

AGENDA

PLANNING & ZONING COMMISSION REGULAR MEETING WEDNESDAY, JULY 10, 2024 - 3:30 PM MCALLEN CITY HALL, 1300 HOUSTON AVENUE CITY COMMISSION CHAMBERS, 3RD FLOOR

At any time during the course of this meeting, the Planning & Zoning Board may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code

CALL TO ORDER -

PLEDGE OF ALLEGIANCE -

INVOCATION -

1) MINUTES:

- a) Approval of minutes for the May 21, 2024 meeting.

2) PUBLIC HEARING

a) CONDITIONAL USE PERMITS:

1. Request of Victor D. Marroquin on behalf of Little Green Apples Inc, for a Conditional Use Permit, for one year, and adoption of an ordinance, for a Bar at Lots 2A and 3A, Lots 2A and 3A Dove Commercial Park Subdivision, Hidalgo County, Texas; 2209 West Dove Avenue **(CUP2024-0064)**
2. Request of Julian A. Whitacre on behalf of 2J Capital Investments, LLC for a Conditional Use Permit, for one year, for two portable building greater than 10 x 12, at all of Lots 1 and 2 of the Resubdivision of Lot 4, Rancho De La Fruta No. 2 Subdivision, Hidalgo County, Texas; 320 North McColl Road. **(CUP2024-0067)**
3. Request of RDZ Group Enterprises LLC on behalf of Covenant Christian Academy, for an Amendment to a Conditional Use Permit, for one year, for an institutional use, at Lot 1, Covenant Christian Academy Subdivision, Hidalgo County, Texas; 4201 North Ware Road. **(CUP2024-0071)**
4. Request of Jeanette Salinas on behalf of Golden Republic, LLC, for a Conditional Use Permit, for one year, and adoption of an ordinance, for a Smoke Shop at Lot 1, Golden Suites Subdivision, Hidalgo County, Texas; 4815 North 10th street Suite. 100. **(CUP2024-0069)**

b) REZONING:

1. Rezone from C-3 (business general) District to C-4 (commercial industrial) District: A 2.454 acre tract of land out of Lot 5, Block 22, Steele and Pershing Subdivision, Hidalgo County, Texas; 105 Dicker Road. **(REZ2024-0034)(TABLED ON 6/18/2024)**

2. Rezone from C-4 (commercial industrial) District to I-1 (light industrial) District: Lots 1-3, Block 3, Market Center Subdivision, Hidalgo County, Texas; 1001 North Jackson Road. **(REZ2024-0035)**

3) SITE PLAN:

- a) SITE PLAN APPROVAL FOR LOT 1, SAVE-A-LOT SUBDIVISION, HIDALGO COUNTY, TEXAS; 2400 PECAN BOULEVARD. **(SPR2024-0005)**

4) SUBDIVISIONS:

- a) Vacate Plat of Vida Lots 1-14 Subdivision and Replat to Vida Lots 1A-14A Subdivision, 5901 Mile 5 Road, Liman Ventures, LTD **(SUB2024-0061) (FINAL) STIG**
- b) Pecan Heights Subdivision, 100 East Pecan Boulevard, Terraform Development LLC **(SUB2024-0071) (PRELIMINARY) M2E**
- c) La Lomita Paradise Subdivision, 3500 La Lomita Road, La Lomita Paradise LLC, **(SUB2024-0073) (FINAL) RDE**
- d) Jackson Commerce Development Lot 9A Phase 4A Subdivision, 1021 East Highway 83, Thomas Vuong **(SUB2024-0063) (FINAL) CHLH**
- e) KMB Subdivision, 821 South 16th Street, SAMES Inc. **(SUB2024-0070) (PRELIMINARY) SAMES**
- f) Southfork Subdivision, 604 South Peking Street, Marie Isabelle O. Gutierrez **(SUB2024-0068) (PRELIMINARY) SE**
- g) RGV Cold Storages Boralis USA, Inc. Subdivision, 1100 Military Highway, St. John River Group **(SUB2024-0027) (FINAL) CHLH**

ADJOURNMENT:

IF ANY ACCOMMODATIONS FOR A DISABILITY ARE REQUIRED, PLEASE NOTIFY THE PLANNING DEPARTMENT (681-1250) 72 HOURS BEFORE THE MEETING DATE. WITH REGARD TO ANY ITEM, THE PLANNING & ZONING COMMISSION MAY TAKE VARIOUS ACTIONS, INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR PARTICULAR ACTION AT A FUTURE DATE.

**NOTICE OF REGULAR MEETING TO BE HELD BY
THE MCALLEN PLANNING & ZONING COMMISSION**

DATE: Wednesday, July 10, 2024

TIME: 3:30 PM

PLACE: McAllen City Hall
1300 Houston Avenue
Commissioners' Room – 3rd Floor
McAllen, Texas 78501

SUBJECT MATTERS: SEE FOREGOING AGENDA

C E R T I F I C A T I O N

I, the undersigned authority, do hereby certify that the above agenda for the Meeting of the McAllen Planning & Zoning Commission is a true and correct copy and that I posted a true and correct copy of said notice on the bulletin board in the municipal building, a place convenient and readily accessible to the general public at all times, and said notice was posted on the 5th day of July 2024, at 3:00 p.m. and will remain so posted continuously for at least 72 hours preceding the scheduled time of said meeting in accordance with Chapter 551 of the Texas Government Code.

Dated this the 5th day of July 2024,

Jessica Cavazos, Administrative Supervisor

**5/21/2024 MEETING
MINUTES**

**WILL BE UPLOADED TO
THE BOARD PACKET ON
MONDAY, JULY 8, 2024.**

Memo

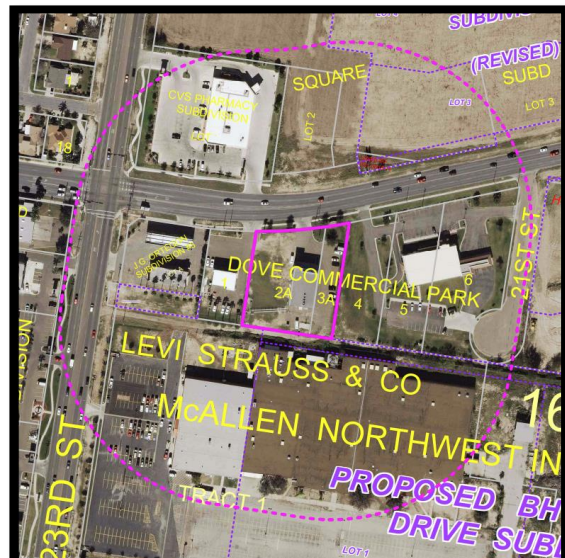
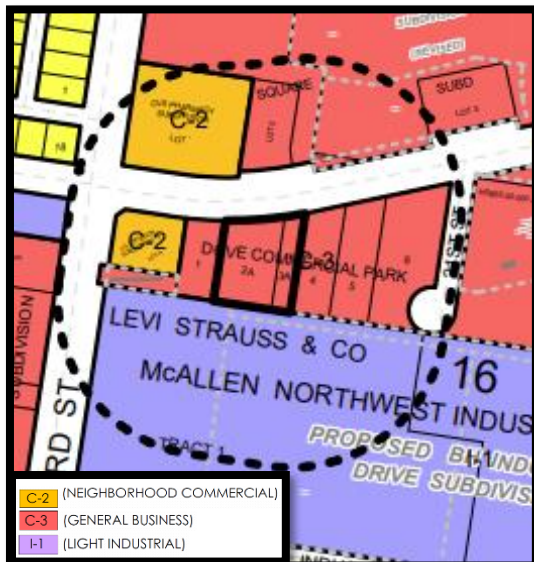
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 10, 2024

SUBJECT: REQUEST OF VICTOR D. MARROQUIN ON BEHALF OF LITTLE GREEN APPLES,LLC; FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR OF THE USE, FOR A BAR AT LOTS A2 AND A3, DOVE COMMERCIAL PARK SUBDIVISION , HIDALGO COUNTY, TEXAS;2209 WEST DOVE AVENUE. (CUP2024-0064)

BRIEF DESCRIPTION: The property is located along Dove Avenue east of 23rd street. The lot average size is 1.0564 acres. The property is zoned C-3. (General Business) District. The adjacent zoning is C-3 (General Business) District to the north, east, and west. Located adjacent south of the subject property an I-2 (Heavy Industrial District) is found. A C-2 (Neighborhood Commercial) is found near on west and northwest of the subject property. A bar is permitted on a C-3 district with a Conditional Use Permit and in compliance with requirements.



HISTORY: This is the initial Conditional Use Permit for a bar. An SPR for this location has been approved on April the 17th of 2024. Food trucks on site plan are not part of the scope of work and are pending further review and approval. A CUP for a food truck park may also be required prior to their installment as part of the food truck park.

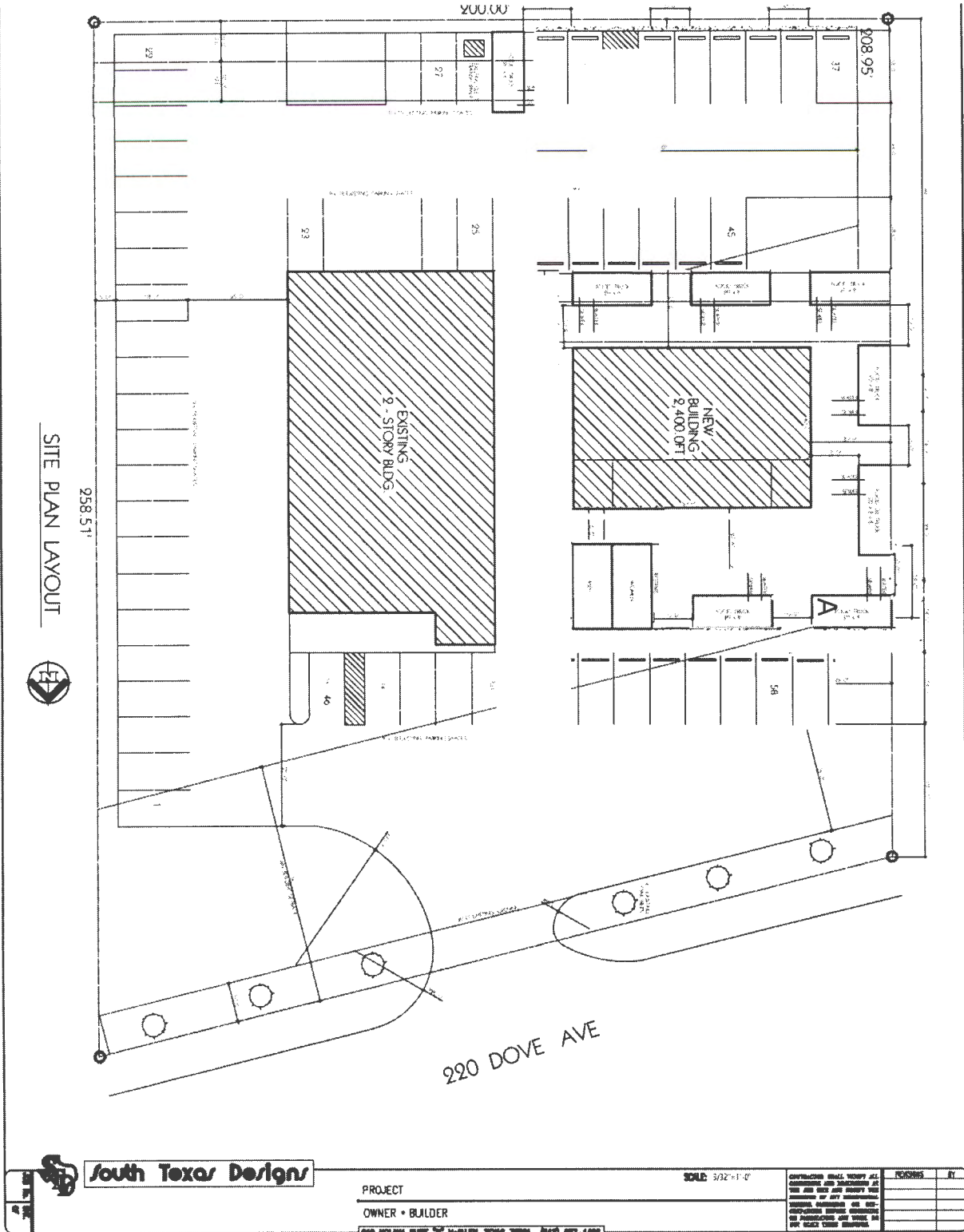
SUMMARY/ANALYSIS: The applicant is proposing to operate a bar on Food Truck Park at 2209 West Dove Avenue. The proposed days and hours of operation are, Monday through Thursday from 5:00 PM to 10:00 AM. Friday 5:00PM to 12:00AM and Saturday 11:00am-2:00AM

The Fire and Health Departments are still pending in their site inspections. The Planning Department has received no complaints regarding the proposed use as a bar. As per Section 138-400 of the Zoning Ordinance, the parking lot must be properly striped and free of potholes. The establishment must comply with requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of the lot of the above mentioned business address must be at least 400 ft. from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. No church, school, or publicly owned property falls within the 400 ft. radius.
- 2) The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The property has access from North Dove Avenue.
- 3) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. If hours of operation are different for each existing use in the property, then parking requirements may be considered separately for compliance. 50 parking spaces will be required for the new development only. However, if the hours of operations overlap between the existing office building use and the food truck park, then 92 parking spaces will be required for the overall site.
- 4) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties;
- 5) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;

- 6) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and
- 7) The above mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

RECOMMENDATION: Staff recommends approval of the request subject to conditions noted, zoning ordinance, Building Code and Fire Department requirements.



SITE PLAN LAYOUT



South Texas Designs

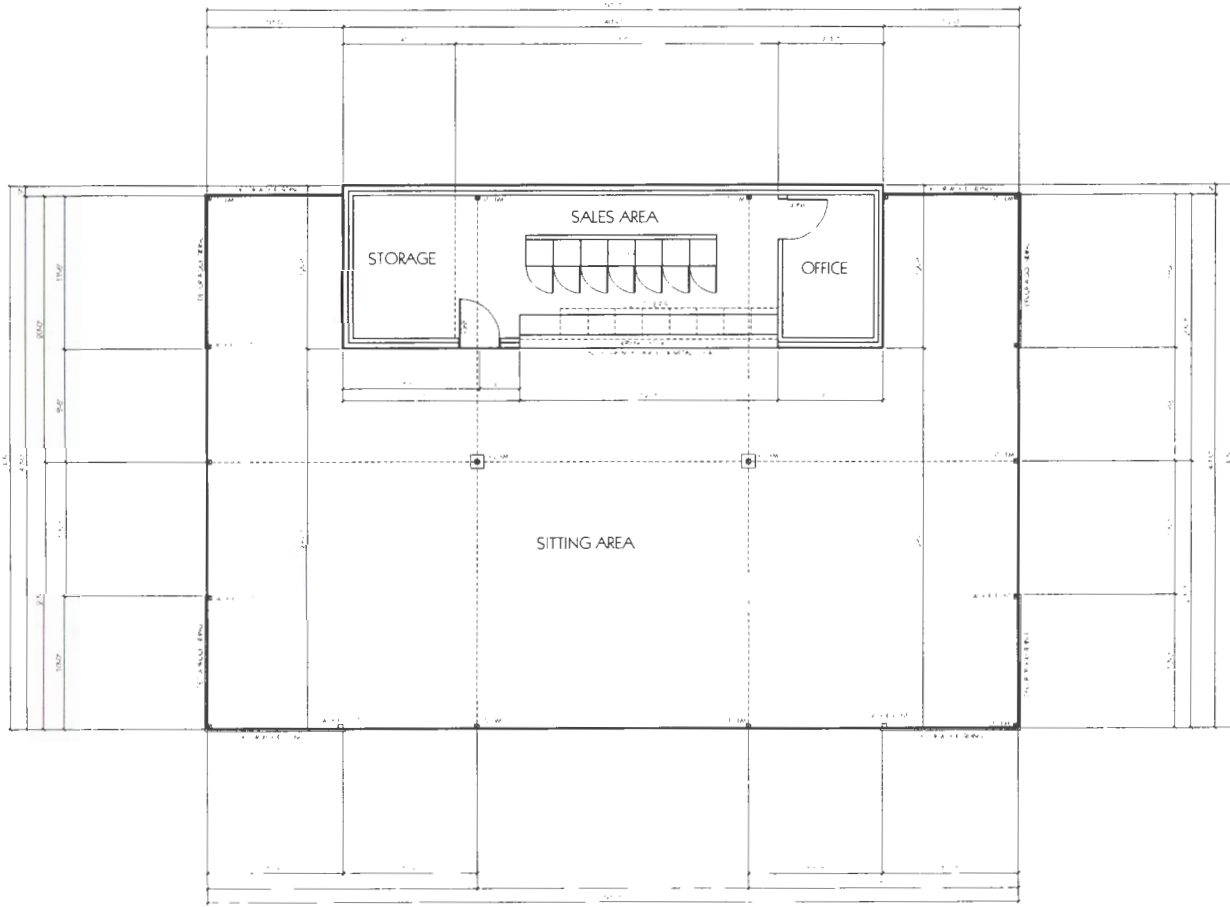
PROJECT
OWNER • BUILDER
210 HOLMAN AVE • WILLOW, TEXAS 76081 (817) 887-1488

SCALE: 3/32" = 1'-0"

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF THE AREAS ARE SHOWN AND BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS. NO CONSTRUCTION SHALL BE UNDERTAKEN WITHOUT THE APPROVAL OF THE CITY ENGINEER AND THE CITY CLERK.

REVISIONS	BY

RECEIVED
MAY 24 2024
By NG



FLOOR PLAN LAYOUT
BUILDING AREA 2400.00



South Texas Design

PROJECT

OWNER • BUILDER

210 MOUNTAIN VIEW DR, WILLOW, TEXAS 76084 (855) 657-1400

SCALE: 1/4" = 1'-0"

RECEIVED
MAY 24 2024

By **N67**

**NOTICE
BAR
FOR
THIS PROPERTY
CUP 2024-0064**

CITY OF MCALLEN PLANNING DEPT.
956.681-1250
WWW.MCALLEN.NET



Memo

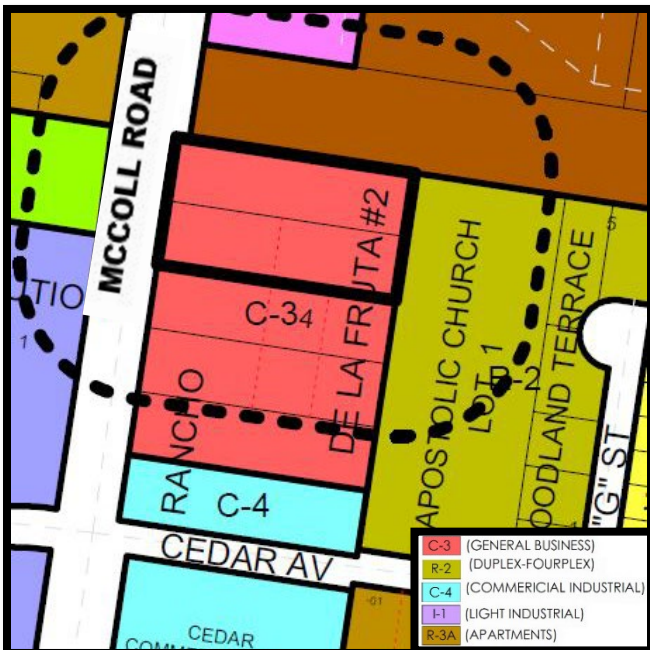
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 25, 2024

SUBJECT: REQUEST OF JULIAN A. WHITACRE ON BEHALF OF 2J CAPITAL INVESTMENTS, LLC FOR A CONDITONAL USE PERMIT, FOR ONE YEAR, FOR TWO PORTABLE BUILDING GREATER THAN 10 X 12, AT ALL OF LOTS 1 AND 2 OF THE RESUBDIVISION OF LOT 4, RANCHO DE LA FRUTA NO. 2 SUBDIVISION, HIDALGO COUNTY, TEXAS; 320 NORTH MCCOLL ROAD. (CUP2024-0067)

BRIEF DESCRIPTION: The property is located at the east side of North McColl Road approximately 470 feet north of Cedar Avenue. The subject property is zoned C-3 (general business) District. The adjacent zoning is R-4 (mobile home) District to the north, R-2 (duplex-fourplex) District to the east, C-3 District to the south and A-O (agriculture & open space) and I-1 (light industrial) District to the west. Surrounding land uses include Mcallen MRI Center, Don Pepe's Mexican Restaurant, premier storage and Law Office of John David Franz. A portable building is allowed in a C-3 District with a Conditional Use Permit and in compliance with requirements



HISTORY: This is the initial application for two portable building greater than a 10 x 12 at this location. The application for a conditional use permit was submitted on June 6, 2024.

