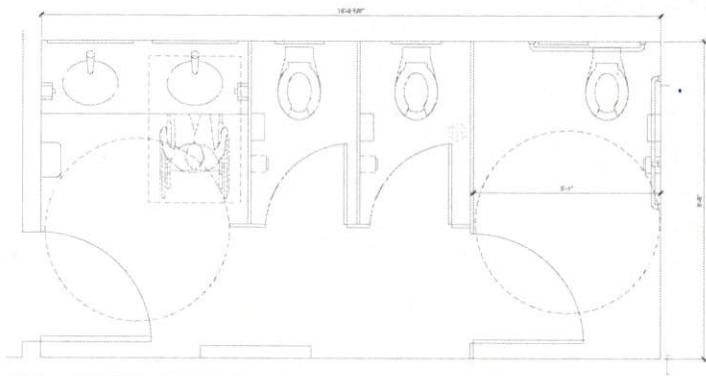
OJOS LOCOS
SPORTS CANTINA

2121 S 10TH STREET
MCALLEN, TX 78503



A7.02

INTERIOR
ELEVATIONS



ALL FIXTURES AND FINISHES IN WOMENS RESTROOM TO REMAIN AS IS. GC TO VERIFY IN FIELD ALL FIXTURES ARE IN GOOD CONDITION AND COORDINATE WITH OWNER IF ANY REPLACEMENTS ARE NEEDED.

NOT USED

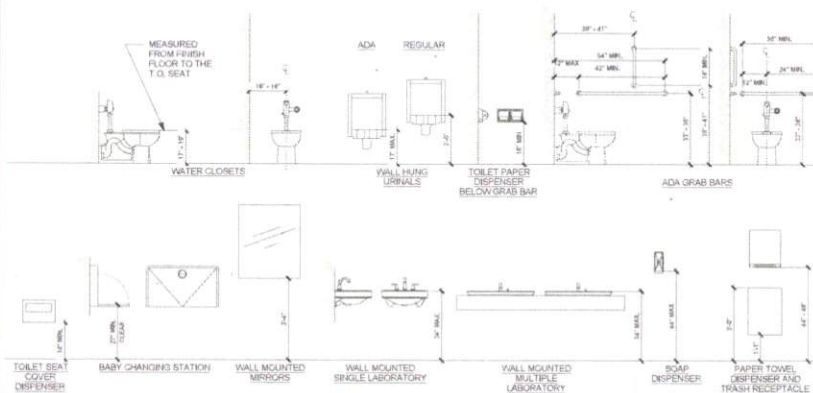
1/2" = 1'-0"

3

ENLARGED WOMENS TOILET ROOM

3/4" = 1'-0"

7



NOT USED

1/2" = 1'-0"

2

TYPICAL MOUNTING HEIGHTS

1/2" = 1'-0"

6

NOT USED

1/2" = 1'-0"

1

GENERAL NOTES

- TOILET ROOM SHALL CONFORM TO ALL LOCAL, STATE & FEDERAL REQUIREMENTS INCLUDING BUT NOT LIMITED TO: THE AMERICANS WITH DISABILITIES ACT (ADA).
-
-
- GRAB BARS AND HANDRAILS ARE STAINLESS STEEL, W/ PEENED FINISH AND ARE 1 1/4" TO 1 1/2" FROM WALL. REFERENCE FLOOR PLAN FOR LOCATION OF GRAB BARS. REFERENCE DIAGRAM PROVIDED FOR GRAB BAR DIMENSIONS.
- ALL TOILET STALLS TO HAVE ONE TOILET PAPER DISPENSER W/ BLOCKING IN WALL AS REQUIRED FOR INSTALLATION.
- WHERE ONLY ONE DISPENSER OF ANY TYPE IS PROVIDED, MOUNT AT ACCESSIBLE HEIGHT.
- ALL CONSTRUCTION AND MOUNTING HEIGHTS SHALL COMPLY WITH ALL APPLICABLE CITY AND STATE ACCESSIBILITY REGULATIONS AS WELL AS THE FEDERAL ADA (AMERICANS WITH DISABILITIES) ACT OF 1990 REGULATIONS. REFER TO QUESTIONABLE MOUNTING HEIGHTS TO THE ARCHITECT FOR FINAL DECISION.
- NOT ALL ACCESSORIES MAY BE USED. REFER TO TOILET ACCESSORIES SCHEDULE AND TOILET ROOM PLANS.
- NOT USED.
- TENANT G.C. TO ENSURE SOAP DISPENSER (IF USED) IS MOUNTED OUTSIDE REQUIRED 60" CLEAR AREA FOR WATER CLOSET.

TOILET ACCESSORIES NOTES

- ALL TOILET ACCESSORIES AND FIXTURES SHALL MEET ALL REQUIREMENTS OF ADA GUIDELINES.
- INSTALL ACCESSORIES W/ SCREWS OR BOLTS EXTENDING AT LEAST 1" INTO SOLID BLOCKING.
- ALL ACCESSORIES TO BE STAINLESS STEEL.
- NOT ALL ACCESSORIES MAY BE USED. REFER TO TOILET ROOM PLANS.
- REFER TO RESPONSIBILITY SCHEDULE FOR PROCUREMENT.

SIGNAGE NOTES

- LETTERS AND NUMBERS SHALL BE RAISED 1/32" UPPER CASE, SANS SERIF OR SIMPLE SERIF TYPE SHALL BE ACCOMPANIED W/ GRADE 2 BRAILLE. RAISED CHARACTERS SHALL BE AT LEAST 5/8" H, BUT NO HIGHER THAN 2". PICTOGRAMS SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAMS. THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE 6" MIN. IN HEIGHT.
- WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NOT WALL SPACE TO THE SIDE OF THE DOOR, INCLUDING AT THE DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. MOUNTING HEIGHT SHALL BE 60" A.F.F. TO THE CENTERLINE OF THE SIGN. MOUNTING LOCATION FOR SUCH SIGNAGE SHALL BE SO THAT A PERSON MAY APPROACH WITHIN 3" OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR.
- TOILET ROOMS SHALL BE IN CONTRASTING COLOR.
- ADA TOILET ROOM PERMANENT WALL SIGNAGE
GENERAL NOTE: ADA TOILET ROOM PERMANENT SIGNS SHALL BE INSTALLED ON WALL ON LATCH SIDE OF DOOR ON EXTERIOR AT 48" TO THE CENTERLINE OF THE SIGN. SIGN SHALL CONTAIN 60" UPPER CASE 1/32" RAISED SANS-SERIF CHARACTERS W/ CORRESPONDING GRADE 2 BRAILLE. 6" MIN. H. PICTOGRAM SHALL BE PLACED DIRECTLY BELOW. SIGNAGE SHALL BE LOCATED ADJACENT TO THE DOOR ON THE LATCH SIDE TO ALLOW APPROACH WITHIN 3" OF SIGNAGE WITHOUT PROTRUDING OBJECTS. INSTALL THESE SIGNS IN ALL LOCATIONS.

GENERAL CLEARANCE NOTES

- TOE CLEARANCE**
GENERAL: SPACE BENEATH AN ELEMENT BETWEEN 9" ABOVE THE FLOOR SHALL BE CONSIDERED TOE CLEARANCE
MAXIMUM DEPTH: TOE CLEARANCE SHALL BE PERMITTED TO EXTEND 25" MAXIMUM UNDER AN ELEMENT
MINIMUM DEPTH: WHERE TOE CLEARANCE IS REQUIRED BENEATH AN ELEMENT AS PART OF A CLEAR FLOOR SPACE, THE TOE CLEARANCE SHALL EXTEND 17" MINIMUM BENEATH THE ELEMENT.
- KNEE CLEARANCE**
GENERAL: IN SPACE BENEATH AN ELEMENT BETWEEN 9" AND 37" ABOVE THE FLOOR SHALL BE CONSIDERED KNEE CLEARANCE
MAXIMUM DEPTH: KNEE CLEARANCE SHALL BE PERMITTED TO EXTEND 25" MAX. UNDER AN ELEMENT AT 9" ABOVE THE FLOOR
MINIMUM DEPTH: WHERE KNEE CLEARANCE IS REQUIRED BENEATH AN ELEMENT AS PART OF A CLEAR FLOOR SPACE, THE KNEE CLEARANCE SHALL BE 17" MIN. IN DEPTH AT 9" ABOVE THE FLOOR, AND 6" MINIMUM IN DEPTH AT 37" ABOVE THE FLOOR.



OJOS LOCOS
SPORTS CANTINA
2121 S 10TH STREET
MCALLEN, TX 78503

ISSUE DATE: 12/24/21
DATE: 12/24/21
BY: 12/24/21
CHECKED: 12/24/21
APPROVED: 12/24/21

1/2" = 1'-0"

1



PROJECT INFORMATION

PROJECT NO.: 123456789
PROJECT NAME: ENLARGED WOMENS TOILET ROOM
PROJECT LOCATION: 2121 S 10TH STREET, MCALLEN, TX 78503
PROJECT DATE: 12/24/21

DRAWING TITLE

ENLARGED WOMENS TOILET ROOM

DRAWING NUMBER

A7.03



1010 WEST SPRING DEER PARKWAY
MCALLEN, TX 78504
549.857.0008



1001 NORTH MISSION, MCALLEN, TX 78501
TEL: 549.857.0008 • WWW.SARGENTANDGREGORY.COM

The following information is provided for informational purposes only and is not intended to constitute a contract. It is the responsibility of the client to verify the accuracy of the information provided and to ensure that all applicable laws and regulations are followed. The information provided is subject to change without notice.

OJOS LOCOS
SPORTS CANTINA
2121 S 10TH STREET
MCALLEN, TX 78503

SCALE: 1/4" = 1'-0"
DATE: 11/14/20
REVISION: 11/14/20
DRAWING NO.: 1867-3E
SHEET NO.: 1867-3E-01

SEAL/SIGNATURE
I hereby certify that the above is a true and correct copy of the original as submitted to the City of McAllen, Texas, for the purpose of obtaining a building permit.



PROJECT INFORMATION
OWNER: OJOS LOCOS
DESIGNER: SARGENT & GREGORY
DATE: 11/14/20
SHEET NO.: 1867-3E-01

DRAWING TITLE
ENLARGED MENS RESTROOM

DRAWING NUMBER

A7.04

NOT USED

1/2" = 1'-0"

3

NOT USED

1/2" = 1'-0"

4

MENS TOILET ROOM ELEVATION

1/2" = 1'-0"

2

NOT USED

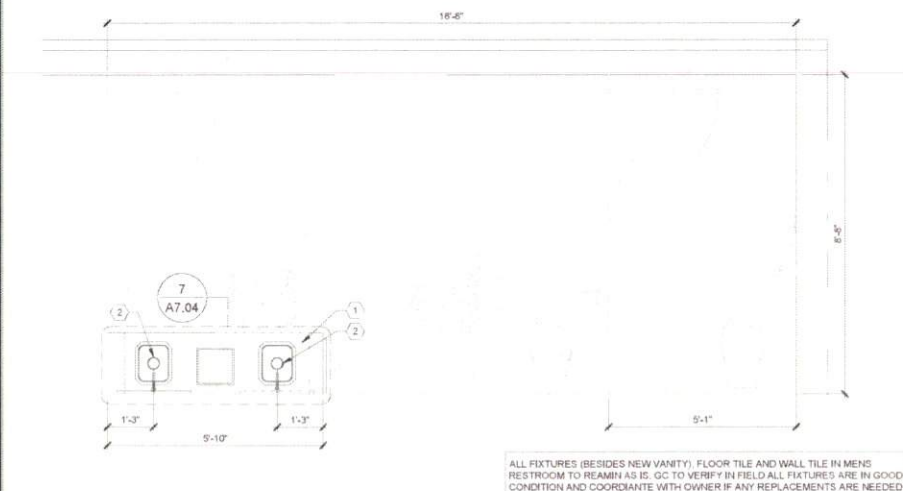
1/2" = 1'-0"

5

MENS TOILET ROOM ELEVATION

1/2" = 1'-0"

1

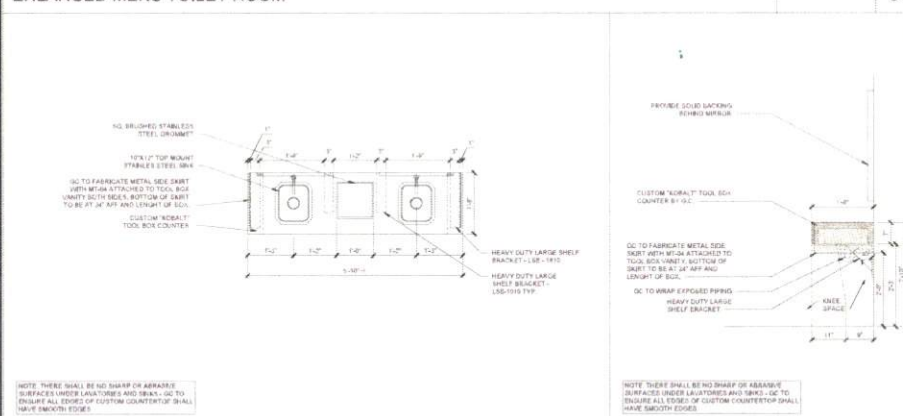


ALL FIXTURES (BESIDES NEW VANITY), FLOOR TILE AND WALL TILE IN MENS RESTROOM TO REMAIN AS IS. GC TO VERIFY IN FIELD ALL FIXTURES ARE IN GOOD CONDITION AND COORDINATE WITH OWNER IF ANY REPLACEMENTS ARE NEEDED.

ENLARGED MENS TOILET ROOM

3/4" = 1'-0"

6



NOTE: THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS - GC TO ENSURE ALL EDGES OF CUSTOM COUNTERTOP SHALL HAVE SMOOTH EDGES.

NOTE: THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES AND SINKS - GC TO ENSURE ALL EDGES OF CUSTOM COUNTERTOP SHALL HAVE SMOOTH EDGES.

ENLARGED MENS VANITY

3/4" = 1'-0"

7

VANITY SECTION

3/4" = 1'-0"

5

MENS TOILET ROOM ELEVATION

MARK	DESCRIPTION	MODEL NO.	MOUNTING SURFACE
1	CUSTOM VANITY	CUSTOM "MODALITY" TOOL BOX COUNTER - SEE DETAILS - COORDINATE WITH OWNER	SURFACE
2	LAVATORY & FAUCET	LAVATORY: MOEN 2000 SERIES TOP MOUNT, MODEL# G5204932 FAUCET: MOEN GIBSON MODEL# 6145	SURFACE

GENERAL NOTES

- TOILET ROOM SHALL CONFORM TO ALL LOCAL, STATE & FEDERAL REQUIREMENTS INCLUDING BUT NOT LIMITED TO: THE AMERICANS WITH DISABILITIES ACT (ADA).
- EACH TOILET ROOM TO RECEIVE ONE (1) OF EACH ACCESSORY UNLESS OTHERWISE NOTED.
- SOAP DISPENSER AND TOILET PAPER DISPENSERS SUPPLIED BY OURS LOCOS, INSTALLED BY G.C. - ALL OTHER TOILET ROOM ACCESSORIES ARE SUPPLIED AND INSTALLED BY G.C.
- GRAB BARS AND HANDRAILS ARE STAINLESS STEEL, W/ PEENED FINISH AND ARE 1 1/4" TO 1 1/2" FROM WALL. REFERENCE FLOOR PLAN FOR LOCATION OF GRAB BARS. REFERENCE DIAGRAM PROVIDED FOR GRAB BAR DIMENSIONS.
- ALL TOILET STALLS TO HAVE ONE TOILET PAPER DISPENSER W/ BLOCKING IN WALL AS REQUIRED FOR INSTALLATION.
- WHERE ONLY ONE DISPENSER OF ANY TYPE IS PROVIDED, MOUNT AT ACCESSIBLE HEIGHT.
- ALL CONSTRUCTION AND MOUNTING HEIGHTS SHALL COMPLY WITH ALL APPLICABLE CITY AND STATE ACCESSIBILITY REGULATIONS AS WELL AS THE FEDERAL ADA AMERICANS WITH DISABILITIES ACT OF 1990 REGULATIONS. REFER TO QUESTIONABLE MOUNTING HEIGHTS TO THE ARCHITECT FOR FINAL DECISION.
- NOT ALL ACCESSORIES MAY BE USED. REFER TO TOILET ACCESSORIES SCHEDULE AND TOILET ROOM PLANS.
- NOT USED.
- TENANT G.C. TO ENSURE SOAP DISPENSER (IF USED) IS MOUNTED OUTSIDE REQUIRED 60" CLEAR AREA FOR WATER CLOSET.

TOILET ACCESSORIES NOTES

- ALL TOILET ACCESSORIES AND FIXTURES SHALL MEET ALL REQUIREMENTS OF ADA GUIDELINES.
- INSTALL ACCESSORIES W/ SCREWS OR BOLTS EXTENDING AT LEAST 1" INTO SOLID BLOCKING.
- ALL ACCESSORIES TO BE STAINLESS STEEL.
- NOT ALL ACCESSORIES MAY BE USED. REFER TO TOILET ROOM PLANS.
- REFER TO RESPONSIBILITY SCHEDULE FOR PROCUREMENT.

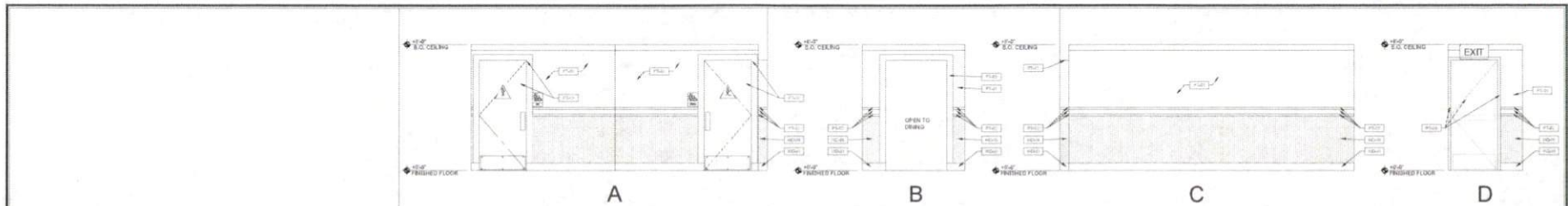
NOTE: FOR TYPICAL MOUNTING HEIGHTS REFER TO SHEET 06A7.03

SIGNAGE NOTES

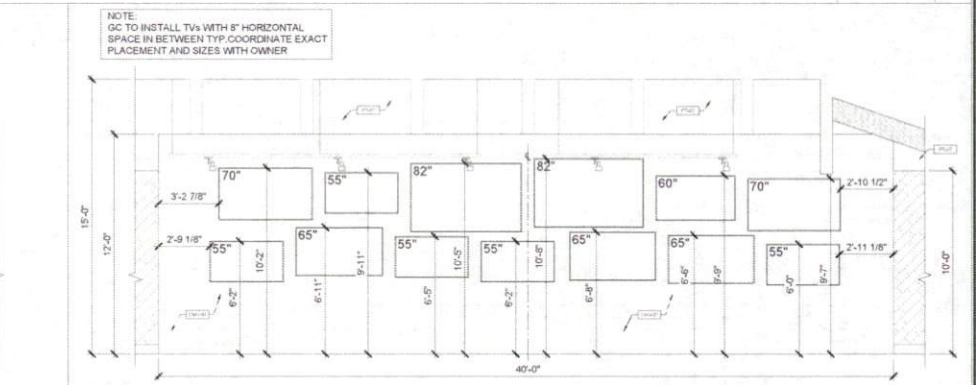
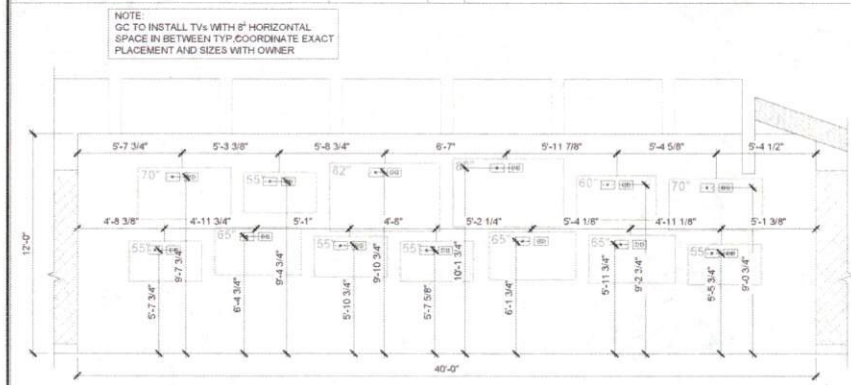
- LETTERS AND NUMBERS SHALL BE RAISED 1/32" UPPER CASE, SANS SERIF OR SIMPLE SERIF TYPE SHALL BE ACCOMPANIED W/ GRADE 2 BRAILLE. RAISED CHARACTERS SHALL BE AT LEAST 3/8" H. BUT NO HIGHER THAN 2". PICTOGRAMS SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE 6" MIN. IN HEIGHT.
- WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NOT WALL SPACE TO THE SIDE OF THE DOOR, INCLUDING AT THE DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. MOUNTING HEIGHT SHALL BE 60" A.F.F. TO THE CENTERLINE OF THE SIGN. MOUNTING LOCATION FOR SUCH SIGNAGE SHALL BE SO THAT A PERSON MAY APPROACH WITHIN 3" OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF THE DOOR.
- TOILET ROOMS SHALL BE IN CONTRASTING COLOR.
- ADA TOILET ROOM PERMANENT WALL SIGNAGE
GENERAL NOTE: ADA TOILET ROOM PERMANENT SIGNS SHALL BE INSTALLED ON WALL ON LATCH SIDE OF DOOR ON EXTERIOR AT 48" TO THE CENTERLINE OF THE SIGN. SIGN SHALL CONTAIN 5/8" UPPER CASE 1/32" RAISED SANS-SERIF CHARACTERS W/ CORRESPONDING GRADE 2 BRAILLE. 7" MIN. H. PICTOGRAM SHALL BE PLACED DIRECTLY BELOW. SIGNAGE SHALL BE LOCATED ADJACENT TO THE DOOR ON THE LATCH SIDE TO ALLOW APPROACH WITHIN 3" OF SIGNAGE WITHOUT PROTRUDING OBJECTS. INSTALL THESE SIGNS IN ALL LOCATIONS.

GENERAL CLEARANCE NOTES

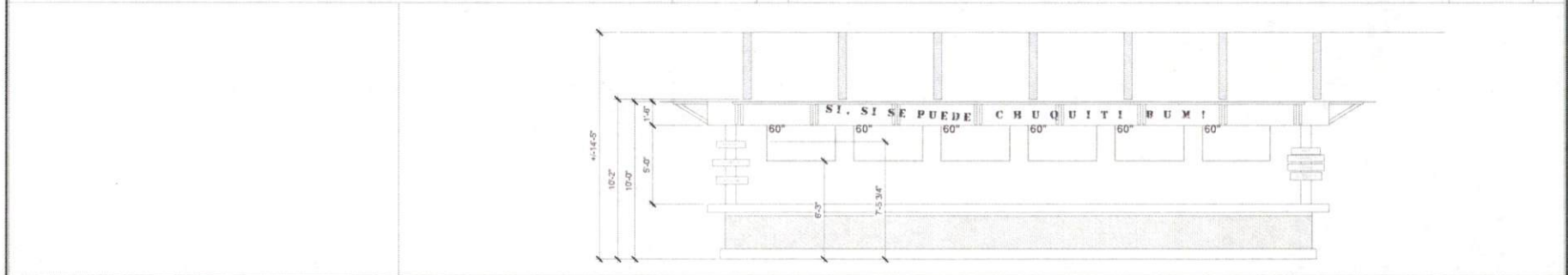
- TOE CLEARANCE**
GENERAL: SPACE BENEATH AN ELEMENT BETWEEN 1" ABOVE THE FLOOR SHALL BE CONSIDERED TOE CLEARANCE. MAXIMUM DEPTH: TOE CLEARANCE SHALL BE PERMITTED TO EXTEND 25" MAXIMUM UNDER AN ELEMENT.
MINIMUM DEPTH: WHERE TOE CLEARANCE IS REQUIRED BENEATH AN ELEMENT AS PART OF A CLEAR FLOOR SPACE, THE TOE CLEARANCE SHALL EXTEND 17" MINIMUM BENEATH THE ELEMENT.
- KNEE CLEARANCE**
GENERAL: IS SPACE BENEATH AN ELEMENT BETWEEN 9" AND 27" ABOVE THE FLOOR SHALL BE CONSIDERED KNEE CLEARANCE. MAXIMUM DEPTH: KNEE CLEARANCE SHALL BE PERMITTED TO EXTEND 25" MAX. UNDER AN ELEMENT AT 2" ABOVE THE FLOOR.
MINIMUM DEPTH: WHERE KNEE CLEARANCE IS REQUIRED BENEATH AN ELEMENT AS PART OF A CLEAR FLOOR SPACE, THE KNEE CLEARANCE SHALL BE 11" MIN. IN DEPTH AT 9" ABOVE THE FLOOR AND 8" MINIMUM IN DEPTH AT 27" ABOVE THE FLOOR.



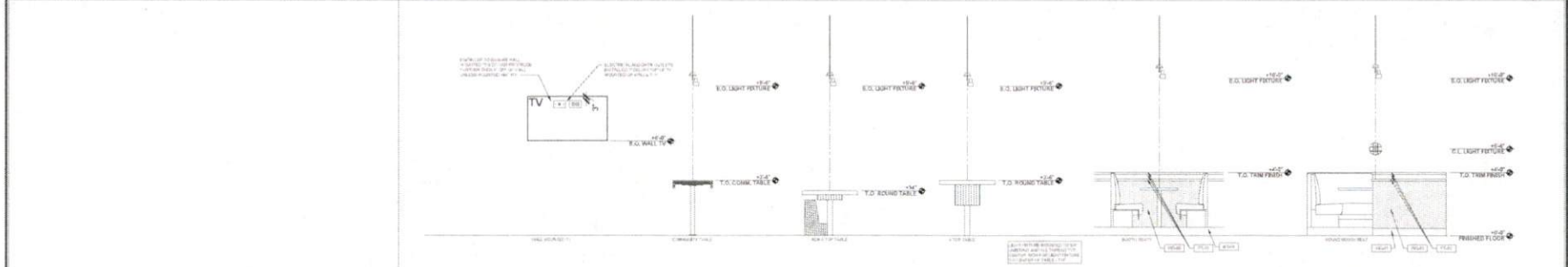
NOT USED 3/8" = 1'-0" 8 RESTROOM HALLWAY ELEVATIONS 3/8" = 1'-0" 4



TV WALL OUTLET ELEVATION PLACEMENT 3/8" = 1'-0" 5 TV WALL ELEVATION 3/8" = 1'-0" 3



NOT USED 3/8" = 1'-0" 7 MODIFIED BAR ELEVATION 3/8" = 1'-0" 2



NOT USED 3/8" = 1'-0" 6 TYPICAL MOUNTING HEIGHTS 3/8" = 1'-0" 1

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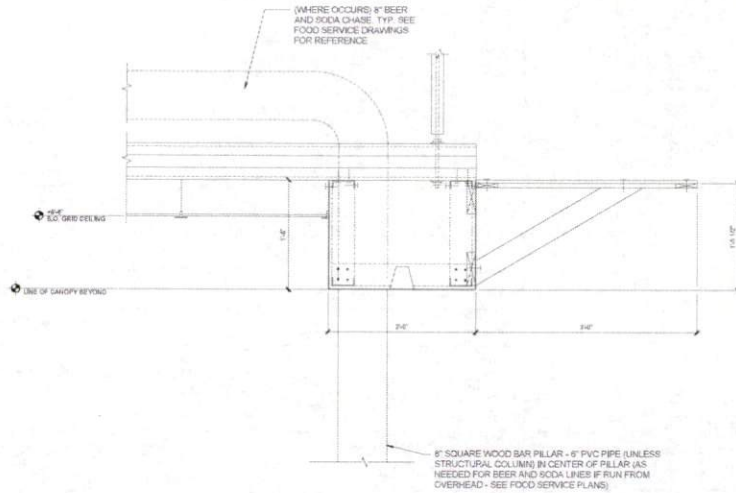
PROJECT INFORMATION
ISSUED NAME: A7.05
DESIGNED BY: J. SARGENTI
CHECKED BY: J. SARGENTI
DATE: 11/11/2011
DRAWING TITLE: INTERIOR ELEVATIONS
DRAWING NUMBER: A7.05

SEAL SIGNATURE
J. SARGENTI
REGISTERED ARCHITECT
STATE OF TEXAS

REVISIONS

PROJECT NO. 5867-02
LOCATED: MCALLEN, TX

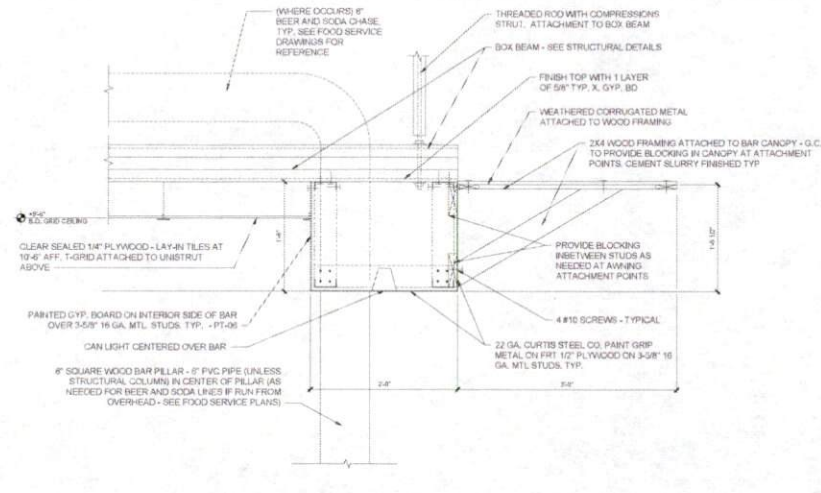
GENERAL NOTES:
ALL CORRUGATED METAL PANELS TO BE CLEAR SEALED AFTER BEING TREATED W/ MURIATIC ACID TO PREVENT FURTHER DETERIORATION PRIOR TO INSTALL USING INCONSISTENT APPLICATION TO CREATE "WEATHERED" LOOK. ANY EXPOSED NEW WOOD TO BE TREATED PRIOR TO INSTALL TO CREATE A INCONSISTENT USED/DISTRESSED LOOK.



BAR SECTION

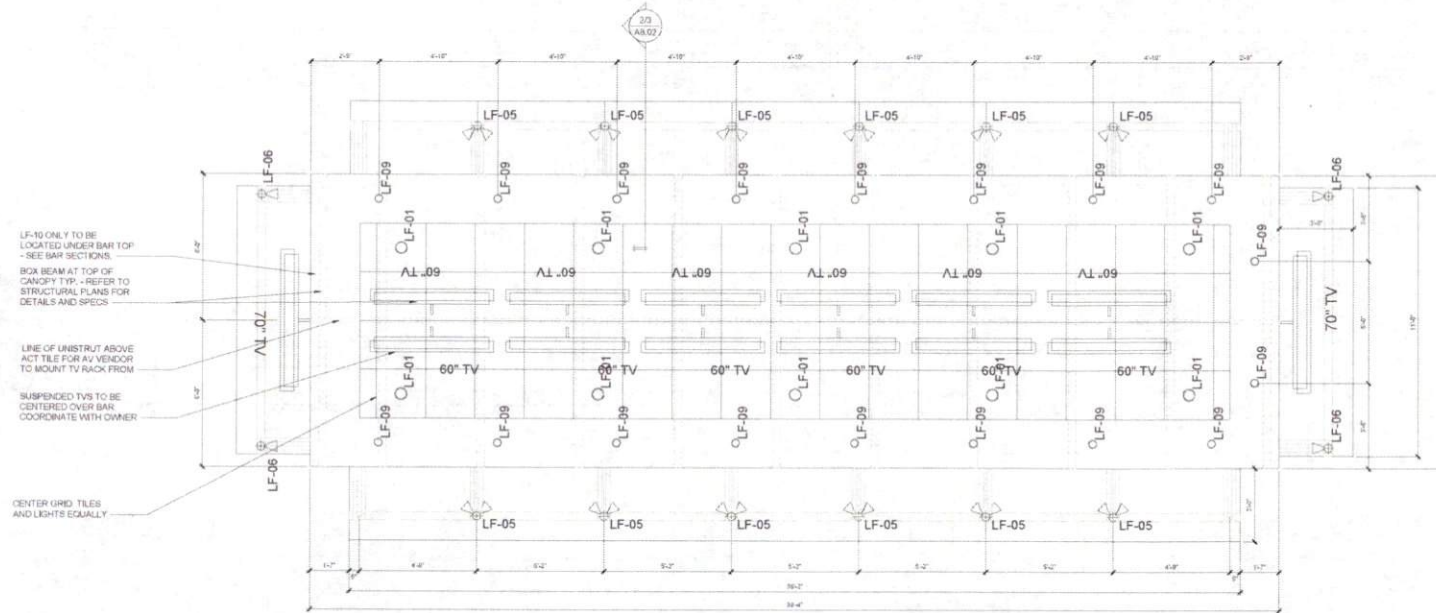
BAR SECTION

GENERAL NOTES:
ALL CORRUGATED METAL PANELS TO BE CLEAR SEALED AFTER BEING TREATED W/ MURIATIC ACID TO PREVENT FURTHER DETERIORATION PRIOR TO INSTALL USING INCONSISTENT APPLICATION TO CREATE "WEATHERED" LOOK. ANY EXPOSED NEW WOOD TO BE TREATED PRIOR TO INSTALL TO CREATE A INCONSISTENT USED/DISTRESSED LOOK.



NOTE:
REFERENCE SHEET A0.06 FOR FINISH SCHEDULE

NOTE:
PROVIDE BLOCKING FOR ALL WALL MOUNTED FIXTURES



ENLARGED BAR REFLECTED CEILING PLAN



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MCALLEN, TX 78503



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MCALLEN, TX 78503

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SPORTS CANTINA
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MCALLEN, TX 78503

DATE	REVISION
01/21/21	1
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PROJECT INFORMATION
PROJECT NAME
OWNER
DESIGNER
DATE
SCALE
PROJECT

ENLARGED RCP
BAR PLAN

A8.02



The Bureau of Land Management (BLM) is seeking to acquire 1,000 acres of land in the state of New Mexico. The land is located in the state of New Mexico, near the town of [redacted]. The land is currently owned by [redacted] and is being offered for sale. The land is suitable for [redacted] and is located in a [redacted] area. The land is being offered for sale at a price of [redacted]. For more information, please contact [redacted] at [redacted].

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ISSUE DATE	01/18/21
DATE	REVISION
02/03/21	BUILDING COMMENT
03/03/21	REVISION

SEAL/SIGNATURE

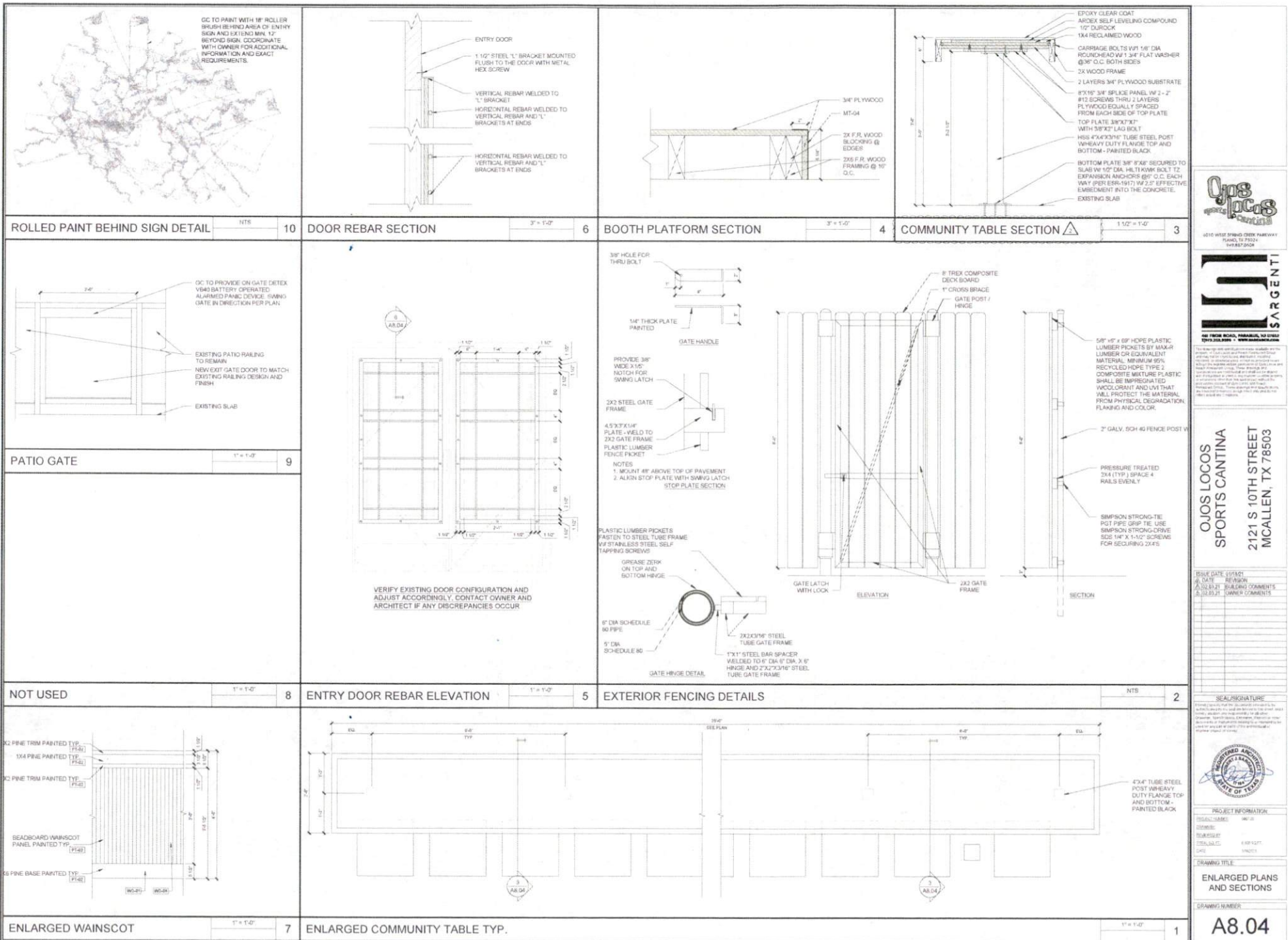


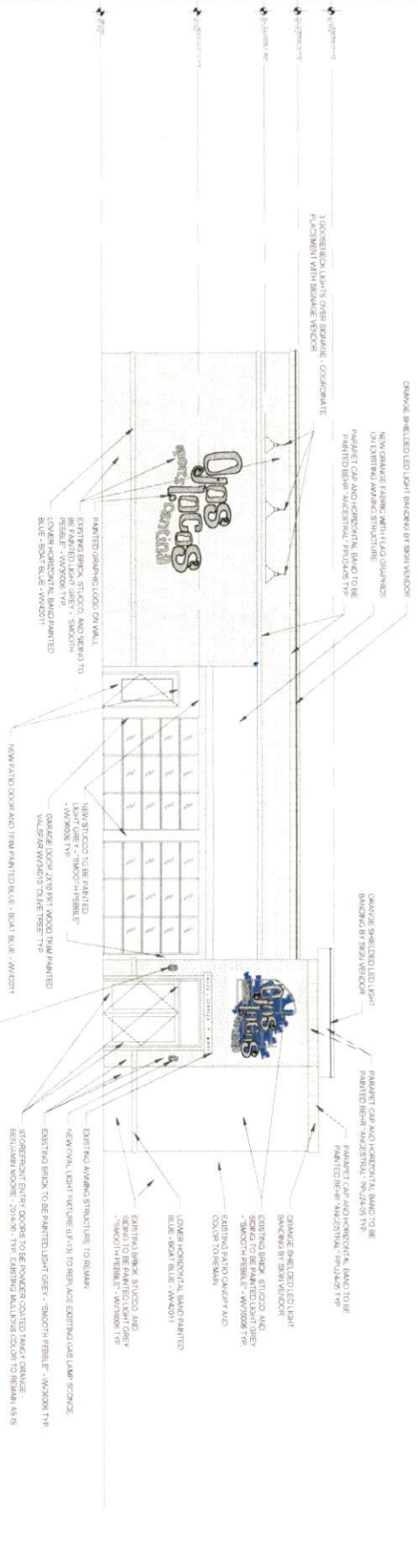
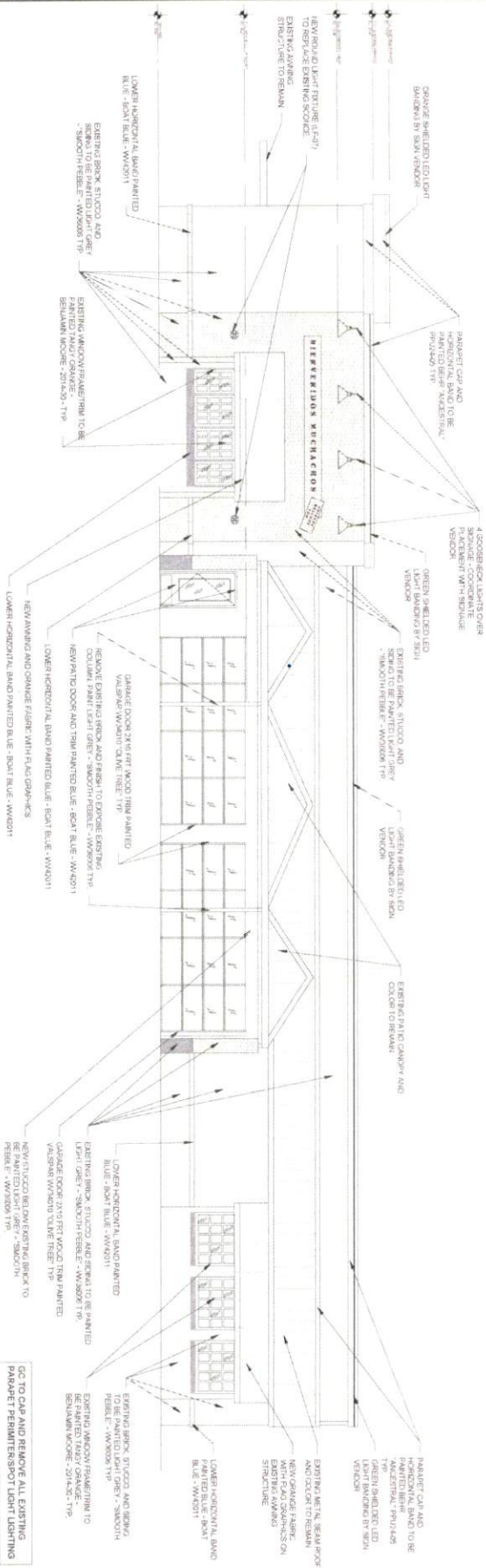
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DESCRIPTION	
PLANNING BY	
DESIGN BY	100-00-001
DATE	1/1/2011
DRAWING TITLE	

BAR ELEVATIONS

DRAWING NUMBER

A8.03

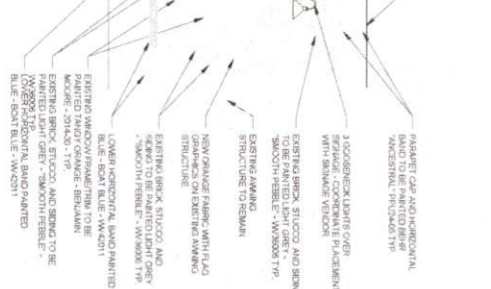


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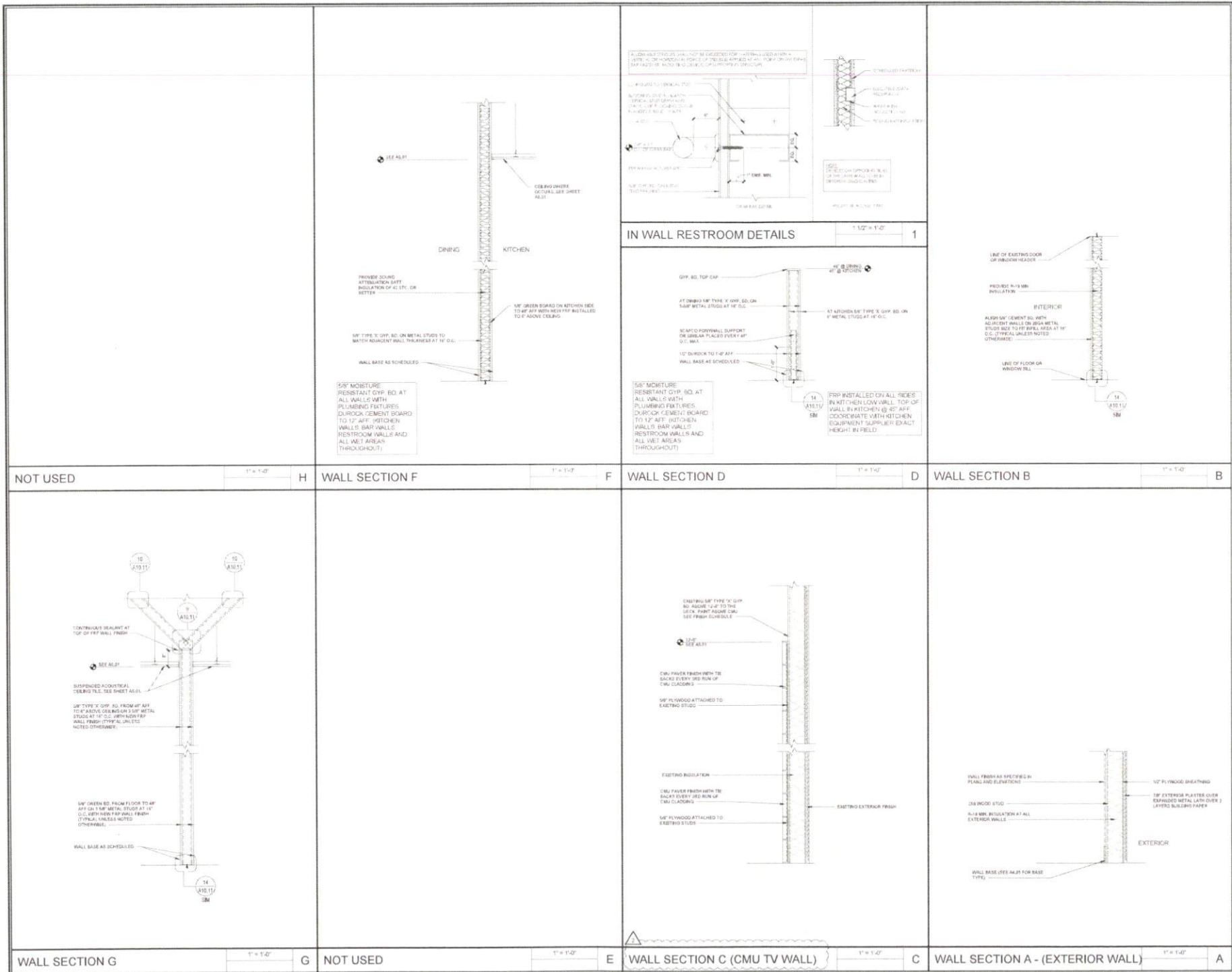
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EXTERIOR
ELEVATIONS



4210 WEST SPRING CREEK PARKWAY
PLANO, TX 75024
(972) 857-2004



400 PINE HILL, FARMACIA, TX 75046
(972) 233-7000 • WWW.SARGENTLUNDY.COM

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MCALLEN, TX 78503

REUSE DATE: 1/20/21
DATE: 1/20/21
REVISION: 1/20/21
OWNER COMMENTS: 1/20/21
OWNER COMMENTS: 1/20/21

SCALE/SIGNATURE

DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DATE: 1/20/21



PROJECT INFORMATION

PROJECT NAME: [Blank]
OWNER: [Blank]
DESIGNED BY: [Blank]
CHECKED BY: [Blank]
DATE: 1/20/21

DRAWING TITLE

WALL SECTIONS

DRAWING NUMBER

A10.01

PROJECT NO. 1967-26

LOCATION: MCALLEN, TX

PROJECT: OJOS LOCOS



OJOS LOCOS
SPORTS CANTINA
2121 S 10TH STREET
MCALLEN, TX 78503

REUSE DATE: 03/20/21
BY: DATE: REVISION
1. 03/20/21 BUILDING COMMENTS
2. 03/20/21 OWNER COMMENTS

SEALING SIGNATURE
[Signature]



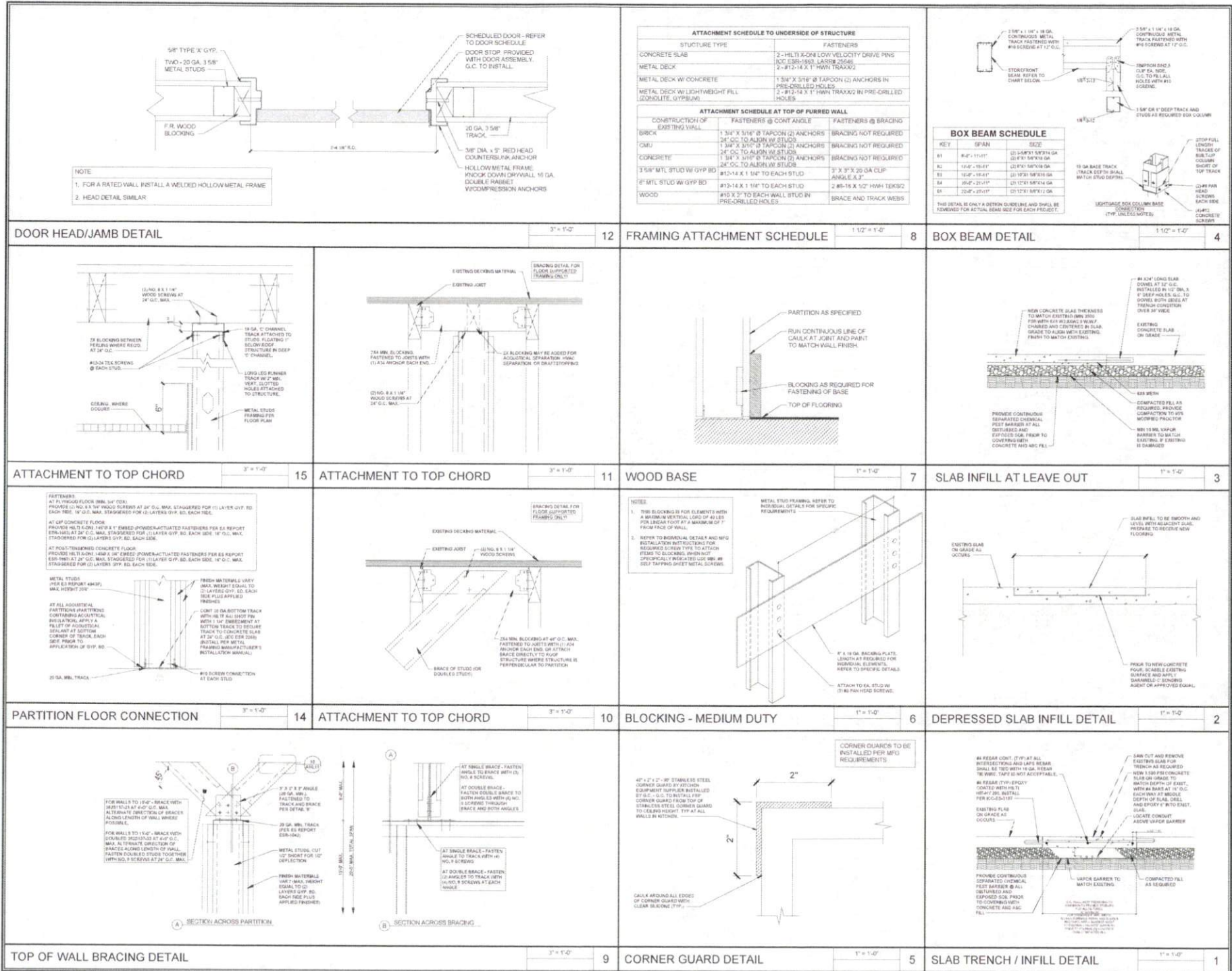
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SHEET NO.: 10/1
DATE: 03/20/21
DRAWN BY: [Name]
CHECKED BY: [Name]
DATE: 03/20/21

DRAWING TITLE

DETAILS

DRAWING NUMBER

A10.11



<p>NEW ROLL UP DOOR - COORDINATE ATTACHMENT REQUIREMENTS WITH DOOR VENDOR</p> <p>NEW 5/8" TYPE 'X' GYP BD. TYP.</p> <p>2X FRAMING TYP.</p> <p>NEW STUCCO EXTERIOR FINISH TO MATCH EXISTING TYP.</p> <p>MIN R-19 BATT INSULATION PER ENERGY REQUIREMENT</p> <p>SEE STRUCTURAL FOR COLUMN DETAILS TYP.</p> <p>'A'</p>	<p>NEW ROLL UP DOOR - COORDINATE ATTACHMENT REQUIREMENTS WITH DOOR VENDOR</p> <p>2X FRAMING TYP.</p> <p>NEW STUCCO EXTERIOR FINISH TO MATCH EXISTING TYP.</p> <p>MIN R-19 BATT INSULATION PER ENERGY REQUIREMENT</p> <p>SEE STRUCTURAL FOR COLUMN DETAILS TYP.</p> <p>'B'</p>	<p>NEW ROLL UP DOOR - COORDINATE ATTACHMENT REQUIREMENTS WITH DOOR VENDOR</p> <p>2X FRAMING TYP.</p> <p>NEW STUCCO EXTERIOR FINISH TO MATCH EXISTING TYP.</p> <p>MIN R-19 BATT INSULATION PER ENERGY REQUIREMENT</p> <p>SEE STRUCTURAL FOR COLUMN DETAILS TYP.</p> <p>'C'</p>	<p>COORDINATE INSTALL REQUIREMENTS AND BLOCKING NEEDED WITH DOOR MFG</p> <p>WHERE APPLICABLE GC TO MATCH EXISTING - 7/8" THK. EXTERIOR PLASTER OVER EXPANDED METAL LATH OVER 2 LAYERS BUILDING PAPER OVER PLYWOOD BRACING OVER 2X WOOD STUD FRAMING</p> <p>DOOR SPRING</p> <p>MIN R-19 BATT INSULATION PER ENERGY REQUIREMENT</p> <p>EXISTING 2X WOOD STUD FRAMING - SEE STRUCTURAL SHEETS</p> <p>WOOD HEADER OR DOUBLE 2X FRAME @ ROLL UP DOOR PER STRUCTURAL DETAILS</p> <p>1/2" - 1/4" DOOR OPENING</p> <p>2X FRT WOOD TRIM AROUND ROLL UP DOOR TYP. PAINT PT-02</p>	<p>ROLL UP DOOR AT PATIO TYP. 1'10" x 1'-0" 8</p> <p>ROLL UP DOOR SECTION TYP. 1' x 1'-0" 4</p>
<p>1/2 GA VERTICAL SUPPORT WIRE @ 4'-0" O.C. EA. 1/8" DIA. MAX. 8" FROM ALL SIDES</p> <p>HEAVY DUTY SUSPENDED MAIN BEAM @ 4'-0" O.C.</p> <p>HEAVY DUTY SUSPENDED CROSS TIE @ 2'-0" O.C.</p> <p>NOTE: REFER TO CEILING PLAN FOR ALL CEILING HEIGHTS.</p> <p>NOTE: FASTENING TO STRUCTURE ABOVE TO COMPLY WITH LOCAL BUILDING DEPARTMENT REQUIREMENTS</p> <p>5/8" GYP. BD.</p> <p>WHILE WALL RECORDING</p>	<p>HANGER WIRE - ALLOWABLE TENSION</p> <p>#12 170 Btu. 4'-0" OC MAX</p> <p>#10 100 Btu. 5'-0" OC MAX</p> <p>VERTICAL - 1/2 GA HANGER WIRE @ 4'-0" O.C. MAX. 8" FROM ALL SIDES</p> <p>LONG WOOD SCREW INTO 2X NEW FR. B. JOISTING AT 45° O.C. MAX. BETWEEN STRUCTURAL MEMBERS WITH 1/2" AN ANCHOR EACH END OR ATTACH BRACE DIRECTLY TO ROOF STRUCTURE WHERE STRUCTURE IS PERPENDICULAR TO HANGTOWN</p> <p>1/2" TURN MIN R1 1/2" (TYPICAL)</p> <p>45° MAX</p> <p>45° MAX</p> <p>45° MAX</p> <p>45° MAX</p> <p>MAIN RUNNER</p> <p>CROSS TIE</p> <p>NOTE: SHALL INSTALL ALUMINUM TIE CLIPS IN ALL CORNERS WITH KC-158 (100)</p>	<p>NOT USED</p>	<p>WEATHERSTRIPPING PER SPEC</p> <p>ADJUSTABLE WEATHERSTRIPPING</p> <p>1/2" MAX. ALUM. THRESHOLD SEALED IN MASS</p> <p>CONCRETE FLOOR SLAB</p>	<p>SUSPENDED GYP, BD. CEILING 3' x 1'-0" 15</p> <p>SUSPENDED CLNG - SEISMIC A&B 3' x 1'-0" 11</p> <p>NOT USED 1'10" x 1'-0" 7</p> <p>ENTRY DOOR DETAIL 8' x 1'-0" 3</p>
<p>HANGER WIRE PER DETAILS</p> <p>SUSPENDED CEILING</p> <p>FRESH FLOOR</p> <p>ELEVATION</p> <p>THE TWO ADJACENT WALLS TO CEILING MAIN AND CROSS RUNNERS</p>	<p>NOTE: THE TWO ADJACENT WALLS TO CEILING MAIN AND CROSS RUNNERS</p> <p>HANGER WIRE</p> <p>TRUSS JOIST</p> <p>NOT TO EXCEED 4'-0"</p> <p>SPLY BRACE WIRE</p> <p>8" MAX OR 1/4" LENGTH OF JOIST TO FIRST MAIN</p> <p>CROSS TIE</p> <p>MAIN RUNNER</p> <p>SCHEDULED LAY IN CEILING TILE</p> <p>CONTINUOUS HORIZONTAL STRUT SHALL PREVENT SPREADING OF WIRE</p>	<p>WOOD HEADER UP 6X HEADERS COORDINATE WITH STRUCTURAL SHEETS</p> <p>NEW 5/8" GYP BOARD</p> <p>SHIM AS NEEDED</p> <p>INTERIOR</p> <p>DOOR FRAME 12" ANCHORS 3 AT HEAD</p> <p>INSTALL MIN. R19 BATT INSULATION IN WALL AS NEEDED</p> <p>NEW STUCCO FINISH TO MATCH EXISTING</p> <p>CONT. 1/2" MOLD BY TRY REGLET OR APPROVED EQUAL</p> <p>CONT. SEALANT OVER BACKER ROD</p> <p>EXTERIOR</p> <p>NEW HOLLOW METAL DOOR & FRAME</p>	<p>KITCHEN</p> <p>SCHEDULED RATED DOOR - SEE DOOR SCHEDULE</p> <p>DOOR FRAME BEYOND</p> <p>TILE FLOOR - F-01</p> <p>EXISTING CONCRETE SLAB AND/OR LEVELED FLOORING CONDITION AS APPLICABLE</p> <p>EXTERIOR</p> <p>SMOKE/FIRE SEAL</p> <p>SCHLUTER TRANSITION STRIP (SCHLUTER-TRAP-1000) SATIN ANODIZED ALUMINUM - GC TO CONFIRM EXACT MODEL</p> <p>CONCRETE</p>	<p>SUSPENDED CEILING BRACING 3' x 1'-0" 14</p> <p>ACOUSTICAL CEILING TILE 3' x 1'-0" 10</p> <p>EXTERIOR DOOR HEADER TYP. 3' x 1'-0" 6</p> <p>TILE TO CONCRETE 3' x 1'-0" 2</p>
<p>VINYL TILE</p> <p>"BONEDRY" VAPOR BARRIER</p> <p>ADHESIVE</p> <p>FLATPATCH CONCRETE PATCHER TO TRANSITION STRIP</p> <p>EXISTING CONCRETE SLAB</p> <p>VINYL TILE VCT-01</p>	<p>DINING</p> <p>NOTE: CHANGES IN ELEVATION BETWEEN 1/4" HIGH AND 1/2" HIGH MAX. SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2 PER ADA REQUIREMENTS</p> <p>VINYL TILE VCT-01</p> <p>EXTERIOR PATIO</p> <p>NEW PATIO DOOR - SEE DOOR SCHEDULE</p> <p>NEW PATIO DOOR - THRESHOLD SEE DOOR SCHEDULE</p> <p>EXISTING PATIO FLOORING</p> <p>CONCRETE SLAB</p>	<p>NEW HOLLOW METAL DOOR & FRAME</p> <p>CONT. 1/2" MOLD OVER BACKER ROD</p> <p>SMOOTH STUCCO OVER PAPER-BACKED METAL LATH OVER EXT. GRADE PLYWOOD - SEE ELEVATION</p> <p>INSTALL MIN. R19 BATT INSULATION IN NEW WALLS</p> <p>SHIM AS NEEDED</p> <p>SHIM AS NEEDED</p> <p>NEW 5/8" GYP. BOARD</p> <p>DOOR FRAME 12" ANCHORS 3 PER JAMB</p> <p>INTERIOR</p>	<p>DINING</p> <p>NOTE: CHANGES IN ELEVATION BETWEEN 1/4" HIGH AND 1/2" HIGH MAX. SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2 PER ADA REQUIREMENTS</p> <p>VINYL TILE VCT-01</p> <p>EXTERIOR PATIO</p> <p>ROLL UP DOOR - SEE DOOR SCHEDULE</p> <p>SMOKE/FIRE SEAL</p> <p>VINYL TRANSITION PIECE TO MATCH VCT FLOORING</p> <p>EXISTING PATIO FLOORING</p> <p>CONCRETE SLAB</p>	<p>TILE TO VCT TRANSITION 3' x 1'-0" 13</p> <p>PATIO DOOR TRANSITION 3' x 1'-0" 9</p> <p>EXTERIOR DOOR JAMB TYP. 3' x 1'-0" 5</p> <p>VCT TO PATIO AT ROLL UP DOOR 3' x 1'-0" 1</p>



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LOCATION: McALLEN, TX

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 SPORTS CANTINA
 2121 S 10TH STREET
 MCALLEN, TX 78503

REVISION
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 DRAWING NUMBER



BEAM (B) SCHEDULE			
NO.	TYPE	SPAN	REMARKS
B1	1" x 12" x 18" CIP	12' 0"	
B2	1" x 12" x 18" CIP	12' 0"	
B3	1" x 12" x 18" CIP	12' 0"	
B4	1" x 12" x 18" CIP	12' 0"	

- ROOF FRAMING NOTES - TYP. UNLESS NOTED OTHERWISE:**
1. ROOF FRAMING SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL ROOFING INSTITUTE (IRI) ROOFING MANUAL.
 2. ROOF FRAMING SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL ROOFING INSTITUTE (IRI) ROOFING MANUAL.
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ROOF FRAMING PLAN
SCALE: 3/8" = 1'-0"

CARISO TURLEY SCOTT, INC.
CONSULTING STRUCTURAL ENGINEERS
12000 WEST 10TH AVENUE, SUITE 100
DENVER, COLORADO 80202
TEL: 303.755.1234
FAX: 303.755.1235
WWW.CARISO-TURLEY-SCOTT.COM

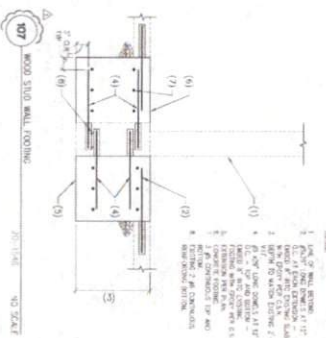
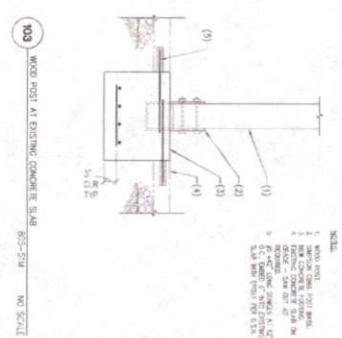
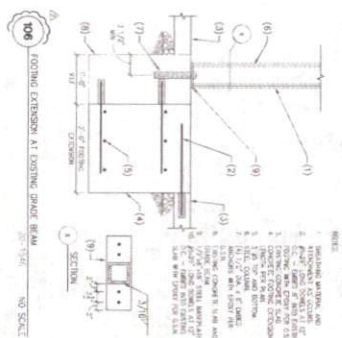
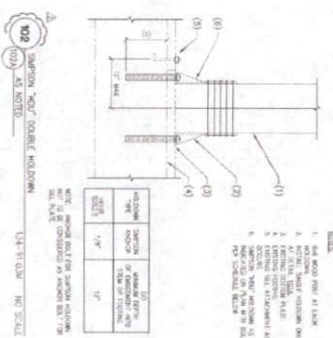
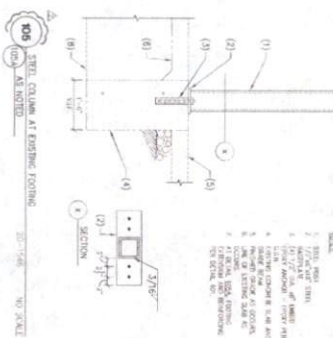
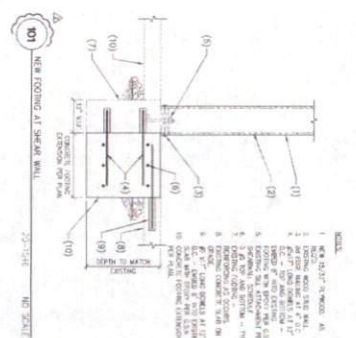
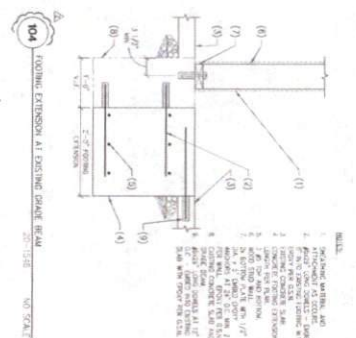
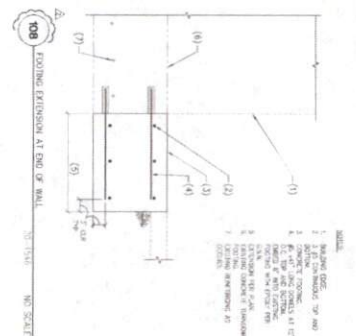
PROJECT INFORMATION
PROJECT NAME: OJOS LOCOS
PROJECT NUMBER: 2017-10
PROJECT LOCATION: 2121 S 10TH STREET, MCALLEN, TX 78503
PROJECT OWNER: OJOS LOCOS SPORTS CANTINA
PROJECT ARCHITECT: CARISO TURLEY SCOTT, INC.

