

AGENDA

PLANNING & ZONING COMMISSION REGULAR MEETING TUESDAY, JANUARY 18, 2022 - 3:30 PM LA PALMAS COMMUNITY CENTER, 1921 NORTH 25TH STREET- GYMNASIUM MCALLEN, TEXAS

At any time during the course of this meeting, the Planning & Zoning Board may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

INVOCATION

1) MINUTES:

- a) Minutes for the meeting held on January 4, 2022

2) PUBLIC HEARING

a) CONDITIONAL USE PERMITS:

1. Request of Joaquin E. Zamudio, for a Conditional Use Permit, for one year, for a home occupation (hair salon) at Lot 15 & the north 12 ½ ft. of Lot 16, BLK 3, Louise Addition Subdivision, Hidalgo County, Texas; 313 North 8th Street. **(CUP2021-0183)**
2. Request of Gabriel E. Ibarra, for a Conditional Use Permit, for one year, for a Portable Building greater than 10 ft. by 12 ft. at Lots 2 & 3, BLK 55, McAllen Addition Subdivision, Hidalgo County, Texas; 616 South 16th Street. **(CUP2021-0182)**
3. Request of Miguel A. Rivera on behalf of Casa De Oracion Rey de Reyes, for a Conditional Use Permit, for one year, for an Institutional Use (church) at Lots 1-8 and Lots 9-16, Block 6, Bonnie-View Subdivision, Hidalgo County, Texas; 2100 Fir Avenue. **(CUP2021-0180)**
4. Request of Agapito Torres, for a Conditional Use Permit, for one year, for automotive service and repair (mechanic shop) at the East 25 ft. of Lot 19 and Lots 20 & 21, Block 7, West Addition to McAllen Subdivision, Hidalgo County, Texas, 2224 Houston Avenue. **(CUP2021-0185)**
5. Request of Esaul Padilla, for a Conditional Use Permit, for one year, for automotive service and repair (truck accessories) at Lots 11 & 12, Block 2, West Addition to McAllen Subdivision, Hidalgo County, Texas, 2241 Dallas Avenue, Suite A. **(CUP2021-0179)**
6. Request of Roberto Garza on behalf of Garman Investments, LP, for a Conditional Use Permit, for life of the use, for a Planned Unit Development, at 13.116 acres out of Lots 234 and 235, Pride o' Texas subdivision, Hidalgo County, Texas; 6100 North Bentsen Road. **(CUP2021-0174) (TABLED: 12/21/2021) (REMAINED TABLED: 01/04/2022)**

b) REZONING:

1. Rezone from R-3A (multifamily residential apartment) District to C-3 (general business) District: Lot 4, Block 57, South McAllen Addition, Hidalgo County, Texas; 708 South 17th Street. **(REZ2021-0083)**

2. Rezone from R-1 (single-family residential) District to R-3A (multifamily residential apartment) District: 9.985 acres out of Lots 297 and 298, John H. Shary Subdivision, Hidalgo County, Texas; 3224 North Taylor Road. **(REZ2021-0082)**
3. Rezone from R-3T (multifamily residential townhouse) District to C-3 (general business) District: 13 acres out of Lot 7, Section 13, Hidalgo Canal Company's Subdivision, Hidalgo County, Texas; 8220 North 10th Street. **(REZ2021-0086)**
4. Rezone from A-O (agricultural-open space) District to R-3A (multifamily residential apartment) District: 39.785 acres out of Lots 138 and 137, La Lomita Irrigation and Construction Co. Subdivision, Hidalgo County, Texas; 2501 North Ware Road. **(REZ2021-0084)**
5. Rezone from A-O (agricultural-open space) District to R1 (single-family residential) District: 37.571 acres out of Lots 138 and 137, La Lomita Irrigation and Construction Co. Subdivision, Hidalgo County, Texas; 2601 North Ware Road. **(REZ2021-0085)**

c) SUBDIVISION:

1. Replat of Willow Ridge Lot 15A to Lots 16A & 17A, 1000 East Daffodil Avenue; James Hughes and the Grand Daffodil Condominiums, LLC. **(SUB2022-0003) (FINAL) DSE**

3) SITE PLAN:

- a) Revised Site Plan Approval for Lot 1, Nolana Crossing Subdivision; 2709 Nolana Avenue **(SPR2021-0040)**

4) CONSENT:

- a) G.A. Beauty & Barber Plaza Subdivision, 4401 Buddy Owens Boulevard; Guadalupe Crecencia Rayon **(SUB2021-0144) (FINAL) RDE**
- b) Bell's Farm Plaza Subdivision, 132 South Ware Road; Robert L. Bell, Jr. **(SUB2022-0005) (FINAL) SDI**

5) SUBDIVISIONS:

- a) Sharyland Business Park No. 10 Subdivision, 6901 South Shary Road; Cascade Real Estate Operating, L.P. **(SUB2021-0149) (PRELIMINARY) HA**
- b) Victory Landing Subdivision, 7000 Mile 6 Road; Montemayor Enterprises LTD **(SUB2021-0150) (PRELIMINARY) SE**
- c) Up North on Ware Road Apartments & Business Center Subdivision, 9500 North Ware Road; Ware Road Holding, LLC **(SUB2021-0096) (FINAL) HE**
- d) Silver Valley Subdivision, 1920 North Taylor Road; Delicias Catering, LLC **(SUB2022-0004) (FINAL) M2E**

6) DISCUSSION:

- a) Election of Officers

7) INFORMATION ONLY:

- a) City Commission Actions: January 10, 2022

ADJOURNMENT:

IF ANY ACCOMMODATIONS FOR A DISABILITY ARE REQUIRED, PLEASE NOTIFY THE PLANNING DEPARTMENT (681-1250) 72 HOURS BEFORE THE MEETING DATE. WITH REGARD TO ANY ITEM, THE PLANNING & ZONING COMMISSION MAY TAKE VARIOUS ACTIONS, INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR PARTICULAR ACTION AT A FUTURE DATE.

Minutes for January
4, 2022 will uploaded
on Monday.

Memo

TO: Planning and Zoning Commission

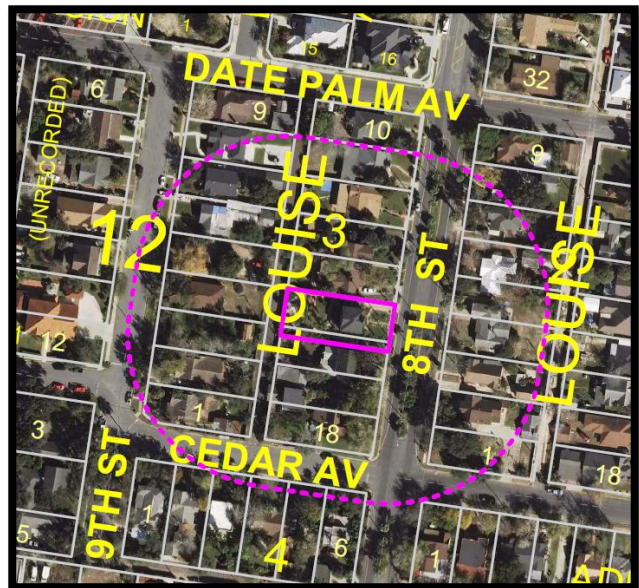
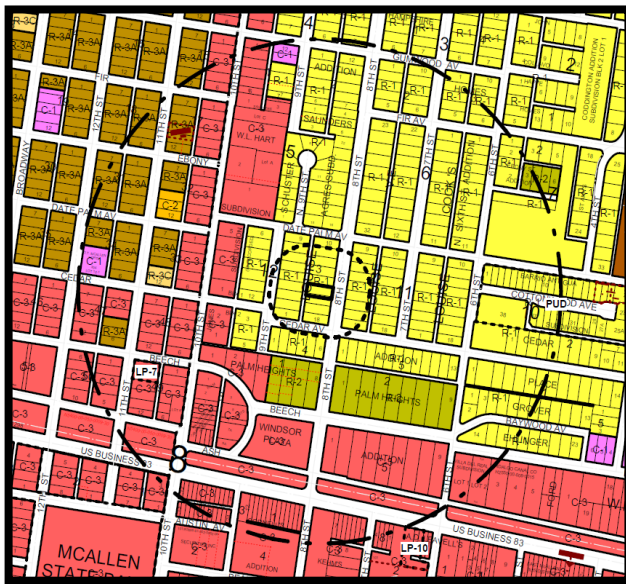
FROM: Planning Staff

DATE: January 4th, 2022

SUBJECT: REQUEST OF JOAQUIN E. ZAMUDIO, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR A HOME OCCUPATION (HAIR SALON), AT LOT 15 AND THE NORTH 12 ½ FT. OF LOT 16, BLOCK 3, LOUISE ADDITION, HIDALGO COUNTY, TEXAS; 313 NORTH 8TH STREET. (CUP2021-0183)

BRIEF DESCRIPTION:

The property is located on the west side of North 8th Street, approximately 125 ft. north of Cedar Avenue and is zoned R-1 (single family residential) District. The adjacent zoning is R-1 district in all directions. Surrounding land uses include single-family residences. A home occupation is permitted in the R-1 district with a Conditional Use Permit and in compliance with requirements.



HISTORY:

The initial permit for property was approved August 4th, 2020. The permit was approved for one year Conditional Use Permit for the use of a hair salon. The permit expired July 21st, 2021.

REQUEST/ANALYSIS:

The applicant is proposing to operate a hair salon from approximately 417 sq. ft. of the existing 2044 sq. ft. residence. The proposed hours of operation will continue with accordance of previously approved, daily within the hours of 8:00 a.m. to 4:00 p.m. The applicant stated that he will have two employees, an unrelated employee and himself. The applicant is requesting to

work from home by appointment due to the Covid-19 pandemic.

The staff verified the ownership of the property. According to the Hidalgo County Appraisal District, the applicant and Mrs. Rebecca Hayley are the owners of the property, and live on the subject property.

Should the conditional use permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The occupation may not be operational until the issuance of the certificate. The Fire Department has inspected the building, and approved. The business must comply with requirements set forth in Section 138-118(1) of the Zoning Ordinance and the specific requirements are as follows:

- 1) The home occupation must be clearly secondary to the residential use;
- 2) No signs are permitted. No sign is proposed or installed;
- 3) There shall be no exterior display or alterations indicating that the building is being used for any purpose other than that of a dwelling;
- 4) There shall be no more than one additional unrelated employee other than immediate members of the family residing on the premises. There will be one unrelated employee that will live elsewhere;
- 5) There shall be no outside storage of materials or products. The applicant does not propose any outside storage;
- 6) The permitted use shall not create frequent or heavy traffic, not greater than ten percent (10%) of the average load per hour as determined by the city traffic engineer. The applicant stated that customers would visit by appointment only within the hours of 8 a.m. and 4 p.m.;
- 7) No retail sales (items can be delivered). The applicant did not propose any retail sales from home;
- 8) No additions to the residence or accessory building specifically to accommodate the business. The applicant proposes no additions or accessory building to accommodate the business;
- 9) The business must take place in the primary residential structure on the property rather than in a detached garage or separate accessory building. The occupation is proposed to take place in the primary residential structure; and
- 10) The activity must take place at the location of which the permit was issued.

RECOMMENDATION:

Staff recommends approval of the request, for one year, subject to compliance with the requirements in Section 138-118(1) of the Zoning Ordinance and Fire Department requirements.

PN2- 1/18/22



CITY OF McALLEN, TEXAS
311 NORTH 15TH STREET, McALLEN, TX 78501
P. O. BOX 220, McALLEN, TEXAS 78505-0220 • (956) 681-1250 • FAX (956) 681-1279

CUP2021-0183
Permit No. _____

HOME OCCUPATION

CONDITIONAL USE PERMIT APPLICATION

(Please print or type)

Application Date 12/15/21MPU ACCOUNT NUMBER: 0042518/0042526Applicant JOAQUIN E. ZAMUDIOPHONE NO: 956 607-8507

(first) (initial) (last)

Mailing Address 313 North 8th McAllen

EMAIL: _____

(city) (state) (zip)

Property Owner JOAQUIN E ZAMUDIOPHONE NO: 956-607-8507
956 2793627

(first) (initial) (last)

Mailing Address 313 North 8th McAllen 78501

EMAIL: _____

(city) (state) (zip)

Property Location (street address) 313 North 8th street. McAllen tx. 78501

(street address)

Property Legal Description (if metes and bounds, attach survey of the property) (subdivision) (block) (lot)
Louise lot 15 1/2 of lot 16 BLK 3

(if metes and bounds, attach survey of the property)

Residence

Current use of property

Private Salon & Day Spa
Hair Salon

Proposed use of property

TERM OF PERMIT: X 1 YEAR

FLOOR PLAN & SITE PLAN (attach a drawing of the property showing the following)

____ Scale, north arrow, legal description of property

____ Landscaping and fencing of yard

____ Location and height of all structures

____ Off-street parking and loading

____ Setback from property lines and between structures

____ Driveway location & design

____ Proposed changes and uses

____ Location, type, height and lighting of all signs

JOAQUIN E. ZAMUDIO

(Applicant signature)

12/15/21

(date)

JOAQUIN E. ZAMUDIO

(Property owner signature)

12/15/21

(date)

Rebecca Harper Zamudio

Hours of Operation _____

Number of Employees _____

GENERAL INFORMATION

NOTIFICATION AND PUBLIC HEARING: Property owners within 200' of the subject property shall be notified within at least 10 working days of the Planning and Zoning Commission public hearing. Upon considering the recommendation of the Director of Planning, the Planning and Zoning Commission shall approve or disapprove the application.

APPEALS PROCEDURE: Any decision of the Planning and Zoning Commission may be appealed to the City Commission by presenting a petition to the City Commission within 10 days after the decision of the Planning and Zoning Commission and specifying the grounds for the appeal. A vote of 3/4 of the City Commission is required to overrule a vote of the Planning and Zoning Commission denying a conditional use permit.

CANCELLATION: A conditional use permit is automatically cancelled if not used within 6 months.

REVOCATION: A conditional use permit may be revoked by the Planning and Zoning Commission at a public hearing upon failure of the applicant to remedy a violation of the conditions of the permit within a specified time period (10 to 30 days) as specified in a written notice to the applicant by the Code Enforcement Officer or Building Inspector.

RENEWAL PERIOD: A conditional use permit shall expire within 1 year unless otherwise specified by the Planning and Zoning Commission. Application for renewal of a permit shall be made prior to 20 days before permit expiration. A permit for more than 1 year shall be approved by the City Commission.

DEFINITIONS

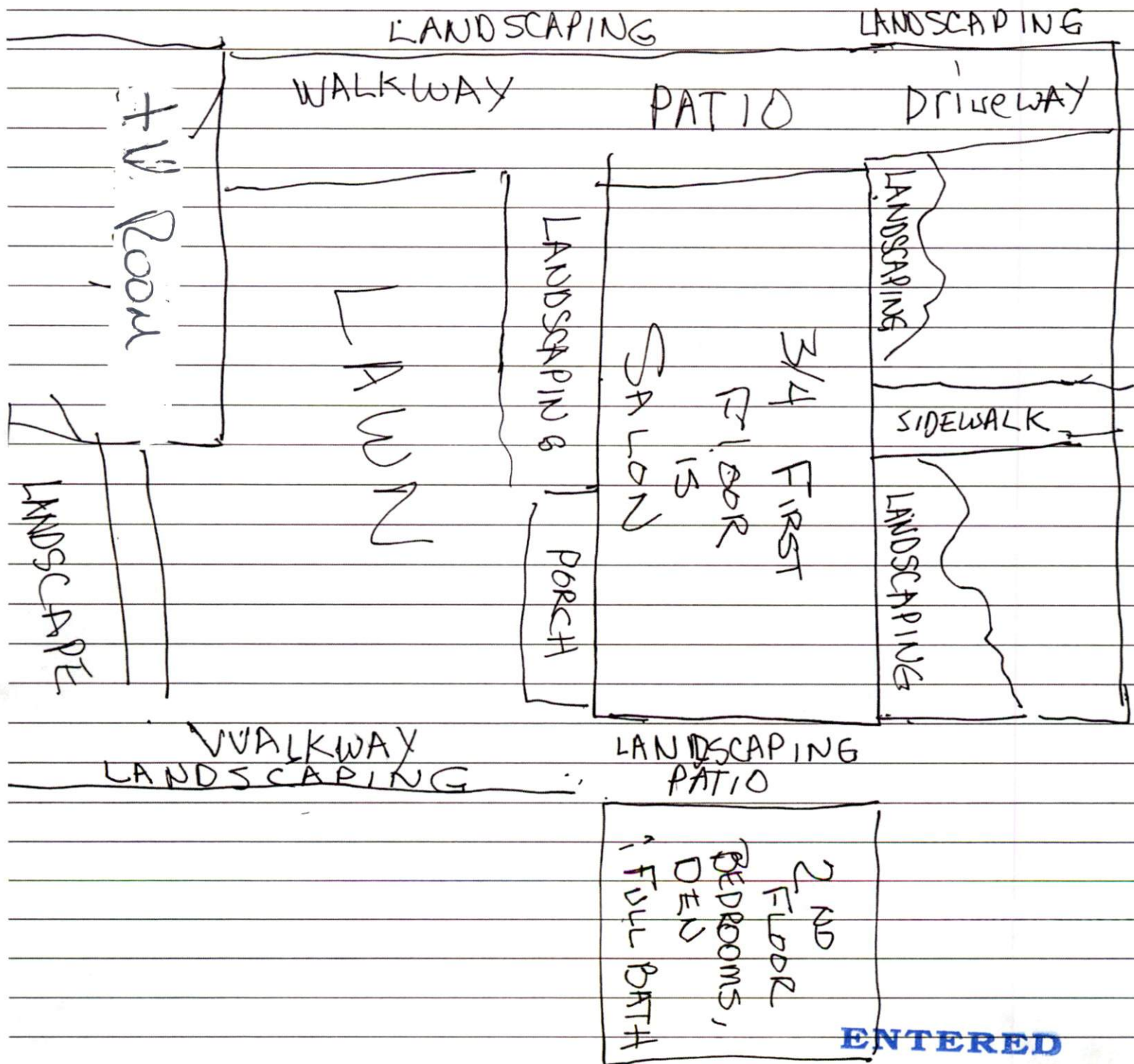
Home Occupation - An activity carried on by a member of the immediate family residing on the premises that meets the provision of Section 138-118.

ENTERED

Home Occupation - Pg. 1 - REVISED 10/16

DEC 15 2021

Initial: AW



ENTERED

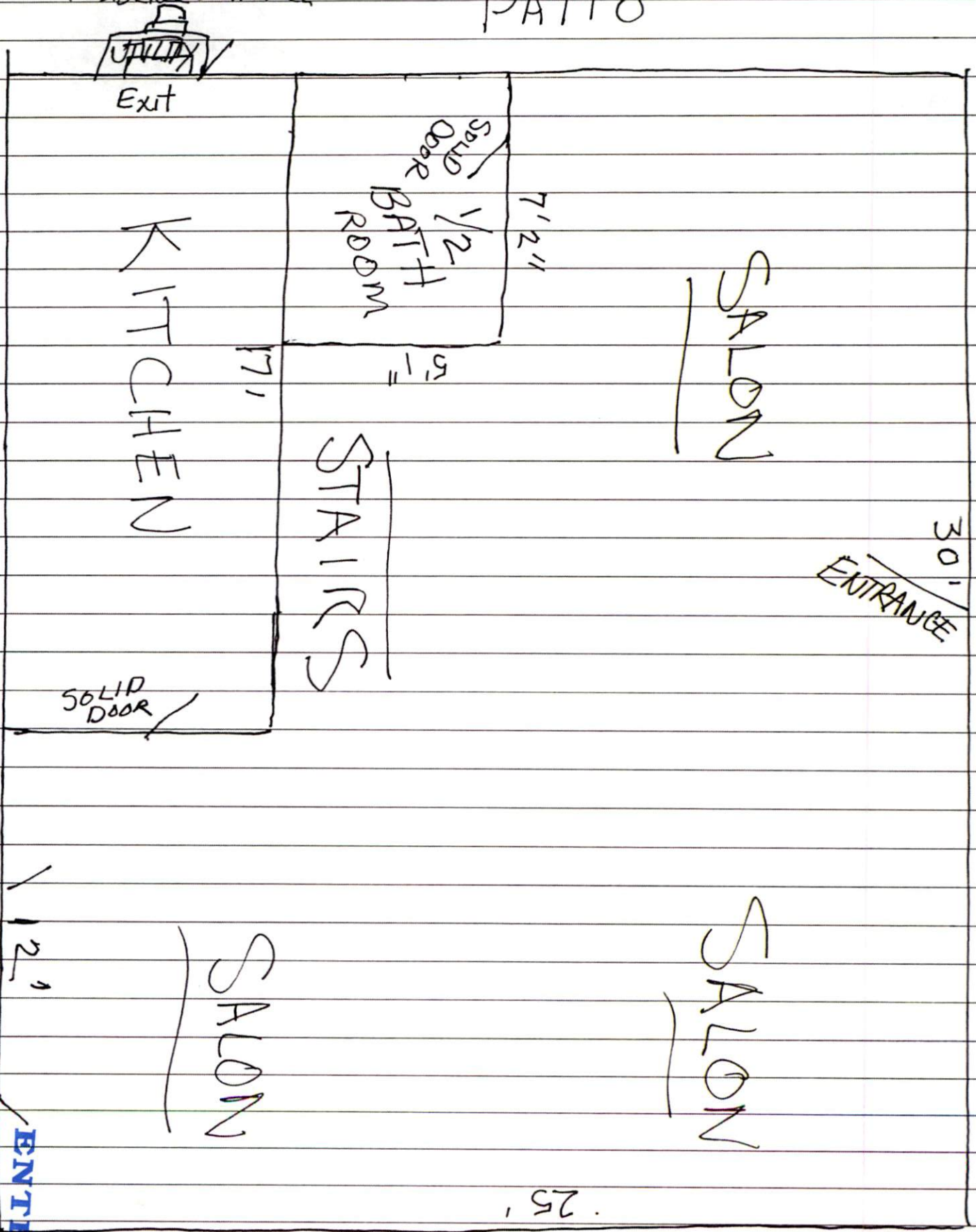
DEC 15 2021

Initial:

am

RESIDENCE ENTRANCE

PATIO



30'
ENTRANCE

SALON

PATIO

RECEIVED
JUN 25 2020
BY: *[Signature]*

ENTERED

PORCH

DEC 15 2021
Initial: *CM*

Dec 28, 2021 at 2:28:43 PM
313 N Eighth St
McAllen TX 78501
United States



Memo

TO: Planning and Zoning Commission

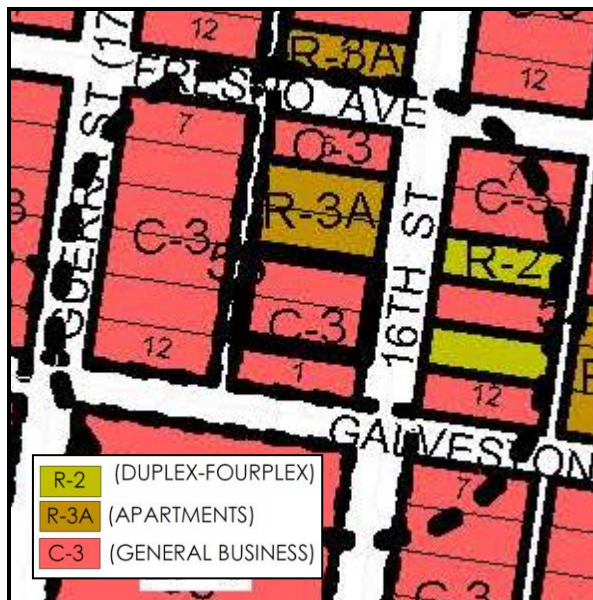
FROM: Planning Staff

DATE: December 30, 2021

SUBJECT: REQUEST OF GABRIEL E. IBARRA FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR A PORTABLE BUILDING GREATER THAN 10' X 12' (CAR LOT) AT LOTS 2 AND 3, BLOCK 55, MCALLEN ADDITION, HIDALGO COUNTY, TEXAS; 616 SOUTH 16TH STREET. (CUP2021-0182)

BRIEF DESCRIPTION:

The property is located on the west side of South 16th Street, approximately 70 ft. north of Galveston Avenue. The property is zoned C-3 (general business) District. The adjacent zoning is C-3 to the east, west, and south, and R-3A (apartments) District to the north. Surrounding land uses include commercial businesses, single and multi-family residences. A portable building is allowed in a C-3 District with a Conditional Use Permit and in compliance with requirements.



HISTORY:

The initial conditional use permit for a portable building was approved for one year on November 18, 2014 by the Planning and Zoning Commission. There was a conditional use permit for a portable building was disapproved on April 11, 2016 by the City Commission for a Conditional Use Permit for One Year for a Portable Building Greater than 10ft. X 12ft. for an office for a tow truck business. The last conditional use permit for

a portable building was approved for one year on August 3, 2021 for the use of an office for air conditioning repair.

REQUEST/ANALYSIS:

The applicant is proposing to operate an existing portable building on site, which will be used as an office for a car lot. The applicant is proposing to utilize the 24.33 ft. by 14.25 ft. portable building on the property as the office for the proposed a car lot. The Fire Department is still pending an inspection'. The portable building must also meet the requirements set forth in Section 138-118(3) of the Zoning Ordinance as follows:

- 1) Portable buildings must not be used for living quarters. The building will be used for office purposes;
- 2) Must be located in such a manner as to have access to a public right-of-way within 200 ft. The property fronts South 16th Street;
- 3) The proposed use and adjacent businesses shall comply with the off-street parking and loading ordinance. Based on the square footage, 5 parking spaces are required for the proposed portable building. The site plan provides 6 parking spaces. Access to the site is from South 16th Street and the paved alley at the rear of the lot;
- 4) Must provide for garbage and trash collection and disposal;
- 5) Must be connected to an approved water distribution and sewage disposal system;
- 6) No form of pollution shall emanate beyond the immediate property line of the permitted use; and no outside storage of equipment or material.
- 7) Additional reasonable restrictions or conditions such as increased open space, loading and parking requirements, suitable landscaping, curbing, sidewalks or other similar improvements may be imposed in order to carry out the spirit of the Zoning Ordinance or mitigate adverse effects of the proposed use.

RECOMMENDATION:

Staff recommends approval of the request, subject to Section 138-118(3) of the Zoning Ordinance, Building Permit and Fire Department requirements.

PNZ-1/18/22



CITY OF McALLEN, TEXAS
311 NORTH 15TH STREET, McALLEN, TX 78501

CUP 2021-0182
Permit No. _____

P. O. BOX 220, McALLEN, TEXAS 78505-0220 • (956) 681-1250 • FAX (956) 681-1279

PORTABLE BUILDING GREATER THAN 10' X 12'

..... CONDITIONAL USE PERMIT APPLICATION

Application Date 12 / 9 / 2021

(Please print or type)

Gabriel_51420@hotmail.com

Gabriel E Ibarra

Applicant (first) (initial) (last)

PHONE NO.: (956) 638-9041

2420 Leanna dence Ave Mission TX 78572

Mailing Address (city) (state) (zip)

Yolanda Ramirez

Property Owner (first) (initial) (last)

PHONE NO.: (956) 432-5636

111 Lake Estates Dr. Montgomery TX 77356-8069

Mailing Address (city) (state) (zip)

616 S 16th St McAllen TX 78501

Property Location (street address)

McAllen Addition Lots 2 @ 3 BIKSS

Property Legal Description (if metes and bounds, attach survey of the property) (subdivision) (block) (lot)

TOW TRUCK COMPANY / New Vehicle

Current use of property

Proposed use of property

TERM OF PERMIT: 1 YEAR

MORE THAN 1 YEAR (requires City Commission approval)

10am to 6 PM
Monday to Saturday

SITE PLAN (attach a drawing of the property showing the following)

Scale, north arrow, legal description of property

Location and height of all structures

Setback from property lines and between structures

Proposed changes and uses

Landscaping and fencing of yard

Off-street parking and loading

Driveway location & design

Location, type, height and lighting of all signs

(Applicant signature)

12-9-21
(date)

(Property owner signature)

12-9-21
(date)

GENERAL INFORMATION

NOTIFICATION AND PUBLIC HEARING: Property owners within 200' of the subject property shall be notified within at least 10 working days of the Planning and Zoning Commission public hearing. Upon considering the recommendation of the Director of Planning, the Planning and Zoning Commission shall approve or disapprove the application.

APPEALS PROCEDURE: Any decision of the Planning and Zoning Commission may be appealed to the City Commission by presenting a petition to the City Commission within 10 days after the decision of the Planning and Zoning Commission and specifying the grounds for the appeal. A vote of 3/4 of the City Commission is required to overrule a vote of the Planning and Zoning Commission denying a conditional use permit.

CANCELLATION: A conditional use permit is automatically cancelled if not used within 6 months.

REVOCATION: A conditional use permit may be revoked by the Planning and Zoning Commission at a public hearing upon failure of the applicant to remedy a violation of the conditions of the permit within a specified time period (10 to 30 days) as specified in a written notice to the applicant by the Code Enforcement Officer or Building Inspector.

RENEWAL PERIOD: A conditional use permit shall expire within 1 year unless otherwise specified by the Planning and Zoning Commission. Application for renewal of a permit shall be made prior to 20 days before permit expiration. A permit for more than 1 year shall be approved by the City Commission.

DEFINITIONS / COMMENTS

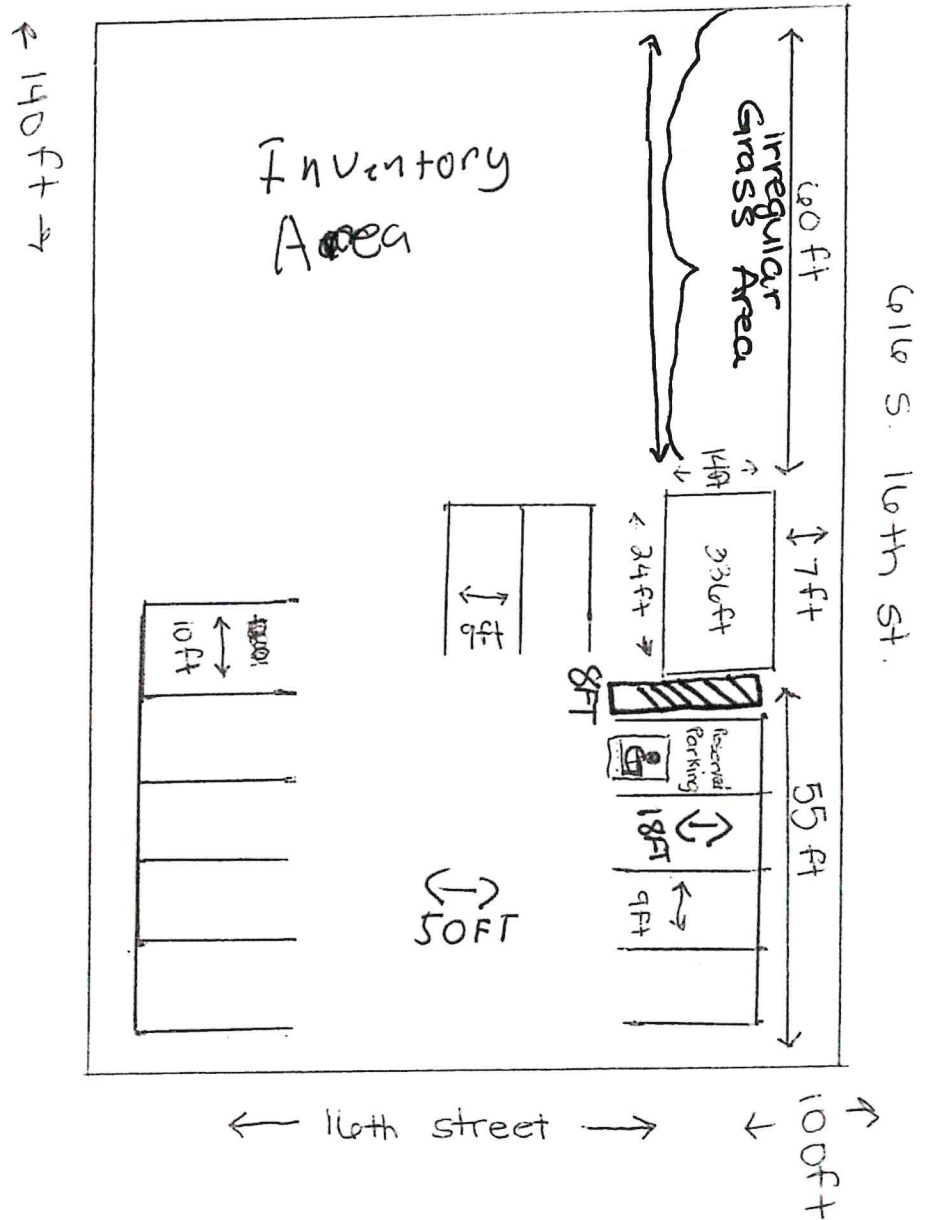
Portable Building - A temporary building that does not have a foundation and is transportable.

Portable buildings less than 10' X 12' are permitted within all zoning districts. Portable buildings for storage and non-storage purposes are permitted uses within all residential districts. Portable buildings, other than mobile homes or modular homes, shall not be used for residential occupancy. Portable buildings may be used for institutional, commercial or industrial occupancy such as classrooms, offices or accessory uses.

ENTERED

Initial: AN
Portable Building - Pg. 1 of 1 REUSED 10/16

12-9-21



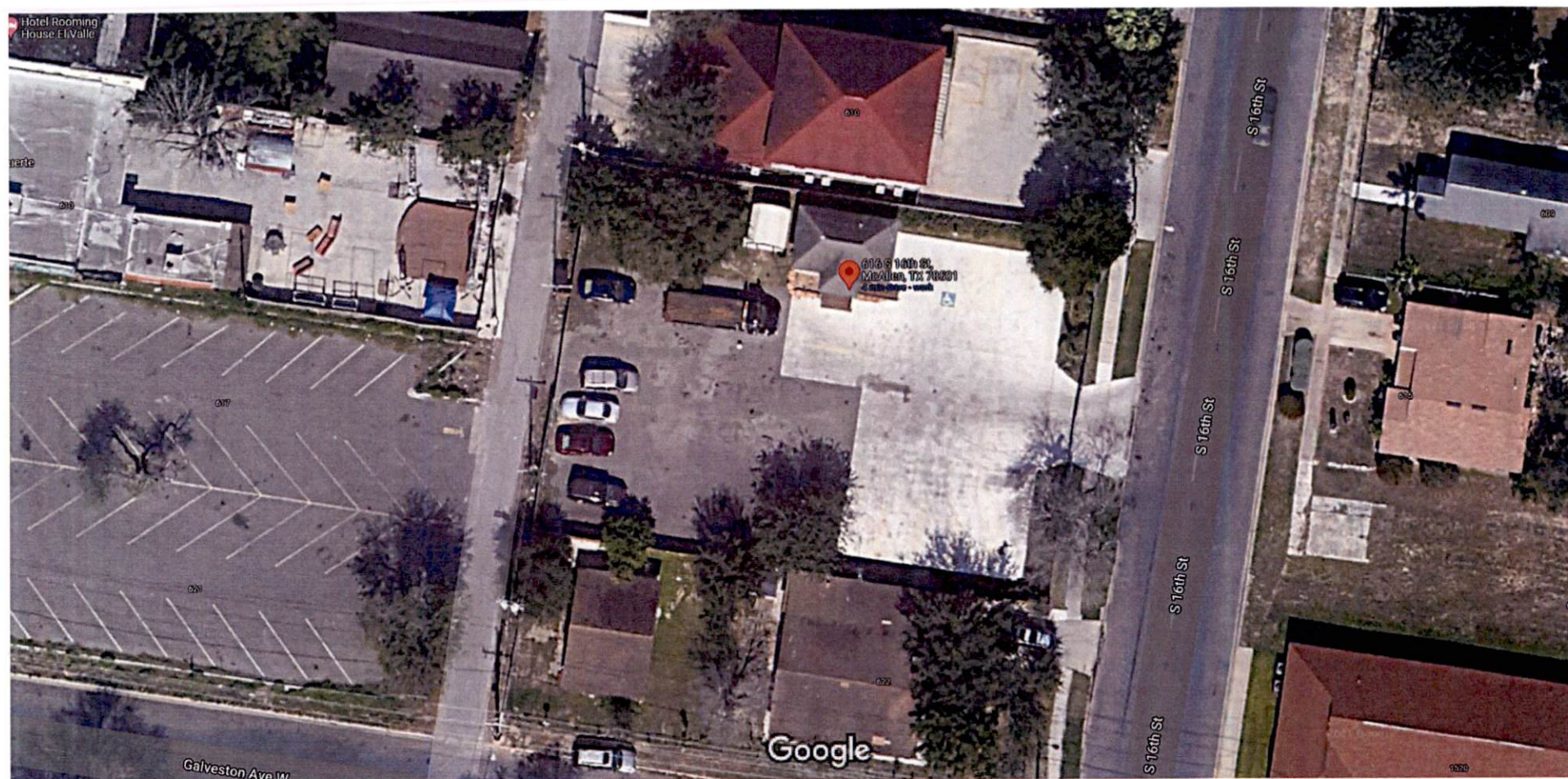
Revised
ENTERED

JAN 07 2022
Initial: AR
revised

ENTERED

DEC 14 2021
Initial: AR

Google Maps 616 S 16th St



Map data ©2021, Map data ©2021 Google 20 ft

ENTERED

DEC 14 2021

Initial: an

Jan 3, 2022 at 2:27:57 PM
616 S 16th St
McAllen TX 78501
United States



Jan 3, 2022 at 2:27:51 PM
616 S 16th St
McAllen TX 78501
United States



Jan 3, 2022 at 2:28:21 PM
616 S 16th St
McAllen TX 78501
United States



Jan 3, 2022 at 2:28:27 PM
616 S 16th St
McAllen TX 78501
United States



Jan 3, 2022 at 2:28:38 PM
616 S 16th St
McAllen TX 78501
United States



Jan 3, 2022 at 2:29:28 PM
616 S 16th St
McAllen TX 78501
United States



Jan 3, 2022 at 2:29:28 PM
616 S 16th St
McAllen TX 78501
United States



Memo

TO: Planning and Zoning Commission

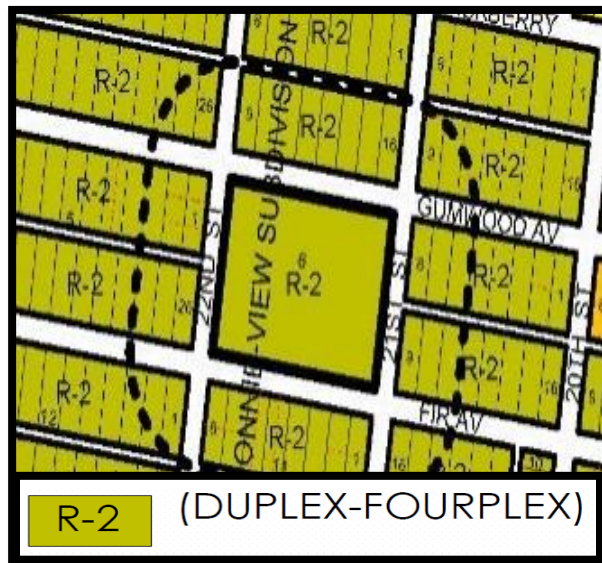
FROM: Planning Staff

DATE: December 29, 2021

SUBJECT: Request of Miguel A. Rivera on behalf of Casa De Oracion Rey de Reyes, for a Conditional Use Permit, for one year, for an Institutional Use (church) at Lots 1-8 and Lots 9-16, Block 6, Bonnie-View Subdivision, Hidalgo County, Texas; 2100 Fir Avenue. (CUP2021-0180)

BRIEF DESCRIPTION:

The property is located between North 21st Street and North 22nd Street, south of Gumwood Avenue. It is zoned R-2 (duplex-fourplex residential) District. The adjacent zoning is R-2 District in all directions. Surrounding land uses include single-family residences, duplex, multifamily apartments, Iglesia Presbiteriana Betania, Navarro Elementary and vacant land. An institutional use is permitted in an R-2 District zone with a conditional use permit and in compliance with requirements.



REQUEST/ANALYSIS:

The applicant is proposing to operate a church from existing buildings that previously served as offices for the Hidalgo County Head Start Program.

The first building is approximately 3,212 sq. ft. and consists of the altar, two restrooms, a sound booth, mechanical room, media room and the main sanctuary. The main sanctuary has 27 rows of chairs for a proposed seating capacity of 238. It is scheduled to operate on Wednesdays from 7:00 p.m. to 9:00 p.m., Sundays from 11:00 a.m. to 1:00 p.m. and on Thursday for Youth Service from 7:00 p.m. to 9:00 p.m.

The second building is approximately 16,145 sq. ft. in size. It consists of 3 classrooms, 6 offices, 4 restrooms, a lobby, 7 rooms that are going to be initially vacant and used as needed, 6 storage rooms, a library, a janitorial room, mail room, mechanical room and a waiting area. The second building hours of operation are as follows: church office is scheduled to operate Monday through Thursday from 9:00 a.m. to 1:00 p.m., along with the hours of operation for Wednesday and Sunday Service, and Youth Service.

Based on the number of seats in the main sanctuary, 60 parking spaces are required, of which 3 parking spaces must be accessible with an 8 ft. aisle. There is an existing parking lot with 63 parking spaces, 3 of which is reserved for disabled persons, as shown on the submitted site plan meeting the parking lot requirement.

The Fire Department is pending to conduct the necessary inspection. Should the conditional use permit be approved, the applicant would be required to sign the application acknowledging and agreeing to all conditions of the permit. The proposed use must also comply with the zoning ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The property fronts North 21st, 22nd Street, Gumwood and Fir Avenue
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of parking along street, especially in residential areas. Based on the seating area of 238 seats in the main sanctuary, 60 parking spaces are required; 63 parking spaces are provided. The parking must be clear of potholes and be properly striped per city requirements.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the main building shall be determined by the Building Inspections Department and shall maintain the existing seating capacity for the main sanctuary; and
- 7) Sides adjacent to commercially and residentially zoned or use property shall be screened by a 6 ft. opaque fence. A chain link fence is provided on the west and north side of the property.

RECOMMENDATION:

Staff recommends approval of the request, for one year, subject to compliance with requirements in Section 138-118 and Section 138-400 of the Zoning Ordinance, and Building Permits and Fire Department requirements.

CUP 2021-0180

Permit No. _____



CITY OF McALLEN, TEXAS

311 NORTH 15TH STREET, McALLEN, TX 78501

P. O. BOX 220, McALLEN, TEXAS 78505-0220 • (956) 681-1250 • FAX (956) 681-1279

INSTITUTIONAL USES

CONDITIONAL USE PERMIT APPLICATION

(Please print or type)

Application Date 12 / 09 / 21Applicant (first) (initial) (last) Miguel A. RiveraPHONE NO: 956-638-0661

Applicant (first) (initial) (last)

Mailing Address (city) (state) (zip) 825 S. McColl Rd. Mc Allen, Tx 78501

Mailing Address (city) (state) (zip)

Applicant (first) (initial) (last) Maria Dolores Diaz McAllen Tx 78504 PHONE NO: 956-648-8001

Property Owner (first) (initial) (last)

Mailing Address (city) (state) (zip) 400 W. Redbud Ave.

Mailing Address (city) (state) (zip)

Property Location (street address) 2100 FIR Avenue McAllen, Tx 78501

Property Location (street address)

Property Legal Description (if metes and bounds, attach survey of the property) (subdivision) (block) (lot) 2100 FIR Avenue Lots 1-8 and lots 9-16 Block 6 Bonnie ViewProperty Legal Description (if metes and bounds, attach survey of the property) (subdivision) (block) (lot) SubdivisionCurrent use of property NOT Being used/was Headstart CHURCH use

Current use of property

mike@dssdrywall.com

Proposed use of property

Wednesday 7 PM to 9 PMTERM OF PERMIT: ☒ 1 YEAR☐ MORE THAN 1 YEAR (requires City Commission approval)Sunday 11 AM to 1 PMYouth 7 PM to 9 P.MOffice hrs.**SITE PLAN & FLOOR PLAN** (attach a drawing of the property & buildings showing the following)

Scale, north arrow, legal description of property

Location and height of all structures

Setback from property lines and between structures

Proposed changes and uses

Landscaping and fencing of yard

Off-street parking and loading

Driveway location & design

Location, type, height and lighting of all signs

[Signature]12-9-21

(Applicant signature)

(date)

Maria Dolores Diaz

(Property owner signature)

12-09-2021

(date)

GENERAL INFORMATION

NOTIFICATION AND PUBLIC HEARING: Property owners within 200' of the subject property shall be notified within at least 10 working days of the Planning and Zoning Commission public hearing. Upon considering the recommendation of the Director of Planning, the Planning and Zoning Commission shall approve or disapprove the application.

APPEALS PROCEDURE: Any decision of the Planning and Zoning Commission may be appealed to the City Commission by presenting a petition to the City Commission within 10 days after the decision of the Planning and Zoning Commission and specifying the grounds for the appeal. A vote of 3/4 of the City Commission is required to overrule a vote of the Planning and Zoning Commission denying a conditional use permit.

CANCELLATION: A conditional use permit is automatically cancelled if not used within 6 months.

REVOCATION: A conditional use permit may be revoked by the Planning and Zoning Commission at a public hearing upon failure of the applicant to remedy a violation of the conditions of the permit within a specified time period (10 to 30 days) as specified in a written notice to the applicant by the Code Enforcement Officer or Building Inspector.

RENEWAL PERIOD: A conditional use permit shall expire within 1 year unless otherwise specified by the Planning and Zoning Commission. Application for renewal of a permit shall be made prior to 20 days before permit expiration. A permit for more than 1 year shall be approved by the City Commission.