SUMMARY/ANALYSIS: The applicant is proposing to utilize two portable building containers that will measure 20 feet long, 8 feet wide and 6 feet in height. The two portable containers will be located on the north side of the subject property. The containers will be used for the overflow of large equipment, extra cleaning supplies, and extra medical accessories for the Mcallens MRI center. The portable building will be in compliance with requirements.

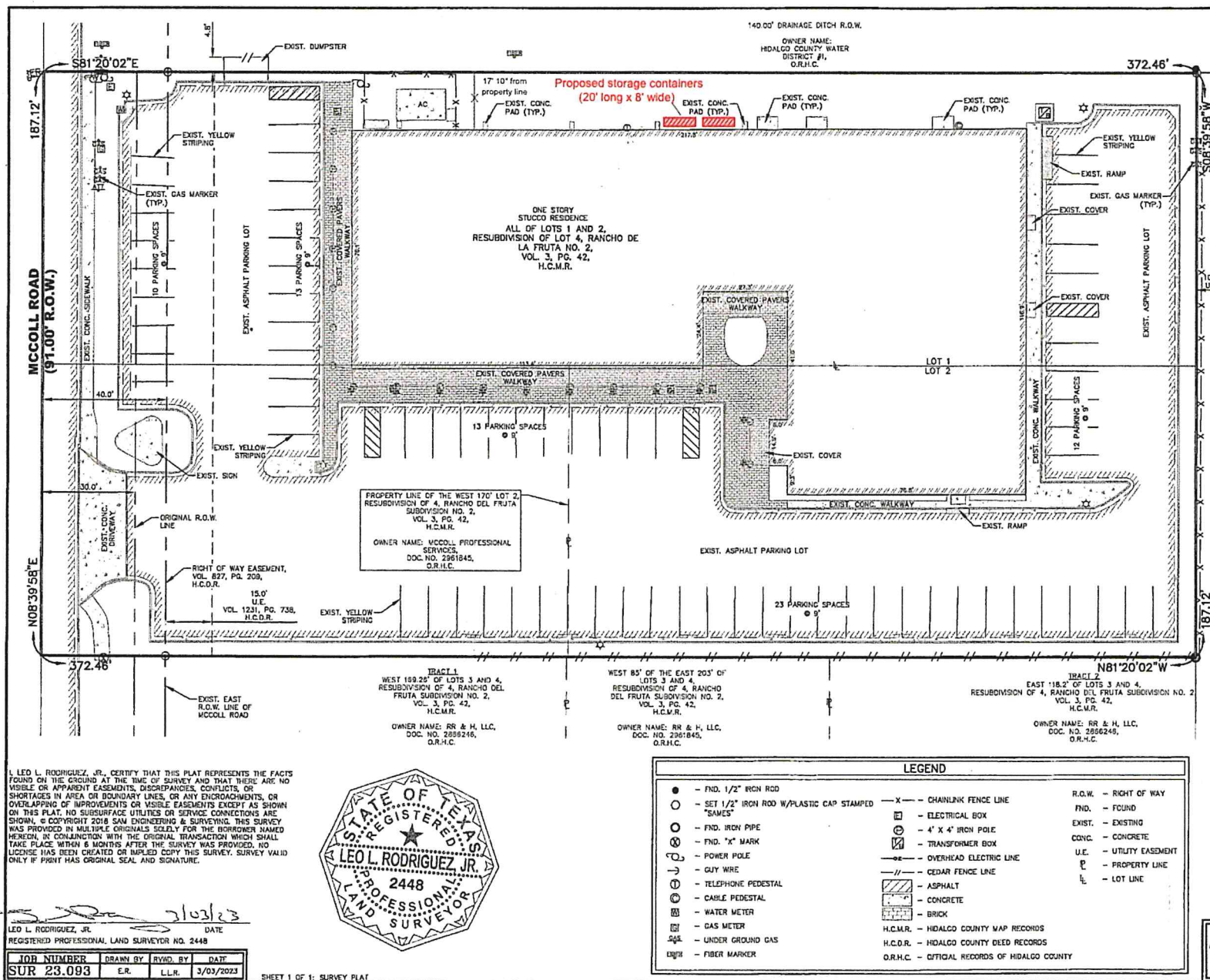
The Fire Department is still pending approval. Should the Conditional Use Permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The portable building must also meet the requirements set forth in Section 138-118 of the Zoning Ordinance and specific requirements as follows:

- 1) Portable buildings shall not be used for living quarters. Portable buildings will be used for storage of business equipment;
- 2) Portable buildings shall be located in such a manner as to have access to a public right-of-way within 200 feet. There is access to North McColl Road to the west.
- 3) Portable buildings approved for occupancy shall be connected to an approved water distribution and sewage disposal system.
- 4) Portable buildings shall be provided with garbage and trash collection services.

If approval is granted to this request, the applicant must still comply with all other Zoning Ordinance and Building Code requirements that will be requested during the building permit process.

Staff did not receive any phone calls, letters, or emails in opposition to this request.

RECOMMENDATION: Staff recommends approval of the request, for one year, subject to Section 138-118 of the Zoning Ordinance, Building, and Fire Department requirements.



GENERAL NOTES:
ADDRESS: 320 N MCCOLL ROAD, MCALLEN, TEXAS 78501
SURVEYED: FEBRUARY 18, 2023
REQUESTED BY: BRYAN LOPEZ - CJ MULLER AND ASSOCIATES
PROPOSED BORROWER: JCM INVESTMENT CAPITAL LLC

SCALE: 1" = 30'

FLOOD ZONE DESIGNATION: "ZONE B" - AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD.

COMMUNITY-PANEL NUMBER: 480343 0005 C
MAP REVISED: NOVEMBER 2, 1985

SURVEY NOTES:
1. BASIS OF BEARING THE EAST RIGHT OF WAY LINE OF MCCOLL ROAD, RESUBDIVISION OF LOT 4, RANCHO DE LA FRUTA NO. 2, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 3, PAGE 42, MAP RECORDS OF HIDALGO COUNTY, TEXAS.
2. ALL COORDINATES, BEARINGS, AND DISTANCES, ARE BASED ON THE TEXAS COORDINATE SYSTEM, (NAD 83), TEXAS STATE PLANE, SOUTH ZONE, US SURVEY FEET. GRID, BEARINGS AND DISTANCES SHOWN IN PARENTHESES ARE BASED ON RECORDED DOCUMENT.
3. ALL HORIZONTAL CONTROL ON THIS PROJECT WAS ESTABLISHED UTILIZING RTK GPS METHODS.
4. THE SURVEYOR DID NOT PREPARE AN ABSTRACT OF TITLE. TITLE WORK WAS FURNISHED BY FIRST NATIONAL TITLE INSURANCE COMPANY, UNDER FILE NO. 23-718753-SA, AND TITLE COMMITMENT DATED EFFECTIVE JANUARY 6, 2023. SURVEYOR ASSUMES NO LIABILITY FOR THE ACCURACY OF THE TITLE WORK FURNISHED.
THE FOLLOWING MATTERS AND ALL TERMS OF THE DOCUMENTS CREATING OR OFFERING EVIDENCE OF THE MATTER:
5. SUBJECT TO THE SUBDIVISION RULES AND REGULATIONS OF THE COUNTY OF HIDALGO AND ORDINANCES OR GOVERNMENTAL REGULATIONS OF THE CITY IN WHICH THE PROPERTY MAY BE LOCATED OR HOLDING EXTRA TERRITORIAL JURISDICTION OF SAID PROPERTY.
6. SCHEDULE "B" ITEMS FROM TITLE COMMITMENT
a. ALL VISIBLE AND APPARENT EASEMENTS OR USES AND ALL UNDERGROUND EASEMENTS OR USES, THE EXISTENCE OF UNRECORDED GRANT OR BY USE.
b. THE FOLLOWING EASEMENT(S) AND/OR BUILDING LINE(S) AFFECTING THE SUBJECT PROPERTY AS SHOWN ON MAP OR PLAT RECORDED IN VOLUME 3, PAGE 42 MAP OR PLAT RECORDS, HIDALGO COUNTY, TEXAS:
15 FOOT ROAD EASEMENT ALONG THE WEST PROPERTY LINE(S).
c. EASEMENT FOR RIGHT OF WAY GRANTED TO HIDALGO COUNTY, AS SET FORTH IN INSTRUMENT RECORDED IN VOLUME 827, PAGE 209, DEED RECORDS, HIDALGO COUNTY, TEXAS. (DOES AFFECT)
d. EASEMENT GRANTED TO CITY OF MCALLEN, AS SET FORTH IN INSTRUMENT RECORDED IN VOLUME 1231, PAGE 738, DEED RECORDS, HIDALGO COUNTY, TEXAS. (DOES AFFECT)
e. RIGHT OF WAY EASEMENT EXECUTED BY OXY USA, INC. TO SHARYLAND WATER SUPPLY CORPORATION, DATED APRIL 29, 2011, FILED MAY 17, 2011, RECORDED IN 2011220609A, REAL PROPERTY RECORDS, HIDALGO COUNTY, TEXAS. (DOES AFFECT)
f. RIGHT OF WAY EASEMENT EXECUTED BY OXY USA, INC. TO SHARYLAND WATER SUPPLY CORPORATION, DATED APRIL 29, 2011, FILED MAY 17, 2011, RECORDED IN 2011220609B, REAL PROPERTY RECORDS, HIDALGO COUNTY, TEXAS. (DOES AFFECT)
g. RIGHT OF WAY EASEMENT EXECUTED BY OXY USA, INC. TO SHARYLAND WATER SUPPLY CORPORATION, DATED APRIL 29, 2011, FILED MAY 17, 2011, RECORDED IN 2011220609C, REAL PROPERTY RECORDS, HIDALGO COUNTY, TEXAS. (DOES AFFECT)
h. EASEMENT AND RIGHT OF WAY EXECUTED BY MCCOLL PROFESSIONAL SERVICES, L.P. TO CENTRAL POWER AND LIGHT COMPANY, DATED SEPTEMBER 20, 2001, FILED OCTOBER 24, 2001, RECORDED IN 1019460, REAL PROPERTY RECORDS, HIDALGO COUNTY, TEXAS. (DOES AFFECT)
i. EASEMENT AND RIGHT OF WAY EXECUTED BY CENTRAL POWER AND LIGHT COMPANY, DATED AUGUST 24, 1995, FILED SEPTEMBER 7, 1995, RECORDED IN 473503, REAL PROPERTY RECORDS, HIDALGO COUNTY, TEXAS. (DOES AFFECT)

PLAT SHOWING
ALL OF LOTS 1 AND 2, RESUBDIVISION OF LOT 4, RANCHO DE LA FRUTA NO. 2, AN ADDITION TO THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 3, PAGE 45, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

MCCOLL ROAD
(91.00' R.O.W.)

N08°39'58"E

187.12'

S81°20'02"E

140.00' DRAINAGE DITCH R.O.W.

OWNER NAME:
HIDALGO COUNTY WATER
DISTRICT #1,
O.R.H.C.

Proposed storage containers
(20' long x 8' wide)

9'10"
JW

3 ft
apart

ONE STORY
STUCCO RESIDENCE
ALL OF LOTS 1 AND 2,
RESUBDIVISION OF LOT 4, RANCHO DE
LA FRUTA NO. 2,
VOL. 3, PG. 42,
H.C.M.R.

PROPERTY LINE OF THE WEST 170' LOT 2,
RESUBDIVISION OF 4, RANCHO DEL FRUTA
SUBDIVISION NO. 2,
VOL. 3, PG. 42,
H.C.M.R.

OWNER NAME: MCCOLL PROFESSIONAL
SERVICES,
DOC. NO. 2961845,
O.R.H.C.

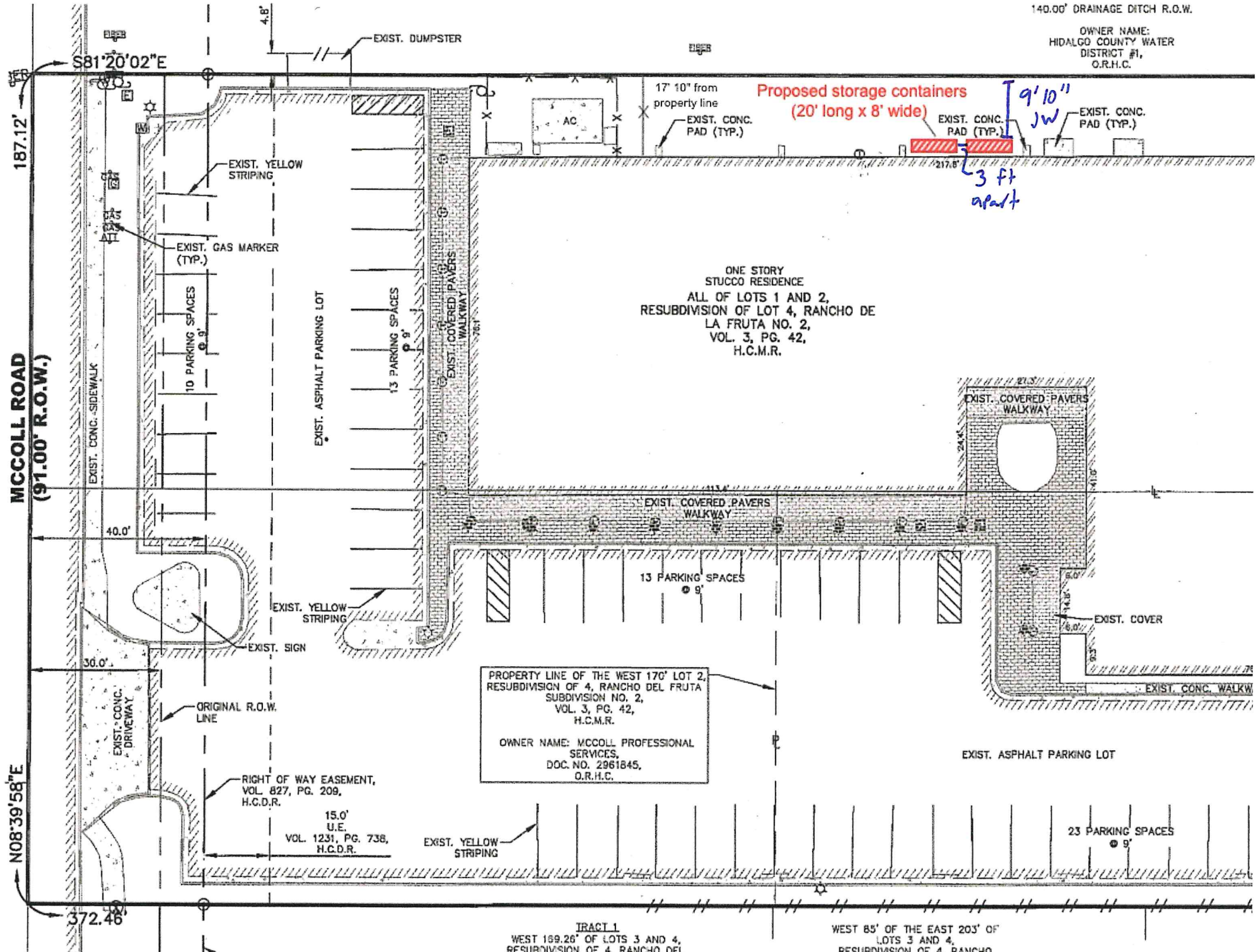
RIGHT OF WAY EASEMENT,
VOL. 827, PG. 209,
H.C.D.R.

15.0'
U.E.
VOL. 1231, PG. 738,
H.C.D.R.

EXIST. YELLOW
STRIPING

TRACT 1
WEST 199.26' OF LOTS 3 AND 4,
RESUBDIVISION OF 4, RANCHO DEL

WEST 85' OF THE EAST 203' OF
LOTS 3 AND 4,
RESUBDIVISION OF 4, RANCHO







MCALLEN M.R.I. CENTER

**NOTICE
PORTABLE
BUILDING
FOR
THIS PROPERTY
CUP 2024-0067**
CITY OF MCALLEN PLANNING DEPT.
956-681-1250
WWW.MCALLENNET

Planning Department

Memo

TO: Planning and Zoning Commission

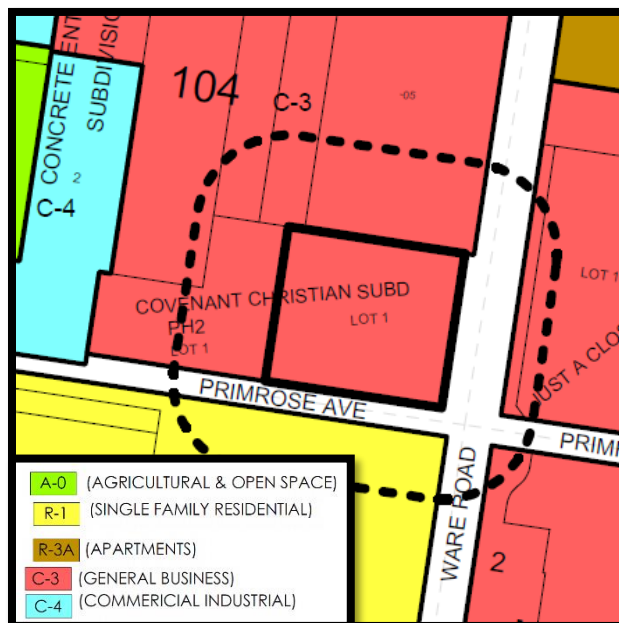
FROM: Planning Staff

DATE: June 25, 2024

SUBJECT: REQUEST OF RDZ GROUP ENTERPRISES LLC ON BEHALF OF COVENANT CHRISTIAN ACADEMY, FOR AN AMENDMENT TO A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR AN INSTITUTIONAL USE, AT LOT 1, COVENANT CHRISTIAN ACADEMY SUBDIVISION, HIDALGO COUNTY, TEXAS; 4201 NORTH WARE ROAD. (CUP2024-0071)

BRIEF DESCRIPTION:

The subject property is located at the northwest corner of North Ware Road and Primrose Avenue. The property is zoned C-3 (general business) District. The adjacent zoning is C-3 District in all directions except to the south there is R-1 (single family residential) District. A school is allowed in a C-3 District with a Conditional Use Permit.



HISTORY:

This is an amendment to a Conditional Use Permit for an Institutional Use at this location submitted on June 19, 2024.

REQUEST/ANALYSIS:

The initial Conditional Use Permit for a school was approved by City Commission on July 10, 1995. This request is for the Covenant Christian Academy, and it is part of a master building project that the school intends to complete through a series of phases. The applicant is proposing at this time to place a portable building, approximately 2,220 sq. ft., in front of an existing gymnasium.