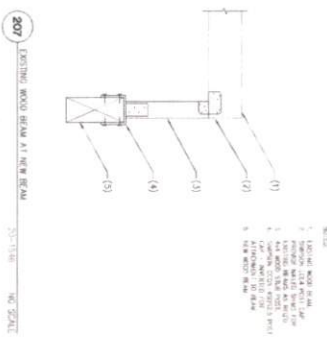
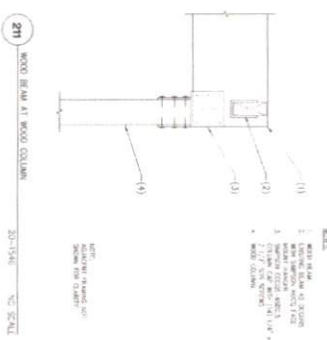
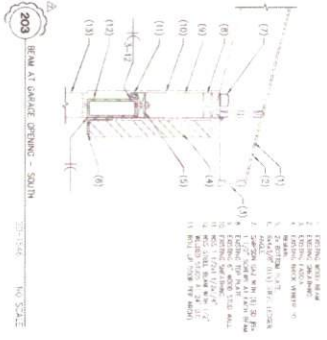
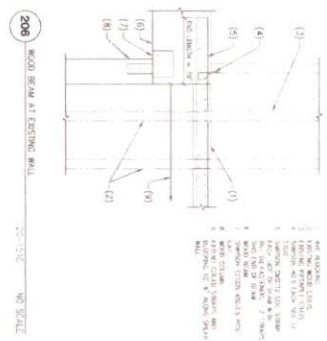
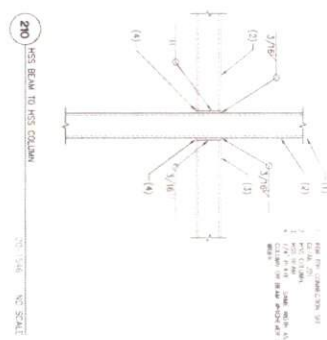
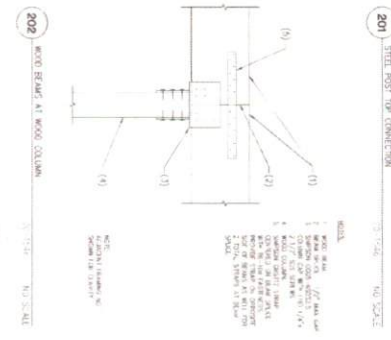
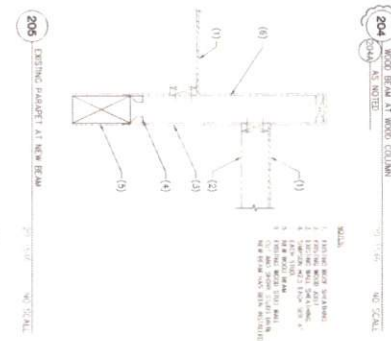
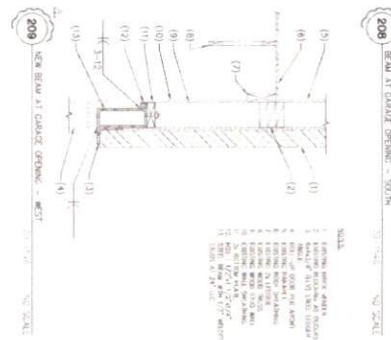
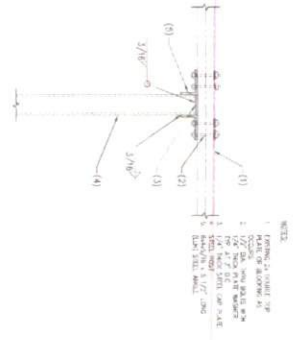
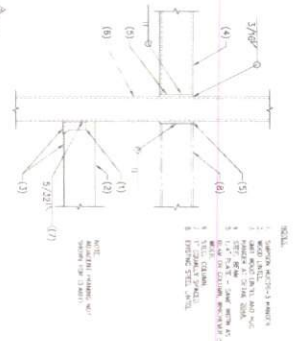
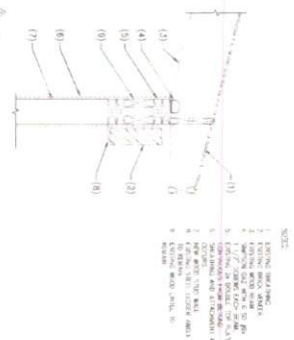


REVISION	DATE	BY	DESCRIPTION
1	08/15/17	CT	ISSUED FOR PERMIT

OJOS LOCOS SPORTS CANTINA
2121 S 10TH STREET
MCALLEN, TX 78503

SARGENTI
ARCHITECTS
10000 WEST 10TH AVENUE, SUITE 100
DENVER, COLORADO 80202
TEL: 303.755.1234
FAX: 303.755.1235
WWW.SARGENTIARCHITECTS.COM





CARLOS TURLEY SCOTT, INC.
 ARCHITECT
 1200 W. 10TH STREET, SUITE 100
 MCALLEN, TEXAS 78503
 (957) 433-1111
 www.carlosturley.com

PROJECT INFORMATION
 PROJECT NAME: OJOS LOCOS
 PROJECT NUMBER: 20-1546
 PROJECT LOCATION: MCALLEN, TX
 PROJECT DATE: 10/20/2017
 PROJECT STATUS: IN PROGRESS

FRAMING DETAILS
 DRAWING TITLE: FRAMING DETAILS
 DRAWING NUMBER: S4.1

APPROVED FOR CONSTRUCTION
 PROJECT MANAGER: [Signature]
 PROJECT ENGINEER: [Signature]
 PROJECT ARCHITECT: [Signature]

NOTES
 1. SEE ALL FRAMING DETAILS FOR THIS PROJECT.
 2. ALL FRAMING SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC).
 3. ALL FRAMING SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE (IBC).
 4. ALL FRAMING SHALL BE IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL, ELECTRICAL, AND PLUMBING CODE (IMC).

OJOS LOCOS SPORTS CANTINA
 2121 S 10TH STREET
 MCALLEN, TX 78503

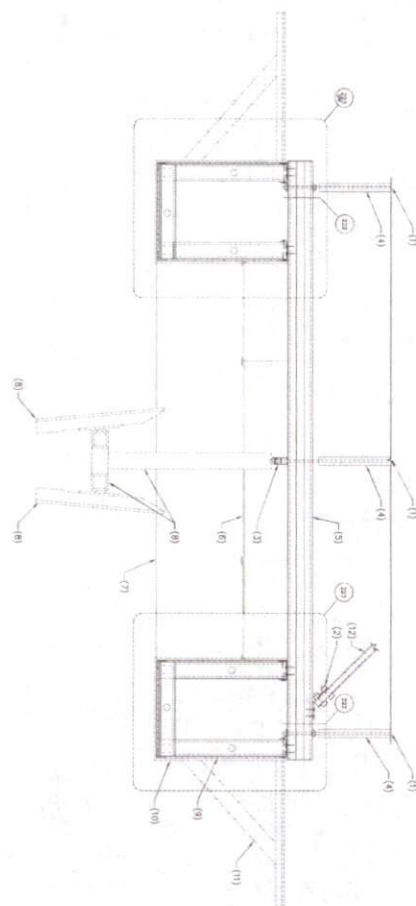
SARGENTI
 ARCHITECTS
 1200 W. 10TH STREET, SUITE 100
 MCALLEN, TEXAS 78503
 (957) 433-1111
 www.sargentia.com

OJOS LOCOS Sports Cantina
 1200 W. 10TH STREET, SUITE 100
 MCALLEN, TEXAS 78503
 (957) 433-1111
 www.ojoslocos.com

PROJECT INFORMATION
 PROJECT NAME: OJOS LOCOS
 PROJECT NUMBER: 20-1546
 PROJECT LOCATION: MCALLEN, TX
 PROJECT DATE: 10/20/2017
 PROJECT STATUS: IN PROGRESS

FRAMING DETAILS
 DRAWING TITLE: FRAMING DETAILS
 DRAWING NUMBER: S4.1

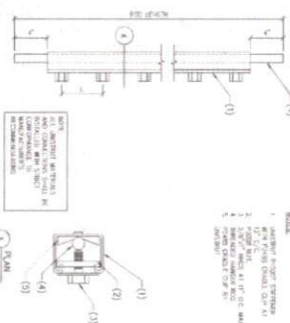
APPROVED FOR CONSTRUCTION
 PROJECT MANAGER: [Signature]
 PROJECT ENGINEER: [Signature]
 PROJECT ARCHITECT: [Signature]



- NOTES:
1. SEE SECTION 221 FOR DETAILS.
 2. ALL STRUCTURAL STEEL SHALL BE AISC 360-10, GRADE 50.
 3. ALL WELDS SHALL BE AISC 360-10, GRADE 50.
 4. ALL BOLTS SHALL BE AISC 360-10, GRADE 50.
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 11. ALL WELDS SHALL BE AISC 360-10, GRADE 50.

221 SECTION AT RAIN CANOPY

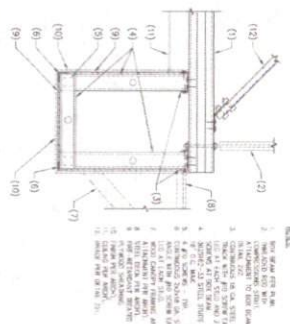
22-0228 NO SCALE



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222 SECTION AT RAIN CANOPY

22-0228 NO SCALE

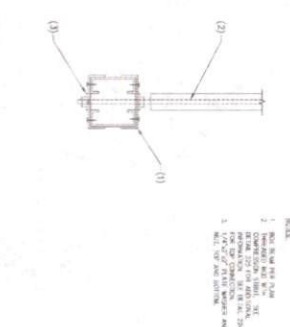


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1. SEE SECTION 221 FOR DETAILS.
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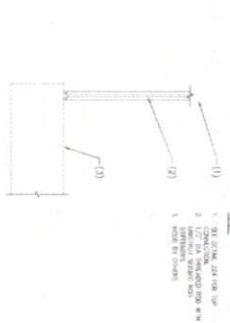
223 SECTION AT RAIN CANOPY

224 SECTION AT RAIN CANOPY

22-0228 NO SCALE



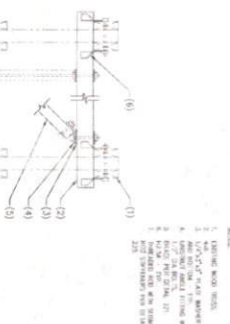
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225 SECTION AT RAIN CANOPY

22-0228 NO SCALE



- NOTES:
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226 SECTION AT RAIN CANOPY

227 SECTION AT RAIN CANOPY

22-0228 NO SCALE



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227 SECTION AT RAIN CANOPY

22-0228 NO SCALE

CABUSO TURLEY SCOTT, INC.
CONSULTING STRUCTURAL ENGINEERS
11000 WEST 10TH STREET, SUITE 100
MCALLEN, TEXAS 78503
TEL: 361-222-1100
FAX: 361-222-1101
WWW.CABUSOTURLEYSCOTT.COM

OJOS LOCOS SPORTS CANTINA
2121 S 10TH STREET
MCALLEN, TX 78503





- [illegible]

$$\text{Wavelength: } 1/\lambda = 1/\lambda_0 + 1/\lambda_1$$


NO LIES
THE NEW YORK TIMES
CONSIDERED ANY OF THESE
THE COUNTRY OUTWORN THE NEW
GARDEN DOORS

NP MECHANICAL, INC.
 11000 N. 77th Street, Ste. 100
 Minneapolis, MN 55435
 612-835-1111
 www.npmechanical.com

M1.0

MECHANICAL
FLOOR PLAN
$$\frac{1}{2} \left(\frac{1}{2} \right) = \frac{1}{4}$$

PROJECT INFORMATION



Figure 10 shows the results of the regression analysis. The results show that the regression model is significant at the 0.05 level. The adjusted R-squared value is 0.85, indicating that 85% of the variance in the dependent variable is explained by the independent variables. The regression equation is:

SIGNATURE

[illegible]

[illegible]

DATE 8/7/2021

121

107
15M

CAN

NA
EET
500

[illegible]

FROM ROAD, PARAMUS, N.Y.
78-211-5333 • WWW.BABCOKE.COM

1

1

PHOTO: T. J. HIGGS
T. J. HIGGS

ports
Cervin

Chips

2121 S 10TH STREET
MCALLEN, TX 78503

**FROM SOLID, PRACTICE IN OTHER
THINGS TO NEW - WWW.LAMARCA.COM**

Dyes
and
dyeing

AUDIO VISUAL SPRING CREEK PAPERWAY
P.O. BOX 78707
DENVER, CO 80278

Table 1









Planning Department

Memo

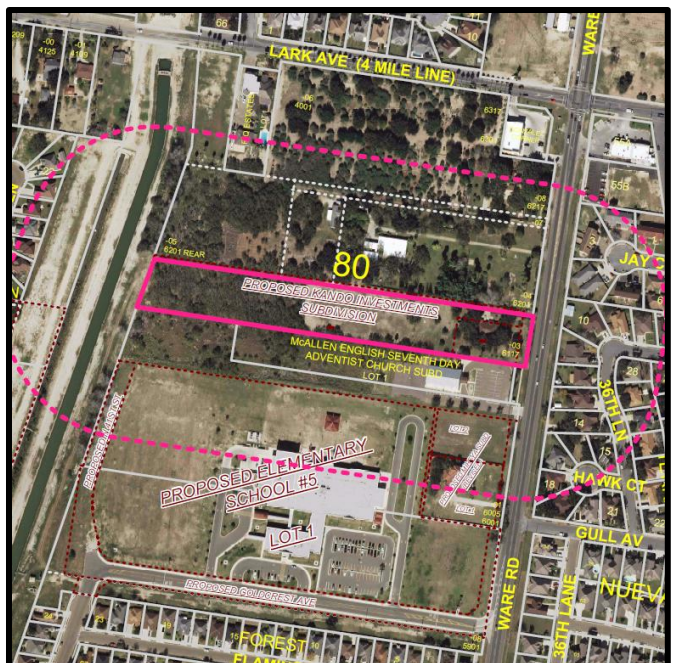
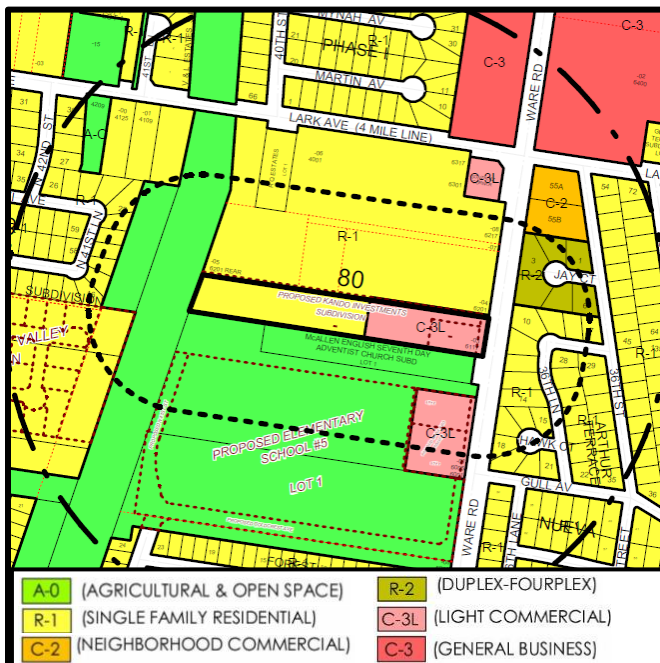
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: January 11, 2023

SUBJECT: REQUEST OF DAMIAN C. OROZCO, ONE BEHALF OF HACIENDA LAS MARIPOSAS, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR AN EVENT CENTER WITH A CHAPEL AT 4.32 ACRE TRACT OF LAND, OUT OF THE NORTH 5 ACRES OF THE SOUTH 20 ACRES OF LOT 80, LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS; 6117 NORTH WARE ROAD. (CUP2022-0183)

BRIEF DESCRIPTION: The property is located on the west side of North Ware Road, approximately 620 ft. south of Lark Avenue, also known as Mile 4 Road. The property has 165 ft. of frontage along North Ware Road and is zoned C-3L (light commercial) District. Two applications to rezone the front and middle portion of the property to C-3 District have been submitted and will be heard on January 17, 2023, by the Planning and Zoning Commission and on February 13, 2023, by the City Commission. A variance to subdivision process application is scheduled to be heard by the City Commission on January 23, 2023. The adjacent zoning is A-O (agricultural and open space) District to the south and west, and R-1 (single-family residential) District to the north and



east. There is a restaurant on the property known as Hacienda Las Mariposas. Surrounding land uses include All Nations Seventh-day Adventist Church, single-family residences, fourplexes, Lark Crossing Plaza, El Rodeo Taco Express, El Rodeo Meat Market, Hendricks Elementary School, and vacant land. An event center is allowed in a C-3 District with a Conditional Use Permit and in compliance with the requirements.

SUMMARY/ANALYSIS: The applicant is proposing to construct a 5,882 sq. ft. building for an event center and a chapel. The hours of operation will be from 11:00 A.M. to midnight daily.

The Fire Department inspected the property and allowed the CUP process to continue. The applicant must obtain the required health permits. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

1. The property line of the lot of any of the above mentioned businesses must be at least 400 ft. from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The proposed establishment is within 400 ft. from the nearest residentially zoned property and a church;
2. The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The establishment has access to North Ware Road;
3. The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. Based on the 4,626 square footage of the existing restaurant (restroom spaces are deducted) and 5,288 sq. ft. of seating and chapel area for the proposed event center building, 99 parking spaces are required and 100 spaces are provided. Parking lot must be paved according to Section 138-400 of the Zoning Ordinance, free of potholes, and clearly striped;
4. The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties;
5. The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
6. The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and
7. The above-mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

RECOMMENDATION:

Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(4) of the Zoning Ordinance.

H. C. D. R.

WARRANTY DEED
DOCUMENT NO. 2650446, H.C.D.R.

200.00' OF NEW BLOCK PARTIALLY
OPEN WALL WITH IRON PANELS

APPROXIMATE
TO MILE

PROPOSED 200.00' COMMERCIAL ZONE
(R-1 → C-3L) - (0.76 ACRES)

EXISTING 450.00' COMMERCIAL ZONE
(C-3L) - (1.70 ACRES)

PROPOSED 128.50' OF NEW PARKING
AND DRAINAGE IMPROVEMENTS
(40 NEW PARKING SPACES)

EXISTING 450.00' OF PARKING AND DRAINAGE IMPROVEMENTS

NORTHEAST
CORNER
5.0 ACRE
TRACT

LOT 10

SCALE: 1"=60'
(11"x17" SIZE)

LOT 11

LOT 12

SOUTHEAST CORNER
5.0 ACRE TRACT &
NORTHEAST CORNER
McALLEN ENGLISH
SEVENTH DAY
ADVENTIST CHURCH
SUBD.

LOT 13

LOT 1

MCALLEN ENGLISH SEVENTH DAY ADVENTIST CHURCH SUBDIVISION
VOL. 41, PG. 109, H. C. M. R.

NORTH LINE McALLEN ENGLISH SEVENTH DAY ADVENTIST CHURCH SUBD.

END OF EXIST. SWALE/
BEGINNING OF PROP. SWALE 848.21'

10.00' UTILITY
EASEMENT

15.00' UTILITY EASEMENT

P.O.B.

P.O.C.
S.E.C.
LOT 80

SOUTH LINE LOT 80
NORTH LINE LOT 89

N08°42'30"E

N81°17'30"W
70.00'

495.00'

NORTH WARE ROAD
(F.M. 2220)
(118.3' R.O.W.)

Sheet Title:

EVENT CENTER
WITH CHAPEL
(C.U.P.)

Project:

KANDO
INVESTMENTS
SUBDIVISION

David Omar Salinas
Registered Professional
Engineer # 71973

Date: 11/16/22

Scale: 1"=60'

Designed By: D.O.S.

Drawn By: A.E.

Checked By: D.O.S.

Approved By: D.O.S.

Project No.: SP-18-23902

Drawing No.: SP-18-23902

Sheet 1 of 1

DISCLAIMER: THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM
REVIEW BY THE CITY OF MCALLEN ONLY & BY NO OTHERS UNDER THE
AUTHORITY OF DAVID OMAR SALINAS, P.E., TX. REG. NO. 71973 ON
NOVEMBER 16, 2022. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

SEA
SALINAS ENGINEERING & ASSOCIATES
(F-6675) (10065700)
CONSULTING ENGINEERS & SURVEYORS
2221 DAFFODIL - MCALLEN, TEXAS 78501
(956) 682-9081 (956) 686-1489 (FAX)
TIBBS 12100 PARK 25 CHURCH BLDG. A. SUITE 156, MC-220, AUSTIN, TEXAS 78753 (512) 239-3263



Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

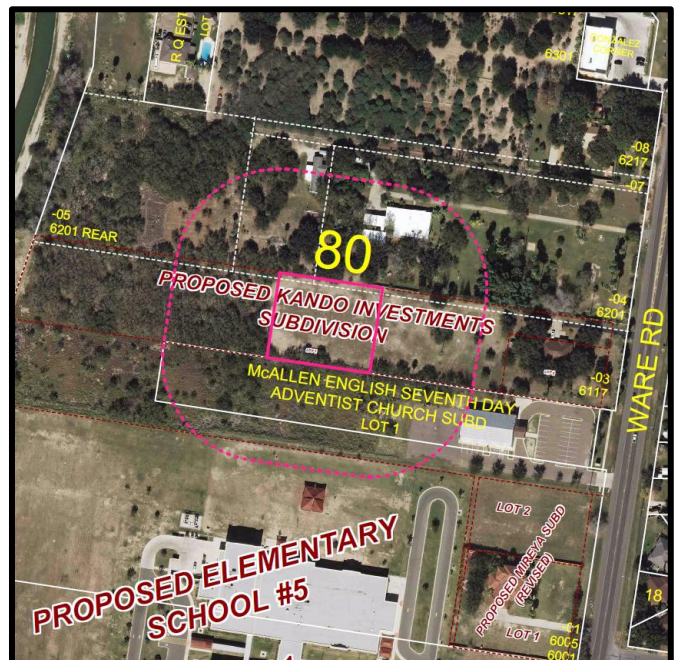
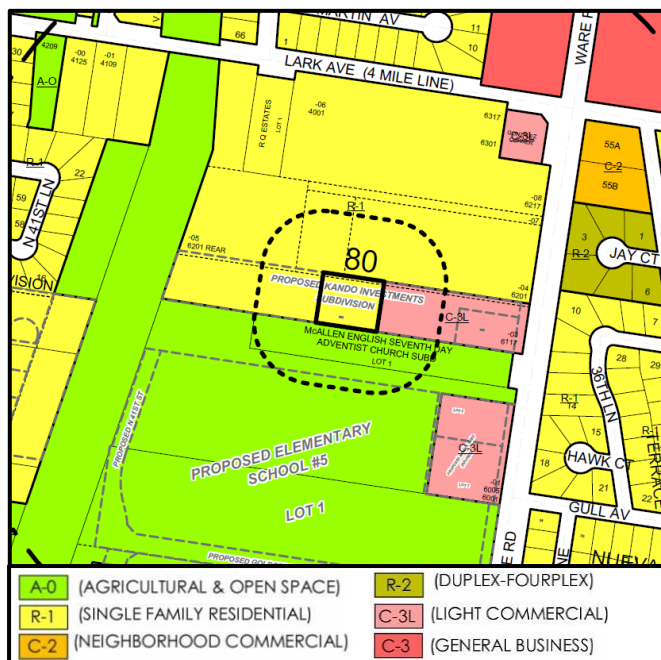
DATE: January 10, 2023

SUBJECT: REZONE FROM R-1 (SINGLE-FAMILY RESIDENTIAL) DISTRICT TO C-3 (GENERAL BUSINESS) DISTRICT: 0.76 ACRES OUT OF THE NORTH 5 ACRES OF THE SOUTH 20 ACRES OF LOT 80, LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS; 6117 NORTH WARE ROAD (MID). (REZ2022-0051)

LOCATION: The property is an interior tract located on the west side of North Ware Road, approximately 620 ft. south of Lark Avenue, also known as Mile 4 Road. The property does not have a street frontage, but is part of a larger property, which fronts North Ware Road.

PROPOSAL: The applicant is requesting to rezone the property to C-3 (general business) District for the parking lot of a proposed event center. A rezoning request to rezone the front portion of the property from C-3L to C-3 District and a conditional use permit request for an event center with a chapel are scheduled to be heard on January 17, 2023, by the Planning and Zoning Commission and on February 13, 2023, by the City Commission. A variance to subdivision process application is scheduled to be heard by the City Commission on January 23, 2023.

ADJACENT ZONING: The adjacent zoning is A-O (agricultural and open space) District on the south, R-1 (single-family residential) District to the north and west, and C-3L (light commercial) District to the east.



LAND USE: There is a restaurant on the C-3L portion of the property known as Hacienda Las Mariposas. Surrounding land uses include All Nations Seventh-day Adventist Church, single-family residences, fourplexes, Lark Crossing Plaza, El Rodeo Taco Express, El Rodeo Meat Market, Hendricks Elementary School, and vacant land.

COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Single Family which is comparable to R-1 (single-family residential) District.

DEVELOPMENT TRENDS: The development trend for this area along North Ware Road is residential and commercial.

HISTORY: The property was rezoned to R-1 (single-family residential) District during the City initiated A-O rezoning project in 2015. A rezoning request to C-3L District for the front portion of the property was approved on October 8, 2018. There has been no other rezoning request for the subject property since then.

Tracts located at the intersection of North Ware Road and Lark Avenue were rezoned to C-2 (neighborhood commercial), C-3L (light commercial), and C-3 (general business) Districts in 1981, 2006, and 2008. A rezoning request to C-3 (general business) District for the adjacent property to the north side was submitted on January 10, 2023.

ANALYSIS: The requested zoning does not conform to the Auto Urban Single Family land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, it follows the rezoning and development trend in this area. The property will be part of a larger commercial development that fronts North Ware Road. North Ware Road is a high-speed arterial with 150 ft. of designated right-of-way as per the City's thoroughfare plan.

A recorded subdivision plat and approved conditional use permit are required prior to building permit issuance. A masonry screen eight feet in height shall be required where a commercial, industrial or multifamily use has a side or rear property line in common with a single family use or zone.

Staff has not received any calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to C-3 (general business) District since it follows the rezoning and development trend in this area and will be part of a larger property which fronts North Ware Road, a high-speed arterial road.

ADJOINER:
OWNER: BILL ATCHISON & MARTHA ATCHISON
CO-TRUSTEES OF THE BILL &
MARTHA ATCHISON LIVING TRUST
PROPERTY I.D. NO.: 210700
LA LOMITA (HOIT)
W3.48AC. OF S 9AC. OF N20AC. LOT 80
WARRANTY DEED
DOCUMENT NO. 2650446, H.C.D.R.

SALINAS ENGINEERING & ASSOCIATES
CONSULTING ENGINEERS & SURVEYORS
2221 DAFFODIL AVE. - MCALLEN, TEXAS 78501
(956) 682-9081 (956) 686-1489 (FAX)
dsalinas@salinasengineering.com
TBPLS 12100 PARK 35 CIRCLE BLDG. A, SUITE 156, MC-230, AUSTIN, TEXAS 78573 (512) 239-5263

ADJOINER:
OWNER: BILL ATCHISON & MARTHA ATCHISON
CO-TRUSTEES OF THE BILL & MARTHA ATCHISON LIVING TRUST
PROPERTY I.D. NO.: 210699
LA LOMITA (HOIT)
S267' OF E652' OF S 9AC. OF N20AC. LOT 80 / 3.54AC. NET
WARRANTY DEED
DOCUMENT NO. 2650446, H.C.D.R.

SCALE: 1" = 60'

LEGEND

- FOUND 1/2" IRON ROD
- SET 1/2" IRON ROD
- R.O.W. RIGHT OF WAY
- P-B PROPERTY LINE TO BACK OF CURB
- B-B BACK OF CURB TO BACK OF CURB
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- H.C.D.R. HIDALGO COUNTY DEED RECORDS
- H.C.O.R. HIDALGO COUNTY OFFICIAL RECORDS
- H.C.M.R. HIDALGO COUNTY MAP RECORDS
- M.B.S.L. MINIMUM BUILDING SETBACK LINE

ADJOINER:
OWNER: LAW OFFICE OF DAMIAN C. OROSCO, P.C.
(4.32 AC. O/O)
LOT 80, LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY
SUBDIVISION
DOCUMENT NO. 2915439, H.C.D.R.

NORTHWEST CORNER
McALLEN ENGLISH SEVENTH DAY
ADVENTIST CHURCH SUBD.

10.00' UTILITY
EASEMENT

TRACT-I
33,000 SQ.FT.
0.76 ACRES
(PROP. C-3L ZONE)

EXIST.
C-3L ZONE
(165' x 450')

NORTHEAST
CORNER
5.0 ACRE
TRACT

NORTH WARE ROAD
(F.M. 2220)
(118.3' R.O.W.)

SOUTHEAST CORNER 5.0 ACRE TRACT &
NORTHEAST CORNER McALLEN ENGLISH
SEVENTH DAY ADVENTIST CHURCH SUBD.

P.O.C.
S.E.C.
LOT 80

SOUTH LINE OF LOT 80
NORTH LINE OF LOT 89

GENERAL PLAT NOTES:

- Bearing Basis: East line of Lot 80, La Lomita Irrigation and Construction Company's Subdivision, Hidalgo County, Texas.
- This survey was prepared without the benefit of a title policy. The research of any easements is not within the scope of this boundary/improvement survey. Any easement shown herein were taken directly from the plat of record. This survey is for the exclusive use of the client named hereon and may not be copied or transferred to another party without the express written consent of the surveyor.
- There are no discrepancies, conflicts, excesses or shortages in area, encroachments or any overlapping improvements, visible or apparent easements except as shown or noted hereon.
- The surveyor has made no attempt to locate or define wetlands, hazardous waste areas, habitats, endangered species or any other environmentally sensitive areas on the tract of land shown hereon; Nor does this survey make any representations of being an environmental assessment of the tract of land shown hereon.
- The surveyor has made no attempt to locate or define archeological sites, historical sites or undocumented cemeteries on the tract of land shown hereon; Nor does this survey make any representations of being an archeological or historical survey of the tract of land shown hereon.
- The surveyor has made no attempt to locate abandoned, or plugged oil and gas wells, or any other wells on the tract of land shown hereon; Nor has the surveyor made any attempt to research same with the Railroad Commission of Texas or any other State agency; Nor has the surveyor investigated any mineral or royalty interests in the tract of land shown hereon.
- This is a standard survey and does not include a subsurface utility or topographic investigation.
- If this survey does not bear an original seal and signature it is INVALID as per Section 661.46 and Section 663.19 of the "The Professional Land Surveying Practices Act" enacted under Article 5282c, Vernon's Texas Civil Statutes.

LA LOMITA
IRRIGATION AND
CONSTRUCTION
COMPANY'S
SUBDIVISION
VOL. 24, PGS. 67 - 68,
H. C. D. R.

0.76 ACRES - REZONING FROM R-1 TO C-3L

METES AND BOUNDS DESCRIPTION

BEING A 0.76 ACRE (OR 33,000.0 SQ. FT.) TRACT OF LAND, MORE OR LESS, CONSISTING OF THE WEST 200.0 FEET OF THE EAST 650.0 FEET OUT OF THAT CERTAIN 4.32 NET ACRE TRACT OF LAND, MORE OR LESS, CARVED OUT OF THE NORTH 5.0 ACRES OF THE SOUTH 20.0 ACRES OF LOT 80, LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 24, PAGES 67-68, DEED RECORDS OF HIDALGO COUNTY, TEXAS; SAID 0.76 ACRE TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A 1/4 INCH DIAMETER IRON ROD WITH YELLOW CAP FOUND ON THE SOUTHEAST CORNER OF SAID 4.32 ACRE TRACT AND LOCATED ON THE WEST RIGHT-OF-WAY OF NORTH WARE ROAD (AKA F.M. 2220) FOR REFERENCE; SAID ROD IS FURTHER LOCATED NORTH 08 DEGREES 42 MINUTES 30 SECONDS EAST, COINCIDENT WITH THE EAST LINE OF SAID LOT 80 LOCATED WITHIN SAID NORTH WARE ROAD, A DISTANCE OF 455.0 FEET TO A POINT ON THE SOUTHEAST CORNER OF SAID 5.0 ACRE TRACT SAME BEING THE NORTHEAST CORNER OF THE McALLEN ENGLISH SEVENTH DAY ADVENTIST CHURCH SUBDIVISION, MCALLEN, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 41, PAGE 109, MAP RECORDS OF HIDALGO COUNTY, TEXAS, AND, THENCE, NORTH 81 DEGREES 17 MINUTES 30 SECONDS WEST, COINCIDENT WITH THE NORTH LINE OF SAID McALLEN ENGLISH SEVENTH DAY ADVENTIST CHURCH SUBDIVISION, A DISTANCE OF 70.0 FEET ALL FROM THE SOUTHEAST CORNER OF SAID LOT 80; THENCE,

NORTH 81 DEGREES 17 MINUTES 30 SECONDS WEST, COINCIDENT WITH THE SOUTH LINE OF SAID 5.0 ACRE TRACT SAME BEING THE NORTH LINE OF SAID McALLEN ENGLISH SEVENTH DAY ADVENTIST CHURCH SUBDIVISION, A DISTANCE OF 450.0 FEET TO A 1/4 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" FOUND FOR THE SOUTHWEST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

- THENCE, NORTH 81 DEGREES 17 MINUTES 30 SECONDS WEST, CONTINUING COINCIDENT WITH THE SOUTH LINE OF SAID 5.0 ACRE TRACT SAME BEING THE NORTH LINE OF SAID McALLEN ENGLISH SEVENTH DAY ADVENTIST CHURCH SUBDIVISION, A DISTANCE OF 200.0 FEET TO A 1/4 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" SET FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, NORTH 08 DEGREES 42 MINUTES 30 SECONDS EAST, ALONG A LINE PARALLEL TO THE EAST LINE OF SAID LOT 80, A DISTANCE OF 165.0 FEET TO A 1/4 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" SET ON INTERSECTION WITH THE NORTH LINE OF SAID 5.0 ACRE TRACT FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, SOUTH 81 DEGREES 17 MINUTES 30 SECONDS EAST, COINCIDENT WITH THE NORTH LINE OF SAID 5.0 ACRE TRACT, A DISTANCE OF 200.0 FEET TO A 1/4 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" FOUND FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, SOUTH 08 DEGREES 42 MINUTES 30 SECONDS WEST, ALONG A LINE PARALLEL TO THE EAST LINE OF SAID LOT 80, A DISTANCE OF 165.0 FEET TO THE POINT OF BEGINNING, CONTAINING 0.76 ACRES OF LAND, MORE OR LESS.

BASIS OF BEARING: LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY'S SUBDIVISION, H.C.T.
N/SUBDIVISION PLATS (KANDQ.SUB) 0.76.111522

This is to certify that I have, this date, made a careful and accurate standard land survey on the ground of property which is located at 6117 N. WARE ROAD in McALLEN Texas, described as follows: A 0.76 ACRES (OR 33,000 SQ. FT.) TRACT OF LAND, MORE OR LEE, CONSISTING OF THE WEST 200.00 FEET OF THE EAST 650.00 FEET OUT OF THAT CERTAIN 4.32 NET ACRE TRACT OF LAND, MORE OR LESS, CARVED OUT OF THE NORTH 5.0 ACRES OF THE SOUTH 20.0 ACRES,
(SEE METES AND BOUNDS DESCRIPTION)

Lot 80, Block -, of LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY SUBDIVISION
HIDALGO CO.

Texas, according to the plat recorded in Volume 24, Page 67-68, of the DEED Records of Hidalgo County, Texas. I further certify that this property lies in Zone "C" as per FIRM (Flood Insurance Rate Map) dated 11/02/82 Community Panel No. 480343 0005 X.

R.G.

DRN. BY
NOVEMBER 16, 2022
DATE

SP-18-23902(A)
JOB NO.

REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5782



H. C. D. R.

WARRANTY DEED
DOCUMENT NO. 2650446, H.C.D.R.

200.00' OF NEW BLOCK PARTIALLY
OPEN WALL WITH IRON PANELS

APPROXIMATE
TO MILE

PROPOSED 200.00' COMMERCIAL ZONE
(R-1 → C-3L) - (0.76 ACRES)

EXISTING 450.00' COMMERCIAL ZONE
(C-3L) - (1.70 ACRES)

PROPOSED 128.50' OF NEW PARKING
AND DRAINAGE IMPROVEMENTS
(40 NEW PARKING SPACES)

EXISTING 450.00' OF PARKING AND DRAINAGE IMPROVEMENTS

NORTHEAST
CORNER
5.0 ACRE
TRACT

LOT 10

SCALE: 1"=60'
(11"x17" SIZE)

LOT 11

LOT 12

SOUTHEAST CORNER
5.0 ACRE TRACT &
NORTHEAST CORNER
McALLEN ENGLISH
SEVENTH DAY
ADVENTIST CHURCH
SUBD.

LOT 13

LOT 1

MCALLEN ENGLISH SEVENTH DAY ADVENTIST CHURCH SUBDIVISION
VOL. 41, PG. 109, H. C. M. R.

NORTH LINE McALLEN ENGLISH SEVENTH DAY ADVENTIST CHURCH SUBD.

END OF EXIST. SWALE/
BEGINNING OF PROP. SWALE 848.21'

10.00' UTILITY
EASEMENT

15.00' UTILITY EASEMENT

P.O.B.

P.O.C.
S.E.C.
LOT 80

SOUTH LINE LOT 80
NORTH LINE LOT 89

N08°42'30"E

N81°17'30"W
70.00'

495.00'

SS

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SEA
SALINAS ENGINEERING & ASSOCIATES
(F-6675) (10065700)
CONSULTING ENGINEERS & SURVEYORS
2221 DAFFODIL - McALLEN, TEXAS 78501
(956) 682-9081 (956) 686-1489 (FAX)
TIBBLS 12100 PARK 25 CHURCH BLDG. A. SUITE 156, MC-220, AUSTIN, TEXAS 78753 (512) 239-3263

Sheet Title:
EVENT CENTER
WITH CHAPEL
(C.U.P.)

Project:
KANDO
INVESTMENTS
SUBDIVISION

David Omar Salinas
Registered Professional
Engineer # 71973
Date: 11/16/22
Scale: 1"=60'
Designed By: D.O.S.
Drawn By: A.E.
Checked By: D.O.S.
Approved By: D.O.S.
Project No.: SP-18-23902
Drawing No.: SP-18-23902
Sheet 1 of 1

DISCLAIMER: THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM
REVIEW BY THE CITY OF MCALLEN ONLY & BY NO OTHERS UNDER THE
AUTHORITY OF DAVID OMAR SALINAS, P.E., TX. REG. NO. 71973 ON
NOVEMBER 16, 2022. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.



NOTICE
REZONING
FOR
THIS PROPERTY
REZ2022-0014
0051

NOTICE
REZONING
FOR
THIS PROPERTY
REZ2022-0014
0051

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

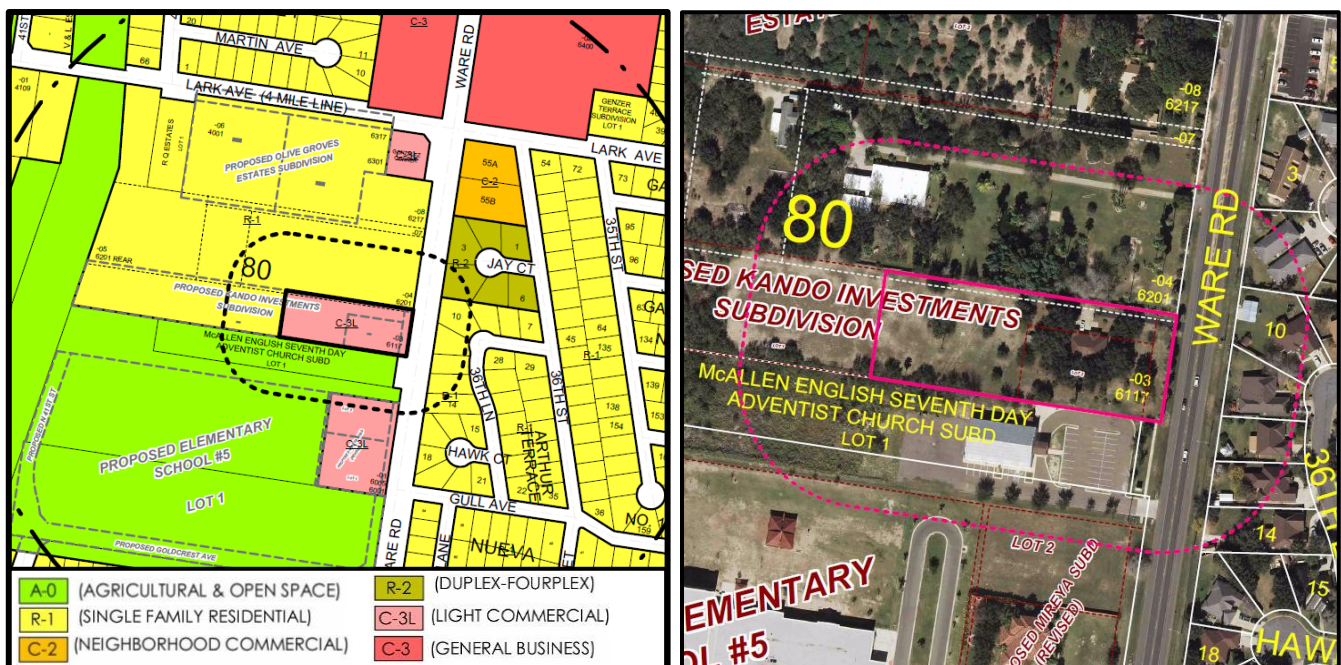
DATE: January 10, 2023

SUBJECT: REZONE FROM C-3L (LIGHT COMMERCIAL) DISTRICT TO C-3 (GENERAL BUSINESS) DISTRICT: 1.70 ACRES OUT OF THE NORTH 5 ACRES OF THE SOUTH 20 ACRES OF LOT 80, LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS; 6117 NORTH WARE ROAD. (REZ2022-0054)

LOCATION: The property is located on the west side of North Ware Road, approximately 620 ft. south of Lark Avenue, also known as Mile 4 Road. The property has 165 ft. of frontage along North Ware Road and a depth of 450 ft. for a lot size of 1.70 acres.

PROPOSAL: The applicant is requesting to rezone the property to C-3 (general business) District for a proposed event center. A rezoning request to rezone the middle portion of the property from R-1 to C-3 District and a conditional use permit request for an event center with a chapel are scheduled to be heard on January 17, 2023, by the Planning and Zoning Commission and on February 13, 2023, by the City Commission. A variance to subdivision process application is scheduled to be heard by the City Commission on January 23, 2023.

ADJACENT ZONING: The adjacent zoning is A-O (agricultural and open space) District to the south, and R-1 (single-family residential) District to the north, west, and east.



LAND USE: There is a restaurant on the property known as Hacienda Las Mariposas. Surrounding land uses include All Nations Seventh-day Adventist Church, single-family residences, fourplexes, Lark Crossing Plaza, El Rodeo Taco Express, El Rodeo Meat Market, Hendricks Elementary School, and vacant land.

COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Single Family which is comparable to R-1 (single-family residential) District.

DEVELOPMENT TRENDS: The development trend for this area along North Ware Road is residential and commercial.

HISTORY: The property was rezoned to R-1 (single-family residential) District during the City initiated A-O rezoning project in 2015. A rezoning request to C-3L District for the property was approved on October 8, 2018. There has been no other rezoning request for the subject property since then.

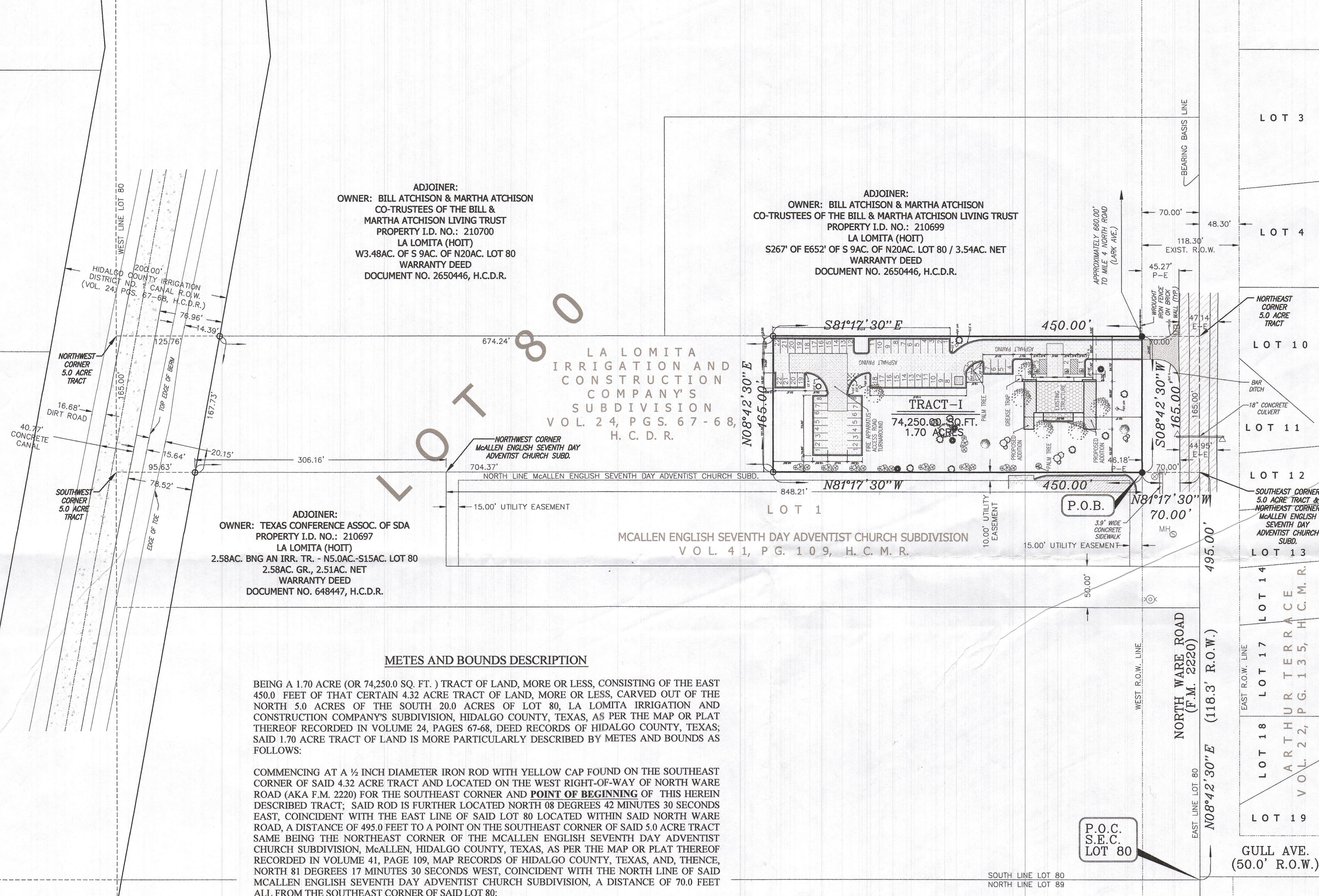
Tracts located at the intersection of North Ware Road and Lark Avenue were rezoned to C-2 (neighborhood commercial), C-3L (light commercial), and C-3 (general business) Districts in 1981, 2006, and 2008. A rezoning request to C-3 (general business) District for the adjacent property to the north side was submitted on January 10, 2023.

ANALYSIS: The requested zoning does not conform to the Auto Urban Single Family land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, it follows the rezoning and development trend in this area. The property fronts North Ware Road, which is a high-speed arterial with 150 ft. of designated right-of-way as per the City's thoroughfare plan.

A recorded subdivision plat and approved conditional use permit are required prior to building permit issuance. A masonry screen eight feet in height shall be required where a commercial, industrial or multifamily use has a side or rear property line in common with a single family use or zone.

Staff has not received any calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to C-3 (general business) District since it follows the rezoning and development trend in this area and fronts North Ware Road, a high-speed arterial road.



METES AND BOUNDS DESCRIPTION

BEING A 1.70 ACRE (OR 74,250.0 SQ. FT.) TRACT OF LAND, MORE OR LESS, CONSISTING OF THE EAST 450.0 FEET OF THAT CERTAIN 4.32 ACRE TRACT OF LAND, MORE OR LESS, CARVED OUT OF THE NORTH 5.0 ACRES OF THE SOUTH 20.0 ACRES OF LOT 80, LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 24, PAGES 67-68, DEED RECORDS OF HIDALGO COUNTY, TEXAS; SAID 1.70 ACRE TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP FOUND ON THE SOUTHEAST CORNER OF SAID 4.32 ACRE TRACT AND LOCATED ON THE WEST RIGHT-OF-WAY OF NORTH WARE ROAD (AKA F.M. 2220) FOR THE SOUTHEAST CORNER AND **POINT OF BEGINNING** OF THIS HEREIN DESCRIBED TRACT; SAID ROD IS FURTHER LOCATED NORTH 08 DEGREES 42 MINUTES 30 SECONDS EAST, COINCIDENT WITH THE EAST LINE OF SAID LOT 80 LOCATED WITHIN SAID NORTH WARE ROAD, A DISTANCE OF 495.0 FEET TO A POINT ON THE SOUTHEAST CORNER OF SAID 5.0 ACRE TRACT SAME BEING THE NORTHEAST CORNER OF THE MCALLEN ENGLISH SEVENTH DAY ADVENTIST CHURCH SUBDIVISION, MCALLEN, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 41, PAGE 109, MAP RECORDS OF HIDALGO COUNTY, TEXAS, AND, THENCE, NORTH 81 DEGREES 17 MINUTES 30 SECONDS WEST, COINCIDENT WITH THE NORTH LINE OF SAID MCALLEN ENGLISH SEVENTH DAY ADVENTIST CHURCH SUBDIVISION, A DISTANCE OF 70.0 FEET ALL FROM THE SOUTHEAST CORNER OF SAID LOT 80;

- THENCE, NORTH 81 DEGREES 17 MINUTES 30 SECONDS WEST, COINCIDENT WITH THE SOUTH LINE OF SAID 5.0 ACRE TRACT SAME BEING THE NORTH LINE OF SAID MCALLEN ENGLISH SEVENTH DAY ADVENTIST CHURCH SUBDIVISION, A DISTANCE OF 450.0 FEET TO A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" SET FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, NORTH 08 DEGREES 42 MINUTES 30 SECONDS EAST, ALONG A LINE PARALLEL TO THE EAST LINE OF SAID LOT 80, A DISTANCE OF 165.0 FEET TO A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" SET ON INTERSECTION WITH THE NORTH LINE OF SAID 5.0 ACRE TRACT FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, SOUTH 81 DEGREES 17 MINUTES 30 SECONDS EAST, COINCIDENT WITH THE NORTH LINE OF SAID 5.0 ACRE TRACT, A DISTANCE OF 450.0 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND ON INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF SAID NORTH WARE ROAD FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, SOUTH 08 DEGREES 42 MINUTES 30 SECONDS WEST, COINCIDENT WITH THE WEST RIGHT-OF-WAY LINE OF SAID NORTH WARE ROAD, A DISTANCE OF 165.0 FEET TO THE **POINT OF BEGINNING**, CONTAINING 1.70 ACRES OF LAND, MORE OR LESS.

BASIS OF BEARING: LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY'S SUBDIVISION, H.C.T. N:VM&B.2018\1.70.081618

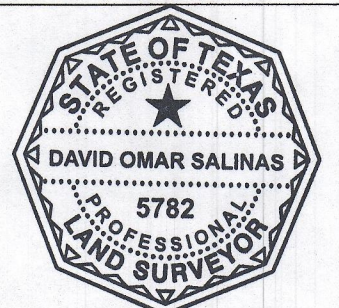
This is to certify that I have, this date, made a careful and accurate standard land survey on the ground of property which is located at 6117 N. WARE ROAD in McALLEN, Texas, described as follows: BEING A 1.70 ACRE (OR 74,250.0 SQ. FT.) TRACT OF LAND, MORE OR LESS, CONSISTING OF THE EAST 450.0 FEET OF THAT CERTAIN 4.32 ACRE TRACT OF LAND, MORE OR LESS, CARVED OUT OF THE NORTH 5.0 ACRES OF THE SOUTH 20.0 ACRES OF (SEE METES AND BOUNDS DESCRIPTION) Lots 80, Block , of LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY'S SUBDIVISION, HIDALGO CO.

Texas, according to the plat recorded in Volume 24, Pages 67-68, of the DEED Records of Hidalgo County, Texas. I further certify that this property lies in Zone C, as per FIRM (Flood Insurance Rate Map) dated NOV. 2, 1982 Community Panel No. 480343 0005 C.

A.E.
DRN. BY
AUGUST 16, 2018
DATE

S-18-23823
JOB NO.

REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5782



H. C. D. R.

WARRANTY DEED
DOCUMENT NO. 2650446, H.C.D.R.

200.00' OF NEW BLOCK PARTIALLY
OPEN WALL WITH IRON PANELS

APPROXIMATE
TO MILE

PROPOSED 200.00' COMMERCIAL ZONE
(R-1 → C-3L) - (0.76 ACRES)

EXISTING 450.00' COMMERCIAL ZONE
(C-3L) - (1.70 ACRES)

PROPOSED 128.50' OF NEW PARKING
AND DRAINAGE IMPROVEMENTS
(40 NEW PARKING SPACES)

EXISTING 450.00' OF PARKING AND DRAINAGE IMPROVEMENTS

NORTHEAST
CORNER
5.0 ACRE
TRACT

LOT 10

SCALE: 1"=60'
(11"x17" SIZE)

LOT 11

LOT 12

SOUTHEAST CORNER
5.0 ACRE TRACT &
NORTHEAST CORNER
McALLEN ENGLISH
SEVENTH DAY
ADVENTIST CHURCH
SUBD.

LOT 13

LOT 1

MCALLEN ENGLISH SEVENTH DAY ADVENTIST CHURCH SUBDIVISION
VOL. 41, PG. 109, H. C. M. R.

10.00' UTILITY
EASEMENT

15.00' UTILITY EASEMENT

P.O.B.

P.O.C.
S.E.C.
LOT 80

SOUTH LINE LOT 80
NORTH LINE LOT 89

N08°42'30"E

N81°17'30"W
70.00'

495.00'

NORTH WARE ROAD
(F.M. 2220)
(118.3' R.O.W.)

SEA

SALINAS ENGINEERING & ASSOCIATES
(F-6675) (10065700)
CONSULTING ENGINEERS & SURVEYORS
2221 DAFFODIL - MCALLEN, TEXAS 78501
(956) 682-9081 (956) 686-1489 (FAX)
TIBBLS 12100 PARK 25 CHURCH BLDG. A. SUITE 156, MC-220, AUSTIN, TEXAS 78753 (512) 239-3263

EVENT CENTER
WITH CHAPEL
(C.U.P.)

KANDO
INVESTMENTS
SUBDIVISION

David Omar Salinas
Registered Professional
Engineer # 71973
Date: 11/16/22
Scale: 1"=60'
Designed By: D.O.S.
Drawn By: A.E.
Checked By: D.O.S.
Approved By: D.O.S.
Project No.: SP-18-23902
Drawing No.: SP-18-23902
Sheet 1 of 1

DISCLAIMER: THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM
REVIEW BY THE CITY OF MCALLEN ONLY & BY NO OTHERS UNDER THE
AUTHORITY OF DAVID OMAR SALINAS, P.E., TX. REG. NO. 71973 ON
NOVEMBER 16, 2022. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.



NOTICE
REZONING
FOR
THIS PROPERTY
REZ2022-0014
0051

NOTICE
REZONING
FOR
THIS PROPERTY
REZ2022-0014
0051

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: January 10, 2023

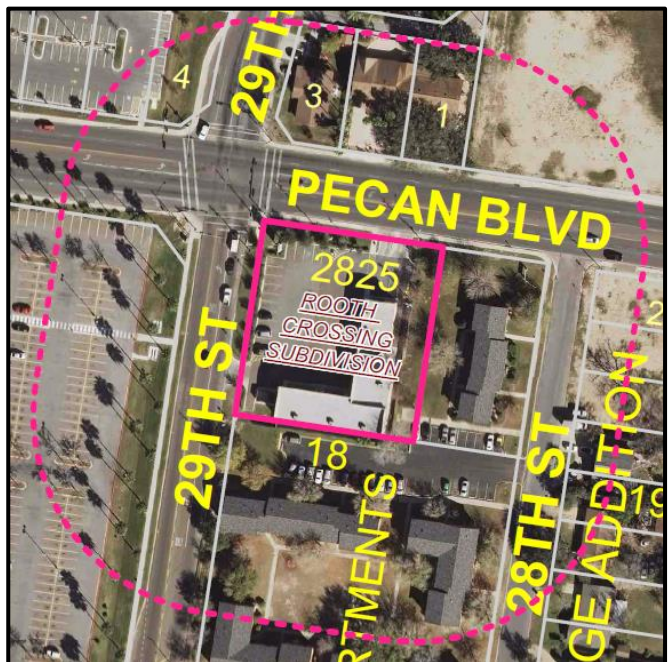
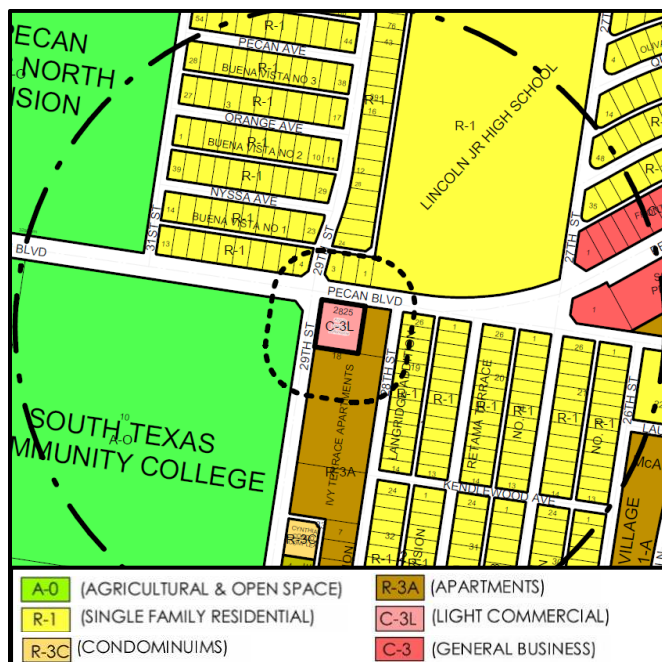
SUBJECT: REZONE FROM C-3L (LIGHT COMMERCIAL) DISTRICT TO C-3 (GENERAL BUSINESS) DISTRICT: LOT 1, ROOTH CROSSING SUBDIVISION, HIDALGO COUNTY, TEXAS; 2825 PECAN BOULEVARD. (REZ2022-0052)

LOCATION: The property is located at the southwest corner of Pecan Boulevard and North 29th Street. The property has 155 ft. of frontage along Pecan Boulevard and 190 ft. along North 29th Street for a lot size of 29,450 sq. ft. according to the subdivision plat.

PROPOSAL: The applicant is requesting to rezone the property to C-3 (general business) District to allow for a greater variety of possible uses to rent the existing commercial suites.

ADJACENT ZONING: The adjacent zoning is A-O (agricultural and open space) District to the west, R-1 (single-family residential) District to the north, and R-3A (multifamily residential apartment) District to the east and south.

LAND USE: There is a commercial plaza on the subject property including a restaurant, a hair salon, and a Goodwill store. Surrounding land uses include single-family residences, Ivy Terrace Apartments, Iglesia Adventista Del Septimo Dia church, South Texas College, Achieve Early College High School, and commercial plazas.



COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Multifamily which is comparable to R-3 (multifamily residential) District.

DEVELOPMENT TRENDS: The development trend for this area along Pecan Boulevard is residential and commercial.

HISTORY: The property was zoned to C-2 (neighborhood commercial) District during the comprehensive zoning in 1979. A rezoning request to C-3L District for the property was approved on May 29, 2003. There has been no other rezoning request for the subject property since then.

ANALYSIS: The requested zoning does not conform to the Auto Urban Multifamily land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, it follows the development trend in this area. Moreover, according to the City's thoroughfare plan, the property is located at the intersection of a principal arterial, Pecan Boulevard, and a minor arterial, North 29th Street.

An approved building permit is required prior to change of use for any commercial suites. If the rezoning is approved, some commercial uses including vape shops and bars require an approved conditional use permit prior to building permit issuance.

Staff has received one phone call in opposition to the rezoning request with concerns regarding possible increase of parking issue due to the rezoning. Staff explained that parking requirement will be verified during the building permit process.

RECOMMENDATION: Staff recommends approval of the rezoning request to C-3 (general business) District since it follows the development trend in this area and is located at the intersection of a principal arterial, Pecan Boulevard, and a minor arterial, North 29th Street.

-

NOTES:

- MAP OF SURVEY
LOT 1, ROTH CROSSING SUBDIVISION, AN ADDITION TO
THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS,
ACCORDING TO THE MAP OR PLAT RECORDED IN VOLUME
53, PAGE 159, MAP RECORDS OF HIDALGO COUNTY,
TEXAS.

MAP OF SURVEY

LOT 1, ROOTH CROSSING SUBDIVISION, AN ADDITION TO
THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS,
ACCORDING TO THE MAP OR PLAT RECORDED IN VOLUME
53, PAGE 159, MAP RECORDS OF HIDALGO COUNTY,
TEXAS.

I HEREBY CERTIFY THAT THIS PLAT WAS
PREPARED FROM AN ACTUAL SURVEY
MADE ON THE GROUND ON 09-12-22
DURING WORKING UNDER MY SUPERVISION AND
THAT THERE ARE NO VISIBLE ENCROACHMENTS,
VISIBLE OVERLAPPING, APPARENT CONFLICTS OR
VISIBLE EASEMENTS ON SAID PROPERTY EXCEPT
AS SHOWN HEREON. THIS SURVEY SUBSTANTIALLY
COMPLIES WITH THE CURRENT TEXAS SOCIETY OF
PROFESSIONAL SURVEYORS STANDARDS
SPECIFICATIONS FOR A CATEGORY 1A CONVENTION
B SURVEY.

Francisco Rios, PPS

FRANCISCO RIOS
REGISTERED PROFESSIONAL LAND SURVEYOR
NO. 4442

RJOS SURVEYING L.L.C.
FIRM NUMBER: 10117600
221 S. OSCAR WILLIAMS ROAD
SAN BENITO, TEXAS 78586
PHONE: (956) 361-9179 * FAX: (956) 361-9254
EMAIL: RJOS_SURVEYING@SBCCGLOBAL.NET

Date: 09/28/22 Job No.: 2022-0840

CAPITAL TITLE OF NO. 22-701133-MI

Scale: 1"=20'

Job No.: 2022-0840

DRAWN BY: RICHARD



NOTICE
REZONING
FOR
THIS PROPERTY
REZ2022-0052
CITY OF MCALLEN PLANNING DEPT.
1000 W. MCALLEN BLVD.
MCALLEN, TX 78501

9 DONATION
STATION

CITY OF
MCALLEN
PLANNING

PL20003



City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	TEXAS-MEXICAN RAILWAY COMPANY SURVEY / PROPOSED AQUALINA AT	
	Subdivision Name <u>TRES LAGOS PHASE II SUBDIVISION</u>	
	Location <u>On the west side of Aqualina Phase I, west of Tres Lagos Boulevard</u>	
	City Address or Block Number <u>6609 TRES LAGOS BLVD</u>	
	Number of Lots <u>44</u> Gross Acres <u>20.220</u> Net Acres _____ ETJ <input type="checkbox"/> Yes <input type="checkbox"/> No	
	Existing Zoning <u>R1</u> Proposed Zoning <u>R1</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Residential</u> Irrigation District # <u>United</u>	
	Replat <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Commercial _____ Residential _____	
	Agricultural Exemption <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Estimated Rollback Tax Due <u>n/a</u>	
	Parcel # <u>1333608</u> Tax Dept. Review _____	
Water CCN <input type="checkbox"/> MPU <input checked="" type="checkbox"/> Sharyland Water SC Other _____		
Legal Description <u>20.220 acres out of Section 227, Texas-Mexican Railway Company Survey,</u> according to the patent issued by the State of Texas		
Owner	Name <u>Rhodes Development Inc</u> Phone <u>(956) 287-2800</u>	
	Address <u>200 S 10th St, Suite 1700</u> E-mail <u>nick@rhodesenterprises.com</u>	
	City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u>	
Developer	Name <u>Rhodes Development Inc</u> Phone <u>(956) 287-2800</u>	
	Address <u>200 S 10th St, Suite 1700</u> E-mail <u>nick@rhodesenterprises.com</u>	
	City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u>	
	Contact Person <u>Nick Rhodes, President</u>	
Engineer	Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u>	
	Address <u>115 West McIntyre Street</u> E-mail <u>mario@meldenandhunt.com</u>	
	City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>	
	Contact Person <u>Mario A. Reyna, P.E.</u>	
Surveyor	Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u>	
	Address <u>115 West McIntyre Street</u> E-mail <u>robert@meldenandhunt.com</u>	
	City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>	

ENTERED

APR 11 2022

Initial: nm

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ✓ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ✓ Title Report
- ✓ 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- ✓ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- ✓ 6 Folded blue-line prints of the proposed plat
- ✓ 2 Warranty Deeds (identifying owner on application)
- ✓ AutoCAD 2005 DWG file and PDF of plat
- ✓ Letter of Authorization from the owner, if applicable
- ✓ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blue-line copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 04.07.2022

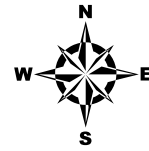
Print Name Mario A. Reyna, P.E.

Owner ☐

Authorized Agent ☒

LOCATION

ANY



CAS A&M
SUBD

227

PHASE 3

PROPOSED AQUALINA

AT

PHASE 2

TRES LAGOS

SUBDIVISION

PHASE 1

TRES

LAGO

CASCADA

RIDGE DR

AT

TRES

LAGOS

CASCADA

BEND

PH 1

DOLAN

PROPOSED CASCAD

METES AND BOUNDS DESCRIPTION

A TRACT OF LAND CONTAINING 20.220 ACRES SITUATED IN THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING OUT OF SECTION 227, TEXAS-MEXICAN RAILWAY COMPANY SURVEY, ACCORDING TO THE PATENT ISSUED BY THE STATE OF TEXAS, RECORDED IN VOLUME 4, PAGES 142-143, HIDALGO COUNTY DEED RECORDS, WHICH SAID 20.220-ACRE TRACT IS OUT OF A CERTAIN TRACT CONVEYED TO RHODES DEVELOPMENT INC., BY VIRTUE OF A SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 3207085, HIDALGO COUNTY MAP RECORDS, SAID 20.220 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A NO. 4 REBAR FOUND ON THE SOUTHEAST CORNER OF SAID SECTION 227;

THENCE, N 81° 01' 46" W A DISTANCE OF 613.51 FEET;

THENCE, N 33° 45' 00" W A DISTANCE OF 3,673.65 FEET TO A NO. 4 REBAR SET [NORTHING: 16651387.265, EASTING: 1059573.539] FOR THE SOUTHEAST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

1. THENCE, S 67° 51' 19" W A DISTANCE OF 186.09 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
2. THENCE, S 90° 00' 00" W A DISTANCE OF 150.55 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
3. THENCE, IN A SOUTHWESTERLY DIRECTION ALONG A CURVE TO THE RIGHT, WITH A CENTRAL ANGLE OF 008° 18' 41", A RADIUS OF 575.00 FEET, AN ARC LENGTH OF 83.41 FEET, A TANGENT OF 41.78 FEET, AND A CHORD THAT BEARS S 13° 06' 42" W A DISTANCE OF 83.34 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
4. THENCE, N 71° 30' 00" W A DISTANCE OF 224.81 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
5. THENCE, S 32° 30' 00" W A DISTANCE OF 274.51 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
6. THENCE, N 58° 00' 00" W A DISTANCE OF 151.23 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
7. THENCE, S 64° 00' 00" W A DISTANCE OF 472.40 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE POINT OF THIS TRACT;
8. THENCE, N 67° 00' 00" W A DISTANCE OF 260.00 FEET TO A NO. 4 REBAR SET FOR THE SOUTHWEST CORNER OF THIS TRACT;
9. THENCE, N 31° 00' 00" W A DISTANCE OF 5.96 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
10. THENCE, N 41° 00' 00" E A DISTANCE OF 196.80 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
11. THENCE, N 56° 41' 18" E A DISTANCE OF 50.02 FEET TO A NO. 4 REBAR SET FOR AN ANGLE POINT OF THIS TRACT;
12. THENCE, N 55° 00' 00" E A DISTANCE OF 157.94 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
13. THENCE, N 34° 31' 23" E A DISTANCE OF 105.71 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
14. THENCE, N 07° 00' 00" E A DISTANCE OF 340.51 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
15. THENCE, N 12° 58' 22" W A DISTANCE OF 163.88 FEET TO A NO. 4 REBAR SET FOR AN ANGLE POINT OF THIS TRACT;
16. THENCE, N 05° 36' 51" W A DISTANCE OF 50.04 FEET TO A NO. 4 REBAR SET FOR AN ANGLE POINT OF THIS TRACT;
17. THENCE, N 05° 00' 00" W A DISTANCE OF 140.35 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER OF THIS TRACT;
18. THENCE, S 81° 04' 26" E A DISTANCE OF 837.57 FEET TO A NO. 4 REBAR SET FOR THE NORTHEAST CORNER OF THIS TRACT;
19. THENCE, IN A SOUTHEASTERLY DIRECTION ALONG A CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 029° 16' 22", A RADIUS OF 420.00 FEET, AN ARC LENGTH OF 214.58 FEET, A TANGENT OF 109.69 FEET, AND A CHORD THAT BEARS S 19° 06' 49" E A DISTANCE OF 212.25 FEET TO A NO. 4 REBAR SET FOR AN ANGLE POINT OF THIS TRACT;
20. THENCE, S 33° 45' 00" W A DISTANCE OF 455.46 FEET TO THE POINT OF BEGINNING, AND CONTAINING 20.220 ACRES OF LAND, MORE OR LESS.

GENERAL NOTES :

1. THIS SUBDIVISION IS LOCATED MOSTLY IN ZONE "A" AND PARTIALLY IN ZONE "X" (UNSHADED) ON FEMA'S FLOOD INSURANCE RATE MAP, COMMUNITY PANELS NO. 480334 0205 D, MAP REVISED: JUNE 6, 2000. ZONE "A" IS DEFINED AS AREAS OF 100-YEAR FLOOD WHERE BASE FLOOD ELEVATIONS HAVE NOT BEEN DETERMINED. ZONE "X" UNSHADED ON FEMA'S FLOOD INSURANCE RATE MAP, AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN .

NEW FLOOD ZONE DESIGNATION IS ZONE "X" (UNSHADED) AS PER LETTER OF MAP REVISION BASED ON FILL DATED _____ FEMA CASE NO. _____

2. MINIMUM FINISH FLOOR NOTE:
MINIMUM FINISH FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB AT CENTER OF LOT.

3. MINIMUM SETBACKS SHALL BE:

FRONT: 20 FEET MINIMUM OR AS SHOWN IN "FRONT SETBACK TABLE" SHEET 2 OF 2 (GREATER APPLIES)

REAR: 11 FEET, OR GREATER FOR EASEMENTS.

INTERIOR SIDES: 5 FEET, OR GREATER FOR EASEMENTS.

SIDE CORNER: 10 FEET OR GREATER FOR EASEMENTS.

GARAGE: 18 FEET EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES.

4. REQUIRED DETENTION FOR STORM SEWER RUNOFF PER THE APPROVED DRAINAGE REPORT SHALL BE 108,284 C.F. (2.486 Ac-Ft). STORM WATER RUNOFF GENERATED FROM DEVELOPMENT SHALL BE DETAINED OFF-SITE IN THE ADJACENT DRAIN DITCHES. DESIGN OF THESE DRAIN DITCHES IS REFERENCED IN THE MASTER DRAINAGE STUDY.

5. AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT SHALL BE SUBMITTED AND APPROVED BY CITY OF MCALLEN PRIOR TO ISSUANCE OF BUILDING PERMIT.