DEFINITIONS

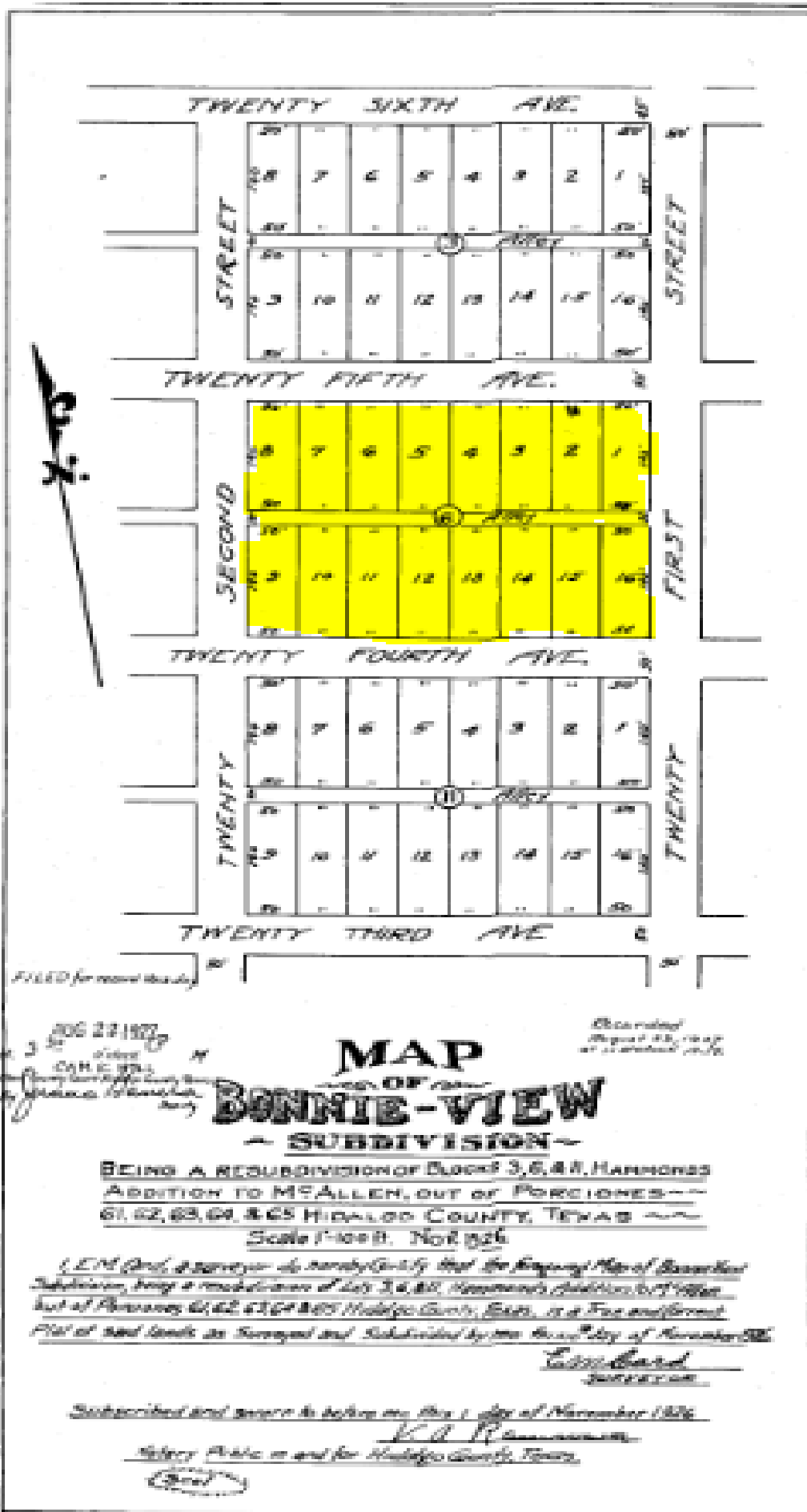
Institutional - A nonprofit organization or building, public or private, for the benefit of the public; or educational facilities, churches, temples, hospitals, clubs, fire stations, police stations, libraries, museums, city offices, etc.

Institutional Use - Pg. 1 - REVISED 10/16

Initial: AM**ENTERED**

DEC 14 2021

GAS HC



FILED for record this day

206 271872
 3 1/2
 of
 C.M.C. 221
 by James H. Hamilton
 Surveyor

Recorded
 August 22, 1926
 at 11 o'clock A.M.

MAP OF BONNIE-VIEW ~ SUBDIVISION ~

BEING A RESUBDIVISION OF BLOCKS 3, 6, & 8, HARMON'S
 ADDITION TO McALLEN, OUT OF PORCIONES
 61, 62, 63, 64, & 65 HIDALGO COUNTY, TEXAS
 Scale 1"=40' B. Nov 1926

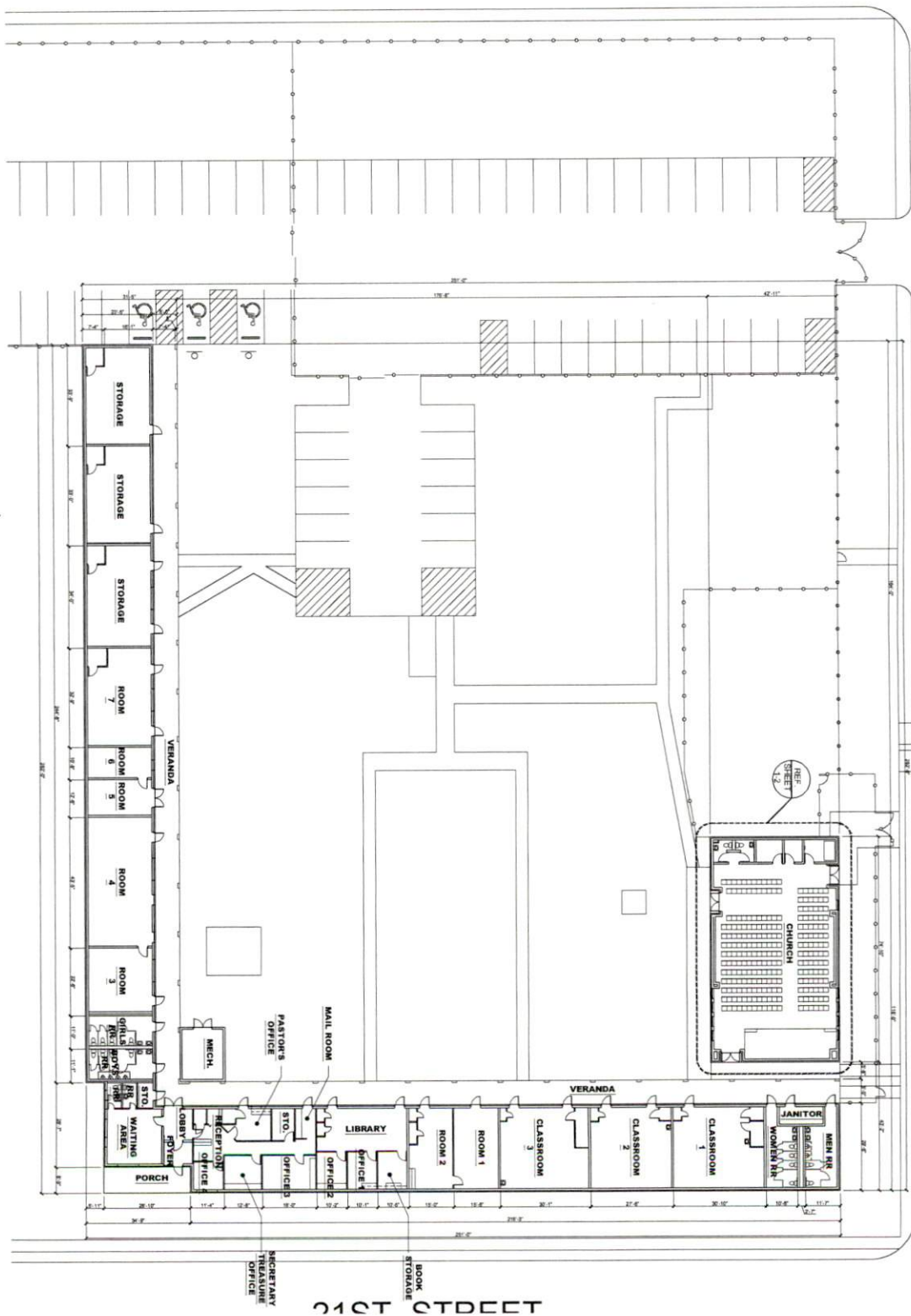
I, L.M. Paul, a surveyor do hereby certify that the foregoing Map of Bonnie-View
 Subdivision, being a resubdivision of Lots 3, 6, & 8, Harmon's Addition to McAllen
 out of Porciones 61, 62, 63, 64 & 65 Hidalgo County, Texas, is a true and correct
 Plat of said lands as Surveyed and Subdivided by me this 1st day of November 1926.

L.M. Paul
 Surveyor

Subscribed and sworn to before me this 1st day of November 1926.

J.A.R. Commissioner
 Notary Public in and for Hidalgo County, Texas.

OVERALL FLOOR PLAN
SCALE: 1/16" = 1'-0"



1-1

SHEET

OVERALL FLOOR PLAN
CASA DE ORACION REY DE REYES

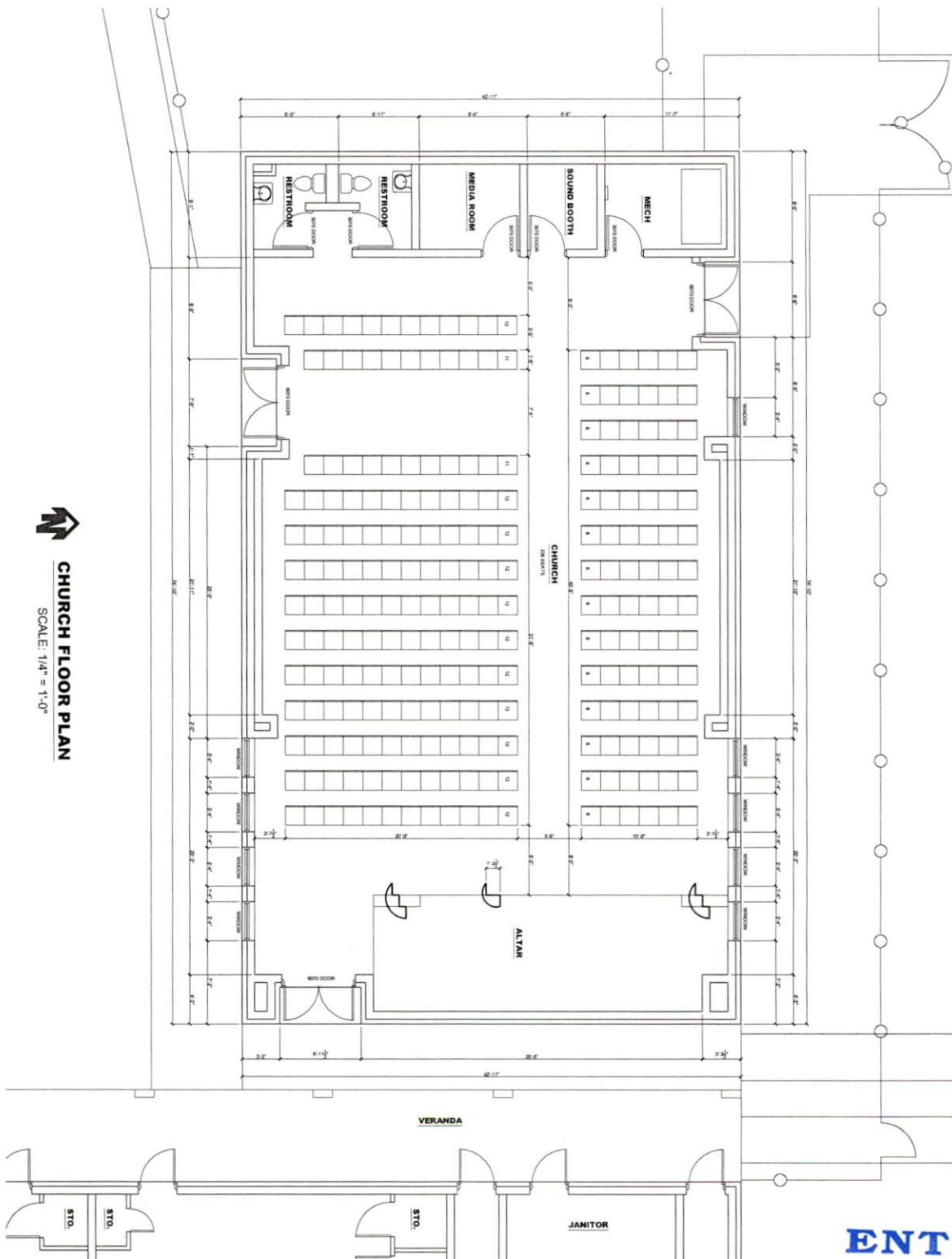
2100 FIR ST., CITY OF McALLEN, TEXAS

PROJECT # 12620

DEC 10 2021

Initial:

an



ENTERED

DEC 10 2021

Initial: *ar*

2100 FIR ST., CITY OF MCALLEN, TEXAS

PROJECT # 12620

JULY 16, 2020

1-2

SHEET

CHURCH FLOOR PLAN
CASA DE ORACION REY DE REYES

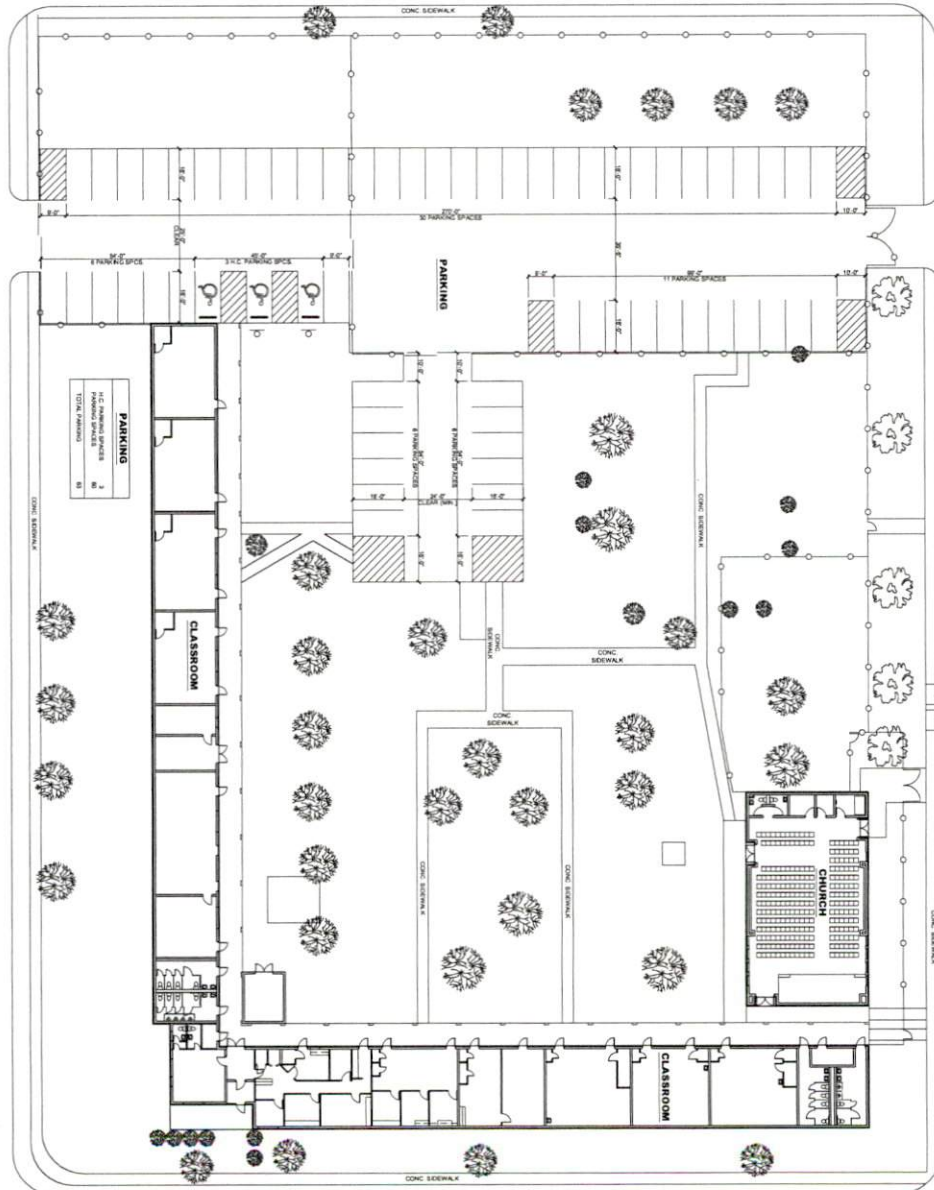
22ND STREET

GUMWOOD STREET

FIR STREET

21ST STREET

 **SITE PLAN**
SCALE: 1" = 20'



ENTERED

DEC 10 2021

Initial: *an*

1-0

SHEET

SITE PLAN
CASA DE ORACION REY DE REYES

2100 FIR ST., CITY OF McALLEN, TEXAS

PROJECT # 12620

JULY 16, 2020



**Subject property:
2100 Fir Avenue**



**Interior of the first
building (main building)**



Exterior of the second building

Memo

TO: Planning and Zoning Commission

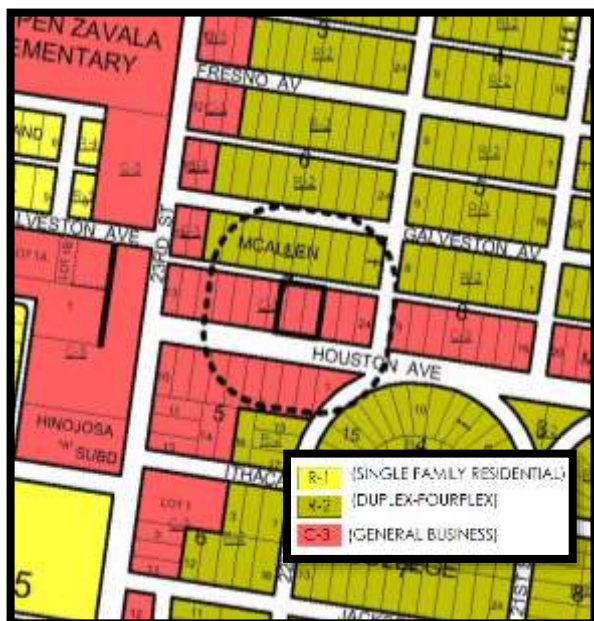
FROM: Planning Staff

DATE: January 11, 2022

SUBJECT: REQUEST OF AGAPITO TORRES FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR AN AUTOMOTIVE SERVICE AND REPAIR (MECHANIC SHOP), AT THE EAST 25 FT. OF LOT 19 AND LOTS 20 & 21, BLOCK 7, WEST ADDITION TO MCALLEN SUBDIVISION, HIDALGO COUNTY, TEXAS; 2224 HOUSTON AVENUE. (CUP2021-0185)

BRIEF DESCRIPTION:

The property is located on the north side of Houston Avenue, approximately 320 ft. east of South 23rd Street. The property has 125 ft. of frontage on Houston Avenue and a depth 136 ft. for a lot area of 17,000 square feet. It is zoned C-3 (general business) District. The adjacent zoning is R-2 (duplex-fourplex residential) District to the north and C-3 District to the east, south, and west. Surrounding land uses include single-family residences, duplex residences, a variety of Auto Sales and vacant land. An automotive service and repair business is allowed in a C-3 zone with a Conditional Use Permit and in compliance with requirements.



REQUEST/ANALYSIS:

Currently, there is a 637 sq. ft. commercial building with 2 enclosed garages to be used as the work area. This building has been used for automotive sales.

The new applicant is proposing to use the building as an automotive service & repair business. The proposed hours of operation are from 9:00 A.M. to 5:00 P.M. Monday through Friday and 9:00 A.M. to 3:00 P.M. on Saturday. Based on the total 637 sq. ft. for the automotive service and repair, 7 parking spaces are required; 8 parking spaces are provided on site.

Fire Department has found some violations, further inspections are needed. Should the conditional use permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The business must meet the requirements set forth in Section 138-281 of the Zoning Ordinance and specific requirements as follows:

- 1) A minimum lot size of 10,000 sq. ft. is required. The subject property is approximately 17,000 sq. ft;
- 2) All service, repair, maintenance, painting and other work shall take place within an enclosed area. The applicant is proposing to work inside the two existing garages
- 3) Outside storage of materials is prohibited. The applicant indicated that there would be no outside storage.
- 4) The building where the work is to take place shall be at least 100 ft. from the nearest residence. The building is located just west of a residential use and approximately 47 ft. from the nearest building.
- 5) A 6 ft. opaque fence buffered the proposed use from any residential use or residentially zoned area is required. There is an existing 6 ft. opaque fence east of the property.
- 6) New buildings and conversions of existing buildings shall meet current building and fire code requirements concerning separation of high hazard uses from other occupancy use classifications.

RECOMMENDATION:

Staff recommends disapproval of the request based on non-compliance with requirement #4 (distance) of Section 138-281 of the Zoning Ordinance.

P+2
1-18-22
CC-2-14-22



CITY OF McALLEN, TEXAS
311 NORTH 15TH STREET, McALLEN, TX 78501
P. O. BOX 220, McALLEN, TEXAS 78505-0220 • (956) 681-1250 • FAX (956) 681-1279

CUP 2021-0185
Permit No. _____

AUTOMOTIVE SERVICE AND REPAIR

..... CONDITIONAL USE PERMIT APPLICATION.....
(Please print or type)

Application Date 12/15/21

Applicant Agapito Torres
(first) (initial) (last)

PHONE NO.: (956) 369-9254

Mailing Address 2224 Houston Ave McAllen TX 78501
(city) (state) (zip)

Property Owner Raquel Prieto Mora
(first) (initial) (last)

PHONE NO.: 52815448459

Mailing Address (city) (state) (zip)

2224 Houston Ave

Property Location (street address)

Property Legal Description (if metes and bounds, attach survey of the property) (subdivision) (block) (lot) West addition to McAllen E 25th Lot 19 ALL Lots 2021 Block 7

Car Lot

Current use of property

Mechanic Shop

Proposed use of property

TERM OF PERMIT: ☒ 1 YEAR

☐ MORE THAN 1 YEAR (requires City Commission approval)

New Image
Auto Body

SITE PLAN (attach a drawing of the property showing the following)

_____ Scale, north arrow, legal description of property

_____ Landscaping and fencing of yard

_____ Location and height of all structures

_____ Off-street parking and loading

_____ Setback from property lines and between structures

_____ Driveway location & design

_____ Proposed changes and uses

_____ Location, type, height and lighting of all signs

Agapito Torres
(Applicant signature)

(date)

(Property owner signature)

(date)

9-5
A.M - P.M
Mon - Friday
9-3
A.M P.M
Sat

GENERAL INFORMATION

NOTIFICATION AND PUBLIC HEARING: Property owners within 200' of the subject property shall be notified within at least 10 working days of the Planning and Zoning Commission public hearing. Upon considering the recommendation of the Director of Planning, the Planning and Zoning Commission shall approve or disapprove the application.

APPEALS PROCEDURE: Any decision of the Planning and Zoning Commission may be appealed to the City Commission by presenting a petition to the City Commission within 10 days after the decision of the Planning and Zoning Commission and specifying the grounds for the appeal. A vote of 3/4 of the City Commission is required to overrule a vote of the Planning and Zoning Commission denying a conditional use permit.

CANCELLATION: A conditional use permit is automatically cancelled if not used within 6 months.

REVOCAION: A conditional use permit may be revoked by the Planning and Zoning Commission at a public hearing upon failure of the applicant to remedy a violation of the conditions of the permit within a specified time period (10 to 30 days) as specified in a written notice to the applicant by the Code Enforcement Officer or Building Inspector.

RENEWAL PERIOD: A conditional use permit shall expire within 1 year unless otherwise specified by the Planning and Zoning Commission. Application for renewal of a permit shall be made prior to 20 days before permit expiration. A permit for more than 1 year shall be approved by the City Commission.

COMMENT

Automotive repair as an accessory use to a permitted retail use, such as retail sale of automobiles or automotive parts is a permitted use in C-3 districts.
Automotive repair as a primary use is a permitted use in C-4 to I-2 districts.

Automotive Service & Repair - Pg. 1 - REVISED 10/16

ENTERED

Initial: DM



CITY OF McALLEN, TEXAS
311 NORTH 15TH STREET, McALLEN, TX 78501
P. O. BOX 220, McALLEN, TEXAS 78505-0220 • (956) 681-1250 • FAX (956) 681-1279

Permit No. _____

AUTOMOTIVE SERVICE AND REPAIR

CONDITIONAL USE PERMIT APPLICATION

(Please print or type)

Application Date ____/____/____

Applicant (first) (initial) (last)

PHONE NO.: _____

Mailing Address (city) (state) (zip)

Property Owner (first) (initial) (last)

PHONE NO.: _____

Mailing Address (city) (state) (zip)

Property Location (street address)

Property Legal Description (if metes and bounds, attach survey of the property) (subdivision) (block) (lot)

Current use of property

Proposed use of property

TERM OF PERMIT: ____ 1 YEAR ____ MORE THAN 1 YEAR (requires City Commission approval)

REQUIREMENTS (attach a drawing of the property showing the following)

____ Scale, north arrow, legal description of property
____ Location and height of all structures
____ Setback from property lines and between structures
____ Proposed changes and uses

____ Landscaping and fencing of yard
____ Off-street parking and loading
____ Driveway location & design
____ Location, type, height and lighting of all signs

(Applicant signature)

(date)

(Property owner signature)

(date)

GENERAL INFORMATION

NOTIFICATION AND PUBLIC HEARING: Property owners within 200' of the subject property shall be notified within at least 10 working days of the Planning and Zoning Commission public hearing. Upon considering the recommendation of the Director of Planning, the Planning and Zoning Commission shall approve or disapprove the application.

APPEALS PROCEDURE: Any decision of the Planning and Zoning Commission may be appealed to the City Commission by presenting a petition to the City Commission within 10 days after the decision of the Planning and Zoning Commission and specifying the grounds for the appeal. A vote of 3/4 of the City Commission is required to overrule a vote of the Planning and Zoning Commission denying a conditional use permit.

CANCELLATION: A conditional use permit is automatically cancelled if not used within 6 months.

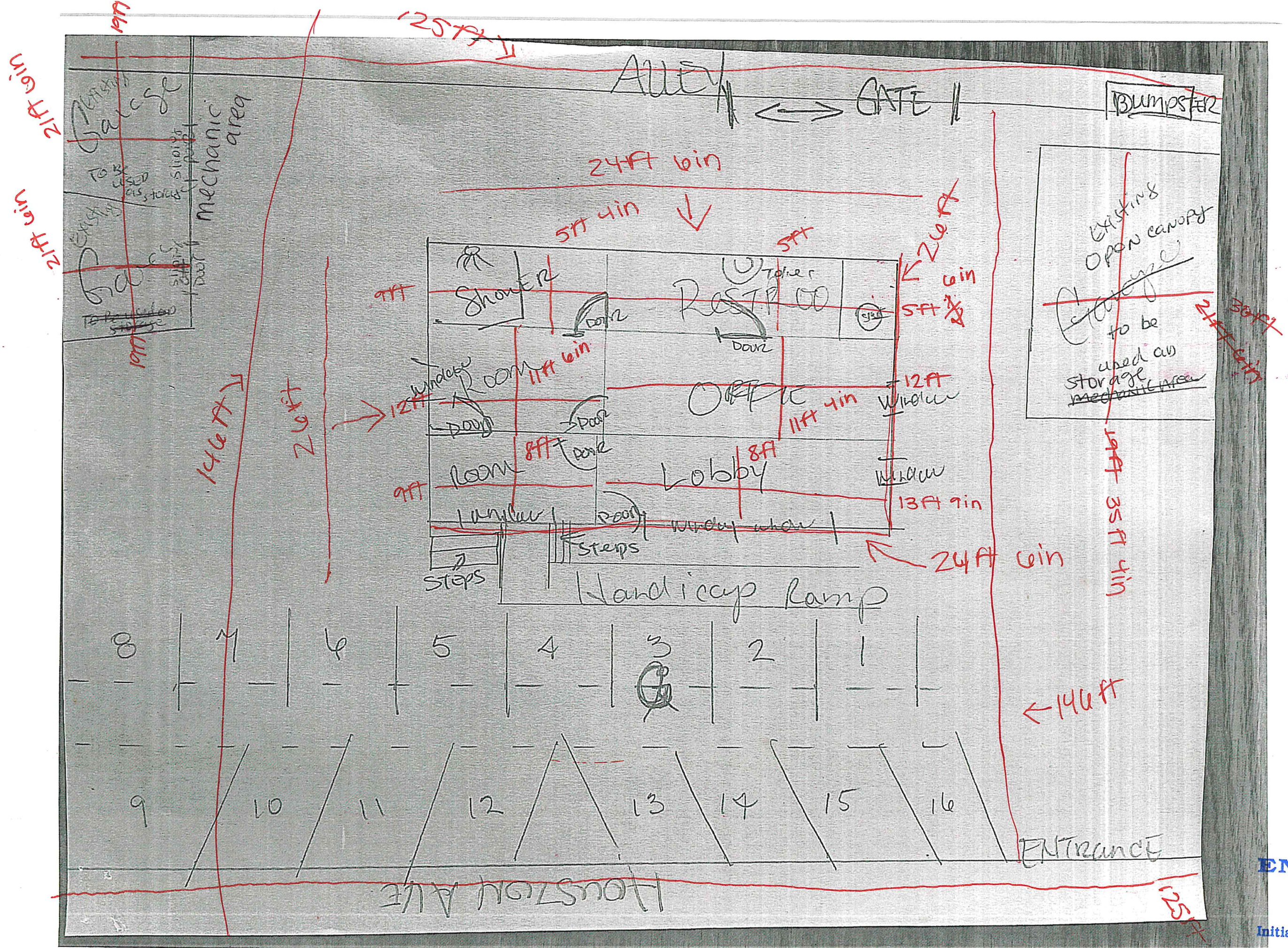
REVOCATION: A conditional use permit may be revoked by the Planning and Zoning Commission at a public hearing upon failure of the applicant to remedy a violation of the conditions of the permit within a specified time period (10 to 30 days) as specified in a written notice to the applicant by the Code Enforcement Officer or Building Inspector.

RENEWAL PERIOD: A conditional use permit shall expire within 1 year unless otherwise specified by the Planning and Zoning Commission. Application for renewal of a permit shall be made prior to 20 days before permit expiration. A permit for more than 1 year shall be approved by the City Commission.

COMMENT

Automotive repair as an accessory use to a permitted retail use, such as retail sale of automobiles or automotive parts is a permitted use in C-3 districts.
Automotive repair as a primary use is a permitted use in C-4 to I-2 districts.

Automotive Service & Repair - Pg. 1 - REVISED 10/16





**NOTICE
AUTO
REPAIR
FOR
THIS PROPERTY
CUP2021-0185**

 CITY OF MCALLEN PLANNING DEPT.
956-681-1250
WWW.MCALLE.NET



Memo

TO: Planning and Zoning Commission

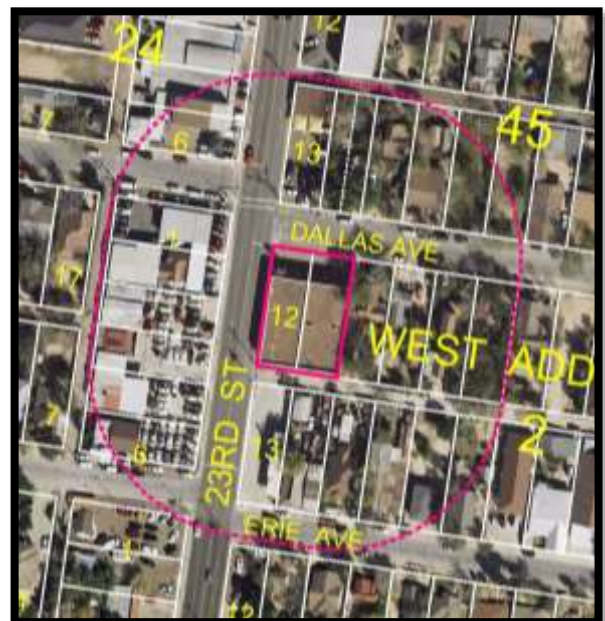
FROM: Planning Staff

DATE: January 11, 2022

SUBJECT: REQUEST OF ESAUL PADILLA, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR AN AUTOMOTIVE SERVICE AND REPAIR (TRUCK ACCESSORIES), AT LOTS 11 & 12, BLOCK 2, WEST ADDITION TO MCALLEN SUBDIVISION, HIDALGO COUNTY, TEXAS; 2241 DALLAS AVENUE, SUITE A. (CUP2021-0179)

BRIEF DESCRIPTION:

The property is located at the southeast corner of Dallas Avenue and South 23rd Street. The property has 100 ft. of frontage along Dallas Avenue and a depth of 140 ft. for a lot area of 14,000 square feet. It is zoned C-3 (general business) District. The adjacent zoning is R-2 (duplex-fourplex residential) District to the east and C-3 District to the north, south, and west. Surrounding land uses include single-family residences, vacant land, a body shop, various auto sales car lots, a yerberia and a plumbing company. An automotive service and repair business is allowed in a C-3 zone with a Conditional Use Permit and in compliance with requirements.



HISTORY:

There was a conditional use permit approved in 2020 in the same building on the adjacent suite (STE. B), for a body shop repair. The request was disapproved but with a favorable

recommendation to grant a variance to the distance requirement by the Planning and Zoning Committee. City Commission approved the request on July 13, 2020. Applicant never fully executed the CUP and has not renewed the CUP.

The initial conditional use permit for suite A was approved for the first time in 2015, for Truck Accessories part installations. The last time the CUP was renewed was in 2020.

On the initial application, the case was presented to the Board of Commissioners; the applicant appealed the decision of the P&Z Board. Part of the discussion was the parking requirement. Applicant stated that the owner of the plaza bought a property across the street (2226 Dallas Ave) to comply with parking requirements; however, the property is zoned R-2 and would require a CUP for a parking facility. A CUP has not been submitted for this address. Furthermore, the address mentioned, is not paved as required by the ordinance. However, the initial permit was approved as to maintain existing parking since it was an older building.

REQUEST/ANALYSIS:

There is an existing 9,600 sq. ft. commercial building with two suites. This building has been used for auto repair services.

The applicant is proposing to use Suite A of the building as a truck accessory business. The proposed hours of operation are from 8:00 A.M. to 6:00 P.M. Monday through Friday and 8:30 A.M. to 3:00 P.M. on Saturday. Based on the total 4,800 sq. ft. for the truck accessory business, 15 parking spaces are required; 9 parking spaces are provided on site. One of the provided spaces must be van accessible; one van accessible parking space is provided.

For both business to run simultaneously, 30 parking spaces are required as per their square footage. Suite B as per approved Permit, business will not be open to the public, but will still use 1 or 2 parking spaces. Leaving an 8 parking spaces deficiency. If both business open to the public 30 parking spaces will be required.

Staff has not received any phone calls in regards to this request.

The Fire Department has inspected the establishment and found the place to be in compliance. Should the conditional use permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The business must meet the requirements set forth in Section 138-281 of the Zoning Ordinance and specific requirements as follows:

- 1) A minimum lot size of 10,000 sq. ft. is required. The subject property is approximately 14,000 sq. ft.
- 2) All service, repair, maintenance, painting and other work shall take place within an enclosed area. The applicant is proposing to work inside the main structure.
- 3) Outside storage of materials is prohibited.
- 4) The building where the work is to take place shall be at least 100 ft. from the nearest residence. The Building is adjacent to single-family residential use to the east, south and north.

- 5) A 6 ft. opaque fence buffered the proposed use from any residential use or residentially zoned area is required. There is an existing block wall, 6'-3" in height
- 6) New buildings and conversions of existing buildings shall meet current building and fire code requirements concerning separation of high hazard uses from other occupancy use classifications.

RECOMMENDATION:

Staff recommends disapproval of the request based on non-compliance with requirements #4 (distance) of Section 138-281 and Section 138-395 (off-street parking requirement) of the Zoning Ordinance.

P+2
1-18-22
CC-2-14-22



CITY OF McALLEN, TEXAS
311 NORTH 15TH STREET, McALLEN, TX 78501
P. O. BOX 220, McALLEN, TEXAS 78505-0220 • (956) 681-1250 • FAX (956) 681-1279

CUP 2021-0185
Permit No. _____

AUTOMOTIVE SERVICE AND REPAIR

..... CONDITIONAL USE PERMIT APPLICATION.....
(Please print or type)

Application Date 12/15/21

Applicant Agapito Torres
(first) (initial) (last)

PHONE NO.: (956) 369-9254

Mailing Address 2224 Houston Ave McAllen TX 78501
(city) (state) (zip)

Property Owner Raquel Prieto Mora
(first) (initial) (last)

PHONE NO.: 52815448459

Mailing Address (city) (state) (zip)

2224 Houston Ave

Property Location (street address)

Property Legal Description (if metes and bounds, attach survey of the property) (subdivision) (block) (lot)
West addition to McAllen E 25th Lot 19 ALL Lots 2021 Block 7

Car Lot

Current use of property

Mechanic Shop

Proposed use of property

TERM OF PERMIT: ☒ 1 YEAR

☐ MORE THAN 1 YEAR (requires City Commission approval)

New Image
Auto Body

SITE PLAN (attach a drawing of the property showing the following)

_____ Scale, north arrow, legal description of property

_____ Landscaping and fencing of yard

_____ Location and height of all structures

_____ Off-street parking and loading

_____ Setback from property lines and between structures

_____ Driveway location & design

_____ Proposed changes and uses

_____ Location, type, height and lighting of all signs

Agapito Torres
(Applicant signature)

(date)

(Property owner signature)

(date)

9-5
A.M - P.M
Mon - Friday
9-3
A.M P.M
Sat

GENERAL INFORMATION

NOTIFICATION AND PUBLIC HEARING: Property owners within 200' of the subject property shall be notified within at least 10 working days of the Planning and Zoning Commission public hearing. Upon considering the recommendation of the Director of Planning, the Planning and Zoning Commission shall approve or disapprove the application.

APPEALS PROCEDURE: Any decision of the Planning and Zoning Commission may be appealed to the City Commission by presenting a petition to the City Commission within 10 days after the decision of the Planning and Zoning Commission and specifying the grounds for the appeal. A vote of 3/4 of the City Commission is required to overrule a vote of the Planning and Zoning Commission denying a conditional use permit.

CANCELLATION: A conditional use permit is automatically cancelled if not used within 6 months.

REVOCAION: A conditional use permit may be revoked by the Planning and Zoning Commission at a public hearing upon failure of the applicant to remedy a violation of the conditions of the permit within a specified time period (10 to 30 days) as specified in a written notice to the applicant by the Code Enforcement Officer or Building Inspector.

RENEWAL PERIOD: A conditional use permit shall expire within 1 year unless otherwise specified by the Planning and Zoning Commission. Application for renewal of a permit shall be made prior to 20 days before permit expiration. A permit for more than 1 year shall be approved by the City Commission.

COMMENT

Automotive repair as an accessory use to a permitted retail use, such as retail sale of automobiles or automotive parts is a permitted use in C-3 districts.
Automotive repair as a primary use is a permitted use in C-4 to I-2 districts.

Automotive Service & Repair - Pg. 1 - REVISED 10/16

ENTERED

Initial: DM



CITY OF McALLEN, TEXAS
311 NORTH 15TH STREET, McALLEN, TX 78501
P. O. BOX 220, McALLEN, TEXAS 78505-0220 • (956) 681-1250 • FAX (956) 681-1279

Permit No. _____

AUTOMOTIVE SERVICE AND REPAIR

CONDITIONAL USE PERMIT APPLICATION

(Please print or type)

Application Date ____/____/____

Applicant (first) (initial) (last)

PHONE NO.: _____

Mailing Address (city) (state) (zip)

Property Owner (first) (initial) (last)

PHONE NO.: _____

Mailing Address (city) (state) (zip)

Property Location (street address)

Property Legal Description (if metes and bounds, attach survey of the property) (subdivision) (block) (lot)

Current use of property

Proposed use of property

TERM OF PERMIT: ____ 1 YEAR ____ MORE THAN 1 YEAR (requires City Commission approval)

REQUIREMENTS (attach a drawing of the property showing the following)

____ Scale, north arrow, legal description of property
____ Location and height of all structures
____ Setback from property lines and between structures
____ Proposed changes and uses

____ Landscaping and fencing of yard
____ Off-street parking and loading
____ Driveway location & design
____ Location, type, height and lighting of all signs

(Applicant signature)

(date)

(Property owner signature)

(date)

GENERAL INFORMATION

NOTIFICATION AND PUBLIC HEARING: Property owners within 200' of the subject property shall be notified within at least 10 working days of the Planning and Zoning Commission public hearing. Upon considering the recommendation of the Director of Planning, the Planning and Zoning Commission shall approve or disapprove the application.

APPEALS PROCEDURE: Any decision of the Planning and Zoning Commission may be appealed to the City Commission by presenting a petition to the City Commission within 10 days after the decision of the Planning and Zoning Commission and specifying the grounds for the appeal. A vote of 3/4 of the City Commission is required to overrule a vote of the Planning and Zoning Commission denying a conditional use permit.

CANCELLATION: A conditional use permit is automatically cancelled if not used within 6 months.

REVOCATION: A conditional use permit may be revoked by the Planning and Zoning Commission at a public hearing upon failure of the applicant to remedy a violation of the conditions of the permit within a specified time period (10 to 30 days) as specified in a written notice to the applicant by the Code Enforcement Officer or Building Inspector.

RENEWAL PERIOD: A conditional use permit shall expire within 1 year unless otherwise specified by the Planning and Zoning Commission. Application for renewal of a permit shall be made prior to 20 days before permit expiration. A permit for more than 1 year shall be approved by the City Commission.

COMMENT

Automotive repair as an accessory use to a permitted retail use, such as retail sale of automobiles or automotive parts is a permitted use in C-3 districts.
Automotive repair as a primary use is a permitted use in C-4 to I-2 districts.

Automotive Service & Repair - Pg. 1 - REVISED 10/16

N

DALLAS

ENTRANCE

Suite A

COUNTER
OFFICE

Door

1

4

space

2

Work

5

3

CORTINA

GARAGE

RESTROOM

ENTERED

DEC 10 2021

Initial:

an

RECEIVED

OCT 26 2020

BY:

fel

EXIT

48.96 sq FEET

23TH ST

S

CHANGES
10/22/20

1001 FEET

1001 FEET

Dallas

↑
N

1/16/21 X 1/31 14/ 15/ 16/ 17/ 8/ 9/

23TH ST

SUITE A

SUITE B

RGV SPRAY ON BEDLINERS

NO CHANGES
[Signature]

ENTERED

DEC 10 2021

Initial: air

RECEIVED
OCT 20 2020

BY: *[Signature]*

←

Callegan



RESERVED
PARKING

REK
SPRAY-ON BEDLINERS
& TRUCK ACCESSORIES

SPRAY-ON BEDLINER	AIR LIFT	BED COVERS
LIFT KITS	PROGRAMMERS	BRAKES
LEVELING KITS	SIDE STEPS	SUSPENSION
AIR FILTERS	TOOL BOXES	TUNE-UPS

683-1025

NOTICE
AUTO
REPAIR
THIS PROPERTY
CUP2021-0179

2241 DALLAS AVE
STE. A

NO CREDIT NEEDED
FLEXIBLE
FINANCING OPTIONS

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

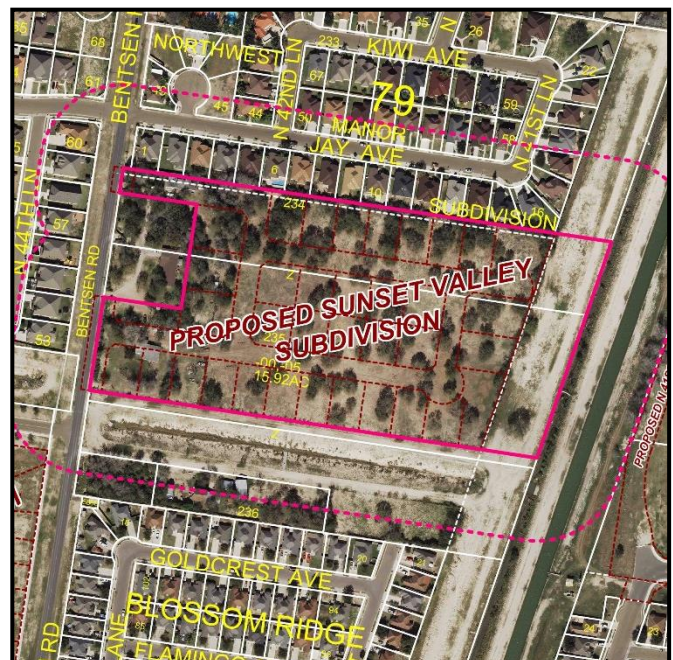
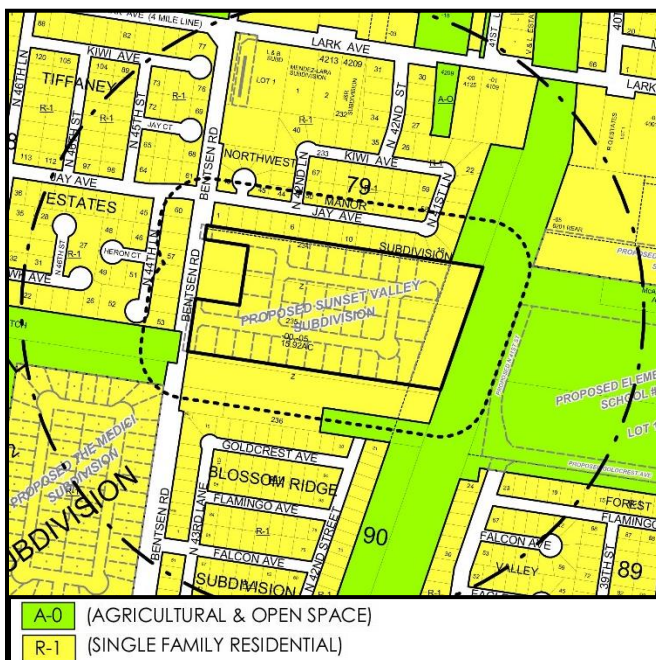
DATE: January 12, 2021

SUBJECT: REQUEST OF ROBERTO GARZA ON BEHALF OF GARMAN INVESTMENTS, LP, FOR A CONDITIONAL USE PERMIT, FOR LIFE OF THE USE, FOR A PLANNED UNIT DEVELOPMENT AT 13.116 ACRES OUT OF LOTS 234 AND 235, PRIDE O' TEXAS SUBDIVISION, HIDALGO COUNTY, TEXAS; 6100 NORTH BENTSEN ROAD. (CUP2021-0174) (TABLED: 12/21/2021) (REMAINED TABLED: 01/04/2022)

STAFF RECOMMENDS KEEPING THE ITEM TABLED UNTIL THE REQUIRED DOCUMENTS ARE SUBMITTED AND REVIEWED.

BRIEF DESCRIPTION:

The subject property is located on the east side of North Bentsen Road, 101.95 ft. south of Jay Avenue. The irregularly-shaped tract has 286.87 ft. of frontage along North Bentsen Road and a depth of 1,206.37 ft. at its deepest point for a lot size of 13.116 acres. A proposed 36-lot subdivision under the name of Sunset Valley for the subject property was approved in preliminary form on October 5, 2021. The property is zoned R-1 (single-family residential) District. The adjacent zoning is R-1 District to the north, west, and south and A-O (agricultural-open space) District to the east and southwest. The property is currently vacant. Surrounding land use include single-family residences, Donna Wernecke Elementary School, Hidalgo County Drainage District No.1 Ditch R.O.W and vacant land. A Planned Unit Development is permitted in an R-1 District with a conditional use permit and in compliance with Article IV Planned Developments of the Subdivision Ordinance.