The Fire Department is pending to complete the inspection for the existing institutional use. Should the Conditional Use Permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The proposed use must meet the requirements set forth in Section 138-118 of the Zoning Ordinance and specific requirements as follows:

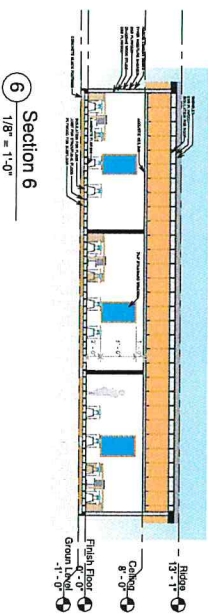
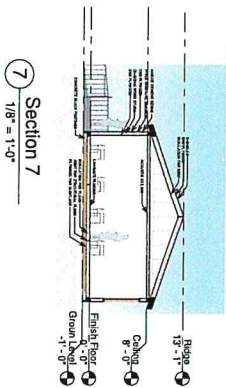
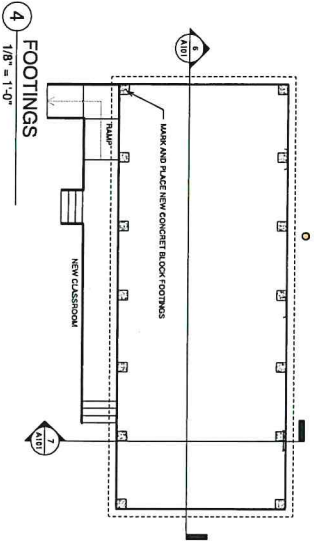
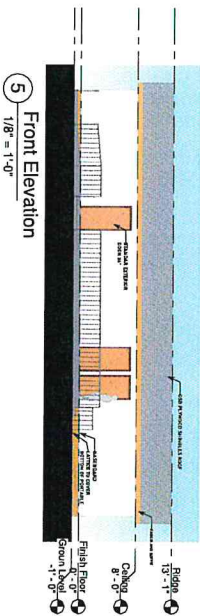
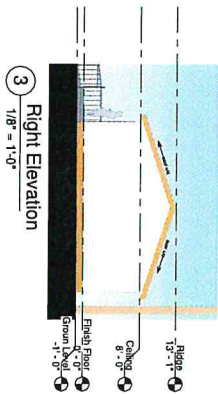
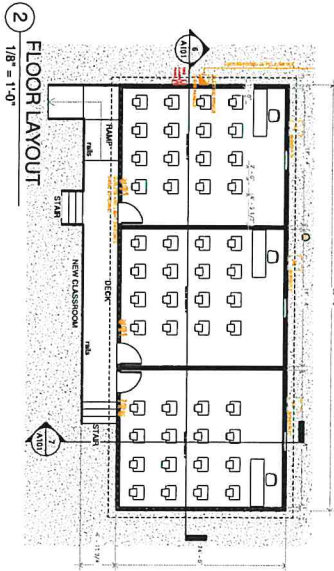
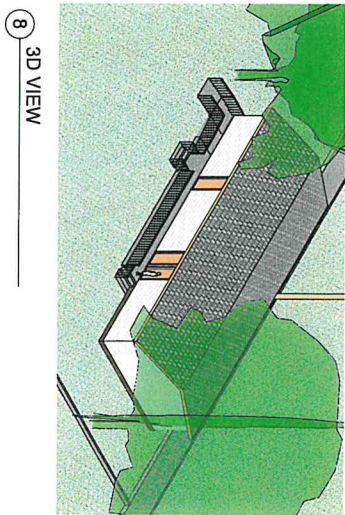
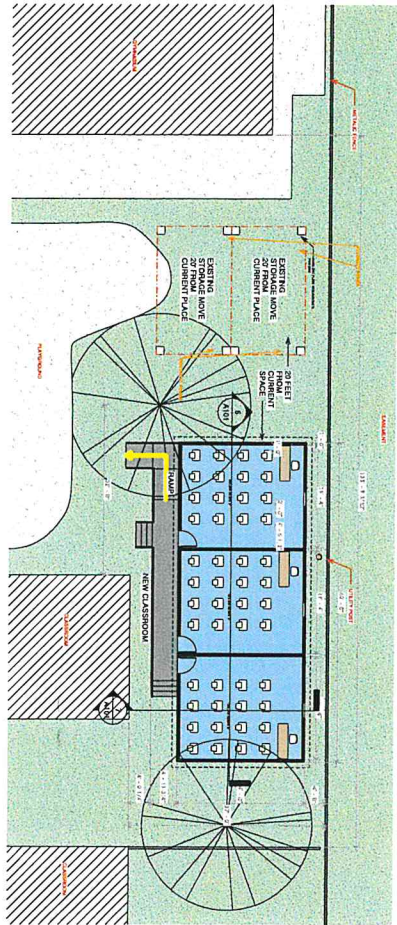
- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The property is adjacent to North Ware Road.
- 2) The proposed use shall comply with the Off-street Parking and Loading Ordinance and make provisions to prevent the use of street parking especially in residential areas. Should the number of offices and classrooms increase, additional parking will be required.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges, or reorientation of entrances and exits.
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activity.
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas.
- 6) The number of persons within the building shall be restricted to those allowed by the Fire Marshal and Building Official at the time of permit issuance.
- 7) Sides adjacent to a residentially zoned or use property shall be screened by a 6' opaque buffer.

If approval is granted, the establishment must comply with all other Zoning ordinances, Building Code, and Fire Department requirements. Site plan review and Subdivision may be required prior to any issuance of building permits. Any current and future structures must comply with setbacks and easements. No certificate of occupancy will be issued until all requirements are being met from the Development Team.

The Planning Department has received no calls or concerns regarding the proposed use.

RECOMMENDATION:

Staff recommends approval of the request to an amendment for a Conditional Use Permit subjected to compliance with Section 138-118(a) of the Zoning Ordinance, Building Code and Fire Department requirements.



1000 N. 10th Street, Suite 100 Phoenix, AZ 85006 (602) 998-1000 www.rdzgroup.com	
PROJECT NO. 1000 N. 10th Street, Suite 100 Phoenix, AZ 85006 (602) 998-1000 www.rdzgroup.com	CLIENT CCA 1000 N. 10th Street, Suite 100 Phoenix, AZ 85006 (602) 998-1000 www.rdzgroup.com
DATE 1000 N. 10th Street, Suite 100 Phoenix, AZ 85006 (602) 998-1000 www.rdzgroup.com	DRAWN BY 1000 N. 10th Street, Suite 100 Phoenix, AZ 85006 (602) 998-1000 www.rdzgroup.com
CHECKED BY 1000 N. 10th Street, Suite 100 Phoenix, AZ 85006 (602) 998-1000 www.rdzgroup.com	APPROVED BY 1000 N. 10th Street, Suite 100 Phoenix, AZ 85006 (602) 998-1000 www.rdzgroup.com
PROJECT NAME 1000 N. 10th Street, Suite 100 Phoenix, AZ 85006 (602) 998-1000 www.rdzgroup.com	
SHEET NO. 1000 N. 10th Street, Suite 100 Phoenix, AZ 85006 (602) 998-1000 www.rdzgroup.com	





Planning Department

Memo

TO: Planning and Zoning Commission

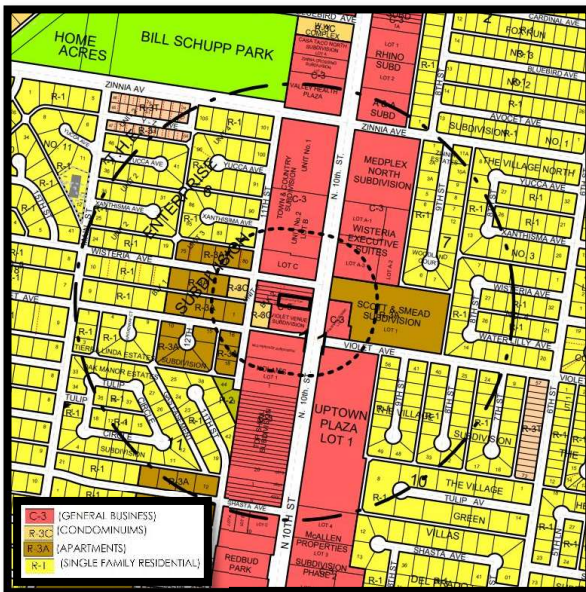
FROM: Planning Staff

DATE: June 25, 2024

SUBJECT: REQUEST OF JEANETTE SALINAS ON BEHALF OF GOLDEN REPUBLIC, LLC, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR A SMOKE SHOP AT LOT 1, GOLDEN SUITES SUBDIVISION, HIDALGO COUNTY, TEXAS; 4815 NORTH 10TH STREET SUITE. 100. (CUP2024-0069)

BRIEF DESCRIPTION:

The subject property is located at the west side of North 10th Street and 75 feet south Wisteria Avenue. The proposed smoke shop will be located within a commercial plaza. The subject property is zoned C-3 (general business) District. The adjacent zoning is C-3 District in all directions except to the east across 10th street which is R-3A (multifamily residential apartments) District. Smoke and vape shops are allowed in a C-3 District with a Conditional Use Permit and in compliance with requirements.



REQUEST/ANALYSIS:

The applicant is proposing to operate a retail vape and smoke shop, in a 2,400 sq. ft. suite, which is part of a multi-tenant commercial building. The proposed hours of operation are 10:00 a.m. – 12:00 a.m. Monday through Sunday.

The Fire Department is pending to complete the inspection for the proposed business. As per Section 138-400 of the Zoning Ordinance, the parking lot must be properly striped and free of potholes. The establishment must comply with requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

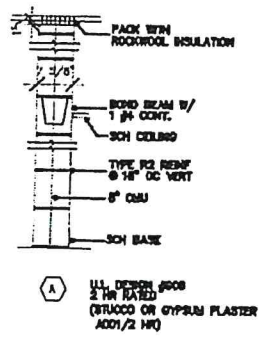
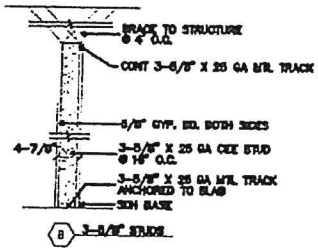
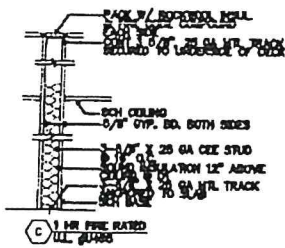
- 1) The property line of the lot of any of the abovementioned business must be at least 400 ft. from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruption of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The proposed establishment is within 400 feet of a residential district or user.
- 2) The abovementioned business must be as close as possible to a major arterial, and shall not allow the traffic generated by such business onto residential streets, or allow such traffic to exit into and disrupt residential areas. The subject property has frontage along North 10th Street.
- 3) The abovementioned business must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. Parking spaces are provided on site as part of a common parking area in the front of the building. The proposed business will require 9 parking spaces.
- 4) The abovementioned business must do everything possible to prevent the unauthorized parking by the patrons of such business on adjacent businesses or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances;
- 5) The abovementioned business should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility as much as possible of the site from a public street;
- 6) The abovementioned business must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties;
- 7) The abovementioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Director of Planning. The occupancy load for this establishment will be established by the Building and Inspections Department as part of the building permit review process.

If approval is granted, the establishment must comply with all other Zoning ordinances, Building Code, and Fire Department requirements.

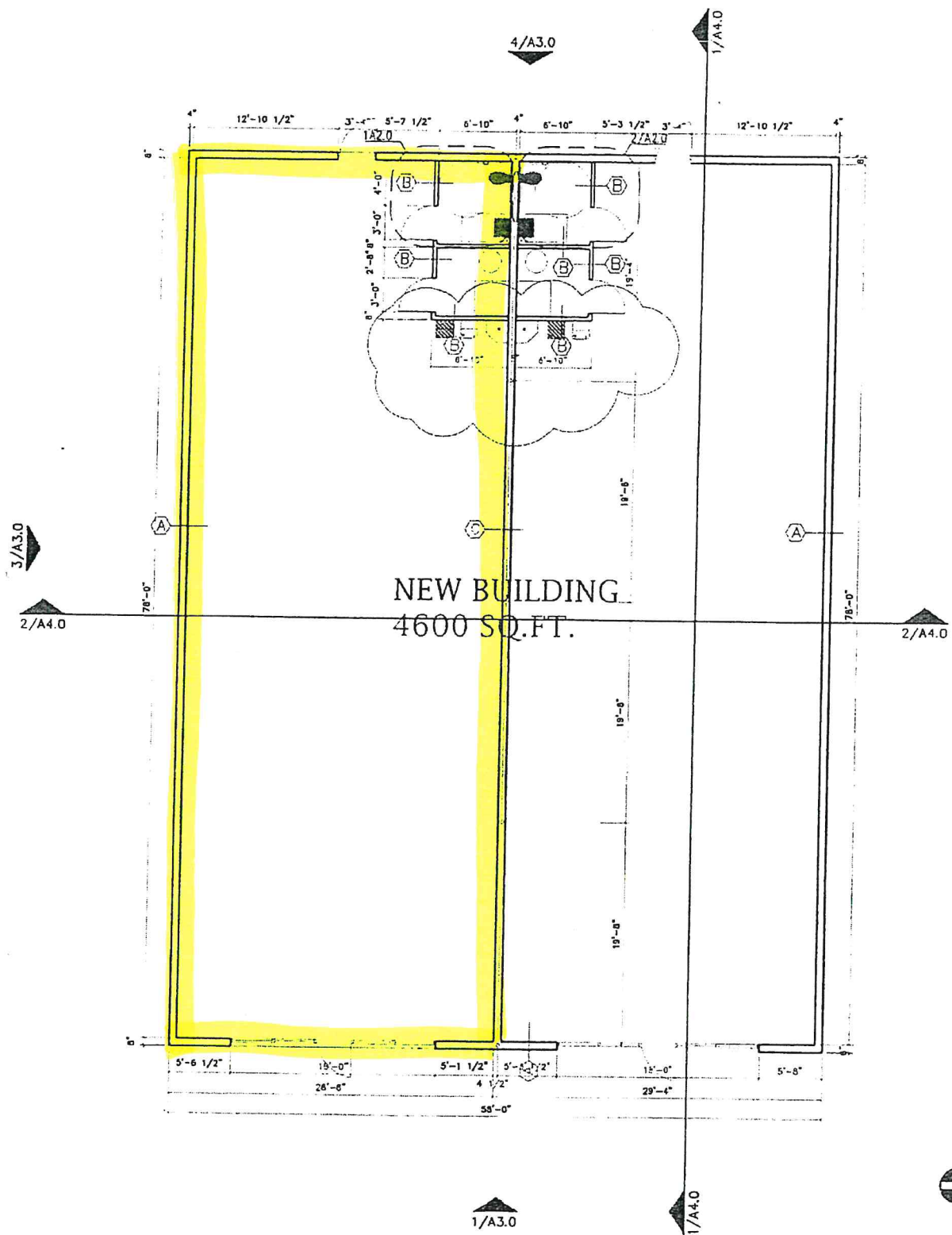
The Planning Department has received no calls or concerns regarding the proposed use.

RECOMMENDATION TO P&Z:

Staff recommends disapproval of the request based on non-compliance with requirement listed above as #1 (distance to a residence or a residentially zoned property) of Section 138-118(a)(4) of the Zoning Ordinance. If approved, the Conditional Use Permit must comply with conditions noted.



2 PARTITION WALLS
SCALE: 3/4"=1'-0"



- GENERAL NOTES:
- OWNER WILL SOILS TESTS PRIOR TO FOUNDATION WORKS.
 - PROVIDE SIDEWALK AS PER BASE BID.
 - CONTRACTOR SHOULD THE UTILITIES RUNNING ALONG THE PROPERTY LINE. (U.R. WATER & SEWER.)
 - WARNING: CONTACT _____ FOR ELECTRICAL SERV. & WATER & SEWER UTILITIES.
 - ALL CONSTRUCTION AND MATERIALS FOR DRAINAGE, GRADING AND PAVING TO BE IN ACCORD WITH "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION".
 - ALL SOIL PLACED ONTO SITE IS TO BE COMPACTED TO 80% DENSITY, EXCEPT UNDER ANY PAVING COMPACTON IS TO BE 95%.
 - CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL FOR CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR PAYING ANY FEES FOR PERMITS AS MAY BE REQUIRED FOR THIS CONSTRUCTION.
 - CONTRACTOR TO SET CONTROL GRADES AT 25' INTERVALS ALONG ALL PAVING FLOW LINES.

PROPOSE BUILDING	
OFFICES	4,600 SQ. FT.
WHOLE BUILDING	4,600 SQ. FT.

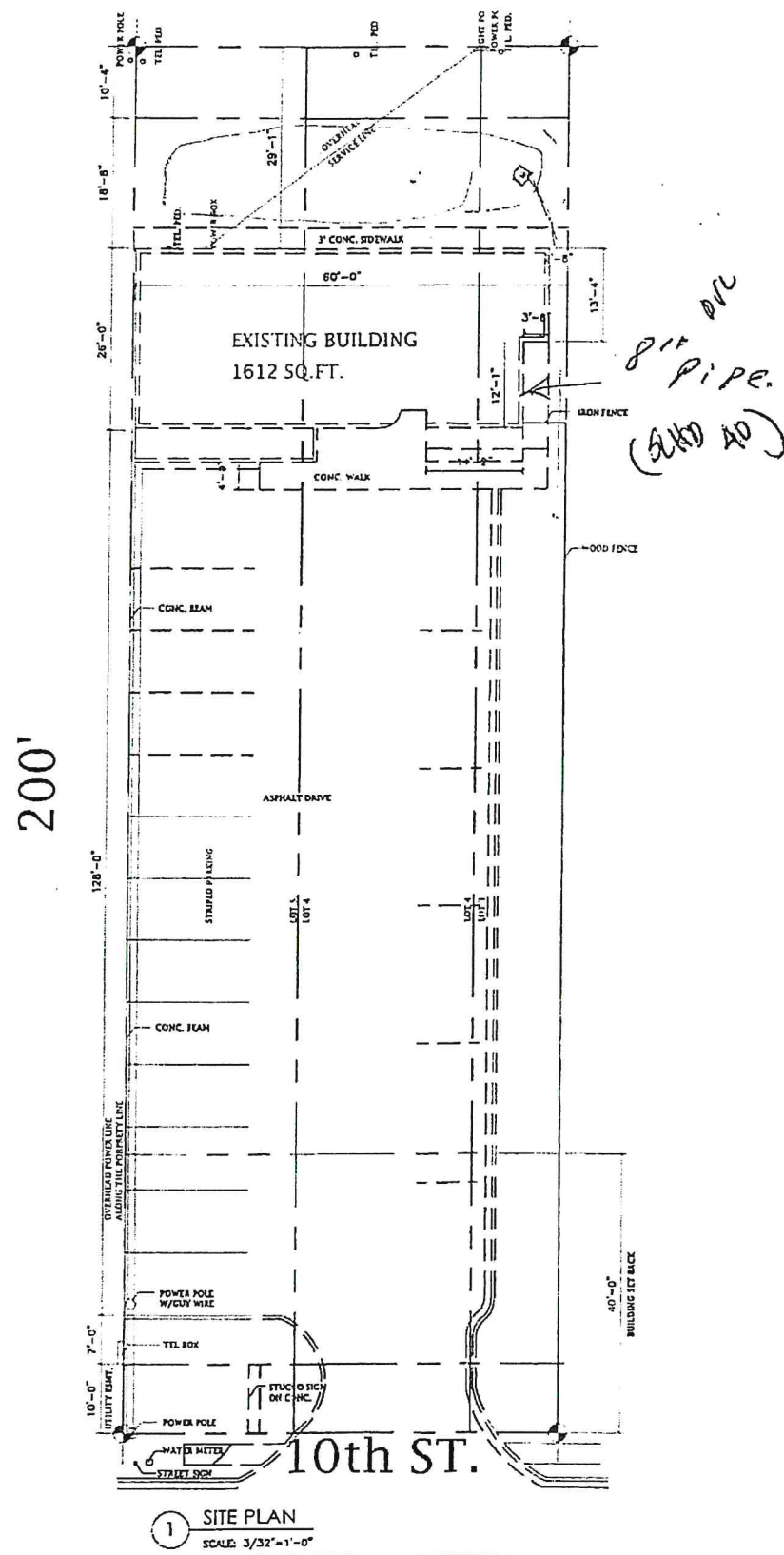
1 FLOOR PLAN
3/16"=1'-0"

ES-CADD

SITE FOR
GOLDEN SUITES
McALLEN, TEXAS

SHEET:
A1.0
OF:





LEGEND:

- DEMOTES ITEMS TO BE DEMOLISHED
- DEMOTES EXISTING WALL TO REMAIN

GENERAL NOTES

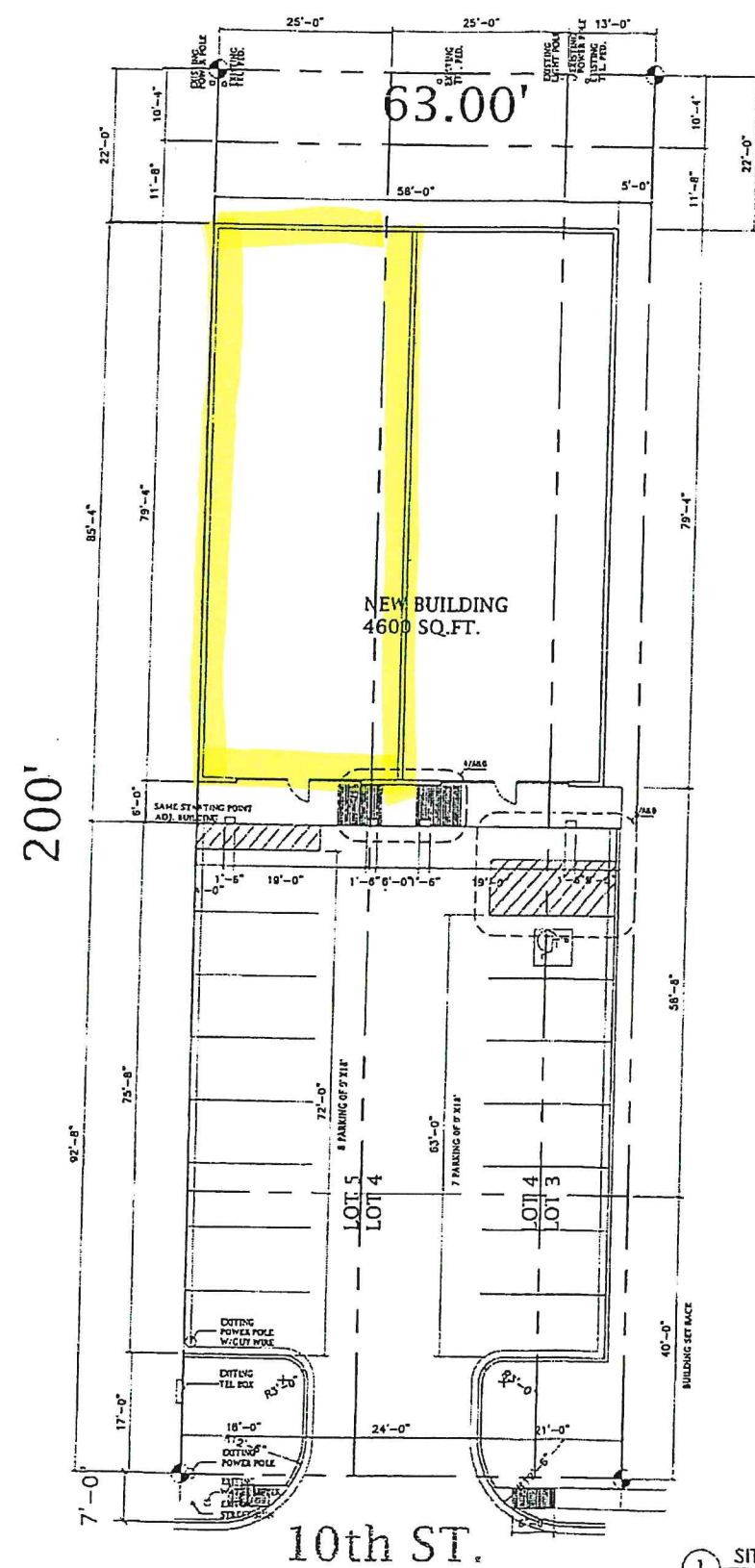
1. CONTRACTOR SHALL REVIEW ARCHITECTURAL PLANS FOR REQUIREMENTS/COORDINATION PRIOR TO PERFORMING DEMOLITIONS, NEW WORK OR ARCHITECTURAL DRAWINGS TAKE PRECEDENCE.
2. FIELD VERIFY ALL EXISTING DIMENSIONS, CONDITIONS AND LOCATIONS.
3. PROTECT EXISTING WORK TO REMAIN AS REQUIRED TO PREVENT UNNECESSARY DAMAGE DUE TO DEMOLITION.
4. COORDINATE SCHEDULING OF ALL UTILITY AND SERVICE REQUIRED BY THE WORK WITH THE CITY ENGINEER.
5. THE OWNER, UNDER A SEPARATE CONTRACT WILL HAVE HAZARDOUS MATERIALS (ASBESTOS CONTAINING) REMOVED FROM THE BUILDING AND SITE PRIOR TO THE CONTRACTOR'S DEMOLITION OR NEW WORK IN EFFECTED AREAS. THIS WORK GENERALLY PERTAINS TO THE REMOVAL OF COMPOSITION FLOORFLOE, INSULATION AT MECHANICAL PIPING, CEILING SPANDRELS AT WINDOWS.
6. THE OWNER WILL INVESTIGATE THE LOCATIONS OF ASBESTOS CONTAINING MATERIALS AND REMOVE THEM PRIOR TO THE CONTRACTOR STARTING THE WORK. DEMOLITIONS, DURING THE PROCESS OF DEMOLITION OR REMODELING AND WHEN EXISTING MATERIALS ARE EXPOSED AND APPEAR TO CONTAIN ASBESTOS, THE CONTRACTOR WILL NOTIFY THE OWNER AND THE OWNER WILL TEST THE MATERIAL, AND IF REQUIRED, REMOVE IT IN A TIMELY MANNER SO AS TO ALLOW THE CONTRACTOR TO CONTINUE HIS WORK AS RAPIDLY AS POSSIBLE. KNOWN ASBESTOS CONTAINING MATERIALS (ACM) GENERALLY CONSISTS OF THE FOLLOWING: INSULATION FOR HOT WATER PIPING, VINYL ASBESTOS FLOOR TILE, FLOOR WASTE ADHESIVES FOR FLOOR TILE OR CARPET, TRANSITE PANELS AT WINDOW WALLS, UNDERGROUND TRANSMIT HOT & COLD WATER PIPING, TEXTURED FINISHES BELOW CONCRETE WALKWAY.

ES-CADD

SITE FOR
GOLDEN SUITES
McALLEN, TEXAS

SHEET:
D1.0
OF:

RECEIVED
JUN 14 2024
By NG



LEGAL DESCRIPTION
4815 N. 10TH STREET
LOTS 3,4 & 5 BLOCK 2 T.H.E.
ENTERED SUBDIVISION MAP ADDITION
TO THE CITY OF MACLEAN, HIDAAGO COUNTY
WISCONSIN, T4 78504

PARKING REQUIRED
REQUIRED: 15 PARKING SPACES
HAVE: 14 PARKING SPACES
1 HC PARKING SPACES

TOTAL: 15 PARKING SPACES

LANDSCAPE
LOT AREA= 12,600.00 (1)
10% LANDSCAPE REQUIRED= 1,260.00 (1)
TAX= 2,628.00 (1)

GENERAL NOTES:

1. OWNER WILL SOILS TESTS PRIOR TO FOUNDATION WORKS.
2. PROVIDE SIDEWALK AS PER BASE BID.
3. CONTRACTOR SHALL THE UTILITIES RUNNING ALONG THE _____ PROPERTY LINE. (U.R. WATER & SEWER.)
4. WARNING: CONTRACT _____ FOR ELECTRICAL SERV. & WATER & SEWER UTILITIES.
5. ALL CONSTRUCTION AND MATERIALS FOR DRAINAGE, GRADING AND PAVING TO BE IN ACCORD WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION".
6. ALL SOIL PLACED ONTO SITE IS TO BE COMPACTED TO 80% DENSITY, EXCEPT UNDER ANY PAVING COMPACTION IS TO BE 95% .
7. CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL FOR CONSTRUCTION.
8. CONTRACTOR IS RESPONSIBLE FOR PAYING ANY FEES FOR PERMITS AS MAY BE REQUIRED FOR THIS CONSTRUCTION.
9. ALL PIPE SLEEVES MAY BE SCH. 40 PVC AND FURNISHED IN PLACE BY THE CONTRACTOR BEFORE PAVING.
 - A. IRRIGATION SLEEVES:
2" & 4" SLEEVES ARE TO BE PLACED 24" BELOW TOP OF CURB.
10. CONTRACTOR TO SET CONTROL GRADES AT 25' INTERVALS ALONG ALL PAVING FLOW LINES.



1 SITE PLAN
SCALE: 3/32"=1'-0"

ES-CADD

**SITE FOR
GOLDEN SUITES
McALLEN, TEXAS**

SHEET:
AS1.0
OF:



Planning Department

Memo

TO: Planning and Zoning Commission

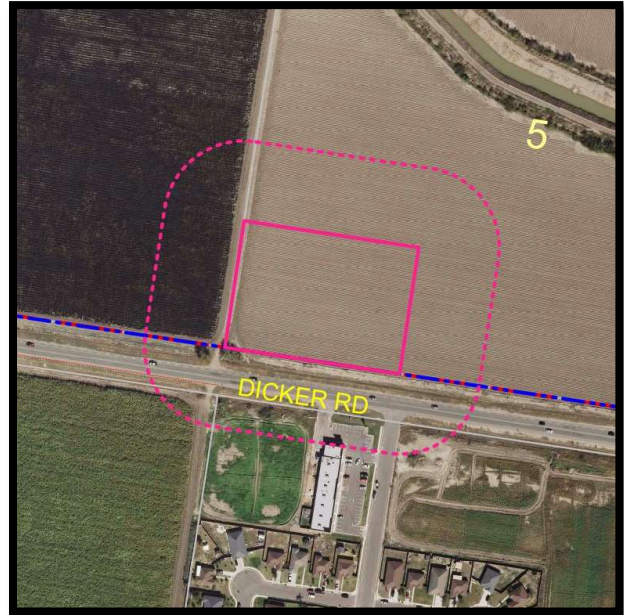
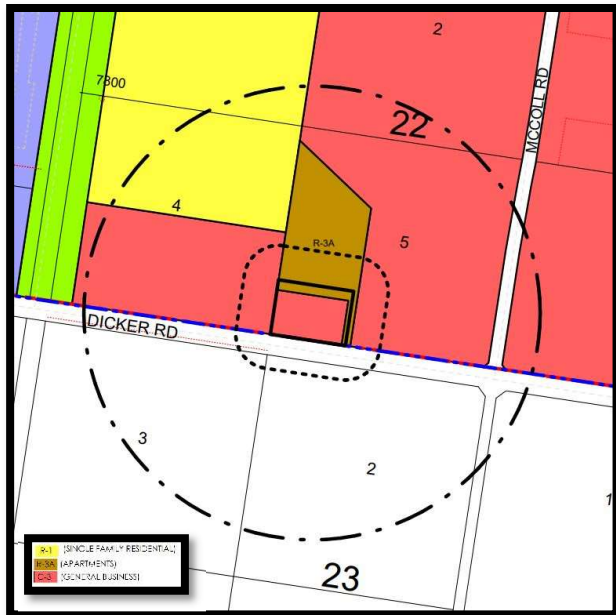
FROM: Planning Staff

DATE: June 25, 2024

SUBJECT: REZONE FROM C-3 (GENERAL BUSINESS) DISTRICT TO C-4 (COMMERCIAL INDUSTRIAL) DISTRICT: A 2.454 ACRE TRACT OF LAND OUT OF LOT 5, BLOCK 22, STEELE AND PERSHING SUBDIVISION, HIDALGO COUNTY, TEXAS; 105 DICKER ROAD. (REZ2024-0034)

LOCATION: The subject property is located along the north side of Dicker Road, approximately 860 feet west of North McColl Road.

PROPOSAL: The applicant is requesting to rezone the southern portion of the property to C-4 (commercial industrial) District for a warehouse development. The northern portion of the tract is currently zoned as R-3A (multifamily residential apartment) District. The property is currently vacant. A feasibility plan has not been submitted yet.



ADJACENT ZONING: The adjacent properties are zoned C-3 (general business) District to the east and west and R-3A (multifamily residential apartments) District to the north. Properties to the south across Dicker Road are outside of the City's Corporate limits.

LAND USE: The property is currently vacant and it is zoned C-3 District. Surrounding uses are currently vacant and mostly for agricultural purposes.

FUTURE LAND USE PLAN: The Envision McAllen Future Land Use Plan designates the future land use

for this property as Industrial. This future land use designation considers major manufacturing and major employers, along with some supportive retail and office. Residential developments, of any kind, are not considered appropriate for this area.

DEVELOPMENT TRENDS: The development trend along Dicker Road is light industrial and commercial uses.

HISTORY: During the comprehensive zoning of 1979 the subject property was out of City of McAllen limits, and was therefore without a zoning designation.

The property was annexed into the City of McAllen in 2015 with an initial zoning to C-3 (general business) District.

A rezoning application was submitted on May 17th, 2024.

ANALYSIS: The requested zoning conforms to the future land use plan designation, and aligns with the existing and future development trend for the area.

A subdivision and site plan review will be required prior to building permit issuance for any future developments in the property. Any future developments must also comply with the permitted and conditional uses of the designated zoning district.

Staff has not received any phone calls in opposition to the zoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to C-4 (light commercial) District.

Carrizales Land Surveying, LLC

Texas Registered Surveying Firm

TBPELS Firm No:10194417

METES AND BOUNDS DESCRIPTION A 2.454 ACRE TRACT

A 2.454 ACRE TRACT OF LAND BEING OUT OF LOT 5, BLOCK 22, STEELE AND PERSHING SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 8, PAGE 115, MAP RECORDS OF HIDALGO COUNTY, TEXAS, AND BEING OUT OF A CALLED TRACT 1, LOTS 1, 5 AND 6, BEING DESCRIBED AND CONVEYED TO KATHLEEN WILD, AS TRUSTEE OF THE KAYHLEEN S. WILD FAMILY TRUST BY VIRTUE OF WARRANTY DEED RECORDED IN DOCUMENT 1518628, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS (ORHCT), SAID 2.454 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING at a calculated point on E. Dicker Road, for the southwest corner of said Lot 5, Block 22, Thence, North 08 degrees 39 minutes 09 seconds East, along the west line of said Lot 5, Block 22, a distance of 75.00 feet to a half (1/2)-inch iron rod found [N:16571995.8000, E:1073028.8610], on the north right of way line of said E. Dicker Road for the southwest corner of this tract of land and the **POINT OF BEGINNING**;

THENCE, North 08 degrees 39 minutes 09 seconds East, along the west line of said Lot 5, Block 22, a distance of 260.73 feet to a calculated point for the northwest corner of this tract of land;

THENCE, South 81 degrees 20 minutes 51 seconds East, within and across said Lot 5, Block 22, a distance of 410.00 feet to a calculated point for the northeast corner of this tract of land;

THENCE, South 08 degrees 39 minutes 09 seconds West, within and across said Lot 5, Block 22, a distance of 260.73 feet to a 1/2 inch iron rod found at the north right of way line of said E. Dicker Road for the southeast corner of this tract of land;

THENCE, North 81 degrees 20 minutes 51 seconds West, along the north right of way line of said E. Dicker Road a distance of 410.00 feet to the **POINT OF BEGINNING**; containing 2.454 acres of land more or less.

All coordinates, bearings, and distances noted within this metes and bounds description are in U.S. Survey Feet and reference the Texas State Plane Coordinate System South Zone 4205 and in grid coordinates.



Manuel Carrizales

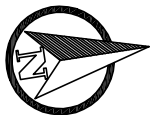
Date

6-20-2024

Registered Professional Land Surveyor

Texas Registration Number 6388





LOT 4

LOT 5

LOT 4
ADJOINER: CAPOTE FARMS, INC.
WD: DOC. No. 664774
O.R.H.C.T.

N08°39'09"E
260.73'

S81°20'51"E

410.00'

S08°39'09"W
260.73'

2.454 ACRES
[106,900.57 SQ.FT.]

75.0' HWY.
R.O.W. ESMT.
[SEE NOTE 8]

N81°20'51"W

410.00'

N08°39'09"E
75.00'

P.O.C.
SW CNR LOT 5
BLOCK 22

E. DICKER ROAD [120.0' R.O.W.]

TRACT: 1
LOTS 1, 5, & 6
ADJOINER: KATHLEEN WILD, AS TRUSTEE
OF THE KATHLEEN S. WILD FAMILY TRUST
WD: DOC. No. 1518628
O.R.H.C.T.

BLOCK 22
PERSHING SUBDIVISION
VOLUME 8, PAGE 115,
M.R.H.C.T.

6" CONC. SW.

CURB INLET

TFSN₀

LEGEND

- BOUNDARY LINE
- - - RIGHT OF WAY LINE
- - - EASEMENT LINE
- LOT LINE
- CONCRETE CURB AND GUTTER
- CONCRETE
- FOUND 1/2" IRON ROD OR AS NOTED
- SET 1/2" IRON ROD W/PINK CAP
- STAMPED "CLS RPLS #6388"
- △ CALCULATED POINT
- TFSN₀ — TRAFFIC SIGN
- Ⓢ — IRRIGATION STAND PIPE
- R.O.W. — RIGHT OF WAY
- VOL. — VOLUME
- PG. — PAGE
- DOC. — DOCUMENT
- CONC. — CONCRETE
- ASPH. — ASPHALT
- ESMT. — EASEMENT
- DW. — DRIVEWAY
- SW. — SIDEWALK
- N.G. — NATURAL GROUND
- WD. — WARRANTY DEED
- O.R.H.C.T. — OFFICIAL RECORDS
- M.R.H.C.T. — MAP RECORDS
- HIDALGO COUNTY TEXAS
- HIDALGO COUNTY TEXAS

NOTES:

1. ALL ADJOINER INFORMATION SHOWN HEREON AS PER HIDALGO COUNTY APPRAISAL DISTRICT RECORDS.
 2. A METES AND BOUNDS DESCRIPTION OF EVEN DATE ACCOMPANIES THIS SURVEY PLAT.
 3. SURVEY VALID ONLY WITH ORIGINAL SEAL AND SIGNATURE.
- JOB NO. 24070 ZONING 2.4 AC
SHEET 02 OF 02



Carrizales
Land
Surveying, LLC

Texas Registered Surveying Firm
TSPS FIRM No.1039447
4807 Gondola Avenue,
Edinburg, TX 78542
Office: 956-567-2167
www.cls.land

Manuel Carrizales
MANUEL CARRIZALES
R.P.L.S. #6388
DATE 6-20-2024



**NOTICE
REZONING
FOR
THIS PROPERTY
REZ2024-0034**

 CITY OF MCALLEN PLANNING DEPT.
956-681-1258
WWW.MCALLEN.NET



Planning Department

Memo

TO: Planning and Zoning Commission

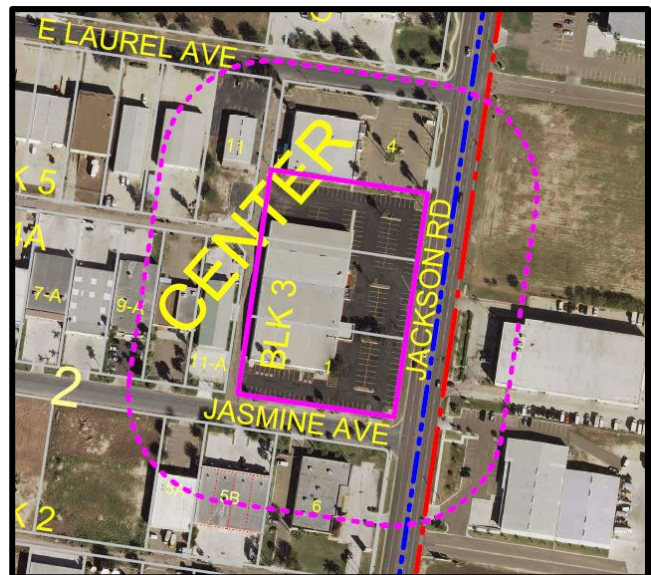
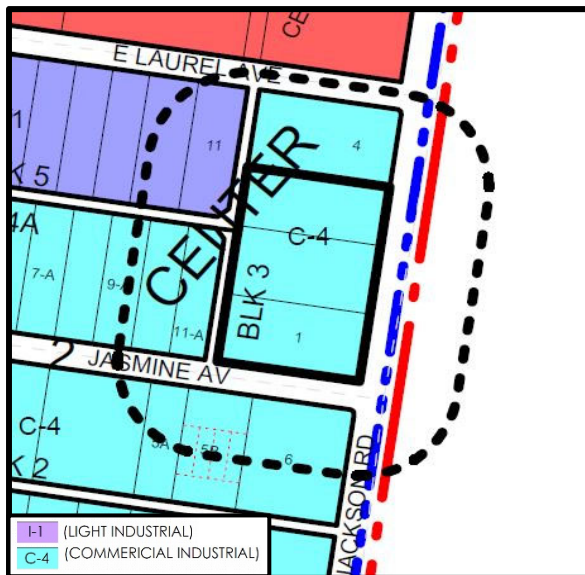
FROM: Planning Staff

DATE: June 24, 2024

SUBJECT: REZONE FROM C-4 (COMMERCIAL INDUSTRIAL) DISTRICT TO I-1 (LIGHT INDUSTRIAL) DISTRICT: LOTS 1-3, BLOCK 3, MARKET CENTER SUBDIVISION, HIDALGO COUNTY, TEXAS; 1001 NORTH JACKSON ROAD. (REZ2024-0035)

LOCATION: The property is located at the northwest corner of North Jackson Road and Jasmine Avenue.