6. CITY OF MCALLEN BENCHMARK: NUMBER MC21. TOP OF 30" ALUMINUM PIPE WITH A 3-14" BRASS MONUMENT CAP TOP LOCATED AT SOUTH BOUND OF FM 1925, AT AN ORCHARD, WEST OF WALLACE RD, GEODETIC G.P.S. TEXAS STATE PLANE GRID COORDINATE SYSTEM, NAD 83 TEXAS SOUTH 4205 ELEVATION PER NAVD 88 (GEOID 2003) N=16654181.474, 1058559.89987, ELEV.=150.58

7. NO BUILDING ALLOWED OVER ANY EASEMENT.

8. NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG TRES LAGOS BOULEVARD.

9. 6" OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES.

10. 8" MASONRY WALL WILL BE REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONE USES.

11. PRIVATE TECHNOLOGY EASEMENT. OWNER RESERVES UNTO RHODES DEVELOPMENT INC A TECHNOLOGY EASEMENT OVER THE PROPERTY IN THE LOCATION IDENTIFIED ON THIS PLAT (THE "TECHNOLOGY EASEMENT"). THE TECHNOLOGY EASEMENT SHALL BE AN EXCLUSIVE EASEMENT FOR THE PURPOSES OF INSTALLING, MAINTAINING, REPLACING AND UPGRADING ANY AND ALL CABLE, FIBER, OR OTHER ANY TRANSPORT MEDIA REASONABLY NECESSARY FOR PROVIDING TECHNOLOGY SERVICES, INCLUDING BUT NOT LIMITED TO INTERNET, CABLE, SECURITY, AND RELATED SERVICES, TO THE LOTS CREATED BY THIS PLAT.

12. TERMS AND CONDITIONS AND RESERVATION OF TECHNOLOGY EASEMENTS DATED AUGUST 13, 2015, FILED NOVEMBER 25, 2015, BETWEEN HIDALGO COUNTY TEXAS CORPORATION, INC., TO M.L. RHODES LTD. A TEXAS LIMITED PARTNERSHIP RECORDED UNDER CLERK'S FILE NO. 2865226, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS. EASEMENT PROPERTY DESCRIBED IN SAID DOCUMENT IS INCOMPLETE. EASEMENT PERTAINS TO AND IS FOR THE BENEFIT OF THE OWNER/RESERVIST. NO WIDTH SPECIFIED FOR EASEMENT. THE ACTUAL EASEMENT BOUNDARY IS NOT DESCRIBED, BUT IS WITHIN THE EASEMENT PROPERTY WHICH IS INCOMPLETE. EASEMENT MAY BE REVOKED OR AMENDED BY OWNER/ RESERVER AND IS EXCLUSIVE.

13. DEVELOPER / TRES LAGOS (PID) PUBLIC IMPROVEMENT DISTRICT / OWNER/HOA, THEIR SUCCESSORS AND ASSIGNEES AND NOT THE CITY OF MCALLEN SHALL BE RESPONSIBLE FOR COMPLIANCE OF INSTALLATION AND MAINTENANCE AND OTHER REQUIREMENTS PER SECTION 110-72 OF THE SUBDIVISION ORDINANCE, INCLUDING BUT NOT LIMITED TO COMMON AREAS.

14. A CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED BY THE CITY OF MCALLEN FOR ANY STRUCTURE BUILT ON A LOT IDENTIFIED ON THIS PLAT UNTIL ALL INFRASTRUCTURE REQUIRED TO SERVE THE LOT HAS BEEN INSTALLED, INSPECTED, AND APPROVED BY THE APPROPRIATE AUTHORITY.

15. A 25 FOOT x 25 FOOT SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS.

16. * DENOTES CURVED SETBACK.

17. CITY OF MCALLEN ACTING BY AND THROUGH THE TRES LAGOS PUBLIC IMPROVEMENT DISTRICT (PID) DEDICATES A WALL EASEMENT FOR THE CONSTRUCTION, MAINTENANCE, REPAIR, REMOVAL, REPLACEMENT, AND OPERATION OF MASONRY WALLS PROVIDING ACCESS CONTROL AND SOUND BUFFERING WITHIN THE PID.

18. INTERIOR SIDEWALKS SHALL BE INSTALLED AT BUILDING PERMIT STAGE AS PER SIDEWALK PLAN FILED WITH THE CITY BY REGISTERED ENGINEER DESIGNING THE UNIT OF DEVELOPMENT, PER AGREEMENT.

19. UNITED IRRIGATION DISTRICT NOTES:
- ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
 - NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.
 - NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
 - NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM UNITED IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.

20. NOTE FOR MAINTENANCE UNDER SECTION 110-72 & 134-168 CITY OF MCALLEN CODE OF ORDINANCES:

THE CITY OF MCALLEN SHALL ONLY BE RESPONSIBLE FOR MAINTAINING THOSE IMPROVEMENTS WHICH HAVE BEEN SPECIFICALLY DEDICATED TO AND ACCEPTED BY THE CITY FOR MAINTENANCE. SUCH MAINTENANCE SHALL BE PERFORMED BY AND BE THE SOLE RESPONSIBILITY OF THE TRES LAGOS PUBLIC IMPROVEMENT DISTRICT FOR THOSE IMPROVEMENTS OR RIGHT OF WAYS DEDICATED TO THE CITY ACTING BY AND THROUGH SUCH DISTRICT. PURSUANT TO SECTION 110-72 OF THE CITY OF MCALLEN CODE OF ORDINANCES MAINTENANCE OF AREAS WHICH HAVE NOT BEEN DEDICATED TO AND ACCEPTED FOR MAINTENANCE BY THE CITY SUCH AS UNDEDICATED COMMON AREAS, AREAS NOT INCLUDED IN SPECIFIC LOTS, AND THOSE AREAS ADJACENT TO THE SUBDIVISION AND THAT ARE UNIMPROVED AND LIE BETWEEN THE SUBDIVISION AND ADJACENT PAVED PUBLIC STREETS (THE "UNDEDICATED COMMON AREAS") SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNERS, THEIR SUCCESSORS AND/OR ASSIGNEES AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR AQUALINA AT TRES LAGOS PHASE II SUBDIVISION, RECORDED AS DOCUMENT NUMBER _____ AND THE MASTER DECLARATION OF COVENANTS AND CONDITIONS FOR TRES LAGOS RESIDENTIAL DEVELOPMENT RECORDED AS DOCUMENT NUMBER 2821589, HIDALGO COUNTY, DEED RECORDS (COLLECTIVELY THE "DECLARATIONS"), PURSUANT TO SECTION 134-168 OF THE CITY OF MCALLEN CODE OF ORDINANCES MAINTENANCE OF ANY PRIVATE STREETS, PRIVATE STREET LIGHTING, PRIVATE TRAFFIC CONTROL DEVICES AND PRIVATE SIDEWALKS AND PRIVATE COMMON AREAS OF THE SUBDIVISION WHICH HAVE NOT BEEN DEDICATED TO AND ACCEPTED FOR MAINTENANCE BY THE TRES LAGOS PUBLIC IMPROVEMENT DISTRICT (THE "PRIVATE COMMON AREAS") SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER/DEVELOPER/OWNER OR THE HOMEOWNER'S ASSOCIATION PURSUANT TO THE REQUIREMENTS OF SECTION 134-168, AS APPLICABLE. THE CITY OF MCALLEN SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF SAID UNDEDICATED COMMON AREAS OR PRIVATE COMMON AREAS. ANY AMENDMENT TO THE DECLARATIONS THAT CONFLICTS WITH THE REQUIREMENTS OF SAID SECTION 110-72 OR SECTION 134-168 SHALL BE NULL AND VOID.

21. ALL INTERIOR LOT CORNERS WILL HAVE A NO.4 REBAR SET WITH PLASTIC CAP STAMPED MELDEN & HUNT, INC.

22. A BLANKET EASEMENT IN FAVOR OF UNITED IRRIGATION DISTRICT SURROUNDS THIS PLAT, INCLUDING THE ADJOINING DRAINAGE AND STREET RIGHT OF WAYS, WHERE IT HAS NOT BEEN PREVIOUSLY RELEASED.

23. ALL EASEMENTS ARE DEDICATED BY THIS PLAT UNLESS STATED OTHERWISE.

24. ALL SHARYLAND WATER SUPPLY CORPORATION EASEMENTS ARE EXCLUSIVE. NO OTHER USE OF THE EASEMENT IS PERMITTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF SHARYLAND WATER SUPPLY CORPORATION.

SUBDIVISION MAP OF AQUALINA AT TRES LAGOS PHASE II SUBDIVISION

SUBDIVISION OF 20.220 ACRES
OUT OF SECTION 227, TEXAS-MEXICAN RAILWAY COMPANY SURVEY
ACCORDING TO THE PATENT ISSUED BY THE STATE OF TEXAS,
RECORDED IN VOLUME 4, PAGES 142-143, H.C.D.R.,
CITY OF MCALLEN, HIDALGO COUNTY, TEXAS

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE

THIS PLAT IS HEREBY APPROVED BY UNITED IRRIGATION DISTRICT
ON THIS THE _____ DAY OF _____, 20_____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHTS OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

ATTEST:

PRESIDENT

SECRETARY

I, CARLOS LIMA, HEREBY CONDITIONALLY CERTIFY THAT POTABLE WATER SERVICE IS AVAILABLE FOR THE AQUALINA AT TRES LAGOS PHASE II SUBDIVISION LOCATED AT CITY OF MCALLEN IN HIDALGO COUNTY, TEXAS, SUBJECT TO THE SUBDIVISION'S POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DEVELOPER'S DESIGN ENGINEER, ALL APPLICABLE RULES AND REGULATIONS OF SHARYLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE, AND FEDERAL AGENCIES.

DEVELOPER AND ITS DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER SYSTEM IS CONSTRUCTED WITHIN THE DESIGNATED SHARYLAND WATER SUPPLY CORPORATION EXCLUSIVE EASEMENT.

CARLOS LIMA
GENERAL MANAGER

SHARYLAND WATER SUPPLY CORPORATION

DATE

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN

DATE

ATTESTED BY:

CITY SECRETARY

DATE

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS: AQUALINA AT TRES LAGOS PHASE II, SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SANITARY SEWER LINES, STORM SEWERS, FIRE HYDRANTS, PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED THEREON SHOWN OR NOT SHOWN AND REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREON OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

RHODES DEVELOPMENT, INC.

DATE:

NICK RHODES, PRESIDENT
200 S. 10TH ST., STE. 1700
MCALLEN, TEXAS 78501
HIDALGO COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED NICK RHODES KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20_____.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS
MY COMMISSION EXPIRES:

TRES LAGOS PUBLIC IMPROVEMENT DISTRICT HEREBY CERTIFIES AND APPROVES THIS PLAT AND ACCEPTS RESPONSIBILITIES AND NOTES INDICATED HEREIN.

MIKE RHODES
CHAIRMAN OF PUBLIC IMPROVEMENT DISTRICT
200 S. 10TH ST., STE. 1700
MCALLEN, TEXAS 78501
HIDALGO COUNTY, TEXAS

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MIKE RHODES, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20_____.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS
MY COMMISSION EXPIRES:

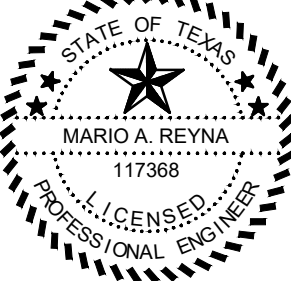
STATE OF TEXAS
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

MARIO A. REYNA, P.E. # 117368
DATE PREPARED: 01/07/2021
ENGINEERING JOB NO. 22056.00

DATE

MELDEN & HUNT, INC.
TEXAS REGISTRATION F-1435

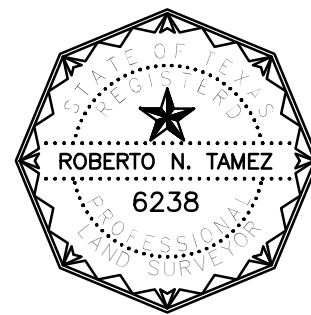


STATE OF TEXAS
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PRESENTED PLAT AND DESCRIPTION OF AQUALINA PHASE II, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON: 07-29-19, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

ROBERTO N. TAMEZ, R.P.L.S. # 6238
DATE SURVEYED: 07-29-19
T. PAGE
SURVEY JOB NO. 22056.08

DATE



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

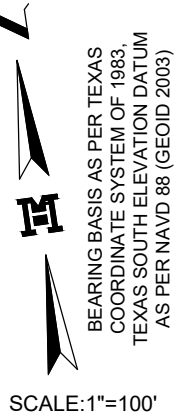
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

SHEET 1 OF 2

DRAWN BY: _____ R.N./J.L.G. DATE 03-31-2022
SURVEYED, CHECKED _____ DATE _____
FINAL CHECK _____ DATE _____

M MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS
115 W. MCINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com



BOUNDARY Curve Table						
Curve #	Delta	Radius	Length	Tangent	Chord Direction	Chord Length
"C1"	008° 18' 41"	575.00'	83.41'	41.78	N13° 06' 42"E	83.34'
"C2"	029° 16' 22"	420.00'	214.58'	109.69	S19° 06' 49"E	212.25'

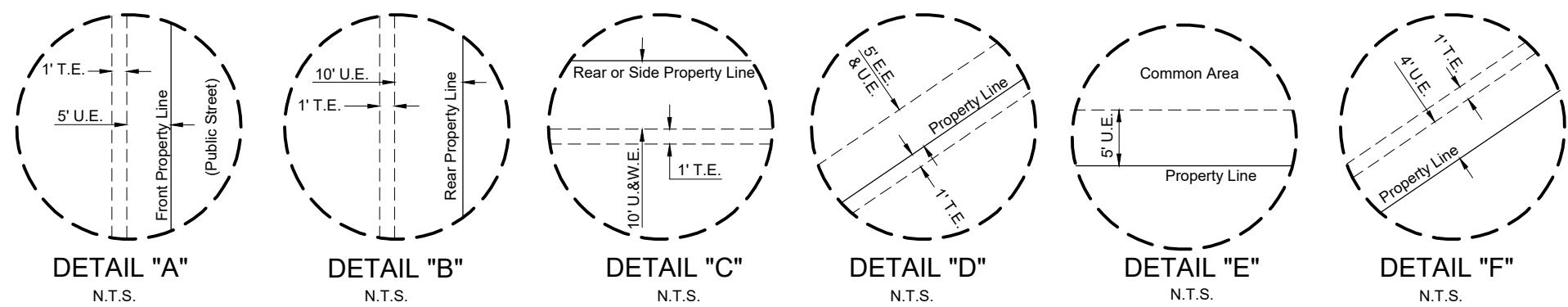
Line #	Length	Direction
L8	57.87'	N39° 18' 33"W

Line #	Length	Direction
"L1"	5.96'	N31° 00' 00"W
"L2"	50.02'	N56° 41' 18"E
"L3"	105.71'	N34° 31' 23"E
"L4"	50.04'	N05° 36' 51"W

Lot Area Table			
Lot #	SQ. FT.	AC.	
42	18,556.80	0.384	
43	23,680.05	0.544	
44	20,615.66	0.473	
45	15,536.36	0.357	
46	12,793.86	0.294	
47	11,456.99	0.263	
48	12,310.45	0.283	
49	17,492.83	0.402	
50	14,815.94	0.340	
51	12,287.42	0.282	
52	11,753.62	0.270	
53	17,049.12	0.391	
54	14,928.58	0.343	
55	14,266.10	0.328	
56	11,822.47	0.271	
57	10,455.17	0.240	
58	10,548.11	0.242	
59	15,112.86	0.347	
60	18,152.05	0.417	
61	12,933.14	0.297	
62	10,855.67	0.249	
63	11,813.88	0.271	
64	15,777.23	0.362	
65	12,805.65	0.294	
66	14,019.31	0.322	
67	14,850.96	0.341	
68	14,734.52	0.338	
69	14,385.71	0.330	
70	13,425.57	0.308	
71	12,970.18	0.298	
72	12,923.29	0.297	
73	13,139.01	0.325	
74	14,582.90	0.335	
75	13,767.24	0.316	
76	14,074.09	0.323	
77	14,913.28	0.342	
78	14,785.90	0.339	
79	14,227.71	0.327	
80	16,615.43	0.381	
81	15,813.11	0.363	
82	14,822.09	0.340	
83	15,287.12	0.351	
84	13,374.74	0.307	
85	11,955.11	0.274	
86	15,508.77	0.356	

Front Setback Lines			
Line #	Length	Direction	Offset
S2	33.95'	S85° 00' 00"E	
S3	54.46'	S86° 00' 00"E	
S4	61.91'	S81° 30' 00"E	
S5	62.82'	N88° 00' 00"E	
S6	54.45'	N80° 00' 00"E	
S7	51.49'	N59° 00' 00"E	
S8	39.58'	N59° 00' 00"E	
S9	45.32'	N80° 00' 00"E	
S10	54.94'	N37° 00' 00"E	
S11	55.56'	N28° 00' 00"E	
S12	50.31'	N14° 00' 00"E	
S13	41.32'	N11° 00' 00"E	
S14	26.23'	N109° 24' 42"E	
S15	29.49'	N30° 30' 00"E	
S17	34.18'	N20° 30' 00"E	
S18	31.97'	N07° 00' 00"E	
S19	31.73'	S05° 00' 00"E	
S20	44.44'	S52° 30' 33"W	
S21	25.24'	S66° 30' 00"E	
S22	43.70'	N80° 00' 00"E	
S23	43.16'	S87° 30' 00"W	
S24	41.67'	S83° 30' 00"W	
S25	67.39'	N77° 00' 00"W	
S26	37.68'	N77° 00' 00"E	
S27	48.49'	S87° 00' 00"E	
S28	52.44'	N87° 00' 00"W	
S29	61.69'	S84° 00' 00"E	
S30	87.84'	S58° 00' 00"E	
S31	73.70'	S33° 00' 00"E	
S32	27.79'	N35° 00' 00"E	
S33	25.04'	N24° 00' 00"E	
S34	72.05'	S41° 00' 00"E	
S35	16.52'	S74° 00' 00"W	
S36	93.97'	N87° 00' 00"W	
S37	10.97'	N87° 00' 00"W	
S38	11.72'	N58° 00' 00"W	
S39	35.20'	N75° 00' 00"E	
S40	72.00'	S75° 00' 00"E	
S41	75.05'	S41° 00' 00"E	
S42	38.13'	S41° 00' 00"E	
S43	75.98'	S07° 00' 00"E	
S44	35.48'	S30° 00' 00"E	
S45	66.03'	N29° 00' 00"E	
S46	36.12'	S12° 58' 22"E	
S47	26.70'	N17° 00' 00" E	

SUBDIVISION OF 20.220 ACRES
OUT OF SECTION 227 , TEXAS-MEXICAN RAILWAY COMPANY SURVEY
ACCORDING TO THE PATENT ISSUED BY THE STATE OF TEXAS,
RECORDED IN VOLUME 4, PAGES 142-143, H.C.D.R.,
CITY OF McALLEN, HIDALGO COUNTY, TEXAS



- FIND. No. 4 REBAR
- SET. No. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- I.C.O.R. = HIDALGO COUNTY OFFICIAL RECORDS
- I.C.D.R. = HIDALGO COUNTY DEED RECORDS
- R.O.W. = RIGHT-OF-WAY
- S.E. COR. = SOUTHEAST CORNER
- SQ. FT. = SQUARE FEET
- J.E. = UTILITY EASEMENT DEDICATED BY THIS PLAT
- U.&W.E. = UTILITY & WALL EASEMENT DEDICATED BY THIS PLAT
- D.E. = DRAINAGE EASEMENT DEDICATED BY THIS PLAT
- T.E. = TECHNOLOGY EASEMENT DEDICATED BY THIS PLAT
- E.E. = ELECTRICAL EASEMENT DEDICATED BY THIS PLAT
- S.B.L. = SURFACE EASEMENT SEPARATE LINE & SIDEWALK EASEMENT
- N.T.S. = NOT TO SCALE-DETAILS
- S.S. = SHARYLAND WATER SUPPLY CORPORATION
- W.D. = SPECIAL WARRANTY DEED
- D.O.C. NO. = DOCUMENT NUMBER

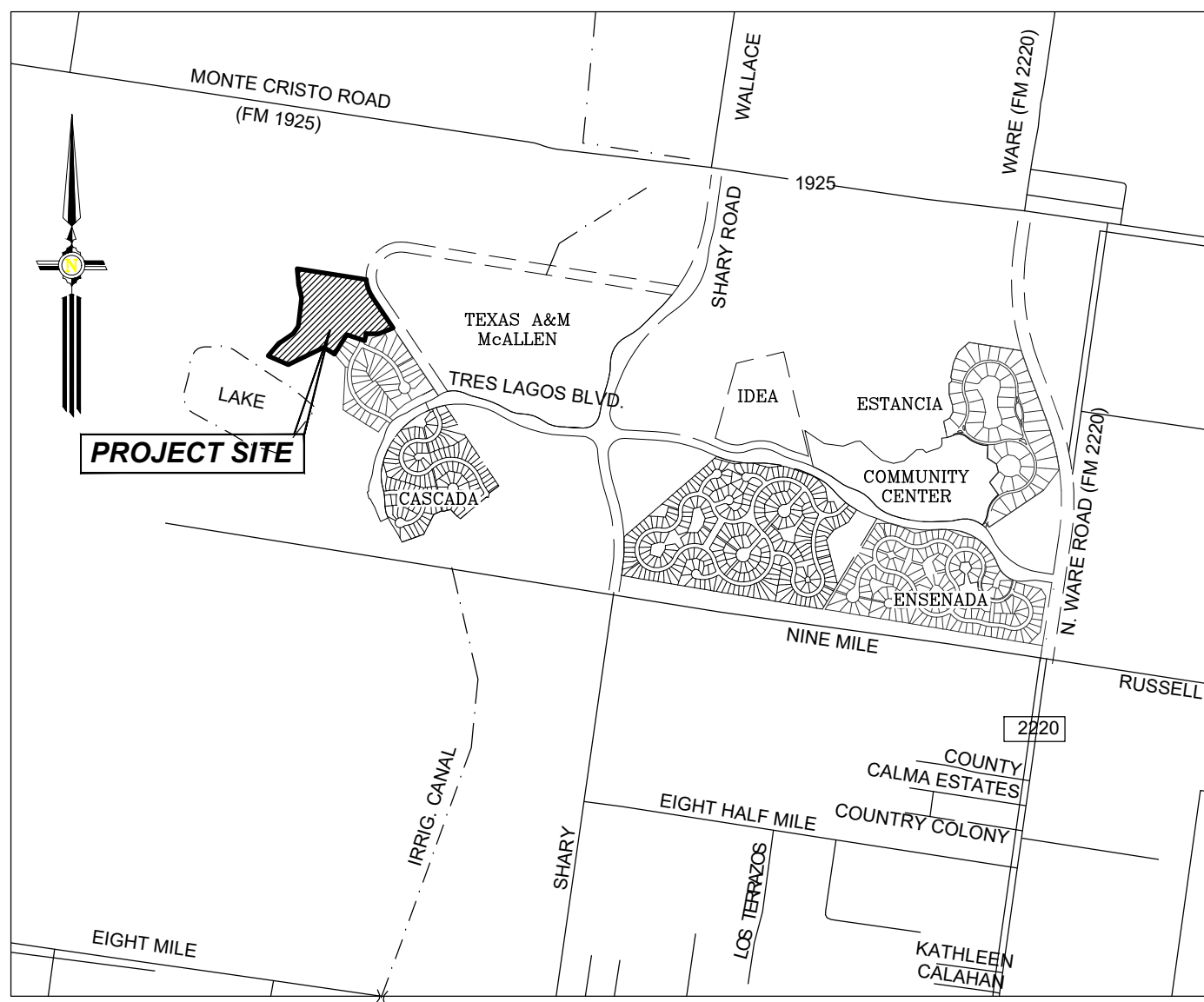
- Ⓢ - ROAD CENTER LINE
- * - CURVED SETBACK LINE
- - INDICATOR FOR BEGIN AND END CURVE



115 W. McINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com

DRAWN BY: R.N./J.L.G. DATE 03-31-2022
 SURVEYED, CHECKED _____ DATE _____
 FINAL CHECK _____ DATE _____

SCALE: 1" = 2,000





City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/12/2023

SUBDIVISION NAME: AQUALINA AT TRES LAGOS PHASE II

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Interior streets: Aqualina Way 50 ft. ROW
Paving: 32 ft. Curb & gutter: both sides
**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan
**Monies must be escrowed if improvements are required prior to recording

Applied

Interior streets: Aqualina Lane 50 ft. ROW
Paving: 32 ft. Curb & gutter: both sides
**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan
**Monies must be escrowed if improvements are required prior to recording.

Applied

Paving _____ Curb & gutter _____
**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan
**Monies must be escrowed if improvements are required prior to recording

Applied

* 1,200 ft. Block Length: common areas and access walks/drives provided.
**Subdivision Ordinance: Section 134-118

Compliance

* 900 ft. Block Length for R-3 Zone Districts.
**Subdivision Ordinance: Section 134-118

NA

* 600 ft. Maximum Cul-de-Sac: The proposed subdivision applies the "coving method" with emergency access walks/drives provided per established agreement.
**Subdivision Ordinance: Section 134-105

Compliance

ALLEYS

ROW: 20 ft. Paving: 16 ft.
*Alley/service drive easement required for commercial properties
**Subdivision Ordinance: Section 134-106

NA

SETBACKS

* Front: 20 ft. minimum or greater for setbacks.
Proposing: Front: 20 ft. minimum or as shown in "Front Setback Table" Sheet 2 of 2 (Greater applies)
***The proposed subdivision complies with minimum setback requirements, as per agreement.
****Zoning Ordinance: Section 138-356

Applied

* Rear: 11 ft. or greater for easements.
**Zoning Ordinance: Section 138-356

Applied

* Sides: 5 ft. or greater for easements.
**The proposed subdivision complies with minimum setback requirements, as per agreement.
**Zoning Ordinance: Section 138-356

Applied

* Side corner: 10 ft. or greater for easements.
**Zoning Ordinance: Section 138-356

Applied

* Garage: 18 ft. except where greater setback is required, greater setback applies.
**Zoning Ordinance: Section 138-356

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Required
SIDEWALKS	
* 4 ft. wide minimum sidewalk required on: City ordinance will not apply provided a sidewalk having at least an adequate width for pedestrian and bike traffic is provided in a plan that is sealed by the registered engineer designing the unit of development, per agreement. ***Provided sidewalk plan on January 4, 2023, under review. ****Subdivision Ordinance: Section 134-120	Applied
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
NOTES	
* No curb cut, access, or lot frontage permitted along Revisions needed: - Please remove plat note #8 as the subdivision does not have frontage to Tres Lagos Blvd. prior to recording. **Must comply with City Access Management Policy	Required
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	NA
* Common Areas, any private streets/drives, gate areas, etc., must be maintained by the lot owners/PID and not the City of McAllen.	Applied
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Required
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Required
LOT REQUIREMENTS	
* Lots fronting public streets: Access to subdivision from Aqualina at Tres Lagos Phase I subdivision, which has access to Tres Lagos Boulevard. **The proposed subdivision complies with minimum access points, as per agreement. ***Subdivision Ordinance: Section 134-1	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

* Minimum lot width and lot area: Lots must comply with the minimum 50 ft. frontage requirement and 54 ft. on corner lots, or in compliance per Agreement. **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing: R-1 (Single-Family Residential) District Proposed: R-1 (Single-Family Residential) District ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA
PARKS	
* Land dedication in lieu of fee. As per Parks Department, in this case Park fees do not apply because Park land dedication exceeds City's requirements as of 10/30/2014, as per agreement.	Applied
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department in this case Park fees do not apply because Park land dedication exceeds City's requirements as of 10/30/2014, as per agreement.	Applied
* Pending review by City Manager's Office. As per Parks Department, In this case Park fees do not apply because Park land dedication exceeds City's requirements as of 10/30/2014, as per agreement.	Applied
TRAFFIC	
* As per Traffic Department, Master Trip Generation approved, Master TIA from 2016 includes Aqualina Subdivisions.	Compliance
* As per Traffic Department, Master Traffic Impact Analysis (TIA) from 2016 included Aqualina Subdivisions.	Compliance
COMMENTS	
Comments/Revisions needed: - Please submit Aqualina at Tres Lagos Master Plan for Phase I, II, & III, prior to recording. - Please lighten the contour lines from plat prior to recording. **Must comply with City's Access Management Policy. ***Must comply with the Agreement and Public Improvement District (PID) conditions. ****Must comply with other requirements, as may be applicable, prior to final.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOCATION



ANY

CAS A&M
SUBD

227



Sub 2021-0019



City of McAllen
Planning Department
**APPLICATION FOR
SUBDIVISION PLAT REVIEW**

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project Description	Subdivision Name <u>Lakehurst, Lots 6A, 7A & 7B Subdivision</u> Location <u>Southeast corner Taylor Road @ Mile. 8 North</u> City Address or Block Number <u>NONE AT THIS TIME</u> Number of lots <u>3</u> Gross acres <u>4.095</u> Net acres <u>3.629</u> Existing Zoning <u>N/A</u> Proposed <u>N/A</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____ Existing Land Use <u>vacant</u> Proposed Land Use <u>single family residential</u> Irrigation District # <u>UID</u> Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Agricultural Tax Exempt Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due <u>0</u> Parcel No. <u>214311</u> Tax Dept. Review <u>Myerna</u> Legal Description <u>Approx. 4.095 Acres being all of lots 6 & 7, Lakehurst Subdivision</u>
Owner	Name <u>Sunni J. Miller and Ty Andrew Runge</u> Phone <u>(956) 607-9288</u> Address <u>P.O. Box 2957</u> City <u>Edinburg</u> State <u>Tx</u> Zip <u>78540</u> E-mail <u>sunnimiller@gmail.com</u>
Developer	Name <u>Sunni J. Miller and Ty A. Runge</u> Phone <u>(956) 607-9288</u> Address <u>P.O. Box 2957</u> City <u>Edinburg</u> State <u>Tx</u> Zip <u>78540</u> Contact Person <u>Sunni Jo Miller / Ty Andrew Runge</u> E-mail <u>sunnimiller@gmail.com</u>
Engineer	Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u> Address <u>115 W. Mc Intyre</u> City <u>Edinburg</u> State <u>Tx</u> Zip <u>78541</u> Contact Person <u>Mario A. Reyna, P.E.</u> E-mail <u>mario@meldenandhunt.com</u>
Surveyor	Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u> Address <u>115 W. Mc Intyre St.</u> City <u>Edinburg</u> State <u>Tx</u> Zip <u>78541</u>

RECEIVED

FEB 15 2021

BY:

CW

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ☒ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ☒ Title Report
- ☒ 8 1/2" by 11" Original Sealed Survey showing existing structures/ easements or 3 blueline copies
- ☒ 2 Location Maps
- ☒ 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- ☒ 6 Folded blueline prints of the proposed plat
- ☒ 2 Warranty Deeds (Identifying owner on application)
- ☒ Autocad 2005 DWG file and PDF of plat
- ☒ Letter of Authorization from the owner, if applicable
- ☒ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ☒ Metes and bounds
- ☒ Lots numbered with dimensions and area of irregular lots noted
- ☒ Surrounding platted lots and/or lot lines for unplatted tracts
- ☒ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ☒ North arrow, scale and vicinity map
- ☒ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 1/2" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

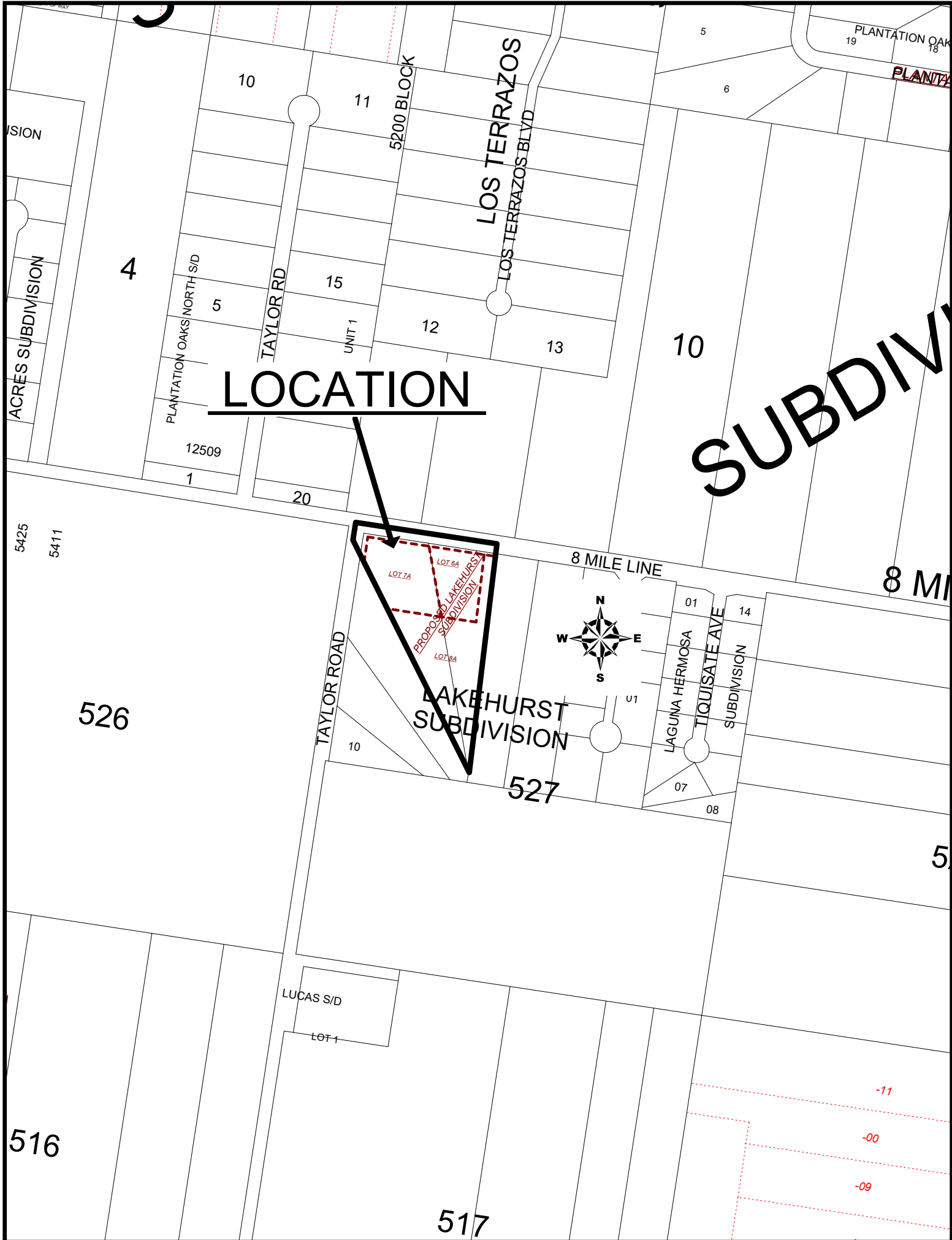
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

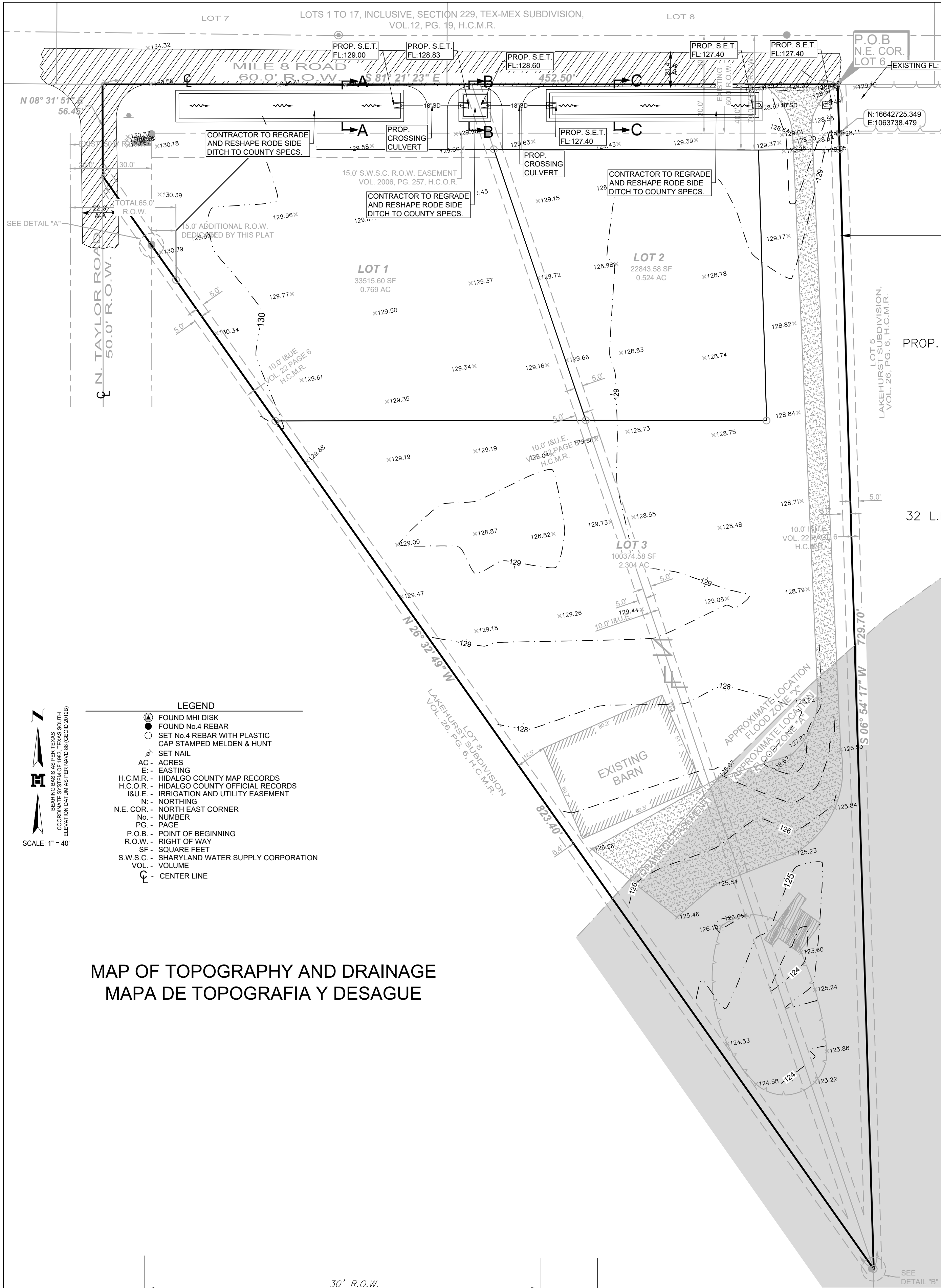
Signature Sunni J. Miller Ty Ruge Date 2-12-2021

Print Name Sunni Miller Ty Ruge

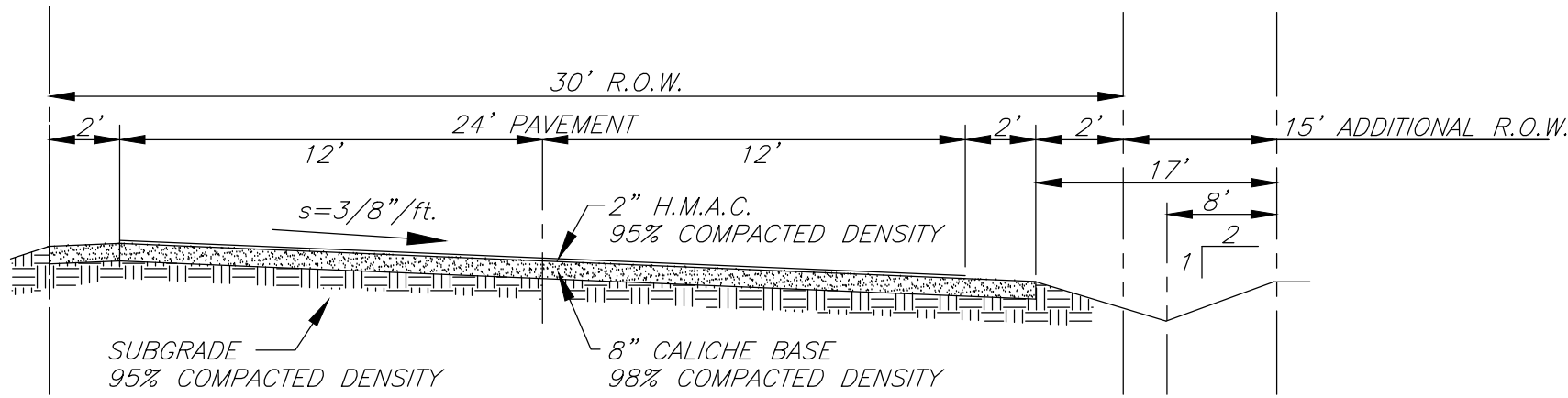
Owner ☒

Authorized Agent ☐

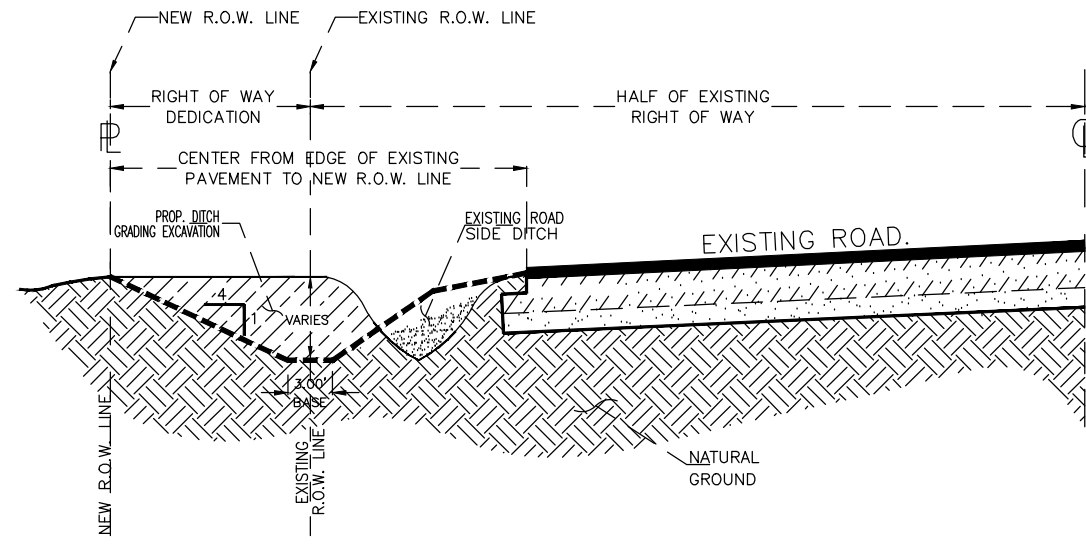




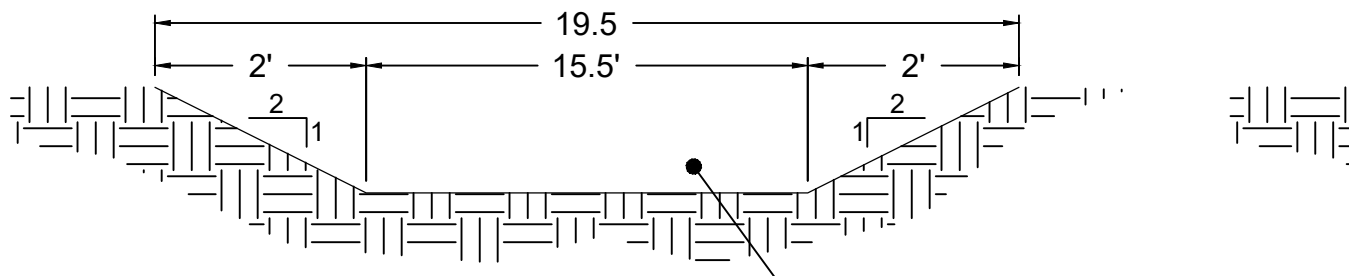
MAP OF TOPOGRAPHY AND DRAINAGE
MAPA DE TOPOGRAFIA Y DESAGUE



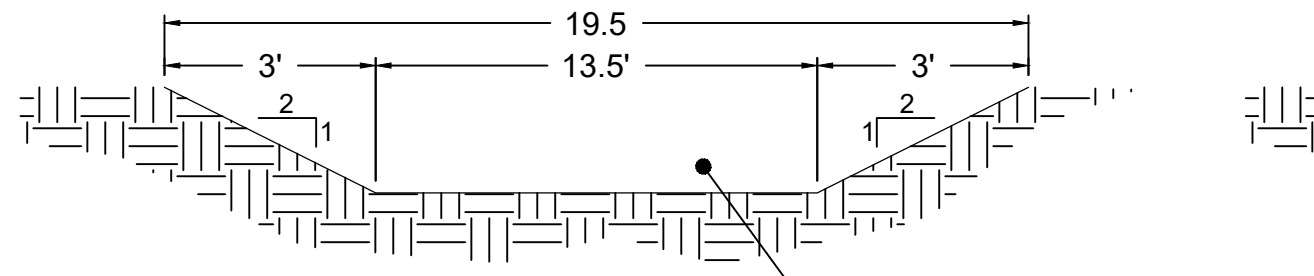
TYPICAL PAVING SECTION



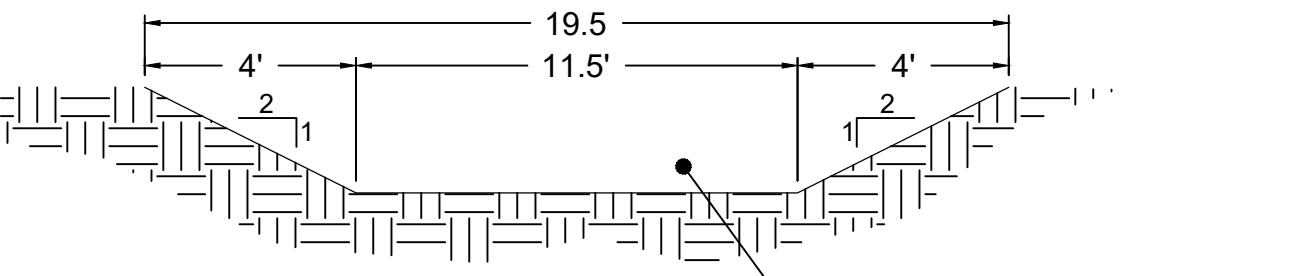
RECONSTRUCTION OF ROAD SIDE DITCH



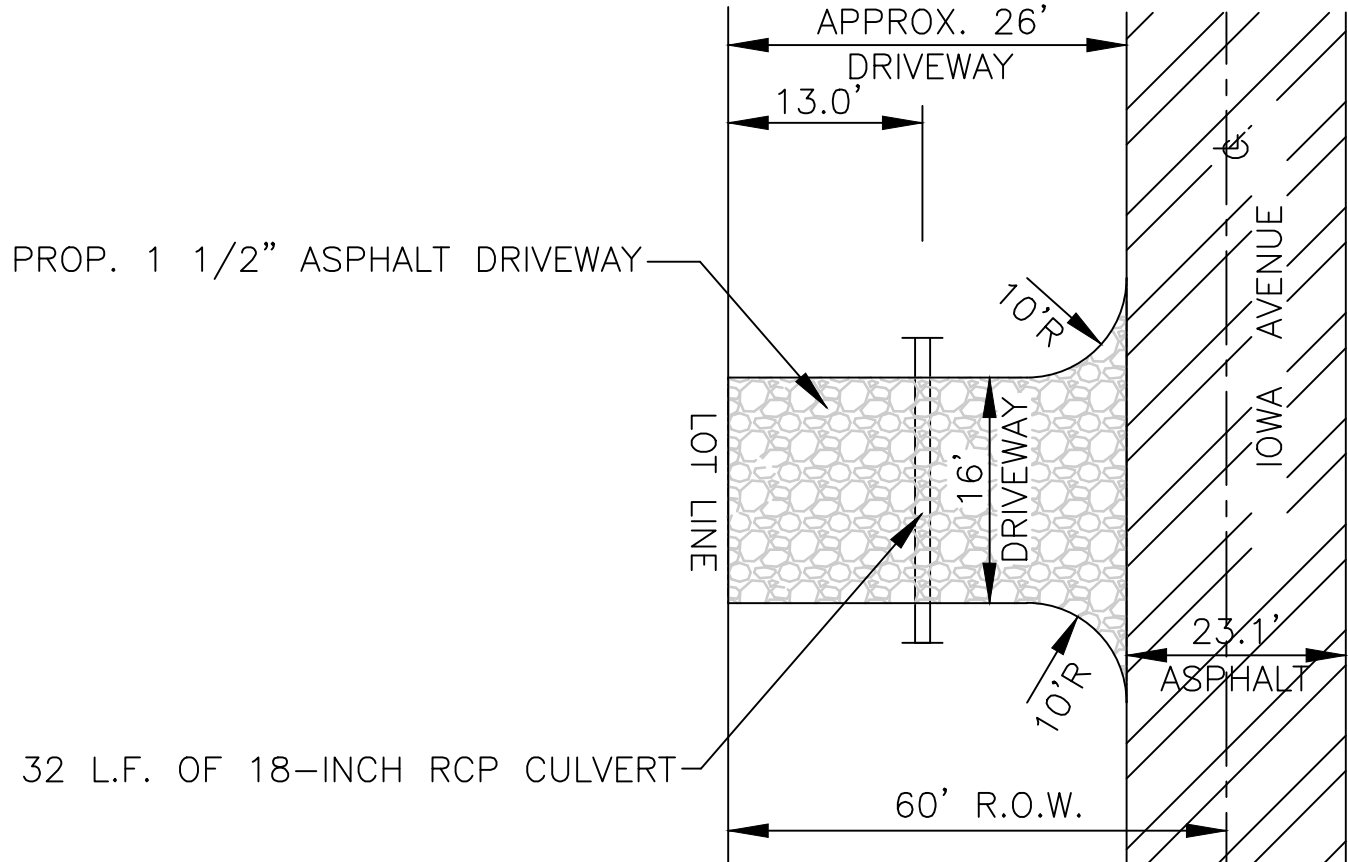
BAR DITCH DETAIL "A-A"
N.T.S.



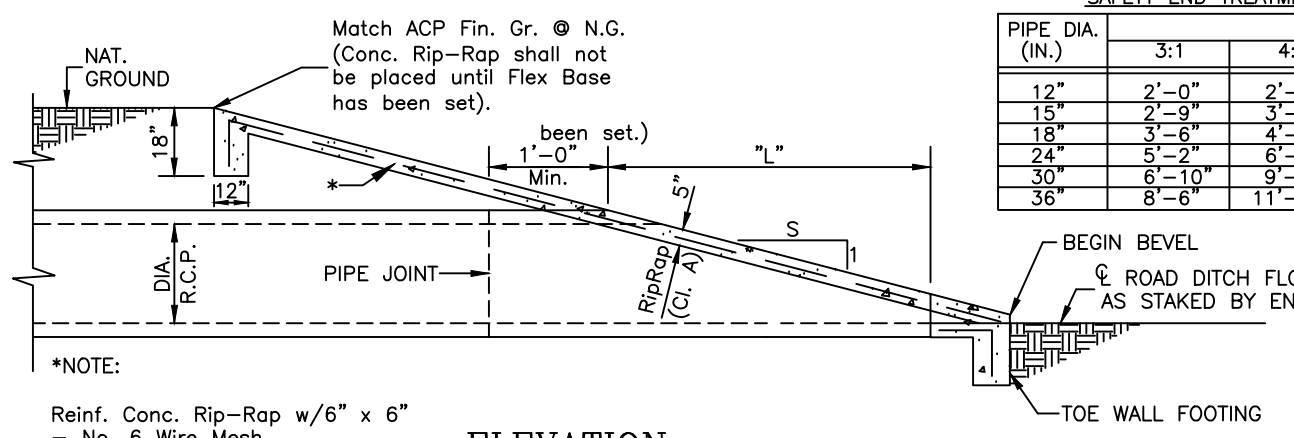
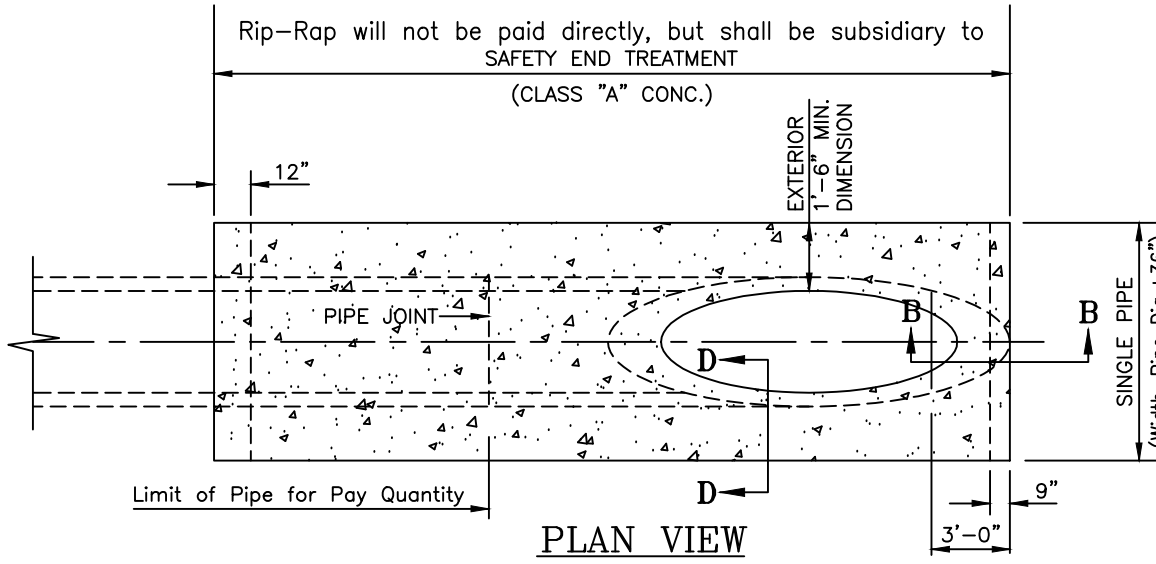
BAR DITCH DETAIL "B-B"
N.T.S.



BAR DITCH DETAIL "C-C"
N.T.S.

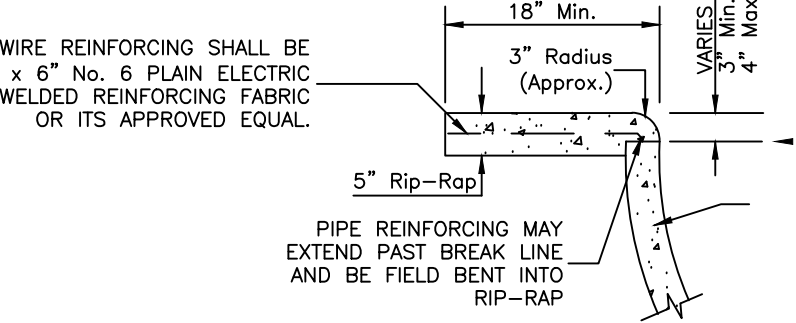


TYPICAL SINGLE DRIVEWAY

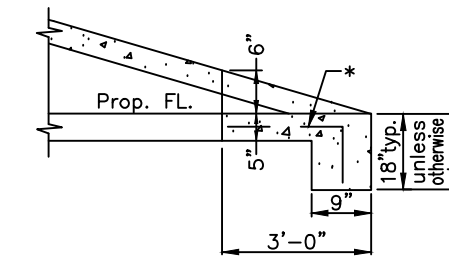


ELEVATION
SAFETY END TREATMENT-TYPE "C"

SAFETY END TREATMENT - (Type "C") DETAILS



SEC. "DD"



SEC. "BB"

LAKEHURST PHASE II SUBDIVISION IS A RE-SUBDIVISION OF 4.095 ACRES BEING ALL OF LOTS 6 & 7 LAKEHURST SUBDIVISION, VOLUME 26, PAGE 6, HIDALGO COUNTY MAP RECORDS, CITY OF MCALLEN, HIDALGO COUNTY, TEXAS. THE PROPERTY IS LOCATED ALONG THE SOUTH RIGHT-OF-WAY OF MILE 8 ROAD AND ALONG THE EAST RIGHT-OF-WAY OF TAYLOR ROAD. LOT 7B IS AN EXISTING RESIDENTIAL DEVELOPMENT AND WILL REMAIN AS SUCH; IT IS LOCATED IN BOTH ZONE "X" (UNSHADED) AND ZONE "A" IN FEMA'S FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 480334 0285 D, MAP REVISED JUNE 6, 2000. LOT 6A AND 7A ARE CURRENTLY OPEN AND ARE LOCATED IN ZONE "X" (UNSHADED) IN FEMA'S FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 480334 0285 D, MAP REVISED JUNE 6, 2000. ZONE "X" (UNSHADED) IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN." ZONE "A" IS DEFINED AS "NO BASE FLOOD ELEVATIONS DETERMINED."

THE SOIL IS (3) BRENNAN FINE SANDY LOAM, 0 TO 1 PERCENT SLOPES, AND (30) HIDALGO SANDY CLAY LOAM, SALINE, 0 TO 1 PERCENT SLOPES WHICH ARE BOTH IN HYDROLOGIC GROUP "B". SOIL GROUP "B" IS MODERATELY PERVIOUS WITH A RELATIVELY LOW PLASTICITY INDEX. (SEE EXCERPTS FROM "SOIL SURVEY OF HIDALGO COUNTY, TEXAS").

EXISTING RUNOFF IS BY SURFACE FLOW IN A SOUTHERLY DIRECTION AND HAS A RUNOFF OF 2.30 C.F.S. DURING THE 10-YEAR STORM FREQUENCY, AS PER THE ATTACHED CALCULATIONS. PROPOSED RUNOFF AFTER DEVELOPMENT IS 9.06 C.F.S., DURING THE 50-YEAR STORM FREQUENCY, PER THE ATTACHED CALCULATION, WHICH IS AN INCREASE OF 6.76 C.F.S.

THE PROPOSED DRAINAGE FOR LAKEHURST PHASE II SUBDIVISION SHALL CONSISTS OF SURFACE FLOW INTO PROPOSED ROADSIDE DITCHES ALONG MILE 8 CONNECTED BY CULVERTS AND SAFETY END TREATMENTS, IN WHICH RUNOFF FLOWS EAST FOR A DISTANCE OF APPROXIMATELY 3,220.00 FEET TO EXISTING CULVERTS ALONG N. WARE ROAD WHICH CONNECTS TO DRAINAGE LATERAL FOR WEST MAIN DRAIN II.

IN ACCORDANCE WITH THE CITY OF MCALLEN DRAINAGE POLICY, THE PEAK RATE OF RUNOFF IN THE SUBDIVISION WILL NOT BE INCREASED FROM THE 10-YEAR RAINFALL EVENT DURING THE 50-YEAR RAINFALL EVENT DUE TO THE IMPROVEMENTS IN THIS SUBDIVISION. THEREFORE, AS PER ATTACHED CALCULATIONS, STORM RUNOFF OF 10,732 CUBIC FEET (0.246 AC.-FT) WILL SURFACE FLOW INTO PROPOSED BAR DITCHES ALONG MILE 8 ROAD THAT WILL BE CONNECTED BY CULVERTS WITH SAFETY END TREATMENTS.

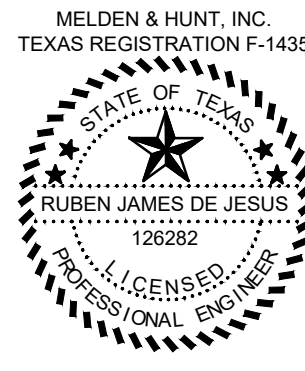
CERTIFICATION.

BY MY SIGNATURE BELOW, I CERTIFY THAT THE 100 YEAR FLOODPLAIN AS DESCRIBED IN COMMUNITY PANEL NUMBER 480334 0285 D MAP REVISED: JUNE 06, 2000 IS CONTAINED WITHIN THE DRAINAGE SWALES ALONG THE REAR OF ALL LOTS OF THE SUBDIVISION

BY:

RUBEN JAMES DE JESUS P.E., #126282

DATE





City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/13/2023

SUBDIVISION NAME: LAKEHURST SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Mile 8 Road: 10 ft. additional dedication required for total 80 ft. ROW
Paving: 52 ft. Curb & gutter: both sides
Revisions needed:
- Provide document number of how existing ROW was dedicated prior to recording.
**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan
**Monies must be escrowed if improvements are required prior to recording.

Required

N. Taylor Road: 15 ft. additional ROW required for total 80 ft. ROW
Paving: 52 ft. Curb & gutter: both sides
Revisions needed:
- Provide document number of how existing ROW was dedicated prior to recording.
**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan
**Monies must be escrowed if improvements are required prior to recording.

Required

Paving _____ Curb & gutter _____
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan

Applied

* 1,200 ft. Block Length
**Subdivision Ordinance: Section 134-118

Applied

* 900 ft. Block Length for R-3 Zone Districts
**Subdivision Ordinance: Section 134-118

NA

* 600 ft. Maximum Cul-de-Sac
**Subdivision Ordinance: Section 134-105

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.
*Alley/service drive easement required for commercial properties
**Subdivision Ordinance: Section 134-106

NA

SETBACKS

* Front: 45 ft. or greater for easements.
**Zoning Ordinance: Section 138-356
* Rear: 15 ft. or greater for easement
**Zoning Ordinance: Section 138-356
* Sides: 6 ft. or greater for easement
**Zoning Ordinance: Section 138-356
* Corner: 10 ft. or greater for easements
**Zoning Ordinance: Section 138-356

Applied

Applied

Applied

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Garage: 18 ft. except where greater setback is required, greater setback applies Revisions needed: <ul style="list-style-type: none"> -Provide plat note as shown above prior to recording. **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN 	Required
	Required
SIDEWALKS	
<ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on N. Taylor Road and Mile 8 Road. **5 ft. wide sidewalk might be required by Engineering Department prior to recording. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time. 	Applied
	Required
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Revisions needed: <ul style="list-style-type: none"> - Provide plat note as shown above prior to recording. **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses Revisions needed: <ul style="list-style-type: none"> - Provide plat note as shown above prior to recording. **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements. 	Required
	Required
	Required
NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along N. Taylor Road ***Per Access Management Policy, 8 Mile Road requires 200 ft. spacing. Submit site plan with pavement markings for review prior to recording. **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	Required
	NA
	Applied
	NA
	NA
	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Compliance
* Minimum lot width and lot area **Zoning Ordinance: Section 138-356	Compliance
ZONING/CUP	
Existing: ETJ Proposed: ETJ ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval **If annexation is proposed, process must be finalized prior to recording along with initial zoning process. ***Zoning Ordinance: Article V	Applied
PARKS	
* Land dedication in lieu of fee. As per Parks Department, properties in ETJ are not subject to Parks Department requirements. Park fee will be required if property is annexed.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, properties in ETJ are not subject to Parks Department requirements. Park fee will be required if property is annexed.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording and/or land dedication. As per Parks Department, properties in ETJ are not subject to Parks Department requirements. Park fee will be required if property is annexed.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation is waived for 3 single residential lots.	Compliance
* Traffic Impact Analysis (TIA) required prior to final plat.	NA
COMMENTS	
Comments/Revisions needed: - Please pass by the office to revise name of subdivision on application prior to recording. **As per Engineer, subdivision has been in progress with Hidalgo County, the County Commissioners Meeting approved the subdivision in preliminary form with variance request at the December 19, 2022 meeting. **Must comply with City's Access Management Policy.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOCATION

SUBDIVISION



TAYLOR ROAD

LAKEHURST
SUBDIVISION

TIQUISATE AVE

8 MILE LINE

8 MIL

5200 BLOCK

LOS TERRAZOS

LOS TERRAZOS BLVD

PLANTATION OAKS NORTH S/D

PLANTATION OAKS N

PLANTATI

LUCAS S/D

LOT 1

LAGUNA VERMOSA

SUBDIVISION

City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name	Eagle's Nest Subdivision		
	Location	West side of N. 2nd St - Approx. 490' South of Northgate Lane		
	City Address or Block Number	9401 N. 2ND ST.		
	Number of Lots	5	Gross Acres	7.951
	Net Acres	7.587	ETJ	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Existing Zoning	R1	Proposed Zoning	R1
	Rezoning Applied for	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Date
	Existing Land Use	Vacant	Proposed Land Use	Single Family
	Irrigation District #	3		
	Replat	<input type="checkbox"/> Yes <input type="checkbox"/> No Commercial <input type="checkbox"/> Residential <input checked="" type="checkbox"/>		
Agricultural Exemption	<input type="checkbox"/> Yes <input type="checkbox"/> No Estimated Rollback Tax Due			
Parcel #	162767 Tax Dept. Review			
Water CCN	<input type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other			
Legal Description	7.769 ac o/p lots 11 & 12, Ebony Heights Citrus Graves Unit No. One, Vol. 5, Page 39, H.C.M.R.			
Owner	Name	Millennial Bear Farms, LLC		
	Address	P.O. Box 1548		
	City	Edinburg	State	Tx
Developer	Phone	(956) 381-0981		
	E-mail	jvbassetti@littlebearproduce.com		
	City	Edinburg	State	Tx
	Zip	78540		
	Contact Person	James Bassetti III		
Engineer	Name	Melden & Hunt, Inc.		
	Address	115 W. McIntyre		
	City	Edinburg	State	Tx
	Zip	78541		
	Contact Person	Mario A. Reyna		
Surveyor	Name	Melden & Hunt, Inc.		
	Address	115 W. McIntyre		
	City	Edinburg	State	Tx
	Zip	78541		

ENTERED

SEP 08 2021

Initial: OM

Proposed Plat Submittal

- ✓ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ✓ Title Report
- ✓ 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- ✓ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- ✓ 6 Folded blue-line prints of the proposed plat
- ✓ 2 Warranty Deeds (identifying owner on application)
- ✓ AutoCAD 2005 DWG file and PDF of plat
- ✓ Letter of Authorization from the owner, if applicable
- ✓ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

✓ PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blue-line copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 9-2-21

Print Name Mario A. Reyna

Owner ☐

Authorized Agent ☒

ENTERED

SEP 08 2021

Initial: _____



TBPELS Firm # F-1435
TBPELS # 10096900

MELDEN & HUNT INC.

CONSULTANTS • ENGINEERS • SURVEYORS

MARIO A. REYNA • ALLAN F. BOOE • KELLEY A. HELLER-VELA • ROBERTO N. TAMEZ • RUBEN JAMES DE JESUS • MICHAEL HERNANDEZ

January 06, 2023

Edgar Garcia, Planning Director
CITY OF MCALLEN PLANNING DEPT.
P.O. Box 220
McAllen, Texas 78505

Re: EAGLE'S NEST SUBDIVISION – REQUEST FOR EXTENSION

Dear Mr. Garcia:

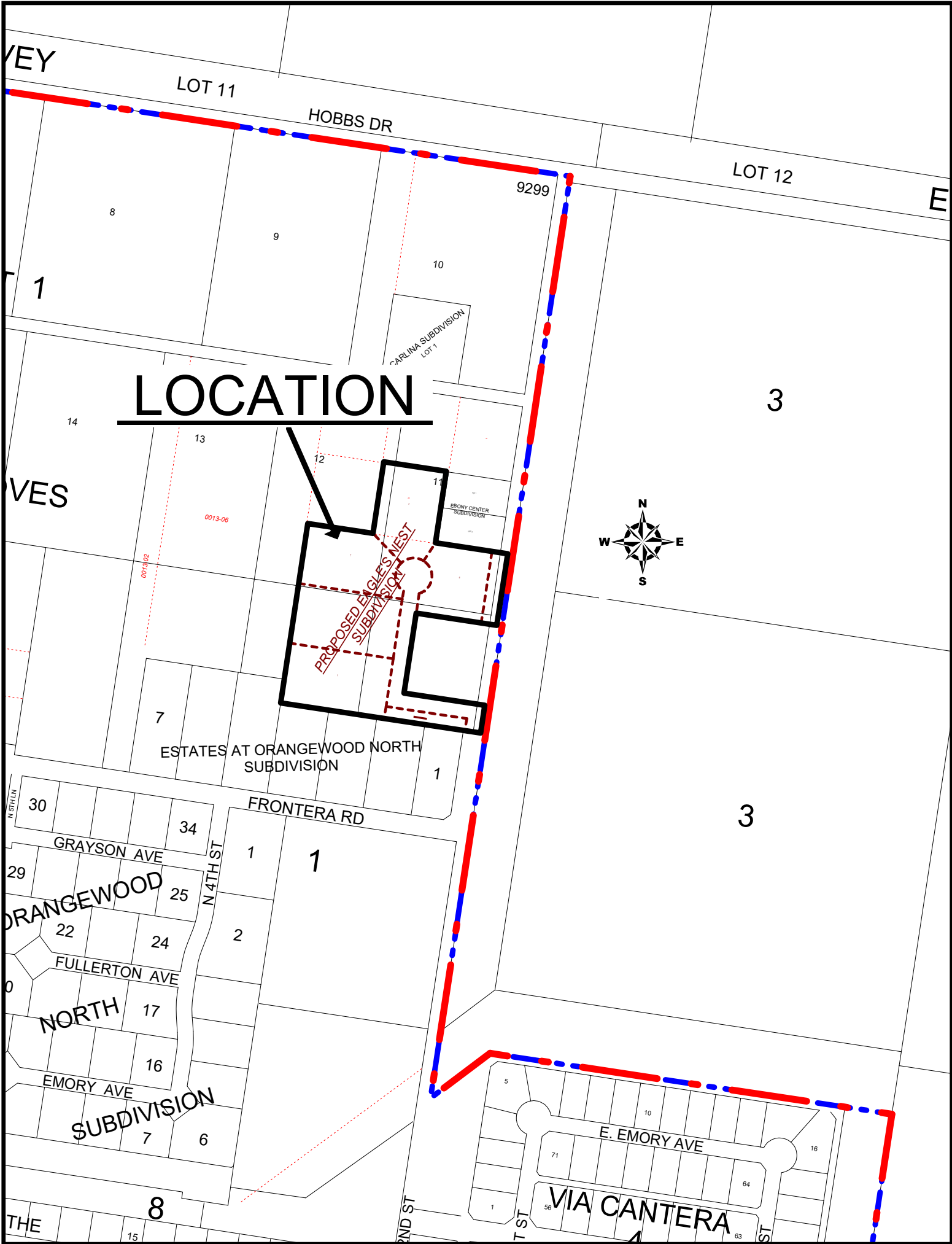
On behalf of the owner, Millennial Bear Farms, LLC, a Texas limited liability company, Melden & Hunt, Inc. is requesting a six-month extension on the above referenced subdivision plat. According to our records, the Planning and Zoning Commission gave the plat preliminary approval on October 05, 2021. The owners are requesting an additional six-month time frame.