HISTORY:

A rezoning request to R-3A (multifamily residential apartment) District for the subject property was withdrawn by the applicant after it was disapproved by the Planning and Zoning Commission on May 4, 2021. The Planning and Zoning Commission voted to approve the proposed subdivisions in preliminary form subject to conditions noted on October 5, 2021. A Conditional Use Permit request for a Planned Unit Development for the subject property was submitted on November 17, 2021.

REQUEST/ANALYSIS:

The property is currently vacant. The applicant is proposing to develop 142 dwelling units in form of detached duplexes on a 36-lot subdivision as a Planned Unit Development.

Planned unit developments allow a variety of land uses that complement each other within the development and with existing land uses in the vicinity. Specific requirements for approval are specified in the Ordinance creating a Planned Unit Development for the subject property and summarized as the following:

1. CONCEPTUAL SITE PLAN: Development and use of the property must comply with the conditional use permit conceptual site plan.
2. PERMITTED USES: Permitted uses are uses permitted in the R-1 District for buildings designated as residential. The applicant is proposing multifamily residences and common areas.
3. OFF-STREET PARKING AND LOADING: Parking in compliance with Chapter 134 Article VI, which requires two parking spaces per unit, with one being located beyond the front yard setback.
4. LANDSCAPING: Each lot requires 10% landscaping and a minimum of 50% of the area within the required front yard of any residential lot shall be devoted to landscape material including the portion of the front yard located between the property line and the extension of the side yard setback line. A minimum of one tree is required per lot. The landscaping strip width at the front of each lot is not shown.
5. STREETS AND SETBACKS: A minimum of 60 ft. right-of-way with 40 ft. of pavement width is required on all internal streets, as well as a minimum of 96 ft. pavement on cul-de-sacs face to face. An R-1 zone requires a front yard setback of 25 ft. on interior streets; 20 ft. is being proposed. The side setback for corner lots is 10 ft. or greater for easements, whichever is greater; no corner setback is proposed. Rear: 15 ft. or greater or easements; A 4 ft. wide minimum sidewalk required on North Bentsen Road and both sides of all interior streets. Sidewalk must comply with subdivision requirement.
6. DRAINAGE: The drainage report is pending approval.
7. ADDITIONAL PROVISIONS: The Conditional Use Permit site plan controls if there is conflict with other City ordinances. A decision by the Planning Director may be reviewed by Planning and Zoning Commission for recommendation to Board of Commissioners for final determination. The Conditional Use Permit calls for mixed use and a minimum of five (5) acres. The development has 13.116 acres and is providing mixed uses, which

include multifamily residences and common area. The Engineering, Fire, Utilities, Public Works, and Traffic Departments have disapproved the proposed site plan and requested revisions.

8. Owner, Engineer and Surveyor certification and signature block needs to be shown on the PUD site plan.
9. A recorded subdivision plat and Planned Unit Development site plan is required prior to issuance of building permits. Therefore, Sunset Valley Subdivision process must be completed, and recorded together with the site plan.

The request must comply with requirements set forth in the Zoning and Subdivision ordinances. Specific modifications required for approval are the following:

- Request a variance to allow multifamily lots on R-1 District.
- Request a variance to allow a 20 ft. front setback instead of 25 ft.
- Request a variance to allow 6 ft. side setback on corner lots instead of 10 ft. requirement.
- Request a variance to landscaping strip requirement at the front of each lot (pending the dimension)
- Request a variance to 55 ft. or right-of-way on interior streets instead of 60 ft.
- Request a variance to allow 96 ft. of pavement back to back on cul-de-sac instead of face to face requirement.
- Request a variance to allow a cedar fence instead of masonry wall requirement on the south and east side.
- Request a variance to allow maximum height to be 30 ft. instead of the 25 ft. required.

If the subdivision layout changes, the conditional use permit will need to be amended to resemble the approved Subdivision Plat.

PLANNING AND ZONING COMMISSION MEETING OF DECEMBER 21, 2021:

At the Planning and Zoning Commission meeting of December 21, 2021, the Board unanimously voted table the item.

PLANNING AND ZONING COMMISSION MEETING OF JANUARY 4, 2022:

At the Planning and Zoning Commission meeting of January 4, 2022, the item remained tabled.

RECOMMENDATION:

Staff recommends keeping the item tabled based on additional information required for requirement #4 (landscaping), #5 (street pavement/setbacks), #6 (Drainage) and #7 (additional provisions) of Section 134-171 of the Subdivision Ordinance.

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: January 12, 2022

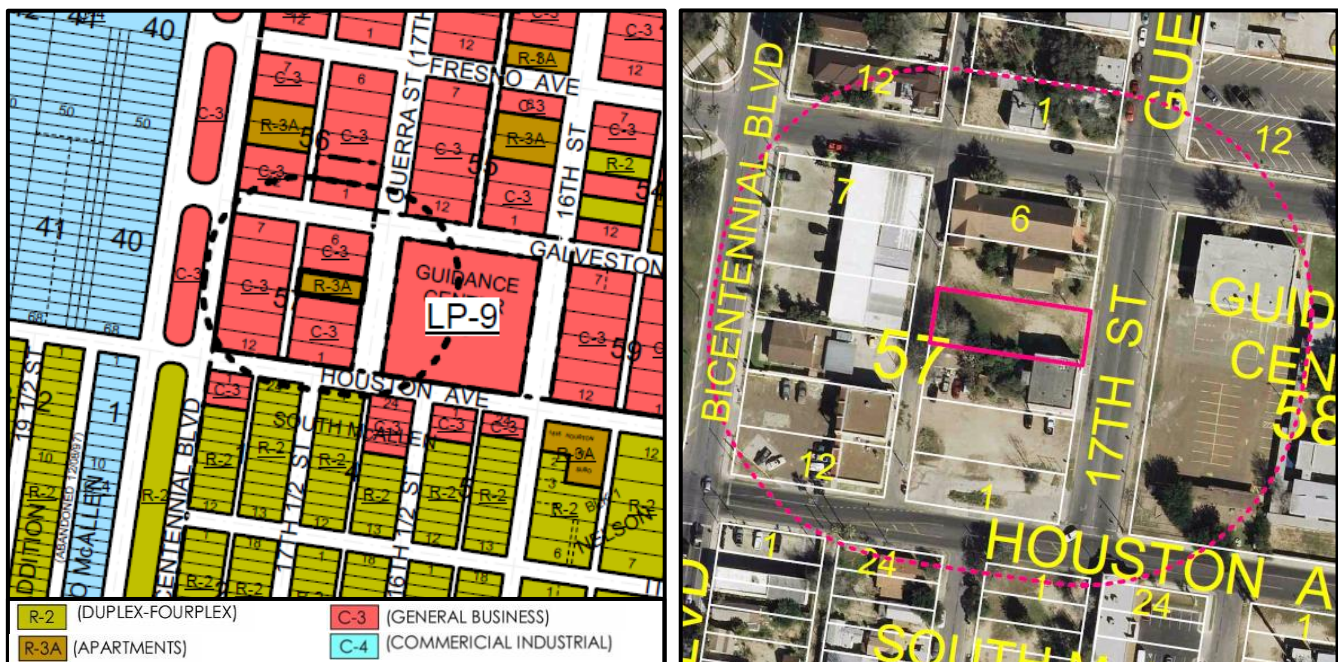
SUBJECT: REZONE FROM R-3A (MULTIFAMILY RESIDENTIAL APARTMENT) DISTRICT TO C-3 (GENERAL BUSINESS) DISTRICT: LOT 4, BLOCK 57, SOUTH MCALLEN ADDITION, HIDALGO COUNTY, TEXAS; 708 SOUTH 17TH STREET. (REZ2021-0083)

LOCATION: The property is located on the west side of South 17th Street, 100 ft. south of Galveston Avenue. The property has 50 ft. of frontage along South 17th Street and a depth of 140 ft. for a lot size of 7000 sq. ft.

PROPOSAL: The applicant is requesting to rezone the property to C-3 (general business) District for a new restaurant-bar. A feasibility plan has not been submitted.

ADJACENT ZONING: The adjacent zoning is C-3 (general business) District on all directions.

LAND USE: The subject property is currently vacant. Surrounding land uses include Mexican Christian Church, McAllen ISD vacant office buildings, and vacant land.



COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Urban Center which is comparable to C-1 to C-3 Districts.

DEVELOPMENT TRENDS: The development trend for this area along South 17th Street is commercial.

HISTORY: The property was initially zoned C-3 (general business) District during the comprehensive zoning in 1979. A rezoning request to R-3A (multifamily residential apartment) District for the subject property was approved by the City Commission on April 25, 2016. There has been no other rezoning request for the subject property since then.


ANALYSIS: The requested zoning conforms to the Urban Center land use designation as indicated on the Foresight McAllen Comprehensive Plan. It is also compatible with the adjacent zoning and development trend in this area.

If the rezoning is approved, an application for a special use permit for entertainment and cultural establishment will be required before the building permit issuance.

Staff has not received any calls or emails in opposition to the rezoning request.


RECOMMENDATION: Staff recommends approval of the rezoning request to C-3 (general business) District.







CITY OF McALLEN
PLANNING DEPARTMENT

LEGEND
SCALE: N.T.S.

 **SUBJECT PROPERTY**

 **200 FT. NOTIFICATION BOUNDARY**

 **1/4 MILE RADIUS**

ZONING LEGEND

A-O (AGRICULTURAL & OPEN SPACE)	R-3A (APARTMENTS)	R-4 (MOBILE HOMES)	C-3 (GENERAL BUSINESS)	I-1 (LIGHT INDUSTRIAL)
R-1 (SINGLE FAMILY RESIDENTIAL)	R-3C (CONDOMINIUMS)	C-1 (OFFICE BUILDING)	C-3L (LIGHT COMMERCIAL)	I-2 (HEAVY INDUSTRIAL)
R-2 (DUPLICATE-FOURPLEX)	R-3T (TOWNHOUSES)	C-2 (NEIGHBORHOOD COMMERCIAL)	C-4 (COMMERCIAL INDUSTRIAL)	(SPECIAL DISTRICT)

This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.

AREA MAP



6

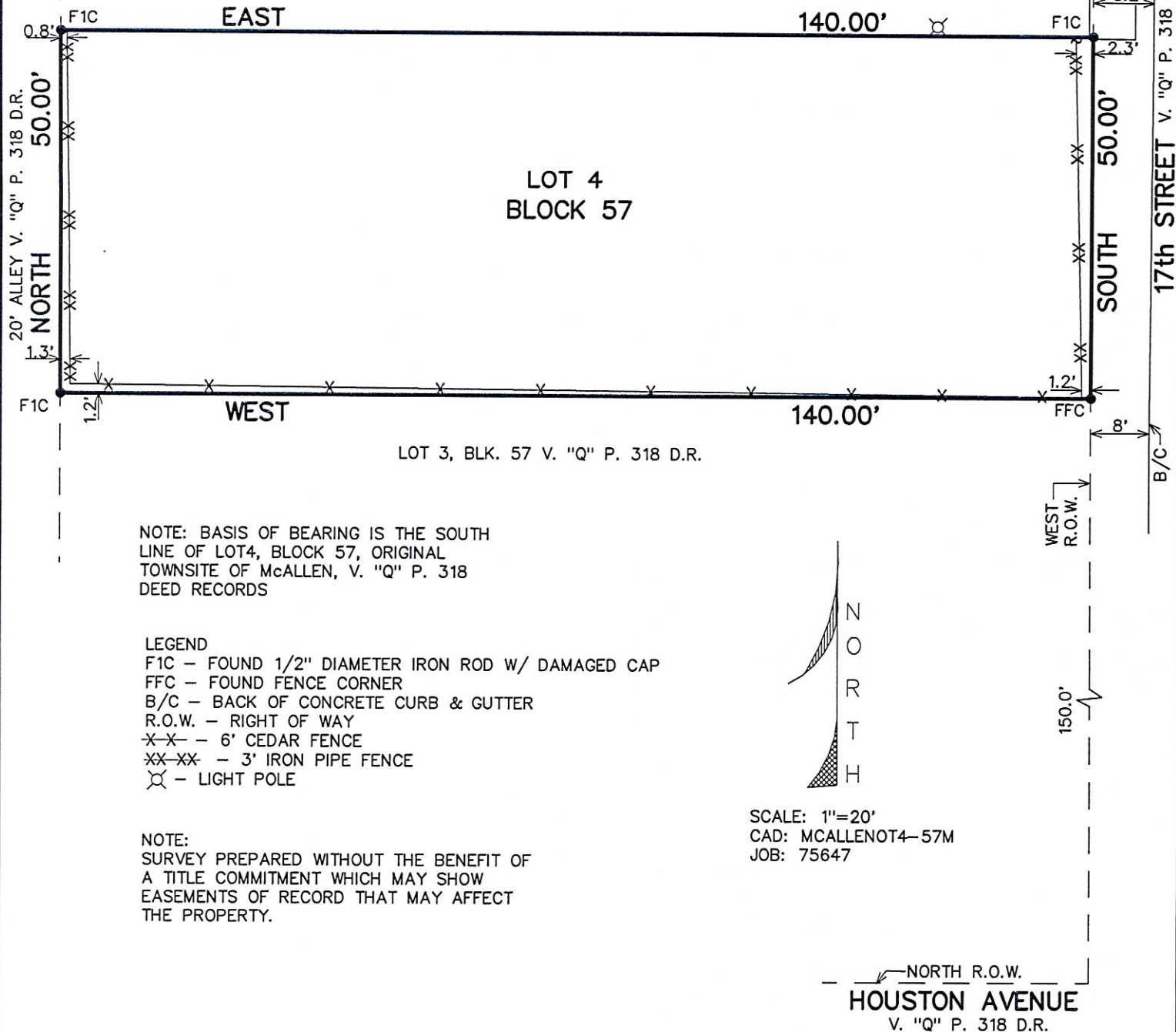
12TH ST



PEÑA ENGINEERING

FIRM #10087200 • 1001 WHITEWING • P.O. BOX 4320
(956) 682-8812 • McALLEN, TEXAS 78502 • FAX (956) 631-PENA

LOT 5 BLOCK 57 V. "Q" P. 318 D.R.



NOTE: BASIS OF BEARING IS THE SOUTH
LINE OF LOT 4, BLOCK 57, ORIGINAL
TOWNSITE OF McALLEN, V. "Q" P. 318
DEED RECORDS

LEGEND

F1C - FOUND 1/2" DIAMETER IRON ROD W/ DAMAGED CAP
FFC - FOUND FENCE CORNER
B/C - BACK OF CONCRETE CURB & GUTTER
R.O.W. - RIGHT OF WAY
X-X - 6' CEDAR FENCE
XX-XX - 3' IRON PIPE FENCE
X - LIGHT POLE

NOTE:
SURVEY PREPARED WITHOUT THE BENEFIT OF
A TITLE COMMITMENT WHICH MAY SHOW
EASEMENTS OF RECORD THAT MAY AFFECT
THE PROPERTY.

SCALE: 1"=20'
CAD: MCALLEN04-57M
JOB: 75647



NORTH R.O.W.
HOUSTON AVENUE
V. "Q" P. 318 D.R.

BUYER'S NAME: _____

FLOOD ZONE: By GRAPHICAL PLOTTING Community Panel Number 480343 0010 C
Map Revised: November 2, 1982

- ☐ Zone "A" - This is to certify that this property is in a flood prone area.
☐ Zone "B" - This is to certify that this property is not in a flood prone area. However limits between the 100 year and 500 year flood are subject to flooding with average depths less than one foot.
☒ Zone "C" - This is to certify that this property is not in a flood prone area.

I certify that this plat represents the facts found on the ground at the time of survey and that there are no visible or apparent easements, discrepancies, conflicts, or shortages in area or boundary lines, or any encroachments, or overlapping of improvements or visible easements except as shown on this plat. No subsurface utilities or service connections are shown, © copyright 2021 PENA ENGINEERING this survey was provided in multiple originals solely for the borrower named hereon, In conjunction with the original transaction which shall take place within 6 months after the survey was provided. No license has been created or implied to copy this Survey. Survey valid only if print has original seal and signature.

ADDRESS: 710 S. 17th St. McAllen, TX

LEGAL DESCRIPTION: Lot 4, Block 57, ORIGINAL TOWNSITE OF McALLEN,
Hidalgo County, Texas,

ACCORDING TO THE MAP RECORDED IN VOLUME "Q" PAGE 318
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS.

Pablo Peña III

12/04/2021
DATE

PABLO PEÑA III
REG. PROFESSIONAL LAND SURVEYOR No. 5242

**NOTICE
REZONING
FOR
THIS PROPERTY
REZ2021-00831**



CITY OF MCALLEN PLANNING DEPT.
956-681-1250
WWW.MCALLE.NET



Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

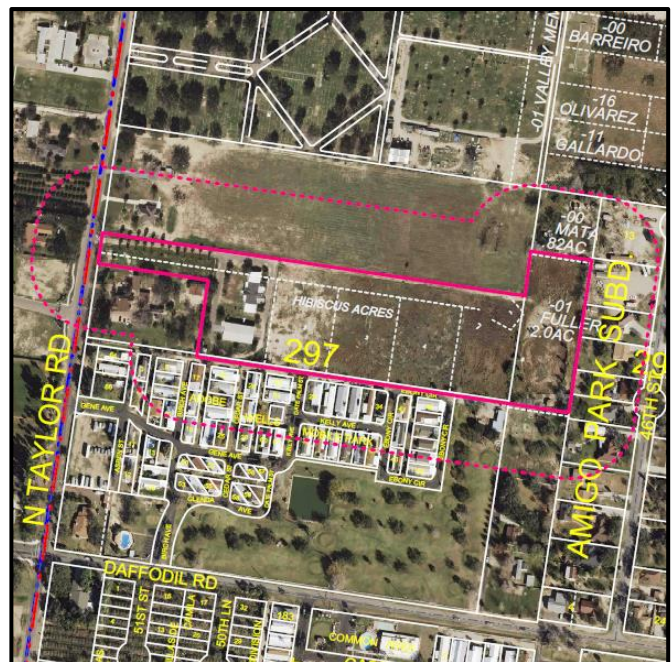
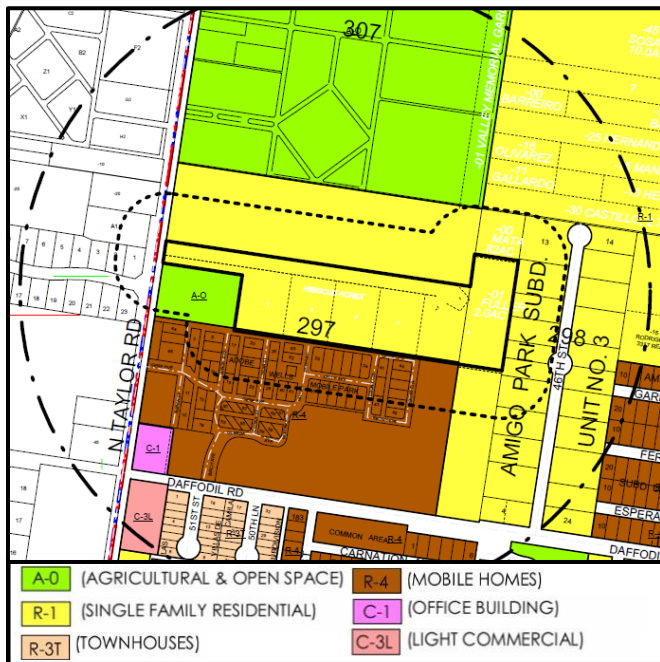
DATE: January 12, 2022

SUBJECT: REZONE FROM R-1 (SINGLE-FAMILY RESIDENTIAL) DISTRICT TO R-3A (MULTIFAMILY RESIDENTIAL APARTMENT) DISTRICT: 9.985 ACRES OUT OF LOTS 297 AND 298, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS; 3224 NORTH TAYLOR ROAD. (REZ2021-0082)

LOCATION: The property is located along the east side of North Taylor Road. The property is an irregular tract and has 100 feet of frontage along North Taylor Road with a depth of 1,506 ft. for a lot size of 9.985 acres.

PROPOSAL: The applicant is requesting to rezone the property to R-3A (multifamily residential apartment) District for detached duplexes. The Planning Department has not received any subdivision plat or feasibility plan for the subject property at this time.

ADJACENT ZONING: The adjacent zoning is A-O (agricultural-open space) District to the west, R-1 (single family residential) District to the north and east, and R-4 (mobile and modular home) District to the south. The properties on the west side of North Taylor Road are outside the City limits.



LAND USE: There is a house on the subject property proposed to be demolished. Surrounding land uses include Adobe Wells Mobile Home Park, Valley Memorial Gardens Cemetery, single family residences, and vacant land.

COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Single Family which is comparable to R-1 (single family residential) District.

DEVELOPMENT TRENDS: The development trend for this area along North Taylor Road is single and multifamily residences.

HISTORY: The property was zoned A-O (agricultural-open space) District upon annexation in 1986. A city initiated rezoning request to R-1 District for the subject property was approved on August 24, 2015.

The City Commission approved a rezoning request to R-3C (multifamily residential condominiums) for 2620 North Taylor Road on August 24, 2009. A rezoning request to R-3T (multifamily residential townhouse) District was approved by the City Commission on January 14, 2013.

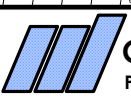
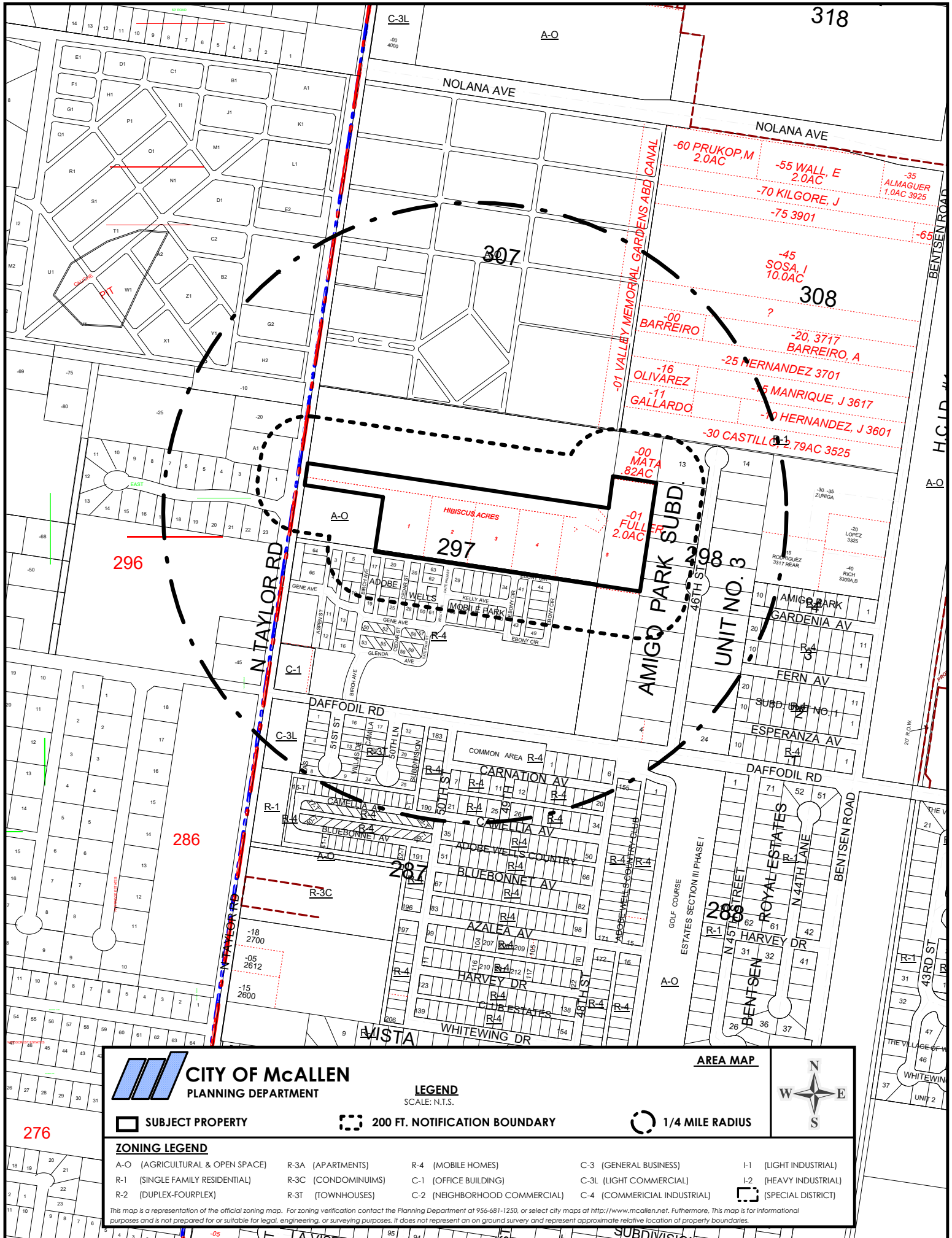
ANALYSIS: The requested zoning does not conform to the Auto Urban Single Family land use designations as indicated on the Foresight McAllen Comprehensive Plan, however it follows the rezoning trend to multifamily in this area.

The proposed development is approximately 10 acres and is proposed as detached duplexes development. The request provides opportunity for residential development of the vacant land.

A recorded subdivision plat is required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

Staff has not received any phone calls in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to R-3A (multifamily residential apartment) District.



CITY OF McALLEN
PLANNING DEPARTMENT

LEGEND
SCALE: N.T.S.

SUBJECT PROPERTY

200 FT. NOTIFICATION BOUNDARY

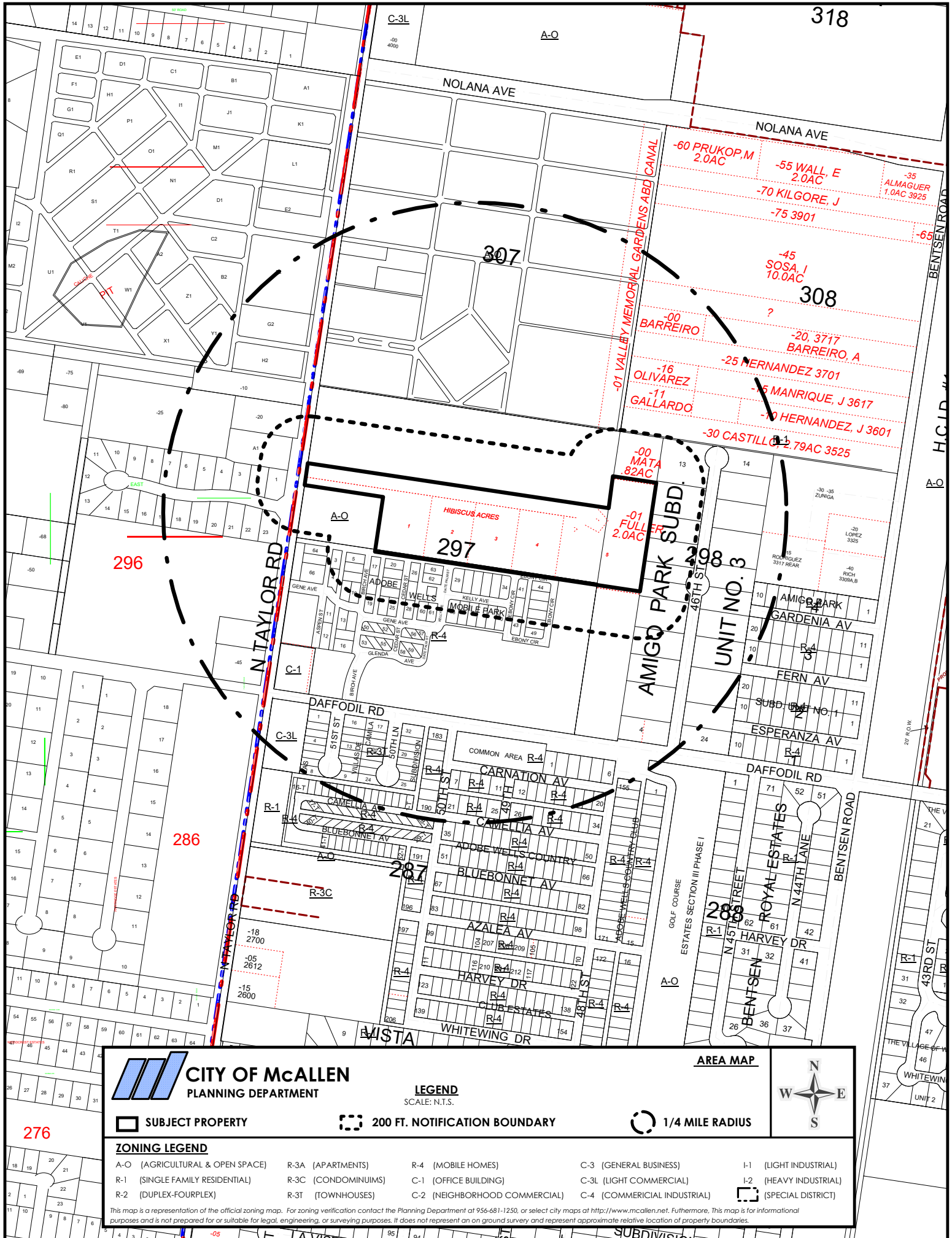
1/4 MILE RADIUS



ZONING LEGEND

A-O (AGRICULTURAL & OPEN SPACE)	R-3A (APARTMENTS)	R-4 (MOBILE HOMES)	C-3 (GENERAL BUSINESS)	I-1 (LIGHT INDUSTRIAL)
R-1 (SINGLE FAMILY RESIDENTIAL)	R-3C (CONDOMINIUMS)	C-1 (OFFICE BUILDING)	C-3L (LIGHT COMMERCIAL)	I-2 (HEAVY INDUSTRIAL)
R-2 (DUPLEX-FOURPLEX)	R-3T (TOWNHOUSES)	C-2 (NEIGHBORHOOD COMMERCIAL)	C-4 (COMMERCIAL INDUSTRIAL)	(SPECIAL DISTRICT)

This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.



CITY OF McALLEN PLANNING DEPARTMENT

LEGEND SCALE: N.T.S.

SUBJECT PROPERTY

200 FT. NOTIFICATION BOUNDARY

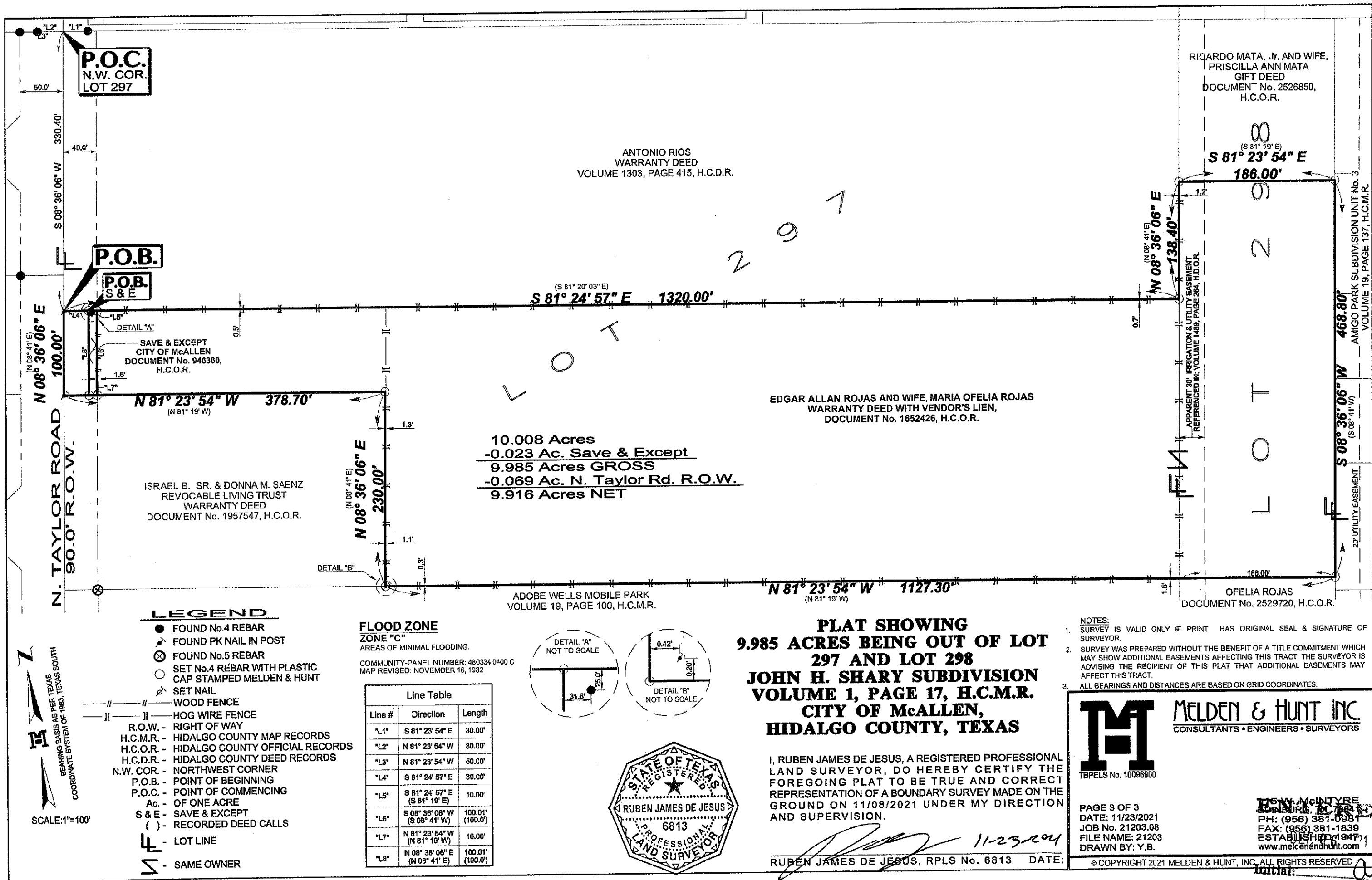
1/4 MILE RADIUS



ZONING LEGEND

A-O (AGRICULTURAL & OPEN SPACE)	R-3A (APARTMENTS)	R-4 (MOBILE HOMES)	C-3 (GENERAL BUSINESS)	I-1 (LIGHT INDUSTRIAL)
R-1 (SINGLE FAMILY RESIDENTIAL)	R-3C (CONDOMINIUMS)	C-1 (OFFICE BUILDING)	C-3L (LIGHT COMMERCIAL)	I-2 (HEAVY INDUSTRIAL)
R-2 (DUPLEX-FOURPLEX)	R-3T (TOWNHOUSES)	C-2 (NEIGHBORHOOD COMMERCIAL)	C-4 (COMMERCIAL INDUSTRIAL)	(SPECIAL DISTRICT)

This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.



LEGEND

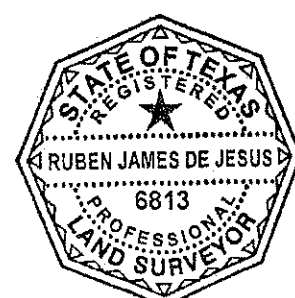
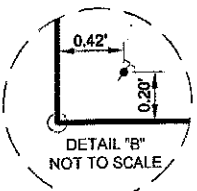
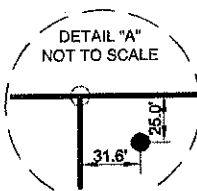
- FOUND No.4 REBAR
- ✱ FOUND PK NAIL IN POST
- ⊗ FOUND No.5 REBAR
- SET No.4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
- ⚓ SET NAIL
- //—//— WOOD FENCE
- ||—||— HOG WIRE FENCE
- R.O.W. - RIGHT OF WAY
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- N.W. COR. - NORTHWEST CORNER
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCING
- Ac. - OF ONE ACRE
- S & E - SAVE & EXCEPT
- () - RECORDED DEED CALLS
- L - LOT LINE
- Σ - SAME OWNER

FLOOD_ZONE

ZONE "C"
AREAS OF MINIMAL FLOODING.

COMMUNITY-PANEL NUMBER: 480334 0400 C
MAP REVISED: NOVEMBER 16, 1982

Line Table		
Line #	Direction	Length
"L1"	S 81° 23' 54" E	30.00'
"L2"	N 81° 23' 54" W	30.00'
"L3"	N 81° 23' 54" W	50.00'
"L4"	S 81° 24' 57" E	30.00'
"L5"	S 81° 24' 57" E (S 81° 19' E)	10.00'
"L6"	S 08° 36' 06" W (S 08° 41' W)	100.01' (100.0')
"L7"	N 81° 23' 54" W (N 81° 19' W)	10.00'
"L8"	N 08° 38' 06" E (N 08° 41' E)	100.01' (100.0')



**PLAT SHOWING
9.985 ACRES BEING OUT OF LOT
297 AND LOT 298
JOHN H. SHARY SUBDIVISION
VOLUME 1, PAGE 17, H.C.M.R.
CITY OF McALLEN,
HIDALGO COUNTY, TEXAS**

I, RUBEN JAMES DE JESUS, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THE FOREGOING PLAT TO BE TRUE AND CORRECT REPRESENTATION OF A BOUNDARY SURVEY MADE ON THE GROUND ON 11/08/2021 UNDER MY DIRECTION AND SUPERVISION.

RUBEN JAMES DE JESUS, RPLS No. 6813 DATE: 11-23-2021

- NOTES:
1. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL & SIGNATURE OF SURVEYOR.
 2. SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT WHICH MAY SHOW ADDITIONAL EASEMENTS AFFECTING THIS TRACT. THE SURVEYOR IS ADVISING THE RECIPIENT OF THIS PLAT THAT ADDITIONAL EASEMENTS MAY AFFECT THIS TRACT.
 3. ALL BEARINGS AND DISTANCES ARE BASED ON GRID COORDINATES.



PAGE 3 OF 3
DATE: 11/23/2021
JOB No. 21203.08
FILE NAME: 21203
DRAWN BY: Y.B.

HOW MCINTYRE
MINOR, E. J. JR.
PH: (956) 381-0984
FAX: (956) 381-1839
ESTABLISHED 1947
www.meldenandhunt.com

© COPYRIGHT 2021 MELDEN & HUNT, INC. ALL RIGHTS RESERVED

**NOTICE
REZONING
FOR
THIS PROPERTY
REZ 2021-0082**



CITY OF MCALLEN PLANNING DEPT.
956-681-1250
WWW.MCALLE.NET



Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: January 12, 2022

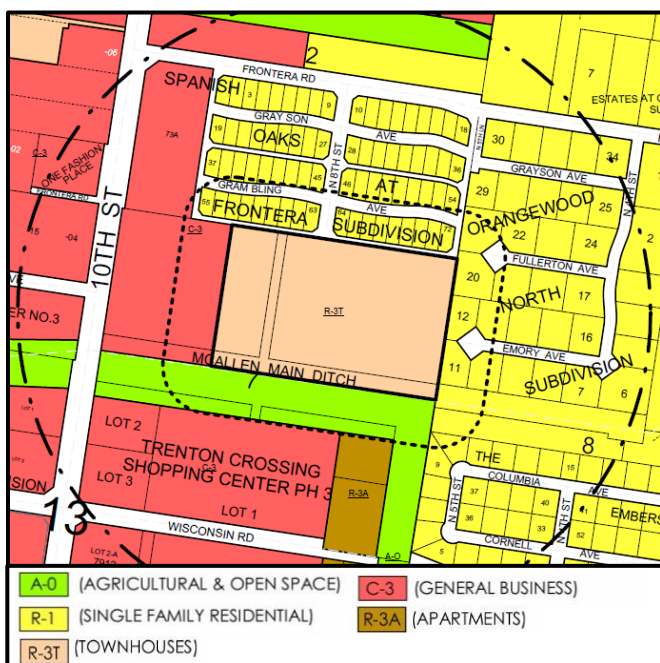
SUBJECT: REZONE FROM R-3T (MULTIFAMILY RESIDENTIAL TOWNHOUSE) DISTRICT TO C-3 (GENERAL BUSINESS) DISTRICT: 13 ACRES OUT OF LOT 7, SECTION 13, HIDALGO CANAL COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS; 8220 NORTH 10TH STREET. (REZ2021-0086)

LOCATION: The property is located approximately 460 ft. east of North 10th Street, 631.13 ft. south of Frontera Road. The property is an interior tract and consists of 13.00 acres.

PROPOSAL: The applicant is requesting to rezone the property to C-3 (general business) District for commercial use. A feasibility plan has not been submitted.

ADJACENT ZONING: The adjacent zoning is C-3 (general business) District to the west, A-O (agricultural-open space) District to the south, and R-1 (single-family residences) District to the north and east.

LAND USE: The subject property is currently used for agricultural purposes. Surrounding land uses include Best Buy, Wallbangers Burger Bar, and First Community Bank.



COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Suburban Residential and Auto Urban Single Family which are comparable to R-1 (single-family residential) District.

DEVELOPMENT TRENDS: The development trend for this area along North 10th Road is commercial and residential.

HISTORY: The property was initially zoned A-O (agricultural and open space) District upon annexation in 1989. A City-initiated rezoning request to C-3 (general business) District for the subject property was approved by the City Commission on November 23, 2015. A rezoning request to R-3T (multifamily residential townhouse) District for the subject property was approved by the City Commission on November 8, 2021. Since the proposed townhome development did not proceed, the property owner submitted a rezoning request back to C-3 (general business) District on December 16, 2021.

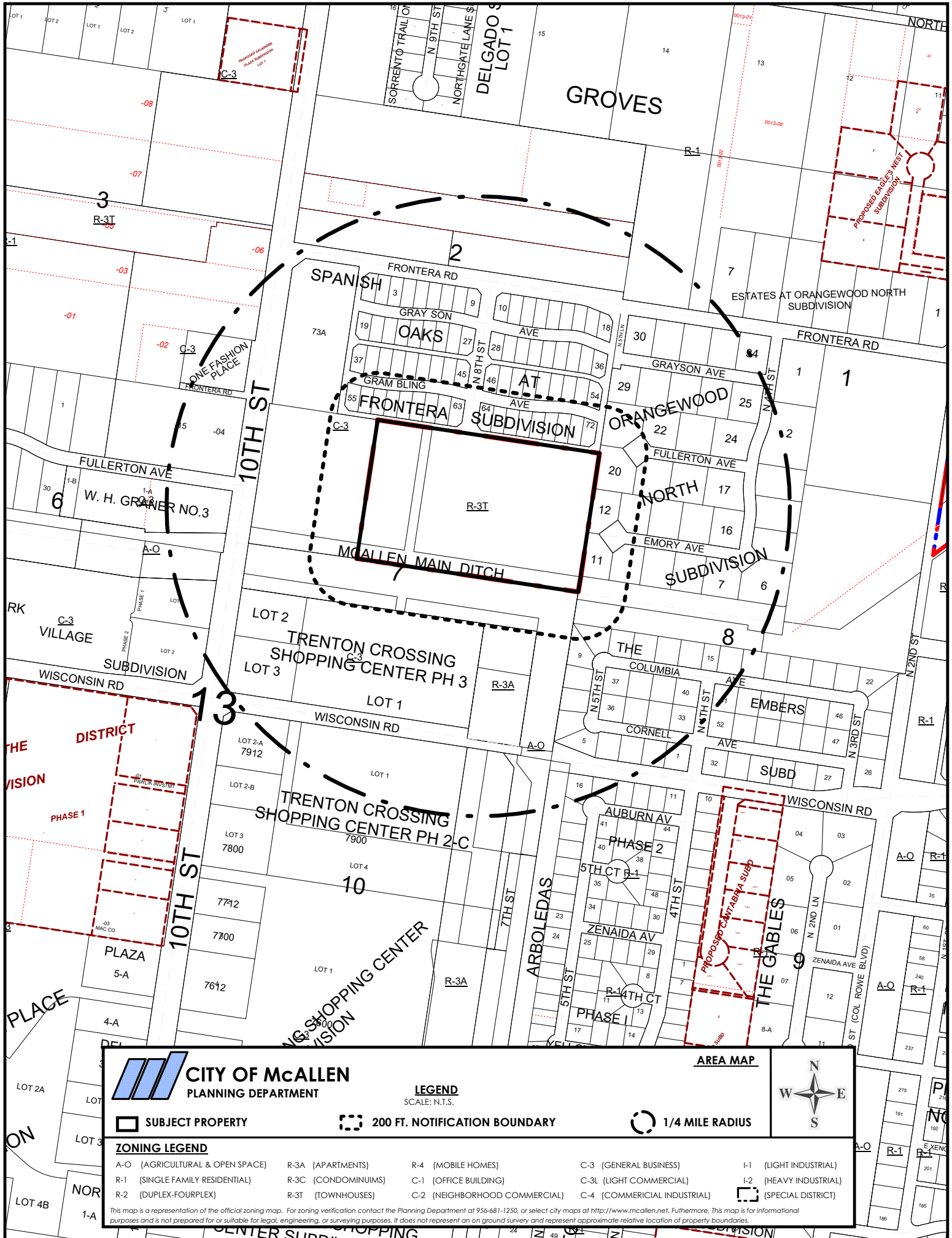
ANALYSIS: The requested zoning does conform to the Suburban Residential and Auto Urban Single Family land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, it is compatible with the adjacent zoning and development trend in this area.


The 10th Street commercial corridor along the east side of 10th Street in McAllen ends at Hobbs Drive that is the city limit line for the City of Edinburg. North 10th Street is designated as a principal arterial with 120 feet of right-of-way and is currently constructed with 4 travel lanes, and left turn lane and shoulders.

A recorded subdivision plat and an approved site plan will be required prior to building permit issuance.

Staff has not received any calls or emails in opposition to the rezoning request.


RECOMMENDATION: Staff recommends approval of the rezoning request to C-3 (general business) District.







CITY OF McALLEN
PLANNING DEPARTMENT


LEGEND
SCALE: N.T.S.