PROPOSAL: The applicant is proposing to rezone the subject property to I-1 (light industrial) District in order to convert the existing building into a cabinet manufacturing and assembly store. A feasibility plan has been submitted and is attached.



ADJACENT ZONING: The property is zoned C-4 (commercial industrial) District. The adjacent zoning is C-4 District to the north, south and west, and I-1 (light industrial) District to the west.

LAND USE: An existing commercial building is located on the property. Surrounding land uses include commercial and light industrial uses.

COMPREHENSIVE PLAN: The Envision McAllen Future Land Use Plan categorizes the future

land use for this property under Public/ Semi-Public. This category includes uses that are governmental, institutional or religious in nature for example government buildings, community facilities, fire and police stations, schools, places of worship and any land used by the City for storage or utilities. These types of uses are necessary to the everyday functionality of communities and so are appropriate to be incorporated into any of the other future land use category.

DEVELOPMENT TRENDS: The development trend along North Jackson Road include commercial, general business, manufacturing and medical offices.

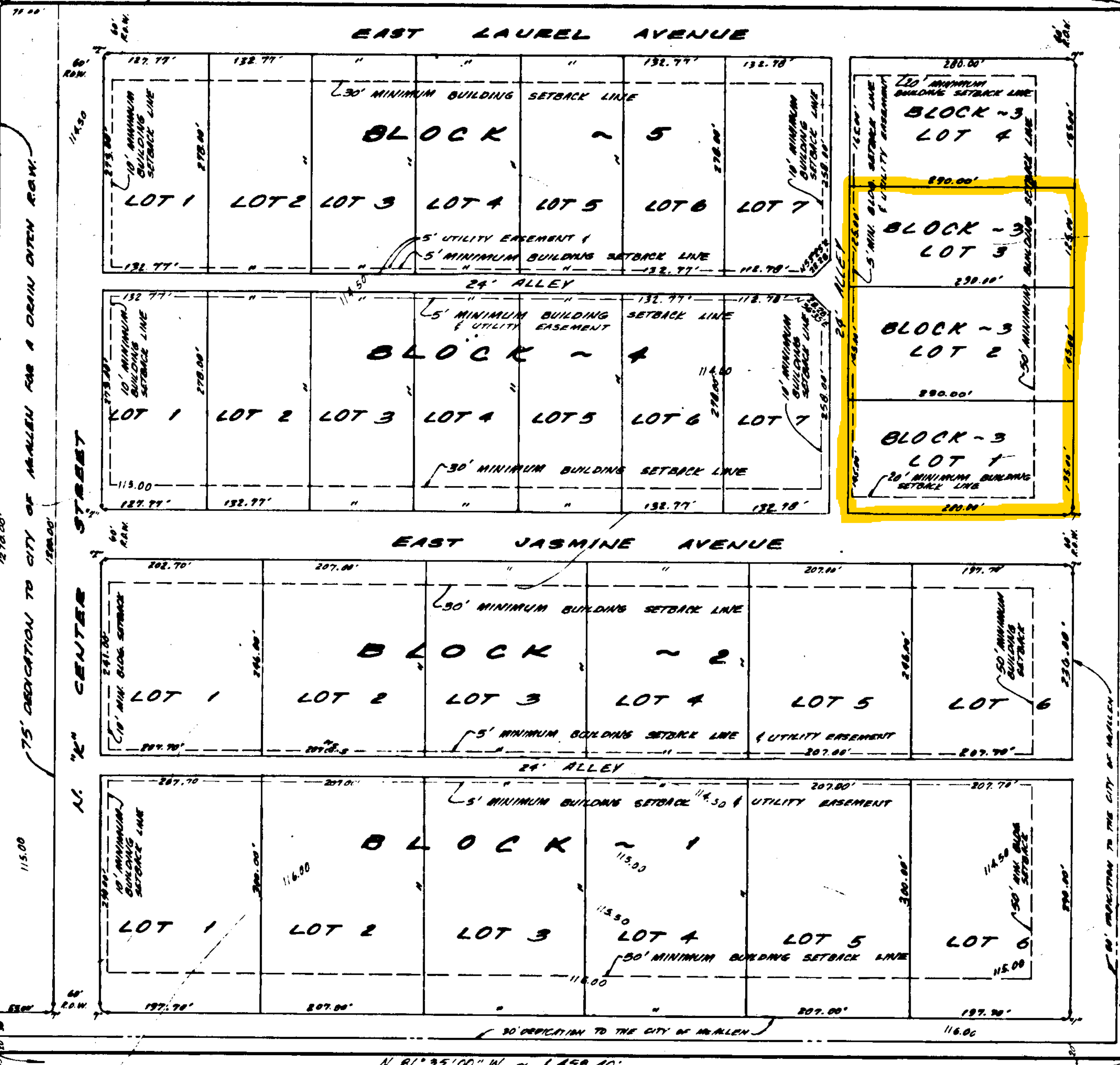
ANALYSIS: The requested zoning does not conform to the Future Land Use Plan designation. However, the requested zone and the proposed use aligns with the existing uses and the development trend for the area.

Staff has not received any phone calls, emails, or letters in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to I-1 (light industrial) District.

LOT 6, BLK 11, STEELE & PERSHING SUBD.
N 08° 29' 00" E - 1,380.00'

S 81° 35' 00" E - 1,450.40' LOT 1, BLK 6, A.J. McCOLL SUBD.



Recorded in Book 23 Page 118B
of the map records of Hidalgo
County, Texas
Madden and Hunt, Inc.
County Surveyors

SUBDIVISION PLAT OF MARKET CENTER SUBDIVISION

A 44.74 ACRE TRACT BEING ALL OF LOT 2,
BLOCK 6, A.J. McCOLL SUBDIVISION, HIDALGO
COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF HIDALGO
THE OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERE-
TO, AND IN PERSON OR THROUGH A DULY AUTHORIZED AGENT DESIGNATED TO THE USE
OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASE-
MENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION
THEREIN EXPRESSED.

Richard Moore
RICHARD MOORE, OWNER

STATE OF TEXAS
COUNTY OF HIDALGO
BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED
Richard Moore
WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO
ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN
EXPRESSED AND IN THE CAPACITY THEREIN STATED.
GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS 13th DAY OF August
A.D. 1982
Angela H. Martinez
NOTARY PUBLIC
HIDALGO COUNTY, TEXAS

APPROVAL BY WATER DISTRICT
THIS PLAT APPROVED BY HIDALGO COUNTY WATER IMPROVEMENT DISTRICT NO. 2
ON THIS 14th DAY OF August A.D. 1983

APPROVED
FOR RECORDING
HIDALGO COUNTY, TEXAS
Toni Walker
Aug 15, 1983

J.R. Morris
PRESIDENT
Bai T. Johnson
SECRETARY

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MALLEN, HEREBY CERTIFY THAT THIS
SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS
OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

Alfred B. Reed
MAYOR, CITY OF MALLEN

THIS PLAT OF MARKET CENTER SUBDIVISION HAS BEEN
SUBMITTED TO AND CONSIDERED BY THE PLANNING COMMISSION OF THE CITY OF
MALLEN, TEXAS AND IS HEREBY APPROVED BY SUCH COMMISSION.
DATED THIS 14th DAY OF July A.D. 1983

John O'Walsh
CHAIRMAN

STATE OF TEXAS
COUNTY OF HIDALGO
I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM
AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE 14th DAY
OF July A.D. 1983

John O'Walsh
REGISTERED PROFESSIONAL ENGINEER

SWORN TO AND SUBSCRIBED BEFORE ME THIS 14th DAY OF July A.D. 1983

John O'Walsh
NOTARY PUBLIC
HIDALGO COUNTY, TEXAS

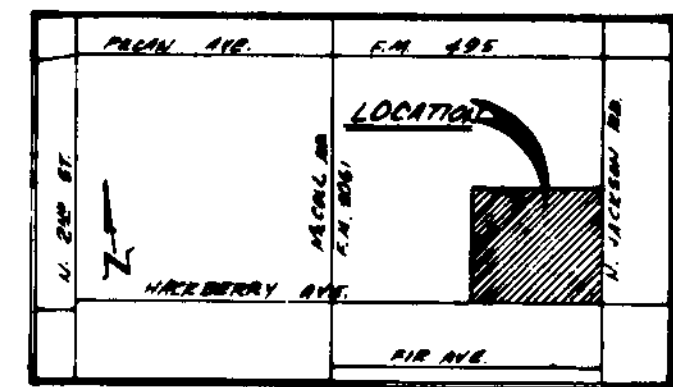
EAST - HACKBERRY AVENUE
HACKBERRY BUSINESS PARK

MANNERING SUBD.

CURVE DATA				
LA	DELTA	RADIUS	TANGENT	LENGTH
1	90° 00' 00"	10.00'	10.00'	15.71'
2	90° 00' 00"	5.00'	5.00'	7.85'

DATE OF PREPARATION: JUNE 1, 1983

L.L. RODRIGUEZ and ASSOCIATES, INC.
CONSULTING ENGINEERS / PLANNERS / SURVEYORS
McAllen, Texas



GENERAL NOTES:

- MINIMUM FLOOR ELEVATION SHALL BE 74.15'
- A 4.0' SIDEWALK SHALL BE REQUIRED ALONG THE WEST SIDE OF JACKSON RD., ALONG THE NORTH SIDE OF HACKBERRY AVENUE, ALONG THE SOUTH SIDE OF E. LAUREL AVE AND ALONG THE EAST SIDE OF N. K. CENTER STREET.
- ACCESS POINTS FROM JACKSON RD. WILL BE LIMITED AS FOLLOWS: IN LOT 6, BLOCK 1 AND LOT 6 BLOCK 2 WILL HAVE NO ACCESS FROM JACKSON RD.; LOT 1-4 BLOCK 3 WILL HAVE 2 ACCESS POINTS AS FOLLOWS: ONE BETWEEN LOTS 1 & 2 AND ONE BETWEEN LOTS 3 & 4. THESE ACCESS POINTS ARE TO BE UTILIZED BY ALL LOT OWNERS HERE, TO COMMON PARKING AREAS.

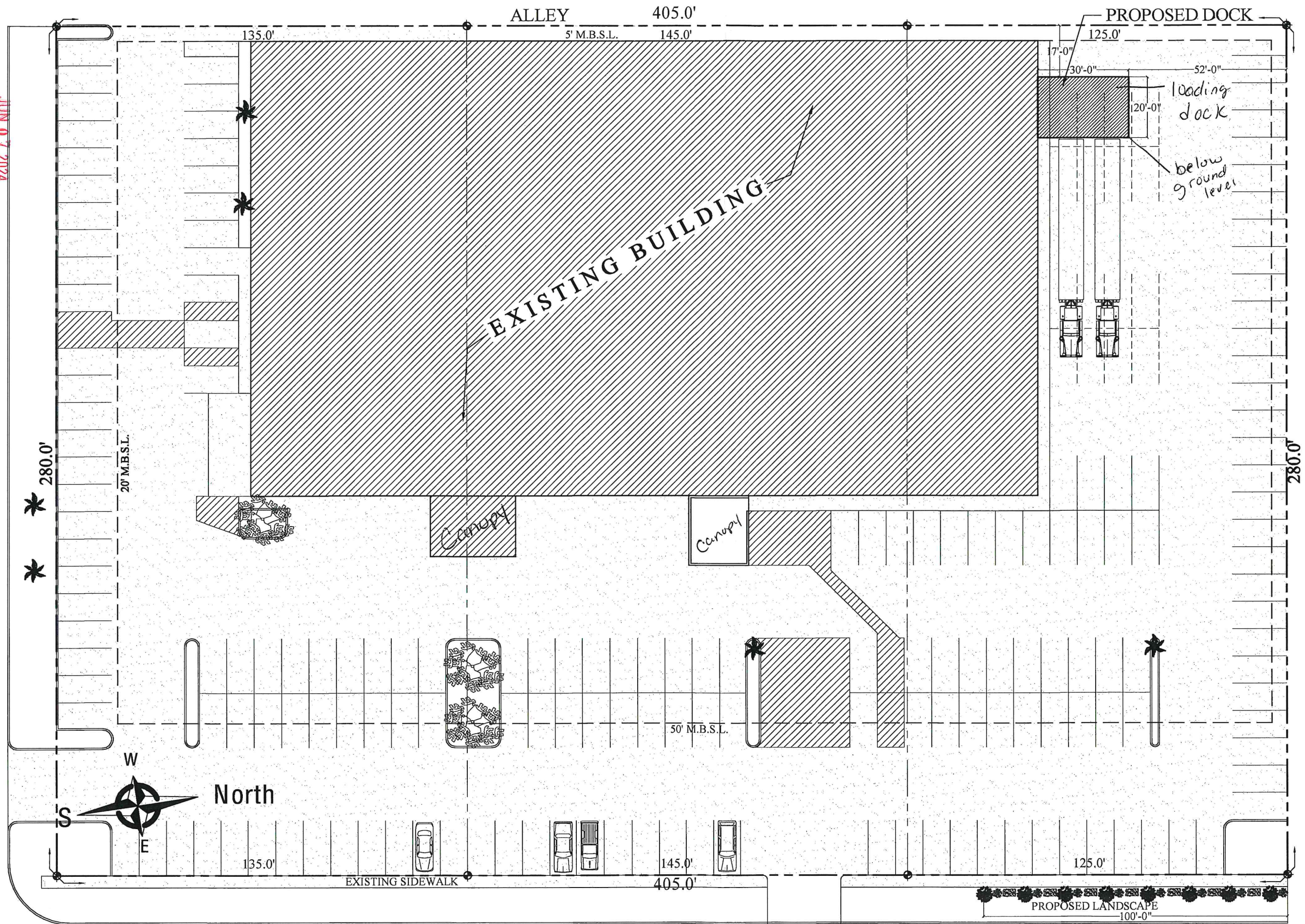
- THE CITY OF MALLEN SHALL HAVE A 10'x10' STREET BASEMENT AT ALL STREET INTERSECTIONS.
- CENTRAL POWER & LIGHT CO. IS HEREBY GRANTED AN EASEMENT AND RIGHT-OF-WAY IN EACH LOT IN SAID SUBDIVISION FOR AN UNDERGROUND ELECTRIC SERVICE LATERAL TOGETHER WITH THE RIGHT OF WAREHOUSES AND EGRESS FOR SUCH PURPOSES AT THE RIGHT LOCATION WHICH SUCH SERVICE LATERAL IS TO BE OR IS INSTALLED AND MAINTAINED FROM TIME TO TIME.

CHECK FOR DRAINAGE
John O'Walsh

John O'Walsh 82047

cc)

E. JASMINE AVE.



NORTH JACKSON ROAD

SITE PLAN
SCALE: N.T.S.



OWNER:

UILDER: //

**CASTLE BRIDGE
CONSTRUCTION**

J. ARMANDO RODRIGUEZ

1820 S. 10th # 181
McALLEN, TX. 78503
Ph: 956-867-3282

THIS DRAWING MAY NOT BE
REPRODUCED IN ANY FORM.
THESE PLANS ARE LIMITED
TO A ONE-TIME CONSTRUCTION
OF THIS PROJECT, OTHER
CONSTRUCTION IS
STRICTLY PROHIBITED.

PLEASE NOTE:

IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLANS TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES.

1. BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING WITH CONSTRUCTION.

2. BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL LOCAL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.

3. PLANS INDICATE LOCATIONS ONLY: ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS.

NOTES:

AREAS:	SQ. FT.
AREA 1	0
AREA 2	0
TOTAL AREA	0
1	0
2	0
3	0
4	0
TOTAL AREA	5,633

LOCATION:

**1001 NORTH JACKSON RD
LOT 1, 2 & 3 BLK 3
MARKET CENTER SUBD.
McALLEN, TEXAS**

DATE: 06-06-24

PAGE # 1/1

PLAN # MA-24-054



Memo

TO: Planning and Zoning Commission

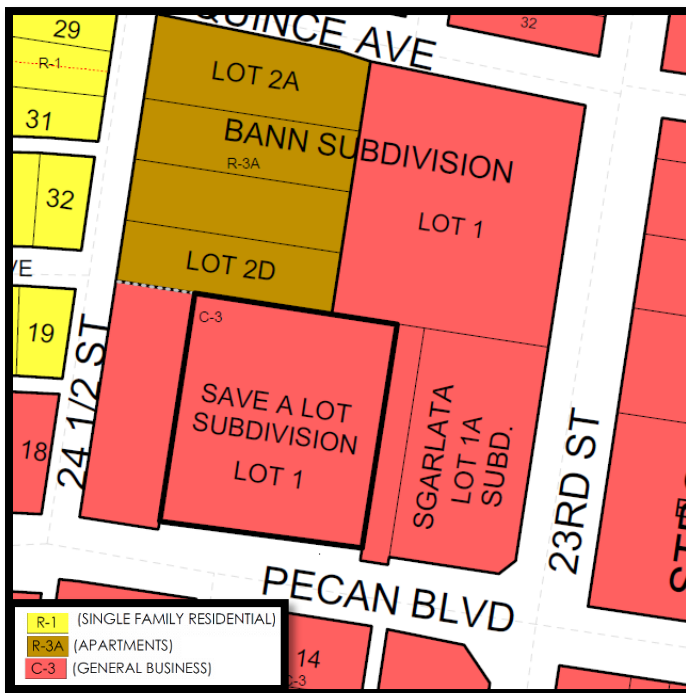
FROM: Planning Staff

DATE: July 3, 2024

SUBJECT: SITE PLAN APPROVAL FOR LOT 1, SAVE-A-LOT SUBDIVISION, HIDALGO COUNTY, TEXAS; 2400 PECAN BOULEVARD. (SPR2024-0005)

LOCATION: The subject property is located along the north side of Pecan Boulevard. The subject property is zoned C-3 (general business) District. Adjacent properties are zoned C-3 District to the west and east, R-3A (multifamily residential apartments) to the north. Surrounding land uses includes apartments, a Walgreens, a tire shop, other commercial uses and single-family dwellings.

PROPOSAL: The applicant is proposing to construct a 3,046 square-foot building to operate as a car wash tunnel and 1,908 sq. ft. for an office and equipment.



ANALYSIS:

Access:

Access to the site is from Pecan Boulevard. No alley exists or is proposed.