Your consideration on this request at your next board meeting is appreciated. If you have any questions and/or require additional information, please do not hesitate to contact me.

Respectfully,

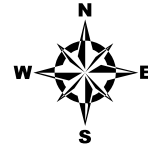
Mario A. Reyna, P.E.
President

Cc: Millennial Bear Farms, LLC, a Texas limited liability company



LOCATION

PROPOSED EAGLES NEST
SUBDIVISION



VEY

LOT 11

HOBBS DR

LOT 12

9299

E

3

VES

ESTATES AT ORANGEWOOD NORTH
SUBDIVISION

FRONTERA RD

3

ORANGEWOOD
NORTH
SUBDIVISION

N 4TH ST

GRAYSON AVE

FULLERTON AVE

EMORY AVE

VIA CANTERA

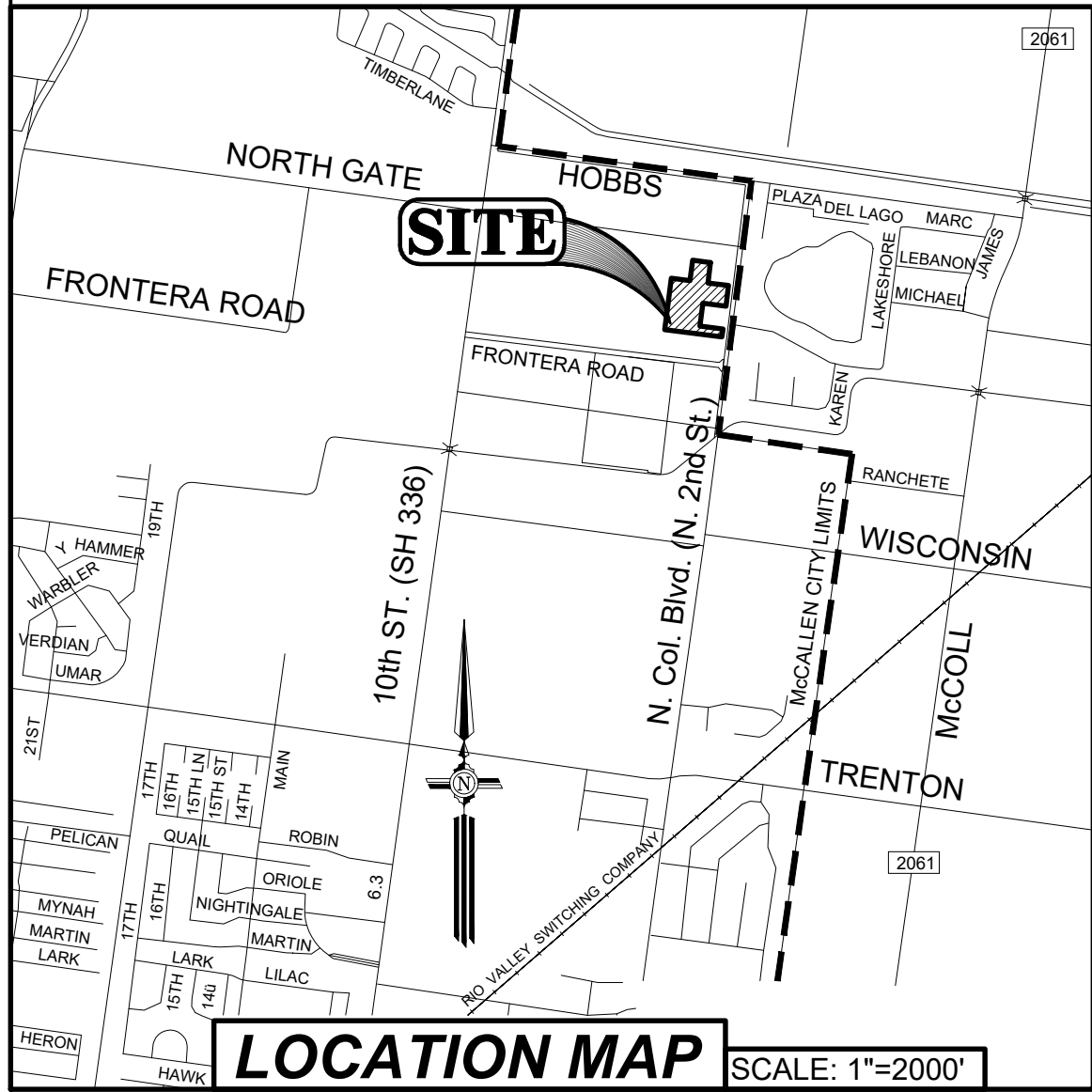
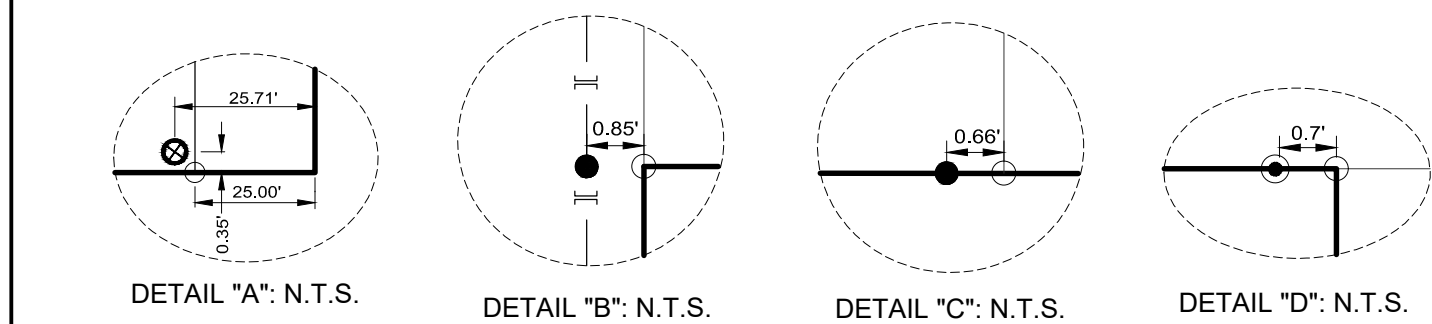
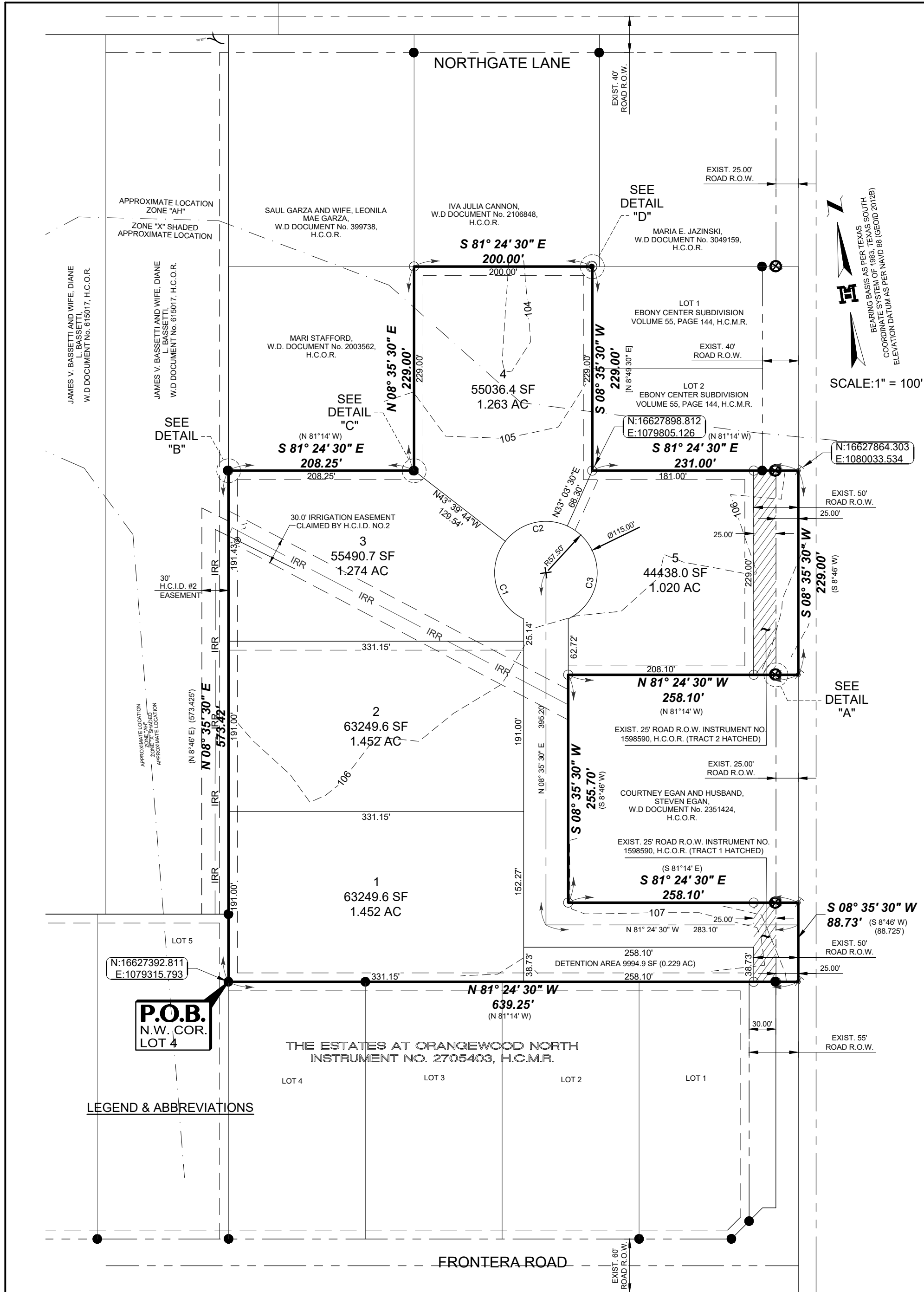
E. EMORY AVE

THE

N 2ND ST

T ST

ST



● FOUND NO. 4 REBAR

● FOUND NO. 5 REBAR

■ FOUND CONCRETE MONUMENT

● FOUND PK NAIL

● FOUND 2" PIPE

○ SET NO. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT ON ALL LOT CORNERS

H.C.D.R. - HIDALGO COUNTY DEED RECORDS

H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS

W.D. - WARRANTY DEED

F.E.M.A. - FEDERAL EMERGENCY MANAGEMENT AGENCY

R.O.W. - RIGHT OF WAY

E.A. & U.E. - EMERGENCY ACCESS & UTILITY EASEMENT

W. & U.E. - WALL & UTILITY EASEMENT

S.W. & U.E. - SIDEWALK & UTILITY EASEMENT

U.E. - UTILITY EASEMENT

D.E. - DRAINAGE EASEMENT

N.T.S. - NOT TO SCALE

SF - SQUARE FEET

AC - ACRES

P - PROPERTY LINE

L - LOT LINE

C - CENTER LINE OF EXISTING ROAD RIGHT-OF-WAY

M

MELDEN & HUNT INC.

CONSULTANTS • ENGINEERS • SURVEYORS

115 W. MCINTYRE - EDINBURG, TX 78841

PH: (956) 381-0981 - FAX: (956) 381-1839

ESTABLISHED 1947 - WWW.MELDENANDHUNT.COM

DRAWN BY: R.N. DATE 06-26-2019

SURVEYED, CHECKED DATE

FINAL CHECK DATE

METES AND BOUNDS DESCRIPTION

A TRACT OF LAND CONTAINING 7.769 ACRES SITUATED IN THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, CONSISTING OF:

7.951 ACRES OUT OF LOTS 11 AND 12, EBONY HEIGHTS CITRUS GROVES UNIT NO. ONE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 5, PAGE 39, HIDALGO COUNTY MAP RECORDS, WHICH SAID 7.951 ACRES WERE CONVEYED TO MILLENNIAL BEAR FARMS, LLC, BY VIRTUE OF SPECIAL WARRANTY DEED WITH VENDORS LIEN RECORDED UNDER DOCUMENT NUMBER 3067851 AND DOCUMENT NUMBER 3067864, HIDALGO COUNTY OFFICIAL RECORDS;

SAVE AND EXCEPT: 0.182 OF ONE ACRE DESIGNATED AS TRACT 1 AND TRACT 2 AND CONVEYED TO THE CITY OF MCALLEN BY VIRTUE OF A WARRANTY DEED RECORDED IN INSTRUMENT NUMBER 1598590, HIDALGO COUNTY OFFICIAL RECORDS; AND SAID 0.182 OF ONE ACRE DESIGNATED AS TRACT 1 AND TRACT 2;

SAID 7.769 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A NO. 4 REBAR FOUND [NORTHING: 16627392.811, EASTING: 1079315.793] AT THE NORTHWEST CORNER OF LOT 4, THE ESTATES AT ORANGEWOOD NORTH, ACCORDING TO THE PLAT THEREOF RECORDED IN INSTRUMENT NUMBER 2705403, HIDALGO COUNTY MAP RECORDS, FOR THE SOUTHWEST CORNER OF THIS TRACT;

- THENCE, N 08° 35' 30" E (N 8° 46' E DEED CALL) ALONG THE EAST LINE OF LOT 5 OF SAID THE ESTATES AT ORANGEWOOD NORTH, AT A DISTANCE OF 75.85 FEET PASS A NO. 4 REBAR FOUND AT THE NORTHEAST CORNER OF SAID LOT 5, CONTINUING A TOTAL DISTANCE OF 573.42 FEET (573.425 FEET DEED CALL) TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER OF THIS TRACT;
- THENCE, S 81° 24' 30" E (S 81° 14' E DEED CALL) AT A DISTANCE OF 207.59 FEET PASS A NO. 4 REBAR FOUND IN LINE, CONTINUING A TOTAL DISTANCE OF 208.25 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
- THENCE, N 08° 35' 30" E A DISTANCE 229.00 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
- THENCE, S 81° 24' 30" E A DISTANCE OF 200.00 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
- THENCE, S 08° 35' 30" W (N 8° 49' 30" E DEED CALL) A DISTANCE OF 229.00 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT
- THENCE, S 81° 24' 30" E (S 81° 14' E DEED CALL) AT A DISTANCE OF 181.00 FEET PASS A NO. 4 REBAR SET ON THE EXISTING WEST RIGHT-OF-WAY LINE OF N. COLONEL ROWE BLVD.-N. 2ND STREET FOR THE NORTHWEST CORNER OF SAID TRACT 2, AT A DISTANCE OF 190.65 FEET PASS A NO. 4 REBAR FOUND, AT A DISTANCE OF 205.14 PASS A NO. 5 REBAR FOUND, AT A DISTANCE OF 208.00 FEET PASS A NO. 4 REBAR SET AT THE NORTHEAST CORNER OF SAID TRACT 2, CONTINUING A TOTAL DISTANCE OF 231.00 FEET TO A NAIL SET ON THE EAST LINE OF SAID LOT 11, THE SOUTHEAST CORNER OF SAID EBONY CENTER SUBDIVISION, AND BEING WITHIN THE EXISTING RIGHT-OF-WAY OF N. COLONEL ROWE BLVD.-N. 2ND STREET, FOR THE NORTHEAST CORNER OF THIS TRACT;
- THENCE, S 08° 35' 30" W (S 8° 46' W DEED CALL) ALONG THE EAST LINE OF SAID LOT 11, A DISTANCE OF 229.00 FEET TO A NAIL SET FOR AN OUTSIDE CORNER OF THIS TRACT;
- THENCE, N 81° 24' 30" W (N 81° 14' W DEED CALL) AT A DISTANCE OF 25.00 FEET PASS A NO. 4 REBAR SET AT THE SOUTHEAST CORNER OF SAID TRACT 2, CONTINUING A TOTAL DISTANCE OF 258.10 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
- THENCE, S 08° 35' 30" W (S 8° 46' W DEED CALL) A DISTANCE OF 255.70 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
- THENCE, S 81° 24' 30" E (S 81° 14' E DEED CALL) AT A DISTANCE OF 208.10 FEET PASS A NO. 4 REBAR SET ON THE EXISTING WEST RIGHT-OF-WAY LINE OF N. COLONEL ROWE BLVD.-N. 2ND STREET, FOR THE NORTHWEST CORNER OF SAID TRACT 1, AT A DISTANCE OF 232.35 FEET PASS A NO. 5 REBAR FOUND, AT A DISTANCE OF 233.10 FEET PASS A NO. 4 REBAR SET AT THE NORTHEAST CORNER OF SAID TRACT 1, CONTINUING A TOTAL DISTANCE OF 258.10 FEET TO A NAIL SET ON THE EAST LINE OF SAID LOT 11 AND BEING WITHIN THE EXISTING RIGHT-OF-WAY OF N. COLONEL ROWE BLVD.-N. 2ND STREET, FOR AN OUTSIDE CORNER OF THIS TRACT;
- THENCE, S 08° 35' 30" W ALONG THE EAST LINE OF SAID LOT 11 AND BEING WITHIN THE EXISTING RIGHT-OF-WAY OF N. COLONEL ROWE BLVD.-N. 2ND STREET, A DISTANCE OF 88.73 FEET TO A NAIL SET FOR THE SOUTHEAST CORNER OF THIS TRACT;
- THENCE, N 81° 24' 30" W AT A DISTANCE OF 25.00 FEET PASS A NO. 4 REBAR SET AT THE SOUTHEAST CORNER OF SAID TRACT 1 AND THE NORTHEAST CORNER OF SAID THE ESTATES AT ORANGEWOOD NORTH, AT A DISTANCE OF 25.79 FEET PASS A NO. 4 REBAR FOUND, AT A DISTANCE OF 50.00 FEET PASS A NO. 4 REBAR SET ON THE EXISTING WEST RIGHT-OF-WAY LINE OF N. COLONEL ROWE BLVD.-N. 2ND STREET, AND ON THE SOUTHWEST CORNER OF SAID TRACT 1, CONTINUING A TOTAL DISTANCE OF 639.25 FEET TO THE POINT OF BEGINNING, AND CONTAINING 7.951 ACRES OF LAND, OF WHICH 0.182 OF ONE ACRE LIES WITHIN SAVE AND EXCEPT OF TRACT 1 AND TRACT 2 OF THE ADDITIONAL RIGHT-OF-WAY OF N. COLONEL ROWE BLVD.-N. 2ND STREET, LEAVING THE 7.769 ACRES HEREIN DESCRIBED, OF WHICH 0.182 OF ONE ACRE LIES WITHIN THE PREVIOUS EXISTING RIGHT-OF-WAY OF N. COLONEL ROWE BLVD.-N. 2ND STREET, LEAVING AN EXISTING NET OF 7.587 ACRES OF LAND, MORE OR LESS.

SAVE AND EXCEPT: 0.182 OF ONE ACRE CONSISTING OF: 0.051 OF ONE ACRE DESIGNATED AS TRACT 1 AND 0.131 OF ONE ACRE DESIGNATED AS TRACT 2 AND ALL CONVEYED TO THE CITY OF MCALLEN BY VIRTUE OF A WARRANTY DEED RECORDED IN INSTRUMENT NUMBER 1598590, HIDALGO COUNTY OFFICIAL RECORDS;

SAID TRACT 1 BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A NO. 4 REBAR SET AT THE SOUTHEAST CORNER OF SAID TRACT 1 AND BEING ON THE NORTHEAST CORNER OF SAID THE ESTATES AT ORANGEWOOD NORTH, FOR THE SOUTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;

- THENCE, N 81° 24' 30" W ALONG THE NORTH LINE OF SAID THE ESTATES AT ORANGEWOOD NORTH, AT A DISTANCE OF 0.79 FEET PASS A NO. 4 REBAR FOUND, CONTINUING A TOTAL DISTANCE OF 25.00 FEET TO A NO. 4 REBAR SET AT THE SOUTHWEST CORNER OF SAID TRACT 1 AND ON THE EXISTING WEST RIGHT-OF-WAY LINE OF N. COLONEL ROWE BLVD.-N. 2ND STREET, FOR THE SOUTHWEST CORNER OF THIS TRACT;
- THENCE, N 08° 35' 30" E ALONG THE EXISTING WEST RIGHT-OF-WAY LINE OF N. COLONEL ROWE BLVD.-2ND STREET, A DISTANCE OF 88.73 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER OF THIS TRACT;
- THENCE, S 81° 24' 30" E AT A DISTANCE OF 24.25 FEET PASS A NO. 5 REBAR FOUND, CONTINUING A TOTAL DISTANCE OF 25.00 FEET TO A NO. 4 REBAR SET FOR THE NORTHEAST CORNER OF THIS TRACT;
- THENCE, S 08° 35' 30" W A DISTANCE OF 88.73 FEET TO THE POINT OF BEGINNING, AND CONTAINING 0.051 OF ONE ACRE OF LAND, MORE OR LESS.

SAID TRACT 2 BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A NAIL SET AT THE SOUTHEAST CORNER OF SAID EBONY CENTER SUBDIVISION AND BEING WITHIN THE EXISTING RIGHT-OF-WAY OF N. COLONEL ROWE BLVD.-2ND STREET;

THENCE, N 81° 24' 30" W AT A DISTANCE OF 25.00 FEET TO A NO. 4 REBAR SET FOR THE NORTHEAST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

- THENCE, S 08° 35' 30" W AT A DISTANCE OF 229.00 FEET TO A NO. 4 REBAR SET FOR THE SOUTHEAST CORNER OF THIS TRACT;
- THENCE, N 81° 24' 30" W AT A DISTANCE OF 0.71 FEET PASS A NO. 5 REBAR FOUND, CONTINUING A TOTAL DISTANCE OF 25.00 FEET TO A NO. 4 REBAR SET FOR THE SOUTHWEST CORNER OF THIS TRACT;
- THENCE, N 08° 35' 30" E ALONG THE EXISTING WEST RIGHT-OF-WAY LINE OF N. COLONEL ROWE BLVD.-2ND STREET, A DISTANCE OF 229.00 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER OF THIS TRACT;
- THENCE, S 81° 24' 30" E ALONG THE SOUTH LINE OF SAID EBONY CENTER SUBDIVISION, AT A DISTANCE OF 9.65 FEET PASS A NO. 4 REBAR FOUND, AT A DISTANCE OF 24.14 FEET PASS A NO. 5 REBAR FOUND, CONTINUING A TOTAL DISTANCE OF 25.00 FEET TO THE POINT OF BEGINNING, AND CONTAINING 0.131 OF ONE ACRE OF LAND, MORE OR LESS.

SUBDIVISION MAP OF
EAGLE'S NEST
7.769 ACRES OUT OF LOTS 11 AND 12, EBONY HEIGHTS CITRUS GROVES UNIT NO. ONE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 5, PAGE 39, H.C.M.R., CITY OF MCALLEN, HIDALGO COUNTY, TEXAS

GENERAL NOTES:

- THIS SUBDIVISION IS PARTIALLY IN FLOOD ZONE "AH" AND MOSTLY IN ZONE "X" (SHADED).

ZONE "AH" - AREAS OF 100-YEAR SHALLOW FLOODING WHERE DEPTHS ARE BETWEEN ONE (1) AND THREE (3) FEET; BASE FLOOD ELEVATION HAS BEEN DETERMINED TO BE 107, BUT NO FLOOD HAZARD FACTORS ARE DETERMINED. (NO BUILDING PERMITTED WITHIN ZONE "AH")

ZONE "X" (SHADED) AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREA PROTECTED BY LEVEES FROM 100-YEAR FLOOD. COMMUNITY-PANEL NUMBER: 480334 0325 D MAP REVISED: JUNE 6, 2000 REVISED TO REFLECT LOMR: MAY 17, 2001. (FINISH FLOOR 24" ABOVE TOP OF CURB AT CENTER OF LOT.)

- MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF MCALLEN ZONING CODE:

FRONT: 25 FEET OR GREATER FOR EASEMENTS WHICHEVER IS GREATER.

REAR: 10 FEET EXCEPT 25 FEET OR GREATER FOR EASEMENTS WHICHEVER IS GREATER.

INTERIOR SIDES: IN ACCORDANCE WITH ZONING ORDINANCES, OR GREATER FOR EASEMENTS WHICHEVER IS GREATER.

SIDE CORNER: 10 FEET OR GREATER FOR EASEMENTS WHICHEVER IS GREATER.

GARAGE: 18 FEET EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES.

- REQUIRED DETENTION FOR STORM SEWER RUNOFF PER THE APPROVED DRAINAGE REPORT SHALL BE 4.819 CF. DETENTION WILL BE PROVIDED ON SITE WITHIN DETENTION AREA AS APPROVED BY THE CITY OF MCALLEN.

- CITY OF MCALLEN BENCHMARK: "MC50, 1" FROM THE CITY OF MCALLEN G.P.S. REFERENCE MARKS LIST PREPARED BY ARANDA & ASSOCIATE ON SEPTEMBER 09, 2002. BEING LOCATED ON THE WEST SIDE OF 10TH ST. BETWEEN TRENTON AND FULLERTON ROAD. 30" ALUM. PIPE WITH A 3 1/2" BRASS MONUMENT CAP ON TOP AT ELEVATION = 106.511 (NAVD88).

TEMPORARY BENCHMARK: FOUND C.P.S. IN POWER POLE LOCATED 545 FEET EAST AND NORTH 213' OF THE NORTHEAST CORNER OF THIS SUBDIVISION. GEODETIC G.P.S. TEXAS STATE PLANE. GRID COORDINATE SYSTEM NAD 83 TEXAS SOUTH 4205 ELEVATION PER NAVD 99 (GEOID 2003) N=16627167.194 E=1079903.496 ELEV.=108.58

- NO BUILDING ALLOWED OVER ANY EASEMENT.

- 4 FT. WIDE SIDEWALK REQUIRED ON BOTH SIDES OF ALL INTERIOR STREETS.

- 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, OR INDUSTRIAL ZONES/USES AND ALONG FRONTERA ROAD.

- 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.

- COMMON AREAS MUST BE MAINTAINED BY LOT OWNERS AND NOT THE CITY OF MCALLEN.

- NO CURB CUT ACCESS, OR LOT FRONTAGE PERMITTED FOR LOT 5 ALONG N. 2ND STREET.

- 25x25" CLIP FOR SITE OBSTRUCTION EASEMENT IS REQUIRED AT ALL STREET INTERSECTIONS.

Curve Table						
Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Tangent
C1	102.34'	57.50'	101° 58' 28"	S4° 38' 59"E	89.36'	70.97'
C2	76.99'	57.50'	076° 43' 14"	S84° 41' 53"W	71.37'	45.51'
C3	130.22'	57.50'	129° 45' 43"	N7° 56' 21"E	104.12'	122.64'

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS EAGLE'S NEST, SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SANITARY SEWER LINES, STORM SEWERS, FIRE HYDRANTS, PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED THEREON SHOWN OR NOT SHOWN AND REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREON OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

MILLENNIAL BEAR FARMS, LLC

JAMES V. BASSETTI

7310 N. HIGHWAY 281

HIDALGO COUNTY, TEXAS

DATE: _____

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JAMES V. BASSETTI KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS
MY COMMISSION EXPIRES: _____

I, THE UNDERSIGNED, FRED L. KURTH, A LICENSED PROFESSIONAL ENGINEER AND REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT AND IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

FRED L. KURTH, P.E. # 54151 R.P.L.S. # 4750

DATE SURVEYED: 09/10/15

DATE PREPARED: 02/26/21

ENGINEERING JOB No. 20120.00

SURVEY JOB No. 20120.08

DATE: _____

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN

ATTESTED BY: _____

CITY SECRETARY

DATE _____

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION

DATE _____

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE _____

FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

SHEET 1 OF 3



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/13/2023

SUBDIVISION NAME: EAGLE'S NEST SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>N. 2nd Street (N. Col Rowe Blvd.): 60 ft. ROW required from centerline for 120 ft. total ROW Paving: min. 65 ft. Curb & gutter: both sides Revisions needed:</p> <ul style="list-style-type: none"> - Revise street name as shown above on plat and anywhere else as applicable prior to final - Revise plat to show required dedication for N. 2nd Street (Col. Rowe Blvd.) - Remove shading pattern from existing ROW shown on plat under document number 1598590 <p>**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan **Monies must be escrowed if improvements are not built prior to recording.</p>	Non-compliance
<p>Interior streets: 50 ft. ROW Paving: 32 ft. Curb & gutter: both sides Revisions needed:</p> <ul style="list-style-type: none"> - Provide ROW width dimension on plat prior to final - Street name will be finalized prior to final <p>**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan **Monies must be escrowed if improvements are not built prior to recording.</p>	Non-compliance
Paving _____ Curb & gutter _____	Applied
* 800 ft. Block Length	Applied
*Subdivision Ordinance: Section 134-118	
* 600 ft. Maximum Cul-de-Sac	NA
*Subdivision Ordinance: Section 134-105	
ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106</p>	Applied
SETBACKS	
<p>* Front: 25 ft. or greater for easements, whichever is greater *Zoning Ordinance: Section 138-356</p>	Applied
<p>* Rear: 10 ft. or greater for easements, whichever is greater applies. Revisions needed:</p> <ul style="list-style-type: none"> - Revise plat #2 as shown above prior to recording. <p>**Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Interior sides: 6 ft. or greater for easements, whichever is greater applies Revisions needed:</p> <ul style="list-style-type: none"> - Revise plat # 2 as shown above prior to recording. <p>**Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Side corner: 10 ft. or greater for easements whichever is greater **Zoning Ordinance: Section 138-356</p>	Applied

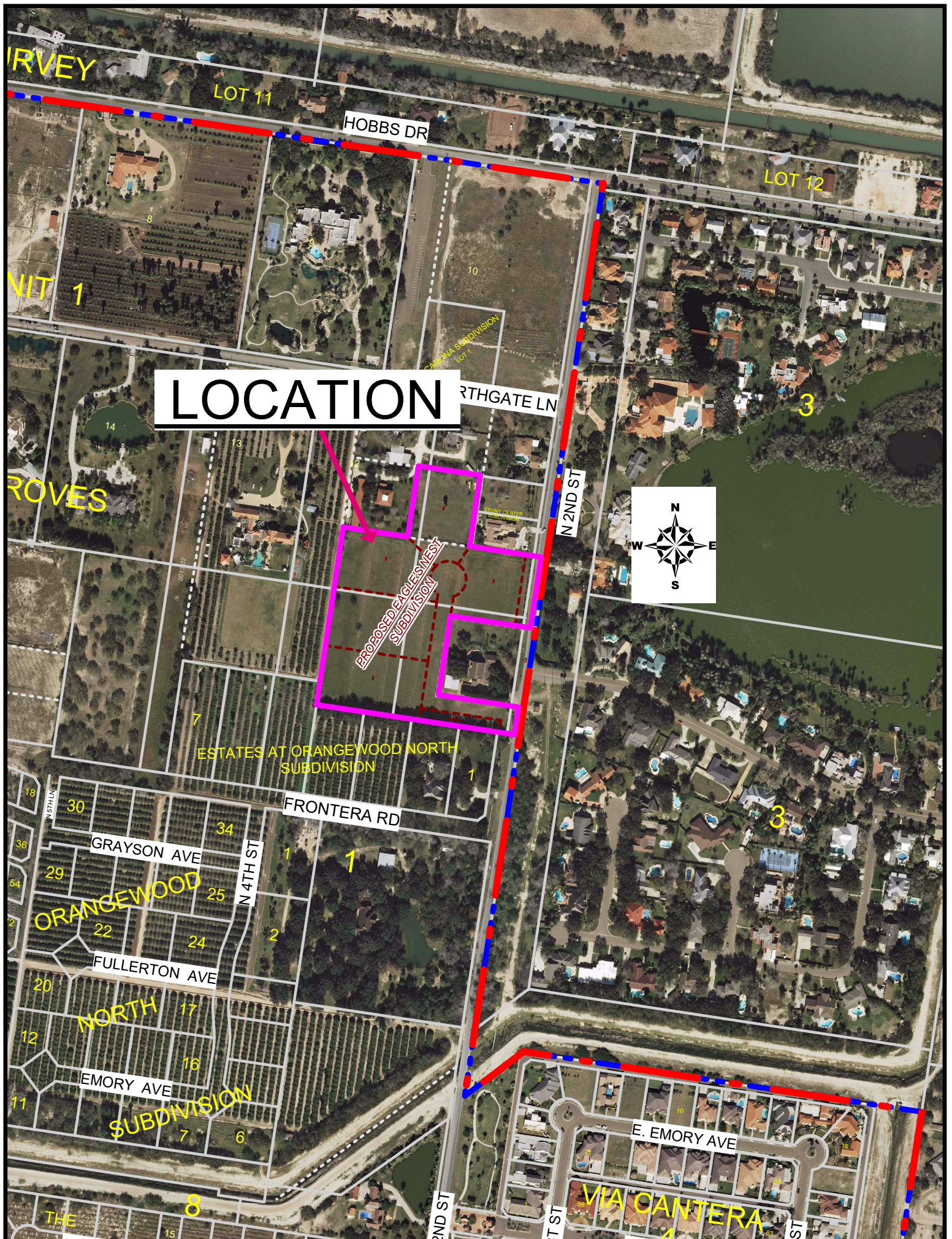
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

* Garage: 18 ft. except where a greater setback is required, greater setback applies. *Zoning Ordinance: Section 138-356	Applied
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 4 ft. wide minimum sidewalk required on the west side of N. 2nd Street (Col. Rowe Blvd.) and both sides of interior streets. Revisions needed: - Revise plat #6 as shown above prior to final ***Sidewalk requirements subject to increase from 4 ft. to 5 ft. as per Engineering Department prior to final. **Subdivision Ordinance: Section 134-120	Non-compliance
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along Frontera Road. *Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
NOTES	
* No curb cut, access, or lot frontage permitted along *Variance letter required by Traffic Department for proposed access along N. 2nd Street due to spacing requirements not being met for 360 ft.	Non-compliance
* Site plan must be approved by the Planning and other Development Departments prior to building permit issuance.	Applied
* Common areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Common areas, private service drives, etc. must be maintained by the lot owners and not the City of McAllen	Required
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if subdivision is proposed to be public. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Required
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Subdivision Ordinance: Section 110-72	Required
LOT REQUIREMENTS	
* Lots fronting public streets *Zoning Ordinance: Section 138-356	Compliance
* Minimum lot width and lot area *Zoning Ordinance: 138-1	Compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ZONING/CUP	
* Existing: R-1 Proposed: R-1	Applied
* Rezoning Needed Before Final Approval	NA
PARKS	
* Land dedication in lieu of fee	NA
* Park Fee of \$700 per dwelling unit/lot = \$3,500 to be paid prior to recording for 5 proposed lots	Required
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
TRAFFIC	
* Trip Generation waived. Per Traffic Department, no TIA required prior to final plat.	NA
* Traffic Impact Analysis (TIA) required prior to final plat.	NA
COMMENTS	
Comments/Revisions needed: - Requirements subject to change once updated plat has been submitted and reviewed by staff. - Revise sidewalk requirement note - Revise existing ROW shown along N. 2nd Street (Col. Rowe Blvd), and label accordingly - Clarify whether HCID #2 easement shown across Lots 2 & 3 will be abandoned? - Remove shading pattern shown along N. 2nd Street - Show ROW width for interior streets - Provide ownership map to verify no landlocked parcels are created. - Property referenced with doc# 2003562 appears to be landlocked and a turnaround may be needed along Lot 4 **Subdivision approved in Preliminary form at the Special P&Z meeting of October 5, 2021 *Must comply with City's Access Management Policy	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE PRELIMINARY 6-MONTH EXTENSION SUBJECT TO CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVALS.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



LOCATION



City of McAllen
Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Subadai-0138

Project Information	Subdivision Name	<u>ESTANCIA AT TRES LAGOS PHASE III SUBDIVISION (PRIVATE)</u>		
	Location	<u>ADJOINING ESTANCIA AT TRES LAGOS II - TO THE WEST</u>		
	City Address or Block Number	<u>4300 TOWN LAKE DR</u>		
	Number of Lots	<u>33</u>	Gross Acres	<u>15.279</u> Net Acres <u>15.729</u> ETJ <input type="checkbox"/> Yes <input type="checkbox"/> No
	Existing Zoning	<u>R1</u>	Proposed Zoning	<u>R1</u> Rezoning Applied for <input type="checkbox"/> Yes <input type="checkbox"/> No Date _____
	Existing Land Use	<u>VACANT</u>	Proposed Land Use	<u>residential</u> Irrigation District # <u>U.I.D.</u>
	Replat	<input type="checkbox"/> Yes <input type="checkbox"/> No	Commercial	<u>N/A</u> Residential <input checked="" type="checkbox"/> X
	Agricultural Exemption	<input type="checkbox"/> Yes <input type="checkbox"/> No	Estimated Rollback Tax Due	_____
	Parcel #	<u>1075073</u>	Tax Dept. Review	_____
	Water CCN	<input type="checkbox"/> MPU <input checked="" type="checkbox"/> Sharyland Water SC	Other	_____
Legal Description	<u>15.279 ACRES OUT OF SECTION 232 TEXAS-MEXICAN RCS</u>			
Owner	Name	<u>RHODES DEVELOPMENT INC.</u>	Phone	<u>956-287-2800</u>
	Address	<u>200 S. 10TH ST., STE. 1700</u>	E-mail	<u>NICK@RHODESEENTERPRISES.COM</u>
	City	<u>MCALLEN</u>	State	<u>TX</u> Zip <u>78502</u>
Developer	Name	<u>RHODES DEVELOPMENT, INC.</u>	Phone	<u>956.287-2800</u>
	Address	<u>200 S. 10TH ST., STE. 1700</u>	E-mail	<u>NICK@RHODESEENTERPRISE.COM</u>
	City	<u>MCALLEN</u>	State	<u>TX</u> Zip <u>78502</u>
	Contact Person	<u>NICK RHODES</u>		
Engineer	Name	<u>MELDEN & HUNT, INC.</u>	Phone	<u>956.381.0981</u>
	Address	<u>115 W. MCTYRE ST. - EDINBURG, TX 78541</u>	E-mail	<u>MARIO@MELDENANDHUNT.COM</u>
	City	<u>EDINBURG</u>	State	<u>TEXAS</u> Zip <u>78541</u>
	Contact Person	<u>MARIO A. REYNA</u>		
Surveyor	Name	<u>MELDEN & HUNT, INC.</u>	Phone	<u>956.381.0981</u>
	Address	<u>115 W. MCTYRE ST. - EDINBURG, TX 78541</u>	E-mail	<u>FKURTH@MELDENANDHUNT.C</u>
	City	<u>EDINBURG</u>	State	<u>TX</u> Zip <u>78541</u>

ENTERED

NOV 19 2011

Initial: Ch

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ✓ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ✓ Title Report - via email
- ✓ 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps - via email
- ✓ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow - via email
- ✓ 6 Folded blueline prints of the proposed plat via email
- ✓ 2 Warranty Deeds (identifying owner on application) - via email
- ✓ AutoCAD 2005 DWG file and PDF of plat - via email
- N/A Letter of Authorization from the owner, if applicable
- ✓ Proof of authority of person signing application on behalf of - via email partnership/corporation, if applicable

✓ PLAT TO SHOW:

- ✓ Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding
- ✓ platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor
- ✓ shown along with signature lines
- ✓ North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 11/19/21

Print Name Nick Rhodes, President - Rhodes Development

Owner ☒

Authorized Agent ☐



TBPELS Firm # F-1435
TBPELS # 10096900

MELDEN & HUNT INC.

CONSULTANTS • ENGINEERS • SURVEYORS

MARIO A. REYNA • ALLAN F. BOOE • KELLEY A. HELLER-VELA • ROBERTO N. TAMEZ • RUBEN JAMES DE JESUS • MICHAEL HERNANDEZ

January 06, 2023

Edgar Garcia, Planning Director
CITY OF MCALLEN PLANNING DEPT.
P.O. Box 220
McAllen, Texas 78505

Re: ESTANCIA AT TRES LAGOS SUBDIVISION PHASE III – REQUEST FOR EXTENSION

Dear Mr. Garcia:

On behalf of the owner, Rhodes Enterprises, Inc. a Texas Corporation, Melden & Hunt, Inc. is requesting a six-month extension on the above referenced subdivision plat. According to our records, the Planning and Zoning Commission gave the plat preliminary approval on December 07, 2021. The owners are requesting an additional six-month time frame.

Your consideration on this request at your next board meeting is appreciated. If you have any questions and/or require additional information, please do not hesitate to contact me.

Respectfully,

Mario A. Reyna, P.E.
President

Cc: Rhodes Enterprises, Inc. a Texas Corporation

METES AND BOUNDS DESCRIPTION

A TRACT OF LAND CONTAINING 15.279 ACRES SITUATED IN THE CITY OF MCALLEN, COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF SECTION 232, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 4, PAGES 142-143, HIDALGO COUNTY DEED RECORDS, SAID 15.279 ACRES OUT OF A CERTAIN TRACT CONVEYED TO RHODES ENTERPRISES, INC., A TEXAS CORPORATION BY VIRTUE OF A CORRECTION SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2989684, HIDALGO COUNTY OFFICIAL RECORDS, SAID 15.279 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHERMOST SOUTHWEST CORNER OF LOT 86, ESTANCIA AT TRES LAGOS PHASE I SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN INSTRUMENT NUMBER 3156069, HIDALGO COUNTY MAP RECORDS;

1. THENCE, 8° 40' 00" W A DISTANCE OF 165.00 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
2. THENCE, 5° 10' 00" W A DISTANCE OF 130.00 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
3. THENCE, 8° 14' 00" W A DISTANCE OF 160.00 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
4. THENCE, 5° 40' 00" W A DISTANCE OF 110.00 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
5. THENCE, 8° 40' 44" W A DISTANCE OF 227.92 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
6. THENCE, 8° 56' 50" W A DISTANCE OF 56.03 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
7. THENCE, 8° 10' 13" W A DISTANCE OF 160.94 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
8. THENCE, 8° 29' 59" W A DISTANCE OF 227.91 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
9. THENCE, 5° 40' 16" W A DISTANCE OF 279.79 FEET TO A NO. 4 REBAR SET FOR THE SOUTHWEST CORNER OF THIS TRACT;
10. THENCE, 8° 10' 00" W A DISTANCE OF 607.08 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER OF THIS TRACT;
11. THENCE, 8° 00' 30" E A DISTANCE OF 183.25 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
12. THENCE, 8° 00' 51" E A DISTANCE OF 52.44 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
13. THENCE, 8° 00' 00" E A DISTANCE OF 174.93 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
14. THENCE, 8° 00' 00" E A DISTANCE OF 132.84 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
15. THENCE, 8° 00' 00" E A DISTANCE OF 134.86 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
16. THENCE, 5° 12' 00" W A DISTANCE OF 131.88 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
17. THENCE, 5° 12' 00" E A DISTANCE OF 86.33 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
18. THENCE, 8° 40' 00" E A DISTANCE OF 80.73 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
19. THENCE, 8° 00' 00" E A DISTANCE OF 80.99 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
20. THENCE, 8° 40' 00" E A DISTANCE OF 201.02 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
21. THENCE, 8° 40' 00" E A DISTANCE OF 180.00 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
22. THENCE, 8° 40' 00" E A DISTANCE OF 180.00 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
23. THENCE, 5° 22' 00" E A DISTANCE OF 170.00 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
24. THENCE, 8° 40' 00" E A DISTANCE OF 74.47 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
25. THENCE, 5° 00' 00" E A DISTANCE OF 71.42 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
26. THENCE, 5° 16' 40" E A DISTANCE OF 138.00 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
27. THENCE, IN A SOUTHWEST DIRECTION, ALONG A CURVE TO THE RIGHT, WITH A CENTRAL ANGLE OF 17° 28' 24", A RADIUS OF 225.00 FEET, AN ARC LENGTH OF 68.82 FEET, A TANGENT OF 34.39 FEET, AND A CHORD THAT BEARS S 38° 59' 52" W A DISTANCE OF 38.85 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
28. THENCE, 8° 40' 49" E A DISTANCE OF 50.00 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
29. THENCE, 8° 34' 00" E A DISTANCE OF 139.85 FEET TO THE POINT OF BEGINNING AND CONTAINING 15.279 ACRES OF LAND, MORE OR LESS.

GENERAL NOTES:

1. THIS SUBDIVISION IS LOCATED IN ZONE "C" UNSHADED ON FEMA'S FLOOD INSURANCE RATE MAP. AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN, COMMUNITY PLAN NUMBER 480334 0295.D, MAP REVISED: JUNE 06, 2000.
2. MINIMUM FINISH FLOOR ELEVATION SHALL BE 10' ABOVE TOP OF CURB AT CENTER OF LOT.
3. MINIMUM SETBACKS SHALL BE:
 - FRONT:** 20 FEET MINIMUM OR AS SHOWN IN "FRONT SETBACK TABLE" (SHEET 2 OF 2).
 - REAR:** 11 FEET OR GREATER FOR EASEMENTS.
 - 16 FEET FOR LOTS 110-119.**
 - INTERIOR SIDES:** 5 FEET, OR GREATER FOR EASEMENTS PER AGREEMENT.
 - SIDE CORNER:** 10 FEET OR GREATER FOR EASEMENTS AS MAY BE APPLICABLE.
 - GARAGE:** 18 FEET EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES.
4. REQUIRED DETENTION FOR STORM SEWER RUNOFF PER THE APPROVED DRAINAGE REPORT SHALL BE 20,000 CUBIC FEET (0.87 AC-F.I.). STORM WATER RUNOFF GENERATED FROM DEVELOPMENT SHALL BE DETAINED OFF-SITE IN THE ADJACENT DRAIN DITCHES TO THE EAST OF THESE DRAIN DITCHES IS REFERENCED IN THE MASTER DRAINAGE STUDY.
5. AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT SHALL BE SUBMITTED AND APPROVED BY CITY OF MCALLEN PRIOR TO ISSUANCE OF BUILDING PERMIT.
6. CITY OF MCALLEN BENCHMARK NUMBER MCG2, TOP OF 30" ALUMINUM PIPE WITH A 3-1/4" BRASS MONUMENT CAP TOP AT THE NORTHWEST CORNER OF THE INTERSECTION OF F.M.2220 AND F.M. 1928, GEODETIC C.P. 5, TEXAS STATE PLANE GRID COORDINATE SYSTEM, NAD 83 TEXAS SOUTH 4205 ELEVATION PER NAVD 83 (GEOID 2003): N=16652949.4951, 1067260.29414, ELEV=+128.79.
7. NO BUILDING ALLOWED OVER ANY EASEMENT.
8. 4 FOOT MINIMUM SIDEWALK REQUIRED ON INTERIOR STREETS, AS PER APPROVED SIDEWALK PLAN FILED WITH THE CITY AT BUILDING PERMIT OFFICE.
9. 8 FOOT OPACQUE BUFFER REQUIRED FROM ADJACENT BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, OR INDUSTRIAL ZONELINES.
10. 8 FOOT MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONELINES.
11. PRIVATE TECHNOLOGY EASEMENT: OWNER RESERVES UNTO RHODES DEVELOPMENT INC A TECHNOLOGY EASEMENT OVER THIS PROPERTY IN THE LOCATION IDENTIFIED ON THIS PLAT (THE "TECHNOLOGY EASEMENT"). THE TECHNOLOGY EASEMENT SHALL BE AN EXCLUSIVE EASEMENT FOR THE PURPOSE OF INSTALLING, MAINTAINING, REPLACING AND UPGRADING ANY AND ALL CABLE, FIBER, OR OTHER ANY TRANSPORT MEDIA REASONABLY NECESSARY FOR PROVIDING TECHNOLOGY SERVICES, INCLUDING BUT NOT LIMITED TO INTERNET, CABLE, SECURITY, AND RELATED SERVICES, TO THE LOTS CREATED BY THIS PLAT.
12. TERMS AND CONDITIONS AND RESERVATION OF TECHNOLOGY EASEMENTS DATED AUGUST 13, 2015, FILED NOVEMBER 25, 2015, BETWEEN HIDALGO COUNTY TEXAS CORPORATION, INC., TO MLL RHODES LTD. A TEXAS LIMITED LIABILITY COMPANY, AS RECORDED UNDER CLERK'S FILE NO. 2065228, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS. EASEMENT PROVIDED HEREIN IS NOT DOCUMENT RECOMPLETE, EASEMENT PERTAINS TO AND IS FOR THE BENEFIT OF THE OWNER/RESERVOR. NO WIDTH SPECIFIED FOR EASEMENT. THE ACTUAL EASEMENT BOUNDARY IS NOT DESCRIBED, BUT IS WITHIN THE EASEMENT PROPERTY WHICH IS INCOMPLETE. EASEMENT MAY BE REVOKED OR AMENDED BY OWNER/RESERVOR AND IS EXCLUSIVE.
13. ALL INTERIOR LOT CORNERS WILL HAVE A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED MILDEN & HUNT, INC.
14. ★ DENOTES CURVED SETBACK.
15. DEVELOPER / TRES LAGOS (PID) PUBLIC IMPROVEMENT DISTRICT / OWNER, THEIR SUCCESSORS AND ASSIGNEES AND NOT THE CITY OF MCALLEN SHALL BE RESPONSIBLE FOR COMPLIANCE OF INSTALLATION, MAINTENANCE, REPAIR, REMOVAL, REPLACEMENT, AND OPERATION OF MASONRY WALLS PROVIDING ACCESS CONTROL, AND SOUND BUFFERING WITHIN THE PID.
16. 25 FEET X 25 FEET SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS.
17. A CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED BY THE CITY OF MCALLEN FOR ANY STRUCTURE BUILT ON A LOT IDENTIFIED ON THIS PLAT UNITS, ALL INFRASTRUCTURE REQUIRED TO SERVE THE LOT HAS BEEN INSTALLED, INSPECTED, AND APPROVED BY THE APPROPRIATE AUTHORITY.
18. CITY OF MCALLEN ACTING BY AND THROUGH THE PUBLIC IMPROVEMENT DISTRICT (PID) DEDICATES A WALL EASEMENT FOR THE CONSTRUCTION, MAINTENANCE, REPAIR, REMOVAL, REPLACEMENT, AND OPERATION OF MASONRY WALLS PROVIDING ACCESS CONTROL, AND SOUND BUFFERING WITHIN THE PID.
19. UNITED IRRIGATION DISTRICT NOTES:
 - ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
 - NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH UNLINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.
 - NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
 - NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
20. NOTE FOR MAINTENANCE UNDER SECTION 110-72 & 134-168 CITY OF MCALLEN CODE OF ORDINANCES: THE CITY OF MCALLEN SHALL ONLY BE RESPONSIBLE FOR MAINTAINING THOSE IMPROVEMENTS WHO HAVE BEEN SPECIFICALLY DEDICATED TO AND ACCEPTED BY THE CITY FOR MAINTENANCE. SUCH MAINTENANCE SHALL BE PERFORMED BY AND BE THE SOLE RESPONSIBILITY OF THE TRES LAGOS PUBLIC IMPROVEMENT DISTRICT FOR THOSE IMPROVEMENTS OR RIGHT OF WAYS DEDICATED TO THE CITY ACTING BY AND THROUGH SUCH DISTRICT. PURSUANT TO SECTION 110-72 OF THE CITY OF MCALLEN CODE OF ORDINANCES MAINTENANCE OF AREAS WHICH HAVE NOT BEEN DEDICATED TO AND ACCEPTED FOR MAINTENANCE BY THE CITY AS UNDEDICATED COMMON AREAS. AREAS NOT INCLUDED IN SPECIFIC LOTS, AND THOSE AREAS ADJACENT TO THE SUBDIVISION AND THAT ARE UNIMPROVED AND LIE BETWEEN THE SUBDIVISION AND ADJACENT PAVED PUBLIC STREETS (THE "UNDEDICATED COMMON AREAS") SHALL BE THE RESPONSIBILITY OF THE DEVELOPERS/OWNERS/ASSOCIATION/OWNERS, THEIR SUCCESSORS AND/OR ASSIGNEES AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR ESTANCIA AT TRES LAGOS PHASE I SUBDIVISION, RECORDED AS DOCUMENT NUMBER 2989684 AND THE MASTER DECLARATION OF COVENANTS AND CONDITIONS FOR TRES LAGOS RESIDENTIAL DEVELOPMENT RECORDED AS DOCUMENT NUMBER 2921868, HIDALGO COUNTY, DEED RECORDS COLLECTIVELY (THE "DECLARATIONS") PURSUANT TO SECTION 134-168 OF THE CITY OF MCALLEN CODE OF ORDINANCES MAINTENANCE OF ANY PRIVATE STREETS, PRIVATE STREET LIGHTING, PRIVATE TRAFFIC CONTROL DEVICES AND PRIVATE SIDEWALKS AND PRIVATE COMMON AREAS OF THE SUBDIVISION WHICH HAVE NOT BEEN DEDICATED TO AND ACCEPTED FOR MAINTENANCE BY THE TRES LAGOS PUBLIC IMPROVEMENT DISTRICT (THE "PRIVATE COMMON AREAS") SHALL BE THE RESPONSIBILITY OF THE SUBDIVISION DEVELOPER/OWNER OR THE HOMEOWNERS ASSOCIATION PURSUANT TO THE REQUIREMENTS OF SECTION 134-168, AS APPLICABLE. THE CITY OF MCALLEN SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF SAID DEDICATED COMMON AREAS OR PRIVATE COMMON AREAS. ANY AMENDMENT TO THE DECLARATIONS THAT CONFLICTS WITH THE REQUIREMENTS OF SAID SECTION 110-72 OR SECTION 134-168 SHALL BE NULL AND VOID.
21. AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR ESTANCIA AT TRES LAGOS PHASE II SUBDIVISION, RECORDED AS DOCUMENT NUMBER 2921868, HIDALGO COUNTY, DEED RECORDS COLLECTIVELY (THE "DECLARATIONS") PURSUANT TO SECTION 134-168 OF THE CITY OF MCALLEN CODE OF ORDINANCES MAINTENANCE OF ANY PRIVATE STREETS, PRIVATE STREET LIGHTING, PRIVATE TRAFFIC CONTROL DEVICES AND PRIVATE SIDEWALKS AND PRIVATE COMMON AREAS OF THE SUBDIVISION WHICH HAVE NOT BEEN DEDICATED TO AND ACCEPTED FOR MAINTENANCE BY THE TRES LAGOS PUBLIC IMPROVEMENT DISTRICT (THE "PRIVATE COMMON AREAS") SHALL BE THE RESPONSIBILITY OF THE SUBDIVISION DEVELOPER/OWNER OR THE HOMEOWNERS ASSOCIATION PURSUANT TO THE REQUIREMENTS OF SECTION 134-168, AS APPLICABLE. THE CITY OF MCALLEN SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF SAID DEDICATED COMMON AREAS OR PRIVATE COMMON AREAS. ANY AMENDMENT TO THE DECLARATION THAT CONFLICTS WITH THE REQUIREMENTS OF SECTION 134-168 SHALL BE NULL AND VOID.
22. ALL SHARPLAND WATER SUPPLY CORPORATION EASEMENTS ARE EXCLUSIVE. NO OTHER USE OF EASEMENT IS PERMITTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF SHARPLAND WATER SUPPLY CORPORATION.

ESTANCIA AT TRES LAGOS PHASE III SUBDIVISION

(PRIVATE SUBDIVISION)
BEING A SUBDIVISION OF 27.870 ACRES OUT OF SECTION 232, TEXAS-MEXICAN RAILWAY COMPANY SURVEY ACCORDING TO THE PATENT ISSUED BY THE STATE OF TEXAS, RECORDED IN VOLUME 4, PAGES 142-143, H.C.D.R., CITY OF MCALLEN, HIDALGO COUNTY, TEXAS.

I, SHERILYN DAHLBERG, HEREBY CONDITIONALLY CERTIFY THAT POTABLE WATER SERVICE IS AVAILABLE FOR THE ESTANCIA AT TRES LAGOS PHASE III SUBDIVISION LOCATED AT MCALLEN IN HIDALGO COUNTY, TEXAS, SUBJECT TO THE SUBDIVISION'S POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DESIGN ENGINEER, ALL APPLICABLE RULES AND REGULATIONS OF SHARPLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE, AND FEDERAL AGENCIES.

DEVELOPER AND ITS DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER SYSTEM IS CONSTRUCTED WITHIN THE DESIGNATED SHARPLAND WATER SUPPLY CORPORATION EXCLUSIVE EASEMENT.

DATE
SHERILYN DAHLBERG
GENERAL MANAGER
SHARPLAND WATER SUPPLY CORPORATION

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS EASEMENT OVER THIS PROPERTY IN THE LOCATION IDENTIFIED ON THIS PLAT (THE "TECHNOLOGY EASEMENT") THE TECHNOLOGY EASEMENT SHALL BE AN EXCLUSIVE EASEMENT FOR THE PURPOSE OF INSTALLING, MAINTAINING, REPLACING AND UPGRADING ANY AND ALL CABLE, FIBER, OR OTHER ANY TRANSPORT MEDIA REASONABLY NECESSARY FOR PROVIDING TECHNOLOGY SERVICES, INCLUDING BUT NOT LIMITED TO INTERNET, CABLE, SECURITY, AND RELATED SERVICES, TO THE LOTS CREATED BY THIS PLAT.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

DATE
RAUL E. BERNIN, P.E., C.F.M.
GENERAL MANAGER

THIS PLAT IS HEREBY APPROVED BY UNITED IRRIGATION DISTRICT ON THIS THE ____ DAY OF ____, 20__.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHTS OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

ATTEST: PRESIDENT SECRETARY

MAYOR, CITY OF MCALLEN
ATTESTED BY:
CITY SECRETARY DATE

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION DATE



MELDEN & HUNT, INC.
CONSULTANTS • ENGINEERS • SURVEYORS

115 W. MONTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 • www.meldenandhunt.com

DRAWN BY: R.N. DATE: 11-15-21
SURVEYED CHECKED: DATE:
FINAL CHECK: DATE:

STATE OF TEXAS
COUNTY OF TEXAS

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE ESTANCIA AT TRES LAGOS PHASE III SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HEREBY DEDICATE (S) ALL STREET RIGHT OF WAYS IDENTIFIED AS "PID STREET" ON THE ABOVE PLAT TOGETHER WITH ALL STREET IMPROVEMENTS LOCATED THEREON TO THE CITY OF MCALLEN ACTING BY AND THROUGH THE TRES LAGOS PUBLIC IMPROVEMENT DISTRICT, AN IMPROVEMENT DISTRICT CREATED BY THE CITY OF MCALLEN, TEXAS, PURSUANT TO CHAPTER 372, TEXAS LOCAL GOVERNMENT CODE (THE "PID"), AND THE PID IN ACCEPTING SUCH DEDICATION AGREES THAT IT SHALL BE RESPONSIBLE FOR ALL MAINTENANCE OF SUCH PID STREETS WITH THE COST OF SUCH MAINTENANCE BEING PAID FROM THE ASSESSMENTS FOR MAINTENANCE LEVIED BY THE PID AGAINST THE PROPERTIES BENEFITED BY AND UTILIZING SAID PID STREETS, SO TO THE USE OF THE PUBLIC ALL PUBLIC STREETS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

RHODES DEVELOPMENT, INC.
NICK RHODES, PRESIDENT
200 S. 10TH ST., STE. 1700
MCALLEN, TEXAS 78501
HIDALGO COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED NICK RHODES, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF ____, 20__.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS
MY COMMISSION EXPIRES:

TRES LAGOS PUBLIC IMPROVEMENT DISTRICT HEREBY CERTIFIES AND APPROVES THIS PLAT AND ACCEPTS RESPONSIBILITIES AND NOTES INDICATED HEREIN.

MIKE RHODES, CHAIRMAN OF PUBLIC IMPROVEMENT DISTRICT
200 S. 10TH ST., STE. 1700
MCALLEN, TEXAS 78501
HIDALGO COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MIKE RHODES, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF ____, 20__.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS
MY COMMISSION EXPIRES:

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PRIOR ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

DATED THIS THE ____ DAY OF ____, 20__.

MILDEN & HUNT, INC.
TEXAS REGISTRATION # 1438
STATE OF TEXAS
DATE PREPARED: 05/25/22
ENGINEERING JOB # 21216.0



STATE OF TEXAS
COUNTY OF HIDALGO

I, ROBERT N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR LAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR MONUMENTS SHOWN THEREON MORE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MCALLEN, TEXAS.

DATED THIS THE ____ DAY OF ____, 20__.

ROBERT N. TAMEZ, PROFESSIONAL LAND SURVEYOR No. 6238
STATE OF TEXAS
DATE SURVEYED: 10/09/2021
SURVEY JOB # 21216.08



FILED FOR RECORD IN
HIDALGO COUNTY
AT FORT GUADALUPE,
HIDALGO COUNTY CLERK

ON: ____ AT ____ AM/PM

INSTRUMENT NUMBER
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: ____ DEPUTY

TEXAS-MEXICAN RAILWAY COMPANY SURVEY SECTION 232

VOLUME 4, PAGES 142-143, H.C.D.R.
RHODES ENTERPRISES, INC., A TEXAS CORPORATION
CORRECTION SPECIAL WARRANTY DEED
DOCUMENT NUMBER 2869684, H.C.D.R.

N.N.W. COR. LOT 22
ESTANCIA AT TRES LAGOS SUBDIVISION
P.O.B.