 **SUBJECT PROPERTY**

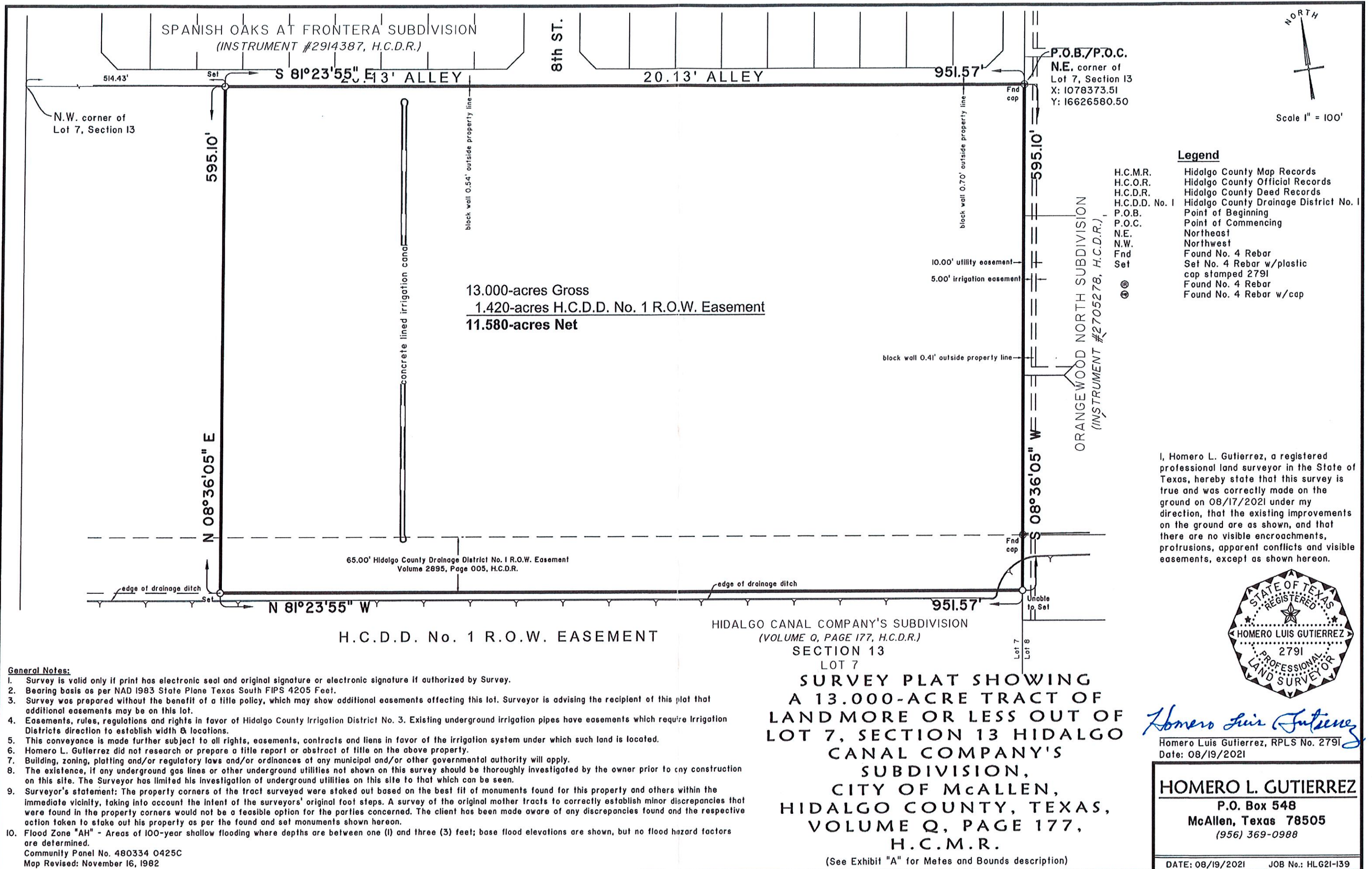
 **200 FT. NOTIFICATION BOUNDARY**

 **1/4 MILE RADIUS**

ZONING LEGEND

A-O (AGRICULTURAL & OPEN SPACE)	R-3A (APARTMENTS)	R-4 (MOBILE HOMES)	C-3 (GENERAL BUSINESS)	I-1 (LIGHT INDUSTRIAL)
R-1 (SINGLE FAMILY RESIDENTIAL)	R-3C (CONDOMINIUMS)	C-1 (OFFICE BUILDING)	C-3L (LIGHT COMMERCIAL)	I-2 (HEAVY INDUSTRIAL)
R-2 (DUPLEX-FOURPLEX)	R-3T (TOWNHOUSES)	C-2 (NEIGHBORHOOD COMMERCIAL)	C-4 (COMMERCIAL INDUSTRIAL)	 (SPECIAL DISTRICT)

This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.



**NOTICE
REZONING
FOR
THIS PROPERTY
REZ2021-00869**



CITY OF MCALLEN PLANNING DEPT.
956-681-1250
WWW.MCALLE.NET



Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

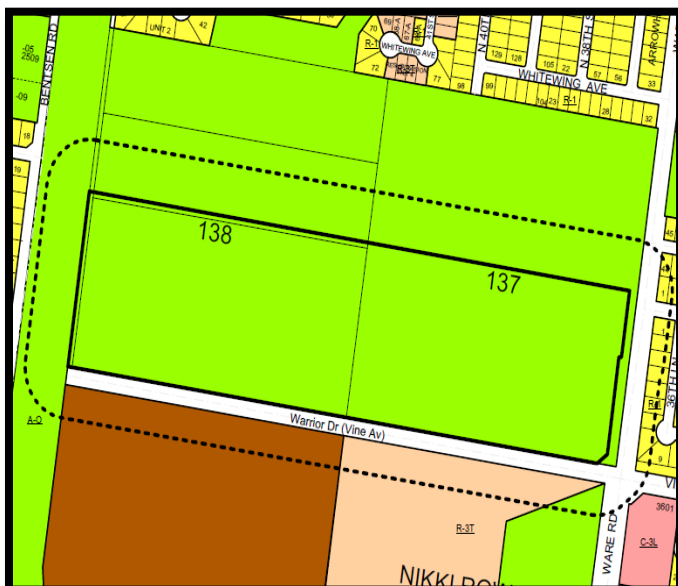
DATE: January 7, 2022

SUBJECT: REZONE FROM A-O (AGRICULTURAL-OPEN SPACE) DISTRICT TO R-3A (MULTIFAMILY RESIDENTIAL APARTMENT) DISTRICT: 39.785 ACRES OUT OF LOTS 138 AND 137, LA LOMITA IRRIGATION AND CONSTRUCTION CO. SUBDIVISION, HIDALGO COUNTY, TEXAS; 2501 NORTH WARE ROAD. (REZ2021-0084)

LOCATION: The property is located on the north side of Vine Avenue, west of North Ware Road. The tract has approximately 696.6 feet of frontage along North Ware Road with a depth of 2,557.17 at its deepest point for a lot size of 39.785 acres.

PROPOSAL: The applicant is requesting to rezone the property to R-3A (multifamily residential apartment) District in order to construct apartments. The planning department has not received any subdivision plat or feasibility plan on the property at this time. A recorded subdivision plat and approved site plan are required prior to issuing building permits.

ADJACENT ZONING: The adjacent zoning is A-O (agricultural-open space) District to the north, east, south, and west. It is R-1 (single family residential) District to the east, R-3T (multifamily residential townhouse) District, and R-4 (mobile and modular home) District to the south.



LAND USE: The subject property is currently vacant. Surrounding land uses include Nikki Rowe High School, McAllen Independent School District Transportation, single-family residences, and vacant land.

COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Single Family which is comparable to R-1 (single family residential) to R-4 (mobile and modular home) Districts.

DEVELOPMENT TRENDS: The development trend for this area along North Ware Road is single family residential and Institutional use (Nikki Rowe High School).

HISTORY: The property was zoned A-O (agricultural-open space) District upon annexation in 1999.

ANALYSIS: The requested zoning does not conform to the Auto Urban Single Family land use designation as indicated on the Foresight McAllen Comprehensive Plan.

The subject property is a portion of a larger tract for future residential and multifamily development.

The request provides opportunity for residential development of the vacant land.

A recorded subdivision plat is required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

Staff has received two phone calls in opposition to the rezoning request as they would like for the natural state of the subject property to remain as it is home to wildlife (birds).

RECOMMENDATION: Staff recommends approval of the rezoning request to R-3A (multifamily residential apartment) District as the requested zoning is similar in character to the residential land use designations for this area and is part of a larger proposed future development.

THE VILLAGE OF WESTLAKES UNIT II
VOLUME 29, PAGE 198, H.C.M.R.
LOT 37 LOT 38 LOT 39 LOT 40 LOT 41 LOT 42

THE VILLAGE OF WESTLAKES UNITS 3 AND 4
VOLUME 30, PAGE 107, H.C.M.R.
LOT 72 LOT 73 LOT 74 LOT 75 LOT 76 LOT 77

ARROWHEAD-SUBDIVISION PHASE II
VOLUME 34, PAGE 47, H.C.M.R.
LOT 98 LOT 99 LOT 100 LOT 101 LOT 102 LOT 103 LOT 104

ARROWHEAD-SUBDIVISION PHASE I
VOLUME 33, PAGE 105, H.C.M.R.
LOT 23 LOT 24 LOT 25 LOT 26 LOT 27 LOT 28 LOT 29 LOT 30 LOT 31 LOT 32

P.O.C.
N.W. COR.
LOT 138

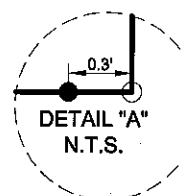
P.O.B.

- NOTES:**
- SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.
 - ALL BEARINGS AND DISTANCES ARE PER TEXAS COORDINATE SYSTEM SOUTH ZONE 4205, GRID COORDINATES.
 - BEARING BASIS IS FROM THE No. 5 REBAR FOUND ON THE SOUTHWEST CORNER OF LOT 37, THE VILLAGE OF WESTLAKES UNIT II, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 29, PAGE 198, H.C.M.R. AND THE NO. 4 REBAR FOUND ON THE NORTHEAST CORNER OF SUBJECT TRACT.

SCALE: 1"=200'

Line Table		
Line #	Direction	Length
"L1"	S 08° 35' 34" W	260.01'
"L2"	N 81° 24' 44" W	12.00'
"L3"	S 08° 35' 34" W	379.99'
"L4"	S 53° 35' 34" W	56.57'

EXHIBIT "B"



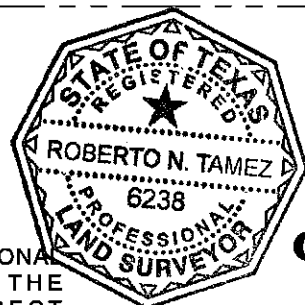
640.00'
S 08° 35' 16" W
680.00'
N 08° 35' 16" E

R.L BELL AND WIFE ELSIE P. BELL
1/2 INTEREST D.W.W DOCUMENT No. 381885, H.C.O.R.
KAY ELLEN PHILLIPS
1/2 INTEREST D.W.W DOCUMENT No. 381886, H.C.O.R.

40.0' R.L. AND ELSIE BELL FAMILY LIMITED PARTNERSHIP
D.W.W DOCUMENT No. 1467254, H.C.O.R.

BELL FAMILY MANAGEMENT TRUST
C.S.W.D DOCUMENT No. 761095, H.C.O.R.

WARRIOR STREET (VINE AVENUE) N 81° 24' 44" W 2505.11' 70.0' R.O.W.



I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THE FOREGOING PLAT TO BE TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE ON THE GROUND ON 12/10/2021 UNDER MY DIRECTION AND SUPERVISION.

ROBERTO N. TAMEZ, RPLS No. 6238 DATE: 12/15/2021

**PLAT SHOWING
39.785 ACRES BEING OUT OF
LOTS 138 AND 137,
LA LOMITA IRRIGATION &
CONSTRUCTION Co. SUBDIVISION
VOLUME 24, PAGE 67, H.C.D.R.
CITY OF McALLEN,
HIDALGO COUNTY, TEXAS**

LEGEND

- FOUND No.4 REBAR
- ⊗ FOUND No.5 REBAR
- SET No.4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
- R.O.W. - RIGHT OF WAY
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- N.W. COR. - NORTHWEST CORNER
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCING
- D.W.W. - DEED WITHOUT WARRANTY
- C.S.W.D. - CORRECTION SPECIAL WARRANTY DEED
- N.T.S. - NOT TO SCALE
- Σ - SAME OWNER



MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS

ENTERED

DATE: 12/15/2021
JOB No. 21999.23
FILE NAME: 21999.23 SOUTH R3A
DRAWN BY: J.G.

1115 W. MCINTYRE
EDINBURG, TX 78541
PH: (956) 381-0981
FAX: (956) 381-1839
ESTABLISHED 1947
www.meldenandhunt.com

© COPYRIGHT 2021 MELDEN & HUNT, INC. ALL RIGHTS RESERVED

EXHIBIT "A"

December 15, 2021

METES AND BOUNDS DESCRIPTION 39.785 ACRES BEING OUT OF LOTS 138 AND 137, LA LOMITA IRRIGATION & CONSTRUCTION Co. SUBDIVISION CITY OF McALLEN, HIDALGO COUNTY, TEXAS

A tract of land containing 39.785 acres situated in the City of McAllen, County of Hidalgo, Texas, being out of Lot 138 and 137, La Lomita Irrigation & Construction Co. Subdivision, according to the plat thereof recorded in Volume 24, Page 67, Hidalgo County Deed Records, said 39.785 acres were conveyed to R.L. Bell and Wife Elsie P. Bell by virtue of Deed Without Warranty recorded under Document Number 381885, Hidalgo County Official Records, Kay Ellen Phillips by virtue of Deed Without Warranty recorded under Document Number 381886, Hidalgo County Official Records, Bell Family Management Trust by virtue of Correction Special Warranty Deed recorded under Document Number 761095, Hidalgo County Official Records, and to R.L. and Wife Elsie Bell Family Limited Partnership by virtue of Deed Without Warranty recorded under Document Number 1467254, Hidalgo County Official Records, said 39.785 acres also being more particularly described as follows:

COMMENCING at a No. 4 rebar set on the Northwest corner of said Lot 138

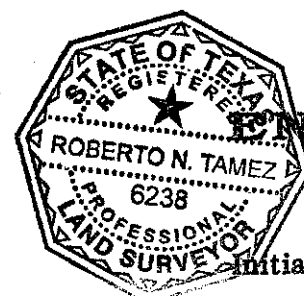
THENCE, S 08° 35' 16" W along the West line of said Lot 138, a distance of 640.00 feet to the Northwest corner of this herein described tract;


1. THENCE, S 81° 24' 44" E a distance of 2,557.17 feet to the Northeast corner of this tract;
2. THENCE, S 08° 35' 34" W along the West right-of-way line of N. Ware Road, a distance of 260.01 feet to a No. 4 rebar set for an outside corner of this tract;
3. THENCE, N 81° 24' 44" W a distance of 12.00 feet to a No. 4 rebar set for an inside corner of this tract;
4. THENCE, S 08° 35' 34" W along the West right-of-way line of N. Ware Road, a distance of 379.99 feet to a No. 4 rebar set for the Northernmost Southeast corner of this tract;
5. THENCE, S 53° 35' 34" W along a corner clip, a distance of 56.57 feet to a No. 5 rebar found for the Southernmost Southeast corner of this tract;
6. THENCE, N 81° 24' 44" W along the South lines of said Lots 138 and 137, La Lomita Irrigation & Construction Co. Subdivision, a distance of 2,505.11 feet to a No. 4 rebar set for the Southwest corner of this tract;
7. THENCE, N 08° 35' 16" E along the West line of said Lot 138, a distance of 680.00 feet to the POINT OF BEGINNING and containing 39.785 acres of land, more or less.

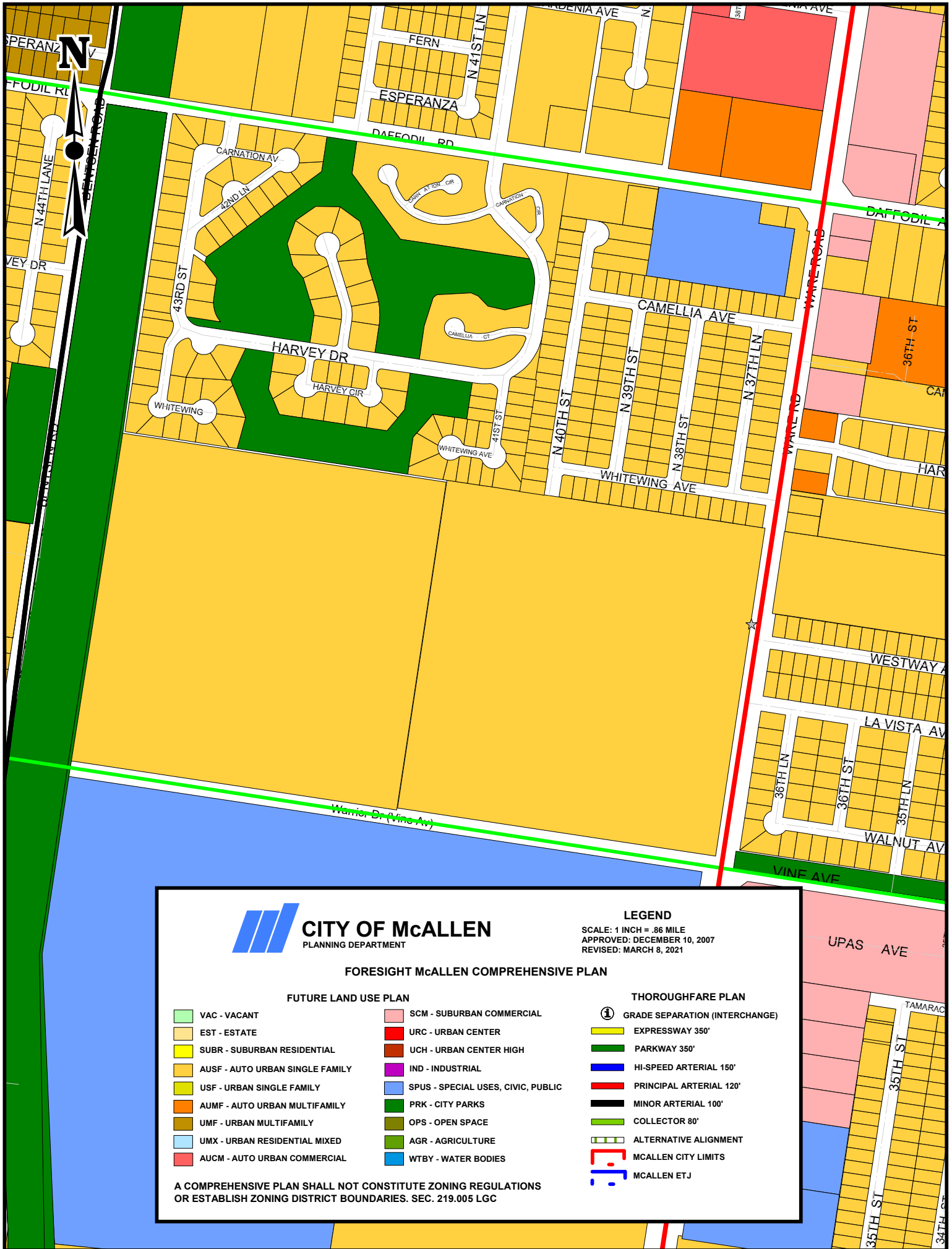
I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY AFFIRM THAT THIS METES AND BOUNDS DESCRIPTION REPRESENTS THE RESULTS OF A SURVEY MADE ON THE GROUND ON 12/10/2021 UNDER MY DIRECTION AND SUPERVISION.


ROBERTO N. TAMEZ, R.P.L.S. #6238

12/15/2021
DATE:



ENTERED
DEC 15 2021
Initial: 



Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

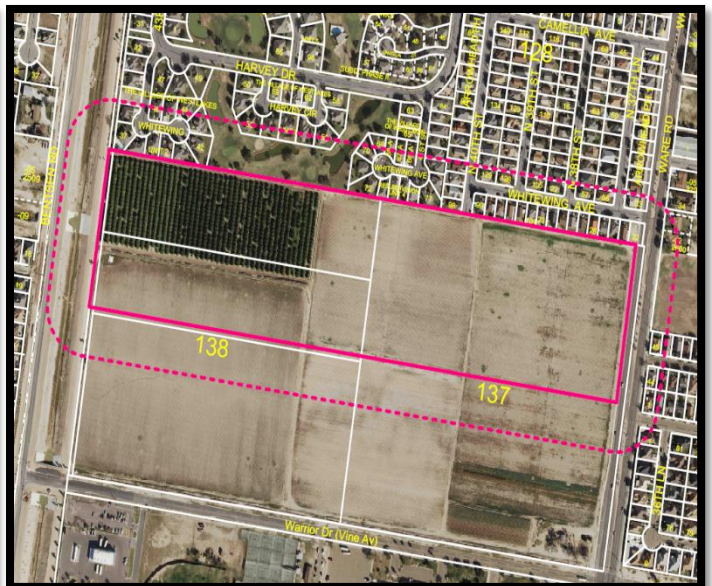
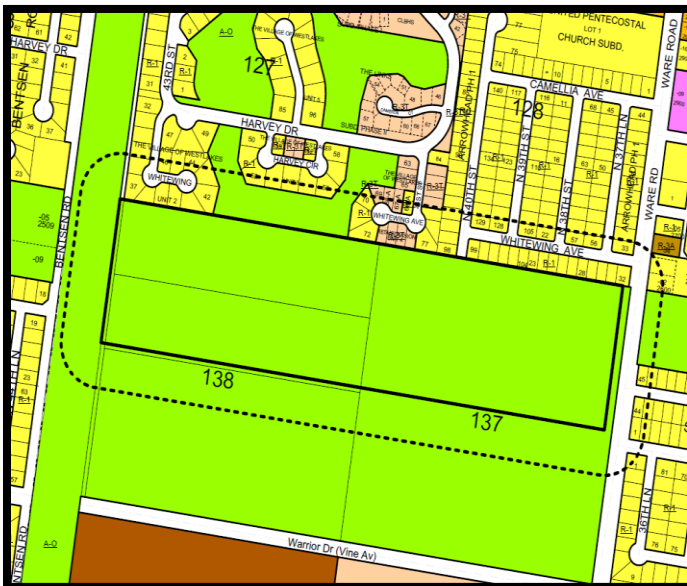
DATE: January 7, 2022

SUBJECT: REZONE FROM A-O (AGRICULTURAL-OPEN SPACE) DISTRICT TO R1 (SINGLE-FAMILY RESIDENTIAL) DISTRICT: 37.571 ACRES OUT OF LOTS 138 AND 137, LA LOMITA IRRIGATION AND CONSTRUCTION CO. SUBDIVISION, HIDALGO COUNTY, TEXAS; 2601 NORTH WARE ROAD. (REZ2021-0085)

LOCATION: The property is located north of Warrior Drive (Vine Avenue) and west of North Ware Road. The tract has 640.0 feet of frontage along North Ware Road with a depth of 2,557.23 for a lot size of 37.571 acres.

PROPOSAL: The applicant is requesting to rezone the property to R-1 (single family residential) District in order to construct single-family residences. The planning department has not received any subdivision plat or feasibility plan on the property at this time. A recorded subdivision plat and approved site plan are required prior to issuing building permits.

ADJACENT ZONING: The adjacent zoning is R-1 (single-family residential) District to the north and east. There is also R-3T (multi-family residential townhouse) District to the north, A-O (agricultural-open space) District to the north, east, south, and west.



LAND USE: The subject property is currently vacant. Surrounding land uses include Nikki Rowe High School, single-family residences, townhomes, and vacant land.

COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Single Family which is comparable to R-1 (single family residential).

DEVELOPMENT TRENDS: The development trend for this area along North Ware Road is single family residential use.

HISTORY: The property was zoned A-O (agricultural-open space) District upon annexation in 1999. The adjacent tracts to the north, east, and west were zoned R-1 (single family residential) District between 1993 and 2009 and single family residential subdivisions were established.

ANALYSIS: The requested zoning conforms to the Auto Urban Single Family land use designation as indicated on the Foresight McAllen Comprehensive Plan.

The subject property is a portion of a larger tract proposed for future single family and multifamily residential development.

The request provides opportunity for residential development of the vacant land.

A recorded subdivision plat is required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

Staff has received two phone calls in opposition to the rezoning request as they would like for the natural state of the subject property to remain as it is home to wildlife (birds).

RECOMMENDATION: Staff recommends approval of the rezoning request to R-1 (single family residential) District as the requested zoning conforms to the Auto Urban Single Family land use designation as indicated on the Foresight McAllen Comprehensive Plan and follows the development trend for this area.

P.O.B.
N.W. COR.
LOT 138

THE VILLAGE OF WESTLAKES UNIT II
VOLUME 29, PAGE 198, H.C.M.R.

THE VILLAGE OF WESTLAKES UNITS 3 AND 4
VOLUME 30, PAGE 107, H.C.M.R.

ARROWHEAD SUBDIVISION PHASE II
VOLUME 34, PAGE 47, H.C.M.R.

ARROWHEAD SUBDIVISION PHASE I
VOLUME 33, PAGE 105, H.C.M.R.

20.0' 1320.00'

S 81° 24' 44" E 2557.23'

1237.23'

82.8'

N 08° 35' 16" E 640.00'

R.L BELL AND WIFE ELSIE P. BELL
1/2 INTEREST D.W.W DOCUMENT No. 381885, H.C.O.R.
KAY ELLEN PHILLIPS
1/2 INTEREST D.W.W DOCUMENT No. 381886, H.C.O.R.

BELL FAMILY MANAGEMENT TRUST
C.S.W.D DOCUMENT No. 761095, H.C.O.R.

N 81° 24' 44" W 2557.17'

S 08° 35' 34" W 640.00'

N. WARE ROAD
R.O.W. VARIES

SCALE: 1"=200'

LEGEND

- FOUND No.4 REBAR
- ⊗ FOUND No.5 REBAR
- SET No.4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
- R.O.W. - RIGHT OF WAY
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- N.W. COR. - NORTHWEST CORNER
- P.O.B. - POINT OF BEGINNING
- D.W.W. - DEED WITHOUT WARRANTY
- C.S.W.D. - CORRECTION SPECIAL WARRANTY DEED

└─┐ - LOT LINE

Σ - SAME OWNER

PLAT SHOWING 37.571 ACRES BEING OUT OF LOTS 138 AND 137, LA LOMITA IRRIGATION & CONSTRUCTION Co. SUBDIVISION VOLUME 24, PAGE 67, H.C.D.R. CITY OF McALLEN, HIDALGO COUNTY, TEXAS

EXHIBIT "B"

NOTES:

- SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.
- ALL BEARINGS AND DISTANCES ARE PER TEXAS COORDINATE SYSTEM SOUTH ZONE 4205, GRID COORDINATES.
- BEARING BASIS IS FROM THE No. 5 REBAR FOUND ON THE SOUTHWEST CORNER OF LOT 37, THE VILLAGE OF WESTLAKES UNIT II, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 29, PAGE 198, H.C.M.R. AND THE NO. 4 REBAR FOUND ON THE NORTHEAST CORNER OF SUBJECT TRACT.

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THE FOREGOING PLAT TO BE TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE ON THE GROUND ON 12/10/2021 UNDER MY DIRECTION AND SUPERVISION

ROBERTO N. TAMEZ, RPLS No. 6238 DATE: 12/15/2021



MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS

DATE: 12/15/2021
JOB No. 21999.23
FILE NAME: 21999.23 NORTH R1
DRAWN BY: J.G.

ENTERED
EDINBURG, TX 78541
PH: (956) 381-0981
FAX: (956) 381-1839
ESTABLISHED 1947
www.meldenandhunt.com

© COPYRIGHT 2021 MELDEN & HUNT INC. ALL RIGHTS RESERVED

EXHIBIT "A"

December 15, 2021

METES AND BOUNDS DESCRIPTION 37.571 ACRES BEING OUT OF LOTS 138 AND 137, LA LOMITA IRRIGATION & CONSTRUCTION Co. SUBDIVISION CITY OF McALLEN, HIDALGO COUNTY, TEXAS

A tract of land containing 37.571 acres situated in the City of McAllen, County of Hidalgo, Texas, being out of Lots 138 and 137, La Lomita Irrigation & Construction Co. Subdivision, according to the plat thereof recorded in Volume 24, Page 67, Hidalgo County Deed Records, said 37.571 acres were conveyed to R.L. Bell and Wife Elsie P. Bell by virtue of Deed Without Warranty recorded under Document Number 381885, Hidalgo County Official Records, Kay Ellen Phillips by virtue of Deed Without Warranty recorded under Document Number 381886, Hidalgo County Official Records, and Bell Family Management Trust by virtue of Correction Special Warranty Deed recorded under Document Number 761095, Hidalgo County Official Records, said 37.571 acres also being more particularly described as follows:

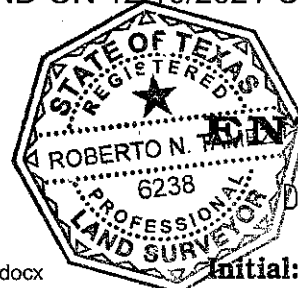
BEGINNING at a No. 4 rebar set on the Northwest corner of said Lot 138 for the Northwest corner of this herein described tract;

1. THENCE, S 81° 24' 44" E along the North line of said Lot 138 at a distance of 20.00 feet pass a No. 5 rebar found on the Southwest corner of Lot 37, The Village of Westlakes Unit II, according to the plat thereof recorded in Volume 29, Page 198, Hidalgo County Map Records, at a distance of 217.00 feet pass a No. 4 rebar found on the Southeast corner of Lot 39 of said The Village of Westlakes Unit II, at a distance of 452.00 feet pass a No. 4 rebar found on the Southeast corner of lot 42, of said The Village of Westlakes Unit II, at a distance of 1,820.00 feet pass a No. 4 rebar found on the Southeast corner of Lot 99, Arrowhead Subdivision Phase II, according to the plat thereof recorded in Volume 34, Page 47, Hidalgo County Map Records, at a distance of 1,870.00 feet pass a No. 4 rebar found on the Southeast corner of Lot 100, of said Arrowhead Subdivision Phase II, at a distance of 1,970.00 feet pass a No. 4 rebar found on the Southeast corner of Lot 102, of said Arrowhead Subdivision Phase II, at a distance of 2,420.00 feet pass a No. 4 rebar found on the Southeast corner of Lot 29, of Arrowhead Subdivision Phase I, according to the plat thereof recorded in Volume 33, Page 105, Hidalgo County Map Records, at a distance of 2,470.00 feet pass a No. 4 rebar found on the Southeast corner of Lot 30, of said Arrowhead Subdivision Phase I, at a distance of 2,520.00 feet pass a No. 4 rebar found on the Southeast corner of Lot 31, of said Arrowhead Subdivision Phase I, continuing a total distance of 2,557.23 feet to a No. 4 rebar found for the Northeast corner of this tract;
2. THENCE, S 08° 35' 34" W along the West right-of-way line of N. Ware Road, a distance of 640.00 feet to a No. 4 rebar set for the Southeast corner of this tract;
3. THENCE, N 81° 24' 44" W a distance of 2,557.17 feet to a No. 4 rebar set for the Southwest corner of this tract;
4. THENCE, N 08° 35' 16" E along the West line of said Lot 138, a distance of 640.00 feet to the POINT OF BEGINNING and containing 37.571 acres of land, more or less.

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY AFFIRM THAT THIS METES AND BOUNDS DESCRIPTION REPRESENTS THE RESULTS OF A SURVEY MADE ON THE GROUND ON 12/10/2021 UNDER MY DIRECTION AND SUPERVISION.


ROBERTO N. TAMEZ, R.P.L.S. #6238

12/15/2021
DATE:



ENTERED

DEC 15 2021

PAGE 1 OF 2



City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>WILLOW RIDGE LOTS 14A & 15A SUBD.</u>	
	Location <u>LOTS 14A & 17A, RE-PLAT OF LOT 15A,</u>	
	City Address or Block Number <u>1000 E. DAFFODIL AVE.</u>	
	Number of Lots <u>2</u> Gross Acres <u>0.50</u> Net Acres <u>0.50</u> ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R3A</u> Proposed Zoning <u>R3A</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____	
	Existing Land Use <u>APTS.</u> Proposed Land Use <u>APTS.</u> Irrigation District # <u>2</u>	
	Replat <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Commercial _____ Residential <u>X</u>	
	Agricultural Exemption <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Estimated Rollback Tax Due <u>1500⁰⁰</u>	
	Parcel # <u>1307341</u> Tax Dept. Review <u>W6007.00-000-014A-00</u>	
	Water CCN <input type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC	
Legal Description <u>ALL OF LOT 15A, WILLOW RIDGE LOTS</u>		
<u>14A & 15A SUBD., McALLEN</u>		
Owner	Name <u>SEE EXHIBIT "A"</u> Phone <u>328-1407</u>	
	Address <u>1000 E. DAFFODIL AVE.</u> E-mail <u>j.hughes115@gmail.com</u>	
	City <u>McALLEN</u> State <u>TX</u> Zip <u>78501</u>	
Developer	Name <u>SAME AS OWNER</u> Phone _____	
	Address _____ E-mail _____	
	City _____ State _____ Zip _____	
	Contact Person _____	
Engineer	Name <u>DAVID SALINAS</u> Phone <u>682-9001</u>	
	Address <u>2221 DAFFODIL AVE.</u> E-mail <u>dsalinas@salinasengineering.com</u>	
	City <u>McALLEN</u> State <u>TX</u> Zip <u>78501</u>	
	Contact Person <u>DAVID</u>	
Surveyor	Name <u>SAME AS ENGINEER</u> Phone _____	
	Address _____ E-mail _____	
	City _____ State _____ Zip _____	

ENTERED

DEC 13 2021

Initial: NM

LG.

Proposed Plat Submittal

- \$225 Preliminary Review Fee and \$75 Final Approval Fee
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner, if applicable
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Minimum Developer's Requirements Submitted with Application

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

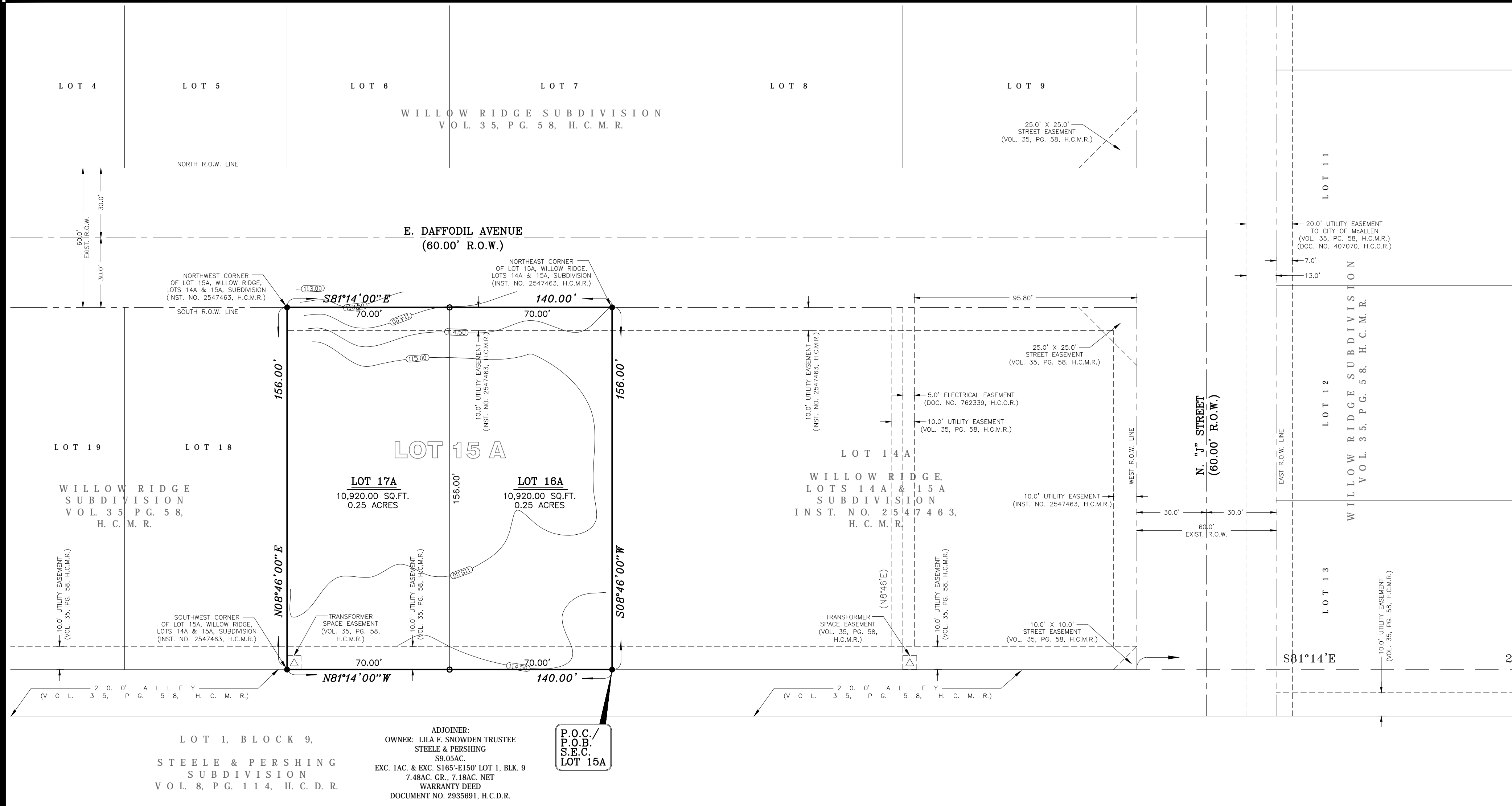
Signature

Date 12/10/21

Print Name

Owner ☐

Authorized Agent ☒



LEGEND

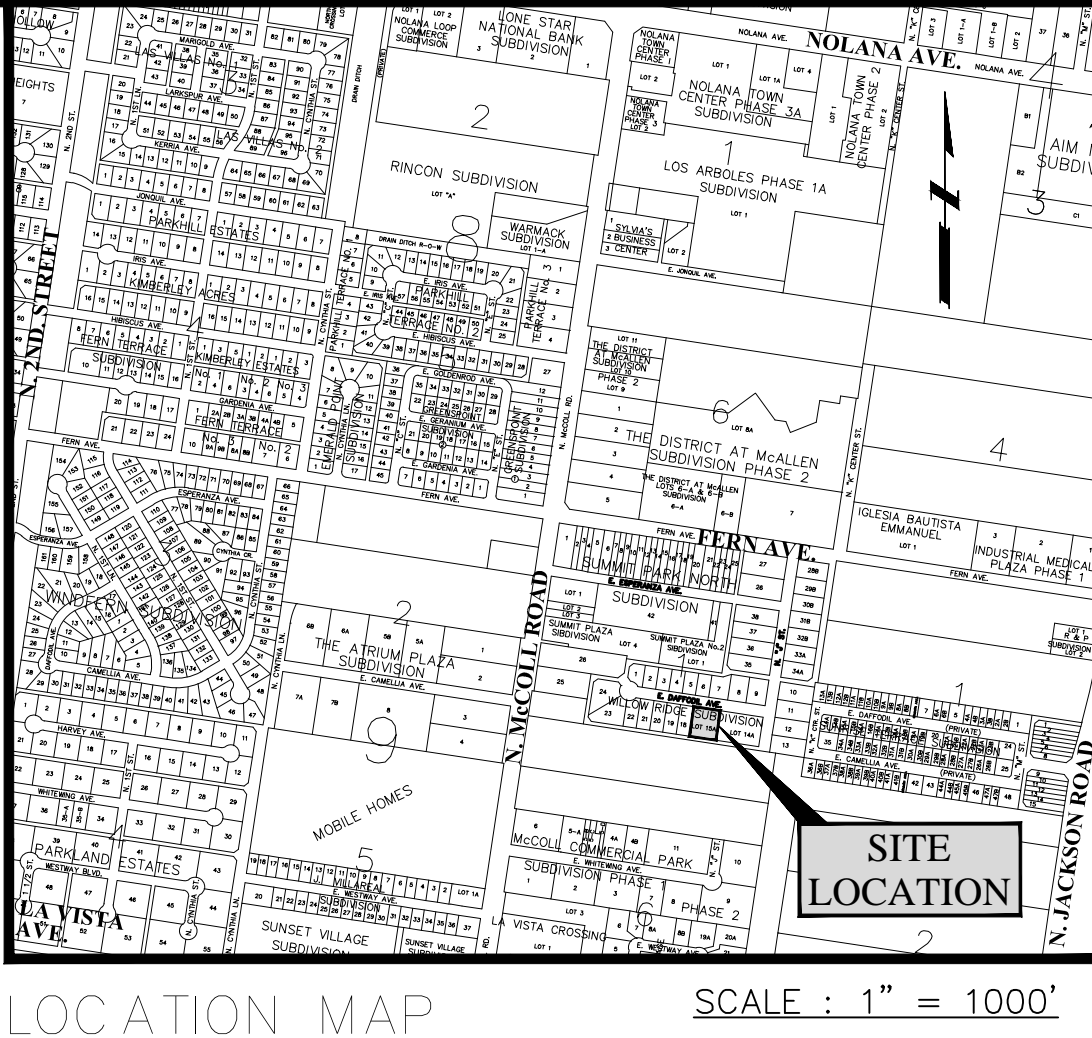
- FOUND 1/2" IRON ROD
- SET 1/2" IRON ROD WITH YELLOW CAP MARKED "SEA 5782"
- R.O.W. RIGHT OF WAY
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- H.C.D.R. HIDALGO COUNTY DEED RECORDS
- H.C.M.R. HIDALGO COUNTY MAP RECORDS

SCALE: 1" = 30'

LOTS 16A & 17A, RE-PLAT OF LOT 15A, WILLOW RIDGE, LOTS 14A & 15A, SUBDIVISION

AN ADDITION TO THE CITY OF McALLEN,
HIDALGO COUNTY, TEXAS

BEING A 0.50 ACRE TRACT OF LAND, MORE OR LESS, CONSISTING OF ALL OF LOT 15A, WILLOW RIDGE LOTS 14A & 15A SUBDIVISION, McALLEN, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN INSTRUMENT NO. 2547463, MAP RECORDS OF HIDALGO COUNTY, TEXAS.



METES AND BOUNDS DESCRIPTION

BEING A 0.50 ACRE TRACT OF LAND, MORE OR LESS, CONSISTING OF ALL OF LOT 15A, WILLOW RIDGE LOTS 14A & 15A SUBDIVISION, McALLEN, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN INSTRUMENT NO. 2547463, MAP RECORDS OF HIDALGO COUNTY, TEXAS; SAID 0.50 ACRE TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A ½ INCH DIAMETER IRON ROD FOUND ON THE SOUTHEAST CORNER OF SAID LOT 15A FOR THE SOUTHEAST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

- THENCE, NORTH 81 DEGREES 14 MINUTES WEST, COINCIDENT WITH THE SOUTH LINE OF SAID LOT 15A AND THE NORTH RIGHT-OF-WAY OF A 20.0 FOOT DEDICATED ALLEY, A DISTANCE OF 140.0 FEET TO A ½ INCH DIAMETER IRON ROD FOUND ON THE SOUTHWEST CORNER OF SAID LOT 15A FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, NORTH 08 DEGREES 46 MINUTES EAST, COINCIDENT WITH THE WEST LINE OF SAID LOT 15A, A DISTANCE OF 156.0 FEET TO A ½ INCH DIAMETER IRON ROD FOUND ON THE NORTHWEST CORNER OF SAID LOT 15A LOCATED ON THE SOUTH RIGHT-OF-WAY LINE OF E. DAFFODIL AVE. FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, SOUTH 81 DEGREES 14 MINUTES EAST, COINCIDENT WITH THE NORTH LINE OF SAID LOT 15A AND THE SOUTH RIGHT-OF-WAY LINE OF SAID E. DAFFODIL AVE., A DISTANCE OF 140.0 FEET TO A ½ INCH DIAMETER IRON ROD FOUND FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, SOUTH 08 DEGREES 46 MINUTES WEST, COINCIDENT WITH THE EAST LINE OF SAID LOT 15A, A DISTANCE OF 156.0 FEET TO THE POINT OF BEGINNING, CONTAINING 0.50 ACRES OF LAND, MORE OR LESS.

BASIS OF BEARING: RECORDED PLAT WILLOW RIDGE, LOTS 14A & 15A SUBDIVISION, McALLEN, H.C.T.
N:\SUBDIVISIONPLATS\JAMESHUGHES\050.1208281

DISCLAIMER: THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW BY THE CITY OF McALLEN ONLY & BY NO OTHERS UNDER THE AUTHORITY OF DAVID OMAR SALINAS, P.E., TX. REG. NO. 71973 ON JAN. 07, 2022. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

LOTS 16A & 17A, RE-PLAT OF LOT 15A, WILLOW RIDGE, LOTS 14A & 15A SUBDIVISION

PREPARED BY: SALINAS ENGINEERING & ASSOC.
DATE OF PREPARATION: JANUARY 07, 2022
JOB NUMBER: SP-21-25675

SEA
SALINAS ENGINEERING & ASSOC.
(P-6675) (TBPLS-10065700)
CONSULTING ENGINEERS & SURVEYORS
2221 DAFFODIL McALLEN, TEXAS 78501
(956) 682-9081 (956) 686-1489 (FAX)
TBPLS 12100 PARK 35 CIRCLE BLDG. A, SUITE 156, MC-230, AUSTIN, TEXAS 78073 (512) 239-5263

- GENERAL PLAT NOTES:
- MINIMUM SETBACK LINES = FRONT: 20.0 FT. OR GREATER FOR EASEMENTS, OR IN LINE WITH EXISTING STRUCTURES.
INTERIOR SIDE: 6.0 FEET OR GREATER FOR EASEMENTS.
REAR: 10.0 FT. OR GREATER FOR EASEMENTS.
GARAGE: 18.0 FT. EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES.
 - LANDS CONTAINED WITHIN THIS SUBDIVISION LIE IN ZONE "B" ACCORDING TO THE FIRM (FLOOD INSURANCE RATE MAP) DATED 11/02/82, COMMUNITY PANEL NO. 480343 0005 C.
ZONE "B" DEFINED AS AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD (MEDIUM SHADING)
 - MINIMUM FINISHED FLOOR ELEVATION ON ALL NEW CONSTRUCTION SHALL BE A MINIMUM OF 18.0 INCHES ABOVE THE TOP OF THE ROAD AS MEASURED FROM THE CENTER OF THE LOT ALONG NORTH TAYLOR ROAD.
 - MINIMUM 4 FT. WIDE SIDEWALK IS REQUIRED ON E. DAFFODIL AVE.
 - THIS SUBDIVISION PLAT SHALL BE REQUIRED TO DETAIN A TOTAL OF 3,289.90 CUBIC FEET, OR, 0.08 ACRE-FEET OF DRAINAGE RUNOFF VOLUME.
 - THE CONSTRUCTION OF ANY STRUCTURES ON OR WITHIN ANY UTILITY EASEMENTS SHALL BE PROHIBITED.
 - A 6" OPAQUE BUFFER IS REQUIRED FROM ANY ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL OR INDUSTRIAL ZONE/USE.
AN 8" MASONARY WALL IS REQUIRED BETWEEN SINGLE-FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONE/USE.
 - AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT, MAY BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS.
 - BENCHMARK: McALLEN SURVEY CONTROL POINT NO. 68, LOCATED AT THE NORTHWEST CORNER OF JACKSON ROAD AND FERN ST., 6.0 FEET WEST FROM THE BACK OF CURB OF JACKSON ROAD, 91 FEET NORTH FROM THE CENTER LINE OF FERN ST. AND 19 FEET NORTH OF A POWER POLE. ELEV.= 111.23.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.

FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____

OF MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

ADJOINER:
OWNER: LILA F. SNOWDEN TRUSTEE
STEELE & PERSHING
SH 05AC
EXC. 1AC. & EXC. SH 05-E150 LOT 1, BLK. 9
7.48AC. GR. 7.18AC. NET
WARRANTY DEED
DOCUMENT NO. 2935691, H.C.D.R.

P.O.C./
P.O.B.
S.E.C.
LOT 15A

STATE OF TEXAS COUNTY OF HIDALGO

WE, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS **LOTS 16A & 17A, RE-PLAT OF LOT 15A, WILLOW RIDGE, LOTS 14A & 15A, SUBDIVISION** TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAMES ARE SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

OWNER: JAMES HUGHES
1000 E. DAFFODIL, NO. 4
McALLEN, TEXAS 78501

OWNER: THE GRAND ON DAFFODIL
CONDOMINIUMS, LLC
JAMES HUGHES, MANAGER
1000 E. DAFFODIL, NO. 4
McALLEN, TEXAS 78501

OWNER: CHERYL D. JOHNSON HUGHES
1000 E. DAFFODIL, NO. 4
McALLEN, TEXAS 78501

STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED JAMES HUGHES AND WIFE, CHERYL D. JOHNSON HUGHES, KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY
OF _____, 2022.

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS
MY COMMISSION EXPIRES: _____

STATE OF TEXAS CITY OF McALLEN

I, THE UNDERSIGNED, MAYOR OF THE CITY McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR

DATE

STATE OF TEXAS CITY OF McALLEN

I, THE UNDERSIGNED CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN,
PLANNING AND ZONING COMMISSION

DATE

STATE OF TEXAS COUNTY OF HIDALGO

I, DAVID OMAR SALINAS, P.E., A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, REGISTRATION NUMBER TX. 71973, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

DAVID OMAR SALINAS, P.E.
REG. PROFESSIONAL ENGINEER #71973

DATE

STATE OF TEXAS COUNTY OF HIDALGO

I, DAVID O. SALINAS, THE UNDERSIGNED A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

DAVID O. SALINAS, R.P.L.S.
REG. PROFESSIONAL LAND SURVEYOR #5782

DATE

STATE OF TEXAS HIDALGO COUNTY IRRIGATION DISTRICT #2

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 ON THIS, THE _____ DAY OF _____, 2022.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 RIGHTS OF WAYS OR EASEMENTS.

ATTEST:
PRESIDENT SECRETARY

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

RECEIVED

By Liliana Garza at 10:35 am, Jan 10, 2022

PRINCIPAL CONTACTS	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	THE GRAND ON DAFFODIL CONDOMINIUMS, LLC	1000 E. DAFFODIL, NO. 4	McALLEN, TEXAS 78501	(956) 328-1407	NONE
OWNER:	JAMES HUGHES	1000 E. DAFFODIL, NO. 4	McALLEN, TEXAS 78501	(956) 328-1407	NONE
OWNER:	CHERYL D. JOHNSON HUGHES	1000 E. DAFFODIL, NO. 4	McALLEN, TEXAS 78501	(956) 328-1407	NONE
ENGINEER:	DAVID O. SALINAS	2221 DAFFODIL AVE.	McALLEN, TEXAS 78501	(956) 682-9081	(956) 686-1489
SURVEYOR:	DAVID O. SALINAS	2221 DAFFODIL AVE.	McALLEN, TEXAS 78501	(956) 682-9081	(956) 686-1489



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/12/2022

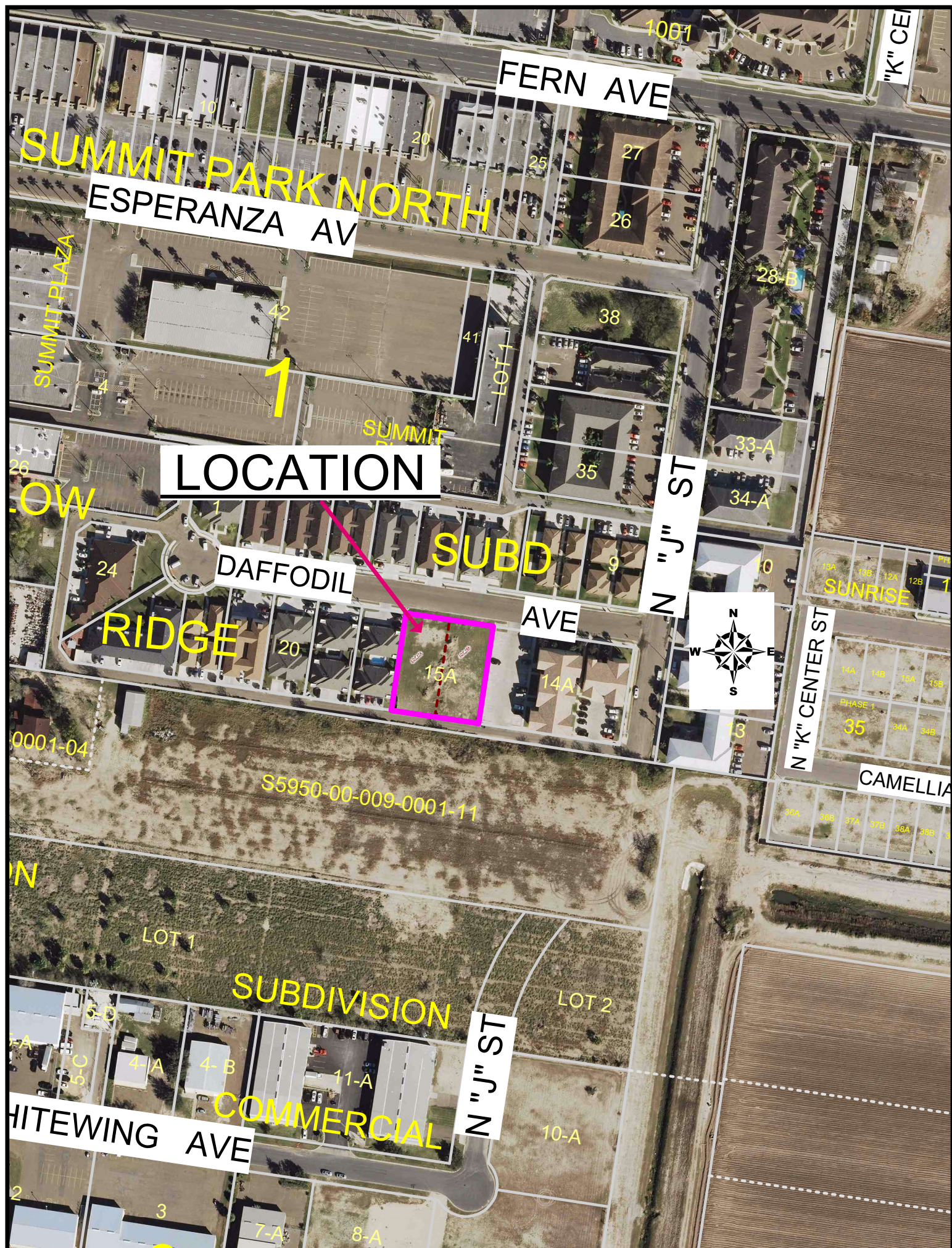
SUBDIVISION NAME: WILLOW RIDGE LOTS 16A & 17A SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
East Daffodil Avenue: 60 ft. ROW existing Paving: 40 ft. Curb & gutter: both sides **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Compliance
Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Applied
* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118	NA
* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118	NA
* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105	NA
ALLEYS	
ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106	Applied
SETBACKS	
* Front: E. Daffodil Avenue: 20 ft. or greater for easements, or in line with existing structures **Zoning Ordinance: Section 138-356	Applied
* Rear: 10 ft. or greater for easements **Zoning Ordinance: Section 138-356	Applied
* Sides: 6 ft. or greater for easements **As per Doc. #2872174, a correction to the interior side setback requirement was made, as gas easement setback is for the west side of lot 14A **Zoning Ordinance: Section 138-356	Applied
* Corner **Zoning Ordinance: Section 138-356	NA
* Garage: 18 ft., except where greater setback is required, greater setback applies **Zoning Ordinance: Section 138-356	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>**ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p> <p>**SETBACKS FOR THE EXISTING STRUCTURE REMAIN AS NOW EXIST; SHOULD ADDITIONS AND/OR CONSTRUCTION BE PROPOSED, THEN NEW SETBACKS APPLY.</p> <p>**Please revise plat note #1 to include both references as shown above</p>	Required
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on E. Daffodil</p> <p>**Subdivision Ordinance: Section 134-120</p>	Applied
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Applied
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses.</p> <p>**Landscaping Ordinance: Section 110-46</p>	Applied
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.</p> <p>**Landscaping Ordinance: Section 110-46</p>	Applied
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Applied
NOTES	
<p>* No curb cut, access, or lot frontage permitted along.</p> <p>**Must comply with City Access Management Policy</p>	NA
<p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p>	Applied
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	Applied
<p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p>	Applied
<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</p> <p>**Existing condominium regime under Doc. 3156455</p> <p>**Section 110-72 applies if private subdivision is proposed.</p> <p>**Landscaping Ordinance: Section 110-72</p> <p>**Subdivision Ordinance: Section 134-168</p>	Applied
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</p> <p>**Existing condominium regime under Doc. 3156455</p> <p>**Section 110-72 applies if private subdivision is proposed.</p> <p>**Landscaping Ordinance: Section 110-72</p> <p>**Subdivision Ordinance: Section 134-168</p>	NA
LOT REQUIREMENTS	
<p>* Lots fronting public streets</p> <p>**Subdivision Ordinance: Section 134-1</p>	Compliance
<p>* Minimum lot width and lot area</p> <p>**Zoning Ordinance: Section 138-356</p>	Compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ZONING/CUP	
* Existing: R-3A Proposed: R-3A as per application ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	Applied
PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording	Applied
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation to be waived, no TIA is required.	Completed
* Traffic Impact Analysis (TIA) required prior to final plat.	NA
COMMENTS	
Comments: *Must comply with City's Access Management Policy. **Subdivision name will be reviewed prior to recording. **Vacating plat applicable if any restrictions, etc. are proposed to be removed from existing recorded plat. **Existing condominium regime under Doc. 3156455. Rezoning to R-3C may be required prior to final	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM.	Applied



Memo

TO: Planning and Zoning Commission

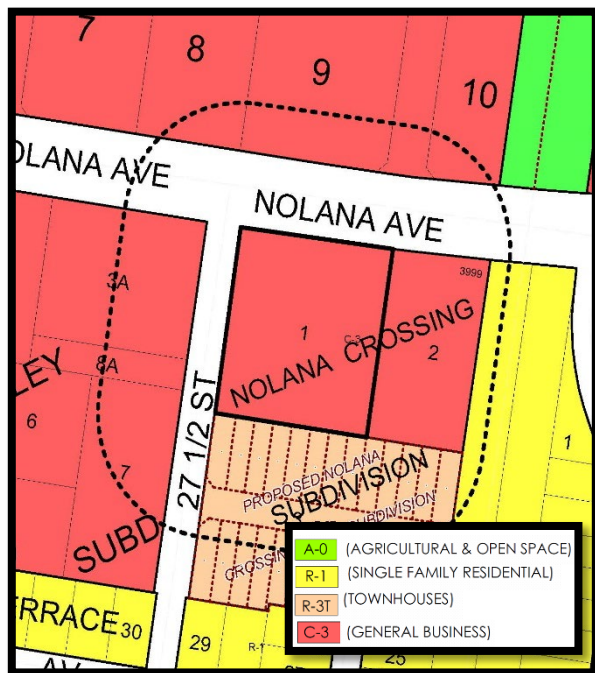
FROM: Planning Staff

DATE: January 13, 2022

SUBJECT: REVISED SITE PLAN APPROVAL FOR LOT 1, NOLANA CROSSING SUBDIVISION; 2709 NOLANA AVE (SPR2021-0040)

LOCATION: The property is located on the southeast corner of Nolana Ave and N 27th ½ St. and is zoned C-3 (general business) District. The adjacent zoning is C-3 to the north, west and east, R-3T (townhouses) District adjacent to the south.

PROPOSAL: The applicant is proposing to modify the existing Chick-fil-A site to accommodate for more car stacking along the north and west property lines; they will be adding a car lane along with canopies.



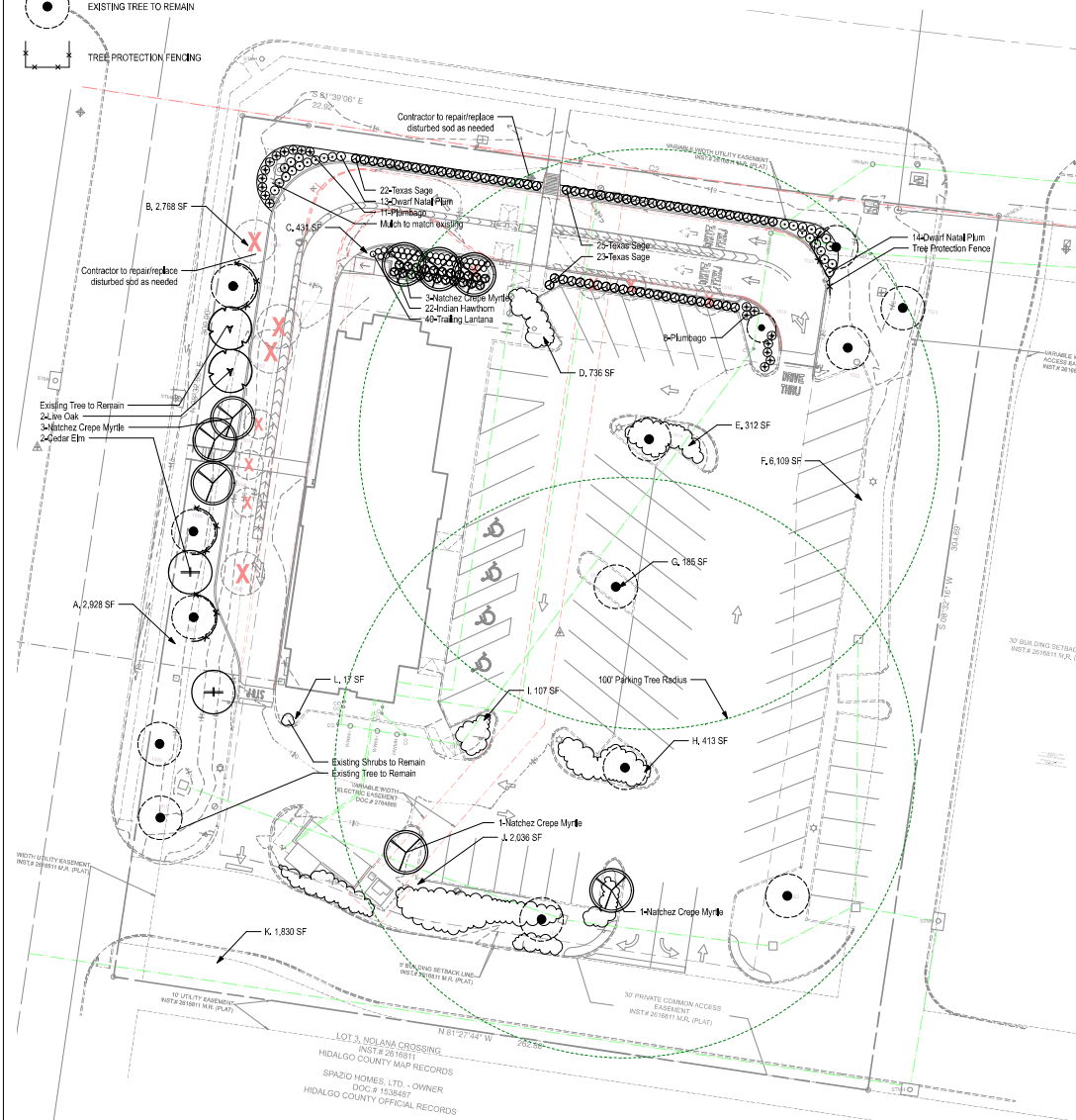
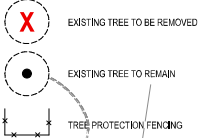
ANALYSIS: The applicant is proposing to reduce the existing landscaping but still provided 17,872sqft, removing 11 trees that are mainly crepe myrtles and will be leaving 11 trees with caliper size range between 4 inches – 11 inches. They did apply for a Special Exception for the Canopies that will be encroaching into the north front setback and west side setback and were approved by Zoning Board of Adjustments on December 15, 2021.

The Building Permit Site Plan must comply with requirements noted on the development Team Review sheet. The Engineering Department will require grading, drainage, and erosion control plans to be reviewed at the time of building permit.

RECOMMENDATION:

Staff recommends approval of the site plan subject to the conditions noted, paving and Building Permit requirements, and the subdivision and zoning ordinances.

LEGEND



PLANT LIST

Qty	Botanical Name	Common Name	Scheduled Size	Remarks
Trees				
8	Lagerstroemia indica 'Natchez'	Natchez Crepe Myrtle	10' Hgt. O.A.	Multi-trunked
2	Quercus virginiana	Live Oak	8" Cal., 10' Hgt.	B & B; single straight leader
	Ulmus crassifolia	Cedar Elm	8" Cal., 12' Hgt.	B & B; single straight leader
Shrubs				
27	Carissa macrocarpa 'Prostrata'	Dwarf Natal Plum	3 Gal.	
70	Leucophyllum frutescens 'Compacta'	Texas Sage	3 Gal.	
22	Raphanopappus indica 'Snow White'	Indian Hawthorn	3 Gal.	
Groundcovers				
40	Lantana montevidensis	Trailing Lantana	1 Gal.	
19	Plumbago capensis	Plumbago	3 Gal.	
Other				

LANDSCAPE NOTES

- SOUTHWEST**
- Landscaping Contractor to read and understand the Landscape Specifications (sheet L-102) prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
 - Contractor is responsible for locating and protecting all underground utilities prior to digging.
 - Contractor is responsible for protecting existing trees from damage during construction.
 - All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
 - All tree protection areas to be protected from sedimentation.
 - All tree protection fencing to be inspected daily, and repaired or replaced as needed.
 - No parking, storage or other construction activities are to occur within tree protection areas.
 - All planting areas shall be cleared of construction debris (i.e., concrete, rock, rubble, building materials, etc.) prior to adding and spreading of the topsoil.
 - General Contractor is responsible for adding a min. of 4" clean friable topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
 - In all parking lot islands, the Contractor is responsible to remove all debris, trash, and loose debris to a min. 24" depth. Add topsoil to a 6"-8" berm height above island curbing; refer to landscape specifications and landscape island detail.
 - Prior to beginning work, the Landscape Contractor shall inspect the subsurface, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions; work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
 - Any deviations from the approved set of plans are to be approved by the Landscape Architect.
 - Landscaping shall be installed in conformance with ANSI Z60.1, the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
 - Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
 - Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
 - Annual and perennial beds add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Mulch annual and perennial beds with 2-3 inch depth of mini nuggets.
 - All shrubs beds (existing and new) to be mulched with a min. 3 inch layer of mulch to match existing.
 - Planting holes to be dug a minimum of twice the width of the root ball, for both shrub and tree. Set plant material 2-3" above finish grade.
 - Backfill planting pit with topsoil and native excavated soil.
 - Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds to be "V" finished. See Landscape Details.
 - Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tree marks and indentations to be repaired.
 - Water thoroughly twice in first 24 hours and apply mulch immediately.
 - The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
 - Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/expectations.
 - Existing irrigation system shall be retrofitted as needed to provide 100% head to head coverage in all new and existing landscaped areas; see Retrofit notes for guidelines.
 - Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
 - Remove stakes and puying from all trees after one year from planting.

LANDSCAPE AREAS

Area	Sq. Ft.
A	2,928 SF
B	2,768 SF
C	431 SF
D	736 SF
E	312 SF
F	6,109 SF
G	185 SF
H	413 SF
I	107 SF
J	2,036 SF
K	1,830 SF
L	17 SF
TOTAL 17,872 SF	

TREES REMOVED

Tree	DBH	Removed/Retained	Tree Number
Live Oak	3"	Removed	1499
Live Oak	6"	Removed	1501
Crepe Myrtle	4"	Removed	1502
Crepe Myrtle	5"	Removed	1503
Crepe Myrtle	6"	Removed	1504
Crepe Myrtle	4"	Removed	1505
Cedar Elm	4"	Removed	1507
Crepe Myrtle	5"	Removed	1515
Crepe Myrtle	3"	Removed	1516
Crepe Myrtle	4"	Removed	1517
Crepe Myrtle	5"	Removed	1518

TREES TO REMAIN

Tree	DBH	Remaining	Tree Number
Live Oak	4"	Remaining	1500
Cedar Elm	4"	Remaining	1506
Live Oak	3"	Remaining	1508
Live Oak	4"	Remaining	1509
Live Oak	3"	Remaining	1510
Live Oak	11"	Remaining	1511
Live Oak	7"	Remaining	1514
Crepe Myrtle	6"	Remaining	1519
Live Oak	6"	Remaining	1520
Live Oak	5"	Remaining	1521
Live Oak	7"	Remaining	1522

RETROFIT EXISTING IRRIGATION SYSTEM

Existing irrigation system shall be retrofitted to include proper irrigation coverage to all newly created landscaped areas. Sprays and rotors shall be utilized on all sod and seeded areas, while drip irrigation shall be utilized within shrub planting beds. The contractor shall be responsible to ensure that all new and existing irrigation components are in proper working order and provide 100% head to head coverage. Add valves, sprays, rotors, drip, and/or replace zones as needed to achieve the proper coverage as required.

- * Only RainBird products are to be utilized
- * Mainline shall be 1.5" CLS200 PVC
- * Lateral lines shall be 1" CLS200 PVC

Prior to final completion the Irrigation Contractor shall perform a walk-thru inspection with the owner, or owners representative of the functioning system.



Chick-fil-A
Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998



Land Design & Construction
Landscape Architecture

770.442.8171 tel
770.442.1123 fax

Manley Land Design, Inc.
51 Old Canton Street
Alpharetta, Georgia 30009

manleylanddesign.com



CHICK-FIL-A
NOLANA FSU
2709 WEST NOLANA AVENUE
MCALLEN, TX 78504

FSU# 3556

REVISION SCHEDULE

NO. DATE DESCRIPTION

1. 11-21-21 City Council

2. 11-22 City Council

MLD PROJECT # 2001217

PRINTED ON PERMANENT

DATE 9/30/21

DRAWN BY KJCN

In compliance with the Texas Anti-Spam Act, this document contains no links to any website or other electronic communication.

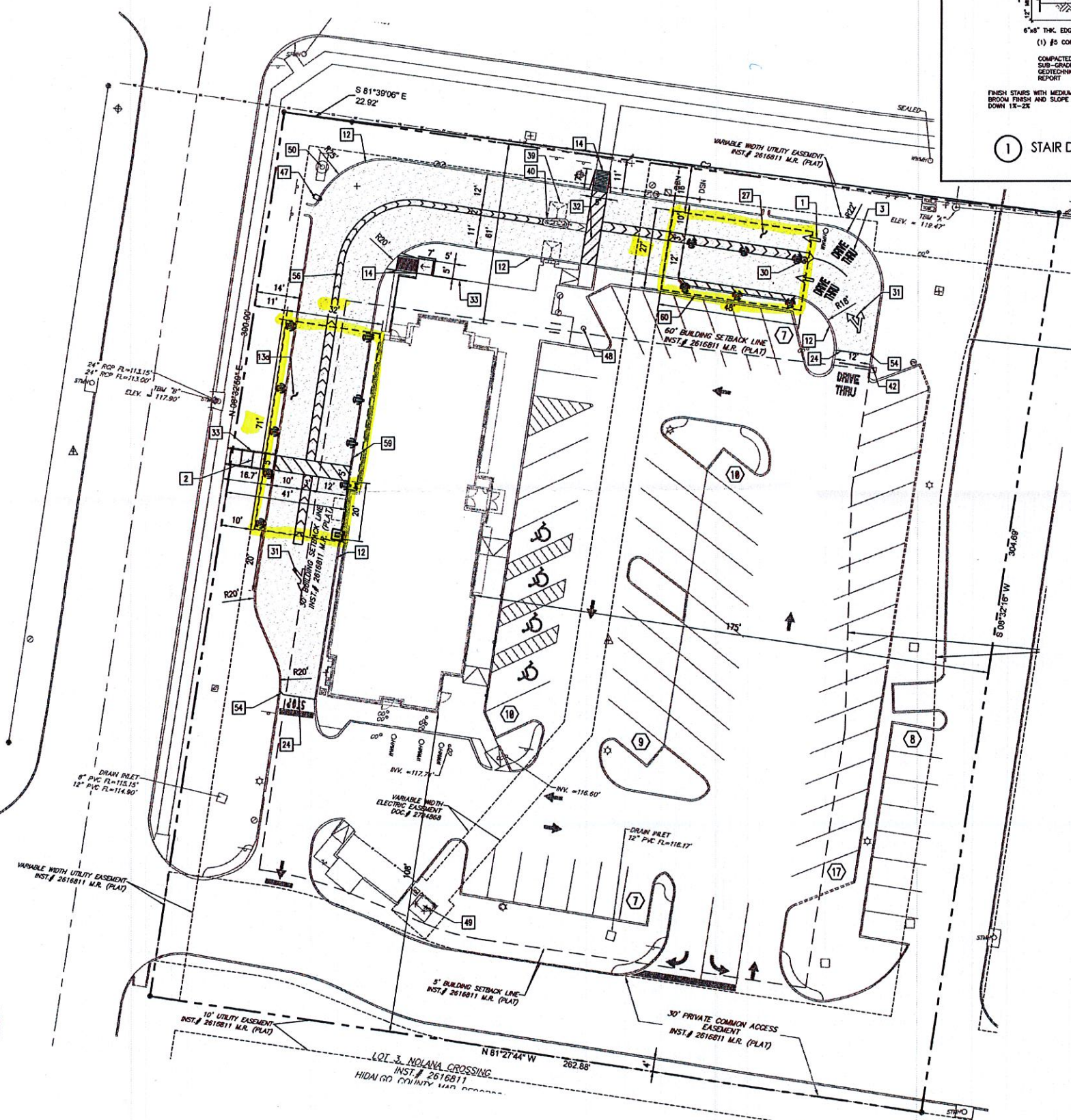
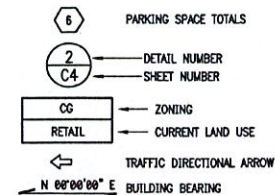
SHEET

Permit Landscape Plan

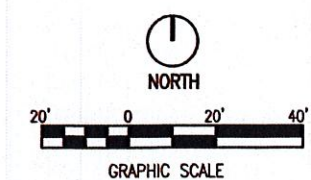
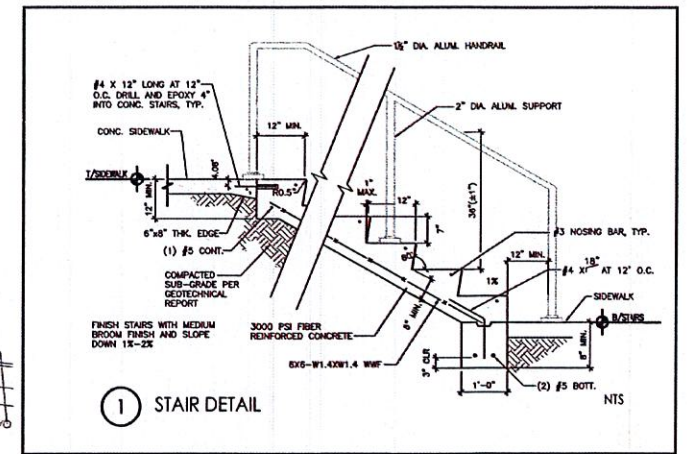
SHEET NUMBER

L-100

LEGEND



NOTE: CONTRACTOR SHALL ERADICATE EXISTING STRIPING WITH EITHER SAND BLASTING OR WATER PRESSURE THEN SEAL EXISTING ASPHALT BEFORE APPLYING NEW STRIPING. DO NOT PAINT THE EXISTING STRIPING BLACK.



SITE PLAN DESIGN NOTES & KEY PLAN

- DIRECTIONAL ARROW
- PROPOSED STAIR
- DRIVE-THRU GRAPHICS
- STOP LINE GRAPHIC (NOT USED)
- STANDARD PARKING STALL (NOT USED)
- BOLLARD MOUNTED SIGN
- ACCESSIBLE PARKING SIGN (NOT USED)
- DIRECTIONAL SIGNAGE
- EXISTING "STOP" SIGN (NOT USED)
- CONCRETE SIDEWALK (NOT USED)
- SIDEWALK WITH CURB AND GUTTER (NOT USED)
- 24" CONCRETE CURB AND GUTTER
- SPILLING CURB AND GUTTER
- CATCHING CURB AND GUTTER
- DEPRESSED SPILLING CURB AND GUTTER
- DEPRESSED CATCHING CURB AND GUTTER
- CONCRETE PAVEMENTS
- MEDIUM DUTY
- HEAVY DUTY (NOT USED)
- CURB RAMP w/ SHORT FLARED SIDES
- CURBED RAMP WITH FLARED SIDES (NOT USED)
- SIDEWALK ACCESSIBLE RAMP (NOT USED)
- TRUNCATED DOMES - CAST IN PLACE (NOT USED)
- SOLID YELLOW PLASTIC WHEEL STOP (NOT USED)
- EXPANSION JOINT
- TRANSVERSE & LONGITUDINAL DOWELED CONST. JOINT
- KEYED CONSTRUCTION JOINT
- CONTRACTION JOINT
- TRANSVERSE & LONGITUDINAL CONTRACTION JOINT
- PAVEMENT EDGE
- CONCRETE APRON AT DUMPSTER ENCLOSURE (NOT USED)
- LONGITUDINAL BUTT JOINT
- CONCRETE PAVING AT DRIVE-THRU LANE
- TYPICAL HWAC (ASPHALT) PAVEMENT SECTION (NOT USED)
- BUTT JOINT
- CONCRETE BOLLARD
- MULTI-LANE DIRECTIONAL GRAPHICS
- CROSSWALK MARKINGS
- ALUMINUM HANDRAIL
- TYPICAL ADA RAMP AND HANDRAIL (NOT USED)
- ENTRY DOOR FROST SLAB (NOT USED)
- SCREENED REFUSE ENCLOSURE (NOT USED)
- SCREENED REFUSE ENCLOSURE PLAN (ALT.) (NOT USED)
- SCREENED REFUSE ENCLOSURE (ALT. DRAINAGE) (NOT USED)
- EXIST. MENU BOARD LOOP DETECTION SYSTEM
- EXIST. DRIVE-THRU ORDER POINT ISLD. CURB (M. BOARDS)
- DRIVE-THRU PLAN (AUTOMATIC DOOR) (NOT USED)
- EXIST. DRIVE-THRU CLEARANCE BAR
- DRIVE-THRU ISOMETRIC (NOT USED)
- ROLLOVER / MOUNTABLE CURB (1 FT. WIDE) (NOT USED)
- DRIVE-THRU PLAN (PICK-UP WINDOW) (NOT USED)
- REFUSE/STORAGE BUILDING
- TYPICAL LIGHT POLE BASE
- EXIST. FLAGPOLE
- EXIST. PAD MOUNTED TRANSFORMER
- EXIST. CHICK-FIL-A PRIME (MONUMENT) SIGN
- CASH MACHINE (ON 4" THICK, 3' x 5.5' CONCRETE PAD) (NOT USED)
- GREASE INTERCEPTOR
- OUTDOOR SEATING (REFER TO ARCH'L PLANS FOR DETAILS). (NOT USED)
- 2 FT. CHAMFER ON CONCRETE PAVEMENT
- 4" WIDE WHITE STRIPING (SEE PAINT ADDITIVE NOTE, DETAIL 3, SHEET C-4.0) (NOT USED)
- PAINTED DIAGONAL / CHEVRON STRIPING
- DRAINAGE STRUCT. (REFER TO GRADING PLAN, SHEET No. C-3.0) (NOT USED)
- LANDSCAPE AND IRRIGATION PROTECTOR (NOT USED)
- MULTI-LANE ORDER POINT (MLOP) CANOPY
- ORDER MEAL DELIVERY (OMD) CANOPY



5200 Buffington Rd.
 Atlanta Georgia,
 30349-2998

Revisions:

Mark	Date	By
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		

SEAL
 STUART ANDERSON, P.E.
 TX. REG. # 116398
 OCT 25 2021

INTERPLAN
 INTERPLAN LLC
 F-3219
 ARCHITECTURE
 ENGINEERING
 PERMITTING

220 E. CENTRAL PKWY, STE 400
 ALBUQUERQUE, NM 87102
 505.263.5008

STORE
 NOLANA
 FSU 3556

2709 WEST NOLANA
 AVENUE, MCALLEN,
 TX 78504

SHEET TITLE
 SITE DIMENSION
 PLAN
 VERSION: 00.001
 ISSUE DATE: 08-2021

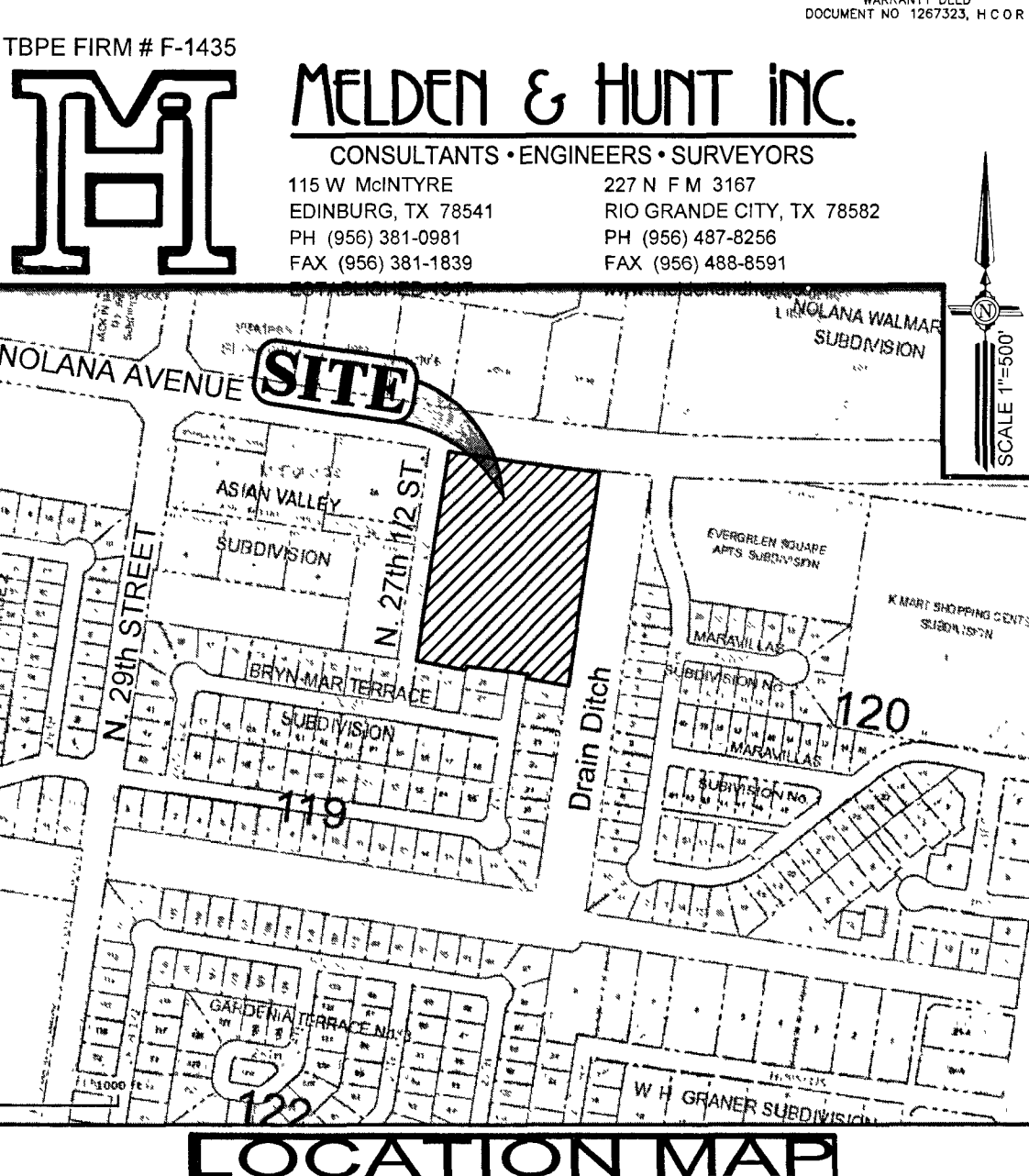
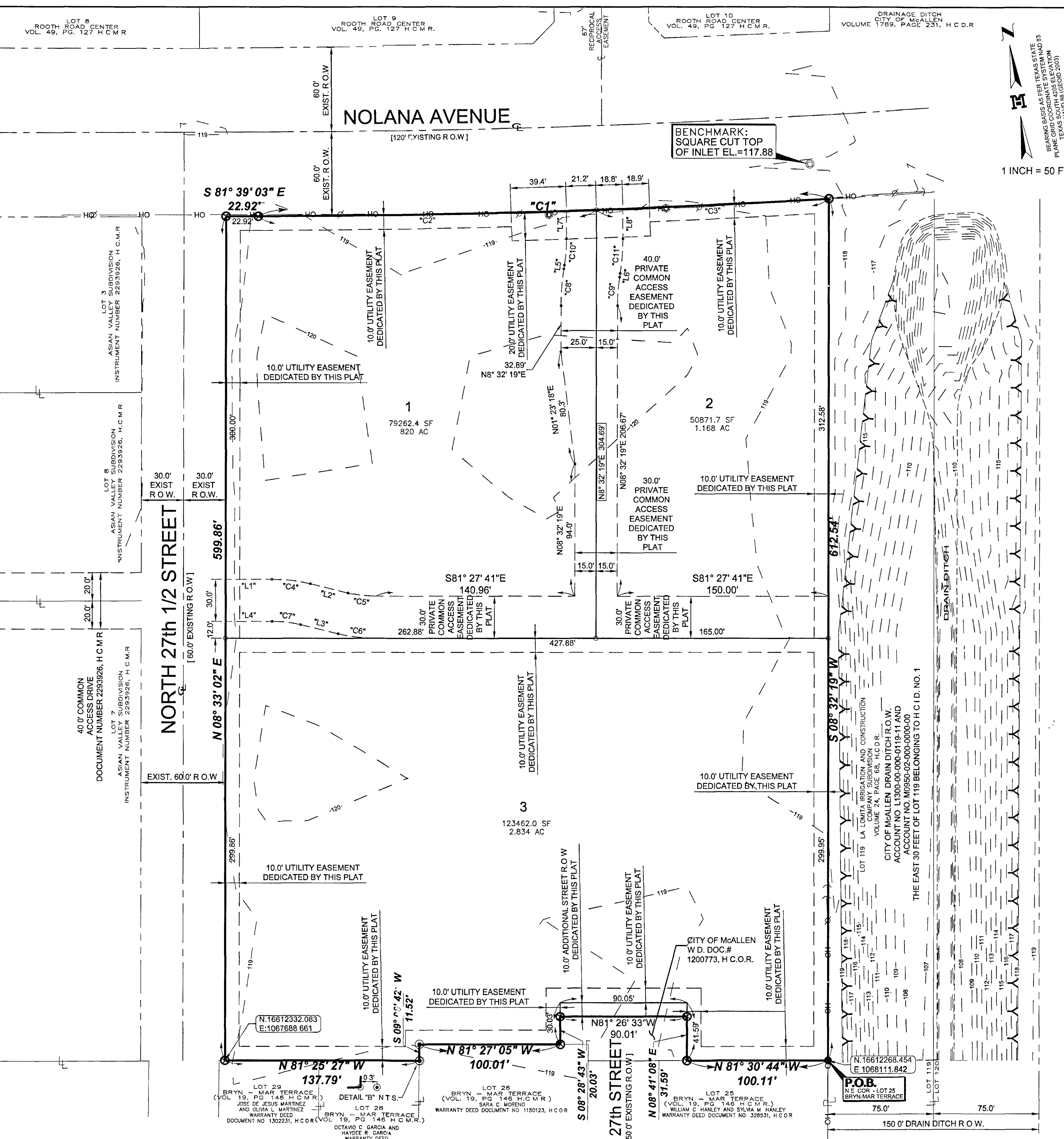
Job No. : 21.0094
 Store : 3556
 Date : 08.2021
 Drawn By : RA
 Checked By: SH

Sheet
C-2.0

SITE DIMENSION PLAN

1" = 20'

RECEIVED
 NOV 8 2021



Lot Line Table			
Line #	Length	Direction	
L1	32.87'	S81° 39' 02"E	
L2	27.45'	S67° 52' 41"E	
L3	27.45'	S67° 52' 41"E	
L4	32.87'	S81° 39' 02"E	
L5	2.66'	N17° 09' 50"E	
L6	2.66'	N17° 09' 50"E	
L7	19.66'	N08° 32' 19"E	
L8	21.10'	N08° 32' 19"E	

Curve Table					
Curve #	Delta	Radius	Length	Tangent	Chord Direction
C1	003° 16' 43"	7,080.00'	405.14'	202.63'	S63° 13' 51"E
C2	001° 56' 31"	7,080.00'	239.95'	119.99'	S82° 33' 45"E
C3	001° 20' 13"	7,080.00'	165.19'	82.60'	S84° 12' 07"E
C4	013° 46' 21"	115.00'	27.64'	13.89'	N74° 45' 52"W
C5	013° 35' 00"	85.00'	20.15'	10.12'	S74° 40' 11"E
C6	013° 35' 00"	115.00'	27.26'	13.70'	S74° 40' 11"E
C7	013° 46' 21"	85.00'	20.43'	10.27'	N74° 45' 52"W
C8	008° 37' 31"	175.00'	26.34'	13.20'	S12° 51' 04"W
C9	008° 37' 31"	135.00'	20.32'	10.18'	S12° 51' 04"W
C10	008° 37' 31"	125.00'	18.82'	9.43'	N12° 51' 04"E
C11	008° 37' 31"	165.00'	24.84'	12.44'	N12° 51' 04"E

- LEGEND**
- FOUND NO 4 REBAR
 - SET NO 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
 - FOUND NO 5 REBAR
 - FOUND PIPE
 - FOUND ALUMINUM DISK SET SQUARE CUT
 - POWER POLE
 - TRAFFIC LIGHT POLE
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
N.E. COR. - NORTH EAST CORNER
P.O.B. - POINT OF BEGINNING
SF - SQUARE FEET
H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
H.C.I.D. NO. 1 - HIDALGO COUNTY IRRIGATION DISTRICT NO 1
R.O.W. - RIGHT-OF-WAY
H.C.M.R. - HIDALGO COUNTY MAP RECORDS
VOL. - VOLUME
PG. - PAGE
OH - OVERHEAD POWER LINE
CL - CENTER LINE OF STREET

DRAWN BY R.N. DATE 05-06-2014
SURVEYED, CHECKED [Signature] DATE 3-13-15
FINAL CHECK [Signature] DATE 3-13-15

PRINCIPAL CONTACTS	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER	SPAZIO HOMES, LTD.	2201 S. JACKSON ROAD UNIT 43	PHARR, TX 78577	N/A	N/A
ENGINEER	MARIO A. REYNA, P.E.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
SURVEYOR	FRED L. KURTH, R.P.L.S.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839

SUBDIVISION MAP OF NOLANA CROSSING

BEING 5.842 ACRES OUT OF THE NORTH HALF OF LOT 119,
LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY SUBDIVISION
OF PORCIONES 61,62 & 63,
VOLUME 24, PAGE 68 H.C.D.R.,
CITY OF McALLEN, HIDALGO COUNTY, TEXAS

METES AND BOUNDS DESCRIPTION:
A TRACT OF LAND CONTAINING 5.842 ACRES, SITUATED IN THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, BEING PART OR PORTION OUT OF LOT 119, LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 24, PAGE 68, HIDALGO COUNTY DEED RECORDS, SAID 5.842 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS

BEGINNING AT A NO. 4 REBAR FOUND (NORTHING 16612268 454, EASTING 1068111 842) AT THE NORTHEAST CORNER OF LOT 25, BRYN-MAR TERRACE SUBDIVISION RECORDED IN VOLUME 19, PAGE 146, HIDALGO COUNTY MAP RECORDS FOR THE SOUTHEAST CORNER OF THIS TRACT,

- THENCE, N 81° 30' 44" W ALONG THE NORTH BOUNDARY LINE OF SAID LOT 25, A DISTANCE OF 100.11 FEET TO A NO. 5 REBAR FOUND FOR AN OUTSIDE CORNER OF THIS TRACT,
- THENCE, N 08° 41' 08" E ALONG A BOUNDARY LINE OF SAID BRYN-MAR TERRACE, A DISTANCE OF 31.59 FEET TO A NO. 5 REBAR FOUND FOR AN INSIDE CORNER OF THIS TRACT,
- THENCE, N 81° 26' 33" W ALONG A NORTH BOUNDARY LINE OF SAID BRYN-MAR TERRACE, A DISTANCE OF 90.01 FEET TO A NO. 5 REBAR FOUND FOR AN INSIDE CORNER OF THIS TRACT,
- THENCE, S 08° 28' 43" W ALONG A BOUNDARY LINE OF SAID BRYN-MAR TERRACE, A DISTANCE OF 20.03 FEET TO A NO. 5 REBAR FOUND ON THE NORTH BOUNDARY LINE OF LOT 26, OF SAID BRYN-MAR TERRACE SUBDIVISION FOR AN OUTSIDE CORNER OF THIS TRACT,
- THENCE, N 81° 27' 05" W ALONG THE NORTH BOUNDARY LINE OF SAID LOT 26, A DISTANCE OF 100.01 FEET TO A PIPE FOUND AT THE NORTHWEST CORNER OF LOT 26, BRYN-MAR TERRACE SUBDIVISION FOR AN INSIDE CORNER OF THIS TRACT,
- THENCE, S 09° 06' 42" W ALONG THE WEST BOUNDARY LINE OF SAID LOT 26, A DISTANCE OF 11.52 FEET TO A NO. 4 REBAR SET AT THE NORTHEAST CORNER OF LOT 26, OF SAID BRYN-MAR TERRACE SUBDIVISION, FOR AN OUTSIDE CORNER OF THIS TRACT,
- THENCE, N 81° 25' 27" W ALONG THE NORTH BOUNDARY LINE OF SAID BRYN-MAR TERRACE SUBDIVISION, A DISTANCE OF 137.79 FEET TO A NO. 5 REBAR FOUND (NORTHING 16612332 083, EASTING 1067688 661) ON THE EXISTING EAST RIGHT-OF-WAY LINE OF N. 27th 1/2 STREET FOR THE SOUTHWEST CORNER OF THIS TRACT,
- THENCE, N 08° 33' 02" E ALONG THE EXISTING EAST RIGHT-OF-WAY LINE OF N. 27th 1/2 STREET, A DISTANCE OF 599.86 FEET TO A NO. 5 REBAR FOUND ON THE EXISTING SOUTH RIGHT-OF-WAY LINE OF NOLANA AVENUE FOR THE NORTHWEST CORNER OF THIS TRACT,
- THENCE, S 81° 39' 03" E ALONG THE EXISTING SOUTH RIGHT-OF-WAY LINE OF NOLANA AVENUE, A DISTANCE OF 22.92 FEET TO A NO. 5 REBAR FOUND FOR AN ANGLE POINT OF THIS TRACT,
- THENCE, IN AN SOUTHEASTERLY DIRECTION ALONG THE EXISTING SOUTH RIGHT-OF-WAY LINE OF NOLANA AVENUE AND A CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 03° 16' 43", A RADIUS OF 7080.00 FEET, AN ARC LENGTH OF 405.14 FEET, A TANGENT OF 202.63 FEET, AND A CHORD THAT BEARS S 83° 13' 51" E A DISTANCE OF 405.09 FEET TO A NO. 5 REBAR FOUND TO A POINT ON THE WEST LINE OF AN EXISTING DRAIN DITCH RIGHT-OF-WAY FOR THE NORTHEAST CORNER OF THIS TRACT,
- THENCE, S 08° 32' 19" W ALONG THE WEST LINE OF SAID EXISTING DRAIN DITCH RIGHT-OF-WAY, A DISTANCE OF 612.54 FEET TO THE POINT OF BEGINNING AND CONTAINING 5.842 ACRES OF LAND, MORE OR LESS

GENERAL NOTES.