Parking Requirements:

Based on 3,046 square feet that will be used for the car wash tunnel and 1,908 sq. ft., 16 parking spaces are required for the site. 25 parking spaces are proposed. Moreover, 1 of the proposed

regular parking spaces must be accessible for van accessibility with an 8-foot-wide aisle. The applicant is meeting parking requirements for the new development.

Landscape Requirements:

8,968.0278 square feet of green area is required for the new development and 35,396 square feet is proposed. The tree requirement is as follows: 22 two-and-a half-inch-caliper trees, 12 four-inch caliper trees, 6 six-inch caliper trees, or 10 palm trees. A minimum 10 feet wide landscaped strip is required inside the front property line. Fifty percent of the required green area for the new development must be visible from the street or front property line, and each parking space must be within 100 feet of a landscaped area with a tree. A 6-foot buffer is required around dumpsters/compactors if visible from the street. Finally, an 8-foot masonry wall is required between commercial and residential zone/use. The applicant is meeting landscaping requirements for green area and trees.

Other Planning Requirements:

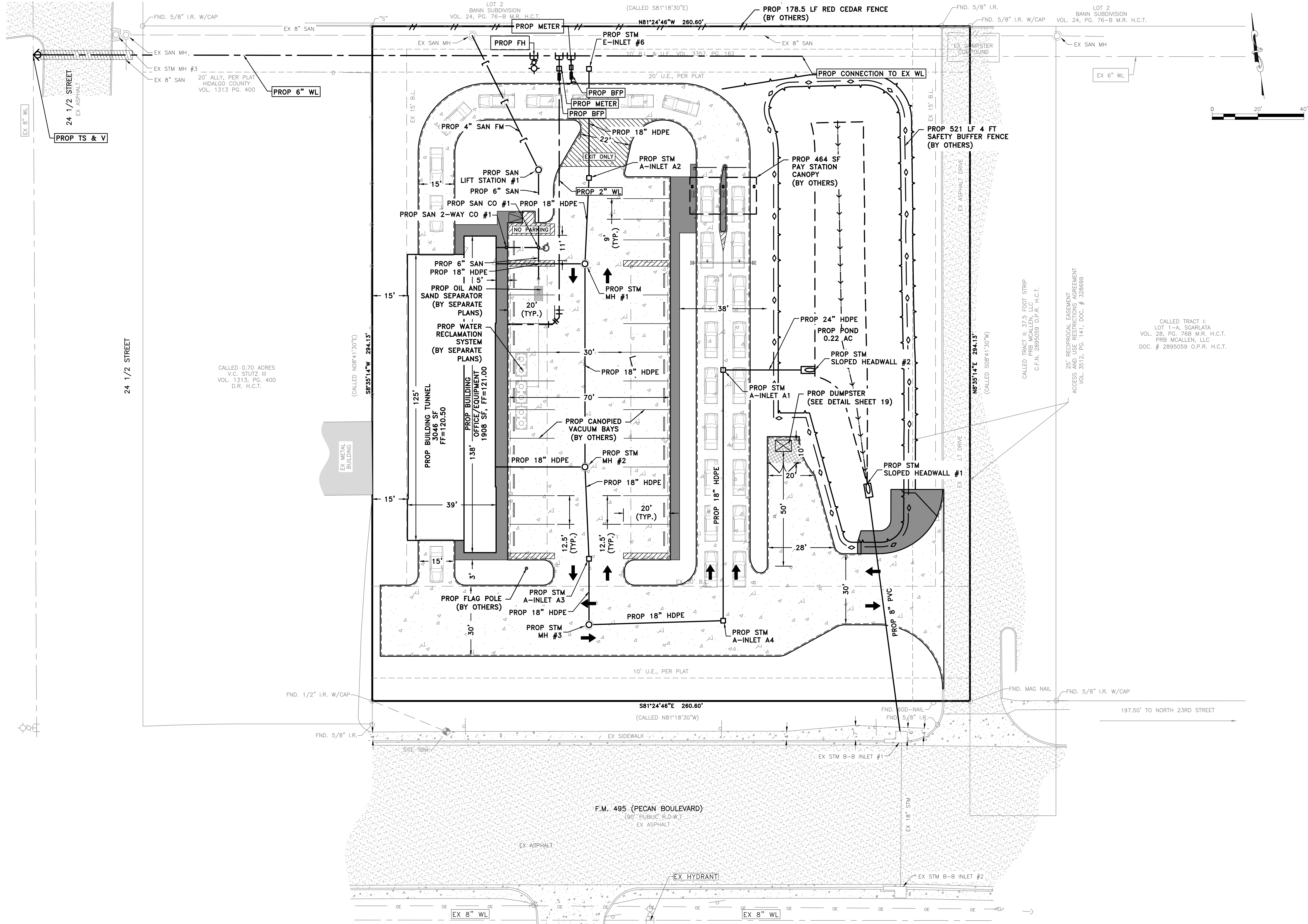
There is a 50-foot front yard setback and 10 foot utility easement along Pecan Boulevard, a 20-foot rear yard setback with a 20-foot utility easement and other setbacks as per Zoning Ordinance or greater for approved site plan or easements. No structures are permitted to be built over any easements. The new development will be complying with all required setbacks for the property.

A 4-foot-wide minimum sidewalk is required along Pecan Boulevard.

The Building Permit Site Plan must comply with requirements noted on the Development Team Review sheet. Must comply with any additional comments provided by all departments during the building permit stage.

RECOMMENDATION: Staff recommends approval of the site plan subject to the conditions noted, Building Permit requirements and the subdivision and zoning ordinances.

L:\SHARED\L2 ENGINEERING PROJECTS\ENGINEERING PROJECTS\10932 - CLEARWATER EXPRESS MCALEN\03 CAD\DESIGN SET\04 OVERALL SITE PLAN.DWG Jun. 11, 2024-9:17 AM JERAHMY LAVENDER



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PROFESSIONAL REGISTRATION NUMBER 13125
3307 W. DAVIS STREET #100
CORPUS CHRISTI, TEXAS 78404
OFFICE: 361-647-0602

CLIENT INFORMATION
CROSS DEVELOPMENT
4317 MARSH RIDGE ROAD
CARROLLTON, TX 75010

PROJECT ADDRESS
2400 PECAN BLVD
MCALEN, TX 78501

BLUEWAVE EXPRESS MCALEN 23 OVERALL SITE PLAN

DRAWING ISSUE				
#	DATE	BY	* COMMENT	
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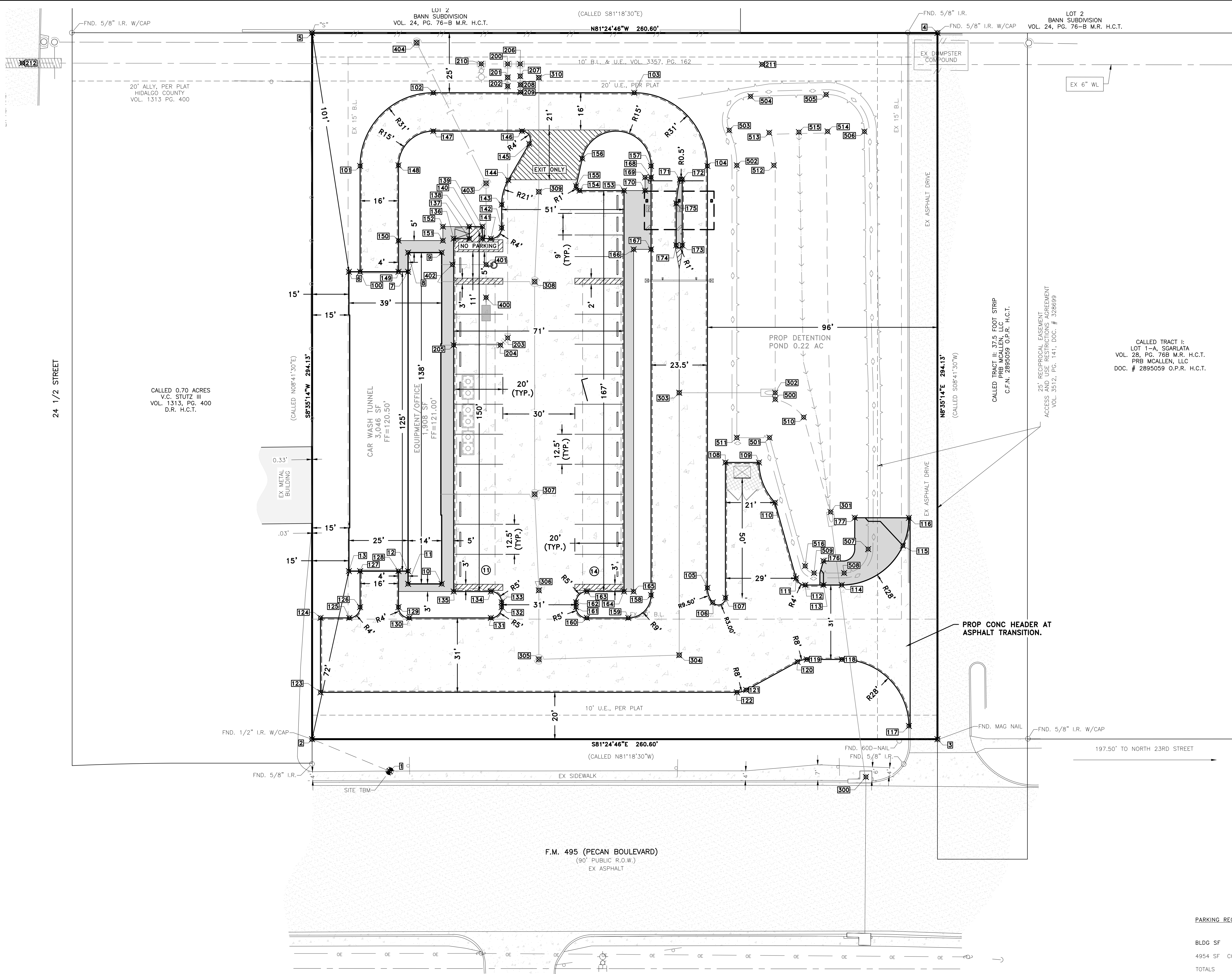
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SCALE	SHEET		
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1" = 40' (11x17)			



6/11/2024

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE

L:\SHARED\L2 ENGINEERING PROJECTS\ENGINEERING PROJECTS\10932 - CLEARWATER EXPRESS MCGALLEN\03 CAD\DESIGN SET\05 DIMENSIONAL CONTROL AND PAVING PLAN.DWG Jun. 11, 2024-9:17 AM JERAHMY LAVENDER



PAVING LEGEND:

[Solid Grey]	2,549 SF OF 4" CONCRETE
[Dotted Pattern]	29,791 SF OF 6" CONCRETE
[Cross-hatch Pattern]	170 SF OF 8" CONCRETE

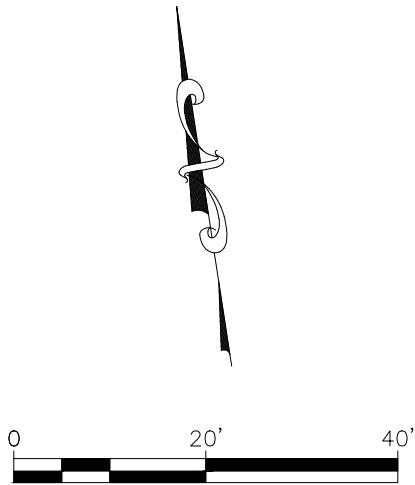
TOTAL TO IMPERVIOUS AREA = 36,932

DIMENSIONAL CONTROL NOTES:
1. ALL COORDINATE POINTS AND DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.

PAVING NOTES:
1. SEE PAVING DIMENSIONS AND SPECIFICATIONS PROVIDED ON DETAIL SHEETS

PARKING REQUIREMENTS:

BLDG SF	USE	RATE	REQ STD/ADA	PROP STD/ADA
4954 SF	COMMERCIAL	4/400	16/1	23/1
TOTALS		1/ADDITIONAL 400	17	24






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CARROLLTON, TX 75010
PROJECT ADDRESS
2400 PECAN BLVD
MCGALLEN, TX 78501

BLUEWAVE EXPRESS
MCGALLEN 23
DIMENSIONAL CONTROL AND
PAVING PLAN (1 OF 2)

DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	6/11/24	LR	FOR PERMIT

DRAWING INFORMATION			
PROJECT	10932	TDLR	**
DRAWN	CLD	EIT	CRH
SCALE	SHEET		
1" = 20' (24x36)	05		
1" = 40' (11x17)			



6/11/2024

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE

L:\SHARED\L2 ENGINEERING PROJECTS\ENGINEERING PROJECTS\10932 - CLEARWATER EXPRESS MCALLEN\03 CAD\DESIGN SET\05 DIMENSIONAL CONTROL AND PAVING PLAN.DWG Jun. 11, 2024--9:17 AM JERAHMY LAVENDER

BOUNDARY COORDINATES		
POINT #	NORTHING	EASTING
1	16605206.7540	1068023.6600
2	16605224.7723	1067993.6789
3	16605185.8608	1068251.3575
4	16605476.6935	1068295.2756
5	16605515.6050	1068037.5970

BUILDING COORDINATES		
POINT #	NORTHING	EASTING
6	16605414.9672	1068037.9071
7	16605411.2841	1068062.2972
8	16605419.1944	1068063.4917
9	16605417.1040	1068077.3348
10	16605280.6510	1068056.7293
11	16605282.7414	1068042.8862
12	16605288.0150	1068043.6826
13	16605291.6981	1068019.2924

PAVING COORDINATES		
POINT #	NORTHING	EASTING
100	16605414.2704	1068042.5214
101	16605457.8656	1068049.1046
102	16605483.4696	1068083.8168
103	16605470.9645	1068166.6279
104	16605436.2523	1068192.2319
105	16605262.4856	1068165.9917
106	16605256.1612	1068167.2500
107	16605257.2625	1068172.7854
108	16605313.0220	1068181.2055
109	16605310.9317	1068195.0486
110	16605293.3968	1068199.1673
111	16605260.9091	1068203.1140
112	16605257.5666	1068206.4695
113	16605256.4311	1068213.9890
114	16605255.2956	1068221.5085
115	16605267.7226	1068249.1659
116	16605278.8010	1068253.3745
117	16605193.0699	1068240.4269
118	16605224.6431	1068216.8797
119	16605226.8172	1068202.4822
120	16605226.4180	1068198.5339
121	16605218.0151	1068175.6147
122	16605217.6158	1068171.6664
123	16605243.5320	1068000.0453
124	16605274.1845	1068004.6741
125	16605272.3918	1068016.5456
126	16605276.1694	1068021.6670
127	16605291.0013	1068023.9068
128	16605288.6122	1068039.7274
129	16605273.7804	1068037.4877
130	16605268.6589	1068041.2653
131	16605263.5822	1068074.8842
132	16605267.3598	1068080.0056
133	16605269.3374	1068080.3043
134	16605274.4589	1068076.5266
135	16605276.7733	1068061.2004
136	16605422.1253	1068083.1497
137	16605421.1548	1068089.5769
138	16605426.0987	1068090.3234
139	16605425.2775	1068095.7618

PAVING COORDINATES		
POINT #	NORTHING	EASTING
140	16605420.3336	1068095.0152
141	16605419.8110	1068098.4760
142	16605423.5886	1068103.5974
143	16605433.1215	1068105.0370
144	16605442.8465	1068109.2832
145	16605456.4892	1068120.1690
146	16605462.1329	1068117.9558
147	16605467.6490	1068081.4278
148	16605455.7177	1068064.9617
149	16605411.8813	1068058.3420
150	16605424.7356	1068060.2831
151	16605421.9733	1068078.5757
152	16605427.7412	1068079.4467
153	16605431.2998	1068156.3401
154	16605434.0621	1068138.0475
155	16605436.0842	1068136.8716
156	16605447.1356	1068141.1260
157	16605439.7612	1068168.9954
158	16605263.0089	1068142.3044
159	16605255.0339	1068131.4924
160	16605257.6096	1068114.4357
161	16605262.7311	1068110.6581
162	16605264.7086	1068110.9567
163	16605268.4863	1068116.0782
164	16605266.1719	1068131.4045
165	16605265.5746	1068135.3596
166	16605406.4834	1068156.6380
167	16605405.4009	1068163.8067
168	16605435.0645	1068168.2862
169	16605435.4378	1068165.8142
170	16605429.9932	1068164.9920
171	16605432.3972	1068180.0681
172	16605432.3034	1068181.0166
173	16605405.1901	1068176.9223
174	16605405.5634	1068174.4503
175	16605422.7449	1068177.0448
176	16605266.3190	1068215.4822
177	16605282.1922	1068231.0469

WATERLINE COORDINATES		
POINT #	NORTHING	EASTING
200	16605490.6919	1068116.2584
201	16605485.1500	1068115.4215
202	16605481.5223	1068114.8737
203	16605377.8493	1068099.2183
204	16605375.3309	1068095.8040
205	16605378.2425	1068076.5231
206	16605489.9039	1068121.4113
207	16605484.8767	1068120.6924
208	16605481.3319	1068120.1855
209	16605478.2899	1068119.7505
210	16605492.3591	1068105.3561
211	16605474.6702	1068221.0294
212	16605521.2781	1067916.2286

STORM SEWER COORDINATES		
POINT #	NORTHING	EASTING
300	16605174.7272	1068219.5293
301	16605286.0965	1068221.4259
302	16605338.6283	1068206.0443
303	16605344.5986	1068166.5083
304	16605236.5347	1068150.1898
305	16605243.5391	1068092.0842
306	16605271.9670	1068096.3771
307	16605311.7799	1068100.6193
308	16605399.3503	1068113.8431
309	16605436.1061	1068121.1634
310	16605483.1218	1068128.2632

SANITARY SEWER COORDINATES		
POINT #	NORTHING	EASTING
400	16605395.8446	1068092.8337
401	16605409.3978	1068094.8803
402	16605411.4881	1068081.0377
403	16605442.8889	1068099.9377
404	16605505.0990	1068080.0720

POND COORDINATES		
POINT #	NORTHING	EASTING
500	16605335.9439	1068205.6549
501	16605320.4784	1068200.9141
502	16605434.6642	1068204.3810
503	16605449.5925	1068203.4485
504	16605462.2258	1068214.3261
505	16605458.2816	1068245.5728
506	16605440.6548	1068259.0527
507	16605268.4509	1068234.6241
508	16605260.0896	1068223.2481
509	16605261.9621	1068210.8480
510	16605326.7602	1068216.2687
511	16605322.5123	1068187.4452
512	16605432.3597	1068219.6421
513	16605446.0930	1068219.7525
514	16605443.0145	1068243.8737
515	16605444.4938	1068232.0390
516	16605265.4154	1068207.6033



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POND REGISTRATION NUMBER 12325
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OFFICE: (281)447-0400

CLIENT INFORMATION
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4317 MARSH RIDGE ROAD
CARROLLTON, TX 75010

PROJECT ADDRESS
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MCALLEN, TX 78501

BLUEWAVE EXPRESS
MCALLEN 23
DIMENSIONAL CONTROL AND
PAVING PLAN (2 OF 2)