BOUNDARY Curve Table						
Curve #	Length	Radius	Delta	Chord Distance	Chord Length	Tangent
C1*	86.62	255.00	011° 20' 24"	53.87	60.30	34.50

LOTS Curve Table						
Curve #	Length	Radius	Delta	Chord Distance	Chord Length	Tangent
C2	265.70	255.00	001° 02' 17"	52.97	184.16	107.00
C3	187.37	255.00	047° 42' 44"	107.39	182.00	98.50
C4	89.80	255.00	023° 41' 43"	102.97	80.50	47.20
C5	98.70	240.00	013° 43' 43"	104.58	98.50	28.60
C6	27.06	240.00	018° 14' 17"	102.97	17.00	28.20
C7	86.14	240.00	020° 00' 30"	107.08	80.50	43.50
C8	73.01	240.00	017° 04' 24"	108.45	72.14	36.70
C9	75.82	240.00	017° 45' 28"	107.45	75.82	38.27
C10	82.30	255.00	012° 58' 02"	107.26	82.30	37.20
C11	103.82	275.00	008° 00' 00"	109.03	103.82	46.30
C12	172.86	275.00	030° 50' 28"	104.04	163.84	89.28
C13	160.30	275.00	033° 24' 32"	107.22	158.00	80.50
C14	123.52	625.00	008° 30' 32"	107.55	123.41	61.37
C15	107.24	625.00	007° 27' 18"	107.54	107.24	53.70
C16	108.18	625.00	007° 50' 42"	107.23	108.00	54.18
C17	128.71	775.00	009° 30' 50"	110.31	128.66	64.50
C18	128.67	775.00	009° 21' 54"	107.08	128.53	63.48
C19	77.40	775.00	009° 43' 44"	107.27	77.40	38.70
C20	84.51	525.00	009° 30' 18"	107.08	84.51	43.27
C21	104.98	525.00	018° 20' 50"	107.19	104.11	52.73
C22	103.88	525.00	018° 12' 30"	107.30	103.88	52.08
C23	99.30	525.00	018° 27' 28"	107.30	99.30	47.00
C24	84.41	525.00	018° 30' 28"	107.31	84.41	45.50
C25	100.07	525.00	017° 04' 17"	107.00	100.11	50.98
C26	98.07	525.00	017° 21' 40"	107.25	98.07	49.72
C27	84.14	525.00	007° 46' 53"	107.30	84.11	22.10
C28	114.21	185.00	020° 01' 38"	107.27	113.20	61.53
C29	100.07	185.00	008° 04' 42"	107.27	100.14	48.41
C30	104.67	185.00	009° 08' 02"	107.40	104.67	53.33
C31	108.52	275.00	022° 34' 07"	107.33	107.50	54.87
C32	108.04	275.00	022° 41' 48"	107.31	108.23	55.59
C33	84.86	275.00	018° 30' 28"	107.31	84.86	44.82
C34	80.70	275.00	014° 52' 00"	107.30	80.57	36.57
C35	108.30	275.00	030° 44' 28"	107.12	107.10	60.37

Lot Area Table			Front Setback Lines		
Lot #	Area	Length	Line #	Length	Direction
87	19532.07	0.448	529	46.38	N60° 00' 00"E
88	19532.07	0.448	530	46.38	N60° 00' 00"E
89	19532.07	0.448	531	46.38	N60° 00' 00"E
90	19532.07	0.448	532	46.38	N60° 00' 00"E
91	23324.99	0.538	533	65.09	N60° 00' 00"W
92	22777.57	0.511	534	54.01	N60° 00' 00"W
93	18536.46	0.426	535	50.00	N60° 01' 34"E
94	18715.94	0.430	536	28.72	N60° 02' 23"E
95	18715.94	0.430	537	57.16	N60° 02' 00"E
96	18715.94	0.430	538	69.07	N60° 02' 00"E
97	19532.07	0.448	539	50.00	N60° 02' 00"E
98	21078.55	0.484	540	53.59	N60° 02' 00"W
99	21119.96	0.485	541	59.30	N60° 02' 00"W
100	21226.01	0.487	542	53.89	N60° 02' 00"W
101	20782.70	0.477	543	66.07	N60° 22' 34"W
102	19454.54	0.467	544	73.00	N60° 00' 00"W
103	17878.25	0.410	545	73.71	S14° 30' 00"W
104	20632.56	0.474	546	61.87	S60° 00' 00"W
105	21685.70	0.497	547	88.69	S20° 00' 00"E
106	20595.58	0.481	548	101.88	N60° 00' 00"E
107	20388.91	0.468	549	40.73	S45° 00' 00"W
108	21768.53	0.500	550	35.59	S45° 00' 00"W
109	19768.85	0.454	551	52.82	S20° 30' 00"W
110	18582.86	0.427	552	78.79	S20° 30' 00"W
111	18411.69	0.362	553	71.53	S34° 00' 00"E
112	17004.86	0.390			
113	20777.94	0.477			
114	20438.32	0.515			
115	19828.23	0.432			



SUBDIVISION MAP OF
ESTANCIA AT TRES LAGOS PHASE III
SUBDIVISION

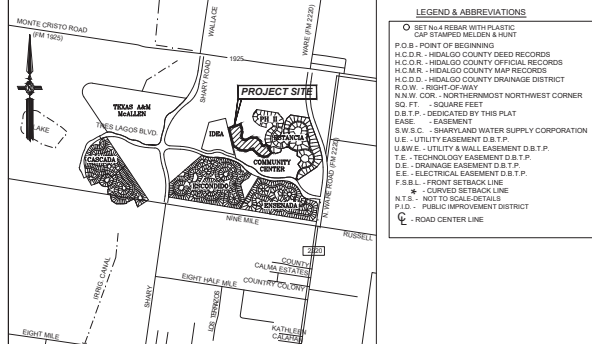
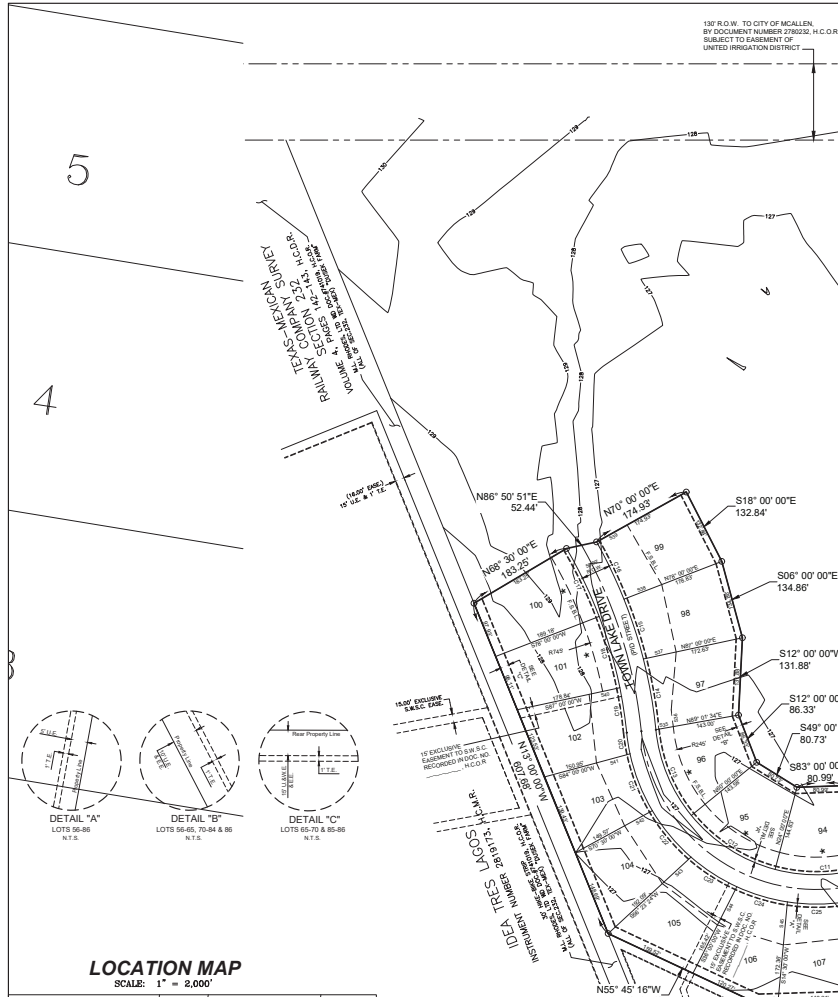
(PRIVATE SUBDIVISION)
BEING A SUBDIVISION OF 15.278 ACRES OUT OF SECTION 232,
TEXAS-MEXICAN RAILWAY COMPANY SURVEY
ACCORDING TO THE PATENT ISSUED BY THE STATE OF TEXAS,
RECORDED IN VOLUME 4, PAGES 142-143, H.C.D.R.,
CITY OF McALLEN, HIDALGO COUNTY, TEXAS

M MELDEN & HUNT, INC.
CONSULTANTS • ENGINEERS • SURVEYORS
115 W. MAIN ST. - EDINBURG, TX 78541
PH: (956) 381-0581 - FAX: (956) 381-1830
ESTABLISHED 1947 - www.meldenandhunt.com

DRAWN BY: B.N. DATE: 11/15/2021
SURVEYED, CHECKED: DATE
FINAL CHECK: DATE

PLAT SHEET 2 OF 2

\\land-development\Bentley\Bentley\21716 - Estancia at Tres Lagos II\2020\AutoCAD\Estancia at Tres Lagos Phase III.dwg 10/15/2022 1:05:54 PM, Ryan



LEGEND & ABBREVIATIONS
 ○ SET 1/4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
 P.O.B. - POINT OF BEGINNING
 H.C.D.R. - HIDALGO COUNTY DEED RECORDS
 H.C.D.R. - HIDALGO COUNTY OFFICIAL RECORDS
 H.C.M.R. - HIDALGO COUNTY MAP RECORDS
 H.C.D.D. - HIDALGO COUNTY DRAINAGE DISTRICT
 R.O.W. - RIGHT-OF-WAY
 N.N.W. COR. - NORTHWEST CORNER
 S.W.S.C. - SQUARE FEET
 D.B.T.P. - DEDICATED BY THIS PLAT
 EASEMENT - EASEMENT
 S.W.S.C. - SHARPLAND WATER SUPPLY CORPORATION
 U.E. - UTILITY EASEMENT D.B.T.P.
 U.W.E. - UTILITY & WALL EASEMENT D.B.T.P.
 T.E. - TECHNOLOGY EASEMENT D.B.T.P.
 D.E. - DRAINAGE EASEMENT D.B.T.P.
 E.E. - ELECTRICAL EASEMENT D.B.T.P.
 F.B.L. - FRONT SETBACK LINE
 C.B.L. - CURVED SETBACK LINE
 N.T.S. - NOT TO SCALE DETAILS
 P.I.D. - PUBLIC IMPROVEMENT DISTRICT
 C - ROAD CENTER LINE



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/13/2023

SUBDIVISION NAME: ESTANCIA AT TRES LAGOS PHASE III	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
Town Lake Drive: 50 ft. ROW Paving: 32 ft. minimum Curb & gutter: Both sides Revisions needed: - Temporary turnaround and any barricades required at the west end of this street will have to be provided prior to final. **Monies must be escrowed if improvements are not built prior to recording. ***Subdivision Ordinance: 134-105	Non-compliance
Paving _____ Curb & gutter _____ * 800 ft. Block Length. Per agreement - Common areas and access walks/drives provided. **Subdivision Ordinance: Section 134-118	Applied
* 600 ft. Maximum Cul-de-Sac. Cul-de-sac street length does not apply provided that the development uses the "coving method" and emergency access walks/drives are provided, per agreement. **Subdivision Ordinance: Section 134-105	Applied
ALLEYS	
ROW: 20 ft. Paving: 16 ft. **Subdivision Ordinance: Section 134-106	NA
SETBACKS	
* Front: 20 ft. minimum or as shown in "Front Setback Table" (sheet 2 of 2). **Must comply with PID requirements. **Zoning Ordinance: Section 138-356	Applied
* Rear: 11 ft. or greater for easements 16 ft. or greater for easements for Lots 100-115 **Must comply with PID requirements. **Zoning Ordinance: Section 138-356	Applied
* Corner: 10 ft. or greater for easements **Must comply with PID requirements. **Zoning Ordinance: Section 138-356	Applied
* Interior Sides: 5 ft. or greater for easements per agreement. **Must comply with PID requirements. **Zoning Ordinance: Section 138-356	Applied
* Garage: 18 ft. except where greater setback is required; greater setback applies. **Must comply with PID requirements. **Zoning Ordinance: Section 138-356	Applied
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

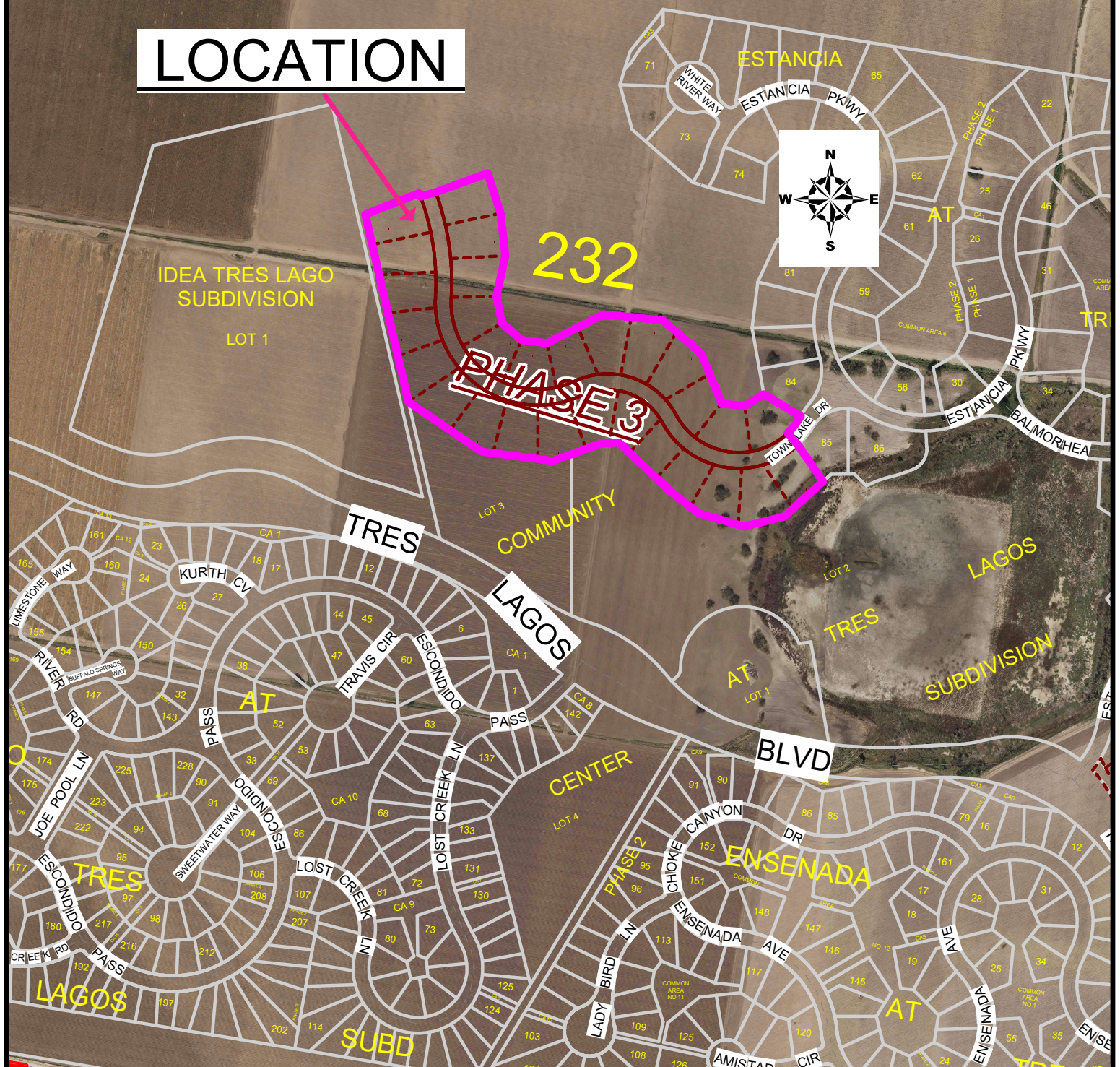
SIDEWALKS	
<ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on interior streets, as per approved sidewalk plan filed with the City at building permit stage. - Provided sidewalk layout. ****Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time. 	Applied
	Required
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements. 	Applied
	Applied
	Required
NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along. **City's Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Common Areas, any private streets/drives, etc. must be maintained by the lot owners and not the City of McAllen * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. *Section 110-72 applies for public subdivisions * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **HOA Document will be recorded simultaneously with plat. *Section 110-72 applies for public subdivisions 	Applied
	NA
	NA
	Applied
	Required
	Required
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Minimum lot width and lot area. **Zoning Ordinance: Section. 138-356 * Lots fronting public streets. **Zoning Ordinance: 138-1 	Compliance
	Compliance
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: R-1 and C-4 Proposed: R-1 **Rezoning must be completed prior to final plat review. ***Zoning Ordinance: Article V * Rezoning Needed Before Final Approval **Rezoning must be completed prior to final plat review. ***Zoning Ordinance: Article V 	Non-compliance
	Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

PARKS	
* Land dedication in lieu of fee. As per Parks Department, Waiver granted through Waivers and Exceptions to the City of McAllen Platting Regulations, EXHIBIT "D", Item 6. -- Page 24	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Waiver granted through Waivers and Exceptions to the City of McAllen Platting Regulations, EXHIBIT "D", Item 6. -- Page 24	NA
* Pending review by the Parkland Dedication Advisory Board and CC. Waiver granted through Waivers and Exceptions to the City of McAllen Platting Regulations, EXHIBIT "D", Item 6. -- Page 24	NA
TRAFFIC	
* As per Traffic Department, Master TIA approved.	Completed
* Traffic Impact Analysis (TIA) required prior to final plat.	Completed
* As per Traffic Department, Master TIA approved.	
COMMENTS	
Comments/Revisions needed: - Requirements subject to change once updated plat has been submitted and reviewed by staff. - Rezoning must be finalized prior to final plat review. ** Must comply with the Agreement and Public Improvement District (PID) conditions/requirements. **Per Traffic, must comply with City's Access Management Policy. **Subdivision approved in Preliminary form at the Special P&Z meeting of December 7, 2021 **Must comply with City's Access Management Policy	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE PRELIMINARY 6-MONTH EXTENSION SUBJECT TO CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVALS.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOCATION



City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Subarea-0133

Project Information	Subdivision Name <u>The District Subdivision Phase II</u>	
	Location <u>880 feet west of the corner of North 10th Street and Auburn <u>WISCONSIN RD</u> Avenue</u>	
	City Address or Block Number <u>1201 WISCONSIN RD</u>	
	Number of Lots <u>1</u> Gross Acres <u>7.589</u> Net Acres _____ ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R-3A</u> Proposed Zoning <u>R-3A</u> Rezoning Applied for <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Date <u>10.22.2021</u>	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Multi-family Apartment</u> Irrigation District # <u>2</u>	
	Replat <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Commercial _____ Residential <u>X</u>	
	Agricultural Exemption <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Estimated Rollback Tax Due <u>1 189867 TAXES DUE \$57.59 2 189869 NO TAXES DUE 3 792230 NO TAXES DUE</u>	
	Parcel # <u>1 189867 2 189869 & 3 792230</u> Tax Dept. Review _____	
	Water CCN <input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____	
Legal Description <u>A tract of land containing 7.589 acres situated in the County of Hidalgo, Texas, being a part or portion out of Lot 11, Section 13, Hidalgo Canal Company Subdivision, according to the plat thereof recorded in Volume "Q", Page 177, Hidalgo County Deed Records.</u>		
Owner	Name <u>View attached owners sheet</u> Phone <u>c/o (956) 381-0981</u>	
	Address _____ E-mail <u>c/o mario@meldenandhunt.com</u>	
	City _____ State _____ Zip _____	
Developer	Name <u>Auriel Investments</u> Phone <u>(956) 661-8888</u>	
	Address <u>100 East Nolana Avenue, Suite 130</u> E-mail <u>shavi@aurielinvestments.com</u>	
	City <u>McAllen</u> State <u>Texas</u> Zip <u>78504</u>	
	Contact Person <u>Shavi Mahtani</u>	
Engineer	Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u>	
	Address <u>115 West McIntyre Street</u> E-mail <u>(956) 381-1839</u>	
	City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>	
	Contact Person <u>Mario A. Reyna, P.E.</u>	
Surveyor	Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u>	
	Address <u>115 West McIntyre Street</u> E-mail <u>(956) 381-1839</u>	
	City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>	

ENTERED

NOV 11 2021

Initial: Out

Proposed Plat Submittal

- ✓ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ✓ Title Report
- ✓ 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3
blue-line copies 2 Location Maps
- ✓ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- ✓ 6 Folded blue-line prints of the proposed plat
- ✓ 2 Warranty Deeds (identifying owner on application)
- ✓ AutoCAD 2005 DWG file and PDF of plat
- ✓ Letter of Authorization from the owner, if applicable
- ✓ Proof of authority of person signing application on behalf of
partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted Surrounding
platted lots and/or lot lines for unsubdivided tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor
shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from
centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blue-line copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Minimum Developer's Requirements Submitted with Application

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

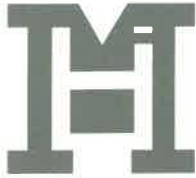
Signature  Date October 21, 2021

Print Name Mario A. Reyna, P.E.

Owner ☐

Authorized Agent ☒

Owners Signature



TBPELS Firm # F-1435
TBPELS # 10096900

MELDEN & HUNT INC.

CONSULTANTS • ENGINEERS • SURVEYORS

MARIO A. REYNA • ALLAN F. BOOE • KELLEY A. HELLER-VELA • ROBERTO N. TAMEZ • RUBEN JAMES DE JESUS • MICHAEL HERNANDEZ

January 06, 2023

Edgar Garcia, Planning Director
CITY OF MCALLEN PLANNING DEPT.
P.O. Box 220
McAllen, Texas 78505

Re: THE DISTRICT SUBDIVISION PHASE II – REQUEST FOR EXTENSION

Dear Mr. Garcia:

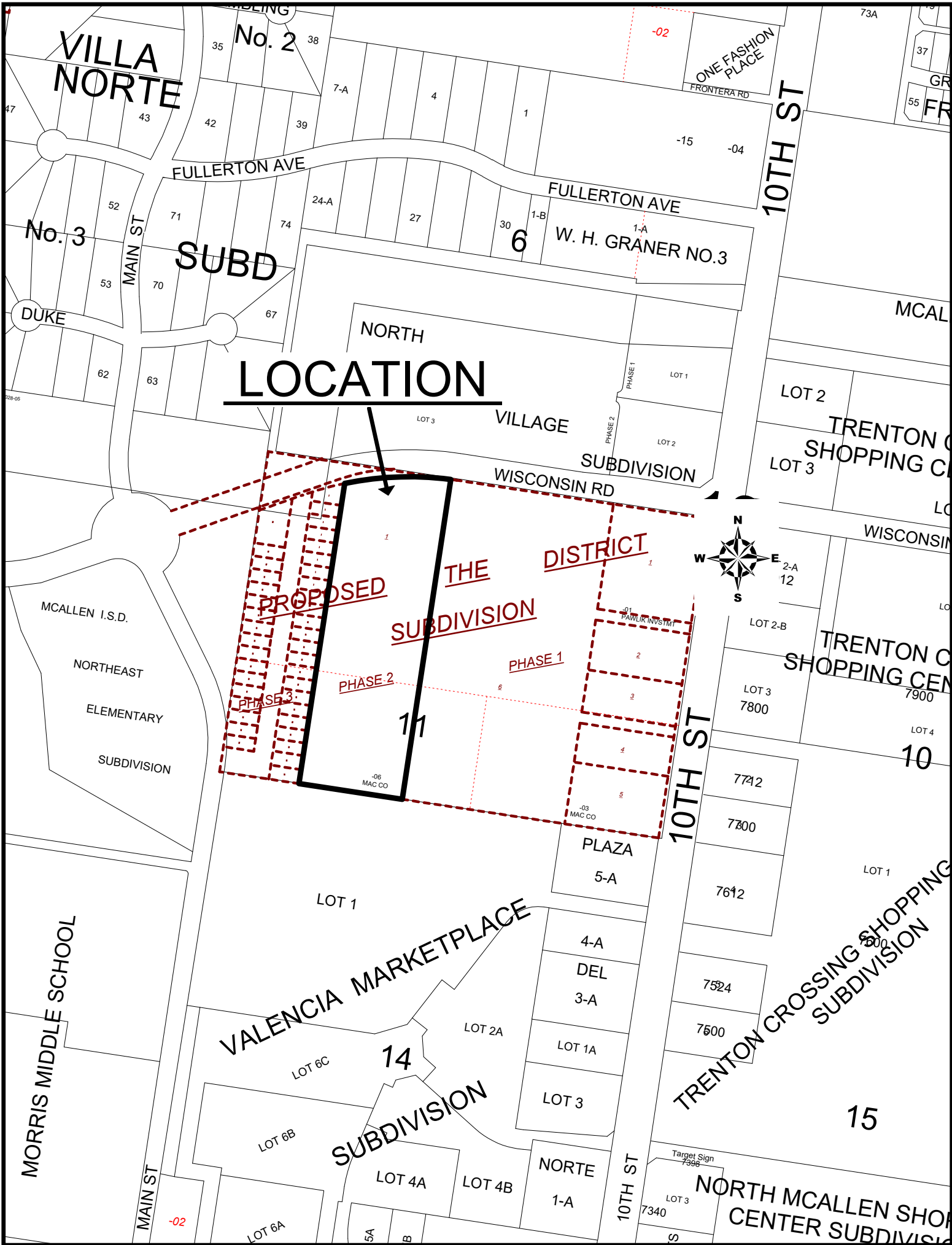
On behalf of the owner, Domain Development Corp, Melden & Hunt, Inc. is requesting a six-month extension on the above referenced subdivision plat. According to our records, the Planning and Zoning Commission gave the plat preliminary approval on December 07, 2021. The owners are requesting an additional six-month time frame.

Your consideration on this request at your next board meeting is appreciated. If you have any questions and/or require additional information, please do not hesitate to contact me.

Respectfully,

Mario A. Reyna, P.E.
President

Cc: Domain Development Corp



VILLA NORTE

No. 2

No. 3

SUBD

LOCATION

NORTH

VILLAGE

SUBDIVISION

PROPOSED

THE SUBDIVISION

DISTRICT

PHASE 2

PHASE 1

11

LOT 1

VALENCIA MARKETPLACE

14

SUBDIVISION

MORRIS MIDDLE SCHOOL

PLAZA 5-A

4-A

DEL 3-A

LOT 1A

LOT 3

NORTE 1-A

LOT 2

TRENTON SHOPPING C

LOT 3

TRENTON SHOPPING CEN

10

10TH ST



LOT 2-B

LOT 3 7800

7742

7800

7612

7524

7600

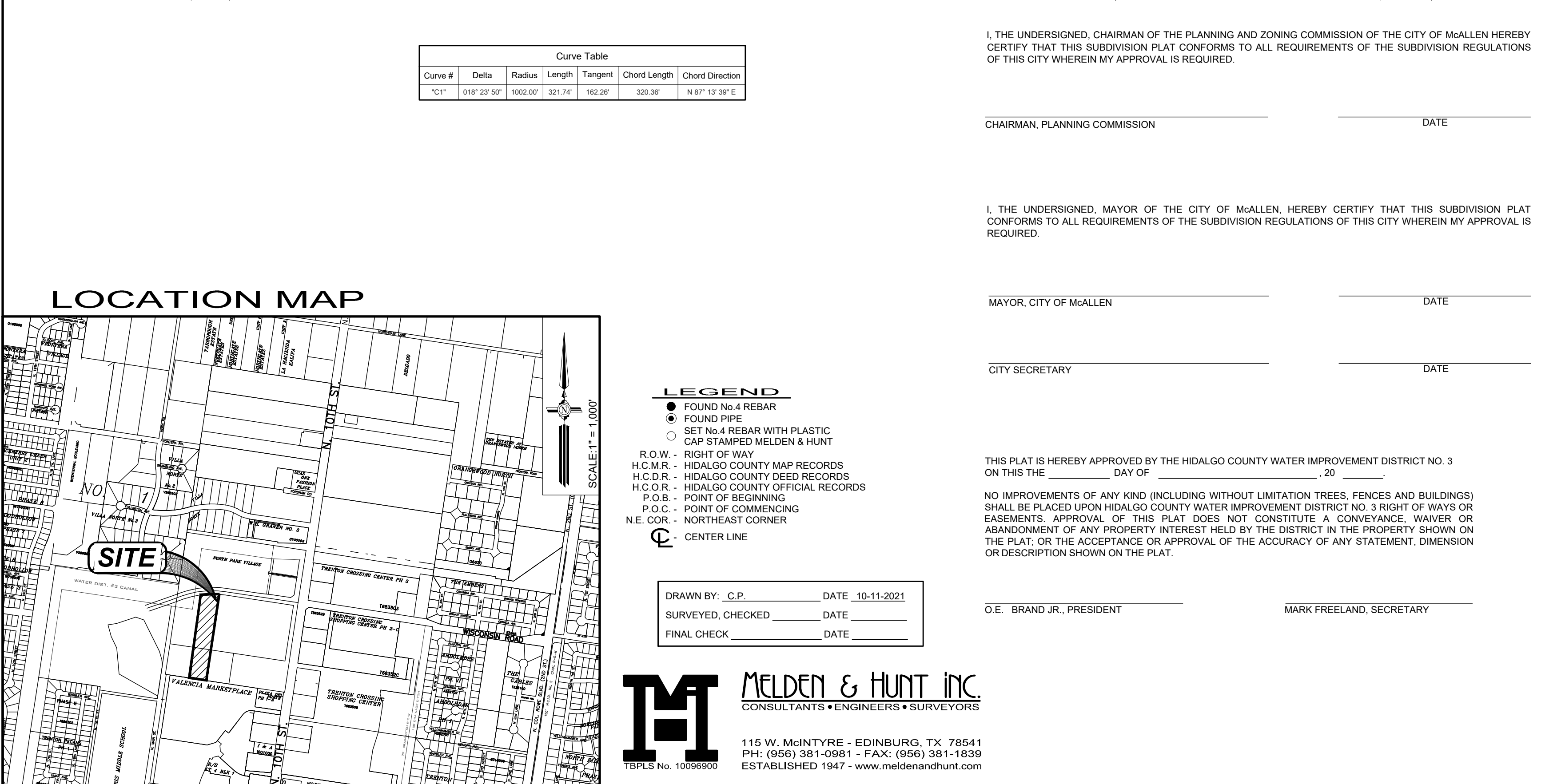
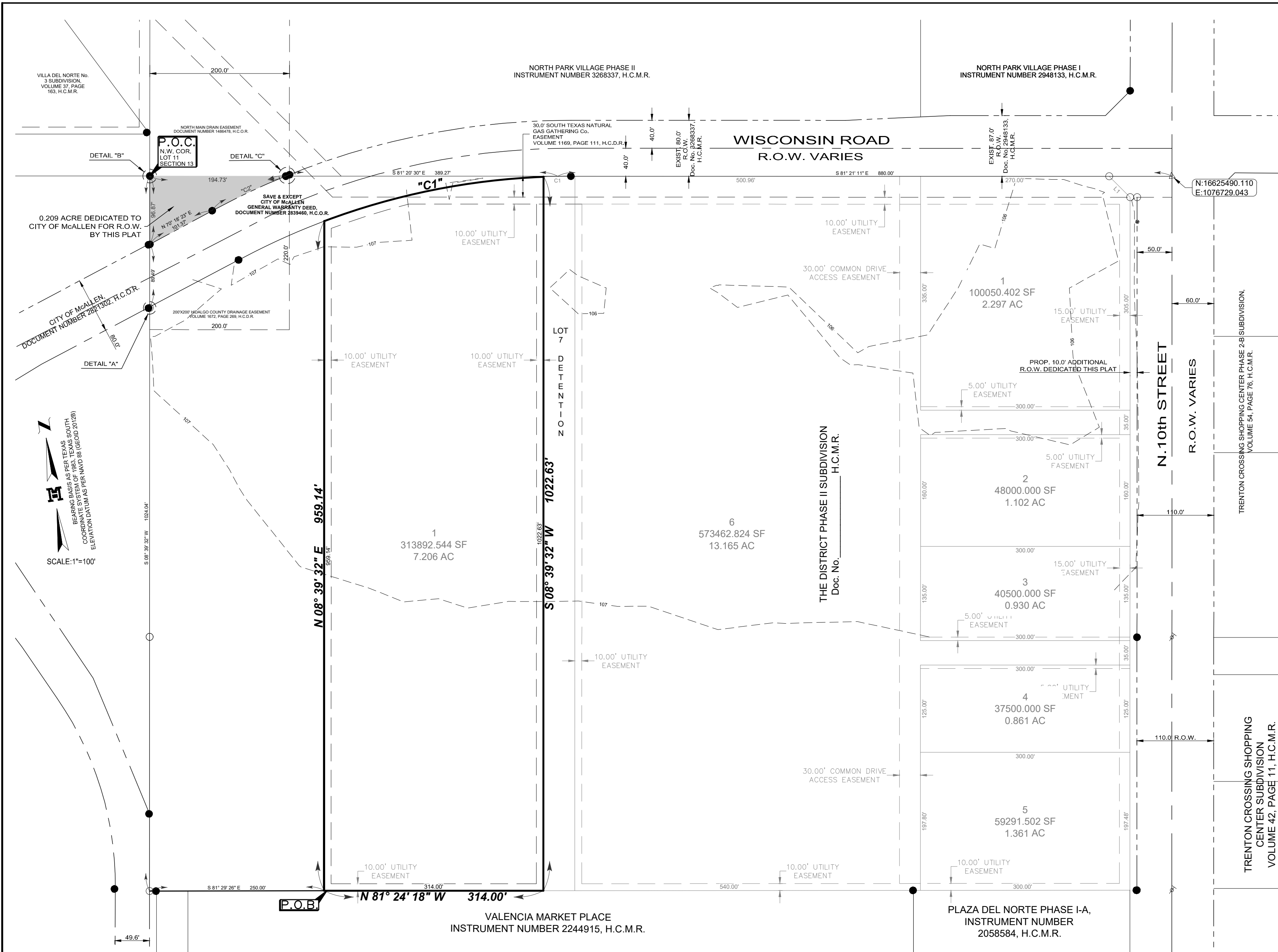
TRENTON CROSSING SHOPPING SUBDIVISION

15

NORTH MCALLEN SHOP CENTER SUBDIVISION

Target Sign 7998

LOT 3 7340



SUBDIVISION MAP OF THE DISTRICT PHASE II SUBDIVISION

BEING A SUBDIVISION OF 7.206 ACRES SITUATED IN THE COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF LOT 11, SECTION 13, HIDALGO CANAL COMPANY SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME "Q", PAGE 177, HIDALGO COUNTY DEED RECORDS.

METES AND BOUNDS DESCRIPTION:

A TRACT OF LAND CONTAINING A TRACT OF LAND CONTAINING 7.206 ACRES SITUATED IN THE COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF LOT 11, SECTION 13, HIDALGO CANAL COMPANY SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME "Q", PAGE 177, HIDALGO COUNTY DEED RECORDS, SAID 7.206 ACRES ARE OUT OF A CERTAIN TRACT CONVEYED TO PAWLK FAMILY PROPERTIES BY VIRTUE OF A SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2858940, HIDALGO COUNTY OFFICIAL RECORDS, TO CHAZZLAND, LLC A TEXAS LIMITED LIABILITY COMPANY BY VIRTUE OF A WARRANTY DEED WITH VENDORS LIEN RECORDED UNDER DOCUMENT NUMBER 2372498, HIDALGO COUNTY OFFICIAL RECORDS, AND THE EPISCOPAL CHURCH FOUNDATION IN WEST TEXAS, BY VIRTUE OF A SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 1600772, HIDALGO COUNTY OFFICIAL RECORDS, SAID 6.971 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING ON A NO. 4 REBAR SET AT THE NORTHWEST CORNER OF SAID LOT 11, SECTION 13 FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;

THENCE, S 08° 39' 32" W ALONG THE WEST LINE OF SAID LOT 11, SECTION 13, A DISTANCE OF 1,024.04 FEET;

THENCE, S 81° 29' 17" E ALONG THE NORTH LINE OF VALENCIA MARKET PLACE SUBDIVISION RECORDED UNDER INSTRUMENT NUMBER 2244915, HIDALGO COUNTY MAP RECORDS, A DISTANCE OF 250.00 FEET TO THE A NO. 4 REBAR SET FOR THE SOUTHWEST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

1. THENCE, N 08° 39' 32" E A DISTANCE OF 959.14 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER OF THIS TRACT;

2. THENCE, IN A NORTHEASTERLY DIRECTION ALONG THE EXISTING SOUTH RIGHT-OF-WAY LINE OF AUBURN AVENUE, ALONG A CURVE TO THE RIGHT, WITH A CENTRAL ANGLE OF 018° 23' 50", A RADIUS OF 1,002.00 FEET, AN ARC LENGTH OF 321.74 FEET, A TANGENT OF 162.20 FEET, AND A CHORD THAT BEARS N 87° 13' 39" E A DISTANCE OF 320.36 FEET TO A NO. 4 REBAR SET FOR THE NORTHEAST CORNER OF THIS TRACT;

3. THENCE, S 08° 39' 32" W A DISTANCE OF 1,022.63 FEET TO A NO. 4 REBAR SET FOR THE SOUTHEAST CORNER OF THIS TRACT;

4. THENCE, N 81° 24' 18" W ALONG THE NORTH LINE OF SAID VALENCIA MARKET PLACE SUBDIVISION, A DISTANCE OF 314.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 7.206 ACRES OF LAND, MORE OR LESS.

GENERAL NOTES :

1. THIS SUBDIVISION IS IN FLOOD ZONE "C" AREAS OF MINIMAL FLOODING. COMMUNITY-PANEL NUMBER: 480334 0425 C MAP REVISED: NOVEMBER 16, 1982.

2. MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE THE FRONT TOP OF CURB MEASURED FROM THE CENTER OF THE LOT.

3. MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF McALLEN ZONING CODE:

FRONT: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS OR IN LINE WITH EXISTING STRUCTURES.

REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS.

INTERIOR SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS.

GARAGE: 18 FT, EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES.

4. CITY OF McALLEN BENCHMARK: NUMBER MC 50, TOP OF 30" ALUMINUM PIPE WITH A 3-1/4" BRASS MONUMENT CAP ON TOP AT THE WEST BOUND OF 10TH ST. IN BETWEEN TRENTON ROAD & FULLERTON AVE. GEODETIC G.P.S. TEXAS STATE PLANE GRID COORDINATE SYSTEM, NAD 83 TEXAS SOUTH 4205 ELEVATION PER NAVD 88 (GEOID 2003) N=166262258.4143, E=10767596.43038, ELEV=106.63

BENCHMARK: SQUARE CUT ON TOP OF CURB INLET ON THE EAST SIDE OF PROPERTY WITH AN ELEVATION OF: 106.88

REQUIRED STORM SEWER RUNOFF DETENTION FOR THIS SUBDIVISION AS PER THE APPROVED DRAINAGE REPORT: 63.951 C.F. - 1.488 AC.-FT. TO BE PROVIDED WITHIN DESIGNATED DETENTION AREAS. DETENTION FOR THIS SUBDIVISION WILL PROVIDED BY AN UNDERGROUND DETENTION SYSTEM THAT WILL BLEED OUT TO AN EXISTING CITY OF McALLEN CURB INLET.

5. AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF McALLEN ENGINEERING DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT FOR ALL NEW BUILDING.

6. NO STRUCTURES PERMITTED TO BE BUILT OVER EASEMENTS.

7. 4 FT. WIDE SIDEWALK REQUIRED ON WISCONSIN ROAD.

8. 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES.

9. 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.

10. THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.

11. 25 X 25 SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS AND 10 X 10 CLIP REQUIRED AT ALL STREET AND ALLEY INTERSECTIONS.

12. LOT 7 TO BE DESIGNATED AS DETENTION

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE

THE STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE DISTRICT PHASE II SUBDIVISION SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

CHARLES E. THOMPSON, JR. - MANAGING MEMBER
CHAZZLAND, LLC A TEXAS LIMITED LIABILITY COMPANY
314 SOUTH 11TH STREET
McALLEN, TX 78501

DATE

THE STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CHARLES E. THOMPSON, JR., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

THE STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE DISTRICT PHASE II SUBDIVISION SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

JAMES LOUIS PAWLK - GOVERNING PERSON
OF PAWLK FAMILY PROPERTIES, LLC
2725 PALMER DRIVE
PHARR, TX 78577-6923

DATE

THE STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JAMES LOUIS PAWLK KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

THE STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE DISTRICT PHASE II SUBDIVISION SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

DAN E. BUTT - EXECUTIVE DIRECTOR FOR
THE EPISCOPAL CHURCH FOUNDATION IN WEST TEXAS
P.O. BOX 6885
SAN ANTONIO, TX 78209-6885

DATE

THE STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DAN W. BUTT KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

DATED THIS THE _____ DAY OF _____, 20____.

MELDEN & HUNT, INC.
TEXAS REGISTRATION F-1435

MARIO A. REYNA, PROFESSIONAL ENGINEER No. 117368
STATE OF TEXAS

DATE PREPARED: 08/31/2021
ENGINEERING JOB # 21143.00

STATE OF TEXAS
COUNTY OF HIDALGO

I, FRED L. KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF McALLEN, TEXAS.

DATED THIS THE _____ DAY OF _____, 20____.

FRED L. KURTH, PROFESSIONAL LAND SURVEYOR No. 4750
STATE OF TEXAS

DATE SURVEYED: 07/30/2021
T-1127 PG. 58
SURVEY JOB # 21726.08

FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/13/2023

SUBDIVISION NAME: THE DISTRICT PHASE II

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Auburn Avenue: 80-87 ft. ROW
Paving: 52-57 ft. Curb & gutter: Both sides
Revisions needed:
- Revise street name from Wisconsin Road to Auburn Avenue on plat and anywhere else applicable.
**Monies must be escrowed if any improvements are required prior to recording.
***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

Non-compliance

Paving _____ Curb & gutter _____

Applied

* 800 ft. Block Length.
**Subdivision Ordinance: Section 134-105

NA

* 600 ft. Maximum Cul-de-Sac.
**Subdivision Ordinance: Section 134-105

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.
Revisions needed:
- Service drive may be required by Public Works Department, finalize prior to final.
*Alley/service drive easement required for commercial properties and multi-family properties.
***Minimum paving for Service drive is 24 ft. face-to-face. If any islands/boulevards are proposed, 20 ft. of paving face-to-face on each side of the island must be provided.
**Subdivision Ordinance: Section 134-106

Non-compliance

SETBACKS

* Front: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures.
**Zoning Ordinance: Section 138-356
* Rear: In accordance with the Zoning Ordinance or greater for approved site plan or easements.
**Zoning Ordinance: Section 138-356
* Interior sides: In accordance with the Zoning Ordinance or greater for approved site plan or easements.
**Zoning Ordinance: Section 138-356
* Corner:
* Garage: 18 ft. except where greater setback is required; greater setback applies.
***Zoning Ordinance: 138-356
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN

Applied

Applied

Applied

NA

Applied

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SIDEWALKS	
<ul style="list-style-type: none"> * 4 ft. wide sidewalk required on Auburn Avenue. Revisions needed: <ul style="list-style-type: none"> -Revise plat note #7 as shown above prior to final. ***5 ft. sidewalk as might be required by Engineering Department on North 10th Street prior to final. ****Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time. 	Applied
	Applied
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46 	Applied
<ul style="list-style-type: none"> * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46 	Applied
<ul style="list-style-type: none"> *Perimeter buffers must be built at time of Subdivision Improvements. 	Applied
NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along. **Verify compliance with Access Management Policy prior to final. 	Applied
<ul style="list-style-type: none"> * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. **Plat note not needed for this requirement. Please remove plat note between plat note #3 and #4. 	Applied
<ul style="list-style-type: none"> * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. 	Applied
<ul style="list-style-type: none"> * Common Areas, any private streets/drives, etc. must be maintained by the lot owners and not the City of McAllen 	Required
<ul style="list-style-type: none"> * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. *Section 110-72 applies for public subdivisions 	NA
<ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Subdivision Ordinance: 134-168 	NA
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Minimum lot width and lot area. **Zoning Ordinance: Section. 138-356 	Compliance
<ul style="list-style-type: none"> * Lots fronting public streets. **Zoning Ordinance: 138-1 	Compliance
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: R-3A and C-3 Proposed: R-3A **Rezoning to R-3A for the remaining portion of the property zoned C-3 was approved by City Commission on January 10, 2022. ***Zoning Ordinance: Article V 	Compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

* Rezoning Needed Before Final Approval **Rezoning to R-3A for the remaining portion of the property zoned C-3 was approved by City Commission on January 10, 2022. ***Zoning Ordinance: Article V	Compliance
PARKS	
* Land dedication in lieu of fee.	TBD
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording.	TBD
* Pending review by City Manager	TBD
TRAFFIC	
* As per Traffic Department, Master Trip Generation required.	Non-compliance
* Traffic Impact Analysis (TIA) required prior to final plat.	TBD
* * As per Traffic Department, Master Trip Generation required.	
COMMENTS	
Comments/Revisions needed: - Requirements subject to change once updated plat has been submitted and reviewed by staff. - Site plan will be reviewed internally by staff prior to building permit issuance. - Include signature blocks for all property owners prior to recording. You may include a second page prior to recording for signatures. - Submit paving layout to verify compliance with minimum paving widths requirements prior to final. 20 ft. face-to-face required on both sides of islands - Subdivision name might have to be revised prior to final since there is an existing recorded subdivision under the name of "The District at McAllen" **Subdivision approved in Preliminary form at the P&Z meeting of December 7, 2021 *Must comply with City's Access Management Policy	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE PRELIMINARY 6-MONTH EXTENSION SUBJECT TO CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVALS.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

SUB2021-0134

Project Information	Subdivision Name <u>The District Subdivision Phase III</u>	
	Location <u>1,210 feet west of the corner of North 10th Street and Auburn Avenue <u>WISCONSIN RD</u></u>	
	City Address or Block Number <u>1301 WISCONSIN RD</u>	
	Number of Lots <u>39</u> Gross Acres <u>5.258</u> Net Acres _____ ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
	Existing Zoning <u>C-3</u> Proposed Zoning <u>R-3T</u> Rezoning Applied for <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Date <u>10.22.2021</u>	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Townhomes</u> Irrigation District # <u>2</u>	
	Replat <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Commercial _____ Residential <u>X</u>	
	Agricultural Exemption <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Estimated Rollback Tax Due <u>1 189867 TAXES DUE \$57.59</u> <u>2 189869 NO TAXES DUE</u> <u>3 792230 NO TAXES DUE</u>	
	Parcel # <u>1 189867,</u> Tax Dept. Review _____ <u>2 189869 &</u> <u>3 792230</u>	
	Water CCN <input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____	
Legal Description <u>A tract of land containing 5.258 acres situated in the County of Hidalgo, Texas, being a part or portion out of Lot 11, Section 13,</u> <u>Hidalgo Canal Company Subdivision, according to the plat thereof recorded in Volume "Q", Page 177, Hidalgo County Deed Records.</u>		
Owner	Name <u>View attached owner sheet</u> Phone <u>c/o (956) 381-0981</u>	
	Address _____ E-mail <u>c/o mario@meldenandhunt.com</u>	
	City _____ State _____ Zip _____	
Developer	Name <u>Auriel Investments</u> Phone <u>(956) 661-8888</u>	
	Address <u>100 East Nolana Avenue, Suite 130</u> E-mail <u>shavi@aurielinvestments.com</u>	
	City <u>McAllen</u> State <u>Texas</u> Zip <u>78504</u>	
	Contact Person <u>Shavi Mahtani</u>	
Engineer	Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u>	
	Address <u>115 West McIntyre Street</u> E-mail <u>(956) 381-1839</u>	
	City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>	
	Contact Person <u>Mario A. Reyna, P.E.</u>	
Surveyor	Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u>	
	Address <u>115 West McIntyre Street</u> E-mail <u>(956) 381-1839</u>	
	City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>	

ENTERED

NOV 11 2021

Initial: AM

Proposed Plat Submittal

- ✓ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ✓ Title Report
- ✓ 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- ✓ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- ✓ 6 Folded blueline prints of the proposed plat
- ✓ 2 Warranty Deeds (identifying owner on application)
- ✓ AutoCAD 2005 DWG file and PDF of plat
- ✓ Letter of Authorization from the owner, if applicable
- ✓ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Minimum Developer's Requirements Submitted with Application

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date October 21, 2021

Print Name Mario A. Reyna, P.E.

Owner ☐

Authorized Agent ☒



TBPELS Firm # F-1435
TBPELS # 10096900

MELDEN & HUNT INC.

CONSULTANTS • ENGINEERS • SURVEYORS

MARIO A. REYNA • ALLAN F. BOOE • KELLEY A. HELLER-VELA • ROBERTO N. TAMEZ • RUBEN JAMES DE JESUS • MICHAEL HERNANDEZ

January 06, 2023

Edgar Garcia, Planning Director
CITY OF MCALLEN PLANNING DEPT.
P.O. Box 220
McAllen, Texas 78505

Re: THE DISTRICT SUBDIVISION PHASE III – REQUEST FOR EXTENSION

Dear Mr. Garcia:

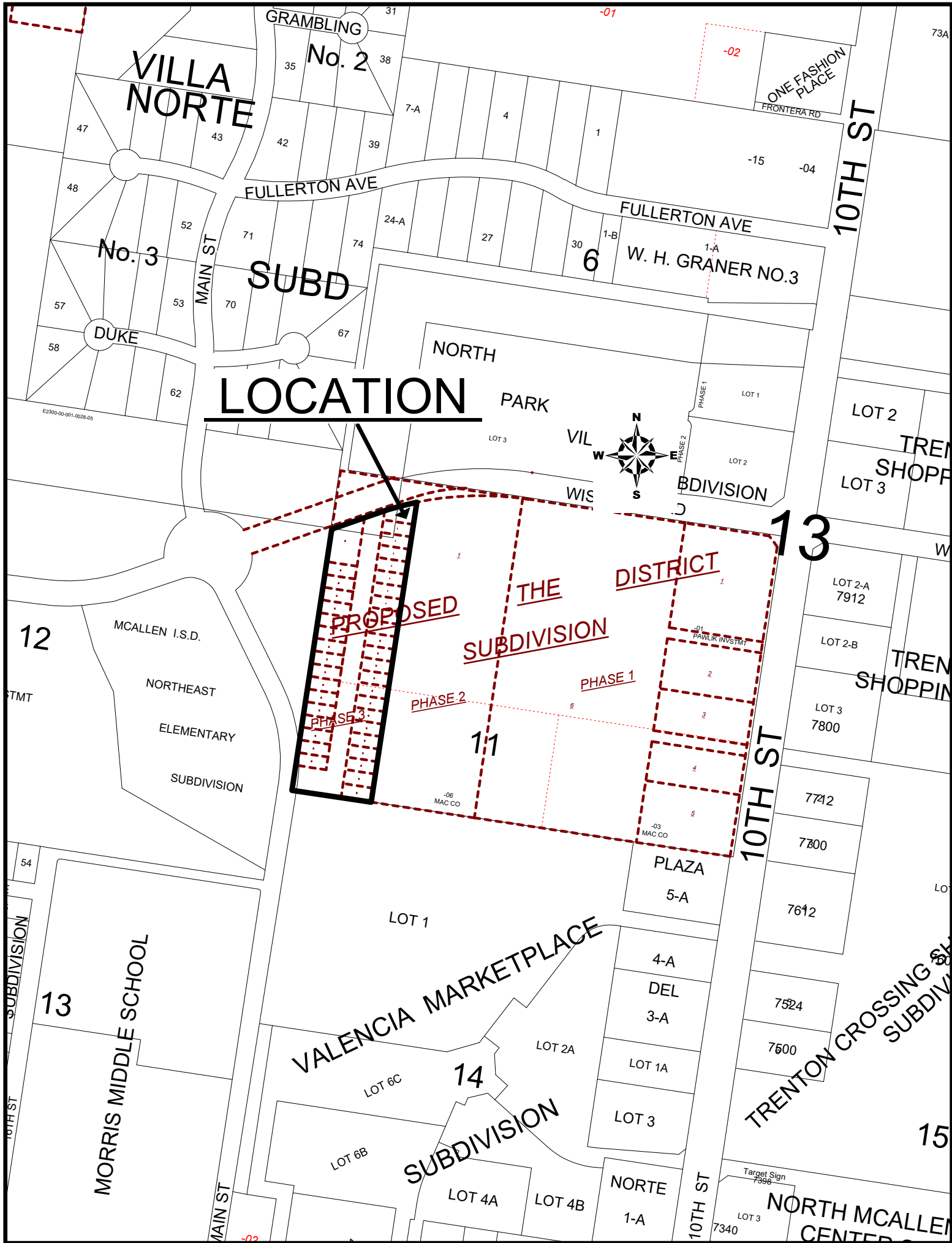
On behalf of the owner, Domain Development Corp, Melden & Hunt, Inc. is requesting a six-month extension on the above referenced subdivision plat. According to our records, the Planning and Zoning Commission gave the plat preliminary approval on December 07, 2021. The owners are requesting an additional six-month time frame.

Your consideration on this request at your next board meeting is appreciated. If you have any questions and/or require additional information, please do not hesitate to contact me.

Respectfully,

Mario A. Reyna, P.E.
President

Cc: Domain Development Corp





City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/13/2023

SUBDIVISION NAME: THE DISTRICT PHASE III

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Auburn Avenue: 80-87 ft. ROW
Paving: 52-57 ft. Curb & gutter: Both sides
Revisions needed:
- Revise street name from Wisconsin Road to Auburn Avenue on plat and anywhere else applicable.
**Monies must be escrowed if any improvements are required prior to recording.
***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

Internal ROW: 60- 80 ft. proposed
Paving: 40 ft. Curb & gutter: Both sides
**Monies must be escrowed if improvements are not built prior to recording.
***Gate details must be submitted for staff to review prior to final if applicable. ROW at entrances might be required to be increased based on proposed gate details.
****Street name will be assigned prior to final.
*****Clarify if main entrance will be through Main Street or Wisconsin Road.
*****Subdivision Ordinance: Section 134-105

* 800 ft. Block Length:
**Subdivision Ordinance: Section 134-105

* 600 ft. Maximum Cul-de-Sac.
**Subdivision Ordinance: Section 134-105

Non-compliance

Non-compliance

Compliance

NA

ALLEYS

ROW: 20 ft. Paving: 16ft.
Revisions needed:
- Service drive may be required by Public Works Department, finalize prior to final.
*Alley/service drive easement required for commercial properties and multi-family properties
**Subdivision Ordinance: Section 134-106

Non-compliance

SETBACKS

* Front: 10 ft. or greater for easements.
**Plat note #3 to be revised prior to final as shown above.
***Setbacks are based on R-3T Zoning District. Rezoning to R-3T must be finalized prior to final plat review.
*****Zoning Ordinance: Section 138-356

* Rear: 10 ft. or greater for easements.
**Plat note #3 to be revised prior to final as shown above.
***Setbacks are based on R-3T Zoning District. Rezoning to R-3T must be finalized prior to final plat review.
*****Zoning Ordinance: Section 138-356

* Interior Sides: In accordance with the Zoning Ordinance or greater for easements.
***Setbacks are based on R-3T Zoning District. Rezoning to R-3T must be finalized prior to final plat review.
*****Zoning Ordinance: Section 138-356

Non-compliance

Non-compliance

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Corner: 10 ft. or greater for easements **Plat note #3 to be revised prior to final as shown above. ***Setbacks are based on R-3T Zoning District. Rezoning to R-3T must be finalized prior to final plat review. *****Zoning Ordinance: Section 138-356 	Non-compliance
<ul style="list-style-type: none"> * Garage: 18 ft. except where greater setback is required, greater setback applies. **Plat note must be added as shown above prior to final. ***Setbacks are based on R-3T Zoning District. Rezoning to R-3T must be finalized prior to final plat review. *****Zoning Ordinance: Section 138-356 	Non-compliance
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
<ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on Auburn Avenue and both sides of all interior streets. Revisions needed: - Revise plat note #7 as shown above prior to final. ***5 ft. sidewalk as might be required by the Engineering Department prior to final. **** *****Subdivision Ordinance: Section 134-120 	Non-compliance
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46 	Applied
<ul style="list-style-type: none"> * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46 	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along **City's Access Management Policy 	TBD
<ul style="list-style-type: none"> * Site plan must be approved by the Planning and development Departments prior to building permit issuance. **Site plan review is not required for townhomes. 	TBD
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	Required
* Common Areas, any private streets/drives, etc. must be maintained by the lot owners and not the City of McAllen	Required
<ul style="list-style-type: none"> * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. *Section 110-72 applies for public subdivisions 	Required
<ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Subdivision Ordinance: 134-168 	Required

LOT REQUIREMENTS	
* Minimum lot width and lot area. **Zoning Ordinance: Section. 138-356	Compliance
* Lots fronting public streets. **Zoning Ordinance: 138-1	Compliance
ZONING/CUP	
* Existing: C-3 Proposed: R-3T ***Rezoning to R-3T must be finalized prior to final plat review. ***Zoning Ordinance: Article V	Non-compliance
* Rezoning Needed Before Final Approval ***Rezoning to R-3T must be finalized prior to final plat review. ***Zoning Ordinance: Article V	Non-compliance
PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, Park fees are applicable for this development and total amount of park fees are subject to change depending on the amount of proposed lots.	Required
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
TRAFFIC	
* As per Traffic Department, Master Trip Generation required prior to final.	Non-compliance
* Traffic Impact Analysis (TIA) required prior to final plat. * * As per Traffic Department, Master Trip Generation required prior to final.	TBD
COMMENTS	
Comments/Revisions needed: - Requirements subject to change once updated plat has been submitted and reviewed by staff. - Rezoning to R-3T must be finalized prior to final plat review. - Include signature blocks for all property owners prior to recording. You may include a second page prior to recording for signatures. - Submit paving layout to verify compliance with minimum paving widths requirements prior to final. 20 ft. face-to-face required on both sides of islands - Subdivision name might have to be revised prior to final since there is an existing recorded subdivision under the name of "The District at McAllen" **Subdivision approved in Preliminary form at the P&Z meeting of December 7, 2021. *Must comply with City's Access Management Policy	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE PRELIMINARY 6-MONTH EXTENSION SUBJECT TO CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVALS.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SUB2021-0100



City of McAllen
Planning Department
APPLICATION FOR

SUBDIVISION PLAT REVIEW

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project Description	Subdivision Name <u>ARELLANO SUBD.</u> Location <u>NWC S. 10TH ST. - CAMINO CENTRAL (S. 11TH ST.)</u> City Address or Block Number <u>6416 S. 11TH ST.</u> Number of lots <u>1</u> Gross acres <u>0.32</u> Net acres <u>0.32</u> Existing Zoning <u>C-3</u> Proposed <u>R-1</u> Rezoning Applied For <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Date _____ Existing Land Use <u>OPEN</u> Proposed Land Use <u>RES.</u> Irrigation District # <u>3</u> Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>1,500⁰⁰</u> Parcel No. <u>542637/269757</u> Tax Dept. Review <u>R2300-01-000-0028-01</u> Legal Description <u>0.32 AC. o/p LOT 6, BIK. 4, 1210ALGO</u> <u>CANAL CO'S SUBD. 12-CT.</u>
Owner	Name <u>EVA YOLANDA CASTILLO</u> ^{IRAPPA} Phone <u>956-599-8467</u> Address <u>2110 HAPPY STREET</u> City <u>MISSION</u> State <u>TX</u> Zip <u>78573</u> E-mail <u>EVA101293CASTILLO@OUTLOOK.ES</u>
Developer	Name <u>SAME AS OWNER</u> Phone _____ Address _____ City _____ State _____ Zip _____ Contact Person _____ E-mail _____
Engineer	Name <u>DINO D OMBE SALINAS</u> Phone <u>682-9081</u> Address <u>2221 DAFFODIL AVE.</u> City <u>MCALLEN</u> State <u>TX</u> Zip <u>78501</u> Contact Person <u>DINO D</u> E-mail <u>dsalinas@salinasengineering.com</u>
Surveyor	Name <u>SAME AS ENGINEER</u> Phone _____ Address _____ City _____ State _____ Zip _____

ENTERED

SEP 10 2021

Initial: DM

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ☒ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ☒ Title Report
- ☒ 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies
- ☒ 2 Location Maps
- ☒ 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- ☒ 6 Folded blue-line prints of the proposed plat
- ☒ 2 Warranty Deeds (Identifying owner on application)
- ☒ Autocad 2005 DWG file and PDF of plat
- ☒ Letter of Authorization from the owner, if applicable
- ☒ N/A Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ☒ Metes and bounds
- ☒ Lots numbered with dimensions and area of irregular lots noted
- ☒ Surrounding platted lots and/or lot lines for unplatted tracts
- ☒ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ☒ North arrow, scale and vicinity map
- ☒ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blue-line copies prints and 8 1/2" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 9/8/21

Print Name EVA YOLANDA CASTILLO IBARRA

ENTERED

Owner ☒

Authorized Agent ☐

SEP 10 2021
10/19

Initial: N/A

SALINAS ENGINEERING & ASSOCIATES
CONSULTING ENGINEERS & SURVEYORS

David Omar Salinas, P.E., RPLS
Masters of Environmental Engineering

January 08, 2023

City of McAllen Planning Department
Attn: Liliana Garza, Planner
(Via Email Only to McAllen Subdivision Portal on 01/08/23)

RE: Arellano Subdivision

Dear City:

A request is hereby made for a six (6) month extension of Preliminary approvals for Arellano Subdivision.

Please let me know if you have any additional questions. Thank you.

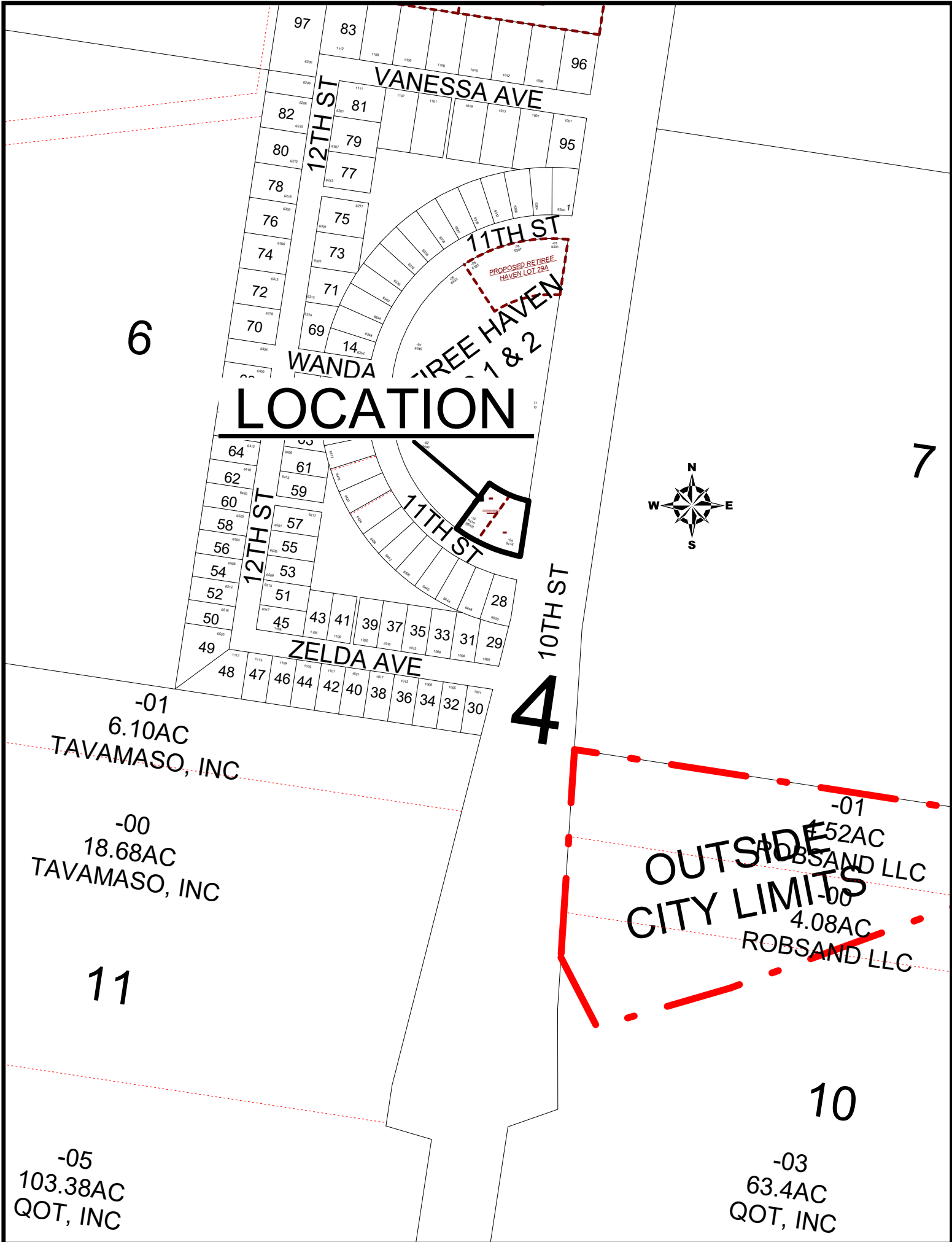
Sincerely,
SALINAS ENGINEERING & ASSOCIATES
Consulting Engineers & Surveyors



David Omar Salinas, P.E, RPLS

Xc: file

2221 Daffodil Ave., McAllen, Texas, 78501
(956) 682-9081 - (956) 686-1489 FAX
dsalinas@salinasengineering.com



LOCATION



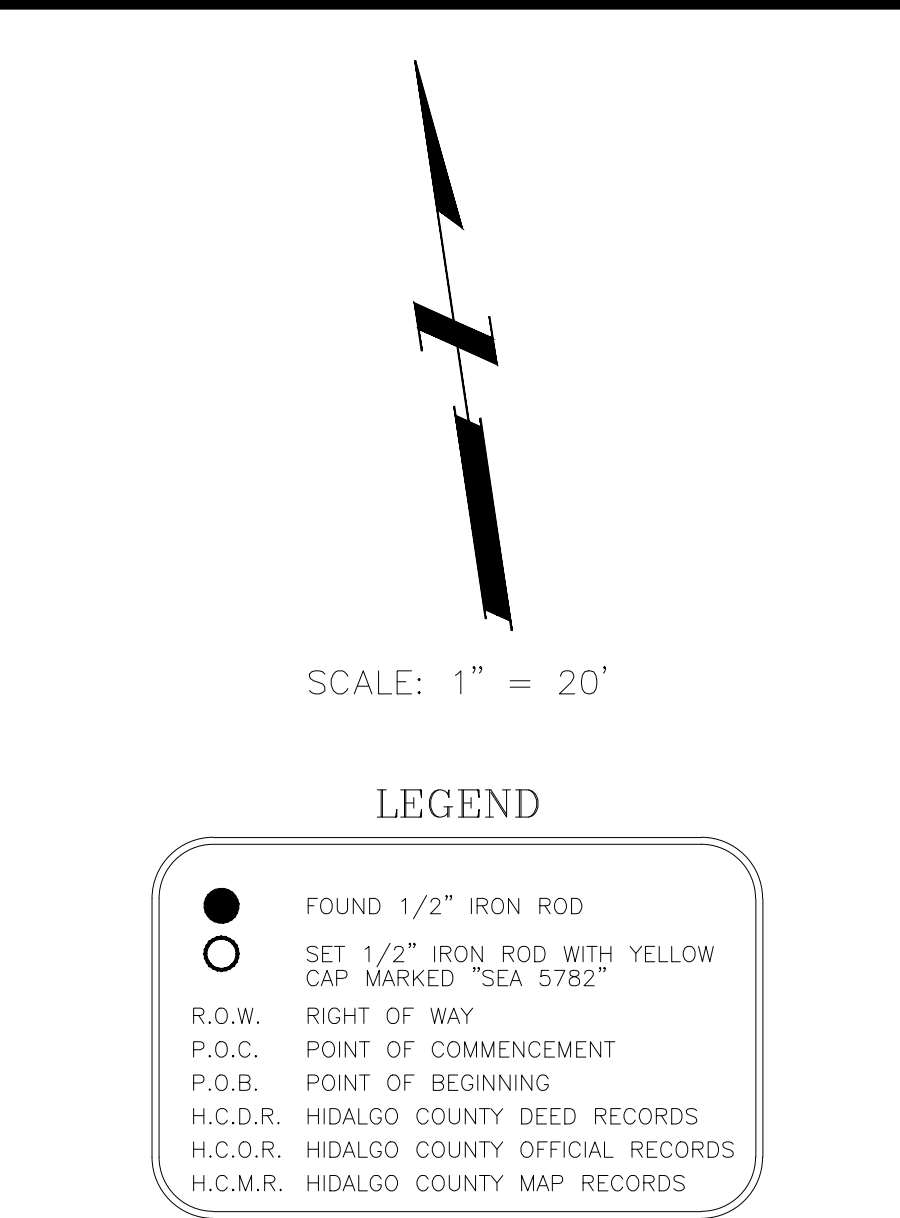
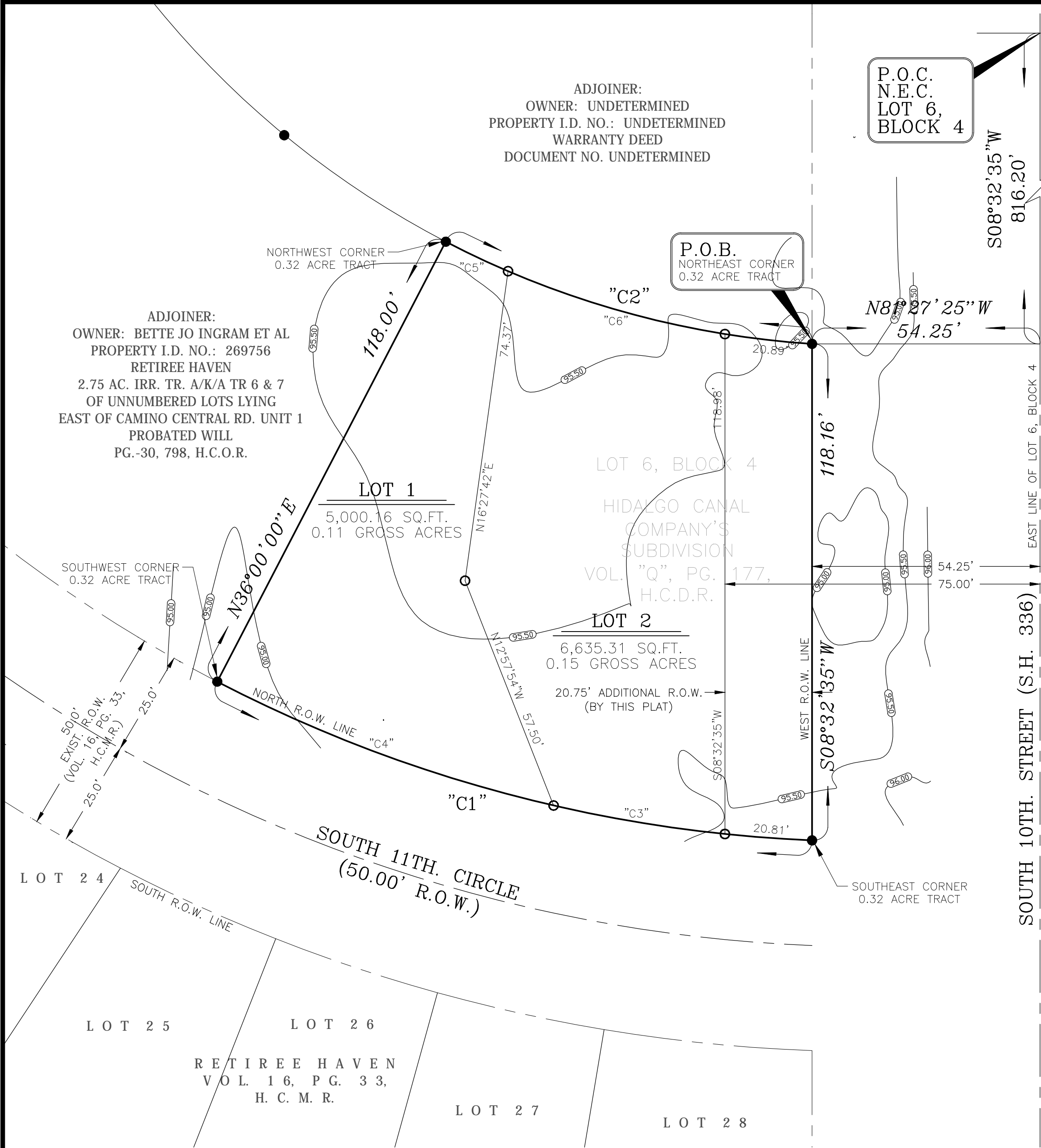
-01
6.10AC
TAVAMASO, INC

-00
18.68AC
TAVAMASO, INC

-01
4.52AC
ROBSAND LLC
-00
4.08AC
ROBSAND LLC

-05
103.38AC
QOT, INC

-03
63.4AC
QOT, INC



CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING
C1	147.72'	338.00'	25°02'28"	N66°31'13"W 146.55'
C2	91.17'	220.00'	23°44'39"	S65°52'18"E 90.52'
C3	41.36'	338.00'	07°00'42"	N72°00'27"W 41.34'
C4	85.55'	338.00'	14°30'07"	N61°15'03"W 85.32'
C5	16.41'	220.00'	04°16'24"	S56°08'11"E 16.40'
C6	53.87'	220.00'	14°01'49"	S65°17'18"E 53.74'

ARELLANO SUBDIVISION

AN ADDITION TO THE CITY OF McALLEN,
HIDALGO COUNTY, TEXAS

BEING A 0.32 ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF LOT 6, BLOCK 4, HIDALGO CANAL COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME Q, PAGE 177, DEED RECORDS OF HIDALGO COUNTY, TEXAS.

FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____

OF MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS ARELLANO SUBDIVISION, TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

OWNER: EVA YOLANDA CASTILLO IBARRA
2110 HAPPY STREET
MISSION, TEXAS 78573

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED EVA YOLANDA CASTILLO IBARRA, KNOWN TO ME TO BE THE PERSONS WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY

OF _____, 2022.

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS
MY COMMISSION EXPIRES. _____

STATE OF TEXAS
CITY OF McALLEN

I THE UNDERSIGNED, MAYOR OF THE CITY McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR

DATE

STATE OF TEXAS
CITY OF McALLEN

I, THE UNDERSIGNED CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN,
PLANNING AND ZONING COMMISSION

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

I, DAVID OMAR SALINAS, P.E., A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, REGISTRATION NUMBER TX. 71973, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

DAVID OMAR SALINAS, P.E.
REG. PROFESSIONAL ENGINEER #71973

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

I, DAVID O. SALINAS, THE UNDERSIGNED A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

DAVID O. SALINAS, R.P.L.S.
REG. PROFESSIONAL LAND SURVEYOR #5782

DATE

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE

WEST MILITARY HIGHWAY (F.M. 1016)

SITE
LOCATION

LOCATION MAP

SCALE : 1" = 1000'

METES AND BOUNDS DESCRIPTION

BEING A 0.32 ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF LOT 6, BLOCK 4, HIDALGO CANAL COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME Q, PAGE 177, DEED RECORDS OF HIDALGO COUNTY, TEXAS, SAID 0.32 ACRE TRACT IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 6 LOCATED WITHIN THE RIGHT-OF-WAY OF S.H. 336 (S. 10TH. STREET); THENCE,

SOUTH 08 DEGREES 32 MINUTES 35 SECONDS WEST, COINCIDENT WITH THE EAST LINE OF SAID LOT 6, A DISTANCE OF 816.20 FEET TO A POINT; THENCE,

NORTH 81 DEGREES 27 MINUTES 25 SECONDS WEST, A DISTANCE OF 54.25 FEET TO A ½ INCH DIAMETER IRON ROD FOUND ON INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF S.H. 336 (AKA S. 10TH. STREET) FOR THE NORTHEAST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

(1) THENCE, SOUTH 08 DEGREES 32 MINUTES 35 SECONDS WEST, COINCIDENT WITH THE WEST RIGHT-OF-WAY LINE OF SAID S.H. 336, A DISTANCE OF 118.16 FEET TO A ½ INCH DIAMETER IRON ROD FOUND ON INTERSECTION WITH THE NORTH RIGHT-OF-WAY OF CAMINO CENTRAL (AKA S. 11TH. STREET) BEING ON A CURVE TO THE RIGHT WHOSE RADIUS IS 338.0 FEET FOR THE SOUTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;

(2) THENCE, TO THE RIGHT IN A NORTHWESTERLY DIRECTION AND BEING COINCIDENT WITH THE NORTH RIGHT-OF-WAY LINE OF SAID CAMINO CENTRAL, AN ARC LENGTH DISTANCE OF 147.72 FEET TO A ½ INCH DIAMETER IRON ROD FOUND FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;

(3) THENCE, NORTH 36 DEGREES 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 118.0 FEET TO A ½ INCH DIAMETER IRON ROD FOUND ON A SECOND CURVE TO THE RIGHT WHOSE RADIUS IS 220.0 FEET FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;

(4) THENCE, TO THE LEFT WITH SAID SECOND CURVE, AN ARC LENGTH DISTANCE OF 91.17 FEET TO THE POINT OF BEGINNING, CONTAINING 0.32 ACRES OF LAND, MORE OR LESS.