- THIS SUBDIVISION IS IN FLOOD ZONE "B" DEFINED AS AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD, OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE(1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE, OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD
- MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE THE FRONT TOP OF CURB MEASURED FROM THE CENTER OF THE LOT ALONG NOLANA AVENUE
- MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF McALLEN ZONING CODE
- FRONT - NOLANA AVENUE 60 FEET OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS
N. 27th 1/2 STREET 30 FEET OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS
- REAR - IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS, WHICHEVER IS GREATER.
LOTS 1 & 2 SHALL HAVE 5 FEET REAR YARD FROM THE COMMON ACCESS EASEMENT/DRIVE
- INTERIOR SIDES - IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS
EXCEPT 30 FEET FROM THE COMMON ACCESS EASEMENT LINE ON THE EAST SIDE OF LOT 1 AND THE WEST SIDE OF LOT 2
- CORNER - N. 27th 1/2 STREET 30 FEET OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS, WHICHEVER IS GREATER
N. 27th STREET 25 FEET OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS
- REQUIRED DETENTION FOR STORM SEWER RUNOFF AS PER THE APPROVED DRAINAGE REPORT.
LOT 1 = 18,103 CUBIC FEET, LOT 2 = 11,618 CUBIC FEET, LOT 3 = 28,391 CUBIC FEET
- CITY OF McALLEN BENCHMARK "MC65" FROM THE CITY OF McALLEN G.P.S. REFERENCE MARKS LIST PREPARED BY ARANDA & ASSOCIATES IN OCTOBER, 1999 BEING LOCATED AT THE NORTHWEST CORNER OF 23rd STREET AND DAFFODIL STREET ELEVATION = 120.15 (NAVD83)
- TEMPORARY BENCHMARK SQUARE CUT SET ON TOP OF INLET LOCATED CLOSE TO THE NORTHEAST CORNER OF THIS SUBDIVISION ALONG THE SOUTH SIDE OF NOLANA AVENUE. GEODETIC G.P.S. TEXAS STATE PLANE GRID COORDINATE SYSTEM NAD 83 TEXAS SOUTH 4205 ELEVATION PER NAVD 89 (GEOID 2003) N=16612900.525 E=1068193.104 ELEV = 117.88
- AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF McALLEN ENGINEERING DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT
- NO BUILDING ALLOWED OVER ANY EASEMENT.
- NO RECORDED EASEMENT FOUND FOR THE TRAFFIC CONTROL BOX, TRAFFIC LIGHT POLES, OVERHEAD ELECTRIC, AND POWER POLE ALONG THE NORTH LINE OF SUBJECT TRACT. A TEN FOOT UTILITY EASEMENT IS DEDICATED BY THIS PLAT TO COVER THESE UTILITIES
- NO RECORDED EASEMENT FOUND FOR THE POWER POLE, OVERHEAD ELECTRIC, AND GUY WIRES FOUND CLOSE TO THE SOUTHEAST CORNER OF SUBJECT TRACT. A TEN FOOT UTILITY EASEMENT IS DEDICATED BY THIS PLAT TO COVER THESE UTILITIES
- 6 FEET OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, OR INDUSTRIAL ZONES/USES
- 8 FEET MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES AND ALONG N. 27th STREET
- 14 NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG N. 27th STREET
- 15 SITE PLAN MUST BE APPROVED BY THE PLANNING AND ZONING COMMISSION PRIOR TO BUILDING PERMIT ISSUANCE
- 16 PRIVATE, COMMON ACCESS EASEMENTS ARE FOR THE BENEFIT OF ALL LOTS
- 17 A 25' x 25' SITE OBSTRUCTION EASEMENT IS REQUIRED AT ALL STREET INTERSECTIONS

THIS PLAT APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO 1
ON THIS THE 19th DAY OF March, 2015

ATTEST
[Signature] SECRETARY
[Signature] PRESIDENT

NOTE: HIDALGO COUNTY IRRIGATION DISTRICT NO 1 WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION IF DESIRED, THIS WILL NOT BE AT THE DISTRICTS EXPENSE, ALSO THERE WILL NOT BE ANY PERMANENT STRUCTURES ON DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS

THE STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE NOLANA CROSSING SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN

[Signature]
SPAZIO HOMES, LTD.
LCC DEVELOPMENT, LLC AS GENERAL PARTNER
JORGE PALAU, MANAGER
2201 S. JACKSON ROAD
UNIT 43-G
PHARR, TEXAS 78577

DATE 4/1/2015

THE STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jorge Palau KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE 12th DAY OF April, 2015

[Signature]
NOTARY PUBLIC FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES

[Seal] LISA SAEI
NOTARY PUBLIC
STATE OF TEXAS
MY COMMISSION EXPIRES

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED

[Signature]
CHAIRMAN, PLANNING AND ZONING COMMISSION

DATE 5/14/2015

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED

[Signature]
MAYOR CITY OF McALLEN

DATE 5/27/15

THE STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT

DATED THIS THE 13th DAY OF March, 2015

[Signature]
MARIO A. REYNA, PROFESSIONAL ENGINEER No 97421
STATE OF TEXAS

DATE PREPARED 05-09-14
ENGINEERING JOB NO 14071 00

[Seal] MILDEN & HUNT, INC.
TEXAS REGISTRATION F-1435
STATE OF TEXAS
MARIO A. REYNA
117355
LICENSED PROFESSIONAL ENGINEER

THE STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND

DATED THIS THE 16th DAY OF March, 2015

[Signature]
FRED L. KURTH, R.P.L.S. # 4750
DATE SURVEYED 05-09-14
DATE PREPARED 06-09-14
1-972, PG. 12-13
SURVEYING JOB NO 14071 08

[Seal] STATE OF TEXAS
REGISTERED
FRED L. KURTH
4750
PROFESSIONAL LAND SURVEYOR

HIDALGO COUNTY DRAINAGE DISTRICT NO 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX WATER CODE §49.214(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS

HIDALGO COUNTY DRAINAGE DISTRICT NO 1
BY [Signature]
DATE 06/01/15

FILE FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO JR.
HIDALGO COUNTY CLERK

ON 6-3-15 AT 3:02 AM (P)
INSTRUMENT NUMBER 2616811
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY [Signature] DEPUTY

SUB2021-0107



City of McAllen
Planning Department
**APPLICATION FOR
SUBDIVISION PLAT REVIEW**

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project Description	Subdivision Name <u>G. A. Beauty & Barron Plaza Subdivision</u> Location <u>SOUTHWEST CORNER OF THE INTERSECTION OF N. MILE 3 ROAD & N. BENTSEN ROAD</u> City Address or Block Number <u>4401 BUDDY OWENS BLVD</u> Number of lots <u>1</u> Gross acres <u>4.254</u> Net acres <u>3.558</u> Existing Zoning <u>C-3</u> Proposed <u>C-3</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____ Existing Land Use <u>VACANT</u> Proposed Land Use <u>COMMERCIAL</u> Irrigation District # <u>UNITED</u> Residential Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Agricultural Tax Exempt Yes <input type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due _____ Parcel No. _____ Tax Dept. Review _____ Legal Description <small>THE EAST 206 FEET OF THE NORTH 986.45 FEET OF LOT 328, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS OF HIDALGO COUNTY, TEXAS. SAVE AND EXCEPT THAT PORTION CONVEYED TO THE CITY OF McALLEN IN WARRANTY DEED DATED SEPTEMBER 24, 2001, RECORDED ON SEPTEMBER 25, 2001, UNDER DOCUMENT NO. 1010486, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.</small>
Owner	Name <u>GUADALUPE CRECENCIA RAYON</u> Phone _____ Address <u>2320 N. 36TH STREET</u> City <u>MCALLEN</u> State <u>TEXAS</u> Zip <u>78501</u> E-mail _____
Developer	Name <u>GUADALUPE CRECENCIA RAYON</u> Phone _____ Address <u>2320 N. 36TH STREET</u> City <u>MCALLEN</u> State <u>TEXAS</u> Zip <u>78501</u> Contact Person <u>NAYELY ASCENCIO</u> E-mail _____
Engineer	Name <u>RIO DELTA ENGINEERING</u> Phone <u>956-380-5152</u> Address <u>921 S. 10TH AVENUE</u> City <u>EDINBURG</u> State <u>TEXAS</u> Zip <u>78539</u> Contact Person <u>IVAN GARCIA P.E., R.P.L.S.</u> E-mail <u>RIODELTA2004@YAHOO.COM</u>
Surveyor	Name <u>RIO DELTA ENGINEERING</u> Phone <u>956-380-5152</u> Address <u>921 S. 10TH AVENUE</u> City <u>EDINBURG</u> State <u>TEXAS</u> Zip <u>78539</u>

ENTERED

SEP 27 2021

Initial: NM

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- _____ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- _____ Title Report
- _____ 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies
- _____ 2 Location Maps
- _____ 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- _____ 6 Folded blueline prints of the proposed plat
- _____ 2 Warranty Deeds (Identifying owner on application)
- _____ Autocad 2005 DWG file and PDF of plat
- _____ Letter of Authorization from the owner, if applicable
- _____ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 1/2" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature _____ Date 9/24/21

Print Name Ivan Garcia P.E., R.P.L.S.

Owner ☐

Authorized Agent ☒

ENTERED

SEP 27 2021

Initial: IG

LOCATION

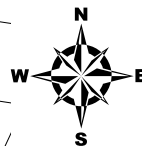
PROPOSED G.A. BEAUTY & BARRERA PLAZA
SUBDIVISION

245

**MCALLEN PUBLIC
SUBDIVISION**

McALLEN

103



DATE OF PREPARATION: DECEMBER 2, 2021

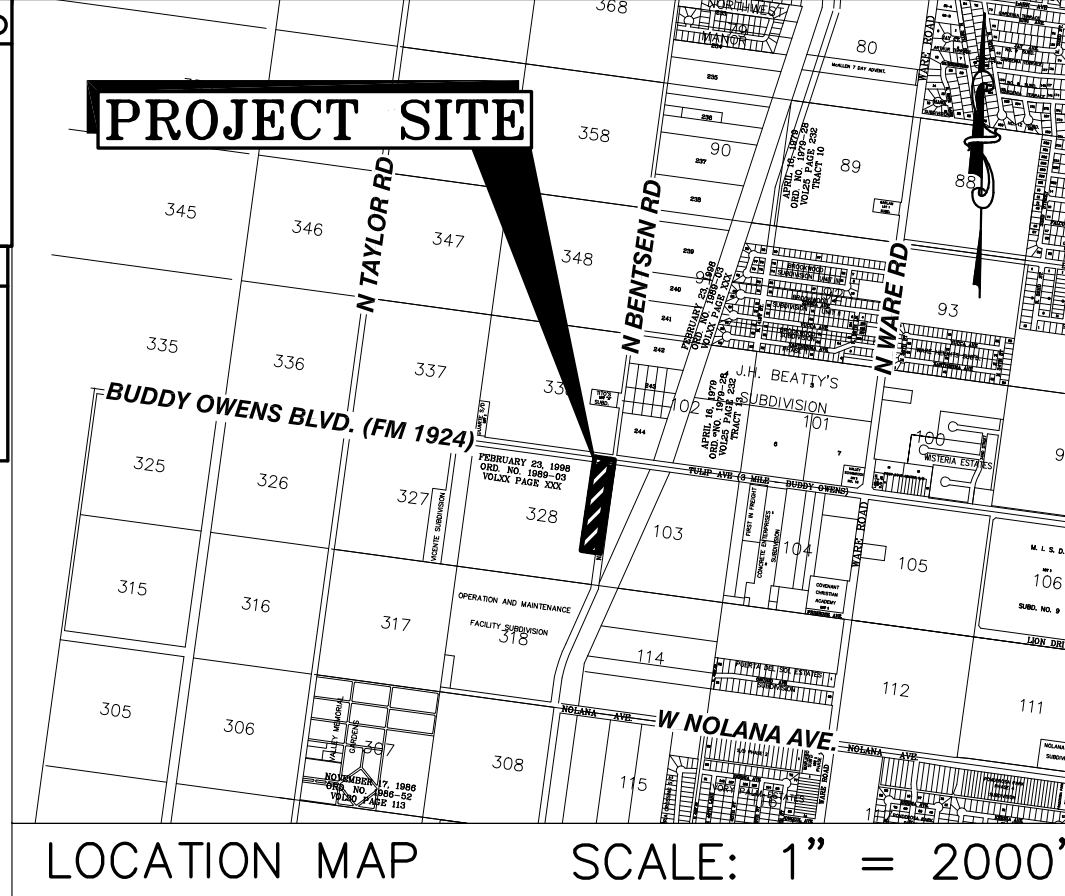
G.A. BEAUTY & BARBER PLAZA SUBDIVISION

BEING A 4.25 ACRES TRACT OF LAND, SAME BEING THE EAST 206 FEET OF THE NORTH 986.45 FEET OF LOT 328, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, VOLUME 1, PAGE 17, MAP RECORDS OF HIDALGO COUNTY, TEXAS. SAVE AND EXCEPT THAT PORTION CONVEYED TO THE CITY OF MCALLEN IN WARRANTY DEED DATED SEPTEMBER 24, 2001, RECORDED ON SEPTEMBER 25, 2001, UNDER DOCUMENT #1010486, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS.

SCALE: 1" = 50'
BASIS OF BEARING
TEXAS STATE PLANE COORDINATES
NAD 83
TEXAS SOUTH ZONE (4205)
WESTERN DATA SYSTEMS NETWORK

ABBREVIATION LEGEND	
R.O.W.	RIGHT-OF-WAY
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCING
N.W.C.	NORTHWEST CORNER
F.T.	FARM TRACT
F.M.	FARM-TO-MARKET
U.E.	UTILITY EASEMENT
C.L.	CENTER LINE
L.O.	LOT LINE

LEGEND	
○	CAPPED 1/2" IRON ROD SET
●	1/2" IRON ROD FOUND
△	CALCULATED POINT
△	COTTON PICKER SPINDLE SET
X	"X" MARK SET IN CONCRETE



METES AND BOUNDS DESCRIPTION:

BEING A 4.25 ACRES TRACT OF LAND, MORE OR LESS, SAME BEING THE EAST 206 FEET OF THE NORTH 986.45 FEET OF LOT 328, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS OF HIDALGO COUNTY, TEXAS, SAVE AND EXCEPT THAT PORTION CONVEYED TO THE CITY OF MCALLEN IN WARRANTY DEED DATED SEPTEMBER 24, 2001, RECORDED ON SEPTEMBER 25, 2001, UNDER DOCUMENT #1010486, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS, SAID 4.25 ACRES TRACT BEING THE SAME LAND DESCRIBED IN A GENERAL WARRANTY DEED CONVEYED TO GUADALUPE CRECENCIA RAYON, DATED DECEMBER 21, 2020, RECORDED IN DOCUMENT #3178012, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS, AND SAID 4.25 ACRES TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SAID LOT 328, SAME BEING THE POINT OF INTERSECTION BETWEEN THE CENTERLINES OF N. BENTSEN ROAD (80.00 FOOT RIGHT-OF-WAY) AND BUDDY OWENS BOULEVARD (FM 1924) (100 FOOT RIGHT-OF-WAY), FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE S 8°28'10" W ALONG THE EAST LINE OF THE SAID LOT 328, SAME BEING ALONG THE CENTERLINE OF N. BENTSEN ROAD, FOR A DISTANCE OF 986.46 FEET TO A COTTON-PICKER-SPINDLE SET, FOR THE MOST EASTERLY SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 81°22'01" W ACROSS THE SAID LOT 328, SAME BEING PARALLEL TO THE NORTH LINE OF THE SAID LOT 328, FOR A DISTANCE OF 20.00 FEET TO A COTTON-PICKER-SPINDLE SET, FOR AN OUTER CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 8°28'10" E ACROSS THE SAID LOT 328, SAME BEING PARALLEL TO THE EAST LINE OF THE SAID LOT 328, SAME BEING ALONG THE EAST LINE OF A CALLED 0.4116 ACRE TRACT DESCRIBED IN A WARRANTY DEED CONVEYED TO THE CITY OF MCALLEN, DATED SEPTEMBER 24, 2001, RECORDED IN DOCUMENT #1010486, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS, FOR A DISTANCE OF 886.45 FEET TO A COTTON-PICKER-SPINDLE SET, FOR AN INNER CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 36°28'04" W ACROSS THE SAID LOT 328, SAME BEING ALONG THE CENTERLINE OF N. BENTSEN ROAD, FOR AN INNER CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE S 8°28'10" W ACROSS THE SAID LOT 328, SAME BEING PARALLEL TO THE EAST LINE OF THE SAID LOT 328, SAME BEING ALONG THE WEST LINE OF THE SAID 0.4116 ACRES TRACT CONVEYED TO THE CITY OF MCALLEN, FOR A DISTANCE OF 906.46 FEET TO A 1/2-INCH CAPPED IRON ROD SET, FOR AN OUTER CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 81°22'01" W ACROSS THE SAID LOT 328, SAME BEING PARALLEL TO THE NORTH LINE OF THE SAID LOT 328, SAME BEING ALONG THE NORTH LINE OF A CALLED 1.735 ACRES TRACT DESCRIBED IN A DEED WITHOUT WARRANTY CONVEYED TO GEORGE MORALES JR., DATED JUNE 16, 2014, RECORDED IN DOCUMENT #522732, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS, FOR A DISTANCE OF 166.00 FEET TO A 1/2-INCH CAPPED IRON ROD SET, FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 8°28'10" E ACROSS THE SAID LOT 328, SAME BEING PARALLEL TO THE EAST LINE OF THE SAID LOT 328, PASSING AT 936.46 FEET A 1/2-INCH IRON ROD FOUND ON THE SOUTH RIGHT OF WAY LINE OF BUDDY OWENS BOULEVARD (FM 1924), FOR A TOTAL DISTANCE OF 986.46 FEET TO A COTTON-PICKER-SPINDLE SET, FOR NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE S 81°22'01" E ALONG THE NORTH LINE OF THE SAID LOT 328, SAME BEING ALONG THE CENTERLINE OF N. BENTSEN ROAD, FOR A DISTANCE OF 206.00 FEET TO THE POINT AND PLACE OF BEGINNING, SAID TRACT CONTAINING 4.25 ACRES OF LAND, MORE OR LESS, OUT OF WHICH 0.48 ACRES ARE LOCATED WITHIN THE SAID RIGHT-OF-WAY OF N. BENTSEN ROAD AND 0.22 ACRES ARE LOCATED WITHIN THE SAID RIGHT-OF-WAY OF BUDDY OWENS BOULEVARD (FM 1924).

GENERAL PLAT NOTES:

- MINIMUM PERMISSIBLE FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB IN FRONT OF THE CENTER-POINT OF THE LOT.
- MINIMUM BUILDING SETBACKS SHALL BE AS FOLLOWS:
BUDDY OWENS BLVD: 60 FT. OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN; OR IN LINE WITH EXISTING STRUCTURES. (FM 1924)
REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN. 5 FT. SETBACK FROM ALLEY/SERVICE DRIVE REQUIRED.
N BENTSEN RD: 50 FT. OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN; OR IN LINE WITH EXISTING STRUCTURES.
SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.
- THE SUBDIVISION IS IN ZONE "C" (NO SHADING), AREAS OF MINIMAL FLOODING, MAP COMMUNITY PANELS NO.: 480334 0400 C MAP REVISED: NOVEMBER 2, 1982.
- A DRAINAGE DETENTION OF 40,535 CF OR 0.931 ACRE FEET IS REQUIRED FOR LOT 1 AND LOT 2. DETENTION SHALL COMPLY WITH MASTER DRAINAGE PLAN. THE CITY OF MCALLEN WILL NOT MAINTAIN DETENTION AREA.
- ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT, PRIOR TO ISSUANCE OF BUILDING PERMIT. GRADING MUST COMPLY WITH MASTER PLAN.
- EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, SHEDS, SHRUBS, TREES, AND OTHER PLANTINGS (EXCEPT LOW GROUND COVER, GRASS OR FLOWERS) AND OTHER OBSTRUCTIONS TO THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- THE CITY OF MCALLEN TO HAVE A 25'X25' CORNER CLIP EASEMENT AT STREET INTERSECTIONS MEASURED FROM STREET CURB INTERSECTION.
- 4 FT. WIDE MINIMUM SIDEWALK REQUIRED ON NORTH BENTSEN ROAD & 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ALONG BUDDY OWENS BOULEVARD (FM 1924).
- CITY OF MCALLEN BENCHMARK (BENTSEN) SET BY ARANDA & ASSOC. STAINLESS STEEL, 3/8" BOLT, COVERED WITH AN ALUMINUM LOGO CAP LOCATED INSIDE MCALLEN PUBLIC WORKS, (BENTSEN RD.) & SOUTH OF 3 MILE LINE. ELEV. 123.99 NAVD 88
- 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES AND ALONG NORTH BENTSEN ROAD & BUDDY OWENS BOULEVARD (FM 1924) AS MAY BE APPLICABLE.
- ALL UTILITY AND DRAINAGE EASEMENTS TO BE DEDICATED BY THIS PLAT, UNLESS STATED OTHERWISE.
- A PRIVATE SERVICE DRIVE EASEMENT WILL BE ESTABLISHED AS PART OF THE SITE PLAN AND WILL BE MAINTAINED BY THE LOT OWNER AND NOT THE CITY OF MCALLEN.

OWNER'S ACKNOWLEDGMENT

STATE OF TEXAS

COUNTY OF HIDALGO

(WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE **G.A. BEAUTY & BARBER PLAZA SUBDIVISION**, DO HEREBY GRANT AN ACCESS AND UTILITY EASEMENT TO THE CITY OF MCALLEN AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE USE OF THE STREETS, ALLEYS, AND EASEMENTS THEREON SHOWN, SURFACE USE OF THE STREETS AND ALLEYS ARE RESTRICTED TO THE EMPLOYEES AND AGENTS OF THE CITY OF MCALLEN, TO THE EMPLOYEES OF THE UTILITY OPERATING UNDER FRANCHISE TO THE CITY OF MCALLEN, AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. ADDITIONAL PUBLIC RIGHT-OF-WAY FOR NORTHGATE LANE IS BEING DEDICATED BY THIS PLAT.

GUADALUPE C. REYON
2320 N. 36TH STREET
MCALLEN, TX 78501

STATE OF TEXAS

COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **GUADALUPE C. REYON**, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF ____ 2021.

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS
MY COMMISSION EXPIRES ____

PRINCIPAL CONTACTS:

NAME	ADDRESS	PHONE & FAX
OWNER(S): GUADALUPE C. REYON	2320 N. 36TH STREET MCALLEN, TX. 78501	
SURVEYOR: IVAN GARCIA	921 S. 10TH AVENUE EDINBURG, TX. 78539	(956) 380-5152 (956) 380-5083
ENGINEER: IVAN GARCIA	921 S. 10TH AVENUE EDINBURG, TX. 78539	(956) 380-5152 (956) 380-5083

STATE OF TEXAS

UNITED IRRIGATION DISTRICT

THIS PLAT IS HEREBY APPROVED BY THE UNITED IRRIGATION DISTRICT ON THIS THE ____ DAY OF ____ 2021.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

PRESIDENT _____ SECRETARY _____

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

STATE OF TEXAS

COUNTY OF HIDALGO

MAYOR'S CERTIFICATE

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CITY MAYOR _____ DATE _____

STATE OF TEXAS

COUNTY OF HIDALGO

PLANNING AND ZONING COMMISSION CHAIR CERTIFICATE

I, THE UNDERSIGNED, CHAIR OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

PLANNING AND ZONING CHAIR _____ DATE _____



FILED FOR RECORD IN
HIDALGO COUNTY
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

STATE OF TEXAS – COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MCALLEN AND HIDALGO COUNTY, TEXAS.

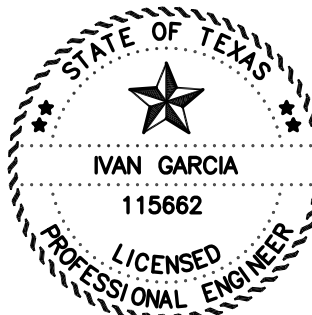
IVAN GARCIA P.E., R.P.L.S.
REG. PROFESSIONAL LAND SURVEYOR No. 6469
SURVEY FIRM No. 10194027



STATE OF TEXAS – COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.

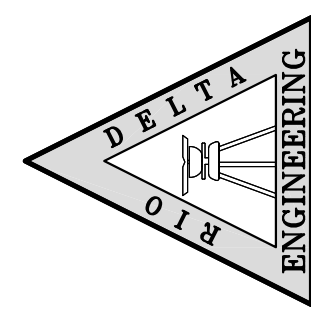
IVAN GARCIA P.E., R.P.L.S.
REG. PROFESSIONAL ENGINEER No. 115662



RIO DELTA ENGINEERING

FIRM REGISTRATION No. F-7628
SURVEY FIRM No. 10194027

921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083



ISSUED FOR:
FINAL

PLAT SHEET

G.A. BEAUTY & BARBER PLAZA SUBDIVISION

MCALLEN, TEXAS

HIDALGO COUNTY

PROJECT :

ENGINEER:	IVAN GARCIA P.E., R.P.L.S.
SURVEYOR:	IVAN GARCIA P.E., R.P.L.S.
CHECKED:	IVAN GARCIA P.E., R.P.L.S.
DRAWN:	DANIEL RODRIGUEZ
SCALE:	1" = 50'
DATE:	DECEMBER 2, 2021
PROJECT:	SUB 21 014
REVISIONS:	
PAGE NO.:	SHT 1



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/11/2022

SUBDIVISION NAME: G.A. BEAUTY & BARBER PLAZA

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Buddy Owens Boulevard (FM 1924): 10 ft. dedication for 60 ft. from centerline for 120 ft. of total ROW

Paving: By the state Curb & gutter: By the state

****COM Thoroughfare Plan

North Bentsen Road: 10 ft. dedication for 50 ft. from centerline for 100 ft. total ROW

Paving: 65 ft. Curb & gutter: Both sides

**Monies must be escrowed if improvements are not built prior to recording.

***Label sliver of land shown east of the land dedicated to the City (Doc. 1010486). Please clarify if it is being dedicated by this plat.

****COM Thoroughfare Plan

Paving _____ Curb & gutter _____

* 800 ft. Block Length:

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac

**Subdivision Ordinance: Section 134-105

Required

Required

Applied

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial properties

**20 ft. by 20 ft. clip required at street/alley intersections.

***A private service drive will be established as part of the site plan and will be maintained by the lot owner and not the City of McAllen.

Required

SETBACKS

* Front: Buddy Owens Boulevard (FM 1924): 60 ft. or greater for easements or approved site plan; or in line with existing structures.

North Bentsen Road: 50 ft. or greater for easements or approved site plan; or in line with existing structures.

****Zoning Ordinance: Section 138-356

* Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan.

** 5 ft. setback from alley/service drive required.

***Zoning Ordinance: Section 138-356

Interior Sides: In accordance with Zoning Ordinance or greater for easements or approved site plan.

***Zoning Ordinance: Section 138-356

* Corner: see above.

*****Zoning Ordinance: Section 138-356

* Garage:

*****Zoning Ordinance: Section 138-356

Applied

Applied

Applied

NA

NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 4 ft. wide minimum sidewalk required on North Bentsen Road and 5 ft. sidewalk required along Buddy Owens Boulevard (FM 1924) **Sidewalk requirements for North Bentsen Road might increase to 5 ft. prior to final subject to Engineering Department requirements. ***Subdivision Ordinance: Section 134-120	Applied
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along North Bentsen Road and Buddy Owens Boulevard (FM 1924) as may be applicable. **Please clarify if this will be proposed. **Landscaping Ordinance: Section 110-46	Required
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. ***Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
NOTES	
* No curb cut, access, or lot frontage permitted along. **As per Traffic Department, Access Variance might be required during site plan review once accesses location has been determined.	Required
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	Required
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	Required
* Common Areas, any private streets/drives, private alleys must be maintained by the lot owners and not the City of McAllen ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168	Required
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
LOT REQUIREMENTS	
* Minimum lot width and lot area ***Zoning Ordinance: 138-1	Compliance
* Lots fronting public streets. **Zoning Ordinance: Section. 138-356	Compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ZONING/CUP	
* Existing: C-3 Proposed: C-3 **Zoning Ordinance: Article V	Compliance
* Rezoning Needed Before Final Approval **Zoning Ordinance: Article V	NA
PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording.	NA
* Pending review by the Parkland Dedication Advisory Board and CC. As per Parks Department, requirements do not apply to commercial developments.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation approved; no TIA required.	Completed
* As per Traffic Department, Trip Generation approved; no TIA required.	NA
COMMENTS	
Comments: Must comply with City's Access Management Policy **Provide copies of documents SWSC Easement (Vol. 1243, Pg. 763) and Document #2194123 located on Buddy Owens for staff to review prior to final. ***A private service drive will be established as part of the site plan and will be maintained by the lot owner and not the City of McAllen	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED.	Applied

LOCATION



PROPOSED G.A. BEAUTY & BARRERA PLAZA
SUBDIVISION

245

103

328

338

BUDDY OWENS BLVD

BENTSEN

KINGDOM

AVE

SUBDIVISION

BARRERA

PRIMROSE AVE

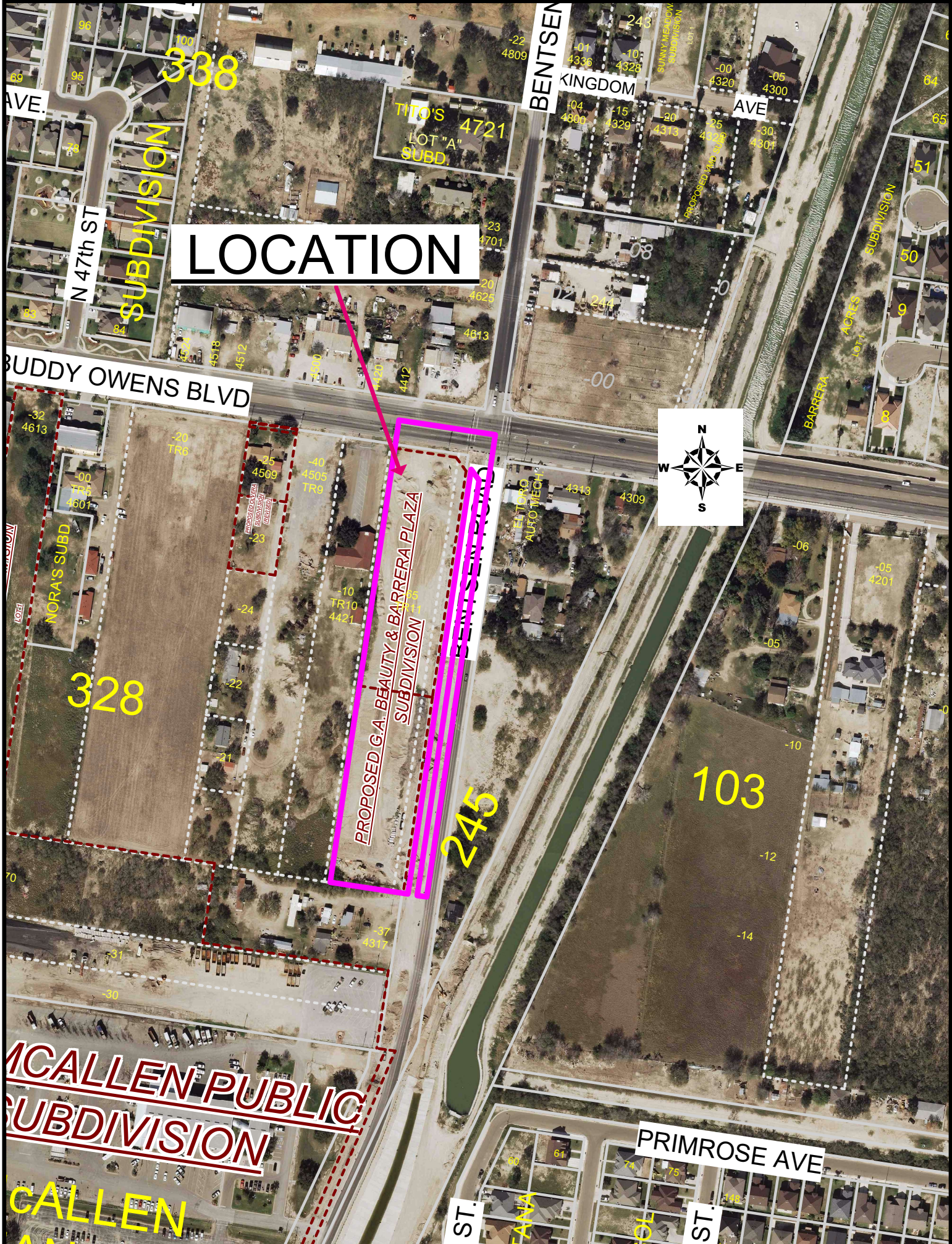
ST.

ST.

ST.

MCALLEN PUBLIC
SUBDIVISION

MCALLEN



SUB2021-0086



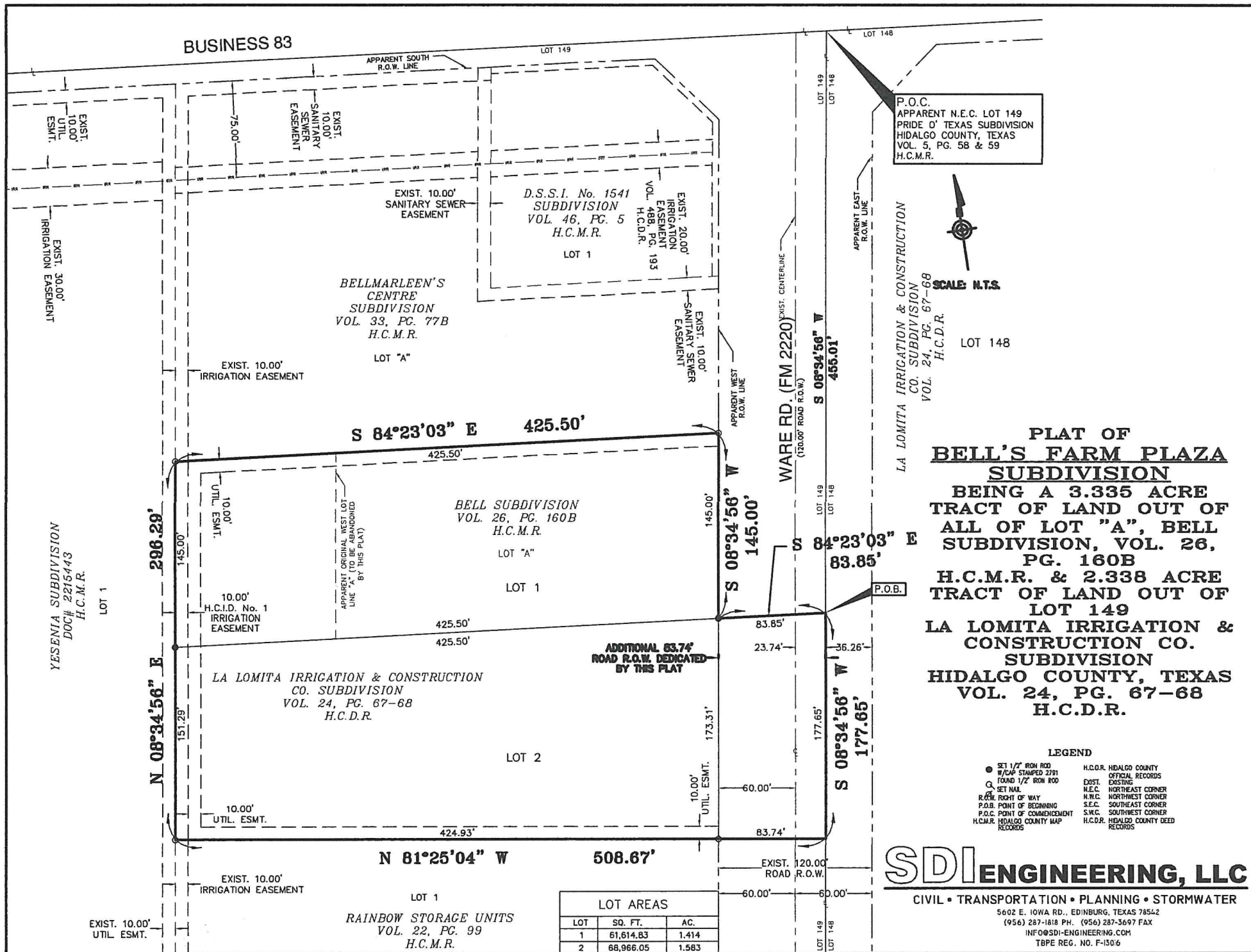
City of McAllen
Planning Department
**APPLICATION FOR
SUBDIVISION PLAT REVIEW**

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project Description	<p>Subdivision Name <u>Bell's Farm Plaza Subdivision</u></p> <p>Location <u>West side of Ware Road (FM 2220) approximately 330' south of US Bus 83</u></p> <p>City Address or Block Number <u>132 S. WARE RD</u></p> <p>Number of lots <u>2</u> Gross acres <u>3.335</u> Net acres <u>2.996</u></p> <p>Existing Zoning <u>X</u> Proposed _____ Rezoning Applied For <input type="checkbox"/> Yes <input type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>Comm</u> Proposed Land Use _____ Irrigation District # <u>1</u></p> <p>Residential Replat Yes <input type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due <u>None</u></p> <p>Parcel No. <u>211005</u> Tax Dept. Review _____</p> <p>Legal Description <u>Being a 3.335 acre tract of land out of all of Lot A, Bell Subd, Vol 26, Pg 160B</u> <u>& 2.338 acre tract of land out of Lot 149 La Lomita Irrigation & Construction Co. Subd Vol 24, Pg 67-68</u></p>
Owner	<p>Name <u>Robert L. Bell, Jr.</u> Phone <u>956-279-8468</u></p> <p>Address <u>2314 Orange St</u></p> <p>City <u>Mission</u> State <u>Tx</u> Zip <u>78574</u></p> <p>E-mail <u>bobbybell1948@gmail.com</u></p>
Developer	<p>Name <u>Robert L. Bell, Jr.</u> Phone <u>956-279-8468</u></p> <p>Address <u>2314 Orange St.</u></p> <p>City <u>Mission</u> State <u>Tx</u> Zip <u>78574</u></p> <p>Contact Person <u>Robert L. Bell, Jr.</u></p> <p>E-mail <u>bobbybell1948@gmail.com</u></p>
Engineer	<p>Name <u>SDI Engineering, LLC</u> Phone <u>956-287-1818</u></p> <p>Address <u>5602 E. Iowa Rd.</u></p> <p>City <u>Edinburg</u> State <u>Tx</u> Zip <u>78542</u></p> <p>Contact Person <u>Isael Posadas, P.E.</u></p> <p>E-mail <u>iposadas@sdi-engineering.com</u></p>
Surveyor	<p>Name <u>Homero Luis Gutierrez, R.P.L.S.</u> Phone <u>956-369-0988</u></p> <p>Address <u>P.O. Box 548</u></p> <p>City <u>McAllen</u> State <u>Tx</u> Zip <u>78505</u></p>

AUG 13 2021

Bfo CW



P.O.C.
APPARENT N.E.C. LOT 149
PRIDE O' TEXAS SUBDIVISION
HIDALGO COUNTY, TEXAS
VOL. 5, PG. 58 & 59
H.C.M.R.



SCALE: N.T.S.

**PLAT OF
BELL'S FARM PLAZA
SUBDIVISION**
BEING A 3.335 ACRE
TRACT OF LAND OUT OF
ALL OF LOT "A", BELL
SUBDIVISION, VOL. 26,
PG. 160B
H.C.M.R. & 2.338 ACRE
TRACT OF LAND OUT OF
LOT 149
LA LOMITA IRRIGATION &
CONSTRUCTION CO.
SUBDIVISION
HIDALGO COUNTY, TEXAS
VOL. 24, PG. 67-68
H.C.D.R.