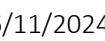
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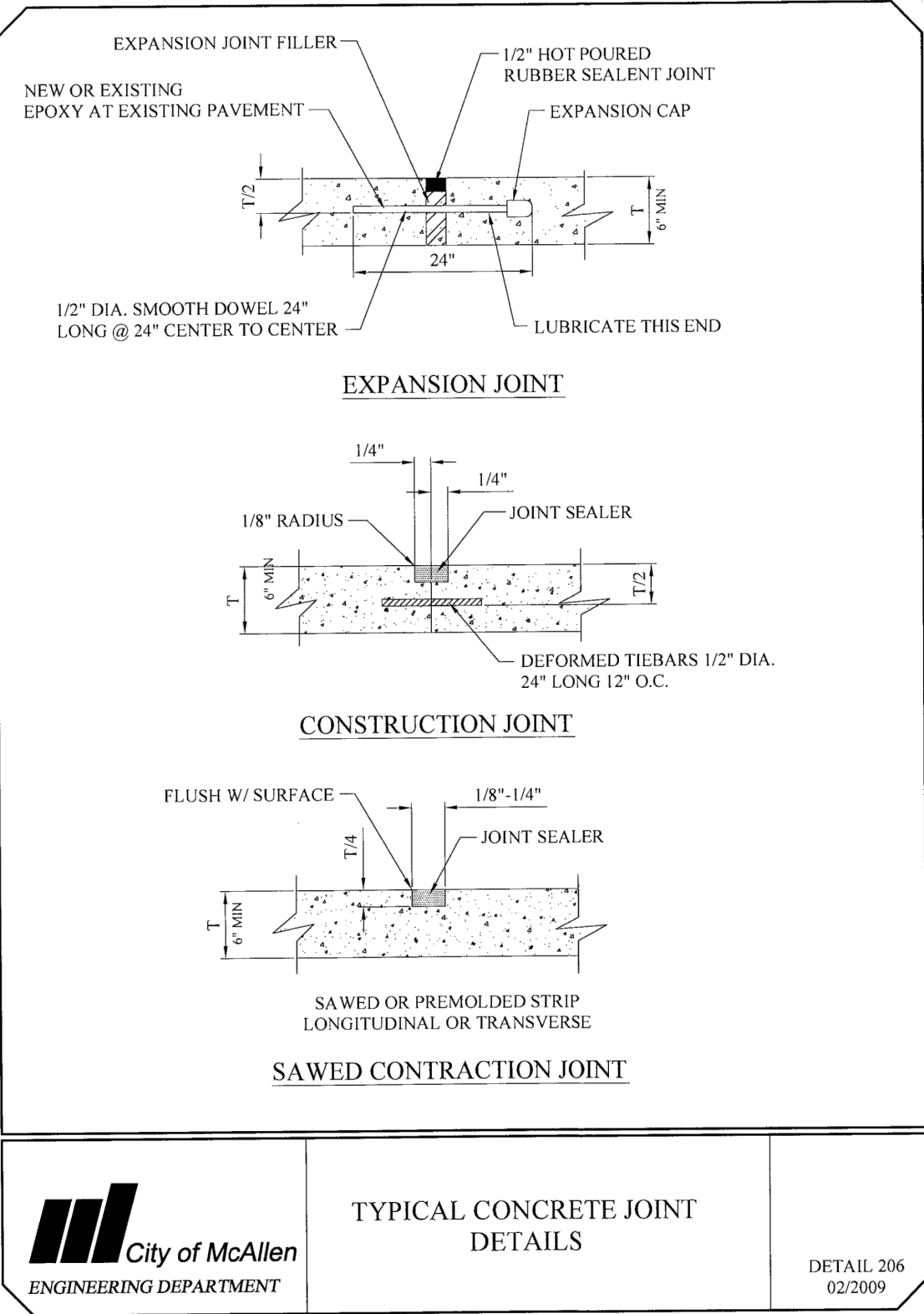
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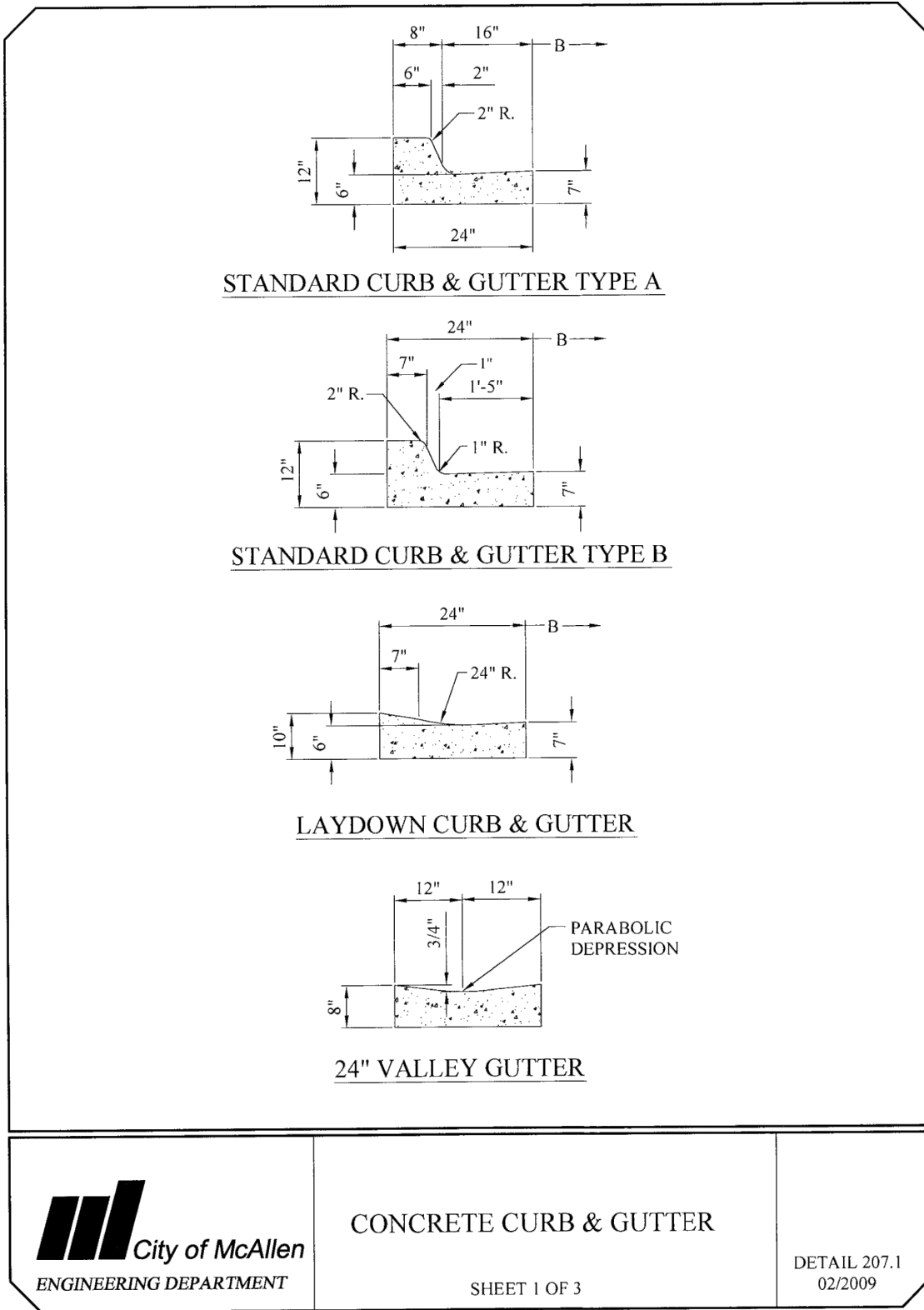
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Standard Details



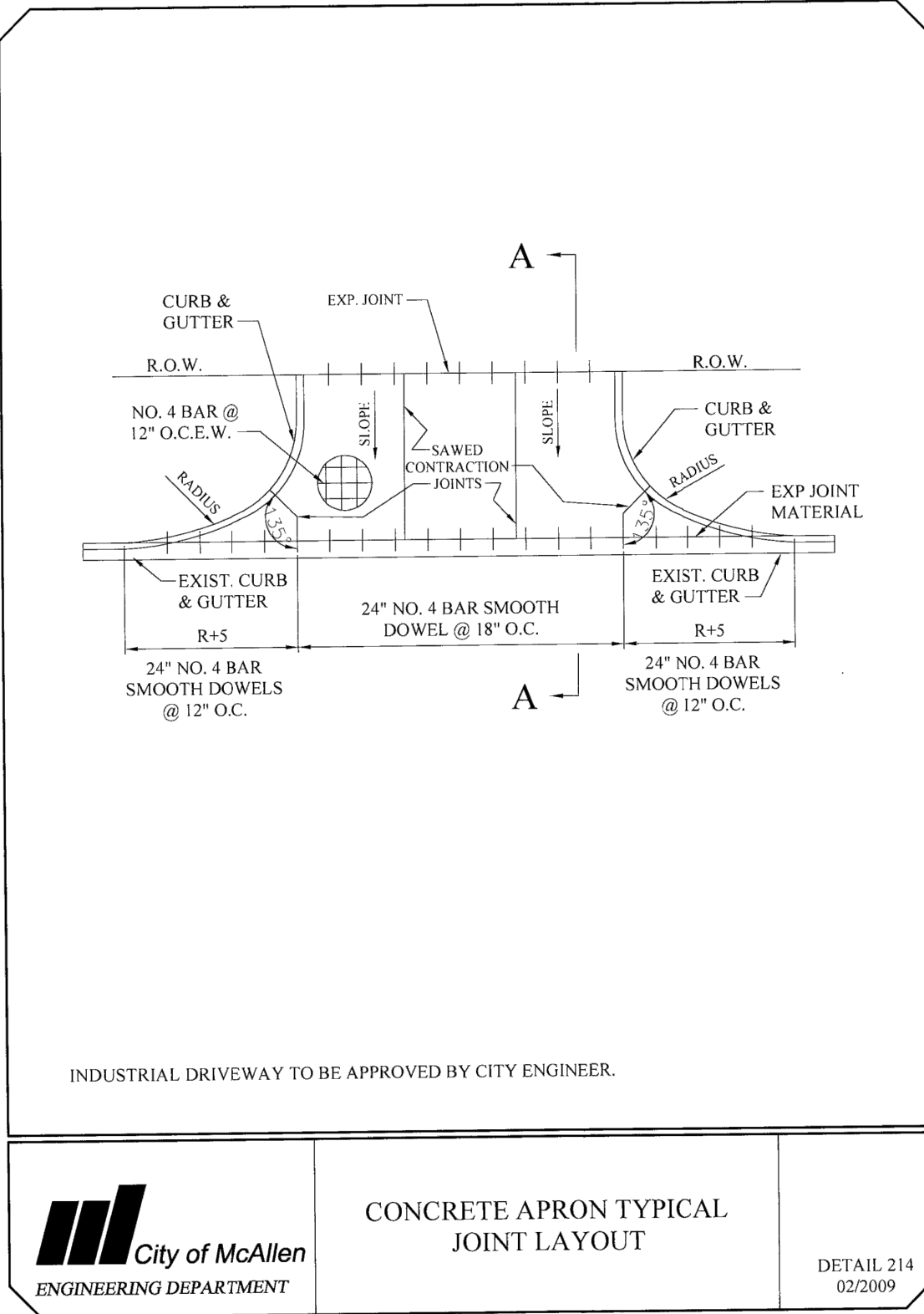
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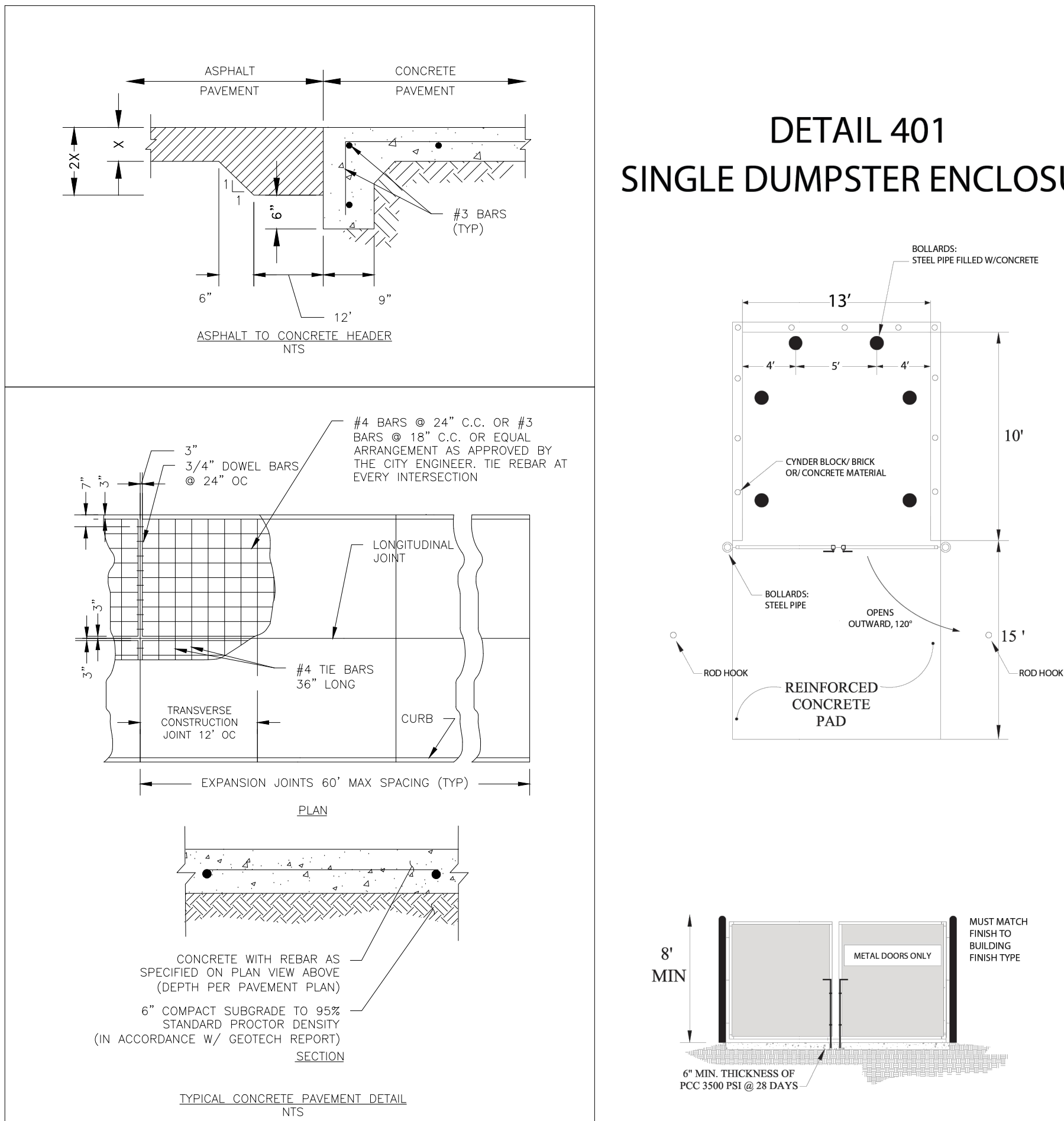
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Standard Details