BASIS OF BEARING: DEED
N:\SUBDIVISION\PLATS\ORIGARELLANO.SUB\0.32.071521

DISCLAIMER: THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW BY THE CITY OF McALLEN ONLY & BY NO OTHERS UNDER THE AUTHORITY OF DAVID OMAR SALINAS, P.E., TX REG. NO. 71973 ON JULY 20, 2022. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

ARELLANO SUBDIVISION

PREPARED BY: SALINAS ENGINEERING & ASSOC.
DATE OF PREPARATION: JULY 22, 2022
JOB NUMBER: SP-21-25493

OWNER: EVA YOLANDA CASTILLO IBARRA
2110 HAPPY STREET
MISSION, TEXAS 78573

SEA
SALINAS ENGINEERING & ASSOC.
(F-6675) (TBPLS-10065700)
CONSULTING ENGINEERS & SURVEYORS
2221 DAFFODIL AVE. McALLEN, TEXAS 78501
(956) 682-9081 (956) 686-1489 (FAX)
TBPLS 12100 PARK 35 CIRCLE BLDG. A, SUITE 156, MC-230, AUSTIN, TEXAS 78873 (512) 239-5263

GENERAL PLAT NOTES:

- MINIMUM SETBACK LINES = FRONT (LOT 1): 25.0 FT. OR GREATER FOR EASEMENTS. REAR (LOT 1): 10.0 FT. OR GREATER FOR EASEMENTS.
FRONT (LOT 2): IN ACCORDANCE WITH ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN OR IN LINE WITH AVERAGE SETBACKS OF EXISTING BUILDING.
REAR (LOT 2): IN ACCORDANCE WITH ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.
INTERIOR SIDE: IN ACCORDANCE WITH ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.
CORNER SIDE: 10.0 FT. OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.
GARAGE: 18.0 FT. EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES.
- LANDS CONTAINED WITHIN THIS SUBDIVISION LIE IN ZONE "B" ACCORDING TO THE FIRM (FLOOD INSURANCE RATE MAP) DATED 11/16/82, COMMUNITY PANEL NO. 480334 0400 C. ZONE "B" DEFINED AS AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. (MEDIUM SHADING)
- MINIMUM FINISHED FLOOR ELEVATION ON ALL NEW CONSTRUCTION SHALL BE A MINIMUM OF 18.0 INCHES ABOVE THE TOP OF THE ROAD AS MEASURED FROM THE CENTER OF THE LOT ALONG CAMINO CENTRAL (S. 11TH. ST.).
- 4 FT. WIDE MINIMUM SIDEWALK REQUIRED ON SOUTH 11TH. CIRCLE AND 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ON SOUTH 10TH. STREET (S.H. 336).
- THIS SUBDIVISION PLAT SHALL BE REQUIRED TO DETAIN A TOTAL OF 3,742.59 CUBIC FEET, OR, 0.09 ACRE-FEET OF DRAINAGE RUNOFF VOLUME. SHOULD THE CITY OF McALLEN REQUIRE ON-SITE DETENTION, THE MINIMUM VOLUME FOR EACH LOT SHALL BE: LOT 1- 1,273.0 CU.FT. (ROUNDED) AND LOT 2- 2,470.0 CU.FT. DETENTION CONSIDERATIONS FROM THE CITY OF McALLEN SHALL BE APPLIED DURING THE BUILDING PERMIT PROCESS AND A SITE PLAN MAY BE REQUIRED FOR REVIEW AND APPROVAL BY THE CITY ENGINEERING DEPARTMENT.
- THE CONSTRUCTION OF ANY STRUCTURES ON OR WITHIN ANY UTILITY EASEMENTS SHALL BE PROHIBITED.
- A 6' OPAQUE BUFFER IS REQUIRED FROM ANY ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL OR INDUSTRIAL ZONE/USE. AN 8' MASONARY WALL IS REQUIRED BETWEEN SINGLE-FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONE/USE.
- AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT, MAY BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS.
- BENCHMARK: McALLEN SURVEY CONTROL POINT NO. 99, LOCATED AT THE EAST BOUND OF S. 10TH. ST., 0.50 MILES SOUTH OF FM 1016, 16 FEET EAST FROM THE EDGE OF PAVEMENT FROM THE CENTERLINE OF THE LEVEE (ELEVATED DIRT ROAD). ELEV.= 109.56.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- AT SUCH TIME THAT A NEW BUILDING PERMIT FOR NEW CONSTRUCTION IS REQUESTED BY THE OWNER OF LOT 2, THE CITY OF McALLEN MAY REQUIRE A SERVICE DRIVE AND/OR ALLEY AND ANY SUCH REQUIREMENT WILL BE CONSIDERED BY THE CITY OF McALLEN AT TIME OF BUILDING PERMIT.

PRINCIPAL CONTACTS

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER: EVA YOLANDA CASTILLO IBARRA	2110 HAPPY STREET	MISSION, TEXAS 78573	(956) XXX-XXXX	NONE
ENGINEER: DAVID O. SALINAS	2221 DAFFODIL AVE.	McALLEN, TEXAS 78501	(956) 682-9081	(956) 686-1489
SURVEYOR: DAVID O. SALINAS	2221 DAFFODIL AVE.	McALLEN, TEXAS 78501	(956) 682-9081	(956) 686-1489



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/13/2023

SUBDIVISION NAME: ARELLANO SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

South 11th Circle: 50 ft. ROW

Paving: 32 ft. Curb & gutter: Both sides

**Monies must be escrowed if improvements are not built prior to recording.

****Subdivision Ordinance: Section 134-105

South 10th Street: 20.75 ft. of ROW dedication required for 75 ft. from centerline for 150 ft. total ROW

Paving: By the state Curb & gutter: Both sides

Revisions needed:

- Label CL to determine final amount of ROW dedication required to comply with requirements prior to final.

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

**Monies must be escrowed if improvements are not built prior to recording.

Paving _____ Curb & gutter _____

* 800 ft. Block Length.

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac.

**Subdivision Ordinance: Section 134-105

Applied

Non-compliance

Applied

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial properties

Revisions needed:

- Plat note: "Minimum 24 ft. wide service drive easement for city services will be provided as part of the site plan review for the commercial lots."

- Please revise plat note #11 as shown above and once finalized prior to final.

** Rezoning from R-1 to C-3 (general commercial) district for the west portion of the lot was approved by City Commission on November 14, 2022.

**Subdivision Ordinance: Section 134-106

Non-compliance

SETBACKS

* Front: In accordance with Zoning Ordinance or greater for easements or approved site plan or inline with average setbacks of existing building.

Revisions needed:

- Revise plat note #1 as shown above prior to final.

**Rezoning from R-1 to C-3 (general commercial) district for the west portion of the lot was approved by City Commission on November 14, 2022.

**Zoning Ordinance: Section 138-356

Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>*Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan. Revisions needed: - Revise plat note #1 as shown above prior to final. **Rezoning from R-1 to C-3 (general commercial) district for the west portion of the lot was approved by City Commission on November 14, 2022. **Zoning Ordinance: Section 138-356</p> <p>* Interior Sides: In accordance with Zoning Ordinance or greater for easements or approved site plan. ****Zoning Ordinance: Section 138-356</p> <p>* Corner: In accordance with the Zoning Ordinance or greater for easements or approved site plan. Revisions needed: - Revise plat note #1 as shown above prior to final. **Rezoning from R-1 to C-3 (general commercial) district for the west portion of the lot was approved by City Commission on November 14, 2022. ****Zoning Ordinance: Section 138-356</p> <p>* Garage: 18 ft. except where greater setback is required; greater setback applies. Revision needed: - Remove plat note from plat prior to final as it is not needed for commercial properties. **Zoning Ordinance: Section 138-356</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Non-compliance
	Applied
	Non-compliance
	Non-compliance
	Required
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on South 11th Street and 5 ft. sidewalk required on South 10th Street. ***Sidewalk requirements subject to increase from 4 ft. to 5 ft. as per Engineering Department prior to final. ****Subdivision Ordinance: Section 134-120</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Applied
	Required
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46</p> <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46</p> <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Applied
	Applied
	Required
NOTES	
<p>* No curb cut, access, or lot frontage permitted along. **Comply with Traffic Departments requirements.</p> <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance for commercial lots. **Requirement for commercial properties prior to building permit issuance.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Common Areas, any private streets/drives must be maintained by the lot owners and not the City of McAllen</p>	TBD
	Required
	Required
	Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if subdivision is proposed to be public. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Subdivision Ordinance: Section 110-72 	NA
	NA
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Minimum lot width and lot area. **Zoning Ordinance: Section. 138-356 	Compliance
<ul style="list-style-type: none"> * Lots fronting public streets. **Zoning Ordinance: 138-1 	Compliance
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: C-3 Proposed: C-3 **Rezoning back to C-3 (general commercial) district for a portion of the west side of the property by metes and bound was approved by City Commission on November 14, 2022. ***Rezoning to R-1 (single family) district for Lot 1 was presented before the City Commission on September 27, 2021; however, metes and bounds of the subdivision plat did not reflect the submittal of the approved rezoning. ***Zoning Ordinance: Article V 	Compliance
<ul style="list-style-type: none"> * Rezoning Needed Before Final Approval **Rezoning back to C-3 (general commercial) district for a portion of the west side of the property by metes and bound was approved by City Commission on November 14, 2022. ***Rezoning to R-1 (single family) district for Lot 1 was presented before the City Commission on September 27, 2021; however, metes and bounds of the subdivision plat did not reflect the submittal of the approved rezoning. ***Zoning Ordinance: Article V 	Compliance
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. 	NA
<ul style="list-style-type: none"> * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. **Rezoning from R-1 (single family residential) district to C-3 (general commercial) district for the west portion of the lot was approved by City Commission on November 14, 2022. ***Must comply with Park Department requirements if zoned to residential districts in the future. 	NA
<ul style="list-style-type: none"> * Pending review by the City Manager's Office. 	NA
TRAFFIC	
<ul style="list-style-type: none"> **Previously as per Traffic Department, TG was waived for one single-family residence and exiting use will be waived, no TIA required. However, new use may require a new Trip Generation to be submitted. 	Non-compliance
<ul style="list-style-type: none"> *Traffic Impact Analysis (TIA) required prior to final plat. **Previously as per Traffic Department, TG was waived for one single-family residence and exiting use will be waived, no TIA required. However, new use may require a new Trip Generation to be submitted. 	TBD

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

COMMENTS	
<p>Comments/Revisions needed:</p> <ul style="list-style-type: none">- Requirements subject to change once updated plat has been submitted and reviewed by staff.- Clarify if lot line between Lot 1 and Lot 2 will change or if the number of lots will change prior to final.- Proposed use for both lots to be clarified prior to final to establish requirements. <p>**Rezoning back to C-3 (general commercial) district for a portion of the west side of the property by metes and bound was approved by City Commission on November 14, 2022.</p> <p>***Rezoning to R-1 (single family) district for Lot 1 was presented before the City Commission on September 27, 2021; however, metes and bounds of the subdivision plat did not reflect the submittal of the approved rezoning.</p> <p>*Subdivision approved in Preliminary form at the Special P&Z meeting of October 12, 2021</p> <p>**Must comply with City's Access Management Policy</p>	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE PRELIMINARY 6-MONTH EXTENSION SUBJECT TO CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVALS.	Applied

LOCATION

VANESSA AVE

12TH ST

11TH ST

WANDA

THREE HAVEN
1 & 2

11TH ST

12TH ST

ZELDA AVE

10TH ST



OUTSIDE
CITY LIMITS

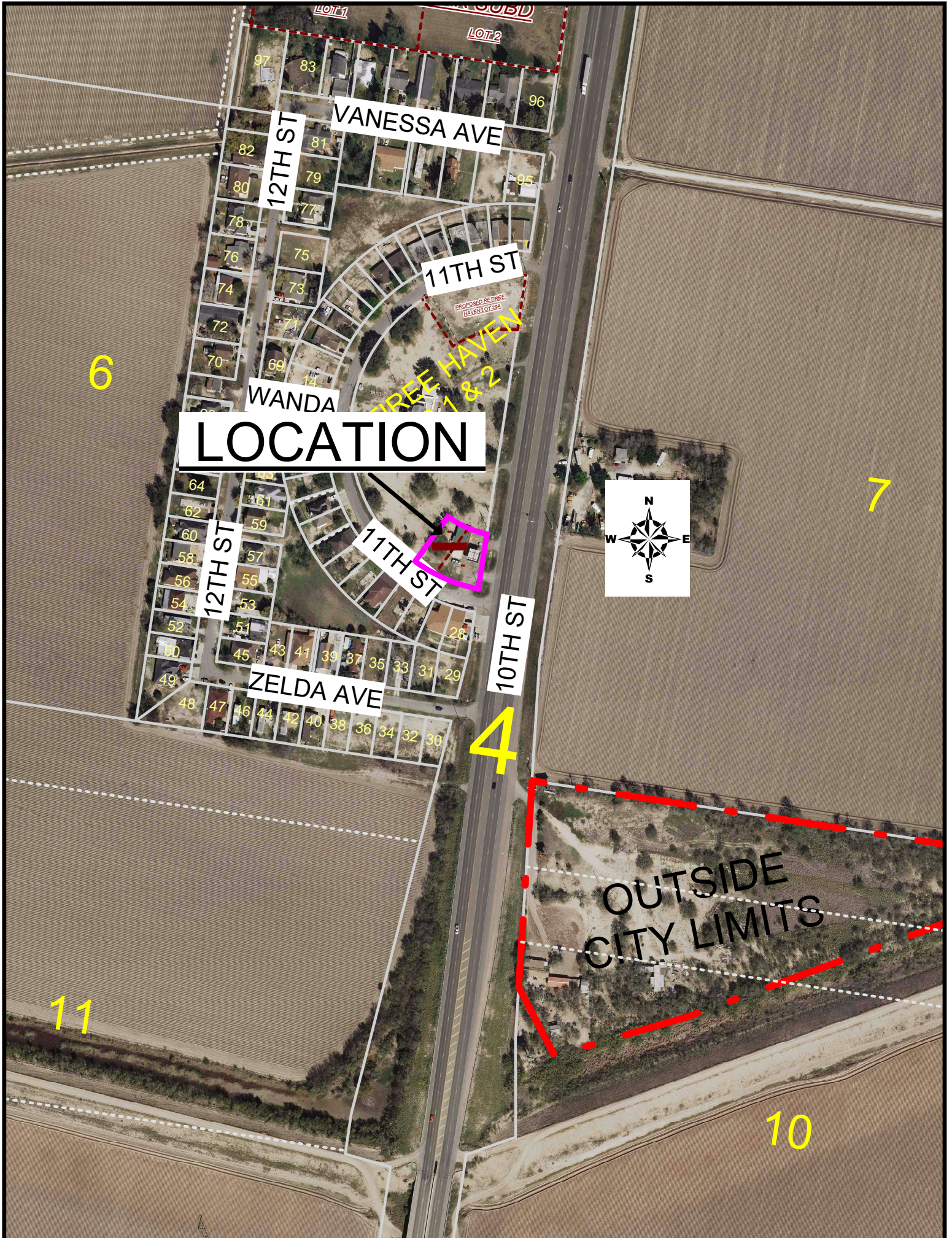
6

7

4

11

10



Sub 2021-026



City of McAllen
Planning Department
APPLICATION FOR

SUBDIVISION PLAT REVIEW

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project Description	<p>Subdivision Name <u>GEORGIA SUBD.</u></p> <p>Location <u>+/- 600' N. OF TREATMENT ALONG WEST SIDE OF N. 29TH ST</u></p> <p>City Address or Block Number <u>7701 N. 29TH ST</u></p> <p>Number of lots <u>1</u> Gross acres <u>0.50</u> Net acres <u>0.50</u></p> <p>Existing Zoning <u>A-0</u> Proposed <u>R-1</u> Rezoning Applied For <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>OPEN</u> Proposed Land Use <u>RES.</u> Irrigation District # <u>1</u></p> <p>Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due _____</p> <p>Parcel No. <u>210591</u> Tax Dept. Review _____</p> <p>Legal Description <u>0.50 AC. 0/0 LOT 58, LA LOMITA IRRIGATION AND CONSTRUCTION CO. SUBD. N.C.T.</u></p>
Owner	<p>Name <u>GEORGIA A. ALVAREZ</u> Phone <u>956-648-9203</u></p> <p>Address <u>7701 N. 29TH ST.</u></p> <p>City <u>McALLEN</u> State <u>TX</u> Zip <u>78504</u></p> <p>E-mail _____</p>
Developer	<p>Name <u>SAME AS OWNER</u> Phone _____</p> <p>Address _____</p> <p>City _____ State _____ Zip _____</p> <p>Contact Person _____</p> <p>E-mail _____</p>
Engineer	<p>Name <u>DAVID SALINAS</u> Phone <u>662-9081</u></p> <p>Address <u>2221 DAFFODIL AVE.</u></p> <p>City <u>McALLEN</u> State <u>TX</u> Zip <u>78501</u></p> <p>Contact Person <u>DAVID</u></p> <p>E-mail <u>dsalinas@salinasengineering.com</u></p>
Surveyor	<p>Name <u>SAME AS ENGINEER</u> Phone _____</p> <p>Address _____</p> <p>City _____ State _____ Zip _____</p>

OCT 29 2021

10/20

BY: DM AW

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ☒ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ☐ Title Report
- ☒ 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies
- ☒ 2 Location Maps
- ☒ 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- ☐ 6 Folded blueline prints of the proposed plat
- ☒ 2 Warranty Deeds (Identifying owner on application)
- ☒ Autocad 2005 DWG file and PDF of plat
- ☐ Letter of Authorization from the owner, if applicable
- ☐ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 1/2" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature Georgia A. Daugherty Atanis Date _____

Print Name Georgia A. Daugherty Atanis

Owner ☒

Authorized Agent ☐

SALINAS ENGINEERING & ASSOCIATES
CONSULTING ENGINEERS & SURVEYORS

David Omar Salinas, P.E., RPLS
Masters of Environmental Engineering

January 06, 2023

City of McAllen Planning Department
Attn: Liliana Garza, Planner
(Via Email Only to McAllen Subdivision Portal on 01/06/23)

RE: Georgia Subdivision and Sister's Subdivision

Dear City:

A request is hereby made for a six (6) month extension of Preliminary approvals for BOTH Georgia Subdivision and Sister's Subdivision.

Please let me know if you have any additional questions. Thank you.

Sincerely,

SALINAS ENGINEERING & ASSOCIATES
Consulting Engineers & Surveyors


David Omar Salinas, P.E., RPLS

Xc: file



2221 Daffodil Ave., McAllen, Texas, 78501
(956) 682-9081 - (956) 686-1489 FAX
dsalinas@salinasengineering.com

51

SUBDIVISION

LOCATION

AUBURN
PROPOSED MCALLEN I.S.D. AG
FARM SUBDIVISION

FFA Farm

LOT 1

PROPOSED GEORGIA
SUBDIVISION



50

MIRA-BELLA PARK

N. 27TH LN.

5 MILE RD.

29TH ST

27TH LN

PHASE 1

PHASE 2

PHASE 2

PHASE 1

YELLOWHAMMER AVE

27TH ST

PHASE 2

PHASE 1

26TH ST

59

THREE LYNN'S SUBD.
7616

TRENTON RD

-07
7604

TANGLEWOOD ESTATES

PROPOSED HABITAT VILLAGE
SUBDIVISION

N RD

GUA 58

A AVE

VISION

ESTATES

BDIVISION

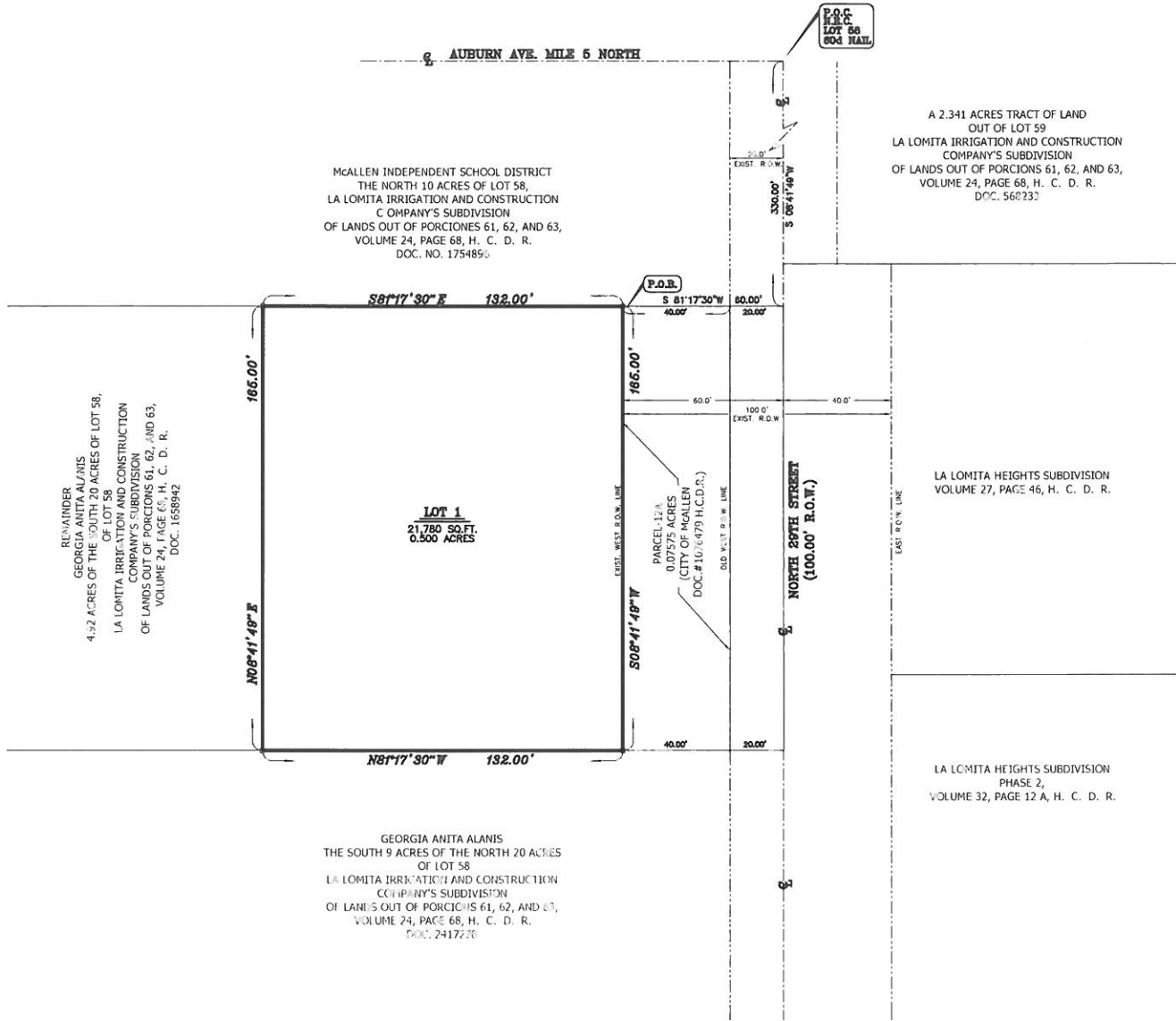
NOPS AV

ER

94

30TH

VERDIN



GEORGIA SUBDIVISION

AN ADDITION TO THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS

BEING A 0.86 ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF LOT 151, LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 24, PAGES 68 AND 69, DEED RECORDS OF HIDALGO COUNTY, TEXAS.

GENERAL PLAT NOTES:

- MINIMUM SETBACK LINES = FRONT (GALVESTON AVE.): 25.0 FT. OR GREATER FOR EASEMENTS OR OR IN LINE WITH EXISTING STRUCTURES, WHICHEVER IS GREATER. SIDE CORNER (S. BENTEN ROAD): 10.0 FT. OR GREATER FOR EASEMENTS OR IN LINE WITH EXISTING STRUCTURES, WHICHEVER IS GREATER. SIDES IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS. REAR: 10.0 FT. OR GREATER FOR EASEMENTS. GARAGE: 18.0 FT. EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES.
- LANDS CONTAINED WITHIN THIS SUBDIVISION LIE IN ZONE "B" ACCORDING TO THE FIRM (FLOOD INSURANCE RATE MAP) DATED 11/02/82, COMMUNITY PANEL NO. 48343 0010 D. ZONE "B" DEFINED AS AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD, OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD, (MEDIUM SHADING)
- MINIMUM FINISHED FLOOR ELEVATION ON ALL NEW CONSTRUCTION SHALL BE A MINIMUM OF 18.0 INCHES ABOVE THE TOP OF THE ROAD AS MEASURED FROM THE CENTER OF THE LOT ALONG GALVESTON AVE.
- MINIMUM 4 FT. WIDE SIDEWALK IS REQUIRED ON S. BENTEN ROAD AND GALVESTON AVE.
- THIS SUBDIVISION PLAT SHALL BE REQUIRED TO DETAIN A TOTAL OF 4,037.0 CUBIC FEET, OR 0.10 ACRE-FEET OF DRAINAGE RUNOFF VOLUME.
- THE CONSTRUCTION OF ANY STRUCTURES ON OR WITHIN ANY UTILITY EASEMENTS SHALL BE PROHIBITED.
- OPaque BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES AND ALONG SOUTH BENTEN ROAD. 8" MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT, IS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS.
- BENCHMARK: McALLEN SURVEY CONTROL POINT NO. 75, LOCATED ON THE NORTH LANE OF U.S. BUSINESS 83, 45 FEET EAST OF TAYLOR ROAD AND 2.6 FEET NORTH FROM THE BACK OF CURB OF U.S. BUSINESS 83. ELEV. = 153.46.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG S. BENTEN ROAD.
- 25 FT. BY 25 FT. CORNER CLIP REQUIRED AT ALL STREET INTERSECTIONS.

PRINCIPAL CONTACTS

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER: GEORGIA ALANIS	7701 N. 29TH STREET, McALLEN, TEXAS 78501		(956) 648-9001	NONE
ENGINEER: DAVID O. SALINAS	2221 DAFFODIL AVE., McALLEN, TEXAS 78501		(956) 682-9081	(956) 686-1489
SURVEYOR: DAVID O. SALINAS	2221 DAFFODIL AVE., McALLEN, TEXAS 78501		(956) 682-9081	(956) 686-1489

FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ A.M./P.M.
INSTRUMENT NUMBER _____
OF MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

STATE OF TEXAS COUNTY OF HIDALGO

WE, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS LA GEORGIA SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAMES ARE SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

OWNER: GEORGIA ALANIS
7701 N. 29TH STREET
McALLEN, TEXAS 78501

STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED GEORGIA ALANIS, KNOWN TO ME TO BE THE PERSON WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY
OF _____, 2021.

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS
MY COMMISSION EXPIRES: _____

STATE OF TEXAS CITY OF McALLEN

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR _____ DATE _____

STATE OF TEXAS CITY OF McALLEN

I, THE UNDERSIGNED CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN,
PLANNING AND ZONING COMMISSION

DATE _____

STATE OF TEXAS COUNTY OF HIDALGO

I, DAVID OMAR SALINAS, P.E., A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, REGISTRATION NUMBER TX 71973, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

DAVID OMAR SALINAS, P.E.
REG. PROFESSIONAL ENGINEER #71973

DATE _____

STATE OF TEXAS COUNTY OF HIDALGO

I, DAVID O. SALINAS, R.L.S., THE UNDERSIGNED A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

DAVID O. SALINAS, R.L.S.
REG. PROFESSIONAL LAND SURVEYOR #5782

DATE _____

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

PAUL E. RESIN, P.E., C.F.M.
GENERAL MANAGER

DATE _____



LOCATION MAP

SCALE: 1" = 1000'

METES AND BOUNDS DESCRIPTION

BEING A 0.50 ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF LOT 58, LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 24, PAGE 68, DEED RECORDS OF HIDALGO COUNTY, TEXAS; SAID 0.50 ACRE TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A NAIL FOUND ON THE NORTHEAST CORNER OF SAID LOT 58 LOCATED IN THE CENTER OF NORTH 29TH STREET; THENCE, AS FOLLOWS:

SOUTH 08 DEGREES 41 MINUTES 49 SECONDS WEST, COINCIDENT WITH THE EAST LINE OF SAID LOT 58, A DISTANCE OF 330.0 FEET TO A POINT AND THENCE, SOUTH 81 DEGREES 17 MINUTES 30 SECONDS WEST, A DISTANCE OF 60.0 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND ON INTERSECTION WITH THE WEST RIGHT-OF-WAY OF SAID NORTH 29TH STREET FOR THE NORTHEAST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

(1) THENCE, SOUTH 08 DEGREES 41 MINUTES 49 SECONDS WEST, ALONG A LINE PARALLEL TO THE EAST LINE OF SAID LOT 58 AND BEING COINCIDENT WITH THE WEST RIGHT-OF-WAY LINE OF SAID NORTH 29TH STREET, A DISTANCE OF 165.0 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND FOR THE SOUTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;

(2) THENCE, NORTH 81 DEGREES 17 MINUTES 30 SECONDS WEST, A DISTANCE OF 132.0 FEET TO A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" SET FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;

(3) THENCE, NORTH 08 DEGREES 41 MINUTES 49 SECONDS EAST, A DISTANCE OF 165.0 FEET TO A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" SET FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;

(4) THENCE, SOUTH 81 DEGREES 17 MINUTES 30 SECONDS EAST, A DISTANCE OF 132.0 FEET TO THE POINT OF BEGINNING, CONTAINING 0.50 ACRES OF LAND, MORE OR LESS.

BASIS OF BEARING: PLAT OF RECORD.
LA SUBDIVISION PLAT/GEORGIA SUBD 50.102821

GEORGIA SUBDIVISION

PREPARED BY: SALINAS ENGINEERING & ASSOC.
DATE OF PREPARATION: OCTOBER 29, 2021
JOB NUMBER: SP-21-

OWNER: GEORGIA ALANIS
7701 N. 29TH STREET
McALLEN, TEXAS 78501

SEA

SALINAS ENGINEERING & ASSOC.

(P) 6675 (T) 6675 (F) 10065700
CONSULTING ENGINEERS & SURVEYORS
2221 DAFFODIL - McALLEN, TEXAS 78501
(956) 682-9081 (956) 686-1489 (FAX)
100 E. 10TH STREET, SUITE 200, McALLEN, TEXAS 78501



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/13/2023

SUBDIVISION NAME: GEORGIA

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

N. 29th Street: 10 ft. additional dedication required for 50 ft. from centerline for 100 ft. ROW
Paving: 65 ft. Curb & gutter: Both sides
**Indicate if ROW is being dedicated by DOC #1076479
**Verify ROW dedication as per Recorded DOC #1076479 and La Lomita Heights Subdivisions
**Subdivision Ordinance: Section 134-105
**COM Thoroughfare Plan

Non-compliance

Paving _____ Curb & gutter _____

Applied

* 800 ft. Block Length.
**Subdivision Ordinance: Section 134-118
* 600 ft. Maximum Cul-de-Sac.
**Subdivision Ordinance: Section 134-105

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.
*Alley/service drive easement required for commercial properties
**Subdivision Ordinance: Section 134-106

NA

SETBACKS

* Front/ N. 29th Street: 45 ft. or greater for easement or in line with existing structures, whichever is greater.
**Please revise plat note as shown above prior to final
**Zoning Ordinance: Section 138-356
* Rear : 10 ft. or greater for easements.
**Zoning Ordinance: Section 138-356
* Sides: 6 ft. or greater for easements.
**Please revise plat note as shown above prior to final
**Zoning Ordinance: Section 138-356

Non-compliance

* Corner _____
**Please remove Side Corner reference from Plat Note #1
**Zoning Ordinance: Section 138-356

Applied

Non-compliance

* Garage: 18 ft. except where greater setback is required; greater setback applies.
**Zoning Ordinance: Section 138-356

NA

Applied

*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SIDEWALKS	
<ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on N. 29th Street **Revise plat note #4 as shown above prior to final **5 ft. sidewalk might be required prior to final as per Engineering Department. **Subdivision Ordinance: 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time. 	Non-compliance
	Applied
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Please revise plat note #7 as shown above prior to final **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements. 	Non-compliance
	Applied
	Applied
NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along. **Please remove plat note #11 prior to final * Site plan must be approved by the Planning and Zoning Commission prior to building permit issuance. **Single-family residence proposed. * Common Areas, Private Streets must be maintained by the lot owners and not the City of McAllen * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	NA
	NA
	NA
	NA
	NA
	NA
	NA
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Minimum lot width and lot area. ***Zoning Ordinance: 138-1 * Lots fronting public streets **Zoning Ordinance: Section. 138-356 	Compliance
	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ZONING/CUP	
<ul style="list-style-type: none"> * Existing: R-1 (single-family residential) District Proposed: R-1 (single-family residential) District ** Rezoning to be presented before P&Z on 12/7/21 and before City Commission on 1/10/22. Rezoning process must be finalized prior to final plat. ***Rezoning to R-1 (Single-Family Residential) District approved at the City Commission meeting of 01/10/22. ****Zoning Ordinance: Article V 	Compliance
<ul style="list-style-type: none"> * Rezoning Needed Before Final Approval ** Rezoning to be presented before P&Z on 12/7/21 and before City Commission on 1/10/22. Rezoning process must be finalized prior to final plat. ***Rezoning to R-1 (Single-Family Residential) District approved at the City Commission meeting of 01/10/22. ***Zoning Ordinance: Article V 	Completed
PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. If number of proposed lots change, park fees will be adjusted accordingly.	Required
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation will be waived for 1 single-family residence. No TIA required.	Complete
* As per Traffic Department, Trip Generation will be waived for 1 single-family residence. No TIA required.	NA
COMMENTS	
Comments: <ul style="list-style-type: none"> *Requirements subject to change once updated plat has been submitted and reviewed by staff. **Must comply with City's Access Management Policy ***Plat notes to also comply with City's Standards prior to final. ****Please provide ownership map to verify that no landlocked properties exist or will be created. 	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE PRELIMINARY 6-MONTH EXTENSION SUBJECT TO CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVALS.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



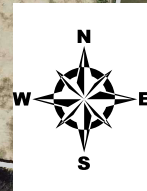
LOCATION

SUBDIVISION

PROPOSED MCALLEN I.S.D. AG
FARM SUBDIVISION

FFA Farm

LOT 1



29TH ST

5 MILE RD.

27TH LN

LA LOMITA
HEIGHTS
PHASE 2
SUBD NO 3

THREE LYNN'S SUBD.
7616

59

TRENTON RD

27TH ST

XENOPS AV

30TH

29TH ST

TANGLEWOOD ESTATES

PROPOSED HABITAT VILLAGE
SUBDIVISION

BAYLOR

MIRA

BELLA PARK
PHASE 2

MIRA-BELLA PARK

AMHER

YELLOWHAM
AVE

SUBDIVISION

PHASE 1

PHASE 2

PHASE 1

PHASE 2

PHASE 1

PHASE 2

SUB2021-0102



City of McAllen
Planning Department
APPLICATION FOR

SUBDIVISION PLAT REVIEW

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project Description	<p>Subdivision Name <u>SISTER'S SUBD.</u> S.N.</p> <p>Location <u>+/- 385' EAST OF INSPIRATION RD. ALONG N. SIDE</u> 107</p> <p>City Address or Block Number <u>12200 MILE 7 RD</u></p> <p>Number of lots <u>23</u> Gross acres <u>6.90</u> Net acres <u>6.30</u></p> <p>Existing Zoning <u>N/A</u> Proposed <u>RES.</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>HOME</u> Proposed Land Use <u>RES.</u> Irrigation District # <u>UNITED I.D.</u></p> <p>Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>1500⁰⁰</u></p> <p>Parcel No. <u>318883</u> Tax Dept. Review <u>W0100-00-049-0001-04</u></p> <p>Legal Description <u>6.90 GROSS AC. O/O LOT 49-1, WEST ADDITION TO SHARPLAND, D.C.T.</u></p>
Owner	<p>Name <u>PATTY CASH: SAN J. RE SILVA</u> Phone _____</p> <p>Address <u>5224 N. TRAFER ROAD</u></p> <p>City <u>MISSION</u> State <u>TX</u> Zip <u>78573</u></p> <p>E-mail <u>CASH PATTY @ YAHOO.COM ; SCASAPEDA 9207 @ YAHOO.COM</u></p>
Developer	<p>Name <u>SHINE AS OWNER</u> Phone _____</p> <p>Address _____</p> <p>City _____ State _____ Zip _____</p> <p>Contact Person _____</p> <p>E-mail _____</p>
Engineer	<p>Name <u>DAVID O. SALINAS</u> Phone <u>682-9081</u></p> <p>Address <u>2221 DAFFODIL AVE.</u></p> <p>City <u>MISSION</u> State <u>TX</u> Zip <u>78501</u></p> <p>Contact Person <u>DAVID</u></p> <p>E-mail <u>dsalinas @ salinasengineering.com</u></p>
Surveyor	<p>Name <u>SHINE AS REGR.</u> Phone _____</p> <p>Address _____</p> <p>City _____ State _____ Zip _____</p>

ENTERED

SEP 10 2021

Initial: DM

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ☒ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ☒ Title Report
- ☒ 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies
- ☒ 2 Location Maps
- ☒ 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- ☒ 6 Folded blueline prints of the proposed plat
- ☒ 2 Warranty Deeds (Identifying owner on application)
- ☒ Autocad 2005 DWG file and PDF of plat
- ☒ Letter of Authorization from the owner, if applicable
- ☒ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ☒ Metes and bounds
- ☒ Lots numbered with dimensions and area of irregular lots noted
- ☒ Surrounding platted lots and/or lot lines for unplatted tracts
- ☒ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ☒ North arrow, scale and vicinity map
- ☒ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 1/2" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature [Signature] Date 9/10/21

Print Name David D. O'Neil Sullivan

Owner ☐

Authorized Agent ☒

ENTERED

SEP 10 2021

Initial: DM

SALINAS ENGINEERING & ASSOCIATES
CONSULTING ENGINEERS & SURVEYORS

David Omar Salinas, P.E., RPLS
Masters of Environmental Engineering

January 06, 2023

City of McAllen Planning Department
Attn: Liliana Garza, Planner
(Via Email Only to McAllen Subdivision Portal on 01/06/23)

RE: Georgia Subdivision and Sister's Subdivision

Dear City:

A request is hereby made for a six (6) month extension of Preliminary approvals for BOTH Georgia Subdivision and Sister's Subdivision.

Please let me know if you have any additional questions. Thank you.

Sincerely,

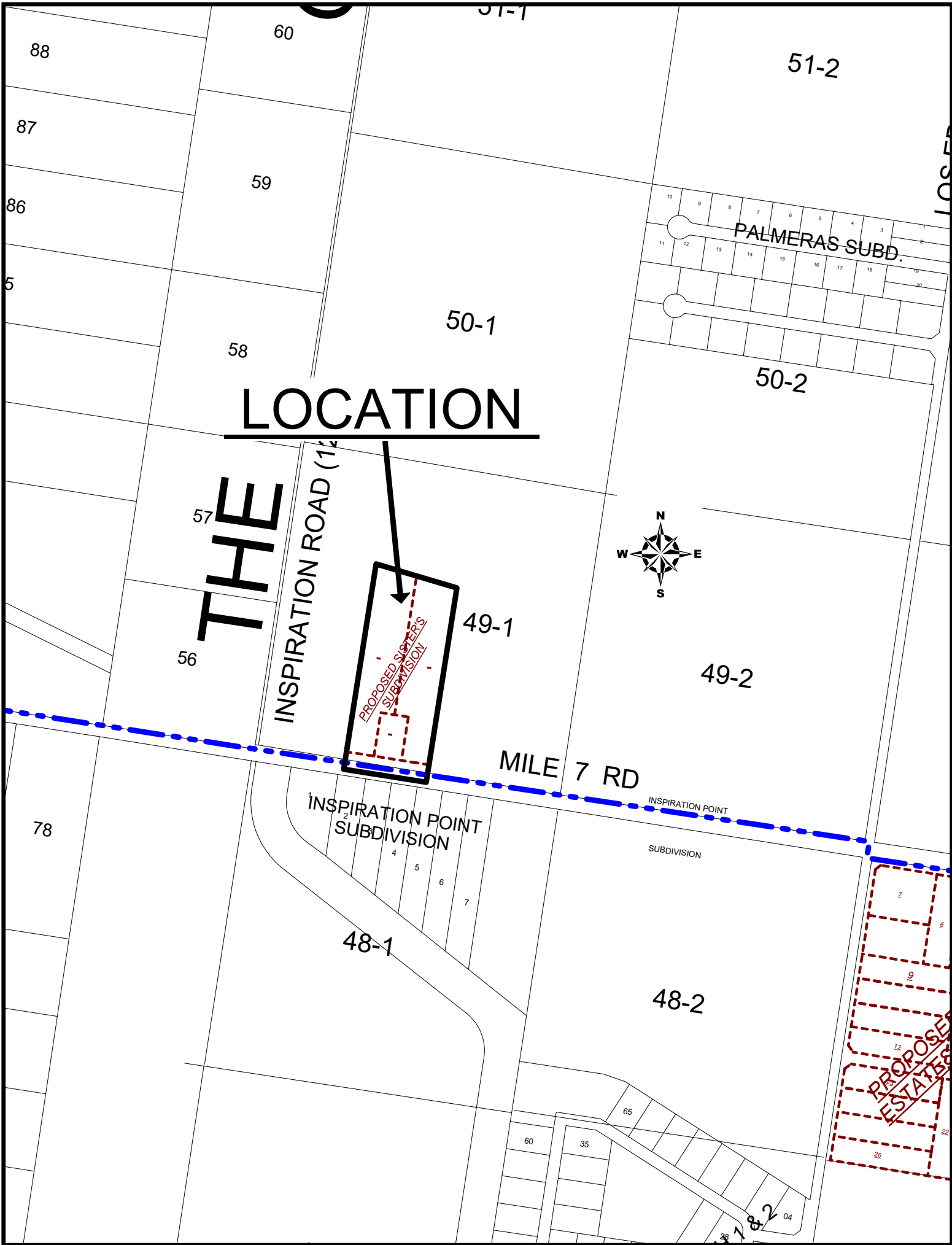
SALINAS ENGINEERING & ASSOCIATES
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David Omar Salinas, P.E., RPLS

Xc: file



2221 Daffodil Ave., McAllen, Texas, 78501
(956) 682-9081 - (956) 686-1489 FAX
dsalinas@salinasengineering.com



LOCATION

THE

INSPIRATION ROAD (1/2)

PALMERAS SUBD.

PROPOSED SUBDIVISION

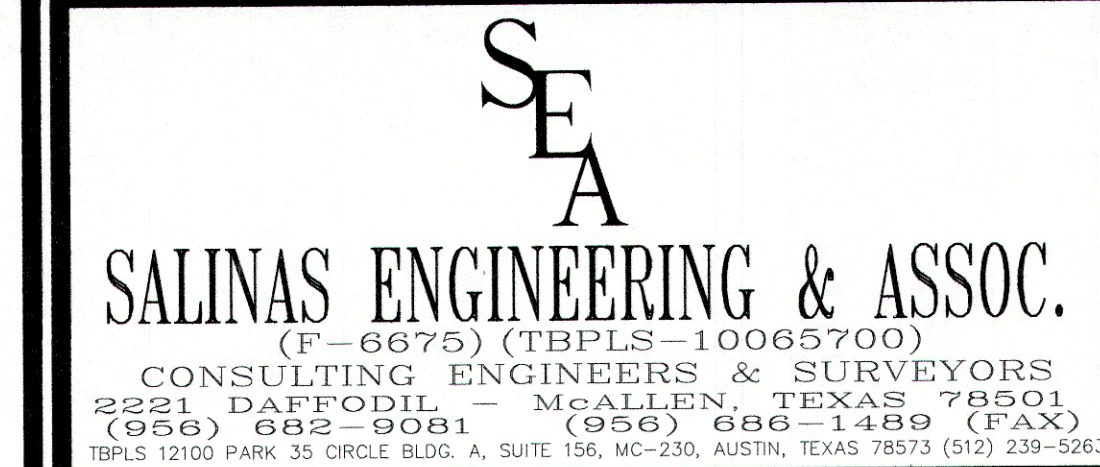


MILE 7 RD

INSPIRATION POINT SUBDIVISION

INSPIRATION POINT SUBDIVISION

PROPOSED ESTATE





City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/13/2023

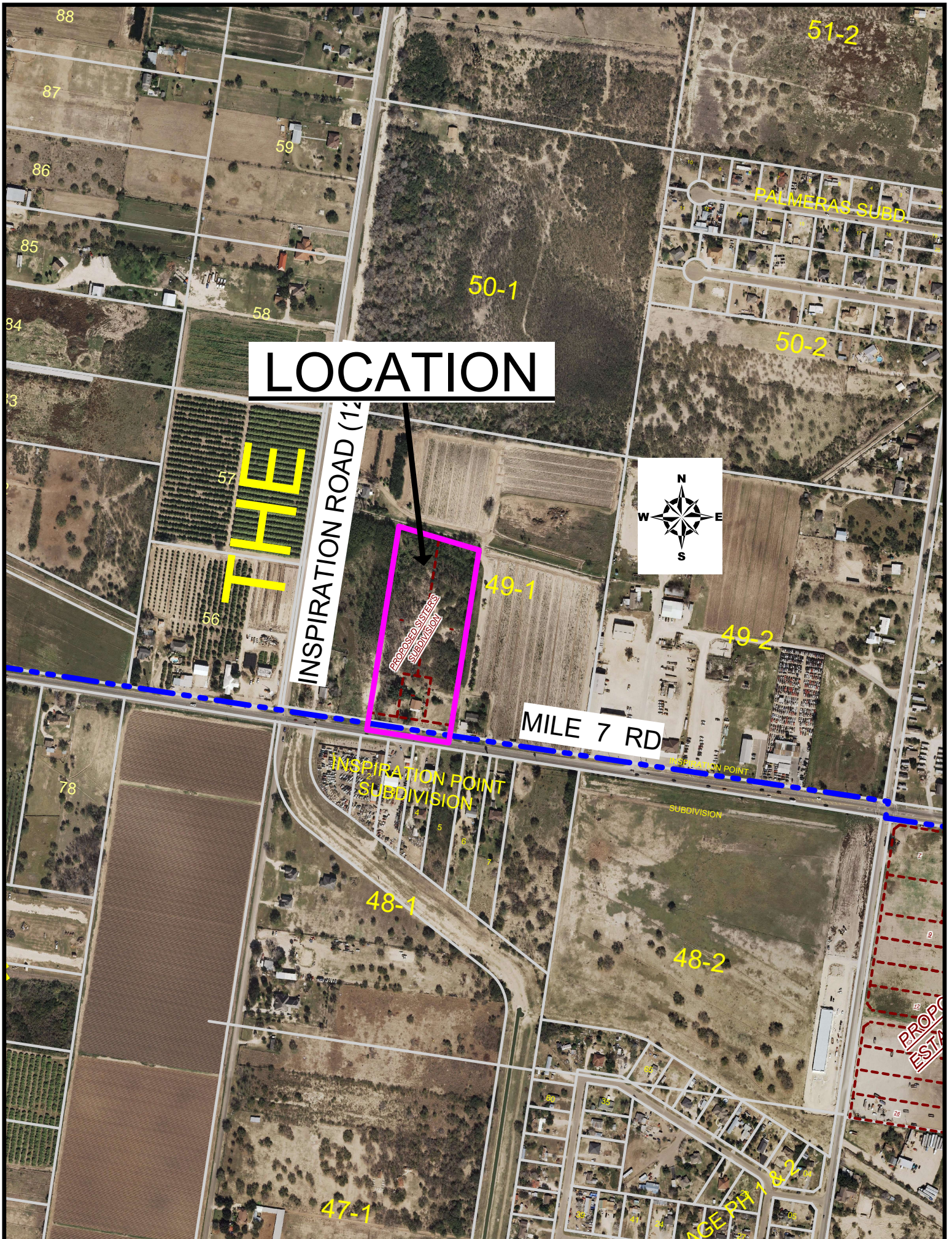
SUBDIVISION NAME: SISTER'S SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
SH 107 - Mile 7 North Road (FM 681): 75 ft. ROW from centerline for 150 ft. total ROW Paving: by the state Curb & gutter: by the state ***Please clarify ROW width dimension along the east boundary referenced by Document No. 2287869 as dimension shown on plat differs. ***Please label centerline of ROW to determine if additional ROW dedication will be required **Thoroughfare Plan	Non-compliance
Paving _____ Curb & gutter _____	Applied
* 800 ft. Block Length **Subdivision Ordinance: Section 134-118	Applied
* 600 ft. Maximum Cul-de-Sac *Subdivision Ordinance: Section 134-105	Applied
ALLEYS	
ROW: 20 ft. Paving: 16 *Alley/service drive easement required for commercial properties *Application indicates proposed use is residential **Subdivision Ordinance: Section 134-106	NA
SETBACKS	
* Front: Proposing 75 ft. or in average with the average setbacks of existing structures, or easement, whichever is greater. **Zoning Ordinance: Section 138-356	Applied
* Rear: 10 ft. or greater for easement **Zoning Ordinance: Sec.138-356	Applied
* Interior sides: 6 ft. or greater for easements **Zoning Ordinance: Sec.138-356	Applied
* Corner **Zoning Ordinance: Section 138-356	NA
* Garage: 18 ft. except where greater setback is required, greater setback applies *Zoning Ordinance: Section 138-356	Applied
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 4 ft. wide minimum sidewalk required on SH 107 (Mile 7 North Road) **5 ft. sidewalk may be required on SH 107 (Mile 7 North Road) by Engineering Department **Plat note #15 will need to be revised once sidewalk requirement is determined **Subdivision Ordinance: Section 134-120	TBD

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses ** Landscaping Ordinance: Sec.110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **On plat note #20, please remove wording "As per City of McAllen Subdivision requirements," rest of note is ok. **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
NOTES	
* No curb cut, access, or lot frontage permitted along *City's Access Management Policy	TBD
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	Required
* Common areas, private service drives, etc. must be maintained by the lot owners and not the City of McAllen	Applied
* Common areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. *Section 110-72 applies for public subdivisions	Applied
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.	NA
LOT REQUIREMENTS	
* Lots fronting public streets **Zoning Ordinance: Section 138-356	Compliance
* Minimum lot width and lot area **Zoning Ordinance: 138-1	Compliance
ZONING/CUP	
* Existing: ETJ Proposed: ETJ (Residential) **If annexation is proposed, process must be finalized prior to final along with initial zoning process.	Applied
* Rezoning Needed Before Final Approval **If annexation is proposed, process must be finalized prior to final along with initial zoning process.	Applied
PARKS	
* Land dedication in lieu of fee	NA
* Park Fee of \$700 per dwelling unit/lot to be paid prior to recording. *Subdivision is currently in the ETJ, if annexed prior to recording x 3 lots = \$2,100 will be due prior to recording	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

* Pending review by the Parkland Dedication Advisory Board and CC.	NA
TRAFFIC	
* Trip Generation waived by Traffic Department for 3-single family lots. No TIA required.	NA
* Traffic Impact Analysis (TIA) required prior to final plat.	NA
COMMENTS	
Comments: *Requirements subject to change once updated plat has been submitted and reviewed by staff. **Must comply with City's Access Management Policy ***Please provide ownership map to verify no landlocked parcels are created	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE PRELIMINARY 6-MONTH EXTENSION SUBJECT TO CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVALS.	Applied



LOCATION

INSPIRATION ROAD (12)

THE



MILE 7 RD

INSPIRATION POINT SUBDIVISION

PALMERAS SUBD.

SUBDIVISION

PROPOSED ESTABLISHMENT

SUB 2021-0125



Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Habitat Estates No. 2</u>	
	Location <u>3300 Hackberry Avenue</u>	
	City Address or Block Number <u>3300 HACKBERRY AVE</u>	
	Number of Lots <u>2</u> Gross Acres <u>0.47</u> Net Acres <u>0.35</u> ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R1</u> Proposed Zoning <u>R1</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____	
	Existing Land Use <u>Residence</u> Proposed Land Use <u>Residential</u> Irrigation District # <u>1</u>	
	Replat <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Commercial _____ Residential _____	
	Agricultural Exemption <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Estimated Rollback Tax Due <u>n/a</u>	
	Parcel # <u>185423</u> Tax Dept. Review _____	
	Water CCN <input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____	
Legal Description <u>0.469 Acres out of Lot 51, Block 2, C.E. Hammonds Subdivision</u>		
Owner	Name <u>Habitat Developers LLC</u>	Phone <u>956-578-3913</u>
	Address <u>8916 N. 21st Street</u>	E-mail <u>daniel@habitatdevelopers.com</u>
	City <u>McAllen</u> State <u>Tx</u> Zip <u>78504</u>	
Developer	Name <u>Same as owner</u>	Phone _____
	Address _____	E-mail _____
	City _____ State _____ Zip _____	
	Contact Person <u>Daniel Martinez</u>	
Engineer	Name <u>Spoor Engineering Consultants, Inc.</u>	Phone <u>956-683-1000</u>
	Address <u>202 S. 4th Street</u>	E-mail <u>sec@spooreng.com</u>
	City <u>McAllen</u> State <u>Tx</u> Zip <u>78501</u>	
	Contact Person <u>Steve Spoor, P.E.</u>	
Surveyor	Name <u>CVQ Land Surveyors</u>	Phone <u>956-618-1551</u>
	Address <u>517 Beaumont Avenue</u>	E-mail <u>cvq@cvqls.com</u>
	City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u>	

ENTERED
OCT 29 2021
Initial: AM

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- \$225 Preliminary Review Fee and \$75 Final Approval Fee
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner, if applicable
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blue-line copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature Steve Spoor Date 10/28-21

Print Name Steve Spoor

Owner ☐

Authorized Agent ☒

Spoor Engineering Consultants, Inc.
Consulting Engineers – Civil Land Planning – Stephen Spoor, P.E.

January 6, 2023

Edgar Garcia, AICP, CNU-A
Director – Planning & Zoning Dept.
City of McAllen
311 N. 15th Street
McAllen, Texas 78501

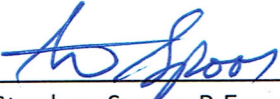
Re: Habitat Estates No. 2 Subdivision

Dear Mr. Garcia,

Habitat Estates No. 2 Subdivision was granted preliminary plat approval by the Planning & Zoning Commission. The subdivision plat process has been dormant for about a year while the Owner was making negotiations. We were recently contacted by the Owner and he is ready to resume the process. We hereby request a six-month extension for final plat approval for Habitat Estates No. 2 Subdivision.

Thank you for your attention on this matter. Please contact us with any questions or if additional information is required.

Respectfully,



Stephen Spoor, P.E.



January 5, 2023

JAVIER VILLALOBOS, Mayor
JOAQUIN "J.J." ZAMORA, Mayor Pro Tem & Commissioner District 2
TONY AGUIRRE, JR., Commissioner District 1
J. OMAR QUINTANILLA, Commissioner District 3
RODOLFO "RUDY" CASTILLO, Commissioner District 4
VICTOR "SEBY" HADDAD, Commissioner District 5
PEPE CABEZA DE VACA, Commissioner District 6

ROEL "ROY" RODRIGUEZ, P.E., City Manager

Steve Spoor, P.E.
Spoor Engineering Consultants, Inc.
202 S. 4th Street
McAllen, TX 78501

Attn.: Daniel Martinez
Habitat Developers, LLC
8916 N. 21st Street
McAllen, TX 78504

RE: HABITAT ESTATES NO. 2 SUBDIVISION

Dear Mr. Spoor & Mr. Martinez:

It has been over a year since HABITAT ESTATES NO. 2 SUBDIVISION received preliminary plat approval by the Planning and Zoning Commission. In accordance with McAllen Code of Ordinances Section 134.50 (h), approval of preliminary plats is only effective for one year. As such, the preliminary plat approval for HABITAT ESTATES NO. 2 SUBDIVISION will be revoked if we do not receive a six-month extension request letter from you within ten (10) days of this letter. If no extension request is received, we will send out an official notification letter soon after the ten (10) day deadline.

If you have any questions, please contact my department's subdivision team at (956) 681-1250.

Sincerely,

A handwritten signature in blue ink, appearing to read "Edgar I. Garcia", is written over a faint, light blue circular stamp.

Edgar I. Garcia, AICP, CNU-A
Director of Planning
City of McAllen, Texas

CC: McAllen Subdivision Team

STC WEST 20th LOT 1

SOUTH
COMMUNIT

LOCATION



3.) THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT. DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/13/2023

SUBDIVISION NAME: HABITAT ESTATES NO. 2

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Hackberry Avenue: 10 ft. to 15 ft. additional dedication required for 50 ft. ROW
Paving: 32 ft. Curb & gutter: Both Sides
*Please submit a copy of the DOC #2979940 referencing Hackberry Ave.
**Subdivision Ordinance: Section 134-105

Applied

Paving _____ Curb & gutter _____

Applied

* 800 ft. Block Length.

NA

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac.

NA

**Subdivision Ordinance: Section 134-118

ALLEYS

ROW: 20 ft. Paving: 16 ft.
*Proposing 30 ft., alley requirement will be finalized prior to final plat review
*Alley/service drive easement required for commercial properties
**Subdivision Ordinance: Section 134-106

Non-compliance

SETBACKS

* Front - 25 ft. or greater for easements
**Zoning Ordinance: Section 138-356

Applied

* Rear: 10 ft. or greater for easements.
**Zoning Ordinance: Section 138-356

Applied

* Sides: In accordance with zoning ordinance or greater for easements.
**Zoning Ordinance: Section 138-356

Applied

* Corner _____
**Zoning Ordinance: Section 138-356

NA

* Garage: 18 ft. except where greater setback is required; greater setback applies.
**Zoning Ordinance: Section 138-356

Applied

*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN

Applied

SIDEWALKS

* 4 ft. wide minimum sidewalk required on Hackberry Ave.
**5 ft. sidewalk might be required prior to final as per Engineering Department.
**Subdivision Ordinance: 134-120

Applied

* Perimeter sidewalks must be built or money escrowed if not built at this time.

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
NOTES	
* No curb cut, access, or lot frontage permitted along.	NA
* Site plan must be approved by the Planning and Zoning Commission prior to building permit issuance. **Single-family residence proposed.	NA
* Common Areas, Private Streets must be maintained by the lot owners and not the City of McAllen	Applied
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
LOT REQUIREMENTS	
* Minimum lot width and lot area. ***Zoning Ordinance: 138-1	Compliance
* Lots fronting public streets **Zoning Ordinance: Section. 138-356	Applied
ZONING/CUP	
* Existing: R-1 Proposed: R-1 ****Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval **Zoning Ordinance: Article V	Applied
PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. If number of proposed lots change, park fees will be adjusted accordingly.	Required
* Pending review by the Parkland Dedication Advisory Board and CC.	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

TRAFFIC	
* As per Traffic Department, Trip Generation will be waived. No TIA required.	Complete
* As per Traffic Department, Trip Generation will be waived. No TIA required.	NA
COMMENTS	
Comments: *Requirements subject to change once updated plat has been submitted and reviewed by staff. **Must comply with City's Access Management Policy ***Plat notes to also comply with City's Standards prior to final. ****Please provide ownership map to clarify property boundaries of lot ****Please submit copy of the DOC #2979940 referencing Hackberry Ave.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE PRELIMINARY 6-MONTH EXTENSION SUBJECT TO CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVALS.	Applied

STC WEST 20 AC LOT 1

SOUTH COMMUNIT

LOCATION



Subtotal: 0.122



City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Taylor Estates - Gated Community</u>		
	Location <u>4 3/4 Mile North Taylor Road</u>		
	City Address or Block Number <u>7600 N. TAYLOR RD</u>		
	Number of Lots <u>40</u> Gross Acres <u>10.09</u> Net Acres <u>9.91</u> ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
	Existing Zoning <u>A-O</u> Proposed Zoning <u>R-1</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____		
	Existing Land Use <u>Agricultural</u> Proposed Land Use <u>Single Family</u> Irrigation District # <u>United</u>		
	Replat <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Commercial _____ Residential _____		
	Agricultural Exemption <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Estimated Rollback Tax Due _____		
	Parcel # <u>282277</u> Tax Dept. Review _____		
	Water CCN <input type="checkbox"/> MPU <input checked="" type="checkbox"/> Sharyland Water SC Other _____ <small>The South 10.09 Acres (Deed 10.06) of Lot 407, John H. Shary</small>		
Owner	Name <u>RGV Villa Investments, LLC</u> Phone <u>956-624-7713</u>		
	Address <u>1301 E. 8th Street, Suite 103</u> E-mail <u>david@villahomesrgv.com</u>		
	City <u>Mission</u> State <u>TX</u> Zip <u>78572</u>		
Developer	Name <u>Same as Owner</u> Phone _____		
	Address _____ E-mail _____		
	City _____ State _____ Zip _____		
	Contact Person <u>David Villanueva</u>		
Engineer	Name <u>Spoor Engineering Consultants, Inc.</u> Phone <u>956-683-1000</u>		
	Address <u>202 So. 4th Street</u> E-mail <u>SEC@SpoorEng.com</u>		
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>		
	Contact Person <u>Steve Spoor, P.E.</u>		
Surveyor	Name <u>CVQ Land Surveyors</u> Phone <u>956-618-1551</u>		
	Address <u>517 Beaumont Avenue</u> E-mail <u>CVQ@CVQLS.com</u>		
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>		

OCT 28 2021

Initial: AM

Proposed Plat Submittal

- \$225 Preliminary Review Fee and \$75 Final Approval Fee
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner, if applicable
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Minimum Developer's Requirements Submitted with Application

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 10/28/21

Print Name Stephen Spoor, P.E.

Owner ☐

Authorized Agent ☒

Owners Signature

Spoor Engineering Consultants, Inc.
Consulting Engineers – Civil Land Planning – Stephen Spoor, P.E.

January 6, 2023

Edgar Garcia, AICP, CNU-A
Director – Planning & Zoning Dept.
City of McAllen
311 N. 15th Street
McAllen, Texas 78501

Re: Taylor Estates Subdivision

Dear Mr. Garcia,

Taylor Estates Subdivision was granted preliminary plat approval by the Planning & Zoning Commission. The subdivision plat process has been dormant for about a year while the Owner was making negotiations. We were recently contacted by the Owner and he is ready to resume the process. We hereby request a six-month extension for final plat approval for Taylor Estates Subdivision.

Thank you for your attention on this matter. Please contact us with any questions or if additional information is required.

Respectfully,



Stephen Spoor, P.E.



January 5, 2023

JAVIER VILLALOBOS, Mayor
JOAQUIN "J.J." ZAMORA, Mayor Pro Tem & Commissioner District 2
TONY AGUIRRE, JR., Commissioner District 1
J. OMAR QUINTANILLA, Commissioner District 3
RODOLFO "RUDY" CASTILLO, Commissioner District 4
VICTOR "SEBY" HADDAD, Commissioner District 5
PEPE CABEZA DE VACA, Commissioner District 6

ROEL "ROY" RODRIGUEZ, P.E., City Manager

Steve Spoor, P.E.
Spoor Engineering Consultants, Inc.
202 S. 4th Street
McAllen, TX 78501

Attn.: David Villanueva
RGV Villa Investments, LLC
1301 E. 8th Street, Suite 103
Mission, TX 78572

RE: TAYLOR ESTATES SUBDIVISION

Dear Mr. Spoor & Mr. Villanueva:

It has been over a year since TAYLOR ESTATES SUBDIVISION received preliminary plat approval by the Planning and Zoning Commission. In accordance with McAllen Code of Ordinances Section 134.50 (h), approval of preliminary plats is only effective for one year. As such, the preliminary plat approval for TAYLOR ESTATES SUBDIVISION will be revoked if we do not receive a six-month extension request letter from you within ten (10) days of this letter. If no extension request is received, we will send out an official notification letter soon after the ten (10) day deadline.

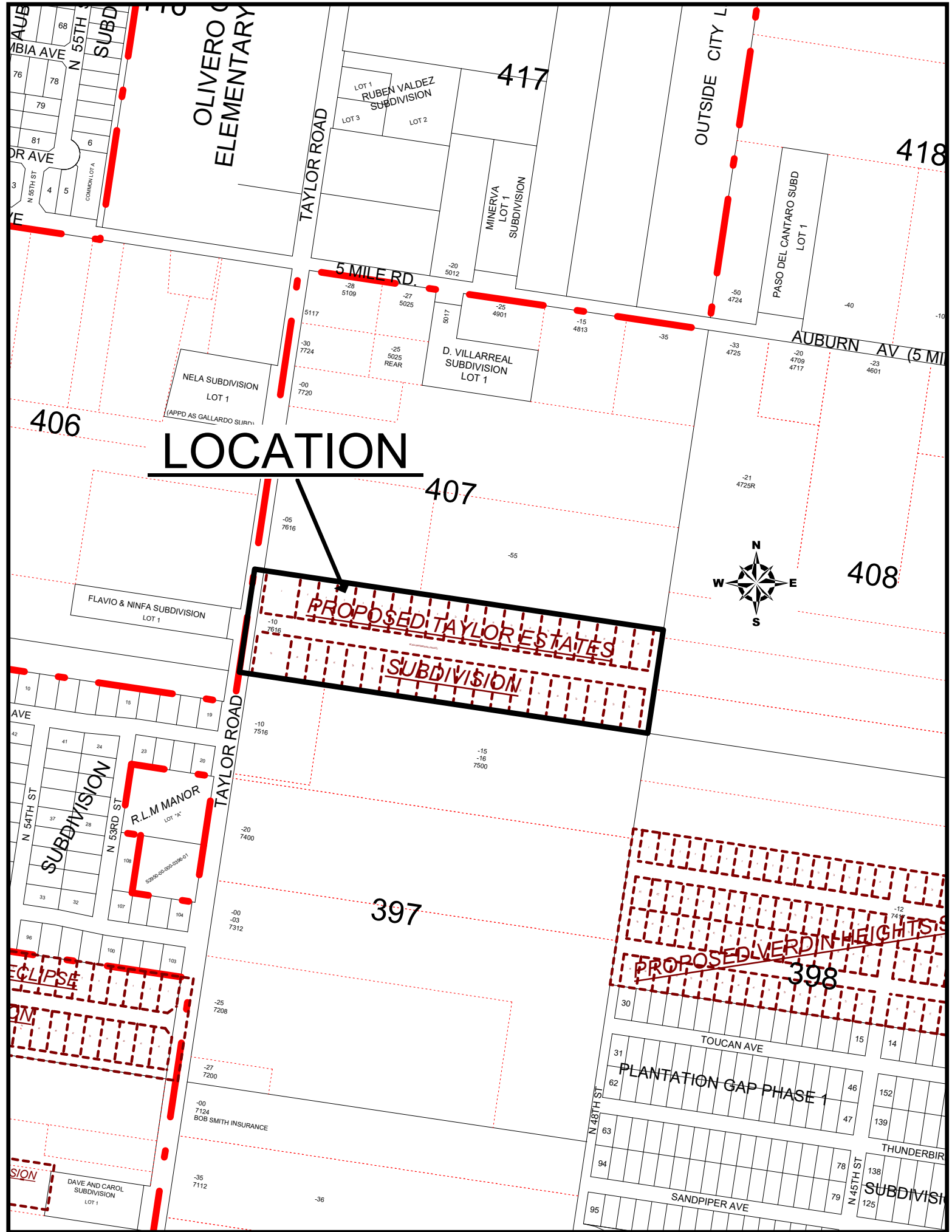
If you have any questions, please contact my department's subdivision team at (956) 681-1250.

Sincerely,

A handwritten signature in blue ink, appearing to read "Edgar", with a long horizontal flourish extending to the right.

Edgar I. Garcia, AICP, CNU-A
Director of Planning
City of McAllen, Texas

CC: McAllen Subdivision Team



LOCATION

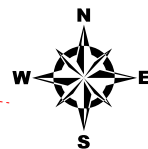
PROPOSED TAYLOR ESTATES
SUBDIVISION

PROPOSED VERDIN HEIGHTS

ECLIPSE

DAVE AND CAROL
SUBDIVISION
LOT 1

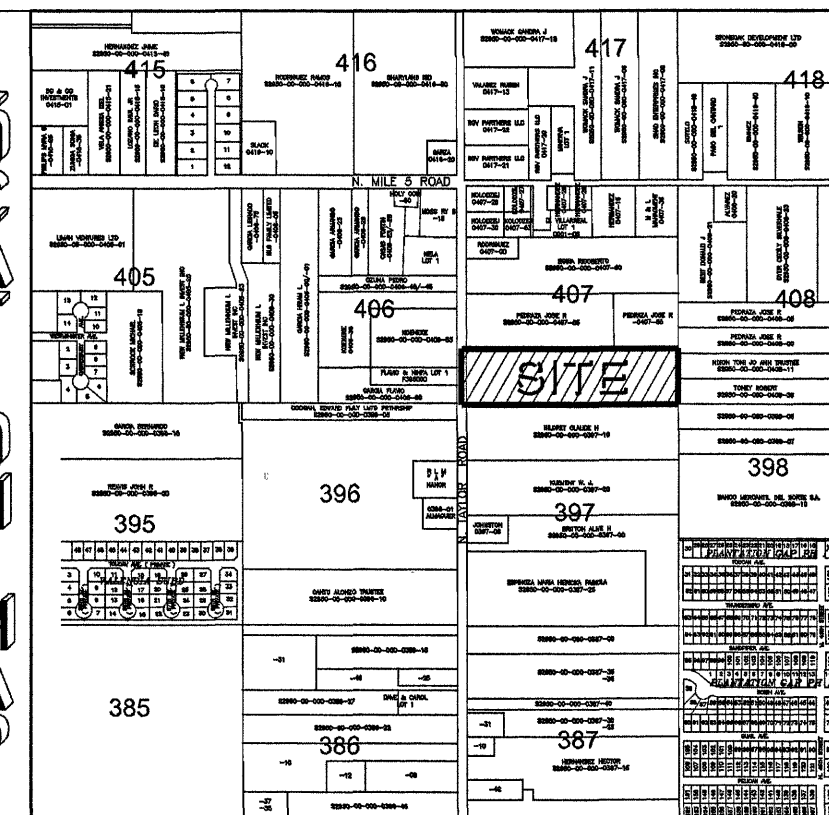
TOUCAN AVE
PLANTATION GAP PHASE 1
THUNDERBIR
SUBDIVISION
SANDPIPER AVE





McAllen, Texas

BEING A SUBDIVISION OF THE SOUTH 10.09 ACRES
(10.06 AC. DEED) OF LOT 407,
J.H. SHARY SUBDIVISION, HIDALGO COUNTY,
TEXAS ACCORDING TO PLAT RECORDED IN
VOLUME 1, PAGE 17, MAP RECORDS,
HIDALGO COUNTY, TEXAS.