LEGEND

- SET 1/2" IRON ROD
- W/CAP STAMPED 2791
- FOUND 1/2" IRON ROD
- Q SET NAIL
- R.O.W. RIGHT OF WAY
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- H.C.M.R. HIDALGO COUNTY MAP RECORDS
- H.C.D.R. HIDALGO COUNTY OFFICIAL RECORDS
- EXIST. EXISTING
- N.E.C. NORTHEAST CORNER
- N.W.C. NORTHWEST CORNER
- S.E.C. SOUTHEAST CORNER
- S.W.C. SOUTHWEST CORNER
- H.C.D.R. HIDALGO COUNTY DEED RECORDS

SDI ENGINEERING, LLC

CIVIL • TRANSPORTATION • PLANNING • STORMWATER

5602 E. IOWA RD., EDINBURG, TEXAS 78542
(956) 287-1818 PH. (956) 287-3697 FAX
INFO@SDI-ENGINEERING.COM
TBPE REG. NO. F-15016

LOT AREAS		
LOT	SQ. FT.	AC.
1	61,614.83	1.414
2	68,966.05	1.583



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/13/2022

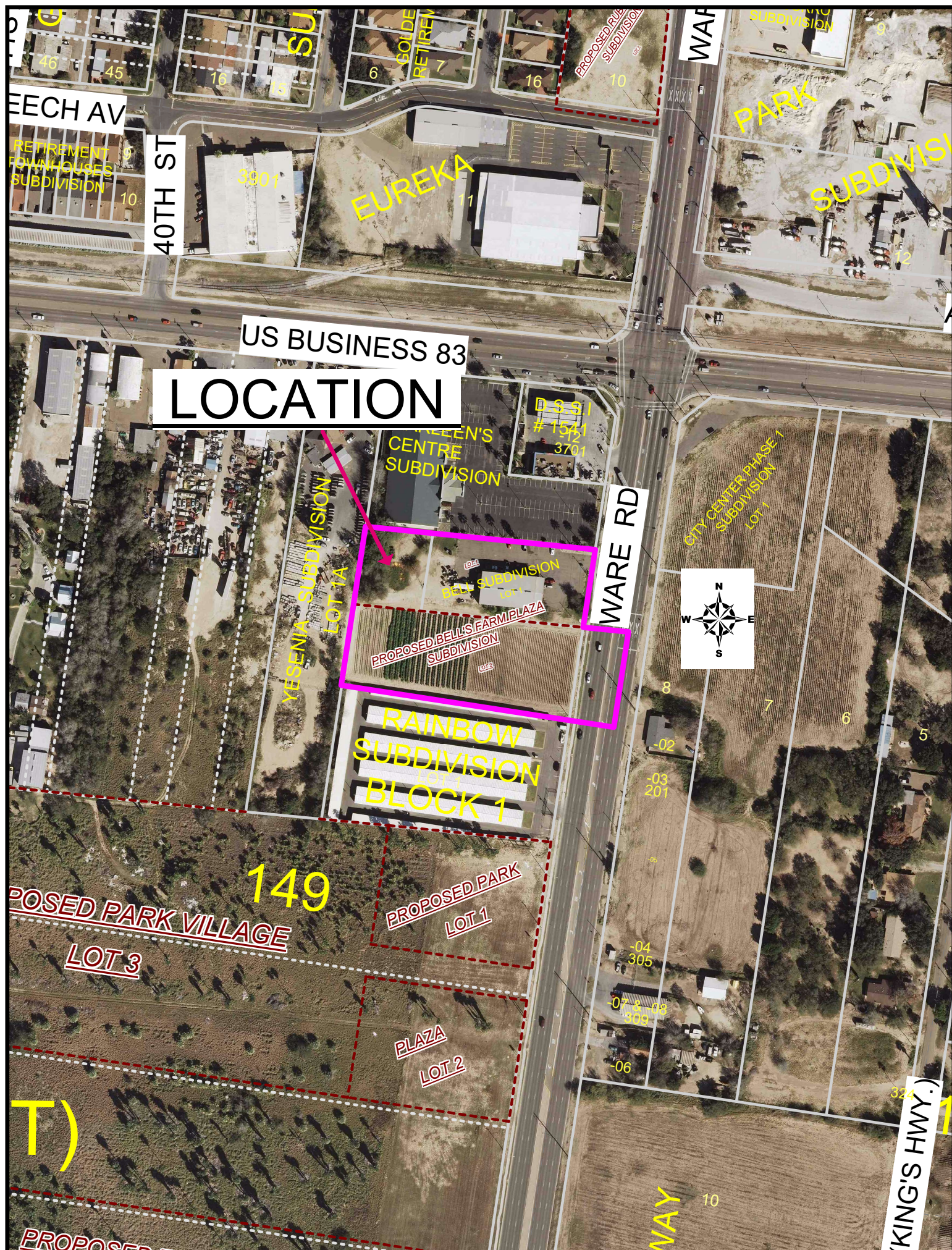
SUBDIVISION NAME: BELL'S FARM PLAZA SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
N. Ware Road (FM 2220): 120 ft. total ROW Paving: by the state Curb & gutter: by the state **City of McAllen Thoroughfare Plan	Applied
Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Applied
* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118	NA
* 900 ft. Block Length for R-3 Zone Districts. **Subdivision Ordinance: Section 134-118	NA
* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105	NA
ALLEYS	
ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Service road will be required to be provided at time of site plan. Plat will be required on plat prior to recording. **Subdivision Ordinance: Section 134-106	Required
SETBACKS	
* Front: In accordance with the Zoning Ordinance or greater for approved site plan, easements or in line with average setback. **Please revise plat note #1 as shown above. ***Zoning Ordinance: Section 138-356	Required
* Rear: In accordance with the Zoning Ordinance or greater for approved site plan, or easements. ****Please revise plat note #1 as shown above. **Zoning Ordinance: Section 138-356	Required
* Sides: In accordance with the Zoning Ordinance or greater for approved site plan, or easements. ****Please revise plat note #1 as shown above. **Zoning Ordinance: Section 138-356	Required
* Corner **Zoning Ordinance: Section 138-356	NA
* Garage **Zoning Ordinance: Section 138-356	NA
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SIDEWALKS	
* 5 ft. wide minimum sidewalk required on Ware Rd. **Subdivision Ordinance: Section 134-120	Applied
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Plat note required prior to recording. ***Landscaping Ordinance: Section 110-46	Required
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
NOTES	
* No curb cut, access, or lot frontage permitted along. **Must comply with City Access Management Policy	NA
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	Required
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	Required
* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.	Required
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Applied
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Applied
LOT REQUIREMENTS	
* Minimum lot width and lot area. **Zoning Ordinance: Section 138-356	Compliance
* Lots fronting public streets. **Subdivision Ordinance: Section 134-1	Compliance
ZONING/CUP	
* Existing: C-3 Proposed: C-3 **Zoning Ordinance: Article V	Compliance
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

PARKS	
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording	NA
TRAFFIC	
* As per Traffic Department, Trip Generation approved; no TIA required.	Compliance
* As per Traffic Department, Trip Generation approved; no TIA required.	Complete
COMMENTS	
Comments: *Must comply with City's Access Management Policy. **Remove reference "Apparent original west Lot Line A (To be abandoned by this plat)" since is not required. **Clarify status of existing contractual agreement with Utilities Department prior to recording. ***Subdivision name subject to change prior to recording.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED.	Applied



SUB2021-0149



City of McAllen
Planning Department
APPLICATION FOR

SUBDIVISION PLAT REVIEW

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project Description	<p>Subdivision Name <u>SHARYLAND BUSINESS PARK NO. 10</u> <small>APPROXIMATELY 0.35 MILES South of FM1016 & FM494</small> Location <u>INTERSECTION ON THE EAST SIDE OF FM494 FRONTAGE</u> City Address or Block Number <u>N/A</u> Number of lots <u>3</u> Gross acres <u>40.816</u> Net acres <u>34.77</u> Existing Zoning <u>I-1</u> Proposed <u>I-1</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date <u>N/A</u> Existing Land Use <u>AGRI</u> Proposed Land Use <u>LIGHT INDUSTRIAL</u> Irrigation District # <u>N/A</u> Residential Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due _____ Parcel No. <u>PROPIDs: 280770 & 280771</u> Tax Dept. Review _____ <small>JOHN H SHARY ALL LOT 45 EXC N20'-E1273.44' & 1.82AC R/R R/O/W</small> Legal Description <u>44.74AC GR 44.03AC NET</u></p>
Owner	<p>Name <u>CASCADE REAL. Operating LP.</u> Phone <u>(956) 724-7141 EXT. 212</u> Address <u>4302 UNIVERSITY BLVD</u> City <u>LAREDO</u> State <u>TX</u> Zip <u>78041</u> E-mail <u>RGORTIZ@KILLAMCO.COM</u></p>
Developer	<p>Name <u>KILLAM DEVELOPMENT, LTD</u> Phone <u>(956) 337-3880</u> Address <u>4302 UNIVERSITY BLVD</u> City <u>LAREDO</u> State <u>TX</u> Zip <u>78041</u> Contact Person <u>ROLANDO G ORTIZ, PHD</u> E-mail <u>RGORTIZ@KILLAMCO.COM</u></p>
Engineer	<p>Name <u>HALFF ASSOCIATES, INC</u> Phone <u>(956) 445-5205</u> Address <u>5000 W MILITARY HWY, STE 100</u> City <u>McALLEN</u> State <u>TX</u> Zip <u>78503</u> Contact Person <u>ANDREW A SALINAS, PE, SIT</u> E-mail <u>ASALINAS@HALFF.COM</u></p>
Surveyor	<p>Name <u>HALFF ASSOCIATES, INC</u> Phone <u>(956) 445-5254</u> Address <u>5000 W MILITARY HWY, STE 100</u> City <u>McALLEN</u> State <u>TX</u> Zip <u>78503</u></p>

ENTERED

DEC 22 2021

Initial: NM

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- X** \$225 Preliminary Review Fee and \$75 Final Approval Fee
- TO BE PROVIDED
- X** Title Report
- X** 8 ½" by 11" Original Sealed Survey showing existing structures/ easements or 3 blue-line copies
- X** 2 Location Maps
- X** 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- X** 6 Folded blue-line prints of the proposed plat
- X** 2 Warranty Deeds (Identifying owner on application)
- X** Autocad 2005 DWG file and PDF of plat
- Letter of Authorization from the owner, if applicable
- X** Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blue-line copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 12-17-21

Print Name Radcliffe Killam II

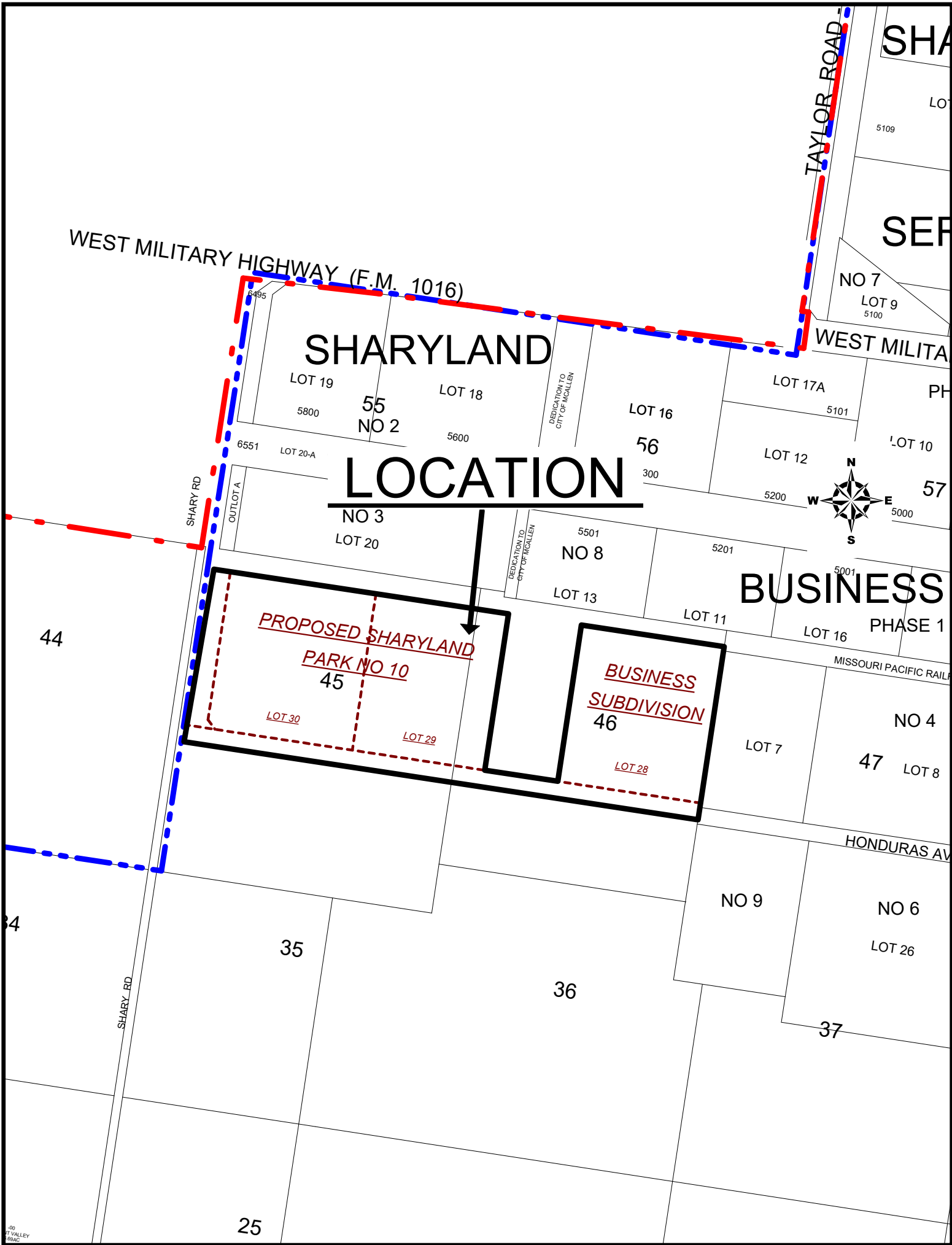
Owner ☒

Authorized Agent ☐

ENTERED

10/19 DEC 22 2021

Initial: RM



SHARYLAND

LOCATION

BUSINESS

PROPOSED SHARYLAND
PARK NO 10
45

BUSINESS
SUBDIVISION
46

WEST MILITARY HIGHWAY (F.M. 1016)

TAYLOR ROAD

SHARY RD

NO 7
LOT 9
5100

WEST MILITARY

LOT 19
5800

LOT 18
5600

LOT 16
56

LOT 17A
5101

LOT 12
5200

LOT 10
57

NO 3
LOT 20

NO 8
5501

LOT 13

LOT 11

LOT 16

PHASE 1

MISSOURI PACIFIC RAIL

NO 4

47 LOT 8

LOT 7

HONDURAS AV

NO 9

NO 6

LOT 26

37

36

35

25





City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 12/30/2021

SUBDIVISION NAME: SHARYLAND BUSINESS PARK NO. 10

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

South Sharyland Road (FM 494): 60 ft. from centerline for 120 ft. ROW
Paving: 65 ft. Curb & gutter: Both Sides
**Include ROW on both sides of centerline and label total ROW, indicate ROW dedication by this plat
**Include ROW dedication ranges prior to final
**Revise all "Shary Rd." wording on plat as shown above
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan

Non-compliance

Honduras Ave: 80 ft. ROW dedication by this plat
Paving: 52 ft. Curb & gutter: Both Sides
**Subdivision Ordinance: Section 138-105
**Must escrow monies if improvements are not done prior to recording

Applied

N/S 1/4 Mile Collector Road: 60 ft. to 70 ft. ROW
Paving: 40 ft. to 44 ft. Curb & gutter: Both Sides
**Road might be required along east side of Lot 29. Staff will determine prior to final
**Subdivision Ordinance: Section 134-105
**Must escrow monies if improvements are not done prior to recording.

TBD

Paving _____ Curb & gutter _____

Applied

Paving _____ Curb & gutter _____

Applied

* 1,200 ft. Block Length
**Plat layout to be revised prior to final to comply with requirements.
**Subdivision Ordinance: Section 134-118
* 600 ft. Maximum Cul-de-Sac
**Subdivision Ordinance: Section 134-105

Non-compliance

Applied

ALLEYS

ROW: 20 ft. Paving: 16 ft.
*Alley/service drive easement required for commercial properties
**Subdivision Ordinance: Section 134-106

Non-compliance

SETBACKS

* Front (Honduras Ave.): In accordance with the zoning ordinance or in line with existing structure, or greater for easements or site plan, whichever is greater
**Please revise plat note as shown above
**Zoning Ordinance: Section 138-356
* Rear: In accordance with the zoning ordinance, or greater for easements or site plan.
**Zoning Ordinance: Section 138-356

Non-compliance

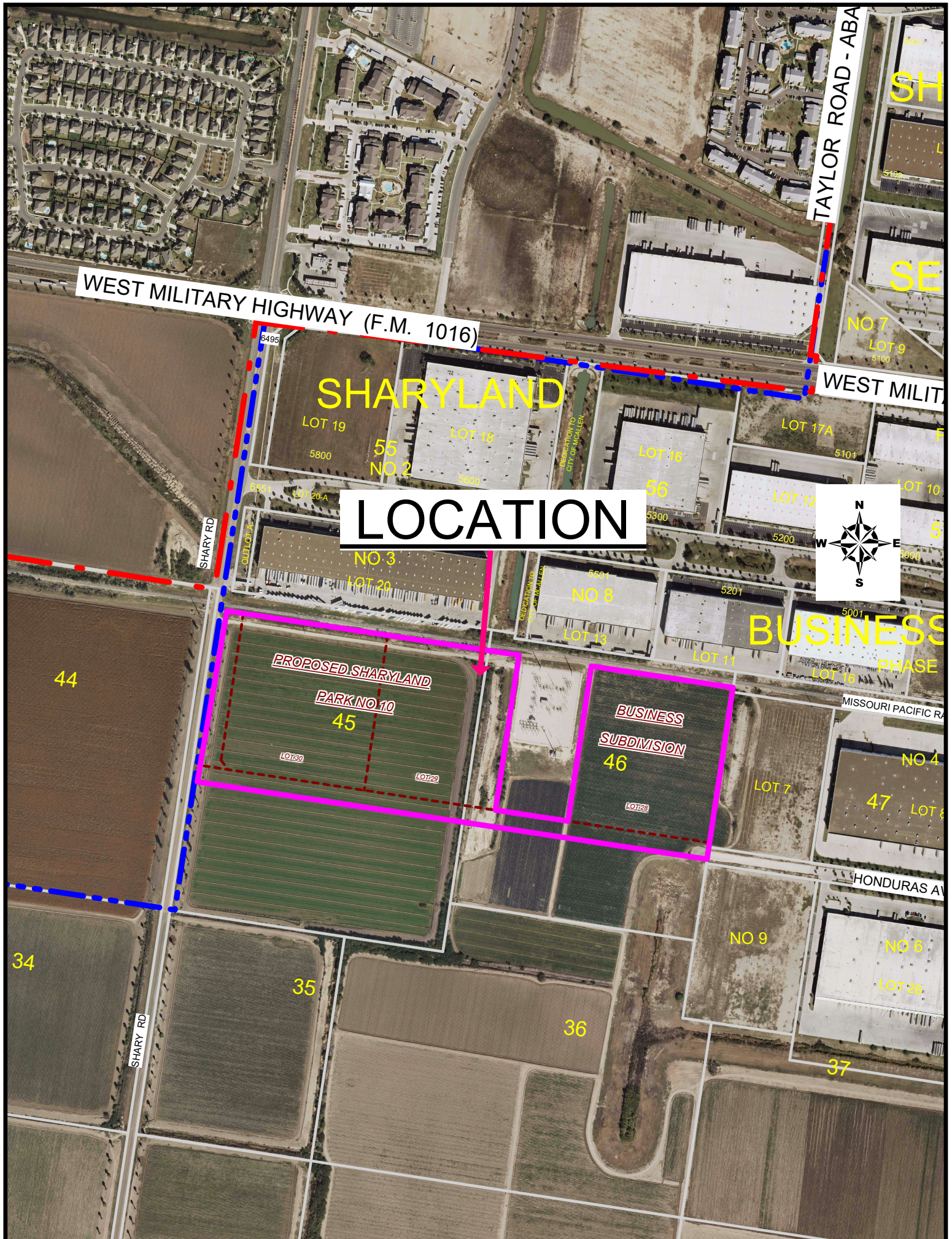
Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Sides: In accordance with the zoning ordinance, or greater for easements or site plan. **Zoning Ordinance: Section 138-356 * Corner: In accordance with the zoning ordinance, or greater for easements or site plan. **Please add plat note as shown above prior to final. **Zoning Ordinance: Section 138-356 * Garage **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN 	Applied
	Non-compliance
	NA
	Applied
SIDEWALKS	
<ul style="list-style-type: none"> *5 ft. wide minimum sidewalk required on S. Shary Road (FM 494) and 4 ft. wide minimum sidewalk required on Honduras Avenue and any applicable roads prior to final **5 ft. sidewalk along Honduras Ave. and any other internal streets might be required prior to final as per Engineering Department **Plat note #10 will need to be revised once sidewalk requirements are determined prior to final **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time. 	Non-compliance
	Applied
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements. 	Applied
	Applied
	Applied
NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along **Verify compliance with Access Management Policy prior to final * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	Applied
	Required
	Required
	Required
	NA
	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: 134-1	Compliance
* Minimum lot width and lot area **Zoning Ordinance: Section 138-356	Compliance
ZONING/CUP	
* Existing: I-1 Proposed: I-1 ***Zoning Ordinance: Article V	Compliance
* Rezoning Needed Before Final Approval **Zoning Ordinance: Article V	NA
PARKS	
* Land dedication in lieu of fee	NA
* Park Fee of \$700 per dwelling unit/lot to be paid prior to recording	NA
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation is required to determine if TIA is required, prior to final plat.	Non-compliance
* Traffic Impact Analysis (TIA) required prior to final plat.	TBD
COMMENTS	
Comments: *Must comply with City's Access Management Policy **Plat notes to also comply with City's Standards prior to final. *** Clarify prior to final if "St. Louis Brownsville & Mexico Railway ROW" will remain or proposed to be abandoned. Any abandonments must be finalized prior to final plat review.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, DRAINAGE AND UTILITIES APPROVAL.	Applied





City of McAllen
Planning Department
**APPLICATION FOR
SUBDIVISION PLAT REVIEW**

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project Description	Subdivision Name <u>Victory Landing Subdivision</u> Location <u>located on the north side of Mile 6 ROW, 490' west from intersection Glasscock Rd & Mile 6</u> City Address or Block Number <u>7000 MILE 6 RD</u> Number of lots <u>20</u> Gross acres <u>9.0</u> Net acres <u>7.73</u> Existing Zoning <u>ag</u> Proposed <u>R-2</u> Rezoning Applied For <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Date _____ Existing Land Use <u>vacant</u> Proposed Land Use <u>Duplex-4plex</u> Irrigation District # <u>16</u> Residential Replat Yes <input type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input type="checkbox"/> ETJ Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Agricultural Tax Exempt Yes <input type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due <u>0</u> Parcel No. <u>Prop ID 222525</u> Tax Dept. Review <u>Not in City McAllen No taxes King</u> Legal Description <u>9.00 acre gross, 7.73 acre net out of lot 452 John H. Shary Subdivision Vol 1, Pg 17, HCMR., Document # 187090, O.R.H.C.</u>
Owner	Name <u>Montemayor Enterprises LTD. - Rogelio Montemayor</u> Phone _____ Address <u>3601 N 38th St.</u> City <u>McAllen</u> State <u>TX</u> Zip <u>78501-336</u> E-mail _____
Developer	Name <u>Edgar Delgadillo - La Flor Del Valle</u> Phone <u>956-638-1577</u> Address <u>202-A Melba Carter</u> City <u>Mission</u> State <u>TX</u> Zip <u>78572</u> Contact Person _____ E-mail <u>evolvingbuilderLLC@gmail.com</u>
Engineer	Name <u>SAMES, INC.</u> Phone <u>956-702-8880</u> Address <u>200 S 10TH ST SUITE 1500</u> City <u>MCALLEN</u> State <u>TX</u> Zip <u>78501</u> Contact Person <u>JESSICA M. MALDONADO, P.E., P.M.P., C.F.M.</u> E-mail <u>jessica@samengineering-surveying.com or alex@samengineering-surveying.com</u>
Surveyor	Name <u>SAMES, INC.</u> Phone <u>956-702-8880</u> Address <u>200 S 10TH ST SUITE 1500</u> City <u>MCALLEN</u> State <u>TX</u> Zip <u>78501</u>

ENTERED

DEC 29 2021

Initial: DM

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ☒ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ☒ Title Report
- ☒ 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies
- ☒ 2 Location Maps
- ☒ 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- ☒ 6 Folded blueline prints of the proposed plat
- ☒ 2 Warranty Deeds (Identifying owner on application)
- ☒ Autocad 2005 DWG file and PDF of plat *emailed*
- ☒ Letter of Authorization from the owner, if applicable
- ☒ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ☒ Metes and bounds
- ☒ Lots numbered with dimensions and area of irregular lots noted
- ☒ Surrounding platted lots and/or lot lines for unplatted tracts
- ☒ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ☒ North arrow, scale and vicinity map
- ☒ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 1/2" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature *Jessica Maldonado* Date 12/10/21

Print Name Jessica Maldonado, PE, PMP, CFM

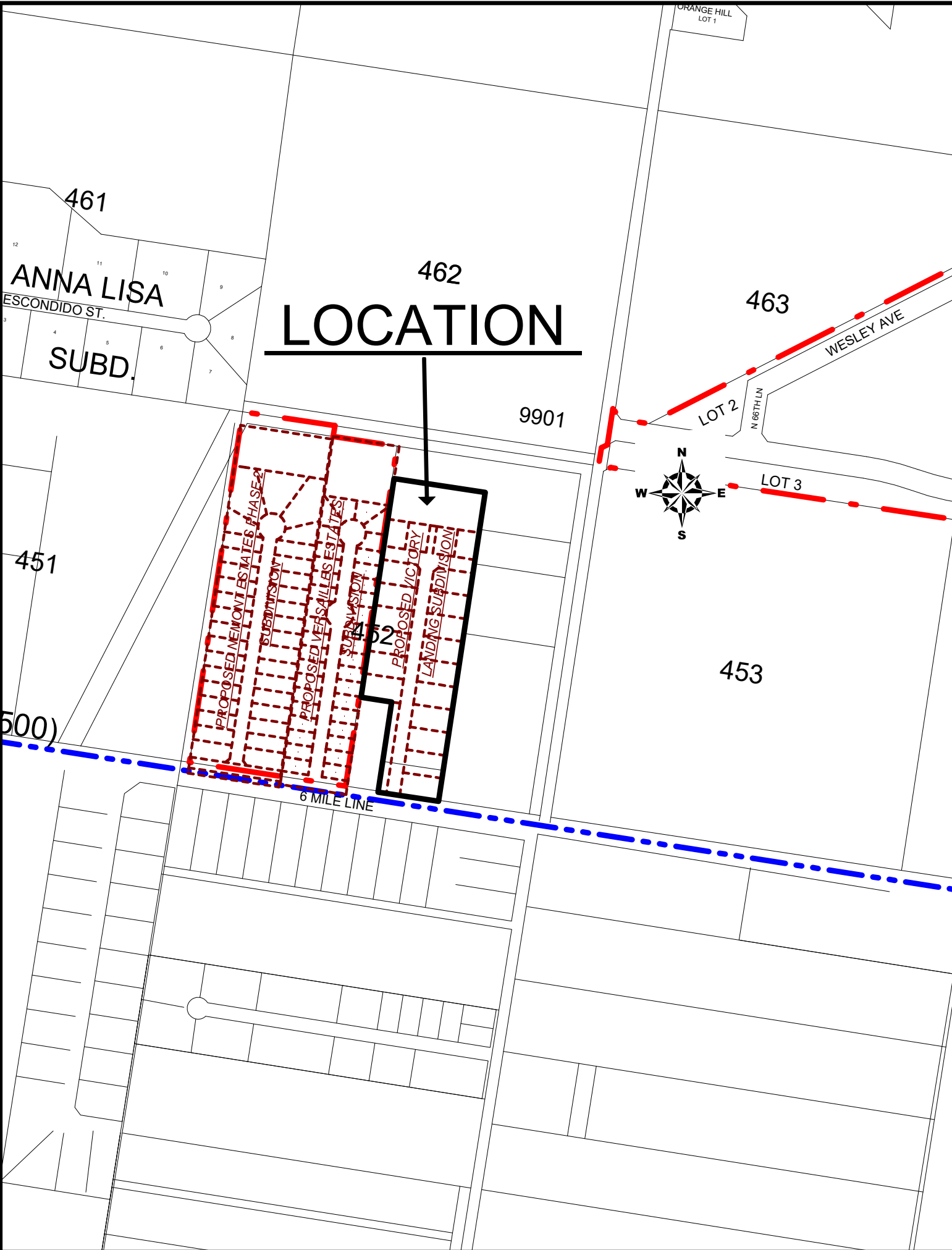
Owner ☐

Authorized Agent ☒

ENTERED

DEC 29 2021

Initial: JM
10/19



462

LOCATION

461

ANNA LISA

ESCONDIDO ST.

SUBD.

451

500)

9901

463

WESLEY AVE

LOT 2

LOT 3

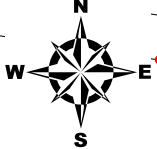
453

6 MILE LINE

PROPOSED NEMONT ESTATES PHASE 2
SUBDIVISION

PROPOSED VESAILLES ESTATES
SUBDIVISION

PROPOSED VICTORY
LANDING SUBDIVISION



ORANGE HILL
LOT 1



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/7/2022

SUBDIVISION NAME: VICTORY LANDING SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Mile 6 Road: 30 ft. dedication required for 50 ft. from centerline for 100 ft. total ROW
Paving: 65 ft. Curb & gutter: Both sides
**Monies must be escrowed if improvements are not constructed prior to recording.
***Label ROW on both sides of centerline and total ROW after accounting for ROW dedication to verify ROW dedication requirements prior to final.
****COM Thoroughfare Plan

Required

Internal Street (proposed Versailles Avenue): 60 ft.
Paving: 40 ft. Curb & gutter: Both sides
**Monies must be escrowed if improvements are not built prior to recording.
***Street name will be established prior to final plat.
****Detention Pond lot boundary line must be modified to be in line with the south property line of Lots 11-14. 25 ft. Access Road is not permitted.
*****Subdivision Ordinance: Section 134-105

Non-compliance

E/W 1/4 Collector Road along North Property Line: 60-70 ft. total ROW
Paving: 40-44 ft. Curb & gutter: Both sides
**Monies must be escrowed if improvements are not built prior to recording.
***Plat layout must be revised to comply with ROW dedication requirements prior to final.
****Please show total dimensions for drain ditch along north property line.
*****Please clarify if drain ditch is included within the subdivision boundaries since it appears to be a separate lot. If that is the case, lot is landlocked and subdivision layout must be modified prior to final to give frontage to this lot.
*****Road will align with properties to the west, and will be extended east when adjacent properties develop.
*****Barricades to be provided as required prior to recording on east end.
****Subdivision Ordinance: Section 134-105

Non-compliance

Paving _____ Curb & gutter _____

Applied

* 800 ft. Block Length:

Applied

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac.

Applied

****Subdivision Ordinance: Section 134-105

ALLEYS

ROW: 20 ft. Paving: 16 ft.
*Alley/service drive easement required for commercial properties
**Subdivision Ordinance: Section 134-106

NA

SETBACKS

* Front: 20 ft. or greater for easements.
****Revise plat note #3 as shown above prior to final.
**Zoning Ordinance: Section 138-356

Non-compliance

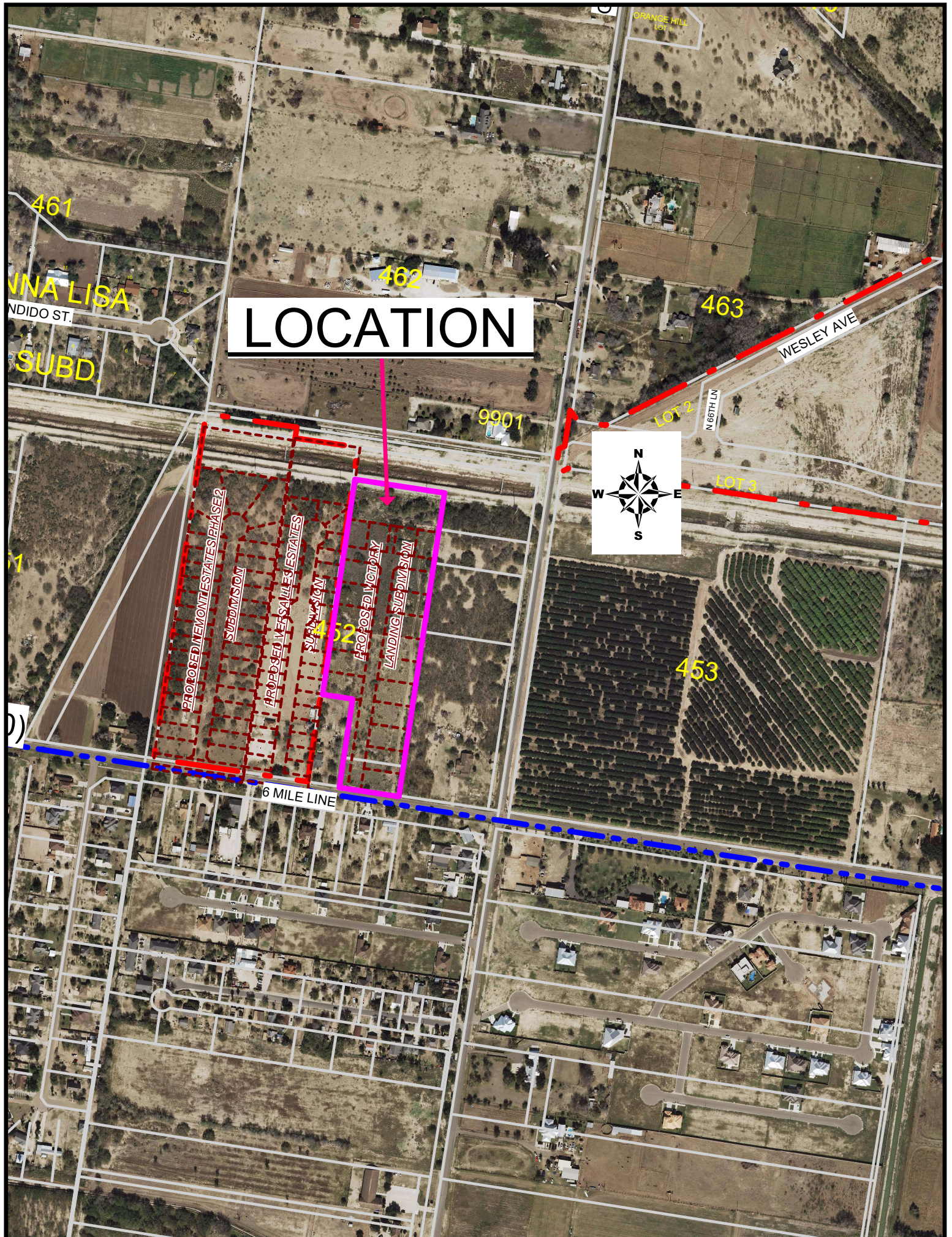
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Rear: 10 ft. or greater for easements. ****Revise plat note #3 as shown above prior to final. **Zoning Ordinance: Section 138-356 	Non-compliance
<ul style="list-style-type: none"> * Interior Sides: In accordance with the Zoning Ordinance or greater for easements. ****Revise plat note #3 as shown above prior to final. **Zoning Ordinance: Section 138-356 	Non-compliance
<ul style="list-style-type: none"> * Corner: 10 ft. or greater for easements or approved site plan. ****Add to plat note #3 as shown above prior to final. **Zoning Ordinance: Section 138-356 	Non-compliance
<ul style="list-style-type: none"> * Garage: 18 ft. except where greater setbacks is required; greater setback applies. ****Add to plat note #3 as shown above prior to final. **Zoning Ordinance: Section 138-356 	Non-compliance
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
<ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on 6 Mile Line and both side of interior streets. **5 ft. sidewalk might be required as per Engineering Department prior to final. ***Plat note to be revised as shown above prior to final. ****Subdivision Ordinance: Section 134-120 	Non-compliance
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along 6 Mile Road. ***Landscaping Ordinance: Section 110-46 	Applied
<ul style="list-style-type: none"> * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. ***Landscaping Ordinance: Section 110-46 	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along 6 Mile Road. ** Plat note to be added prior to final. ****City's Access Management Policy 	Non-compliance
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	Applied
<ul style="list-style-type: none"> * Common Areas, any private streets/drives must be maintained by the lot owners and not the City of McAllen **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	Required
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
<ul style="list-style-type: none"> * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if subdivision is proposed to be public. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **HOA will be recorded simultaneously with plat. **Subdivision Ordinance: Section 110-72 	Required
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets. *****Detention Pond lot boundary line must be modified to be in line with the south property line of Lots 11-14. 25 ft. Access Road is not permitted. *****150 ft. Drain Area along north boundary line might be landlocked. Please clarify prior to final. **Zoning Ordinance: 138-1 	Required
<ul style="list-style-type: none"> * Minimum lot width and lot area. **Clarify number of unit proposed per lot to verify compliance with area requirements prior to final. **Zoning Ordinance: Section. 138-356 	Required
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: ETJ Proposed: R-2 (Duplex-Fourplex Residential) **Annexation and initial zoning approved by Planning and Zoning Board at their December 21, 2021 meeting. Item will be presented before City Commission at their January 10, 2022 meeting. Processes must be finalized prior to final plat review, ***Zoning Ordinance: Article V 	Required
<ul style="list-style-type: none"> * Rezoning Needed Before Final Approval **Annexation and initial zoning approved by Planning and Zoning Board at their December 21, 2021 meeting. Item will be presented before City Commission at their January 10, 2022 meeting. Processes must be finalized prior to final plat review, ***Zoning Ordinance: Article V 	Required
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. As per Parks Department, requirements might be triggered once annexation is completed. 	TBD
<ul style="list-style-type: none"> * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, requirements might be triggered once annexation is completed. 	TBD
<ul style="list-style-type: none"> * Pending review by the Parkland Dedication Advisory Board and CC. As per Parks Department, requirements might be triggered once annexation is completed. 	TBD
TRAFFIC	
<ul style="list-style-type: none"> **As per Traffic Department, Trip Generation is required to determine if a TIA will be required prior to final. 	Non-compliance
<ul style="list-style-type: none"> **As per Traffic Department, Trip Generation is required to determine if a TIA will be required prior to final. 	TBD

COMMENTS	
<p>Comments: Must comply with City's Access Management Policy **Lots designated for detention must be labeled as detention/common areas with a lot # or letter on plat prior to final to establish final requirements. ***Please clarify if drain ditch is included within the subdivision boundaries since it appears to be a separate lot. If that is the case, lot is landlocked and subdivision layout must be modified prior to final to give frontage to this lot. ****Road will align with properties to the west, and will be extended east when adjacent properties develop. *****Barricades to be provided as required prior to recording on east end. *****Clarify use for Lot A prior to final.</p>	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, DRAINAGE AND UTILITIES APPROVALS.	Applied



Sub 2020-0059



City of McAllen
Planning Department
APPLICATION FOR

SUBDIVISION PLAT REVIEW

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project Description	<p>Subdivision Name <u>Up North on Ware Road Apartments & Business Center</u></p> <p>Location <u>Intersection of Ware Road and Mile 6 Road (Northeast Corner)</u></p> <p>City Address or Block Number <u>NE Corner N Ware & Mile 6 Road</u></p> <p>Number of lots <u>1</u> Gross acres <u>10.45</u> Net acres <u>9.39</u></p> <p>Existing Zoning <u>AO</u> Proposed <u>R3ACZ</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>AO</u> Proposed Land Use <u>VACANT</u> Irrigation District # <u>1</u></p> <p>Residential Replat Yes <input type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input type="checkbox"/> ETJ Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due <u>to MC</u></p> <p>Parcel No. <u>262553</u> Tax Dept. Review _____</p> <p>Legal Description <u>PRIDE OF TEXAS ALL LOT 147 AND S14.85' LOT 148</u></p> <p><u>9.39 AC NET</u></p>
Owner	<p>Name <u>Ware Road Holding, LLC</u> Phone <u>956-445-9505</u></p> <p>Address <u>814 San Jacinto Blvd</u></p> <p>City <u>Austin</u> State <u>TX</u> Zip <u>78701</u></p> <p>E-mail <u>jaikensells@yahoo.com</u></p>
Developer	<p>Name <u>J. Allen Consulting, LLC</u> Phone <u>(956) 445-9505</u></p> <p>Address <u>3825 N. 10th Street</u></p> <p>City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u></p> <p>Contact Person <u>Jeff Godinez</u></p> <p>E-mail <u>jeffallensells@yahoo.com</u></p>
Engineer	<p>Name <u>Hinojosa Engineering, Inc.</u> Phone <u>(956) 581-0143</u></p> <p>Address <u>108 W 18th Street</u></p> <p>City <u>Mission</u> State <u>Texas</u> Zip <u>78572</u></p> <p>Contact Person <u>San Isidro Navarro</u></p> <p>E-mail <u>inavarro@hengineering.com</u></p>
Surveyor	<p>Name <u>William A. Mangum</u> Phone <u>(956) 249-8061</u></p> <p>Address <u>11809 N. Shary Road</u></p> <p>City <u>Mission</u> State <u>Texas</u> Zip <u>78572</u></p>

RECEIVED
SEP 16 2020
BY: BMT

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ☐ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ☐ Title Report
- ☒ 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies
- ☒ 2 Location Maps
- ☒ 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- ☒ 6 Folded blueline prints of the proposed plat *24x36*
- ☒ 2 Warranty Deeds (Identifying owner on application) *w/correction*
- ☒ Autocad 2005 DWG file and PDF of plat
- ☒ Letter of Authorization from the owner, if applicable
- ☒ Proof of authority of person signing application on behalf of partnership/corporation, if applicable *Cert. of Formation (Inc.)*

PLAT TO SHOW:

- ☒ Metes and bounds
- ☒ Lots numbered with dimensions and area of irregular lots noted
- ☒ Surrounding platted lots and/or lot lines for unplatted tracts
- ☒ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ☒ North arrow, scale and vicinity map
- ☒ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 1/2" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

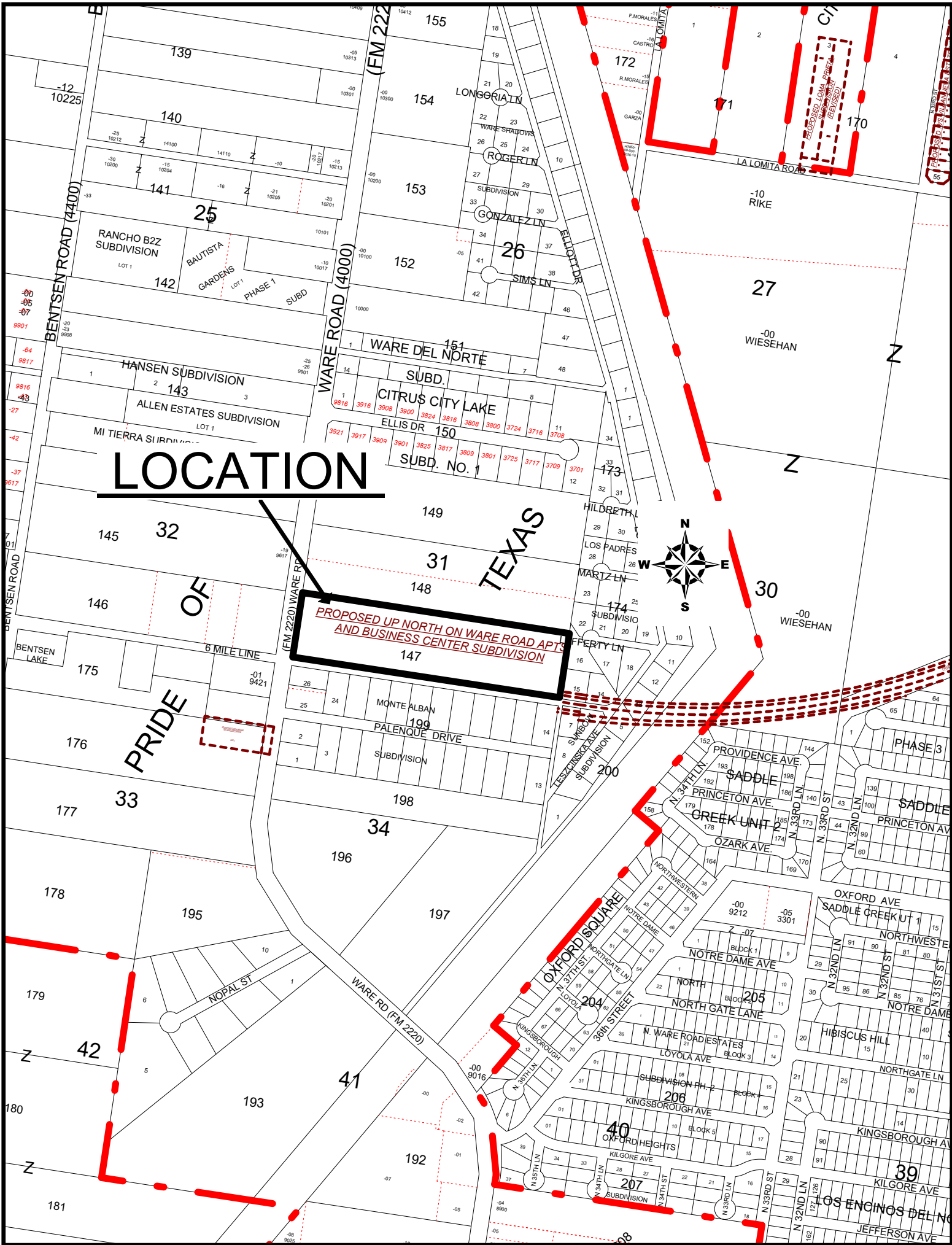
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 9/15/2020

Print Name Jeff Allen Godinez

Owner ☐

Authorized Agent ☒



LOCATION

**PROPOSED UP NORTH ON WARE ROAD APTS
AND BUSINESS CENTER SUBDIVISION**

WARE ROAD

SUBDIVISION PLAT OF
UP NORTH ON WARE ROAD
APARTMENTS & BUSINESS CENTER

10.45 ACRES OUT OF LOT 147 AND THE SOUTH 0.45 ACRE OF
LOT 148, PRIDE-O-TEXAS SUBDIVISION, RECORDED IN
VOLUME 5, PAGES 58 & 59,
HIDALGO COUNTY MAP RECORDS,
HIDALGO COUNTY TEXAS

EXISTING 40.00' R.O.W.
PROPOSED 75.00' R.O.W.
ADDITIONAL 35.00' R.O.W.

LOT 148 PRIDE O' TEXAS
VOLUME 05 PAGE 58 AND 59, H.C.M.R.

SCALE 1"= 150'

LOT 146 PRIDE O' TEXAS
VOLUME 05 PAGE 58, H.C.M.R.

TRACT : 2
76211.85 SQ FT
1.75 ACRES

TRACT : 1
378990.15 SQ FT
8.70 ACRES

LOS PADRES SUBDIVISION
VOLUME 20 PAGE 16, H.C.M.R.

P.O.B.

6 MILE ROAD

MONTE ALBAN SUBDIVISION
VOLUME 19 PAGE 40, H.C.M.R.

EXISTING 20.00' R.O.W.
PROPOSED 50.00' R.O.W.
ADDITIONAL 30.00' R.O.W.

HINOJOSA
ENGINEERING, INC.