Spoor Engineering Consultants, Inc.
Consulting Engineers - Civil Land Planning

 202 South 4th, Street McALLEN, TEXAS 78501
SEC@spoooreng.com (956) 683 1000



I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS (GATED COMMUNITY) SUBDIVISION DO HEREBY GRANT AN EASEMENT TO THE CITY OF McALLEN AND THOSE WHO MY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE USE OF THE STREETS, ALLEYS AND EASEMENTS THERE ON SHOWN. SURFACE USE OF THE STREETS AND ALLEYS IS RESTRICTED TO THE EMPLOYEES OR AGENTS OF THE CITY OF McALLEN EMPLOYEES OF UTILITIES OPERATING UNDER FRANCHISE TO THE CITY OF McALLEN AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS, EXCEPT N. TAYLOR RD. AND N. 48TH ST., WHICH ARE BEING DEDICATED FOR PUBLIC USE BY THIS PLAT.

RGV Villa Investment, LLC,
a Texas Limited Liability Company

By: David Villanueva
1301 E. 8th St.
Mission, Texas 78572

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DAVID VILLANUEVA, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE (SHE) EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE,
THIS THE _____ DAY OF _____, 2022.

NOTARY PUBLIC

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION

DATE _____

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR # 4608 IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

CARLOS VASQUEZ, RPLS # 4608
CVQ LAND SURVEYORS LLC
517 BEAUMONT ST.
McALLEN, TEXAS 78501
TBPELS FIRM No. 10119600

DATE _____

I, STEPHEN SPOOR, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHERE IN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN

DATE _____

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE 49.216(a). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA, IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

BY: RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE _____

1. MINIMUM BUILDING SETBACK SHALL BE AS FOLLOWS:
 - A. FRONT - 25 FEET
 - B. CORNER - 10 FEET OR GREATER FOR EASEMENTS
 - C. GARAGE - 18 FEET EXCEPT WHERE GREATER IS REQUIRED, GREATER APPLIES
 - D. REAR - 10 FEET OR GREATER FOR EASEMENT
 - E. OTHERS - IN ACCORDANCE WITH ZONING ORDINANCE OR TO EASEMENT LINE, WHICHEVER IS GREATER
2. MINIMUM FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE TOP OF CURB MEASURED AT FRONT CENTER OF LOT.
3. THIS PROPERTY FALLS IN ZONE "C" OF THE FLOOD INSURANCE RATE MAP, PANEL NO. 480 334 0400C, REVISED NOVEMBER 16, 1982.
4. A 6 FT. OPAQUE BUFFER IS REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL OR INDUSTRIAL ZONES/USES. AN 8 FT. MASONRY WALL IS REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES
5. A 4 FT. SIDEWALK IS REQUIRED ALONG TAYLOR RD. AND ALONG N. 48TH ST. AND BOTH SIDES OF YELLOWHAMMER AVE.
6. BENCHMARK - STATION NAME: MC 47 SET BY ARANDA AND ASSOC. LOCATED AT TAYLOR RD. AND MILE 5 NORTH ELEV:440.02 (NAVDD88)
7. OWNER IS REQUIRED TO PROVIDE AND ENGINEERED STORM WATER DETENTION PLAN APPROVED BY THE CITY OF MCALLEN ENGINEERING DEPARTMENT PRIOR TO ISSUANCE OF BUILDING PERMIT. MASTER DRAINAGE AND DETENTION IS ON FILE AT THE CITY ENGINEERING DEPARTMENT.
8. STORM WATER DETENTION REQUIRED IS 2.0 ACRE-FEET.
9. NO CURB CUT. ACCESS, OR LOT FRONTAGE PERMITTED ALONG N. TAYLOR RD.
10. AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR THE TAYLOR ESTATES SUBDIVISION, RECORDED AS DOCUMENT NO. _____, HIDALGO COUNTY, DEED RECORDS, DEVELOPER/HOMEOWNERS' ASSOCIATION/OWNERS, THEIR SUCCESSORS AND/OR ASSIGNEES, AND NOT THE CITY OF MCALLEN SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE, AND OTHER REQUIREMENTS AS PER SECTION 134-168 OF THE CODE OF ORDINANCES OF THE CITY OF MCALLEN, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND PRIVATE STREETS. ANY AMENDMENT TO DECLARATIONS THAT CONFLICT WITH THE REQUIREMENTS OF SECTION 134-168 SHALL BE NULL AND VOID
11. A 25 FT. BY 25 FT. SIGHT OBSTRUCTION EASEMENT IS REQUIRED AT ALL STREET RIGHTS-OF-WAY INTERSECTIONS.

THE SOUTH 10.09 ACRES OF LOT 407, J.H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS ACCORDING TO PLAT RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS, HIDALGO COUNTY, TEXAS.

BEGINNING at the southwest corner of Lot 407, for the southwest corner of the following described tract of land, said point being in N. Taylor Road,
THENCE, with the West line of Lot 407, in N. Taylor Road, North 08 Deg. 34 Min. 44 Sec. East, 333.0 feet to the northwest corner of the south 0.09 acres of Lot 407, for the northwest corner hereof;
THENCE, with the North line of the south 0.09 acres of Lot 407, South 81 Deg. 24 Min. 18 Sec. East, at 20.0 feet pass the East line of N. Taylor Road, and at 320.0 feet the northeast corner of the south 0.09 acres of Lot 407, for the northeast corner hereof;
THENCE, with the East line of Lot 407, South 08 Deg. 35 Min. 04 Sec. West, 333.0 feet to the southeast corner of Lot 407, for the southeast corner hereof;
THENCE, with the South line of Lot 407, North 81 Deg. 24 Min. 18 Sec. West, at 1300.0 feet pass the East line of N. Taylor Road, and at 320.0 feet the POINT OF BEGINNING. Containing 0.09 acres of land more or less, of which the west 20.0 feet, comprising 0.15 acre lies in N. Taylor Road.

STATE OF TEXAS
COUNTY OF HIDALGO

I/WE, THE UNDERSIGNED, HOLDER(S) (OR DULY AUTHORIZED OFFICERS OF THE HOLDER(S)) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS TAYLOR ESTATES SUBDIVISION OF THE CITY OF MCALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

LONE STAR NATIONAL BANK

BY:

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 2022.

NOTARY PUBLIC



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/13/2023

SUBDIVISION NAME: TAYLOR ESTATES (GATED COMMUNITY)	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>North Taylor Road: 20 ft. dedication for 40 ft. from centerline for 80 ft. total ROW Paving: 52ft. Curb & gutter: Both sides **Monies must be escrowed if improvements are not built prior to recording. ***COM Thoroughfare Plan</p>	Applied
<p>North 48th Street: 30 ft. dedication for 60 ft. total ROW Paving: 40 ft. Curb & gutter: Both sides **Monies must be escrowed if improvements are not built prior to recording. *****Subdivision Ordinance: Section 134-105</p>	Applied
<p>Yellowhammer Avenue: 60 ft. ROW (Private) Paving 40 ft. Curb & gutter: Both sides **Monies must be escrowed if improvements are not built prior to recording. ***Provide gate details prior to final for staff approval. ****Internal street might have to be revised to "public" so it can serve as 1/4 Collector Road; unless 30 ft. E/W ROW dedication is proposed on the south side of subdivision. *****Subdivision Ordinance: 134-105</p>	Non-compliance
<p>1/4 Collector Road (E/W): 30-35 ft. of dedication for 60-70 ft. of total ROW Paving: 40-44 ft. Curb & gutter: Both sides **Monies must be escrowed if improvements are not built prior to recording. ****30-35 ft. E/W ROW dedication is required on the south boundary of subdivision. Plat layout must be revised prior to final. *****Subdivision Ordinance: 134-105</p>	Non-compliance
<p>Paving _____ Curb & gutter _____</p>	Applied
<p>* 800 ft. Block Length. Proposed block length is approximately 1,250 ft. Plat layout must be revised prior to final plat to verify compliance with requirements prior to final. **Subdivision Ordinance: Section 134-118</p>	Non-compliance
<p>* 600 ft. Maximum Cul-de-Sac: **Subdivision Ordinance: Section 134-105</p>	NA
ALLEYS	
<p>ROW 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties</p>	NA
SETBACKS	
<p>* Front: 25 ft. or greater for easements. **Plat note #1 to be revised as shown above prior to final. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Rear: 10 ft. or greater for easements. **Zoning Ordinance: Section 138-356</p>	Applied

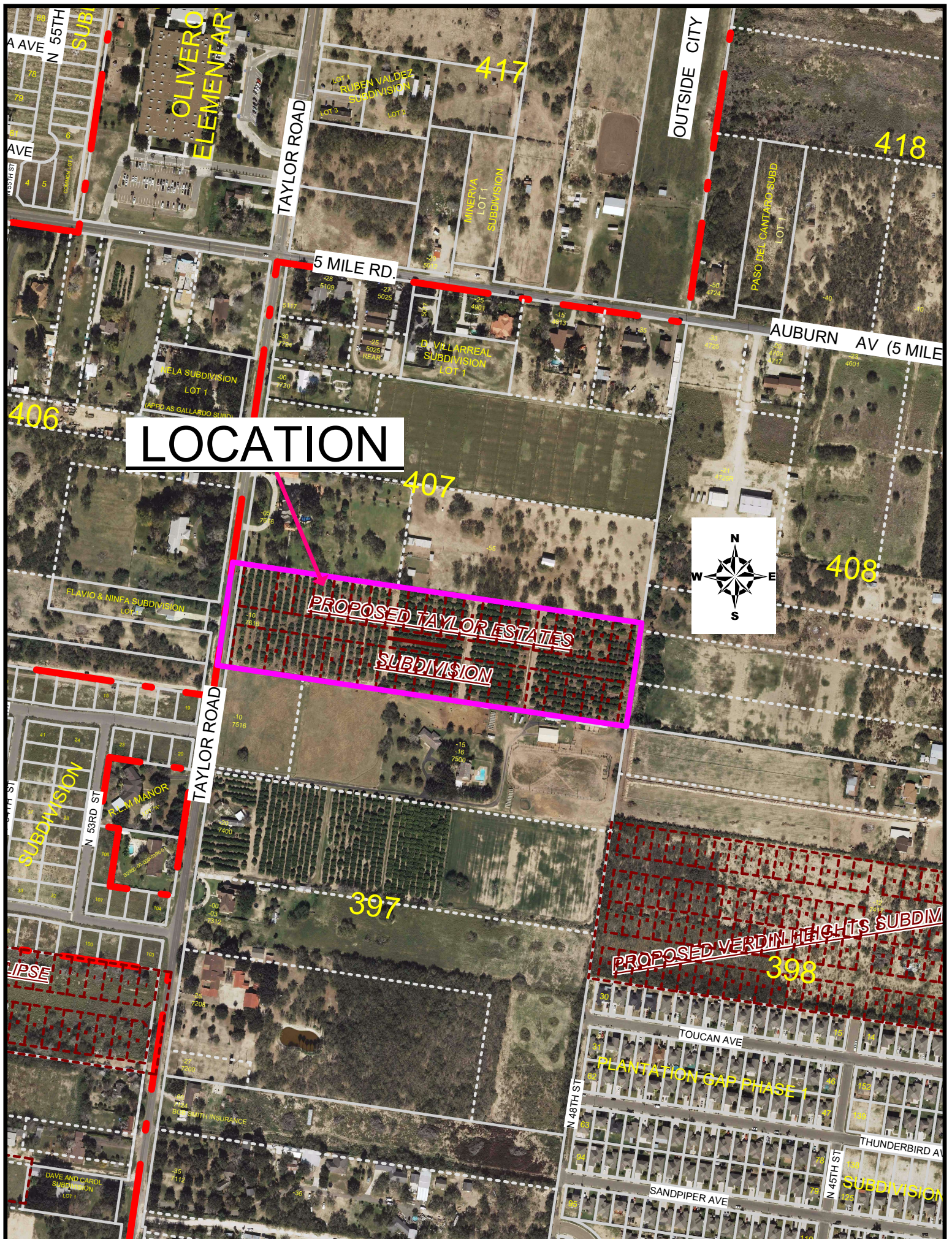
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Interior Sides: 6 ft. or greater for easements. **Plat note #1 to be revised as shown above prior to final. **Zoning Ordinance: Section 138-356 * Corner: 10 ft. or greater for easements. **Zoning Ordinance: Section 138-356 * Garage: 18 ft. except where greater setbacks is required; greater setback applies. **Plat note #1 to be revised as shown above prior to final. **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN 	Non-compliance
	Applied
	Non-compliance
	Applied
SIDEWALKS	
<ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on North Taylor Road, North 48th Street, all internal streets, and any other street that might be applicable prior to final. **5 ft. sidewalk as per Engineering Department might be required prior to final. ***Plat note must be revised prior to final plat. ****Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time. 	Non-compliance
	Applied
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements. 	Applied
	Applied
	Applied
NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along North Taylor Road and North 48th Street. **Plat note # 9 to be revised as shown above prior to final. **City's Access Management Policy. * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Common Areas, any private streets/drives, gate area, etc. must be maintained by the lot owners and not the City of McAllen *Section 110-72 applies for public subdivisions * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. *Section 110-72 applies for public subdivisions * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **HOA document to be recorded simultaneously with plat. ***Landscaping Ordinance: Section 110-72 ****Subdivision Ordinance: Section 134-168 	Non-compliance
	NA
	NA
	Required
	Required
	Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOT REQUIREMENTS	
* Minimum lot width and lot area. *Zoning Ordinance: 138-1	Compliance
* Lots fronting public streets *Zoning Ordinance: 138-1	Compliance
ZONING/CUP	
* Existing: R-1 (single-family residential) District Proposed: R-1 (single-family residential) District ** Rezoning to be presented before P&Z on 12/7/21 and before City Commission on 1/10/22. Rezoning process must be finalized prior to final plat. ***Rezoning to R-1 (Single-Family Residential) District approved at the City Commission meeting of 01/10/22. ****Zoning Ordinance: Article V	Compliance
* Rezoning Needed Before Final Approval ** Rezoning to be presented before P&Z on 12/7/21 and before City Commission on 1/10/22. Rezoning process must be finalized prior to final plat. ***Rezoning to R-1 (Single-Family Residential) District approved at the City Commission meeting of 01/10/22. ***Zoning Ordinance: Article V	Completed
PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, \$28,000 must be paid prior to recording based on 40 proposed lots. If amount of proposed lots change, park fees will be adjusted accordingly.	Required
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation is waived for 40 single-family residences. No TIA required.	Complete
* Traffic Impact Analysis (TIA) required prior to final plat. * As per Traffic Department, Trip Generation is waived for 40 single-family residences. No TIA required.	NA
COMMENTS	
Comments: *Requirements subject to change once updated plat has been submitted and reviewed by staff. **Must comply with City's Access Management Policy ***Street names to be finalized prior to final plat review. ****Clarify if subdivision is proposed to be public or private. Subject to change based on ROWs required. *****Plat layout to be revised prior to final to comply with ROW requirements. *****Gate details must be submitted to staff for staff to review.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE PRELIMINARY 6-MONTH EXTENSION SUBJECT TO CONDITIONS NOTED, DRIANAGE, AND UTILITY APPROVALS.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



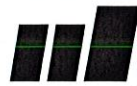
LOCATION

PROPOSED TAYLOR ESTATES
SUBDIVISION

PROPOSED VERDIN HEIGHTS SUBDM

PLANTATION OAK PHASE I

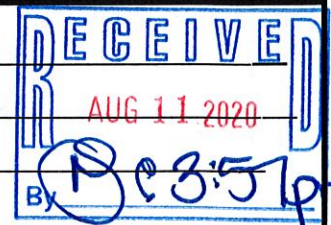
SUB2020-0050



City of McAllen
Planning Department
**APPLICATION FOR
SUBDIVISION PLAT REVIEW**

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project Description	Subdivision Name <u>Trenton Pecans Subdivision Phase I, Lot 1A</u> Location <u>Trenton and N. 17th Street</u> City Address or Block Number <u>1705 Umar Avenue</u> Number of lots <u>1</u> Gross acres <u>0.71</u> Net acres <u>0.71</u> Existing Zoning <u>R1</u> Proposed <u>R1</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____ Existing Land Use <u>vacant</u> Proposed Land Use <u>residential</u> Irrigation District # <u>3</u> Residential Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>0</u> Parcel No. <u>666549</u> Tax Dept. Review <u>Aguiar</u> Legal Description <u>Trenton Pecans Subdivision Phase I, Lots 1, 2, and 3</u>
Owner	Name <u>Valmor Service Corp.</u> Phone <u>956-682-8373</u> Address <u>P.O. Box 2814</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u> E-mail <u>wdmoschel@att.net</u>
Developer	Name <u>same as owner</u> Phone _____ Address _____ City _____ State _____ Zip _____ Contact Person _____ E-mail _____
Engineer	Name <u>Spoor Engineering Consultants, Inc.</u> Phone <u>956-683-1000</u> Address <u>202 So. 4th Street</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u> Contact Person <u>Steve Spoor, P.E.</u> E-mail <u>SEC@SpoorEng.com</u>
Surveyor	Name <u>Pena Engineering</u> Phone <u>956-682-8812</u> Address <u>1001 Whitewing Avenue</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>



Rct # 729460 pd \$2250

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- _____ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- _____ Title Report
- _____ 8 ½" by 11" Original Sealed Survey showing existing structures/
easements or 3 blue-line copies
- _____ 2 Location Maps
- _____ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- _____ 6 Folded blue-line prints of the proposed plat
- _____ 2 Warranty Deeds (Identifying owner on application)
- _____ Autocad 2005 DWG file and PDF of plat
- _____ Letter of Authorization from the owner, if applicable
- _____ Proof of authority of person signing application on behalf of
partnership/corporation, if applicable


PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and
surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width
from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blue-line copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 07/22/20

Print Name Steve Spoor, P.E.

Owner ☐

Authorized Agent ☒

Spoor Engineering Consultants, Inc.
Consulting Engineers – Civil Land Planning – Stephen Spoor, P.E.

January 6, 2023

Edgar Garcia, AICP, CNU-A
Director – Planning & Zoning Dept.
City of McAllen
311 N. 15th Street
McAllen, Texas 78501

Re: Trenton Pecan Subd. Phase I, Lot 1A

Dear Mr. Garcia,

Trenton Pecan Subdivision Phase I, Lot 1A was granted preliminary plat approval by the Planning & Zoning Commission. The subdivision plat process has been dormant for about a year while the Owner was making negotiations. We were recently contacted by the Owner and he is ready to resume the process. We hereby request a six-month extension for final plat approval for Trenton Pecan Subdivision Phase I, Lot 1A.

Thank you for your attention on this matter. Please contact us with any questions or if additional information is required.

Respectfully,



Stephen Spoor, P.E.



January 5, 2023

JAVIER VILLALOBOS, Mayor
JOAQUIN "J.J." ZAMORA, Mayor Pro Tem & Commissioner District 2
TONY AGUIRRE, JR., Commissioner District 1
J. OMAR QUINTANILLA, Commissioner District 3
RODOLFO "RUDY" CASTILLO, Commissioner District 4
VICTOR "SEBY" HADDAD, Commissioner District 5
PEPE CABEZA DE VACA, Commissioner District 6

ROEL "ROY" RODRIGUEZ, P.E., City Manager

Steve Spoor, P.E.
Spoor Engineering Consultants, Inc.
202 S. 4th Street
McAllen, TX 78501

Valmor Service Corp.
P.O. Box 2814
McAllen, TX 78501

RE: TRENTON PECAN SUBDIVISION PHASE I, LOT 1A

Dear Mr. Spoor:

It has been over a year since TRENTON PECAN SUBDIVISION PHASE 1, LOT 1A received preliminary plat approval by the Planning and Zoning Commission. In accordance with McAllen Code of Ordinances Section 134.50 (h), approval of preliminary plats is only effective for one year. As such, the preliminary plat approval for TRENTON PECAN SUBDIVISION PHASE 1, LOT 1A will be revoked if we do not receive a six-month extension request letter from you within ten (10) days of this letter. If no extension request is received, we will send out an official notification letter soon after the ten (10) day deadline.

If you have any questions, please contact my department's subdivision team at (956) 681-1250.

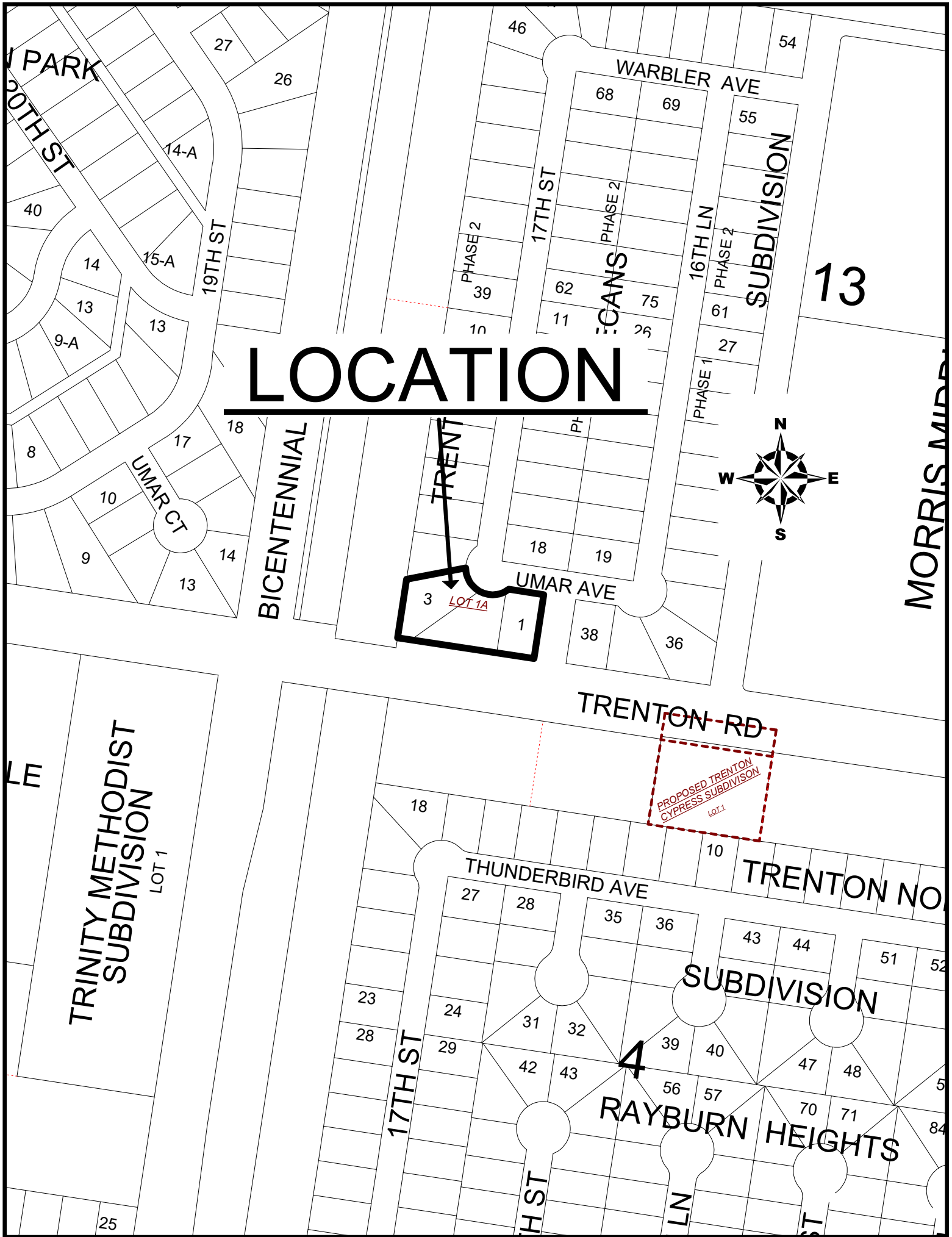
Sincerely,

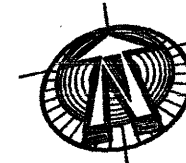
A handwritten signature in blue ink, appearing to read "Edgar I. Garcia", is written over a horizontal line.

Edgar I. Garcia, AICP, CNU-A
Director of Planning
City of McAllen, Texas

CC: McAllen Subdivision Team

LOCATION





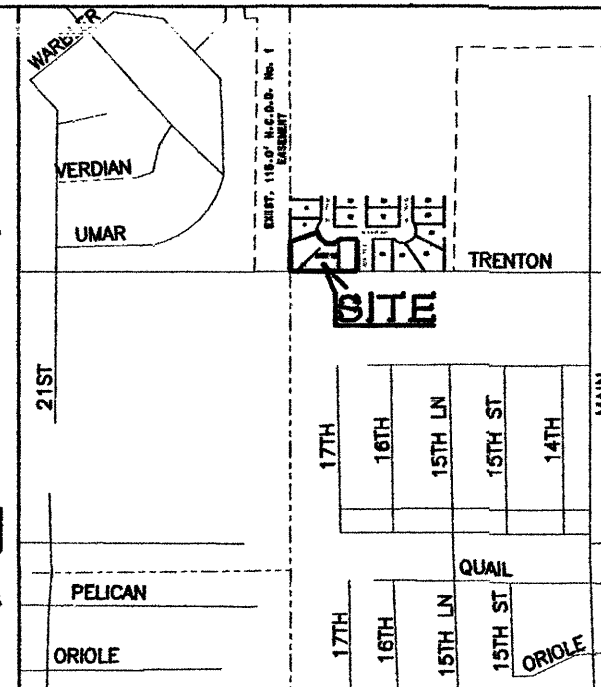
July 20, 2020
1"=60'

MAP OF TRENTON PECANS SUBDIVISION, PHASE I LOT 1A

McAllen, Texas

Being a Subdivision of Lots 1, 2 and 3,
Trenton Pecans Subdivision, Phase I, City of McAllen
Hidalgo County, Texas, according to plat record in
Vol. 42, Pg. 41, Map Records, Map Records,
Hidalgo County, Texas.

LOCAL
MAP



Prepared by:

Spoor Engineering Consultants, Inc.

Consulting Engineers - Civil Land Planning

FIRM # F-6003

202 South 4th Street McAllen, TEXAS 78501

SEC@spooreng.com (956) 683 1000



STATE OF TEXAS:
COUNTY OF HIDALGO:

* TRENTON PECAN
SUBDIVISION, PHASE I

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED AS LOT 1A, SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME(S) IS (ARE) SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS, AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED EITHER ON THE PLAT HEREOF, OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

VALMOR SERVICE CORP

By: W.D. Moschel V. Pres
P.O. Box 2814
McAllen, Texas 78502

STATE OF TEXAS:
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED W.D. Moschel, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE (SHE) EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE 20 DAY OF JULY, 2020.

NOTARY PUBLIC

DATE

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION

DATE

STATE OF TEXAS:
COUNTY OF HIDALGO:

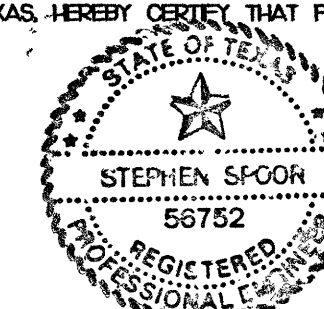
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR # 5242 IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOW THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF McALLEN, TEXAS.

PABLO (PALLU) PENA II
REGISTERED PROFESSIONAL LAND SURVEYOR
1001 WHITEWING AVE.
McALLEN, TEXAS 78501
TFLS FIRM # 1008720

DATE

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, STEPHEN SPOOR, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.



07-21-20
REGISTERED PROFESSIONAL ENGINEER
P. E. REGISTRATION No. 56752

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN

DATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE 49.21(a). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RECEIVED

By Nikki Marie Cavazos at 2:28 pm, Aug 18, 2020

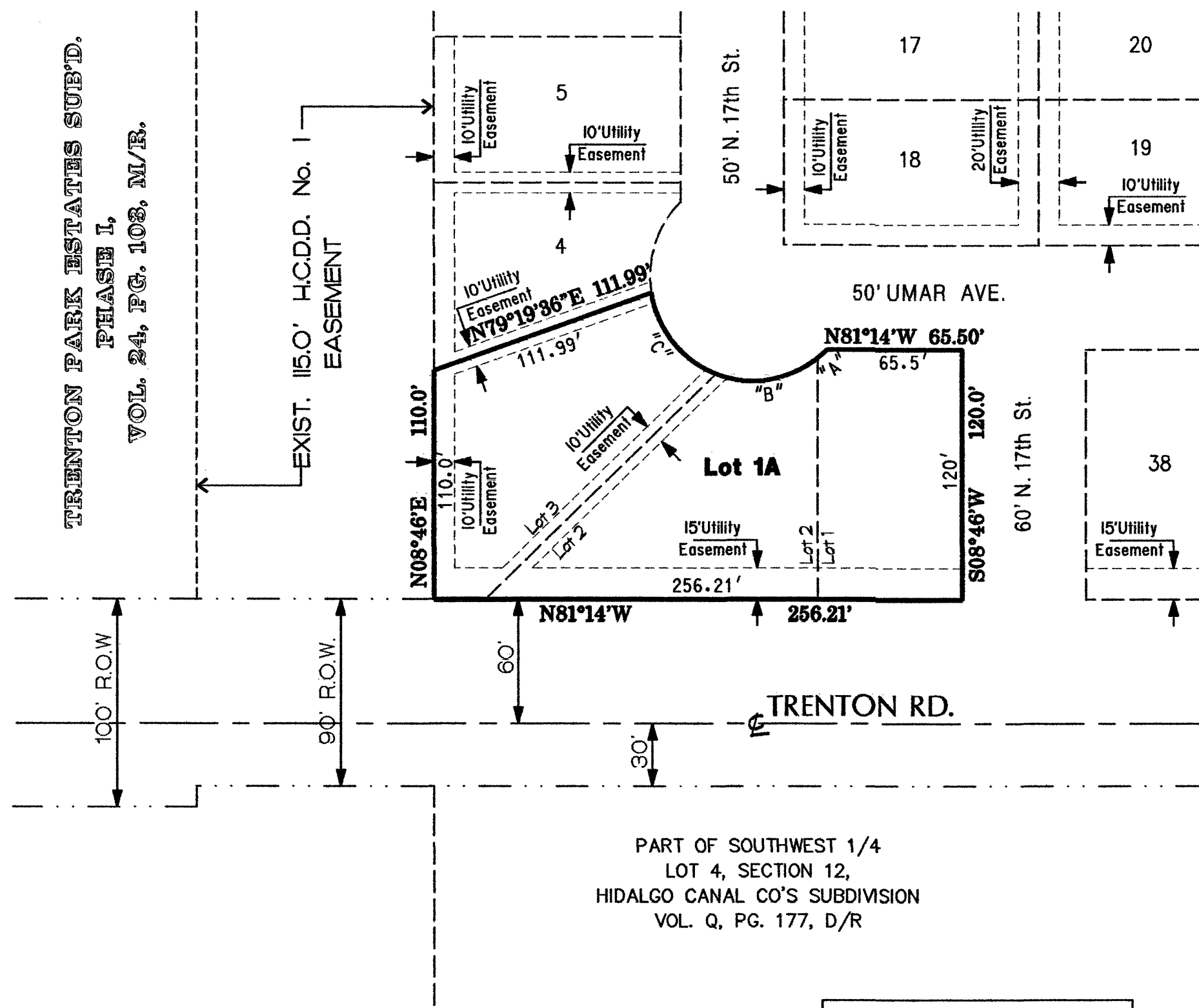
By: RALL E. SESIN, P.E., CFM.
GENERAL MANAGER

DATE

RECEIVED VIA EMAIL 08/11/2020 AT 4:13 PM

TRENTON PARK ESTATES SUBD.
PHASE I,
VOL. 24, PG. 108, M/R.

EXIST. 115.0' H.C.D.D. No. 1
EASEMENT



PART OF SOUTHWEST 1/4
LOT 4, SECTION 12,
HIDALGO CANAL CO'S SUBDIVISION
VOL. Q, PG. 177, D/R

CURVE DATA

LOT	CURVE	RADIUS	LENGTH	ANGLE	CHORD
1	A	50'	6.06'	06°56'58"	N56°40'06"E-6.06'
2	B	50'	52.15'	59°45'22"	S89°58'48"E-49.82'
3	C	50'	52.34'	59°58'29"	S80°06'48"E-49.98'

NOTES:

- MINIMUM BUILDING SETBACK SHALL BE AS FOLLOWS:
A- FRONT: -25 FT.
B- REAR: -15 FT.
C- CORNER: -10 FT.
D- SIDES: -8 FT.
E- GARAGE: -18 FT. EXCEPT WHERE GREATER SETBACK IS REQUIRED, GREATER SETBACK APPLIES.
- MINIMUM FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE TOP OF CURB MEASURED AT CENTER OF LOT.
- THIS PROPERTY FALLS IN ZONE "C" OF THE FLOOD INSURANCE RATE MAP, PANEL NO. 480 343 0005 C, REVISED NOVEMBER 2, 1982.
- A 6' BUFFER IS REQUIRED FROM ADJACENT COMMERCIAL ZONES/USES AND ALONG TRENTON RD.
- 4.0' SIDEWALK REQUIRED ALONG TRENTON, N. 17TH ST. AND ULEX AVE.
- NO ACCESS, CURB CUTS, OR LOT FRONTAGE PERMITTED ALONG TRENTON RD.
- 25' x 25' SITE OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS.
- OWNER IS REQUIRED TO PROVIDE AN ENGINEERED STORM WATER DETENTION PLAN APPROVED BY THE CITY OF McALLEN ENGINEERING DEPT. PRIOR TO ISSUANCE OF BUILDING PERMIT.
- STORM WATER DETENTION OF 0.03 AC-FT SHALL BE REQUIRED FOR THIS SUBDIVISION.
- BENCHMARK- STATION NAME: MC 55 SET BY ARANDA & ASSOC. LOCATED AT NORTH 10TH STREET INSIDE ROBIN PARK BEHIND FINA GAS STATION ELEV.- 108.89 FT (NAVD83)

METES & BOUNDS

LOTS 1, 2, AND 3, TRENTON PECANS SUBDIVISION, PHASE I, CITY OF McALLEN, HIDALGO COUNTY, TEXAS, ACCORDING TO PLAT RECORDED IN VOLUME 42, PAGE 41, MAP RECORDS, HIDALGO COUNTY, TEXAS.

BEGINNING at the southeast corner of Lot 1 for the southeast corner of the following described tract of land, said point being the intersection of the North line of Trenton Road and the West line of N. 17th Street;
THENCE, with the South line of Lots 1, 2, and 3, and the North line of Trenton Road, North 81 Deg. 14 Min. West, 256.21 feet to the southwest corner of Lot 3, for the southwest corner hereof;
THENCE, with the West line of Lot 3, North 08 Deg. 46 Min. East, 110.0 feet to the northwest corner of Lot 3, for the northwest corner hereof;
THENCE, with the North line of Lot 3, North 79 Deg. 19 Min. 36 Sec. East, 111.99 feet to the northeast corner of Lot 3, for the most northerly northeast corner hereof; said point being on the West line of N. 17th Street, and being on a curve to the left;
THENCE, with the East line of Lot 3, and the North line of Lots 2 and 1, with the West line of N. 17th Street and the South line of Ulex Avenue, with said curve to the left, in an easterly direction on a radius of 50.0 feet, through an arc of 126 Deg. 40 Min. 49 Sec., and a distance of 110.55 feet to a point on the North line of Lot 1, for a point on the North line hereof;
THENCE, with the North line of Lot 1, and the South line of Ulex Avenue, South 81 Deg. 14 Min. East, 65.50 feet to the northeast corner of Lot 1, for the most southerly northeast corner hereof; said point being on the West line of N. 17th Street;
THENCE, with the East line of Lot 1, and the West line of N. 17th Street, South 08 Deg. 46 Min. West, 120.0 feet to the POINT OF BEGINNING, containing 0.71 acres of land, more or less.



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/13/2023

SUBDIVISION NAME: TRENTON PECANS PHASE I, LOT 1A

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Trenton Road: 60 ft. from centerline for 120 ft. of ROW
Paving: Minimum 65 ft. Curb & gutter: Both sides.
**Monies must be escrowed if improvements are not built prior to recording.

North 17th Street (Entrance): 30 ft. from centerline for 60 ft. of ROW
Paving: 40 ft. Curb & gutter: Both sides

Umar Avenue: 25 ft. from centerline for 50 ft. ROW
Paving: 32 ft. Curb & gutter: Both sides

Paving _____ Curb & gutter _____

Paving _____ Curb & gutter _____

* 800 ft. Block Length.

* 600 ft. Maximum Cul-de-Sac.

Applied

Applied

Applied

Applied

Applied

NA

NA

ALLEYS

ROW : 20 ft. Paving: 16 ft.
*Alley/service drive easement required for commercial properties

NA

SETBACKS

* Front: 25 ft. or greater for easements

* Rear: 15 ft. or greater for easements for double fronting lots (south side)
10 ft. or greater for easements (west side)
**Please revise plat note as shown above.

* Sides: 6 ft. or greater for easements.

* Corner: 10 ft. or greater for easements.
**Please add plat note as shown above.

* Garage: 18 ft. except where greater setback is required, greater setback applies.

*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN

Applied

Applied

Applied

Non-compliance

Applied

Applied

SIDEWALKS

* 4 ft. wide minimum sidewalk required on Trenton Road, both sides of North 17th Street, and both sides Umar Avenue
**Please revise plat note as shown above.

* Perimeter sidewalks must be built or money escrowed if not built at this time.

Non-compliance

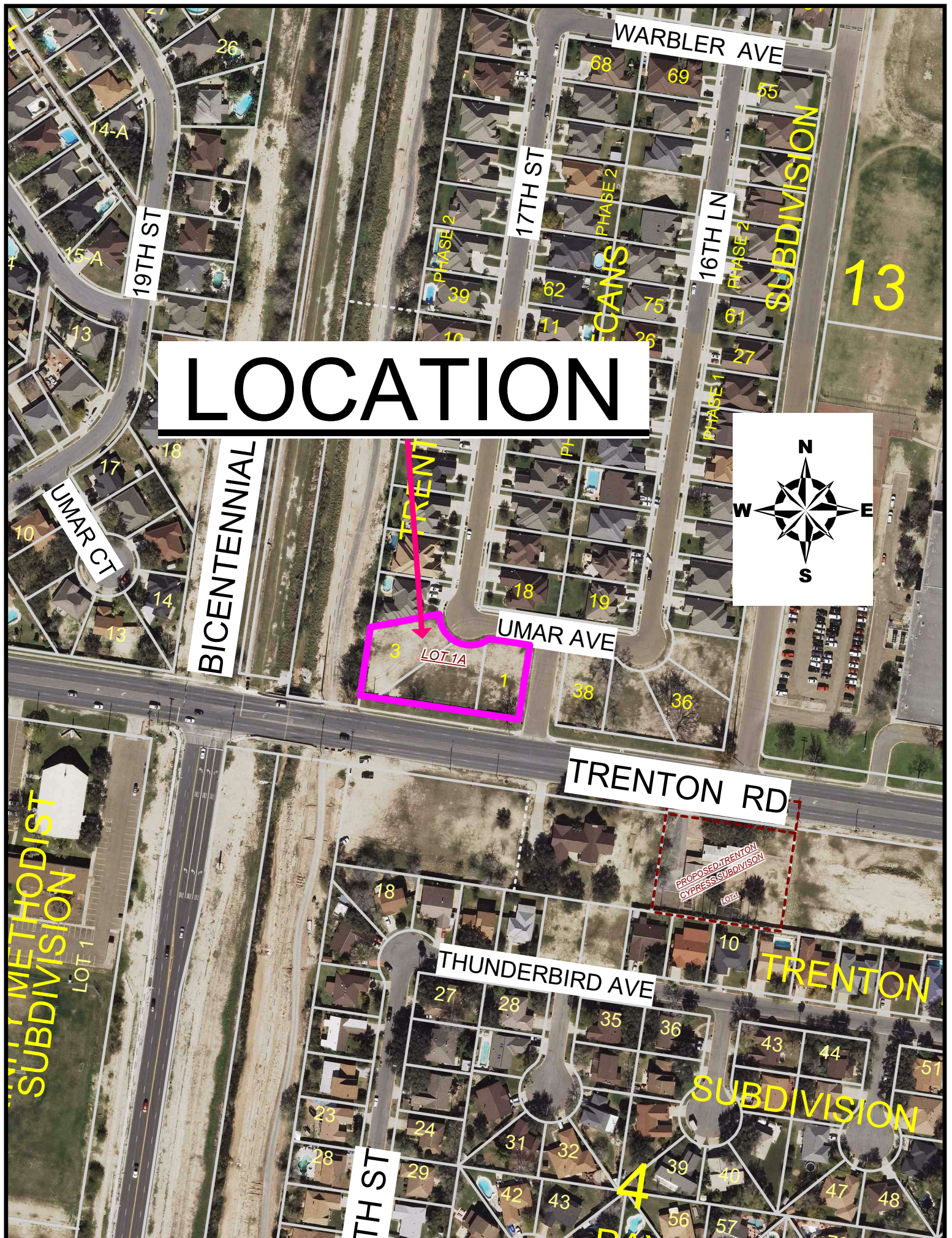
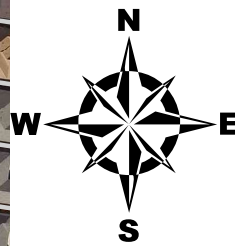
Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along Trenton Road. **Please revise plat note # 5 as shown above.	Non-compliance
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Please add plat note as shown above.	Non-compliance
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
NOTES	
* No curb cut, access, or lot frontage permitted along Trenton Road.	Applied
* Site plan must be approved by the Planning and Zoning Commission prior to building permit issuance.	NA
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Common Areas, Private Streets must be maintained by the lot owners and not the City of McAllen	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.	Applied
LOT REQUIREMENTS	
* Minimum lot width and lot area.	Compliance
* Lots fronting public streets.	Compliance
PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording	Applied
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
ZONING/CUP	
* Existing: R-1 Proposed: R-1	Compliance
* Rezoning not needed Before Final Approval	NA
TRAFFIC	
* As per Traffic Department, Trip Generation waived for one single family residence. No TIA required.	Completed
* Traffic Impact Analysis (TIA) required prior to final plat.	NA

COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none">* Requirements subject to change once updated plat has been submitted and reviewed by staff.**Must comply with City's Access Management Policy***Change subdivision name to "Trenton Pecan Subdivision Phase 1A, Lot1A" prior to final.****Existing plat notes will remain.*****Add plat note "25 ft. x 25 ft. site obstruction easement required at all street intersections" as shown on original plat.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE PRELIMINARY 6-MONTH EXTENSION SUBJECT TO CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVALS.	Applied

LOCATION



Sub2021-0112

City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Nolana Estates</u>	
	Location <u>Westside of McColl Road - Approx 365' South of Nolana Ave.</u>	
	City Address or Block Number <u>3901 N. McColl Rd</u>	
	Number of Lots ¹⁰⁰ <u>2 out parcels</u> Gross Acres <u>10.809</u> Net Acres <u>10.809</u> ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
	Existing Zoning <u>C3</u> Proposed Zoning <u>R3T</u> Rezoning Applied for <input type="checkbox"/> Yes <input type="checkbox"/> No Date <u>9/10/2021</u>	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>townhouse</u> Irrigation District # <u>2</u>	
	Replat <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Commercial <u>N/A</u> Residential <input checked="" type="checkbox"/>	
	Agricultural Exemption <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Estimated Rollback Tax Due _____	
	Parcel # <u>690910</u> Tax Dept. Review _____	
	Water CCN <input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____	
Legal Description <u>10.809 ac (+/-) out of Lot 2, Block 8</u> <u>Steele & Pershing</u>		
Owner	Name <u>Fred Loya Insurance</u> Phone <u>90(956)648-8273</u>	
	Address <u>1999 Bryan St., Ste. 900</u> E-mail <u>90bfairlie@ebmerit.com</u>	
	City <u>Dallas</u> State <u>TX</u> Zip <u>75201-3140</u>	
Developer	Name <u>Fred Loya Insurance</u> Phone <u>90(956)648-8273</u>	
	Address <u>1999 Bryan St., Ste 900</u> E-mail <u>90bfairlie@ebmerit.com</u>	
	City <u>Dallas</u> State <u>Tx</u> Zip <u>75201-3140</u>	
	Contact Person <u>Brandon Fairlie</u>	
Engineer	Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u>	
	Address <u>115 W. McIntyre</u> E-mail <u>marrio@meldenandhunt.com</u>	
	City <u>Edinburg</u> State <u>TX</u> Zip <u>78541</u>	
	Contact Person _____	
Surveyor	Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u>	
	Address <u>115 W. McIntyre</u> E-mail <u>marrio@meldenandhunt.com</u>	
	City <u>Edinburg</u> State <u>Tx</u> Zip <u>78541</u>	

ENTERED

SEP 27 2021

Initial: AM

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ☒ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ☒ Title Report
- ☒ 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3
blueline copies 2 Location Maps
- ☒ 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- ☒ 6 Folded blueline prints of the proposed plat
- ☒ 2 Warranty Deeds (identifying owner on application)
- ☒ AutoCAD 2005 DWG file and PDF of plat
- ☒ Letter of Authorization from the owner, if applicable
- ☐ Proof of authority of person signing application on behalf of
partnership/corporation, if applicable

☒ PLAT TO SHOW:

- ☒ Metes and bounds
- ☐ Lots numbered with dimensions and area of irregular lots noted Surrounding
☒ platted lots and/or lot lines for unsubdivided tracts
- ☐ Name and address of owner, lienholder, developer, engineer and surveyor
☒ shown along with signature lines
- ☐ North arrow, scale and vicinity map
- ☒ Name & dimension of adjoining street ROWs (total width & width from
centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 1/2" by 11" copies/legible copy of the plat, affected by changes.

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 9/24/21

Print Name Marro A. Reyna

Owner ☐

Authorized Agent ☒

VAR 2023-0001



City of McAllen
Planning Department
VARIANCE TO SUBDIVISION
PROCESS APPLICATION

311 North 15th Street
 McAllen, TX 78501
 P. O. Box 220
 McAllen, TX 78505-0220
 (956) 681-1250
 (956) 681-1279 (fax)

Project

Legal Description Being a 10.809 acre tract of land situated in the City of McAllen, Hidalgo County, Texas, being out of Lot 2,
 Block 8, Steele & Pershings Subdivision, according to the plat thereof recorded in Volume 8, Page 114-115, H.C.M.R.

Street Address 4501 and 4701 Nolana Avenue

Number of lots 103 Gross acres 10.809

Existing Zoning R-3A Existing Land Use vacant

☒ Current Survey and Metes and Bounds (if the legal description of the tract is a portion of a lot) is required

Applicant

Name Melden & Hunt, Inc. Phone (956) 381-0981

Address 115 West McIntyre Street E-mail mario@meldenandhunt.com / drobles@meldenandhunt.com

City Edinburg State Texas Zip 78541

Owner

Name Fred Loya Insurance Phone (956) 648-8273

Address 1999 Bryan Street, Suite 900 E-mail bfairlie@ebmerit.com

City Dallas State Texas Zip 75201

Authorization

To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated?

☐ Yes ☒ No

I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature [Signature] Date December 30, 2022

Print Name Mario A Reyna, P.E. ☐ Owner ☒ Authorized Agent

Office

Accepted by LG

Payment received by _____

Date 12/30/22 **ENTERED**

Rev 10/18

DEC 30 2022

Initial: DM



City of McAllen

Planning Department

REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: *(If necessary, please use an additional page to complete responses)*

**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

The owner is requesting in lieu of the required 60-foot ROW we have a 50 foot ROW with a the pavement being 40 feet for the proposed private subdivision. We will have an additional 10 foot of utility and sidewalk easement on either side.

2. Described how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

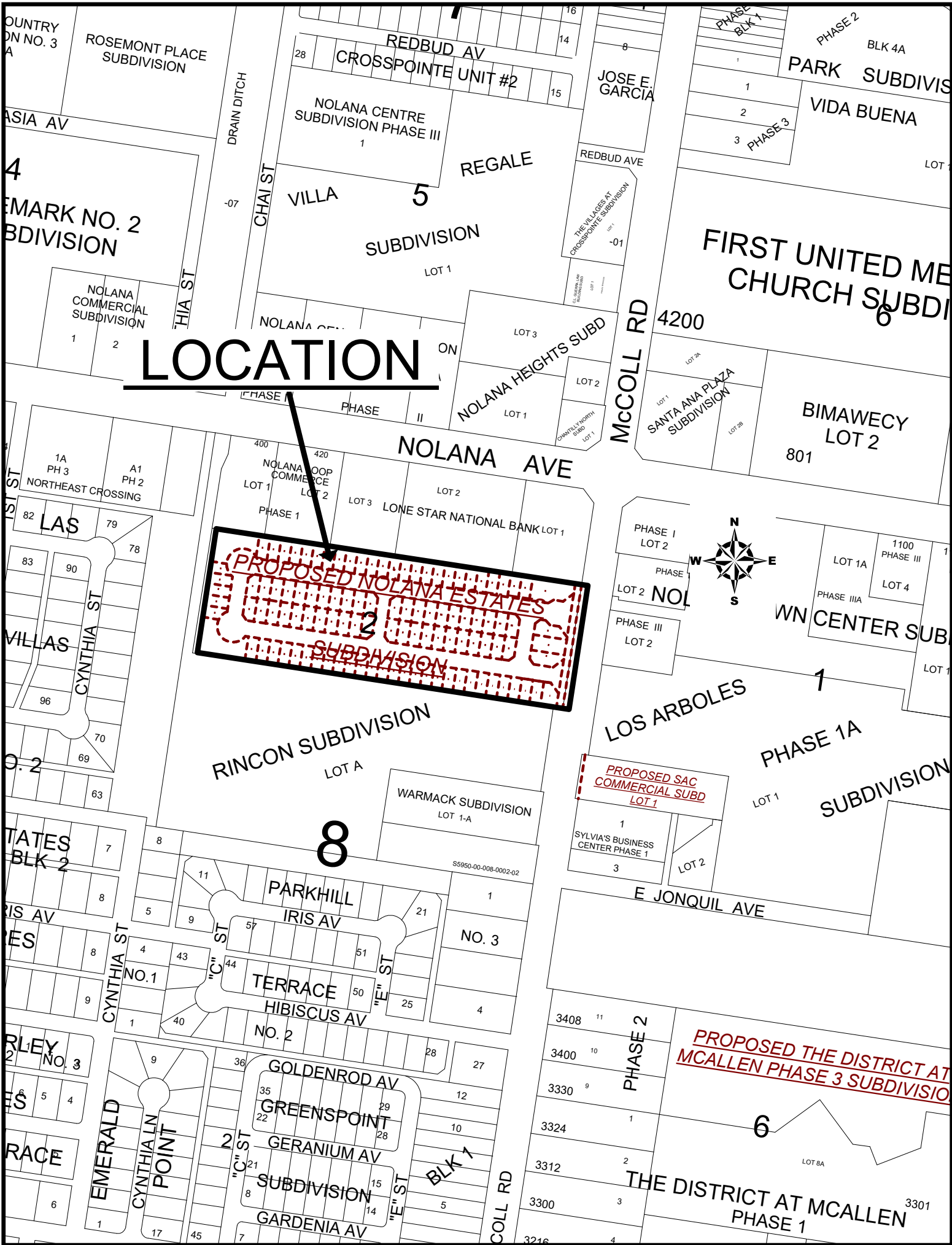
The variance is necessary so that we can utilities the most of the land while still keeping in requirements with all other departments and standards. This will also allow emergency vehicles the necessary means and time to respond to emergency calls. This is a private subdivision and no one other then residents will be using/traveling through the proposed subdivision.

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

The variance will not be detrimental to the public health, safety, or welfare or injurious to the legal rights that other property owners may enjoy within the proposed area.

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

The variance will not have any negative effect or prevent the orderly subdivision of other lands within the area in accordance with the provisions of this chapter and the City of McAllen. This subdivision will be a private subdivision.



LOCATION

PROPOSED NOLANA ESTATES
SUBDIVISION

PROPOSED THE DISTRICT AT
MCALLEN PHASE 3 SUBDIVISION

PROPOSED SAC
COMMERCIAL SUBD
LOT 1

6

8

5

3301

LOT 8A

4200

801

BLK 4A

PARK SUBDIVIS

VIDA BUENA

LOT 1

FIRST UNITED ME
CHURCH SUBDI

BIMAWECY
LOT 2

PHASE I
LOT 2

PHASE
LOT 2

PHASE III
LOT 2

WN CENTER SUB

1

PHASE 1A

SUBDIVISION

LOS ARBOLES

E JONQUIL AVE

PHASE 2

THE DISTRICT AT MCALLEN
PHASE 1

NOLANA AVE

LONE STAR NATIONAL BANK LOT 1

PHASE II

NOLANA HEIGHTS SUBD

SUBDIVISION

VILLA

NOLANA CENTRE
SUBDIVISION PHASE III

CROSSPOINTE UNIT #2

REDBUD AV

ROSEMONT PLACE
SUBDIVISION

COUNTRY
ON NO. 3

ASIA AV

MARK NO. 2
BDIVISION

NOLANA
COMMERCIAL
SUBDIVISION

1A
PH 3
NORTHEAST CROSSING

82

83

90

78

79

96

70

69

63

0.2

TATES
BLK 2

7

8

8

8

9

NO. 3

5

4

6

RACE

1

17

EMERALD
POINT

CYNTHIA ST

"C" ST

"E" ST

"E" ST

"E" ST

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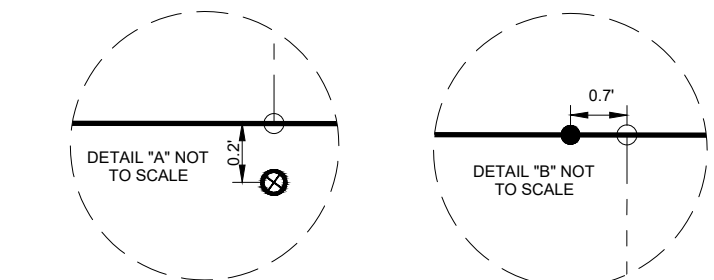
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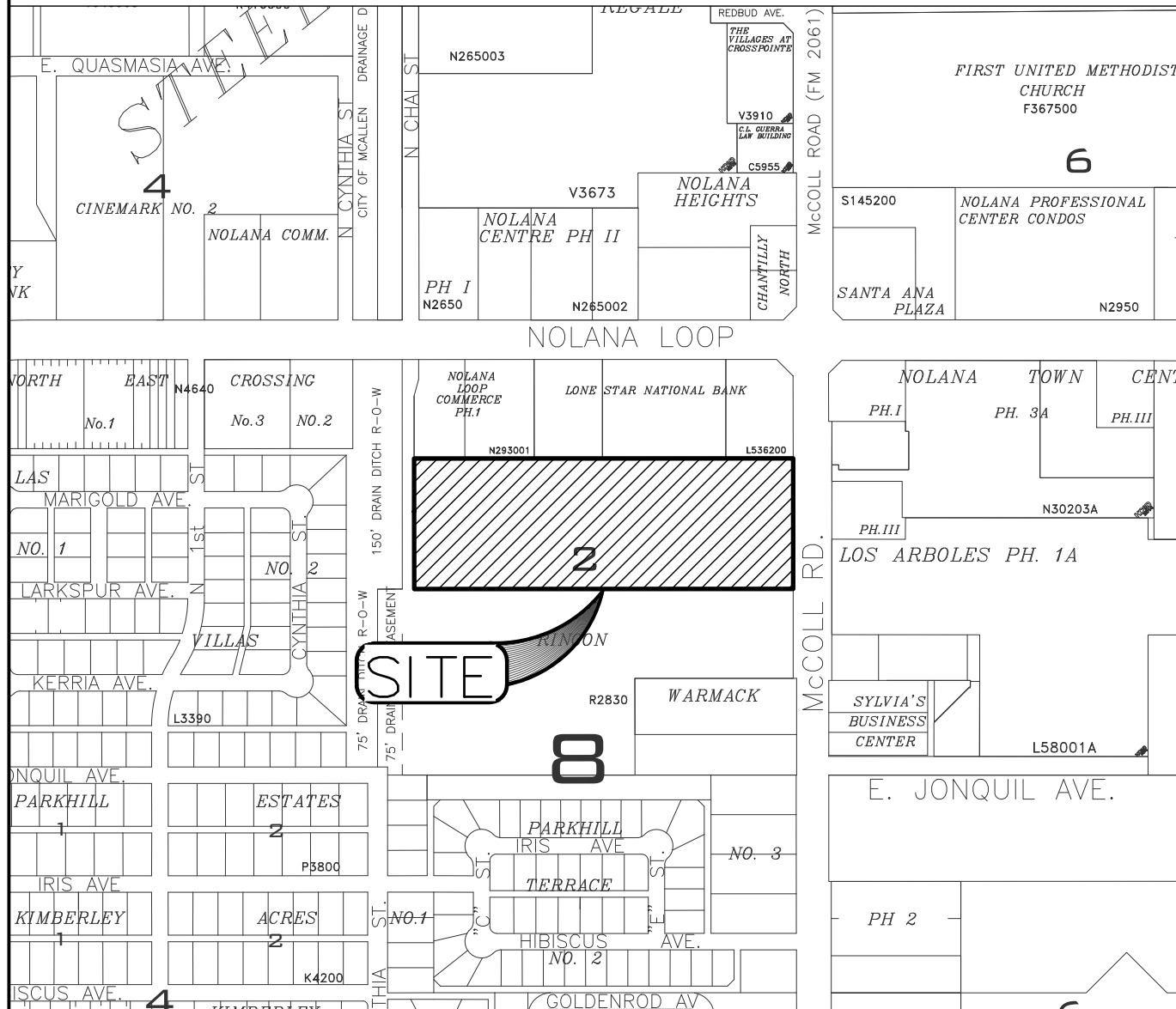
SUBDIVISION MAP OF NOLANA ESTATES SUBDIVISION

BEING A SUBDIVISION OF A 10.809 ACRES OF LAND SITUATED IN
THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING A PART
OR PORTION OUT OF LOT 2, BLOCK 8, STEELE & PERSHING
SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN
VOLUME 8, PAGE 114-115, HIDALGO COUNTY DEED RECORDS.

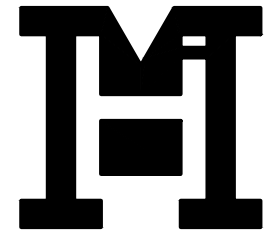


DRAWN BY: GABRIEL F. DATE 08-17-22
SURVEYED, CHECKED DATE
FINAL CHECK DATE

LOCATION MAP
SCALE: 1"=1000'



TBPE FIRM # F-1435



MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS
115 W. McINTYRE
EDINBURG, TX 78541
PH: (956) 381-0981
FAX: (956) 381-1839
ESTABLISHED 1947

GENERAL NOTES :

- THE SITE LIES IN ZONE "B". ZONE "B" IS DEFINED AS " AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. ZONE "B" SHOWN ON: COMMUNITY-PANEL NUMBER: 480343 0005 C MAP REVISED: NOVEMBER 2, 1982
- MINIMUM FINISH FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB AT CENTER OF LOT.
- MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF MCALLEN ZONING CODE:
FRONT: 10 FEET OR GREATER FOR EASEMENT.
REAR: IN ACCORDANCE WITH ZONING ORDINANCE OR GREATER FOR EASEMENT.
CORNER: IN ACCORDANCE WITH ZONING ORDINANCE OR GREATER FOR EASEMENT.
INTERIOR SIDES: IN ACCORDANCE WITH ZONING ORDINANCE OR GREATER FOR EASEMENT.
GARAGE: 18 FEET EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES.
- REQUIRED DETENTION FOR STORM SEWER RUNOFF PER THE APPROVED DRAINAGE REPORT SHALL BE 64.312 CUBIC FEET. STORM WATER RUNOFF GENERATED FROM DEVELOPMENT SHALL BE DETAINED ON-SITE VIA A DETENTION POND WITH A TOTAL CAPACITY OF 72,388 CUBIC FEET. WATER WILL THEN DISCHARGE THROUGH AN 24" BLEEDER LINE INTO AN EXISTING CITY OF MCALLEN NORTHEAST BLUELINE DITCH LOCATED ON THE WEST SIDE OF THE PROPERTY ALONG A EXISTING ACCESS ROAD.
- CITY OF MCALLEN BENCHMARK: "MC 68" FROM THE CITY OF MCALLEN G.P.S. REFERENCE MARKS LIST PREPARED BY GLICK, LINN ON OCTOBER 06, 1999. BEING LOCATED ON NORTHEAST CORNER OF THE INTERSECTION OF JACKSON ROAD & EL DORA ROAD. 30" ALUM. PIPE WITH A 3 1/2" BRASS MONUMENT CAP ON TOP AT ELEVATION = 111.23, NORTING: 16808729.2851, EASTING: 1082910.61419 (NAVD88).
- NO STRUCTURES PERMITTED TO BE BUILT OVER EASEMENTS.
- 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ALONG NORTH MCCOLL ROAD.
- 4 FT. WIDE SIDEWALK REQUIRED ALONG BOTH SIDES OF ALL INTERIOR STREETS.
- 25 FT. x 25 FT. SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS.
- AN 8 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES.
- AN 8 FT. MASONRY WALL IS REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- SET NO. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN AND HUNT ON ALL LOT CORNERS.
- COMMON OR DETENTION AREAS, ANY PRIVATE STREET/ALLEYS, AND/OR GATES MUST MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF MCALLEN.
- NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG NORTH MCCOLL ROAD.
- AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS, FOR NOLANA ESTATES SUBDIVISION RECORDED UNDER DOCUMENT NUMBER 33810, HIDALGO COUNTY OFFICIAL RECORDS, DEVELOPER/HOMEOWNERS ASSOCIATION/OWNERS, THEIR SUCCESSORS AND/OR ASSIGNS, AND NOT THE CITY OF MCALLEN SHALL BE RESPONSIBLE OF INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 134-168 OF THE CODE OF ORDINANCE OF THE CITY OF MCALLEN, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND DETENTION PONDS. ANY AMENDMENT TO DECLARATION THAT CONFLICT WITH THE REQUIREMENTS OF SECTION 134-168 SHALL BE NULL & VOID.
- COMMON LOT 111 & 112, IDENTIFIED AS DETENTION AREAS SHALL BE MAINTAINED BY THE DEVELOPER WHO MAY TRANSFER SUCH MAINTENANCE OBLIGATION TO THE SUBDIVISION HOMEOWNERS ASSOCIATION, NOLANA ESTATES SUBDIVISION HOMEOWNERS ASSOCIATION, UPON CONVEYANCE OF TITLE TO THE SAME, THEIR SUCCESSORS AND ASSIGNEES, AND NOT BY THE CITY OF MCALLEN, NO BUILDINGS OR OTHER STRUCTURES SHALL BE ERECTED IN COMMON LOT 111 & 112, WHICH SHALL BE USED EXCLUSIVELY AS DETENTION AREAS. AFTER COMMON LOT 111 & 112 TRANSFER OF TITLE TO THE NOLANA ESTATES SUBDIVISION HOMEOWNERS ASSOCIATION THE SUBDIVISION LOT OWNERS PRO RATA SHARES OF THE COST OF MAINTENANCE SHALL BE DETERMINED BY THE NOLANA ESTATES SUBDIVISION HOMEOWNERS ASSOCIATION. FAILING IN SUCH MAINTENANCE OBLIGATIONS, THE CITY OF MCALLEN MAY, BUT SHALL NOT BE REQUIRED TO MAINTAIN THE SAME AT THE LOT OWNERS COST, WHICH COST MAY BECOME A LIEN AGAINST THEIR PROPERTIES PRIOR TO THE IMPOSITION OF ANY LIEN, THE CITY SHALL FIRST COMPLY WITH NOTICE REQUIREMENTS SIMILAR TO THOSE UNDER EXISTING ORDINANCE SECTION 134-168(d), AS THE SAME MAY BE AMENDED. THE SPECIFIC AND EXCLUSIVE USE OF COMMON LOT 111 & 112 THE OWNERS MAINTENANCE OBLIGATION, AND THE CONSEQUENCES OF FAILURE TO MAINTAIN SHALL BE INCORPORATED INTO ANY DEED OR INSTRUMENT OF CONVEYANCE AS A DEED RESTRICTION. RECORDED IN INSTRUMENT NO. 33810, HIDALGO COUNTY, TEXAS.
- LOT 113 WILL BE USED AS COMMON AREA "A".
- LOT 111 & 112 WILL BE USED AS THE DETENTION AREA.

Line Table		
Line #	Direction	Length
L1	S 53° 39' 41" W	42.42'
L2	S 36° 19' 37" E	42.43'
L3	S 36° 21' 43" E	21.24'
L4	N 53° 40' 23" E	21.21'
L5	S 36° 19' 37" E	21.21'
L6	S 53° 40' 23" W	21.21'
L7	N 53° 40' 23" E	21.21'
L8	N 38° 19' 37" W	21.21'

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §40.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE

METES AND BOUNDS DESCRIPTION:

A TRACT OF LAND CONTAINING 10.809 ACRES SITUATED IN THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF LOT 2, BLOCK 8, STEELE & PERSHING SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8, PAGES 144-115, HIDALGO COUNTY DEED RECORDS, SAID 10.809 ACRES WERE CONVEYED TO FRED LOYA INSURANCE AGENCY, INC., A TEXAS CORPORATION, BY VIRTUE OF A GENERAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 3036250, HIDALGO COUNTY OFFICIAL RECORDS, SAID 10.809 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 2, BLOCK 8 (FROM WHICH A NO. 4 REBAR FOUND BEARS N 08° 40' 23" E A DISTANCE OF 123.00 FEET, THENCE, N 81° 19' 37" W A DISTANCE OF 20.00 FEET);

- THENCE, N 81° 19' 37" W AT A DISTANCE OF 20.00 FEET PASS A NO. 4 REBAR SET (FROM WHICH A NO. 5 REBAR FOUND BEARS S 08° 40' 23" W A DISTANCE OF 0.20 FEET) ON THE EXISTING WEST RIGHT-OF-WAY LINE OF N. MCCOLL ROAD, CONTINUING A TOTAL DISTANCE OF 1,189.00 FEET TO A NO. 4 REBAR SET [NORTHING: 16611124.363, EASTING: 1079091.352] FOR THE SOUTHWEST CORNER OF THIS TRACT;
- THENCE, N 08° 40' 23" E A DISTANCE OF 396.00 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER OF THIS TRACT;
- THENCE, S 81° 19' 37" E AT A DISTANCE OF 1168.30 FEET PASS A NO. 4 REBAR FOUND IN LINE. AT A DISTANCE OF 1,169.00 FEET PASS A NO. 4 REBAR SET ON THE EXISTING WEST RIGHT-OF-WAY LINE OF N. MCCOLL ROAD, CONTINUING A TOTAL DISTANCE OF 1,189.00 FEET TO A NAIL SET ON THE EAST LINE OF SAID LOT 2, BLOCK 8, FOR THE NORTHEAST CORNER OF THIS TRACT;
- THENCE, S 08° 40' 23" W ALONG THE EAST LINE OF SAID LOT 2, BLOCK 8 AND WITHIN THE EXISTING RIGHT-OF-WAY OF N. MCCOLL ROAD, A DISTANCE OF 396.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 10.809 ACRES, OF WHICH 0.182 OF ONE ACRE LIES WITHIN THE EXISTING RIGHT-OF-WAY OF N. MCCOLL ROAD, LEAVING AN EXISTING NET OF 10.627 ACRES OF LAND, MORE OR LESS.

LOT 2
NOLANA TOWN CENTER PHASE 3A
SUBDIVISION
INSTRUMENT No. 2468250, H.C.M.R.

LOT 2,
NOLANA TOWN CENTER
PHASE III SUBDIVISION
VOLUME 37, PAGE 15, H.C.M.R.

Lot Area Table			Lot Area Table		
Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area
1	2478.26	0.057	41	2478.26	0.057
2	2478.26	0.057	42	2478.26	0.057
3	2478.26	0.057	43	2478.26	0.057
4	2478.26	0.057	44	2478.26	0.057
5	2478.26	0.057	45	2478.26	0.057
6	2478.26	0.057	46	2478.26	0.057
7	2478.26	0.057	47	2478.26	0.057
8	2478.26	0.057	48	2478.26	0.057
9	2478.26	0.057	49	2478.26	0.057
10	2478.26	0.057	50	3107.61	0.071
11	2478.26	0.057	51	3107.61	0.071
12	2478.26	0.057	52	2478.26	0.057
13	2478.26	0.057	53	2478.26	0.057
14	2478.26	0.057	54	2478.26	0.057
15	2478.26	0.057	55	2478.26	0.057
16	2478.26	0.057	56	2478.26	0.057
17	2478.26	0.057	57	2478.26	0.057
18	2478.26	0.057	58	2478.26	0.057
19	2478.26	0.057	59	2478.26	0.057
20	2478.26	0.057	60	2478.26	0.057
21	2478.26	0.057	61	2478.26	0.057
22	2478.26	0.057	62	2478.26	0.057
23	2478.26	0.057	63	2478.26	0.057
24	2478.26	0.057	64	2478.26	0.057
25	2478.26	0.057	65	2478.26	0.057
26	2478.26	0.057	66	2478.26	0.057
27	4355.15	0.100	67	2478.26	0.057
28	4355.15	0.100	68	2478.26	0.057
29	4355.15	0.100	69	2478.26	0.057
30	4982.38	0.114	70	2478.26	0.057
31	2478.26	0.057	71	4982.40	0.114
32	2478.26	0.057	72	4340.86	0.100
33	2478.26	0.057	73	4341.58	0.100
34	2478.26	0.057	74	4341.95	0.100
35	2478.26	0.057	75	2472.57	0.057
36	2478.26	0.057	76	2472.80	0.057
37	2478.26	0.057	77	2473.03	0.057
38	2478.26	0.057	78	2473.27	0.057
39	2478.26	0.057	79	2473.50	0.057
40	2478.26	0.057	80	2473.73	0.057

Lot Area Table		
Lot #	SQ. FT.	Area
81	2473.96	0.057
82	2474.20	0.057
83	2474.43	0.057
84	2474.66	0.057
85	2474.89	0.057
86	2475.13	0.057
87	2475.36	0.057
88	2475.59	0.057
89	2475.82	0.057
90	2476.06	0.057
91	2476.29	0.057
92	2476.52	0.057
93	2476.75	0.057
94	2476.99	0.057
95	2477.22	0.057
96	2477.45	0.057
97	2477.68	0.057
98	2477.92	0.057
99	2478.15	0.057
100	2478.38	0.057
101	24960.17	0.573
102	16535.32	0.380
103	16523.10	0.379

THE STATE OF TEXAS
COUNTY OF _____

WE, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS NOLANA ESTATES SUBDIVISION, TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, DO HEREBY GRANT AN EASEMENT TO THE CITY OF MCALLEN AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE SURFACE USE OF THE STREETS, ALLEYS, COMMON AREAS, UTILITY EASEMENTS TO THE PUBLIC BY THIS PLAT THEREON SHOWN ARE RESTRICTED TO THE EMPLOYEES AND AGENTS OF THE CITY OF MCALLEN, EMPLOYEES OF THE UTILITY COMPANIES UNDER FRANCHISE OF SAID CITY, AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. R.O.W. DEDICATION FOR N. MCCOLL ROAD BEING DEDICATED BY THIS PLAT.

ALFREDO J. LOYA SR., CHAIRMAN
FRED LOYA INSURANCE AGENCY INC.
1800 N. LEE TREVINO DR., STE. 201
EL PASO, TX 79936-4117 USA

DATE _____

STATE OF TEXAS
COUNTY OF _____

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED BRANDON FAIRLIE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND

SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES: _____

STATE OF TEXAS
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

MARIO A. REYNA, P.E. # 117368
DATE PREPARED: 08-17-2022
ENGINEERING JOB NO. 21038.00

DATE: _____

MELDEN & HUNT, INC.
TEXAS REGISTRATION # 1435

STATE OF TEXAS
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PRESENTED PLAT AND DESCRIPTION OF NOLANA ESTATES SUBDIVISION, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON 01-18-21, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED

ROBERTO N. TAMEZ, R.P.L.S. # 6238
DATE SURVEYED: 01-18-21
T: 1072, PAGE 63-67
SURVEY JOB NO. 21142.08

DATE: _____

STATE OF TEXAS
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN _____ DATE _____

CITY SECRETARY _____ DATE _____

CHAIRMAN, PLANNING COMMISSION _____ DATE _____

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 ON THIS, THE _____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 RIGHT OF WAYS OR EASEMENTS.

ATTEST: _____

PRESIDENT _____ SECRETARY _____

FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/12/2023

SUBDIVISION NAME: NOLANA ESTATES

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

North McColl Road: Dedication required for 60 ft. from centerline for 120 ft. total ROW

Paving: By the state Curb & gutter: By the state

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

**Monies must be escrowed if improvements are required prior to recording.

Internal Streets: 60 ft. ROW

Paving: 40 ft. Curb & gutter: Both sides

Revisions Needed:

- Revise ROW dedication, see requirements above.

- Street names will be finalized prior to recording.

- Please clarify dimensions for Gate Details submitted, please revise gate details prior to recording for staff to review. ROW might have to be increased at gate sections.

**Engineer submitted a variance request on December 30, 2022, to allow a 50 ft. ROW with 40 ft. of pavement and an additional 10 ft. utility & sidewalk easement on both sides of interior streets in lieu of the required 60 ft. ROW.

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

**Monies must be escrowed if improvements are required prior to recording.

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

**Monies must be escrowed if improvements are required prior to recording

* 1,200 ft. Block Length

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts

**Surrounding properties already developed, internal block length are complying.

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac

**Subdivision Ordinance: Section 134-105

Applied

Required

Applied

NA

Applied

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial properties

**Must comply with Public Works Department requirement.

Applied

SETBACKS

* Front: 10 ft. or greater for easements

**Zoning Ordinance: Section 138-356

* Rear: In accordance with Zoning Ordinance or greater for easements.

**Zoning Ordinance: Section 138-356

* Interior Sides: : In accordance with Zoning Ordinance or greater for easements.

**Zoning Ordinance: Section 138-356

Applied

Applied

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

* Corner: In accordance with Zoning Ordinance or greater for easements. **Zoning Ordinance: Section 138-356	Applied
* Garage: 18 ft. except where greater setback is required; greater setback applies. **Zoning Ordinance: Section 138-356	Applied
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 5 ft. wide minimum sidewalk required on North McColl Road and 4 ft. sidewalk required along both sides of all interior streets. **5 ft. sidewalk may be required for both sides of all interior streets as per Engineering Department prior to final. ****Subdivision Ordinance: Section 134-120	Applied
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
NOTES	
* No curb cut, access, or lot frontage permitted along North McColl Road. **Must comply with City's Access Management Policy prior to final.	Applied
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	Applied
* Common/Detention Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Applied
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. ***Section 110-72 applies if public subdivision is proposed. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-16	Required
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Homeowner's Association Covenants must be submitted for staff review, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. *****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168	Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOT REQUIREMENTS	
* Minimum lot width and lot area. **Zoning Ordinance: Section 138-356	Compliance
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Compliance
ZONING/CUP	
* Existing: C-3 Proposed: R-3T **Rezoning to R-3T was approved by CC on November 8, 2021. ***Zoning Ordinance: Article V	Compliance
* Rezoning Needed Before Final Approval **Rezoning to R-3T was approved by CC on November 8, 2021. ***Zoning Ordinance: Article V	Compliance
PARKS	
* Land dedication in lieu of fee. Land dedication is calculated at 1.6854 acres and fees in lieu of land amount to \$74,200 (based on \$700 X dwelling unit/lot). As per Parks Department, variance request of "Fees in Lieu of Land" to pay fifty percent up front prior to plat recording and fifty at permit application was approved with conditions mentioned in approval letter from Parks Director dated 10/4/2022.	Required
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Land dedication is calculated at 1.6854 acres and fees in lieu of land amount to \$74,200 (based on \$700 X dwelling unit/lot). As per Parks Department, variance request of "Fees in Lieu of Land" to pay fifty percent up front prior to plat recording and fifty at permit application was approved with conditions mentioned in approval letter from Parks Director dated 10/4/2022.	Required
* In accordance with McAllen's Park Land Dedication and Parks Development Fees Ordinance if a development's land dedication is less than 99 acres then City Manager has the authority to accept land dedication, or to refuse the same, and to require payment of the applicable park development fee, in lieu of land. Land dedication is calculated at 1.6854 acres and fees in lieu of land amount to \$74,200 (based on \$700 X dwelling unit/lot). As per Parks Department, variance request of "Fees in Lieu of Land" to pay fifty percent up front prior to plat recording and fifty at permit application was approved with conditions mentioned in approval letter from Parks Director dated 10/4/2022.	Required
TRAFFIC	
* As per Traffic Department, Trip Generation was approved, no TIA is required.	Compliance
* Traffic Impact Analysis (TIA) required prior to final plat.	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

COMMENTS	
<p>Comments/Revisions needed:</p> <ul style="list-style-type: none">- Please include the words "(Private Subdivision)" underneath the subdivision name on plat prior to recording.- Please revise reference of "Outparcel A" from Lot 101 and "Outparcel B" from Lot 102 to either Detention Area Common Areas prior to recording. Plat note 16 and 18 must be revised accordingly.- Please revise plat note 17 with corresponding lot number accordingly prior to recording.- Please clarify dimensions for the Gate Detail submitted, please revise gate details prior to recording for staff to review. ROW might have to be increased at gate sections.- Owner's Signature block wording must be finalized prior to recording. <p>**As per plans submitted on 8/26/22, staff approved Option #2 with 100 lots. As per Engineer single-family homes are going to be built on the larger lots: Lots 27-30 and Lots 71-74.</p> <p>***Must comply with City's Access Management Policy.</p>	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED, AND CLARIFICATION OF THE VARIANCE REQUEST TO ROW REQUIREMENT FOR DOVE AVENUE.	Applied



LOCATION



PROPOSED NOLANA ESTATES
SUBDIVISION

8

6

SUB2022-0151



City of McAllen
Planning Department
APPLICATION FOR
SUBDIVISION PLAT REVIEW

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project Description

Subdivision Name Taylor Village Subdivision
Location north-east corner of Taylor Rd & Wanda Ave.
City Address or Block Number 2021 S. TAYLOR RD
Number of lots 42 Gross acres 12.51 Net acres 12.08
Existing Zoning R-2 Proposed PUD Rezoning Applied For ☐ Yes ☒ No Date _____
Existing Land Use Vacant Proposed Land Use 2- Duplex Irrigation District # 1
Residential Replat Yes ☐ No ☒ Commercial Replat Yes ☐ No ☐ ETJ Yes ☐ No ☐
Agricultural Tax Exempt Yes ☐ No ☐ Estimated Rollback tax due 8/12/2022
Parcel No. 101914 Tax Dept. Review Montreros
Legal Description 12.51 Acre tract at land out of lot 167 John H. Shum & Denise
Recorded in volume 1, page 17 MATHC

Owner

Name Sergio Govelet Phone (956) 607-1762
Address 4002 S Shum Rd Suite 550-42
City Mission State TX Zip 78572
E-mail escruihome@hotmail.com

Developer

Name Senac as above Phone _____
Address _____
City _____ State _____ Zip _____
Contact Person _____
E-mail _____

Engineer

Name MAS Engineering LLC Phone (956) 537-1311
Address 3911 N. 10th St Suite H
City McAllen State TX Zip 78501
Contact Person Mani A. Salinas
E-mail msalinas@att.net

Surveyor

Name David Salinas Phone (956) 682-9081
Address 3320 Dattoch Ave.
City McAllen State TX Zip 78501

ENTERED

DEC 28 2022

Initial: DPA

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- _____ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- _____ Title Report
- _____ 8 ½" by 11" Original Sealed Survey showing existing structures/ easements or 3 blue-line copies
- _____ 2 Location Maps
- _____ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- _____ 6 Folded blue-line prints of the proposed plat
- _____ 2 Warranty Deeds (Identifying owner on application)
- _____ Autocad 2005 DWG file and PDF of plat
- _____ Letter of Authorization from the owner, if applicable
- _____ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blue-line copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable) or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

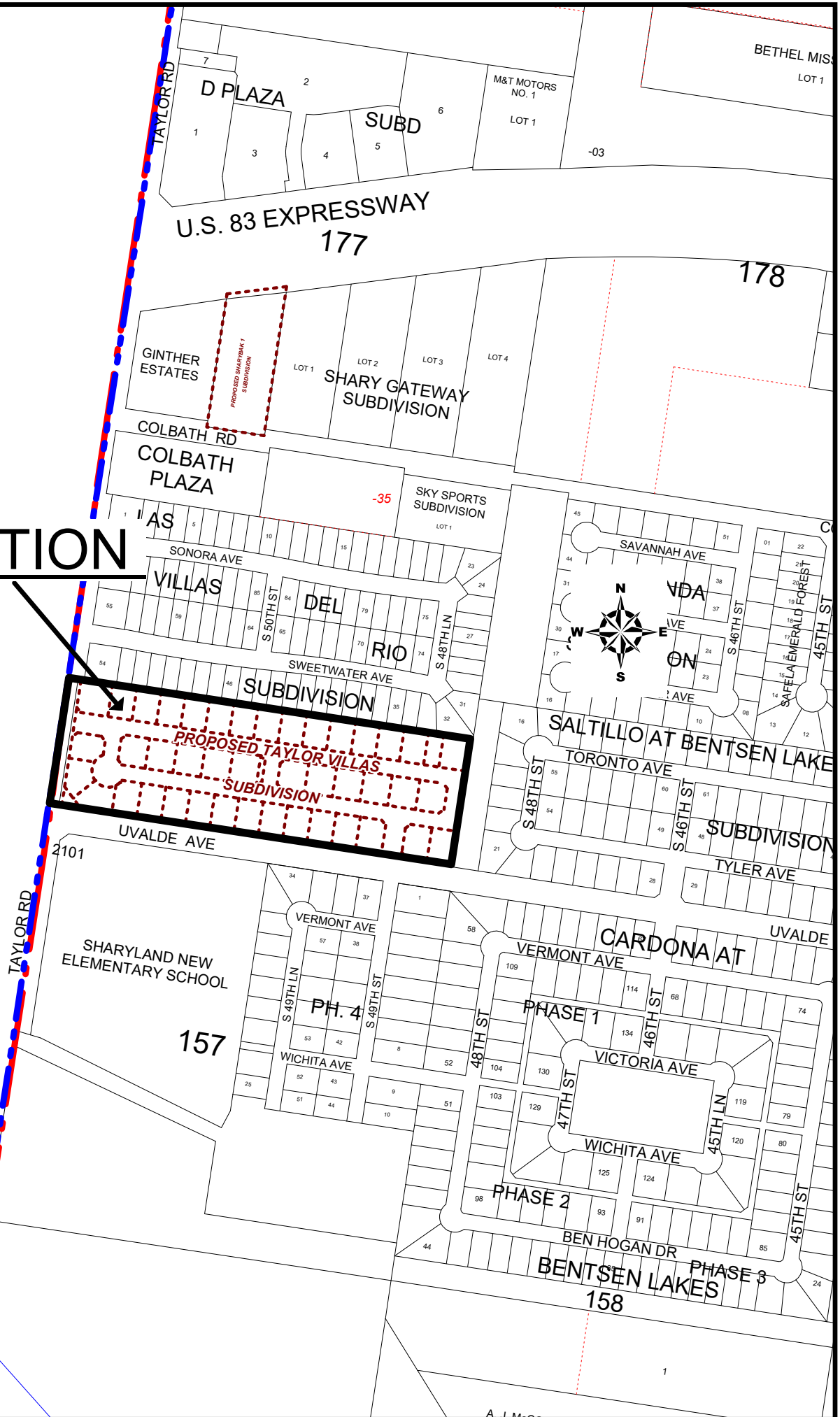
Signature _____ Date 12/20/2022

Print Name ERIC LOUELA

Owner ☐

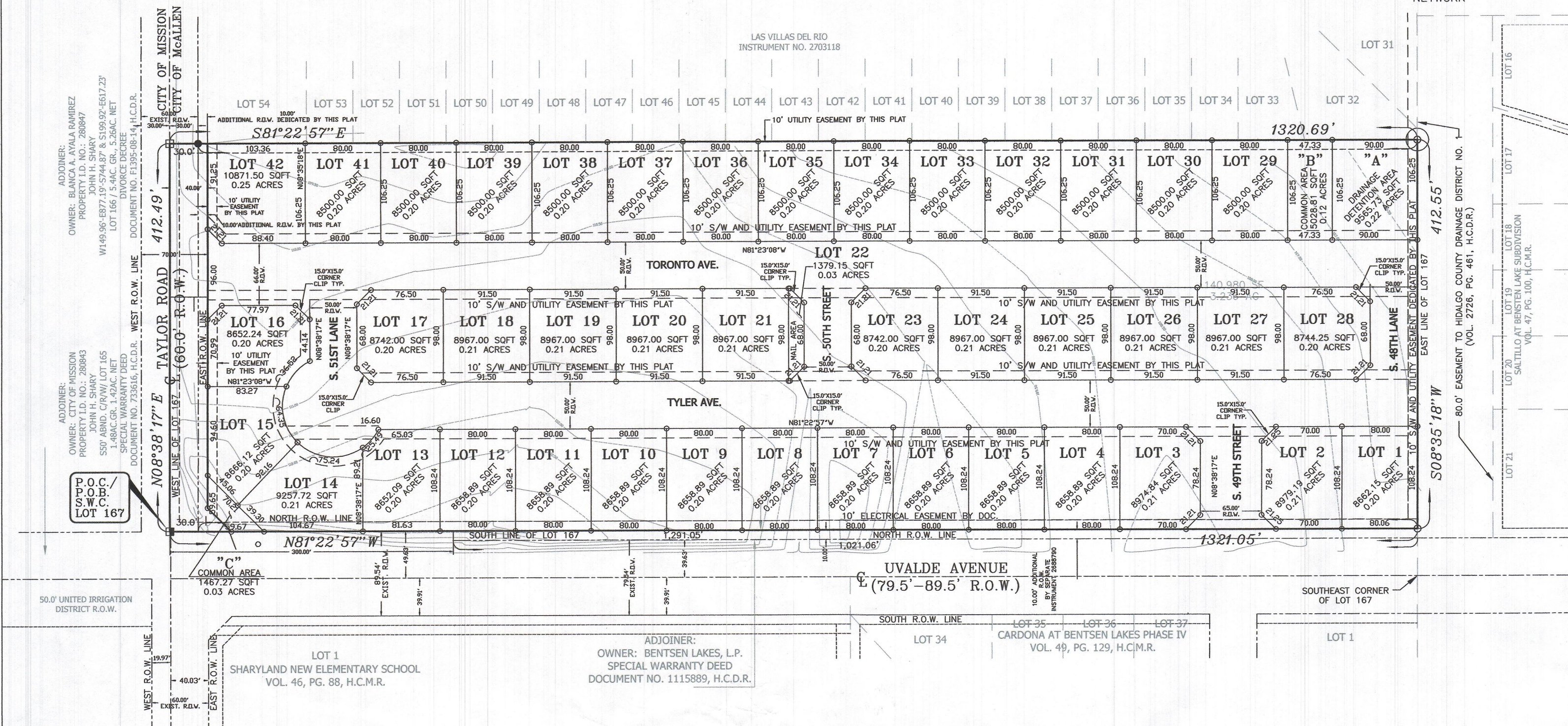
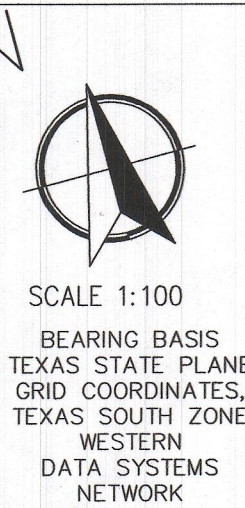
Authorized Agent ☐

LOCATION



MAP
OF
TAYLOR VILLAS SUBDIVISION
McAlLEN, TEXAS

BEING A 12.51 ACRE TRACT OF LAND OUT OF LOT 167, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS
ACCORDING TO PLAT RECORDED IN VOLUME 1, PAGE 17, DEED RECORDS, HIDALGO COUNTY, TEXAS



METES AND BOUNDS DESCRIPTION

BEING 12.51 ACRES OF LAND OUT OF LOT 167, JOHN H. SHARY SUBDIVISION, RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS HIDALGO COUNTY, TEXAS, AND BEING THE SAME LAND DESCRIBED AS 12.50 ACRES OUT OF SAID LOT 167, BY WARRANTY DEED WITH VENDOR'S LIEN FROM HARRY H. POWELL AND MARY MAY POWELL, CO-TRUSTEES OF THE HARRY H. AND MARY MAY POWELL LIVING TRUST, DATED NOVEMBER 29, 2000, RECORDED IN DOCUMENT NO. 928321, DEED RECORDS HIDALGO COUNTY, TEXAS, SAID 12.51 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS;

BEGINNING AT A COTTON PICKER SPINDLE FOUND, THE SOUTHWEST CORNER OF THE SAID LOT 167, AND SAME BEING THE CENTERLINE OF TAYLOR ROAD FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT AND THE POINT AND PLACE OF BEGINNING;

THENCE N 08°38'17"E ALONG THE WEST LINE OF THE SAID LOT 167 AND WITHIN THE RIGHT-OF-WAY OF TAYLOR ROAD, A DISTANCE OF 412.49 FEET TO A COTTON PICKER SPINDLE SET FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE S 81°22'57"E ACROSS THE SAID LOT 167, SAME BEING THE NORTH LINE OF THE SAID CALLED 12.50 ACRE TRACT, PASSING AT 20.0 FEET THE DEDICATED EAST RIGHT-OF-WAY OF TAYLOR ROAD, AT 30.0 FEET TO AN IRON ROD FOUND FOR THE APPARENT EAST RIGHT-OF-WAY OF TAYLOR ROAD, CONTINUING FOR A TOTAL DISTANCE OF 1320.69 FEET TO AN IRON ROD SET, FROM WHICH AN IRON ROD FOUND BEARS N 18°23'09"E, A DISTANCE OF 0.07 FEET, FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE S 08°35'18"W ALONG THE EAST LINE OF THE SAID LOT 167, SAME BEING THE WEST LINE OF AN 80.0 EASEMENT TO HCDD NO. 1, RECORDED IN VOLUME 2726, PAGE 461, HIDALGO COUNTY DEED RECORDS, A DISTANCE OF 412.55 FEET TO AN IRON ROD SET ON THE NORTH LINE OF A 100 FOOT UNITED IRRIGATION DISTRICT RIGHT-OF-WAY, FOR THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 81°22'57"W ALONG THE SOUTH LINE OF THE SAID LOT 167, SAME BEING THE NORTH LINE OF A 100 FOOT UNITED IRRIGATION DISTRICT RIGHT-OF-WAY, PASSING AT 1291.05 THE APPARENT EAST RIGHT-OF-WAY OF TAYLOR ROAD, AT 1301.05 FEET THE DEDICATED EAST RIGHT-OF-WAY OF TAYLOR ROAD, CONTINUING FOR A TOTAL DISTANCE OF 1321.05 FEET TO THE POINT AND PLACE OF BEGINNING, SAID TRACT CONTAINING 12.51 ACRES OF LAND, MORE OR LESS.

LEGEND

- FOUND 1/2" IRON ROD
- SET 1/2" IRON ROD
- FOUND COTTON PICKER SPINDLE
- SET COTTON PICKER SPINDLE

R.O.W. RIGHT OF WAY
P.O.C. POINT OF COMMENCEMENT
P.O.B. POINT OF BEGINNING
H.C.D.R. HIDALGO COUNTY DEED RECORDS
H.C.M.R. HIDALGO COUNTY MAP RECORDS

NOTES:

- MINIMUM BUILDING SETBACK LINES SHALL BE AS FOLLOWS:
 - FRONT: 20 FT. OR GREATER FOR EASEMENTS.
 - REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS, EXCEPT 20 FT. FOR DOUBLE FRONTING LOTS ALONG UVALDE AVE. AND SOUTH TAYLOR ROAD.
 - INTERIOR SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS.
 - CORNER: 10 FT. OR GREATER FOR EASEMENTS.
 - GARAGE: 18 FT. EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES.
- THIS PROPERTY FALLS IN ZONE "B" OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL No. 480334 0400 C, REVISED NOV. 16, 1982. FLOOD ZONE "B" IS DEFINED AS AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500 YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD, (MEDIUM SHADING).
- STORM WATER DETENTION OF ____ C.F. OR ____ AC-FT IS REQUIRED FOR THIS SUBDIVISION.
- MINIMUM FINISHED FLOOR ELEVATIONS SHALL BE AT LEAST 18 INCHES ABOVE TOP OF CURB MEASURED AT FRONT CENTER OF EACH LOT.
- MINIMUM 4 FT. SIDEWALK REQUIRED ON UVALDE AVE., S. TAYLOR RD., AND BOTH SIDES OF ALL INTERIOR STREETS.
- NO BUILDING SHALL BE CONSTRUCTED OVER ANY EASEMENT OR LOT LINE.
- 6.0 FT. OPAQUE BUFFER IS REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, OR INDUSTRIAL ZONES/USES AND ALONG UVALDE AVE. AND S. TAYLOR ROAD.
- CITY OF McALLEN BENCHMARK: MC 80 IS LOCATED ON THE SOUTH (FRONTAGE ROAD) BOUND OF EXP. 83, 80 FT. SOUTH FROM THE EOP OF THE FRONTAGE ROAD, AND 16 FT. NORTH FROM THE END OF A CANAL. THE MONUMENT IS SET APPROXIMATELY 500 FT. EAST OF TAYLOR RD. ELEV. 104.41 FT.
- AN 8 FOOT MASONRY WALL IS REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL / MULTI-FAMILY RESIDENTIAL ZONES/USES.
- NO CURB CUT, ACCESS OR LOT FRONTAGE PERMITTED ON UVALDE AVE. AND S. TAYLOR ROAD.
- ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
- NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.
- NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
- NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
- COMMON AREAS, DETENTION AREAS AND PRIVATE STREETS MUST BE MAINTAINED BY THE LOT OWNERS, AND NOT THE CITY OF McALLEN.
- DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNER, THEIR SUCCESSORS AND ASSIGNEES, AND NOT THE CITY OF McALLEN SHALL BE RESPONSIBLE FOR COMPLIANCE OF INSTALLATION AND MAINTENANCE AND OTHER REQUIREMENTS PER SECTION 134-168 OF THE SUBDIVISION ORDINANCE, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND ITS PRIVATE STREETS.
- AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR TAYLOR VILLAS SUBDIVISION, RECORDED AS DOCUMENT NUMBER _____, HIDALGO COUNTY, DEED RECORDS, DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNER, THEIR SUCCESSORS AND ASSIGNEES, AND NOT THE CITY OF McALLEN SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 134-168 OF THE CODE OF ORDINANCE OF THE CITY OF McALLEN, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND PRIVATE STREETS. ANY AMENDMENT OF DECLARATIONS THAT CONFLICT WITH THE REQUIREMENTS OF SECTION 134-168 SHALL BE NULL AND VOID.
- 25 FT. X 25 FT. SIDE OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS.

STATE OF TEXAS:
COUNTY OF HIDALGO:

I/WE THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS TAYLOR VILLAS, SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME(S) IS/ARE SUBSCRIBED HERETO, DO HEREBY GRANT AN EASEMENT TO THE CITY OF McALLEN AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY. THE SURFACE USE OF THE STREETS, ALLEYS, COMMON AREAS AND UTILITY EASEMENTS THEREON SHOWN ARE RESTRICTED TO THE EMPLOYEES AND AGENTS OF THE CITY OF McALLEN, EMPLOYEES OF THE UTILITY COMPANIES UNDER FRANCHISE OF SAID CITY, AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. OWNERSHIP AND MAINTENANCE OF ALL STREET IMPROVEMENTS AND COMMON AREA(S) SHALL REMAIN WITH AND BE THE RESPONSIBILITY OF THE TAYLOR VILLAS HOMEOWNER'S ASSOCIATION. THE OWNER DOES HEREBY DEDICATE TO THE USE OF THE PUBLIC THE PORTIONS OF TAYLOR ROAD AND UVALDE AVENUE FOR USE AS STREET RIGHT OF WAY DEDICATED TO THE CITY OF McALLEN.

TAYLOR VILLAS, INC.

Date

By: _____
Name: _____
Title: _____ Manager
Address: _____

STATE OF TEXAS:
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE (SHE) EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE DAY _____ OF _____, 2017

NOTARY PUBLIC

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION

Date

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHERE IN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN

Date

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE 49.21(c) THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

BY: _____

Date

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, DAVID O. SALINAS, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARE FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE CITY OF McALLEN SUBDIVISION ORDINANCE AND ALL STATE STATUTES GOVERNING SURVEYS.

SALINAS ENGINEERING & ASSOCIATES
CONSULTING ENGINEERS & SURVEYORS
2221 DAFFOIL AVE.
McALLEN, TEXAS 78501
(956) 682-9081

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. SALINAS, A LICENSED PROFESSIONAL ENGINEER, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

MARIO A. SALINAS
LICENSED PROFESSIONAL ENGINEER # 96611
4037 W. EXP.83, SUITE 150
McALLEN, TEXAS 78501

DATE

UNITED IRRIGATION DISTRICT

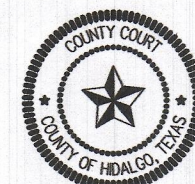
THIS PLAT IS HEREBY APPROVED BY THE UNITED IRRIGATION DISTRICT ON THIS THE ____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

ATTEST: _____

PRESIDENT

SECRETARY



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TE

BY: _____ DEPUTY

DATE OF PREPARATION 12-21-22

MAS ENGINEERING LLC.
CONSULTING ENGINEERING
FIRM NO. F-15499

4037 W. EXP.83, SUITE 150
McALLEN, TEXAS. 78501

PH. (956) 537-1311
E-MAIL: MSALINAS6973@ATT.NET



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/12/2023

SUBDIVISION NAME: TAYLOR VILLAS SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

S. Taylor Road: 10 ft. ROW dedication required for 40 ft. from centerline for 80 ft. ROW
Paving: 52 ft. - 65 ft. Curb & gutter: both sides

**Subdivision Ordinance: Section 134-105 and/or *COM Thoroughfare Plan

**Monies must be escrowed if improvements are required prior to recording.

Uvalde Avenue: 49.63 ft. from centerline for 89.54 ft. ROW existing

Paving: 52 ft. - 65 ft. Curb & gutter: both sides

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

**Monies must be escrowed if improvements are required prior to recording

Interior Streets (proposed as private): 60 ft.

Paving: 40 ft. Curb & gutter: both sides

Revisions needed:

- Engineer is proposing 50 ft. ROW with 40 ft. pavement plus a 10 ft. sidewalk and utility easement on both sides of streets. Please clarify prior to final.

- Street names will be finalized prior to final.

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

**Monies must be escrowed if improvements are required prior to recording

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

* 1,200 ft. Block Length

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts

Revisions needed:

- Current Subdivision layout exceeds 900 ft. Block Length requirement for R-3 Zone Districts, revise accordingly.

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac

**Subdivision Ordinance: Section 134-105

ALLEYS

ROW: 20 ft. Paving: 16 ft.

Revisions needed:

- Alley/service drive easement required for Commercial and Multi-Family properties.

- Must comply with Public Works Department requirements.

*Alley/service drive easement required for commercial properties

**Subdivision Ordinance: Section 134-106

Applied

Applied

Non-compliance

Applied

NA

Non-compliance

NA

Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SETBACKS	
<p>* Front: 20 ft. or greater for easements, which ever is greater applies Revisions needed: - Revise plat note #1.A as shown above prior to final. **Setback requirements will be established once CUP for Planned Unit Development has been submitted and reviewed. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Rear: In accordance with the Zoning Ordinance, or greater for easements, which ever is greater applies Revisions needed: - Revise plat note #1.B as shown above prior to final. - Proposing: Rear: In accordance with the Zoning Ordinance, or greater for easements, except 20 ft. for the double fronting lots along S. Taylor Road and Uvalde Avenue. Please clarify proposed note prior to final. **Setback requirements will be established once CUP for Planned Unit Development has been submitted and reviewed. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Sides: In accordance with the Zoning Ordinance, or greater for easements, which ever is greater applies Revisions needed: - Please revise plat note #1.C as shown above prior to final. **Setback requirements will be established once CUP for Planned Unit Development has been submitted and reviewed. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Corner: 10 ft. or greater for easements, which ever is greater applies Revisions needed: - Revise plat note #1.A as shown above prior to final. **Setback requirements will be established once CUP for Planned Unit Development has been submitted and reviewed. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Garage: 18 ft. except where greater setback is required; greater setback applies **Setback requirements will be established once CUP for Planned Unit Development has been submitted and reviewed. **Zoning Ordinance: Section 138-356</p>	Applied
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Required
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on S. Taylor Road, Uvalde Avenue and on both sides of all interior streets. **Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department . **Subdivision Ordinance: Section 134-120</p>	Applied
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Required
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses S. Taylor Road and Uvalde Avenue. **Landscaping Ordinance: Section 110-46</p>	Applied
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

*Perimeter buffers must be built at time of Subdivision Improvements.	Required
NOTES	
* No curb cut, access, or lot frontage permitted along S. Taylor Road and Uvalde Avenue. **Must comply with City Access Management Policy	Applied
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance. **Overall site plan required as part of the CUP process for Planned Unit Development.	Required
* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.	Applied
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Required
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Required
LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area Revisions needed: - Common Area Lot "B" on plat submitted on December 28, 2022- does not meet minimum 50 ft. lot frontage requirement. Clarify and revise prior to final. **Zoning Ordinance: Section 138-356	Non-compliance
ZONING/CUP	
* Existing: R-2 Proposed: R-2 (Duplex-Fourplex Residential) District ** Applicant has met with staff and will be applying for a Conditional Use Permit for a Planned Unit Development. ** Rezoning or Conditional Use Permit for Planned Unit Development required prior to final. ** CUP for Planned Unit Development will be reviewed simultaneously with subdivision plat and requirements will/may be revised as needed. ***Zoning Ordinance: Article V	Required
* Rezoning Needed Before Final Approval ** Applicant has met with staff and will be applying for a Conditional Use Permit for a Planned Unit Development. ** Rezoning or Conditional Use Permit for Planned Unit Development required prior to final. ** CUP for Planned Unit Development will be reviewed simultaneously with subdivision plat and requirements will/may be revised as needed. ***Zoning Ordinance: Article V	TBD

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

PARKS	
<p>* Land dedication in lieu of fee. As per Park Department fees apply to this subdivision at a rate of \$700 per dwelling unit, this in accordance with McAllen's Park Land Dedication and Park Development Fees Ordinance.</p> <p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not required. Please provide number of dwelling units prior to final. Fees can go up or down, they are dependent on the number of units.</p> <p>* Pending review by City Manager's Office.</p>	TBD
	TBD
	TBD
TRAFFIC	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</p> <p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	Non-compliance
	TBD
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> - Must comply with requirements/conditions of the Conditional Use Permit for the Planned Unit Development (PUD), if applying for the CUP. The site plan for the PUD will be recorded at such time as the plat is recorded. Cross reference notes will need to be finalized prior to final. - Any changes to approved site plan for Planned Unit Development may require for Conditional use permit to be amended and presented before the Planning and Zoning Commission. - Plat notes, setbacks, requirements, subject to be revised based on CUP for Planned Unit Development prior to final as process is reviewed simultaneously with the subdivision plat. - CUP for Planned Unit Development will be reviewed simultaneously with subdivision plat and requirements will/may be revised as needed. <p>**Gate Details submitted on December 28, 2022 have been approved by Traffic Department.</p> <p>**Must comply with City's Access Management Policy.</p>	Applied
RECOMMENDATION	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, UTILITIES AND DRAINAGE APPROVALS.</p>	Applied

LOCATION





City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Villas on Bentsen Subdivision</u>	
	Location _____	
	City Address or Block Number <u>5912 N. 42ND ST</u>	
	Number of Lots <u>10</u>	Gross Acres <u>0.73</u> Net Acres _____ ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Existing Zoning <u>A-0</u> Proposed Zoning <u>R-3A</u> Rezoning Applied for <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Date <u>1/3/23</u>	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>MF</u> Irrigation District # _____	
	Replat <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Commercial _____ Residential _____	
	Agricultural Exemption <input type="checkbox"/> Yes <input type="checkbox"/> No Estimated Rollback Tax Due _____	
	Parcel # _____ Tax Dept. Review <u>Φ</u> <u>P8500-00-000-0236-08</u>	
	Water CCN <input type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____	
Legal Description <u>A 0.73 of an acre tract of land out of Lot 236, Pride O' Texas Subdivision, Hidalgo County, Texas.</u>		
Owner	Name <u>Carlo and Brooke Cantu</u> Phone <u>(208) 972-1192</u>	
	Address <u>2016 S. 45th Street</u> E-mail <u>carlo@crcdesign-build.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78503</u>	
Developer	Name <u>Carlo and Brooke Cantu</u> Phone <u>(208) 972-1192</u>	
	Address <u>2016 S. 45th Street</u> E-mail <u>carlo@crcdesign-build.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78503</u>	
	Contact Person <u>Carlo Cantu</u>	
Engineer	Name <u>Quintanilla, Headley & Associates, Inc.</u> Phone <u>(956) 381-6480</u>	
	Address <u>124 E. Stubbs Street</u> E-mail <u>alfonsoq@qha-eng.com</u>	
	City <u>Edinburg</u> State <u>TX</u> Zip <u>78539</u>	
	Contact Person <u>Alfonso Quintanilla, P.E.</u>	
Surveyor	Name <u>Quintanilla, Headley & Associates, Inc.</u> Phone <u>(956) 381-6480</u>	
	Address <u>124 E. Stubbs Street</u> E-mail <u>alfonsoq@qha-eng.com</u>	
	City <u>Edinburg</u> State <u>TX</u> Zip <u>78539</u>	

ENTERED

JAN 03 2023

Initial: NM

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blue line copies 2 Location Maps
- 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in PDF format. No scanned documents

*Please submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owners Signature

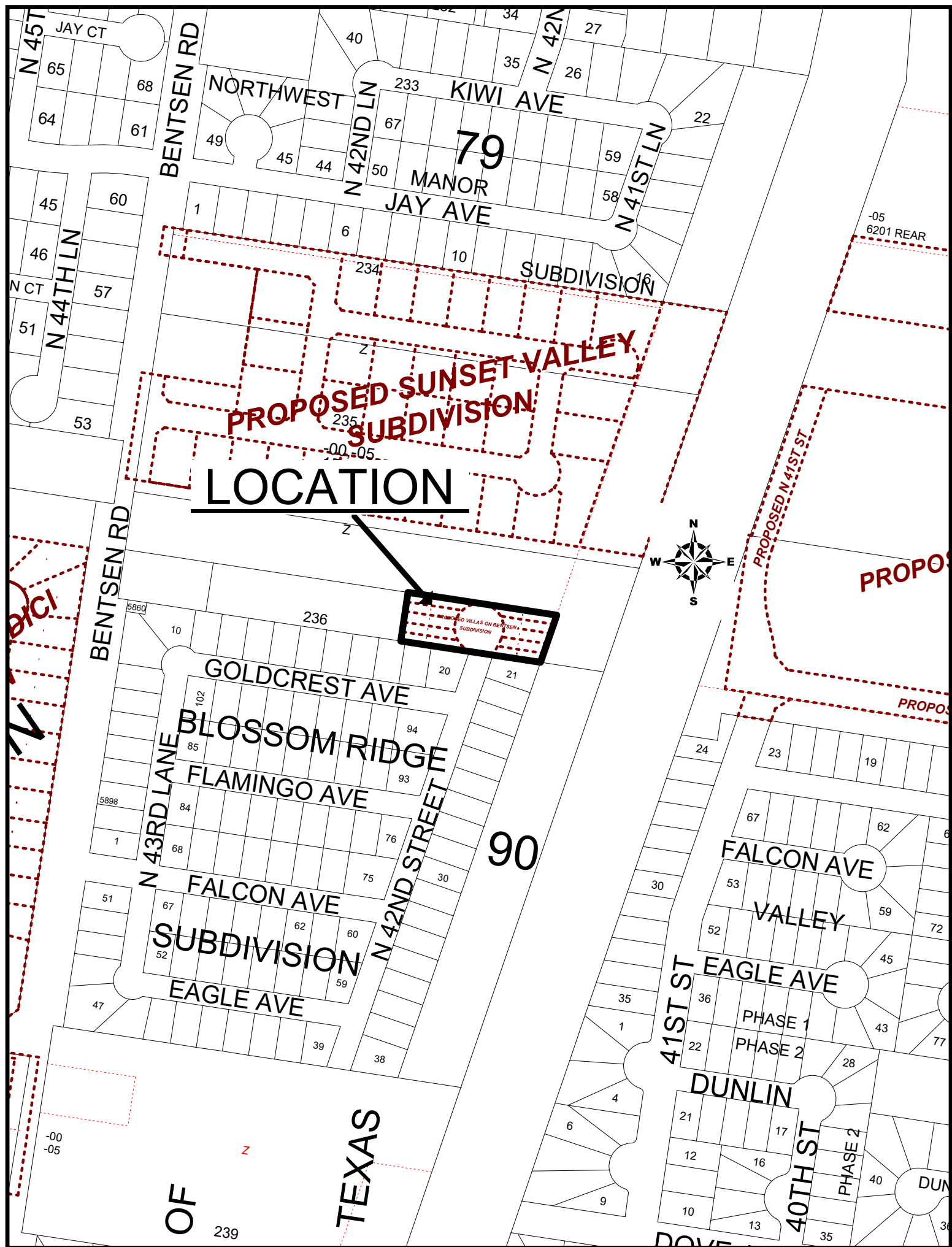
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

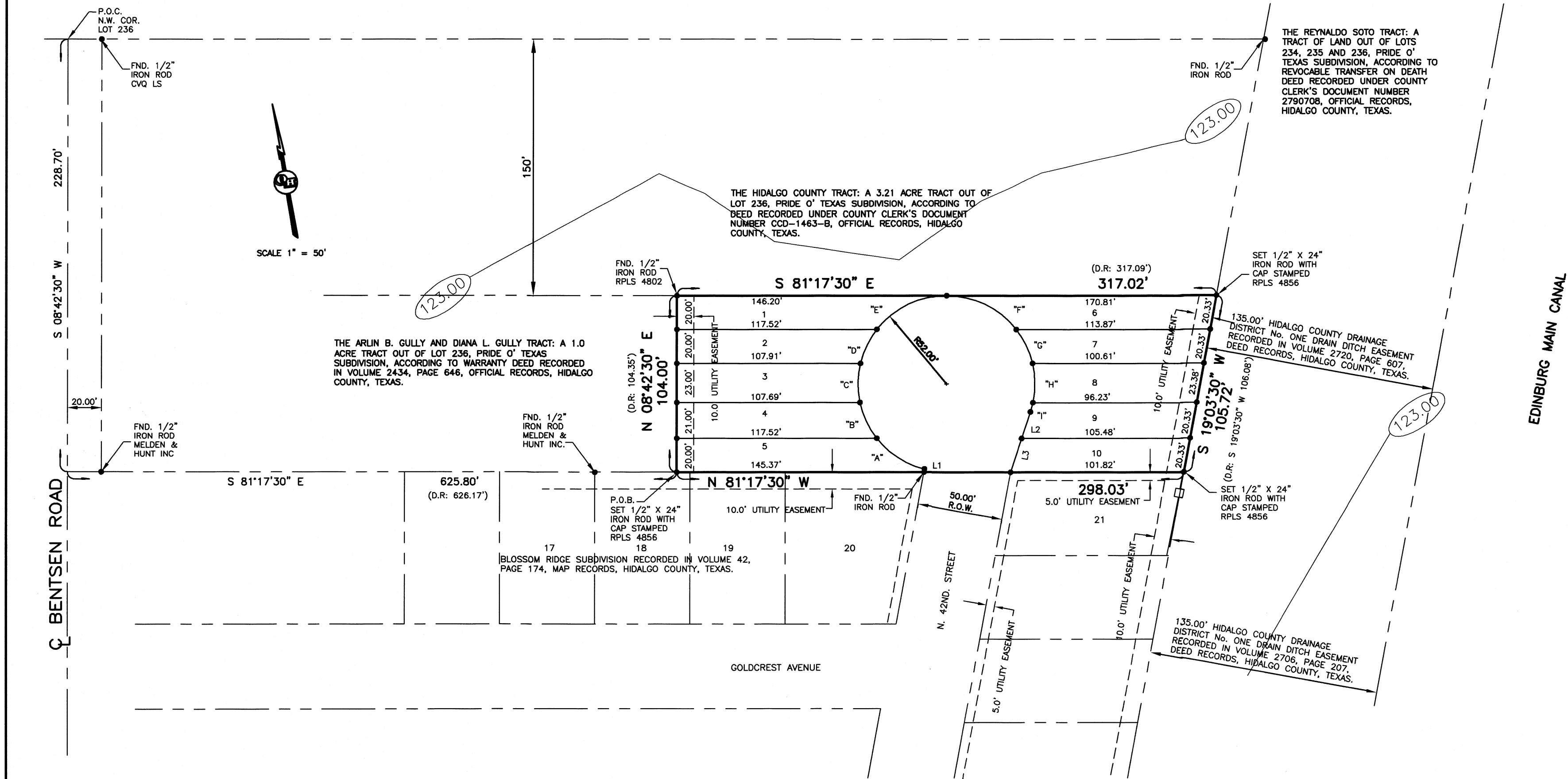
Signature  Date 11-1-2022

Print Name CARLO CANTU Brooke Cantu

Owner ☐ Authorized Agent ☐

The Planning Department is now accepting DocuSign signatures on application





LINE DATA TABLE		
DATA	BEARING	LENGTH
L1	S 19°03'25" W	1.64'
L2	N 26°48'50" E	16.43'
L3	N 26°48'50" E	21.04'

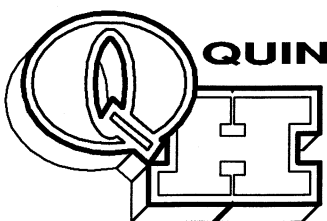
CURVE DATA			
CURVE	DELTA	RADIUS	LENGTH
"A"	37°43'31"	52.00'	34.24'
"B"	25°46'02"	52.00'	23.38'
"C"	25°33'20"	52.00'	23.19'
"D"	24°38'14"	52.00'	22.36'
"E"	52°01'12"	52.00'	47.21'
"F"	52°01'12"	52.00'	47.21'
"G"	24°38'14"	52.00'	22.36'
"H"	25°33'20"	52.00'	23.19'
"I"	06°09'18"	52.00'	5.59'

LOT #	AREA (S.F.)	(AC.)
1	2591.36	0.059
2	2344.38	0.054
3	2459.68	0.056
4	2236.58	0.051
5	2598.44	0.060
6	2561.92	0.059
7	2127.01	0.049
8	2243.36	0.052
9	2046.10	0.047
10	2007.48	0.046

PLAT NOTES AND RESTRICTIONS:

- FLOOD ZONE DESIGNATION: ZONE "C"
AREAS OF MINIMAL FLOODING. (NO SHADING).
C.P.N. 480334 0400 C. MAP REVISED: NOVEMBER 16, 1982
COMMUNITY-PANEL NUMBER 480334 0400 C
MAP REVISED: NOVEMBER 16, 1982
- MINIMUM FINISH FLOOR ELEVATION: 18" ABOVE THE TOP OF CURB OF THE STREET AT MID POINT OF EACH LOT.
- LEGEND *-- DENOTES 1/2" X 24" IRON ROD SET WITH PLASTIC CAP STAMPED RPLS 4856, UNLESS OTHERWISE NOTED.
- MINIMUM BUILDING SETBACK LINES:
FRONT 10.00 FT.
REAR IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS.
INTERIOR SIDES IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS.
GARAGE 18.00' EXCEPT WHERE GREATER SETBACK IS REQUIRED, GREATER SETBACK APPLIES
- NO BUILDINGS NOR DRAINAGE DETENTION AREAS SHALL BE CONSTRUCTED OVER ANY EASEMENT.
- REQUIRED DRAINAGE DETENTION IS: C.F. (..... AC./FT.) TOTAL

- BENCHMARK :
CITY OF MCALLEN
BENCHMARK: (BENTSEN) MONUMENT IS LOCATED INSIDE THE MCALLEN PUBLIC WORKS. LOCATED ALONG BENTSEN ROAD AND SOUTH OF 3 MILE LINE CAP ELEV. = 123.99
- AN ENGINEERED DRAINAGE DETENTION PLAN APPROVED BY THE ENGINEERING DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
- FOUR (4.0) FOOT WIDE MINIMUM SIDEWALK REQUIRED ON BOTH SIDES OF ALL INTERIOR STREETS.
- ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR USE WITHOUT EXPRESS APPROVAL.
- NO UTILITY COMPANY OR OTHER PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM THE DISTRICT.
- NO PERMANENT STRUCTURE, (FOR EXAMPLE FENCES OR DRIVEWAYS OF ANY CONSTRUCTION) WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY THE DISTRICT. ANY UNAUTHORIZED STRUCTURE IN THE EASEMENT AREA IS SUBJECT TO REMOVAL.
- NO UTILITY COMPANY OR OTHER PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM THE IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO REMOVAL.
- 6.00 FT OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTIFAMILY RESIDENTIAL AND COMMERCIAL, OR INDUSTRIAL ZONES/USES.
- 8.00 FT MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- THIS PLAT IS HEREBY APPROVED BY UNITED IRRIGATION DISTRICT SUBJECT TO THE CONDITION THAT IF IRRIGATION FROM SAID SUBDIVISION IS DESIRED TO THE INDIVIDUAL LOTS IN SAID SUBDIVISION, PROVISION SHALL BE MADE FOR APPROPRIATE EASEMENTS FOR THE INSTALLATION OF NECESSARY IRRIGATION DELIVERY FACILITIES TO SUCH LOTS FROM THE CLOSEST WATER DISTRICT DELIVERY POINT AND IT SHALL BE THE RESPONSIBILITY OF THE OWNERS OF THE PROPERTY TO INSTALL AND MAINTAIN SUCH FACILITIES.



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS LAND SURVEYORS
124 E. STUBBS ST. PHONE 956-381-6490
EDINBURG, TEXAS 78539 FAX 956-381-0527
ENGINEERING REGISTRATION NUMBER F-1513 ALFONSO@QHA-ENG.COM
SURVEYING REGISTRATION NUMBER 100411-00

SUBDIVISION PLAT OF :

**VILLAS ON BENTSEN
SUBDIVISION**

A 0.74 OF AN ACRE TRACT OF LAND OUT OF LOT 236, PRIDE O' TEXAS SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 5, PAGE 58, MAP RECORDS HIDALGO COUNTY, TEXAS, AND ACCORDING TO GENERAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 3328952, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

METES AND BOUNDS

A 0.74 OF AN ACRE TRACT OF LAND OUT OF LOT 236, PRIDE O' TEXAS SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 5, PAGE 58, MAP RECORDS HIDALGO COUNTY, TEXAS, AND ACCORDING TO GENERAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 3328952, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS.

BEGINNING AT A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET ON THE NORTH LINE OF BLOSSOM RIDGE SUBDIVISION (RECORDED IN VOLUME 42, PAGE 174, MAP RECORDS, HIDALGO COUNTY, TEXAS) FOR THE SOUTHEAST CORNER OF THE ARLIN B. GULLY AND DIANA L. GULLY TRACT (A 1.0 ACRE TRACT OF LAND OUT OF LOT 236, PRIDE O' TEXAS SUBDIVISION, ACCORDING TO WARRANTY DEED RECORDED IN VOLUME 2434, PAGE 646, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS) AND THE SOUTHWEST CORNER OF THIS TRACT, SAID ROD BEARS S 08°42'30" W, 228.70 FEET AND S 81°17'30" E, 625.80 FEET (DEED RECORD: 626.17 FEET) FROM THE NORTHWEST CORNER OF LOT 236.

THENCE: N 08°42'30" E, ALONG THE EAST LINE OF THE ARLIN B. GULLY AND DIANA L. GULLY TRACT, A DISTANCE OF 104.00 FEET (DEED RECORD: 104.35 FEET) TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4802 FOUND ON THE SOUTH LINE OF THE COUNTY OF HIDALGO TRACT (A 3.21 ACRE TRACT OF LAND OUT OF LOT 236, PRIDE O' TEXAS SUBDIVISION, ACCORDING TO DOCUMENT RECORDED CCD- 1463-B, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS) FOR THE NORTHWEST CORNER OF THIS TRACT.

THENCE: S 81°17'30" E, ALONG THE SOUTH LINE OF THE COUNTY OF HIDALGO TRACT, A DISTANCE OF 317.02 FEET (DEED RECORD: 317.09 FEET) TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET ON THE WEST LINE OF THE HIDALGO COUNTY DRAINAGE DISTRICT No.1 DRAIN DITCH EASEMENT (RECORDED IN VOLUME 2720, PAGE 607, DEED RECORDS, HIDALGO COUNTY, TEXAS) FOR THE NORTHEAST CORNER OF THIS TRACT.

THENCE: S 19°03'30" W, ALONG THE WEST LINE OF THE HIDALGO COUNTY DRAINAGE DISTRICT No.1 DRAIN DITCH EASEMENT, A DISTANCE OF 105.72 FEET (DEED RECORD: 106.08 FEET) TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR THE NORTHEAST CORNER OF BLOSSOM RIDGE SUBDIVISION AND THE SOUTHEAST CORNER OF THIS TRACT.

THENCE: N 81°17'30" W, ALONG THE NORTH LINE OF BLOSSOM RIDGE SUBDIVISION, A DISTANCE OF 298.03 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.74 OF AN ACRE OF LAND MORE OR LESS.

BEARINGS ARE IN ACCORDANCE WITH BLOSSOM RIDGE SUBDIVISION, RECORDED IN VOLUME 42, PAGE 174, MAP RECORDS, HIDALGO COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.



ALFONSO QUINTANILLA
R.P.L.S. No. 4856

NOVEMBER 10, 2022
DATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211 (D.L.S.C.). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

BY: _____

HIDALGO COUNTY IRRIGATION DISTRICT NO. ONE WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION. ALSO THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS.

STATE OF TEXAS
COUNTY OF HIDALGO

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE VILLAS ON BENTSEN SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

CARLO CANTU AND WIFE, BROOKE CANTU
2016 S. 45TH STREET
HIDALGO COUNTY, TEXAS

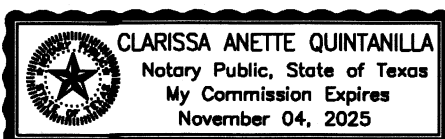
DATE

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, the undersigned notary public, on this day personally appeared
CARLO CANTU AND WIFE, BROOKE CANTU

proved to me through her Texas Department of Public Safety Driver License to be the person whose name is subscribed to the foregoing instrument, who, being by me first duly sworn, declared that the statements therein are true and correct and acknowledged that she executed the same for the purposes and consideration thereby expressed.

Given under my hand and seal of office this _____ day of _____, 20____.



CLARISSA ANNETTE QUINTANILLA - NOTARY PUBLIC

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION

DATE

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR

DATE

ATTEST:

CITY SECRETARY

DATE

THIS PLAT APPROVED BY HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 ON THIS THE _____ DAY OF _____, 20____.

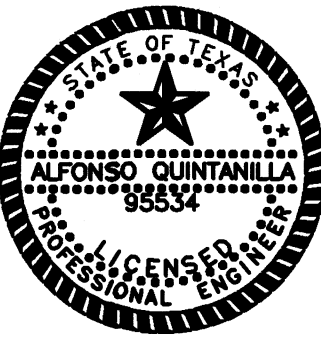
NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON H.C.I.D. NO. 1 RIGHTS-OF-WAY OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE H.C.I.D. NO. 1

SECRETARY

PRESIDENT

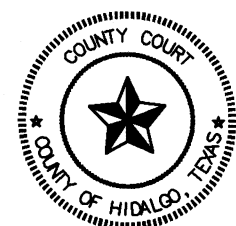
COUNTY OF HIDALGO
STATE OF TEXAS

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.



ALFONSO QUINTANILLA
P.E. No. 95534

1-5-23
DATE



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
NOV. 10-2022	JULIE OVES		
DATE REVISED	REVISED BY	CHECKED BY	APPROVED BY



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/12/2023

SUBDIVISION NAME: VILLAS ON BENTSEN SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

N.42nd Street:50ft. of total ROW dedication.

Paving: 32 ft. Curb & gutter: Both Sides

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Applied

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

NA

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

NA

* 1,200 ft. Block Length.

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts.

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac.

Revisions Needed:

-Provide dimension from back of curb of Cul-de-Sac to centerline of Goldcrest Avenue to verify compliance with 600 ft. block length requirements for Cul-de-Sacs, finalize prior to final.

**As per Fire Department requirements, 96 ft. of paving face-to face required, and 10 ft. of ROW back of curb around Cul-de-Sac required.

***Subdivision Ordinance: Section 134-105

NA

Compliance

Non-compliance

ALLEYS

ROW: 20 ft. Paving: 16 ft.

Revisions Needed:

-As per Public Works Department service drive may be required, finalize prior to final.

**Alley/service drive easement required for commercial and multi-family properties.

***Subdivision Ordinance: Section 134-106

Non-compliance

SETBACKS

* Front: In accordance with the Zoning Ordinance or greater for easements.

Revisions Needed:

-Revise note as shown above prior to final.

***Proposing 10.00 ft. or greater for easements.

****Zoning Ordinance: Section 138-356

* Rear: In accordance with the Zoning Ordinance or greater for easements.

**Zoning Ordinance: Section 138-356

Required

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

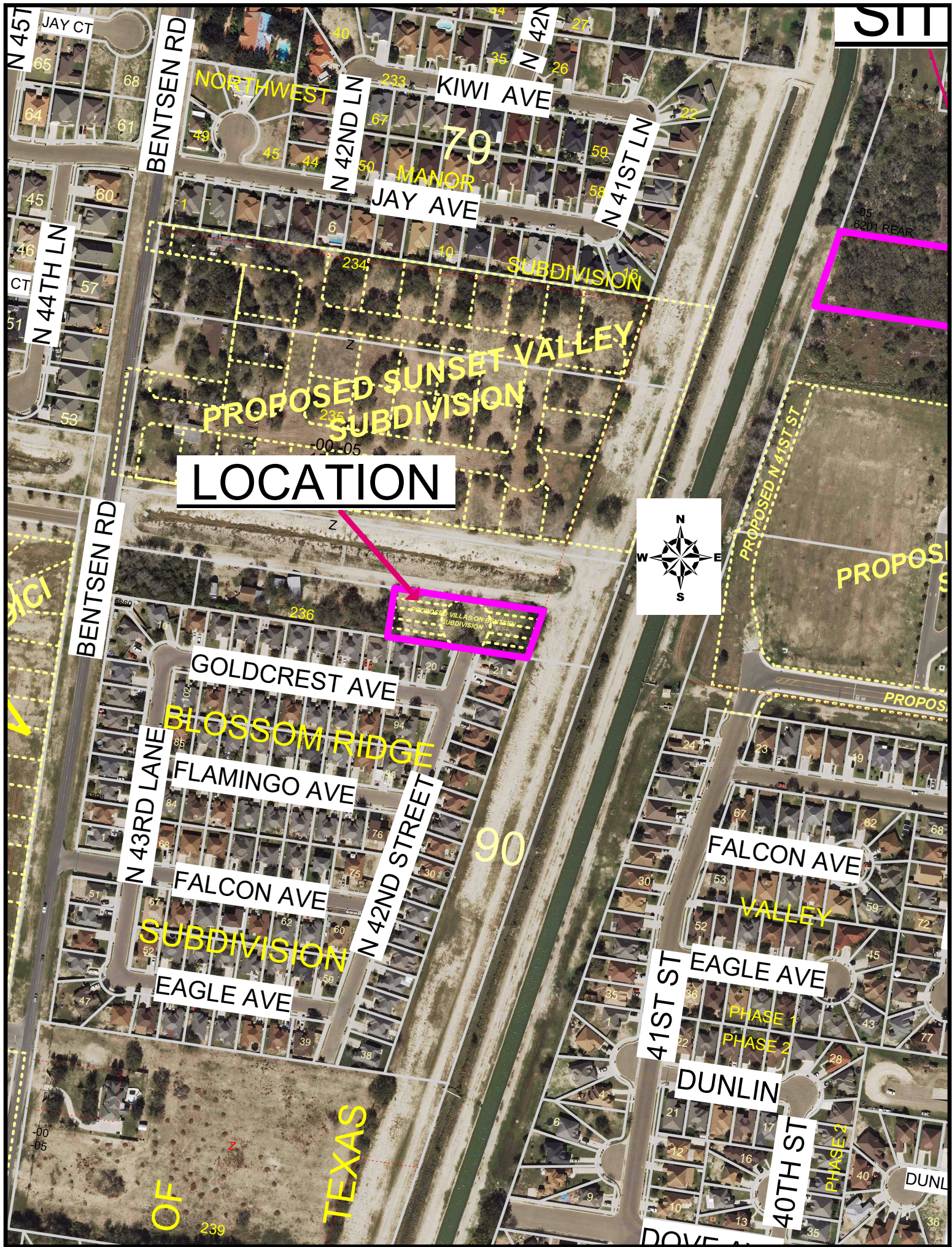
<p>* Sides: In accordance with the Zoning Ordinance or greater for easements. **Note wording will be finalized once easement requirements have been established, finalize prior to final. **Zoning Ordinance: Section 138-356</p> <p>* Corner: Not Applicable **Current subdivision layout does not propose any buildable lots abutting a street, if layout changes and buildable lot abuts a street intersection, the corner setback note will be required. **Zoning Ordinance: Section 138-356</p> <p>* Garage: 18 ft. except where greater setback is required, greater setback applies. **Zoning Ordinance: Section 138-356</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	TBD
	Applied
	Applied
	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on both sides of N. 42nd Street and around Cul-de-Sac. Revisions Needed: -Revise note#9 as shown above prior to final. **Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements. ***Please finalize plat note prior to final. ****Subdivision Ordinance: Section 134-120</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Non-compliance
	Required
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses Revisions Needed: -Revise note#14 as shown above prior to final. **Landscaping Ordinance: Section 110-46</p> <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46</p> <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Non-compliance
	Applied
	Required
NOTES	
<p>*Must comply with City Access Management Policy.</p> <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance. **Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development, submit a site plan for staff review prior to final.</p> <p>* Common Areas, any Cul-de Sacs/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions Needed: -Add note as shown above prior to final. **Note subject to change once subdivision requirements have been finalized. Finalize prior to final.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	Applied
	Required
	Non-compliance
	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</p> <p>**Section 134-168 applies if private subdivision is proposed.</p> <p>***Section 110-72 applies if public subdivision is proposed.</p> <p>****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p>	Required
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</p> <p>**Homeowner's Association Covenants must be submitted for staff review, prior to recording.</p> <p>***Section 134-168 applies if private subdivision is proposed.</p> <p>****Section 110-72 applies if public subdivision is proposed.</p> <p>*****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p>	Required
LOT REQUIREMENTS	
<p>* Lots fronting public streets.</p> <p>**Subdivision Ordinance: Section 134-1</p>	Compliance
<p>* Minimum lot width and lot area.</p> <p>**Compliance with lot requirement to be determined once rezoning and site plan requirements have been finalized.</p> <p>**Zoning Ordinance: Section 138-356</p>	TBD
ZONING/CUP	
<p>* Existing: A-O(Agricultural Open-Space) District Proposed R3-T(townhouse residential) District</p> <p>Pending Items:</p> <p>-Rezoning to R3-T scheduled for the Planning and Zoning Commission meeting of February 7, 2023 and City commission meeting of February 27, 2023.</p> <p>***Zoning Ordinance: Article V</p>	Non-compliance
<p>* Rezoning Needed Before Final Approval</p> <p>Pending Items:</p> <p>-Rezoning to R3-T scheduled for the Planning and Zoning Commission meeting of February 7, 2023 and City commission meeting of February 27, 2023.</p> <p>***Zoning Ordinance: Article V</p>	Required
PARKS	
<p>* Land dedication in lieu of fee. As per application submitted on January 03,2023 a total of 10 lots proposed park fees total to \$7,000 (\$700 X10 per lot/dwelling unit) payable prior to plat recording. If the number of lots/dwelling units changes fees will be adjusted accordingly.</p>	NA
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per application submitted on January 03,2023 a total of 10 lots proposed park fees total to \$7,000 (\$700 X10 per lot/dwelling unit) payable prior to plat recording. If the number of lots/dwelling units changes fees will be adjusted accordingly.</p>	Required
<p>*Pending review by the City Manager's Office. As per application submitted on January 03,2023 a total of 10 lots proposed park fees total to \$7,000 (\$700 X10 per lot/dwelling unit) payable prior to plat recording. If the number of lots/dwelling units changes fees will be adjusted accordingly.</p>	NA
TRAFFIC	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</p>	Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

* Traffic Impact Analysis (TIA) required prior to final plat.	TBD
COMMENTS	
Comments: *Must comply with City's Access Management Policy. **Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development, submit a site plan for staff review prior to final. ***All setbacks are subject to increase for easements or approved site plan, once site plan has been submitted for staff review. ****Please provide ownership map to verify that no landlocked properties exist or will be created	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, DRAINAGE AND UTILITIES APPROVALS	Applied









PLANNING DEPARTMENT

311 N 15th Street McAllen, TX 78501
Phone: 956-681-1250 Fax: 956-681-1279



2023 CALENDAR

Meetings:

-  City Commission
-  Public Utility Board
-  Planning & Zoning Board
-  Zoning Board of Adjustment





HPC - Historic Preservation Council

Deadlines:





D- Zoning/CUP Application N - Public Notification

* **Holiday** - Office is closed





JANUARY 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
1	2 HOLIDAY	3	4	5 N-1/17& 1/18 D-2/7 & 2/8	6	7
8	9 	10 	11	12	13	14
15	16 A-2/7 & 2/8	17	18 N-2/7 & 2/8 D-2/21 & 2/22	19	20	21
22	23 	24 	25	26 HPC	27	28
29	30	31				





FEBRUARY 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1	2	3	4
5	6 A-2/21 & 2/22	7	8 N- 2/21& 2/22 D- 3/7 & 3/8	9	10	11
12	13 	14 			17	18
19	20 A-3/2 & 3/3	21	22 N-3/7 & 3/8 D-3/15 & 3/16	23 HPC	24	25
26	27 	28 				





MARCH 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1	2	3	4
5	6 A-3/15 & 3/16	7	8 N-3/15 & 3/16 D-4/4 & 4/5	9	10	11
12	13 	14 			17	18
19	20 A-4/4 & 4/5	21	22 N-4/4 & 4/5 D-4/18 & 4/19	23	24	25
26	27 	28 	29 HPC	30	31	





APRIL 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1
2	3 A-4/18 & 4/19	4	5 N-4/18 & 4/19 D-5/2 & 5/3	6	7 HOLIDAY	8
9	10 	11 	12	13	14	15
16	17 A- 5/2 & 5/3	18	19 N- 5/2 & 5/3 D-5/16 & 5/17	20	21	22
23	24 	25 	26	27 HPC	28	29

MAY 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
	1 A- 5/16 & 5/17	2	3 D: 6/6 & 6/7 N-5/16 & 5/17	4	5	6
1	8 	9 	10	11	12	13
8	15	16	17 D-6/20 & 6/21		19	20
15	22 	23 	24 N-6/6 & 6/7	25 HPC	26	27
28	29 HOLIDAY	30	31			





JUNE 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
				1	2	3
4	5 A-6/20 & 6/21	6	7 D-7/12 & 7/13 N-6/20 & 6/21	8	9	10
11	12 	13 	14	15	16	17
18	19	20	21 D-7/26 & 7/27	22	23	24
25	26 	27 	28 N-7/12 & 7/13	29 HPC	30	

Deadlines and Meeting Dates are subject to change at any time. Please contact the Planning Department at (956) 681-1250 if you have any questions.

2023 CALENDAR








Meetings:

-  City Commission
-  Public Utility Board
-  Planning & Zoning Board
-  Zoning Board of Adjustment
- HPC - Historic Pres Council









Deadlines:

- D- Zoning/CUP Application
- N - Public Notification
- * **Holiday** - Office is closed









JULY 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1
2	3	4 HOLIDAY	5	6	7	8
9	10  A-7/26 & 7/27	11 	12  N-7/26 & 7/27 D-8/8 & 8/9	13 	14	15
16	17	18	19	20	21	22
23	24  A-8/8 & 8/9	25 	26  N-8/8 & 8/9 D-8/22 & 8/23	27 HPC	28	29
30	31					









AUGUST 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1	2	3	4	5
6	7 A- 8/22 & 8/23	8 	9  N- 8/22 & 8/23 D-9/6 & 9/7	10	11	12
13	14 	15 	16	17	18	19
20	21 A- 9/6 & 9/7	22 	23  N- 9/6 & 9/7 D-9/19 & 9/20	24 HPC	25	26
27	28 	29 	30	31		











SEPTEMBER 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1	2
					A-9/19 & 9/20	
3	4 HOLIDAY	5	6  N-9/19 & 9/20 D-10/3 & 10/4	7 	8	9
10	11 	12 	13	14	15	16
17	18 A-10/3 & 10/4	19 	20  D-10/18 & 10/19 N-10/3 & 10/4	21	22	23
24	25 	26 	27	28 HPC	29	30







OCTOBER 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
1	2	3 	4  N-10/17 & 10/18 D-11/1 - 11/7	5	6	7
8	9 	10 	11	12	13	14
15	16 A-11/1 ZBA	17 	18  N- 11/1 ZBA D-11/15 & 11/21	19	20	21
22	23 	24 	25	26 HPC	27	28
29	30 A- 11/15 ZBA	31				

NOVEMBER 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1  N- 11/15 ZBA D-12/5 & 12/6	2	3	4
5	6 A-11/21 PZ	7 	8  N- 11/21 PZ	9	10	11
12	13 	14 	15  D-12/19 & 12/20	16	17	18
19	20 A-12/5&12/6	21 	22  N-12/5 & 12/6	23 HOLIDAY	24	25
26	27 	28 	29	30		

DECEMBER 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1	2
3	4	5 	6 HPC	7	8	9
	A-12/19 & 12/20		 D-TBA N-12/19 & 12/20			
10	11 	12 	13	14	15	16
17	18 A- TBA	19 	20  D- TBA N- TBA	21	22	23
24	25 HOLIDAY	26 HOLIDAY	27	28	29	30