STRUCTURAL AND CIVIL ENGINEERING
108 W. 18TH ST. MISSION, TEXAS
(956) 581-0143 FAX: (956) 581-2074
E-MAIL: HinojosaEngInc@aol.com
REGISTRATION NUMBER EXPIRATION DATE
F-908 9/30/2020



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/13/2022

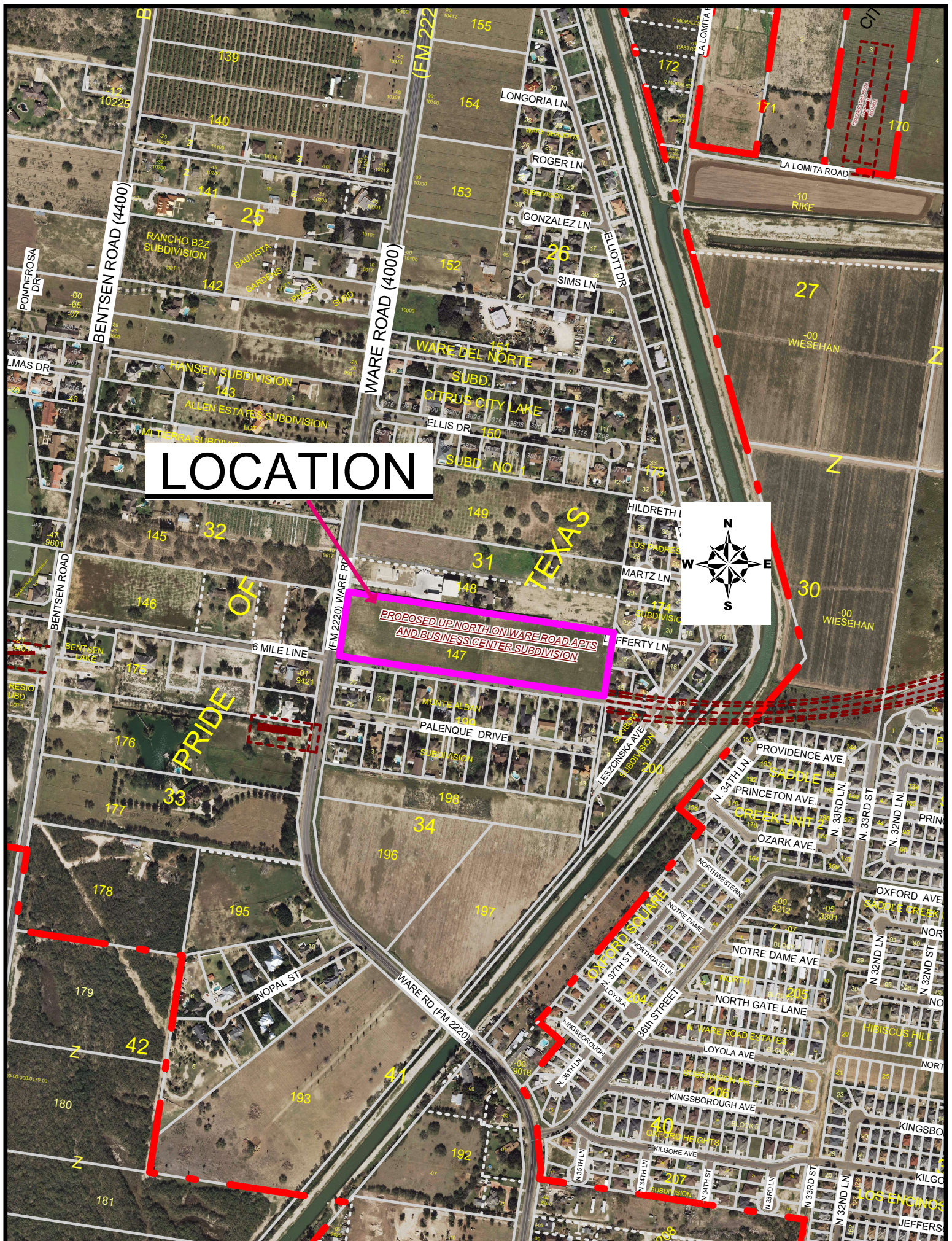
SUBDIVISION NAME: UP NORTH ON WARE ROAD APARTMENTS & BUSINESS CENTER	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>North Ware Road: Proposing 35 ft. dedication for 75 ft. from centerline for 150 ft. of ROW Paving: By the state Curb & gutter: By the state **Please indicate on plat document number of the existing 40 ft. of ROW. *****Monies must be escrowed if improvements are not built prior to recording.</p>	Required
<p>6 Mile Road: 30 ft. dedication for 50 ft. from centerline for 100 ft. ROW Paving 65 ft. Curb & gutter: Both sides *Monies must be escrowed if improvements are not built prior to recording. **Please indicate document number for existing 20 ft. ROW *** Show ROW on south side of CL. *****Show total ROW after accounting for any ROW dedication including both sides of centerline.</p>	Required
<p>N/S 1/4 Mile Street: Clarify 40 ft. County Road on east boundary for 60 ROW dedication prior to final. Paving: 40 ft. Curb & gutter: Both sides **Road to be abandoned prior to recording and document number will be shown on plat accordingly.</p>	Required
* 800 ft. Block Length	NA
* 600 ft. Maximum Cul-de-Sac	NA
ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Private access easement will be provided at time of site plan. Plat notes might be required prior to recording.</p>	Required
SETBACKS	
* Front: North Ware Road: 75 ft. or greater for easements or approved site plan.	Applied
**6 Mile Road: 50 or greater for easements or approved site plan.	Applied
* Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan.	Applied
* Interior Sides: In accordance with Zoning Ordinance or greater for easements or approved site plan.	Applied
* Corner: See above	Applied
* Garage: 18 ft. or wherever greater setback is required, greater setback applies.	Required
**Plat note as shown above must be added prior to recording.	Applied
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SIDEWALKS	
* 4 ft. wide minimum sidewalk required on 6 Mile Road and N/S 1/4 Mile Street, and 5 ft. wide minimum sidewalk required along North Ware Road.	Applied
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses.	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.	Applied
* Perimeter buffers must be built at time of Subdivision Improvements.	Applied
NOTES	
* No curb cut, access, or lot frontage permitted along North Ware Road. **Please add plat note as shown above prior to recording.	Required
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance if property is annexed. **Please remove plat note #12 since only internal review is required and it is not needed as a plat note.	Required
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	Required
* Common Areas, any private streets/service drives must be maintained by the lot owners and not the City of McAllen	Required
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies for public subdivisions	Applied
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.	NA
LOT REQUIREMENTS	
* Minimum lot width and lot area.	Compliance
* Lots fronting public streets.	Compliance
ZONING/CUP	
* Existing: C-3 and R-3A Proposed: C-3 and R-3A **Annexation and initial zoning approved at City Commission at their January 10, 2022 meeting.	Compliance
* Rezoning Needed Before Final Approval. **Annexation and initial zoning approved at City Commission at their January 10, 2022 meeting.	Completed
PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Park fees might be required to be paid prior to recording.	Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

* Pending review by the Parkland Dedication Advisory Board and CC.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation and TIA is approved.	Completed
* As per Traffic Department, Trip Generation and TIA is approved.	Completed
COMMENTS	
Comments: : Must comply with City's Access Management Policy *****As per Fire and Public Works Departments, please submit site plan to review location of dumpsters and access drives prior to final. **40 ft. road along east boundary line to be abandoned prior to recording and document number will be shown on plat accordingly.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED, AND SUBJECT TO ABANDONMENT BEING RECORDED PRIOR TO RECORDING OF PLAT.	Applied



LOCATION



PROPOSED UPNORTH WARE ROAD APTS
AND BUSINESS CENTER SUBDIVISION
147

PRIDE

TEXAS

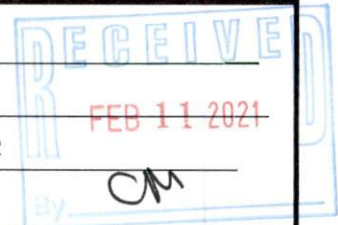
SUB2021-0018



City of McAllen
Planning Department
**APPLICATION FOR
SUBDIVISION PLAT REVIEW**

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project Description	<p>Subdivision Name <u>Silver Valley Subdivision</u></p> <p>Location <u>East side of N. Taylor Road, approximately 400 feet North of Sycamore Avenue, McAllen, Texas 78501</u></p> <p>City Address or Block Number <u>1920 N. Taylor Rd, McAllen, TX 78501</u></p> <p>Number of lots <u>2</u> Gross acres _____ Net acres <u>2.01</u></p> <p>Existing Zoning <u>R-1</u> Proposed _____ Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>None</u> Proposed Land Use <u>Residential</u> Irrigation District # <u>1</u></p> <p>Residential Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due _____</p> <p>Parcel No. _____ Tax Dept. Review _____</p> <p>Legal Description <u>Being 2.007 acres out of the North 7.36 acres of the South 9.81 acres of the North 22.42 acres of lot 267, John Shary Subdivision of Porciones 58,59 and 60, Volume 1, Page 17, Hidalgo Co. Map Records</u></p>
Owner	<p>Name <u>Delicias Catering, LLC</u> Phone <u>(956)600-3202</u></p> <p>Address <u>220 W. 5th Street</u></p> <p>City <u>Weslaco</u> State <u>Texas</u> Zip <u>78596</u></p> <p>E-mail <u>robertog20@yahoo.com</u></p>
Developer	<p>Name <u>Delicias Catering, LLC</u> Phone <u>(956)600-3202</u></p> <p>Address <u>220 W. 5th Street</u></p> <p>City <u>Weslaco</u> State <u>Texas</u> Zip <u>78596</u></p> <p>Contact Person <u>Yanai Renteria</u></p> <p>E-mail <u>robertog20@yahoo.com</u></p>
Engineer	<p>Name <u>M2 Engineering, PLLC</u> Phone <u>(956)600-8628</u></p> <p>Address <u>1810 East Griffin Parkway</u></p> <p>City <u>Mission</u> State <u>Texas</u> Zip <u>78573</u></p> <p>Contact Person <u>Hector Moreno</u></p> <p>E-mail <u>hector@m2-engineers.com</u></p>
Surveyor	<p>Name <u>Manuel Carrizales, RPLS</u> Phone <u>(956)576-2167</u></p> <p>Address <u>4807 Gondola Avenue</u></p> <p>City <u>Edinburg</u> State <u>Texas</u> Zip <u>78542</u></p>



Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ☒ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ☒ Title Report
- ☒ 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies
- ☒ 2 Location Maps
- ☒ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- ☒ 6 Folded blueline prints of the proposed plat
- ☒ 2 Warranty Deeds (Identifying owner on application)
- ☒ Autocad 2005 DWG file and PDF of plat
- ☐ N/A Letter of Authorization from the owner, if applicable
- ☐ N/A Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ☒ Metes and bounds
- ☒ Lots numbered with dimensions and area of irregular lots noted
- ☒ Surrounding platted lots and/or lot lines for unplatted tracts
- ☒ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ☒ North arrow, scale and vicinity map
- ☒ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

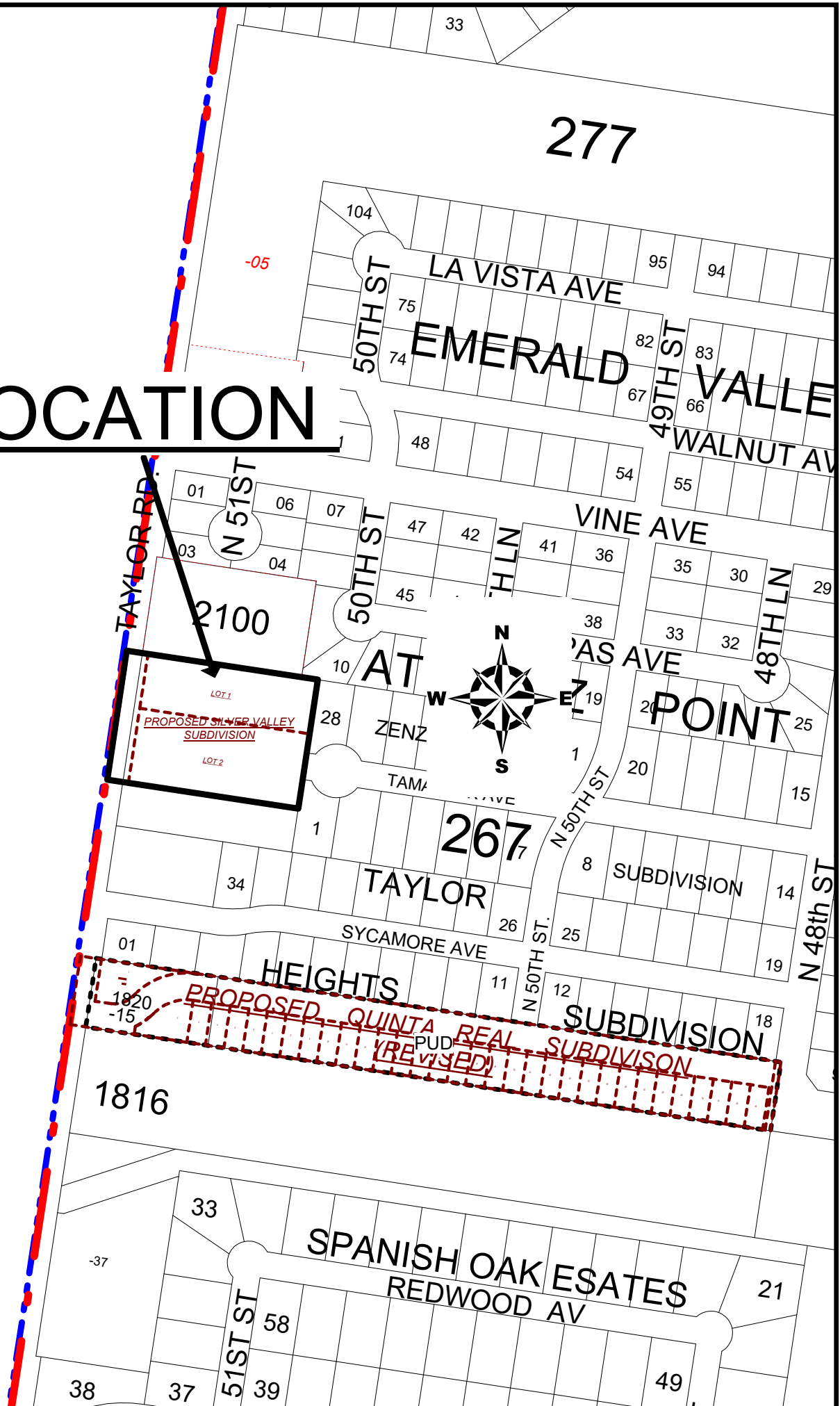
Signature  Date 2/10/21

Print Name Roberto Izarra

Owner ☒

Authorized Agent ☐

LOCATION



GENERAL PLAT NOTES & RESTRICTIONS

- FLOOD ZONE STATEMENT:
FLOOD ZONE DESIGNATION: ZONE "c"

ZONE "c" AREAS (NO SHADE), AREAS OF MINIMAL FLOODING ACCORDING TO COMMUNITY-PANEL NO. 480334 0400 C, MAP REVISED: NOVEMBER 16, 1982
- SETBACKS:
FRONT: 50.00 FEET.
REAR: 15.00 FEET OR EASEMENT WHICHEVER IS GREATER
SIDE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER
GARAGE: 18.00 FEET EXCEPT WHERE GREATER SETBACK IS REQUIRED, GREATER SETBACK APPLIES.
- NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPYING THE LOT. THERE SHALL BE NO OTHER USE THAN RESIDENTIAL.
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 24" ABOVE THE CENTER LINE OF STREET OR 24" ABOVE NATURAL GROUND AND NO LOWER THAN THE HIGHEST FINISH FLOOR IN THE SURROUNDING NEIGHBORING PROPERTY, WHICHEVER IS GREATER. ELEVATION CERTIFICATE WILL BE REQUIRED.
- THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS.
ON-SITE B.M. NO. _____, ELEVATION: _____, DESCRIPTION: _____, GPS POINT, GRID COORDINATES NORTHING:xxx.xxx, EASTING:xxx.xxx,

CITY OF McALLEN BENCHMARK MC _____, ELEVATION: _____, DESCRIPTION: _____
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 00.00 CUBIC-FEET OR 00.00 ACRE- FEET OF STORM WATER RUNOFF. RUNOFF WILL BE DETAINED IN DETENTION GREEN AREAS IN THE LOT.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
- ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
- THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION
- ANY ADDITION TO EXISTING RESIDENCE STRUCTURE OR NEW PROPOSED DWELLING ON THE LOT MUST COMPLY WITH ALL SETBACK RESTRICTIONS RECORDED ON THIS PLAT.
- THE LOT SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE CENTER OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 0.25 % SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY SUBDIVISION RULES APPENDIX 3.1.4.1.
- A 5 FOOT WIDE MINIMUM SIDEWALK REQUIRED ON TAYLOR ROAD
- A 6 FOOT OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, OR INDUSTRIAL ZONES/USES. PERIMETER BUFFERS MUST BE BUILT AT TIME OF SUBDIVISION IMPROVEMENTS.
- AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT, WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS.
- 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.

STATE OF TEXAS
COUNTY OF HIDALGO

OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I, **DELICIAS CATERING, LLC** SUBDIVIDER, AS OWNER OF THE **2.007** TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED **SILVER VALLEY SUBDIVISION**, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREETS AND EASEMENTS SHOWN HEREON.

I CERTIFY THAT I HAVE COMPLIED THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE 232.032 AND SECTION 134-61 (e)(5) OF THE SUBDIVISION ORDINANCE, THAT

- THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS;
- SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET THE MINIMUM REQUIREMENTS OF STATE STANDARDS;
- ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET OR WILL MEET THE MINIMUM STATE STANDARDS; AND
- GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET OR WILL MEET THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

ROBERTO GARZA
220 W. 5th STREET
WESLACO, TEXAS 78596

DATE:

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **ROBERTO GARZA**, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2020

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS

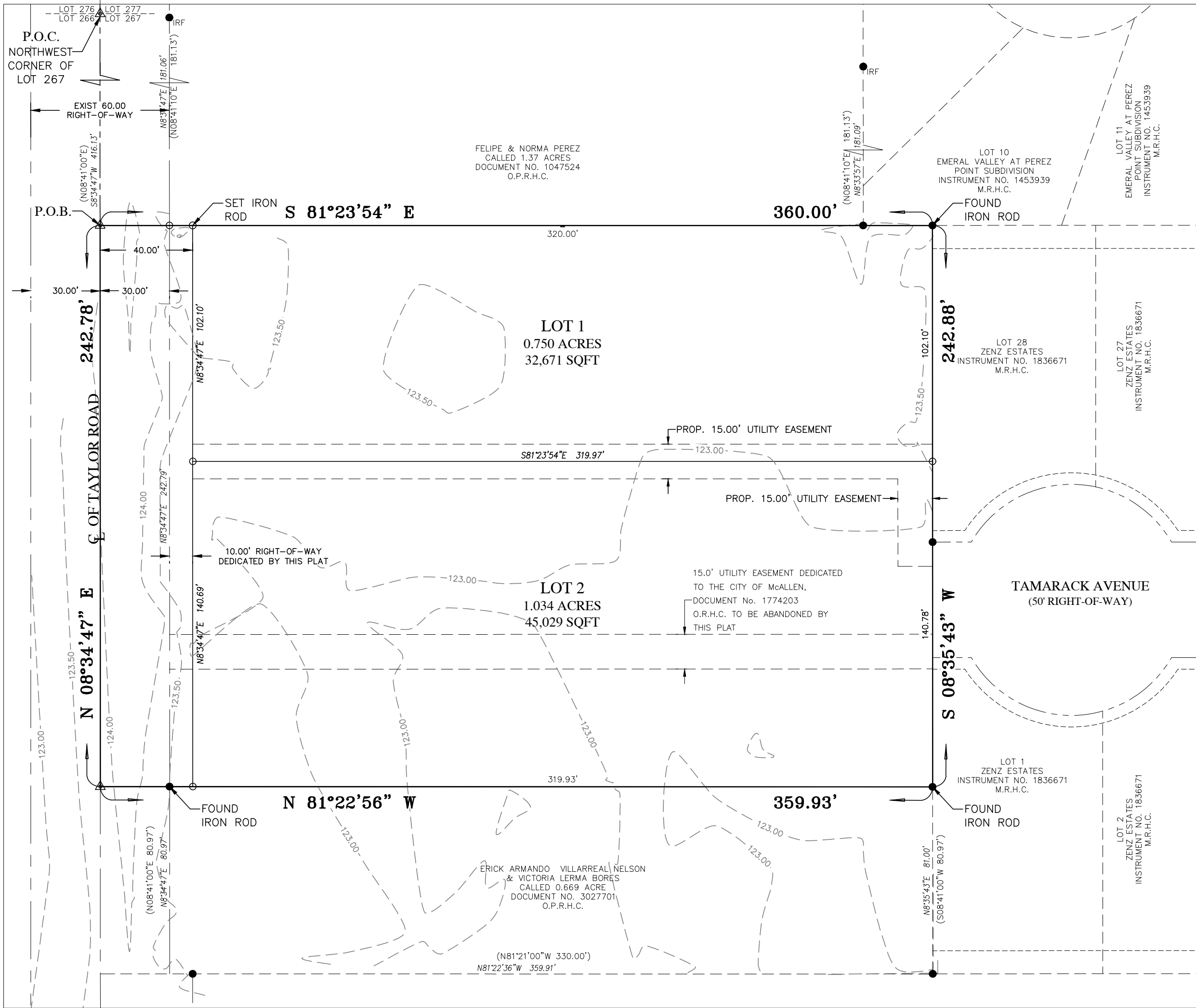
DATE MY COMMISSION EXPIRES

STATE OF TEXAS
COUNTY OF HIDALGO

THAT FALCON INTERNATIONAL BANK, THE LIEN HOLDER OF THAT CERTAIN 2.007 ACRE TRACT OF LAND RECORDED IN DOCUMENT NO. 3619555, OFFICIAL PUBLIC RECORDS, HIDALGO COUNTY, TEXAS DO HEREBY CONSENT TO SILVER VALLEY SUBDIVISION OF THAT CERTAIN 2.007 ACRE TRACT OF LAND SITUATED IN THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, AND DO FURTHER HEREBY JOIN, APPROVE, AND CONSENT TO THE DEDICATION TO THE PUBLIC FOREVER USE OF THE STREETS, ALLEYS, EASEMENTS AND ALL OTHER LANDS INTENDED FOR PUBLIC DEDICATION AS SHOWN HEREON.

RAMIRO GONZALEZ
FALCON INTERNATIONAL BANK
1st VICE PRESIDENT
500 E. HWY BUSINESS 83
McALLEN TX, 78501

DATE:



STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **RAMIRO GONZALEZ**, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2020

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS

DATE MY COMMISSION EXPIRES

UNITED IRRIGATION DISTRICT

THIS PLAT IS HEREBY APPROVED BY THE UNITED IRRIGATION DISTRICT OF HIDALGO COUNTY SUBJECT TO THE CONDITION THAT IF IRRIGATION FROM THIS SAID DISTRICT IS DESIRED TO THE INDIVIDUAL LOTS IN THIS SAID SUBDIVISION, PROVISIONS SHALL BE MADE FOR APPROPRIATE EASEMENTS FOR THE INSTALLATION OF NECESSARY IRRIGATION DELIVERY FACILITIES. AS REQUIRED BY THE DISTRICTS SUBDIVISION POLICIES TO SUCH LOTS FROM THE CLOSEST DISTRICT DELIVERY POINT AND BY VIRTUE OF THESE REQUIREMENTS, IT SHALL BE THE RESPONSIBILITY OF THE OWNERS OF THE PROPERTY TO INSTALL AND MAINTAIN SUCH FACILITIES.

DATED THIS _____ DAY OF _____, 2020

ATTEST:
SECRETARY

DATE:

PRESIDENT

DATE:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE

STATE OF TEXAS
CITY OF McALLEN
PLANNING AND ZONING COMMISSION

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THIS **SILVER VALLEY SUBDIVISION** PLAT WHICH CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

DATED THIS _____ DAY OF _____, 2020

CHAIRMAN OF PLANNING AND ZONING COMMISSION

STATE OF TEXAS
CITY OF McALLEN
MAYOR APPROVAL

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN HEREBY CERTIFY TAHT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN

DATE:

ATTESTED BY:

CITY SECRETARY

DATE:

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL

I, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF **SILVER VALLEY SUBDIVISION** WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON _____.

HIDALGO COUNTY ENVIRONMENTAL HEALTH DIVISION MANAGER

DATE



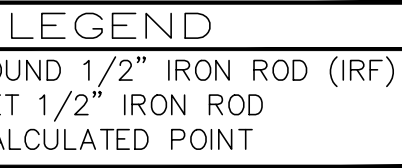
ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

PRINCIPAL CONTACTS:

NAME	ADDRESS	PHONE(S)
OWNER: DELICIAS CATERING, LLC	220 W. 5th STREET - WESLACO, TX 78596	(956) 655-2393
ENGINEER: EMIGDIO SALINAS, P.E.	PO BOX 5069 - McALLEN, TX 78502	(956) 600-8628
SURVEYOR: MANUEL CARRIZALES, R.P.L.S.	4807 GONDOLA AVE. - EDINBURG, TX 78542	(956) 567-2167



SCALE: 1"=40'

METES AND BOUNDS DESCRIPTION

BEING 2.007 ACRES OUT OF THE NORTH 7.36 ACRES OF THE SOUTH 9.81 ACRES OF THE NORTH 22.42 ACRES OF LOT 267, JOHN H. SHARY SUBDIVISION OF PORCIONES 58, 59, AND 60, RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS HIDALGO COUNTY, TEXAS, SAME BEING DESCRIBED IN WARRANTY DEED WITH VENDOR'S LIEN CONVEYED TO DELICIAS CATERING, LLC, RECORDED IN DOCUMENT NO. 3169555, OFFICIAL PUBLIC RECORDS HIDALGO COUNTY, TEXAS, SAID 2.007 ACRES AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A CALCULATED POINT THE NORTHWEST CORNER OF THE SAID LOT 267

THENCE, S81°23'54"E, ALONG WEST LINE OF THE SAID LOT 267, A DISTANCE OF 416.13 FEET TO A CALCULATE POINT, SAME BEING THE SOUTHWEST CORNER OF A CALLED 1.37 ACRE TRACT CONVEYED TO FELIPE AND NORMA PEREZ, RECORDED IN DOCUMENT NO. 1457594, OFFICIAL PUBLIC RECORDS HIDALGO COUNTY, TEXAS, FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT AND THE POINT OF BEGINNING.

THENCE, S81°23'54"E, ALONG THE SOUTH LINE OF THE SAID CALLED 1.37 ACRE TRACT, SAME BEING THE NORTH LINE OF THE SAID DELICIAS CATERING TRACT, PASSING AT 40.00 FEET AN IRON ROD WITH PINK CAP SET ON THE EAST RIGHT-OF-WAY LINE OF TAYLOR ROAD, CONTINUING FOR A TOTAL DISTANCE OF 360.00 FEET TO AN IRON ROD FOUND THE NORTHWEST CORNER OF A CALLED 0.669 ACRE TRACT CONVEYED TO ERICK ARMANDO NELSON VILLARREAL AND VICTORIA LERMA BORES, RECORDED IN DOCUMENT NO. 3027701, OFFICIAL PUBLIC RECORDS HIDALGO COUNTY, TEXAS, FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, S08°35'43"W, ALONG THE WEST LINE OF THE SAID ZENZ ESTATES, SAME BEING THE EAST LINE OF THE SAID DELICIAS CATERING TRACT, A DISTANCE OF 242.88 FEET TO AN IRON ROD FOUND A POINT ON THE WEST LINE OF THE SAID ZENZ ESTATES, SAME BEING THE NORTHEAST CORNER OF A CALLED 0.669 ACRE TRACT CONVEYED TO ERICK ARMANDO NELSON VILLARREAL AND VICTORIA LERMA BORES, RECORDED IN DOCUMENT NO. 3027701, OFFICIAL PUBLIC RECORDS HIDALGO COUNTY, TEXAS, FOR THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

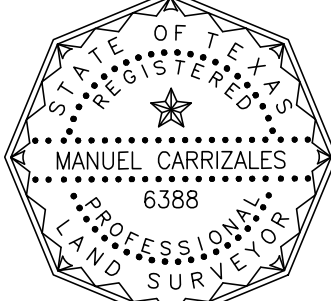
THENCE, N81°22'56"W, ALONG THE NORTH LINE OF THE SAID CALLED 0.669 ACRE TRACT, SAME BEING THE SOUTH LINE OF THE SAID DELICIAS CATERING TRACT, PASSING AT 319.93 FEET AN IRON ROD FOUND ON THE EAST RIGHT-OF-WAY LINE OF TAYLOR ROAD, WITH A TOTAL DISTANCE OF 359.93 FEET TO A CALCULATED POINT ON THE WEST LINE OF THE SAID LOT 267, SAME BEING THE NORTHWEST CORNER OF THE SAID CALLED 0.669 ACRE TRACT, FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, N08°34'47"E, ALONG THE WEST LINE OF THE SAID LOT 267, A DISTANCE OF 242.78 FEET TO THE POINT OF BEGINNING, AND CONTAINING 2.007 ACRES OF LAND, MORE OR LESS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MANUEL CARRIZALES, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE CITY OF McALLEN SUBDIVISION ORDINANCE AND ALL STATE STATUTES GOVERNING SURVEYS.

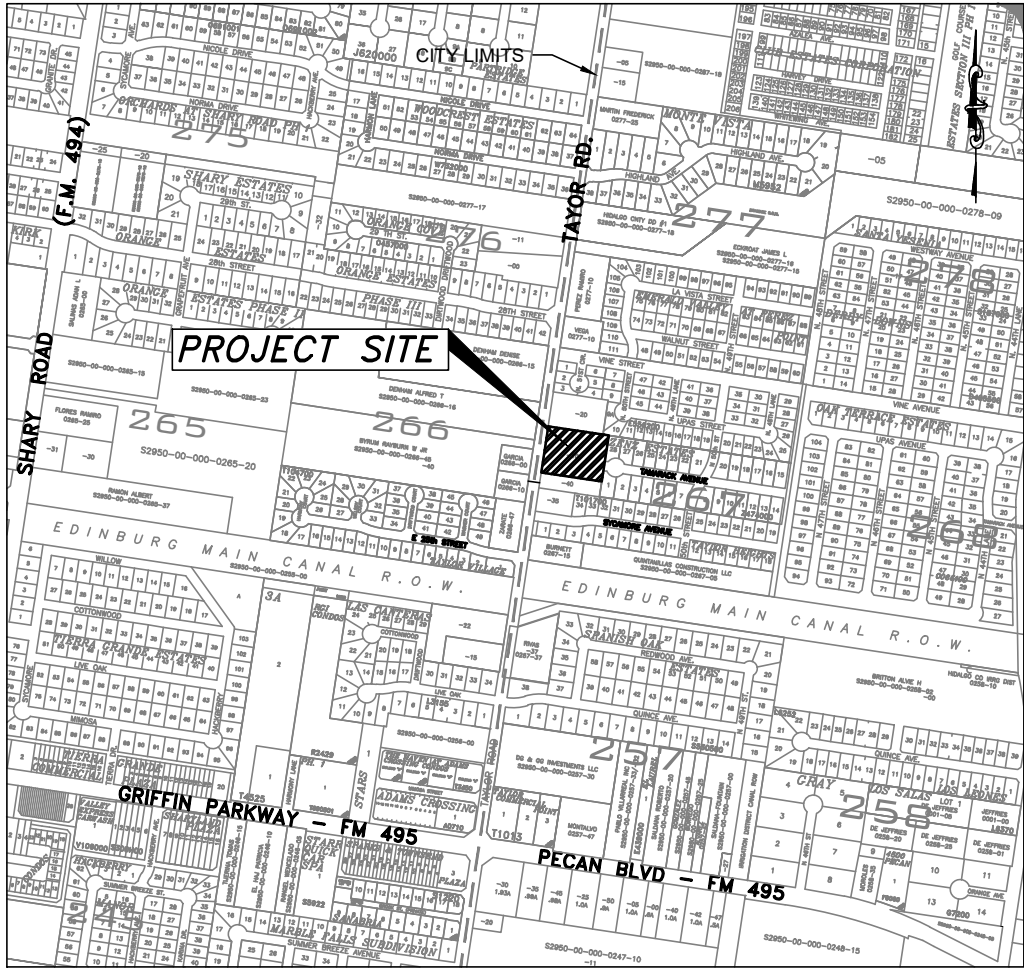
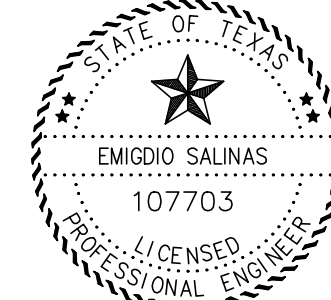
MANUEL CARRIZALES, R.P.L.S. _____ DATE _____
TEXAS R.P.L.S. No. 6388
TEXAS REG. SURVEYING FIRM NO. 101194417



STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, JAMES W. GRIFFITH, A LICENSED PROFESSIONAL ENGINEER, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

EMIGDIO "MILO" SALINAS, P.E. _____ DATE _____
LICENSED PROFESSIONAL ENGINEER No. 107703
FIRM REGISTERED NO. F-19545




AREA MAP - SCALE: 1"=1,000'

PLAT OF
SILVER VALLEY SUBDIVISION

BEING 2.007 ACRES OUT OF THE NORTH 7.36 ACRES OF THE SOUTH 9.81 ACRES OF THE NORTH 22.42 ACRES OF LOT 267, JOHN H. SHARY SUBDIVISION OF PORCIONES 58, 59, AND 60, RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS HIDALGO COUNTY, TEXAS, SAME BEING DESCRIBED IN WARRANTY DEED WITH VENDOR'S LIEN CONVEYED TO DELICIAS CATERING, LLC, RECORDED IN DOCUMENT NO. 3169555, OFFICIAL PUBLIC RECORDS HIDALGO COUNTY, TEXAS

CONSTRUCTION SET PAGE: 1 OF 4

DATE OF PREPARATION: JANUARY 15, 20201



M2
Engineering, PLLC

1810 E. GRIFFIN PARKWAY
MISSION, TX 78572
956-600-8628
emilio@m2-engineers.com
FIRM REGISTRATION # F-19545

McAllen - HIDALGO COUNTY



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 1/5/2022

SUBDIVISION NAME: SILVER VALLEY SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

North Taylor Road: 10 ft. dedication for 40 ft. from centerline for 80 ft. ROW
Paving: 52 ft. Curb & gutter: Both sides
**Monies must be escrowed if improvements are not built prior to recording.
***City of McAllen Thoroughfare Plan

Applied

Tamarack Avenue: 50 ft. ROW
Paving: 32 ft. Curb & gutter: Both sides
**Monies must be escrowed if improvements are not built prior to recording.
***Tamarack Avenue to be extended west to connect with North Taylor Road.
****Engineer submitted a letter on April 23, 2021 requesting a variance to not extend Tamarack Avenue west to connect with North Taylor Road.
*****Variance approved at P&Z meeting of May 4, 2021.
*****Sidewalk to be provided along west side of Tamarack Avenue to closed up street design.
*****Subdivision Ordinance: Section 134-105

Compliance

Paving _____ Curb & gutter _____

Applied

* 600 ft. Maximum Cul-de-Sac.
**Subdivision Ordinance: Section 134-105
* 800 ft. Block Length.
**Subdivision Ordinance: Section 134-118

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.
*Alley/service drive easement required for commercial properties

NA

SETBACKS

* Front: 45 ft. or greater for easements
**Zoning Ordinance: Section 138-356
* Rear: 15 ft. or greater for easements.
**Plat note to be revised prior to final.
**Zoning Ordinance: Section 138-356
* Sides: 6 ft. or greater for easements.
**Zoning Ordinance: Section 138-356
* Corner: 10 ft. or greater for easements.
***Zoning Ordinance: Section 138-356
* Garage: 18 ft. except where greater setback is required; greater setback applies.
***Zoning Ordinance: Section 138-356
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN

Applied

Required

Applied

Required

Applied

Applied

SIDEWALKS

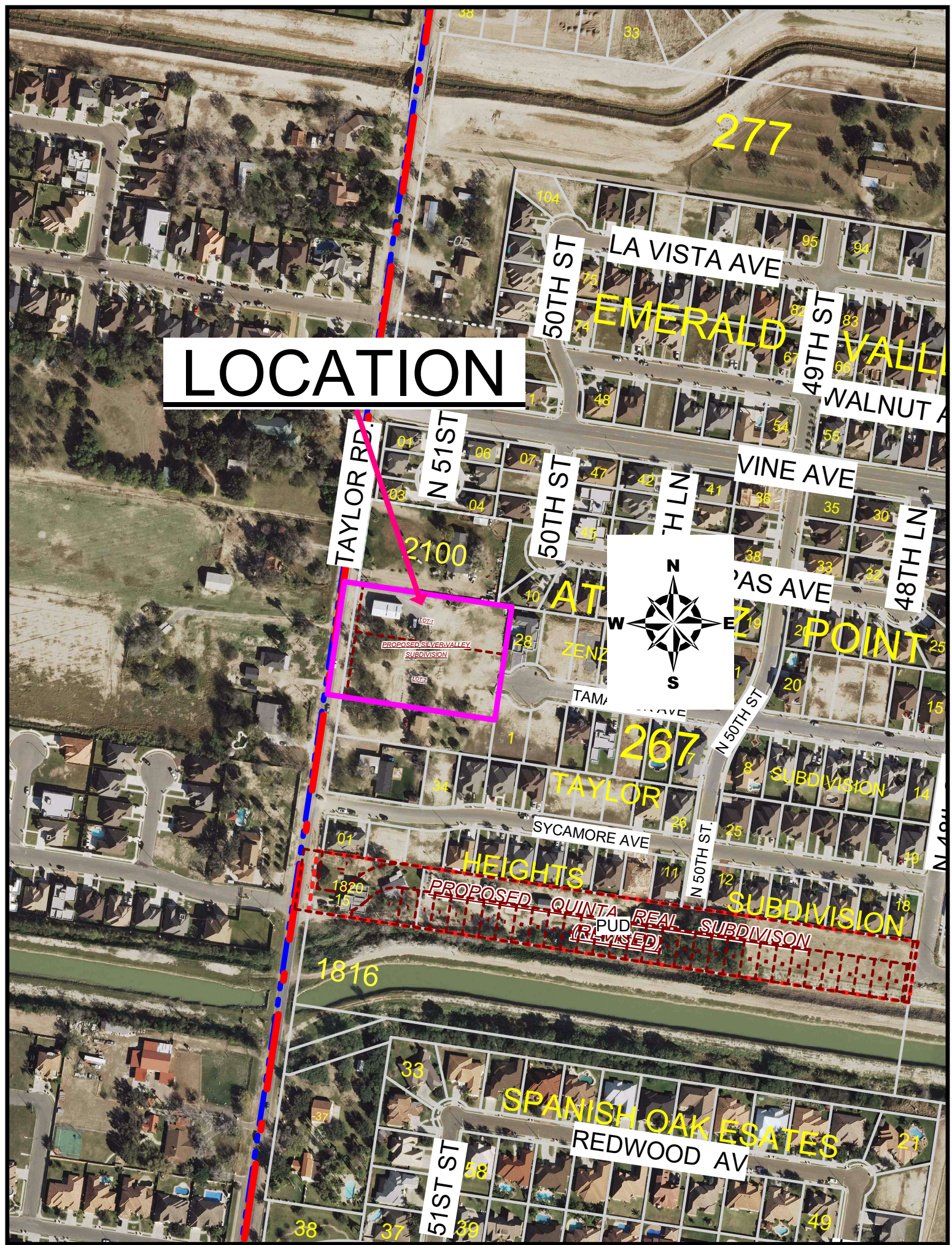
* 4 ft. wide minimum sidewalk required on North Taylor Road and west end of Tamarack Avenue.
***Subdivision Ordinance: Section 134-120

Required

* Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Revise plat note as shown above prior to final. **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. ****Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
NOTES	
* No curb cut, access, or lot frontage permitted along Tamarack Avenue. ***Please clarify prior to final if Lot 2 is proposed to have rear access through Tamarack Avenue.	Required
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	NA
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Common Areas, any private streets/drives must be maintained by the lot owners and not the City of McAllen **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Applied
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Applied
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Subdivision Ordinance: Section 110-72	Applied
LOT REQUIREMENTS	
* Minimum lot width and lot area. **Zoning Ordinance: Section. 138-356	Applied
* Lots fronting public streets. **Zoning Ordinance: 138-1	Applied
ZONING/CUP	
* Existing: R-1 Proposed: R-1 (single family residential) **Zoning Ordinance: Section 138-176	Compliance
* Rezoning Needed Before Final Approval **Zoning Ordinance: Section 138-176	NA
PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, two single-family residences are proposed; \$1,400 must be paid prior to recording. If the amount of proposed lots changes, Park fees will be adjusted accordingly.	Required
* Pending review by the Parkland Dedication Advisory Board and CC.	NA

TRAFFIC	
* As per Traffic Department, TG waived for two single-family residences.	Compliance
* As per Traffic Department, TG waived for two single-family residences.	Compliance
COMMENTS	
Comments: Must comply with City's Access Management Policy ***Utility easement abandonment must be recorded prior to recording of plat and document number must be shown on plat accordingly. *****Please verify signature blocks wording complies with City of McAllen's requirements prior to final.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED, AND SUBJECT TO ABANDONMENT BEING RECORDED PRIOR TO RECORDING OF PLAT.	Applied

LOCATION



ELECTION FOR OFFICERS TO BE

HELD ON JANUARY 18, 2022

Memo

TO: Planning & Zoning Commission
FROM: Edgar I. Garcia, AICP, CNU-A
DATE: January 14, 2022
SUBJECT: City Commission Actions on January 10, 2022

REZONING:

1. Rezone from C-3 District to R-3A District: Lot 5, Block 54, McAllen Addition Subdivision; 604 S 15th St
 - Planning and Zoning Commission recommended approval
 - City Commission approved as recommended
2. Rezone from R-1 District to R-3A District: 1.927 acres out of Lot 308, John H. Shary Subdivision; 4501 Nolana Ave
 - Planning and Zoning Commission recommended approval
 - City Commission approved as recommended
3. Rezone from R-1 District to R-3A District: 4.5 acres out of Lot 308, John H. Shary Subdivision; 4701 Nolana Ave
 - Planning and Zoning Commission recommended approval
 - City Commission approved as recommended
4. Rezoning from A-O District to R-1 District: The South 10.09 acres out of Lot 407, John H. Shary Subdivision; 7600 N Taylor
 - Planning and Zoning Commission recommended approval
 - City Commission approved as recommended
5. Rezoning from C-3 District to R-3A District: 2.754 acres out of Lot 11, Section 13, Hidalgo Canala Company Subdivision; 7701 N 10th St (Rear)
 - Planning and Zoning Commission recommended approval
 - City Commission approved as recommended
6. Rezoning from A-O District to R-1 District: 0.50 acres out of Lot 58, La Lomita Irrigation and Construction Company's Subdivision; 7701 N 29th St
 - Planning and Zoning Commission recommended approval
 - City Commission approved as recommended

7. Rezoning from R-1 District to R-3A District: 1.77 acres out of Lot 59, La Lomita Irrigation and Construction Company's Subdivision; 2801 Auburn
 - Planning and Zoning Commission recommended approval
 - City Commission approved as recommended
8. Initial Zoning to R-2 District: 9 acres out of Lot 452, John H. Shary Subdivision; 7000 Mile 6 Road
 - Planning and Zoning Commission recommended approval
 - Applicant requested tabling the item
9. Initial Zoning to R-3A District: 25.140 acres out of Lot 445, John H. Shary Subdivision; 9000 N Shary Rd
 - Planning and Zoning Commission recommended approval
 - City Commission approved as recommended
10. Initial Zoning to R-1 District: 10.201 acres out of Lot 445, John H. Shary Subdivision; 9400 N Shary Rd
 - Planning and Zoning Commission recommended approval
 - City Commission approved as recommended
11. Initial Zoning to R-1 District: 1 acre out of west ½ of the west ½ of Lot 131, Pride O' Texas Subdivision; 112085 N Bentsen Rd
 - Planning and Zoning Commission recommended approval
 - City Commission approved as recommended
12. Initial Zoning to C-3 District: 1.75 acres out of Lots 147 and 148, Pride O' Texas Subdivision; 9500 N Ware Rd
 - Planning and Zoning Commission recommended approval
 - City Commission approved as recommended
13. Initial Zoning to R-3A District: 8.70 acres out of Lots 147 and 148, Pride O' Texas Subdivision; 9500 N Ware Rd (Rear)
 - Planning and Zoning Commission recommended approval
 - City Commission approved as recommended

CONDITIONAL USE PERMITS

1. Request of Israel Villarreal III, for one year, for a bar at Lot A-1, Nolana Tower Subdivision; 400 Nolana Ave, Suites I, J, K.
 - Planning and Zoning Commission recommended disapproval with a favorable recommendation
 - City Commission approved as recommended

2. Request of OL Beverage Holdings, LLC, for one year, for a bar at Lot A2, Lots A2 and A3
Wichita Commercial Park; 2121 S 10th St
 - Planning and Zoning Commission recommended disapproval with a favorable recommendation
 - City Commission approved as recommended







PLANNING DEPARTMENT

311 N 15th Street McAllen, TX 78501
Phone: 956-681-1250 Fax: 956-681-1279



2022 CALENDAR

Meetings:

-  City Commission
-  Public Utility Board
-  Planning & Zoning Board
-  Zoning Board of Adjustment

HPC - Historic Preservation Council

Deadlines:

D- Zoning/CUP Application N - Public Notification

* **Holiday** - Office is closed

JANUARY 2022

Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1
2	3	4	5	6	7	8
	A-1/18 & 1/19		N-1/18 & 1/19 D-2/1 & 2/2			
9	10	11	12	13	14	15
16	17	18	19	20	21	22
	A-2/1 & 2/2		N-2/1 & 2/2 D-2/16 & 2/17			
23	24	25	26	27	28	29
			HPC			
30	31					
	A-2/16 & 2/17					

FEBRUARY 2022

Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1	2	3	4	5
			N- 2/16 & 2/17 D- 3/28 & 3/3			
6	7	8	9	10	11	12
13	14	15	16	17	18	19
	A-3/2 & 3/3		N-3/2 & 3/3 D-3/16 & 3/17			
20	21	22	23	24	25	26
				HPC		
27	28					
	A-3/16 & 3/17					

MARCH 2022

Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1	2	3	4	5
			N-3/16 & 3/17 D - 4/5 & 4/6			
6	7	8	9	10	11	12
13	14	15	16	17	18	19
			D-4/19 & 4/20			
20	21	22	23	24	25	26
	A-4/5 & 4/6		N-4/5 & 4/6			
27	28	29	30	31		
			HPC			

APRIL 2022

Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1	2
3	4	5	6	7	8	9
	A-4/19 & 4/20		N-4/19 & 4/20 D-5/3 & 5/4			
10	11	12	13	14	15	16
					HOLIDAY	
17	18	19	20	21	22	23
	A- 5/3 & 5/4		N- 5/3 & 5/4 D-5/17 & 5/18			
24	25	26	27	28	29	30
			HPC			

MAY 2022

Sun	Mon	Tue	Wed	Thu	Fri	Sat
1	2	3	4	5	6	7
	A- 5/17 & 5/18		D: 6/1 & 6/7 N-5/17 & 5/18			
8	9	10	11	12	13	14
15	16	17	18	19	20	21
	A-6/1 ZBA		N-6/1 ZBA D-6/15 & 6/21			
22	23	24	25	26	27	28
	A-6/7 PZ		HPC		A-6/15 ZBA	
29	30	31				
	HOLIDAY		N-6/7 PZ			

JUNE 2022

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1	2	3	4
			N-6/15 ZBA D-7/6 & 7/7			
5	6	7	8	9	10	11
	A-6/21 P&Z		N-6/21 P&Z			
12	13	14	15	16	17	18
			D-7/19 & 7/20			
19	20	21	22	23	24	25
	A-7/6 & 7/7		N-7/6 & 7/7			
26	27	28	29	30		
			HPC			

Deadlines and Meeting Dates are subject to change at any time. Please contact the Planning Department at (956) 681-1250 if you have any questions.

2022 CALENDAR

Meetings:





-  City Commission
-  Planning & Zoning Board
-  Public Utility Board
-  Zoning Board of Adjustment
- HPC - Historic Pres Council

Deadlines:






- D- Zoning/CUP Application
- N - Public Notification

* Holiday - Office is closed





JULY 2022

Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1	2
					A-7/19 & 7/20	
3	4 HOLIDAY	5	6 N-7/19 & 7/20 D-8/2 & 8/3	7	8	9
10	11 	12 	13	14	15	16
17	18 A-8/2 & 8/3	19	20 N-8/2 & 8/3 D-8/16 & 8/17	21	22	23
24	25 	26 	27 HPC	28	29	30
31						






AUGUST 2022

Sun	Mon	Tue	Wed	Thu	Fri	Sat
	1	2	3 N- 8/16 & 8/17 D-9/7 & 9/8	4	5	6
	A- 8/16 & 8/17					
7	8 	9 	10	11	12	13
14	15	16	17 D-9/20 & 9/21	18	19	20
21	22 	23 	24 N-9/7 & 9/8	25 HPC	26	27
28	29	30	31			





SEPTEMBER 2022

Sun	Mon	Tue	Wed	Thu	Fri	Sat
				1	2	3
					A-10/20 & 10/21	
4	5 HOLIDAY	6	7 N-9/20 & 9/21 D-10/4 & 10/5	8	9	10
11	12 	13 	14	15	16	17
18	19 A-10/4 & 10/5	20	21 D-10/18 & 10/19 N-10/4 & 10/5	22	23	24
25	26 	27 	28 HPC	29	30	




OCTOBER 2022

Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1
2	3	4	5 N-10/18 & 10/19 D-11/1 & 11/2	6	7	8
	A-10/18 & 10/19					
9	10 	11 	12	13	14	15
16	17 A- 11/1 & 11/2	18	19 N- 11/1 & 11/2 D-11/16 & 11/17	20	21	22
23	24 	25 	26 HPC	27	28	29
30	31 A-11/16 & 11/17					

NOVEMBER 2022

Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1	2 N-11/16 & 11/17 D-12/6 & 12/7	3	4	5
6	7	8	9	10	11	12
13	14 	15 	16 D-12/20 & 12/21	17	18	19
20	21 A-12/6&12/7	22	23 N-12/6 & 12/7	24 HOLIDAY	25	26
27	28 	29 	30			

DECEMBER 2022

Sun	Mon	Tue	Wed	Thu	Fri	Sat
				1	2	3
4	5	6	7 HPC D-1/3 & 1/4 N- 12/20& 12/21	8	9	10
	A-12/20 & 12/21					
11	12 	13 	14	15	16	17
18	19 A- 1/3 & 1/4	20	21 D-1/17 & 1/18 N- 1/3 & 1/4	22	23 HOLIDAY	24
25	26 HOLIDAY	27	28	29	30	31