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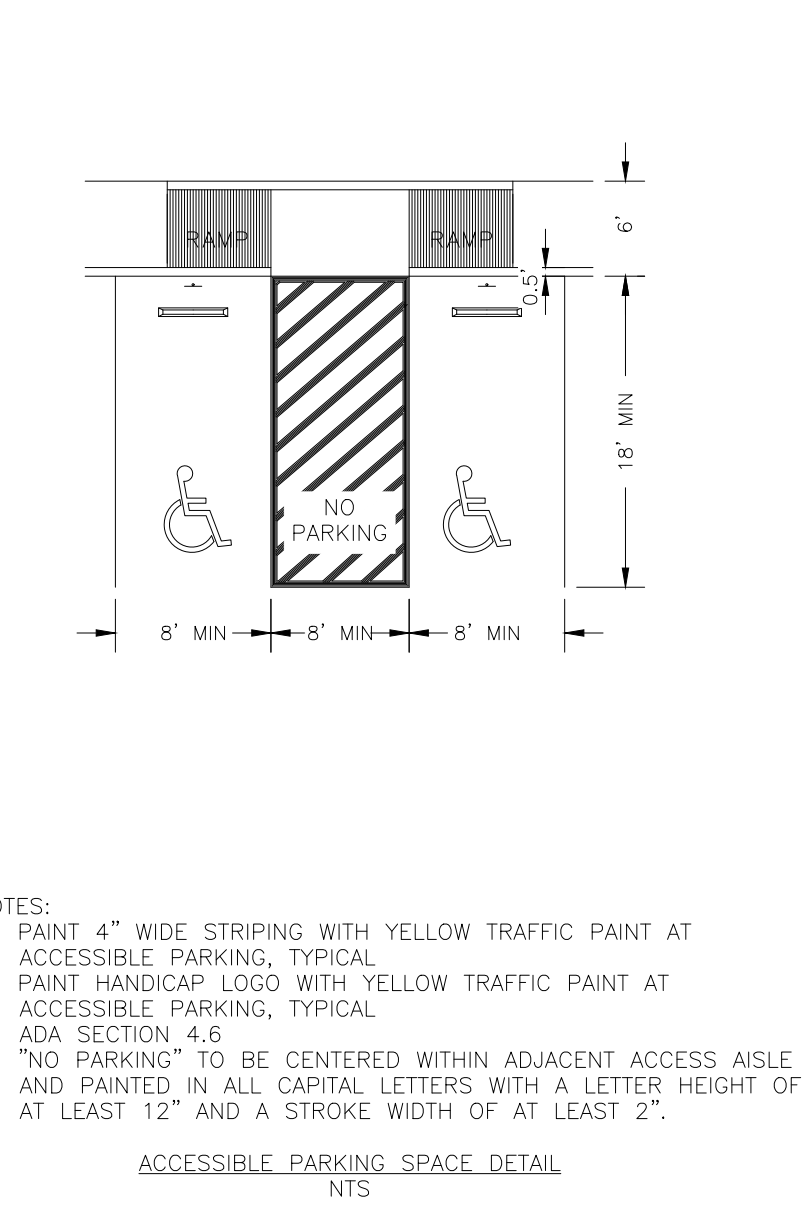
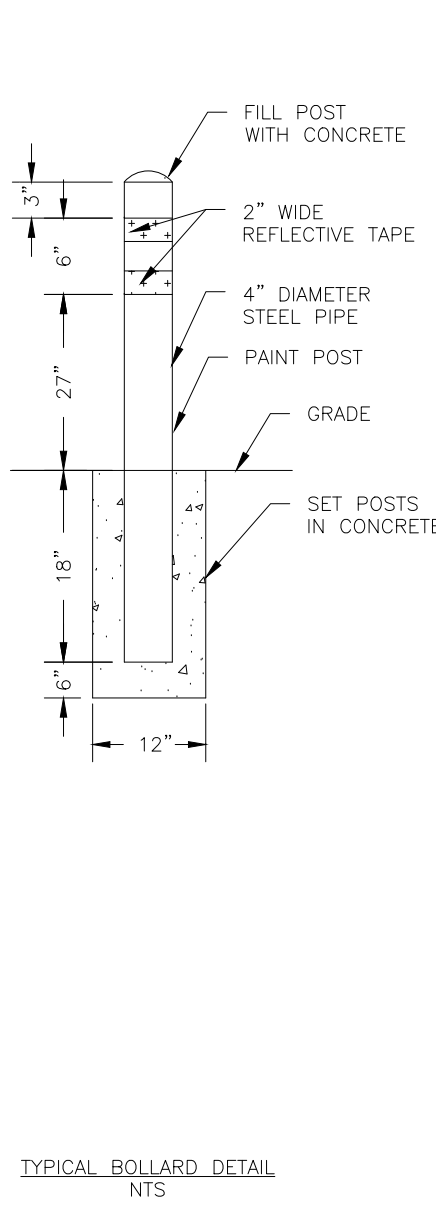
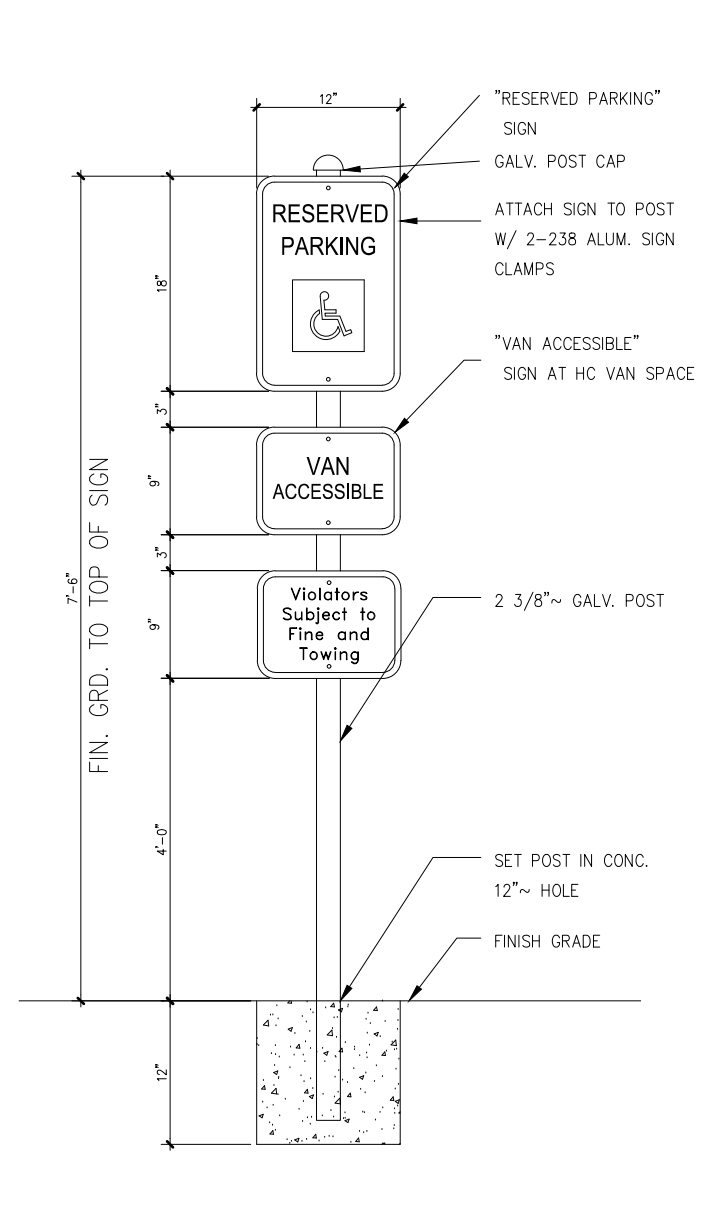
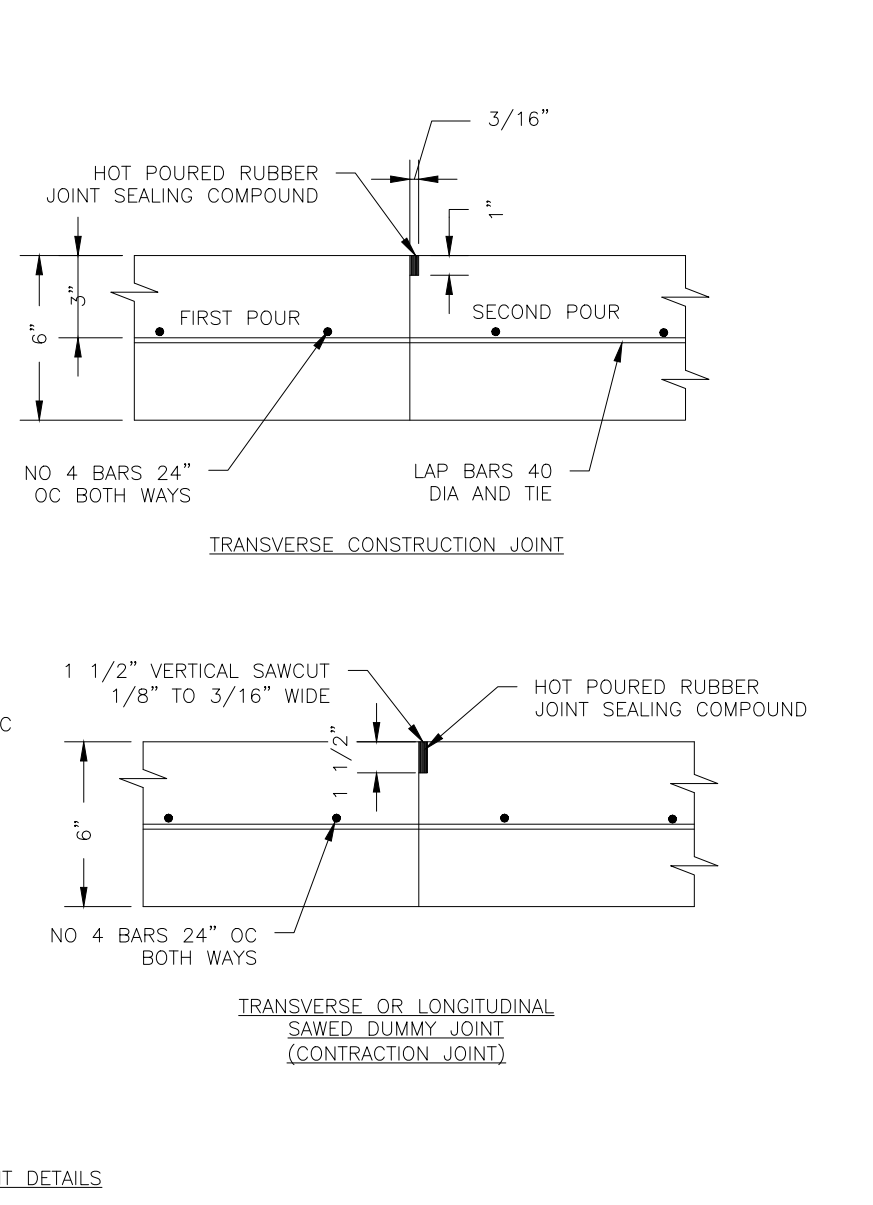
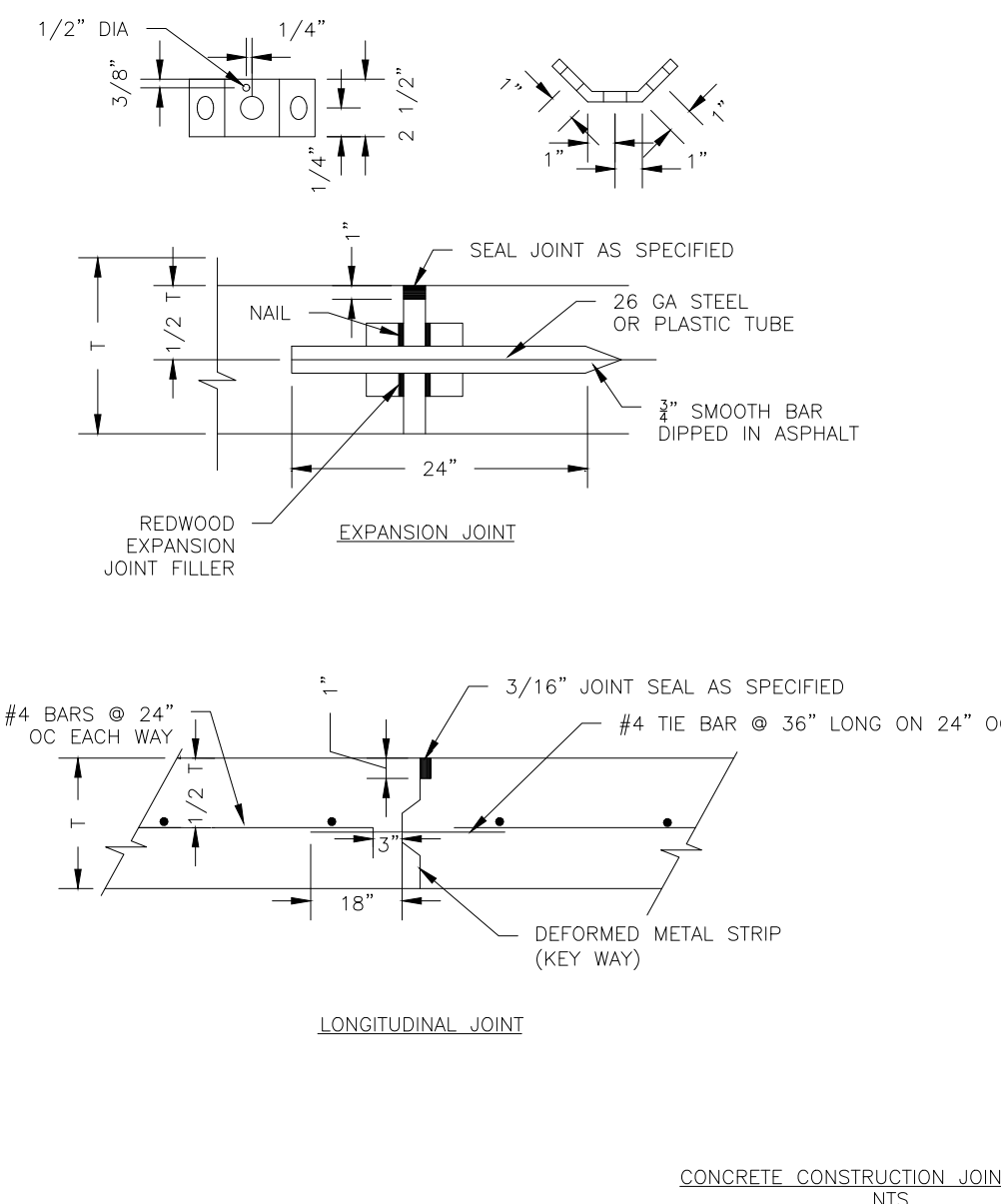
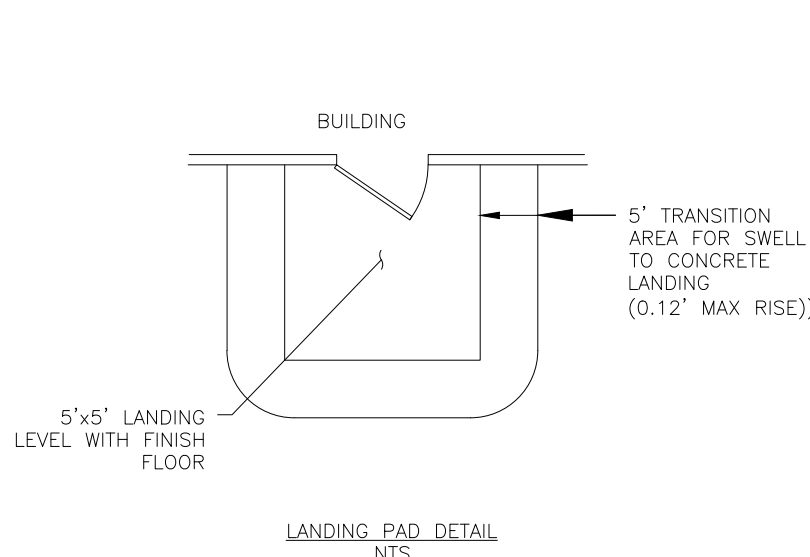
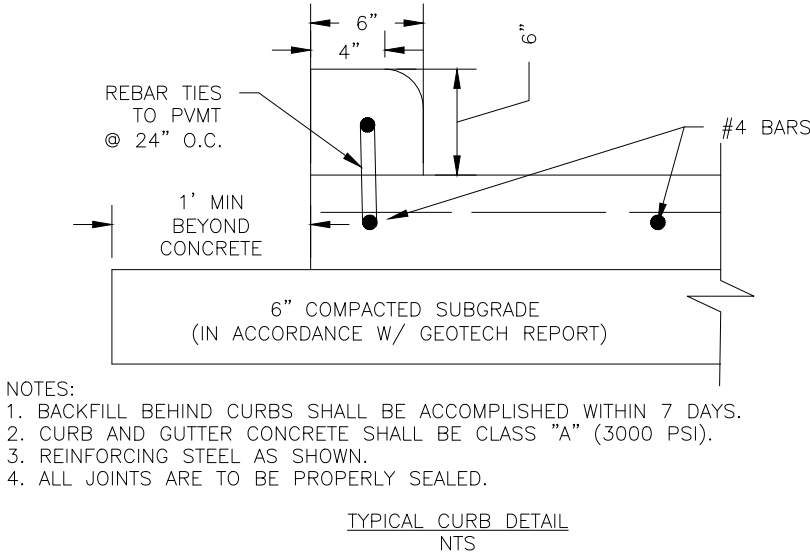
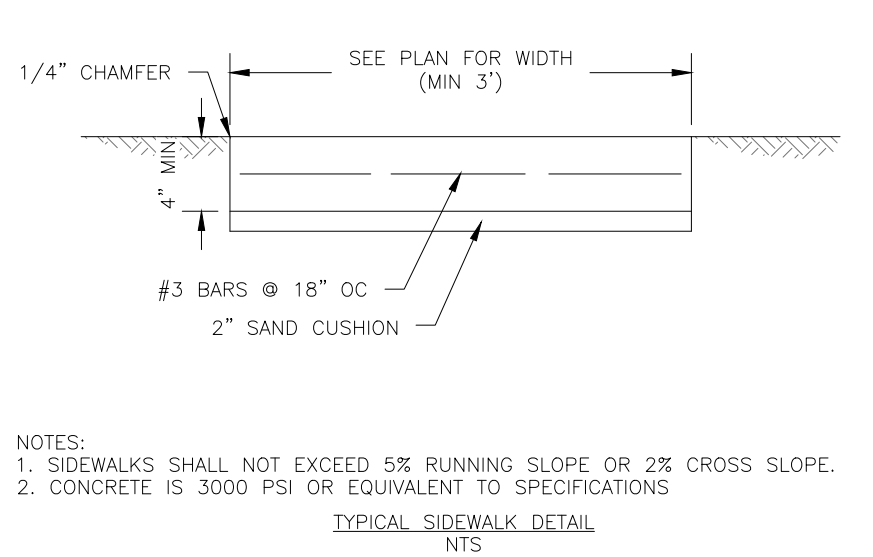
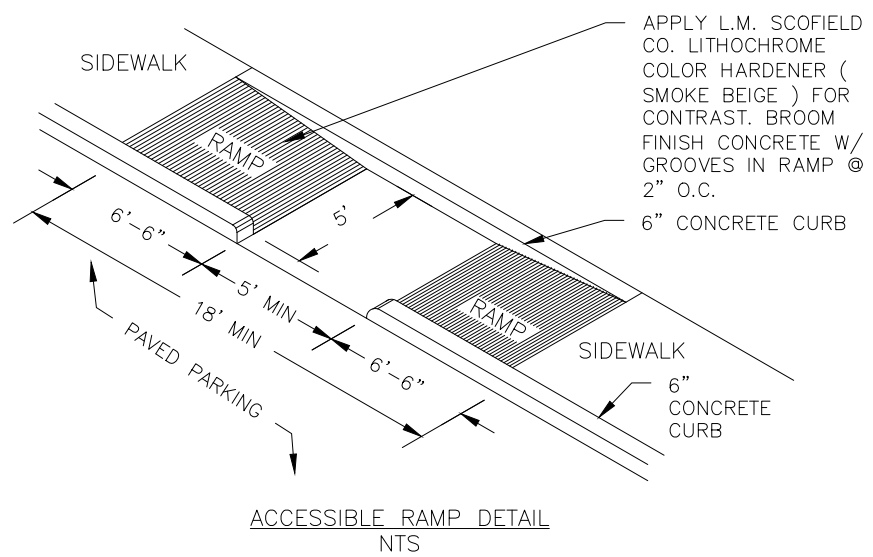
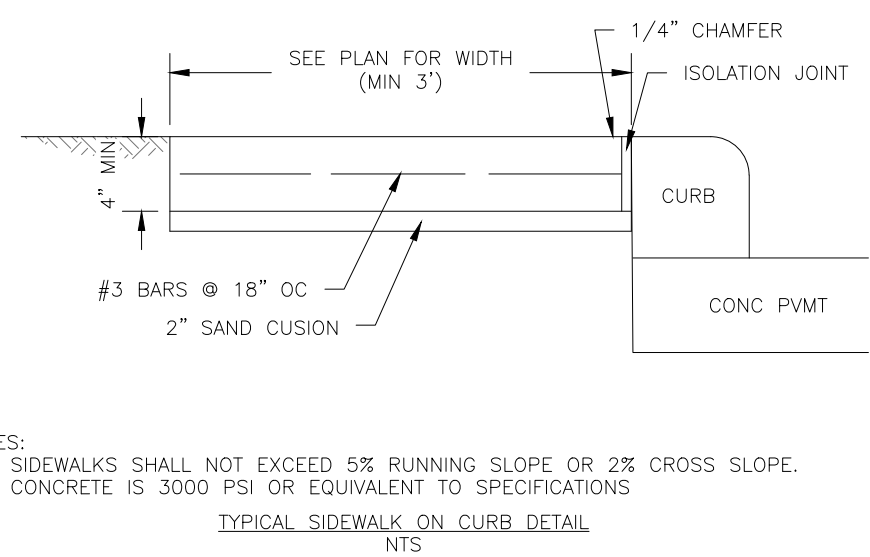
DETAIL 401
SINGLE DUMPSTER ENCLOSURE



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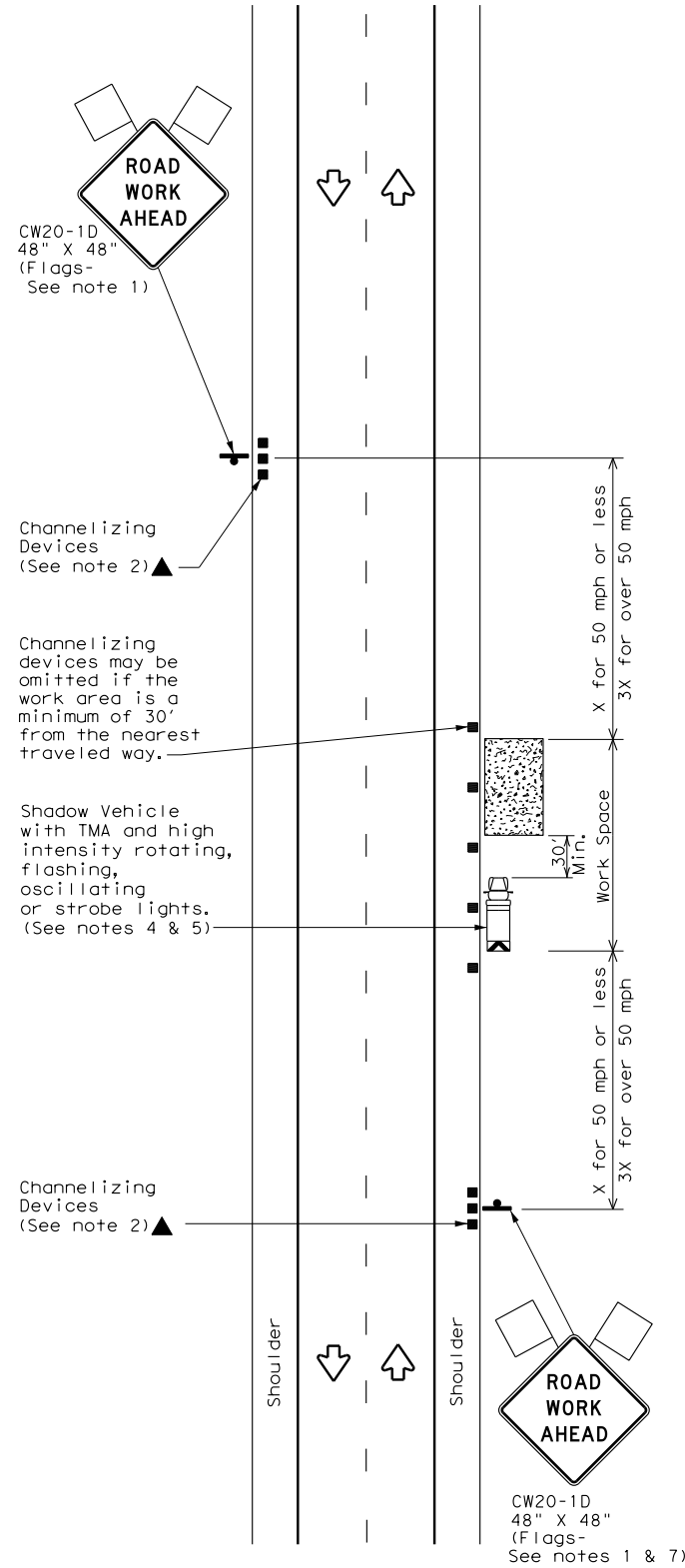
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STATE OF TEXAS
LESLEY REEL
45908
PROFESSIONAL ENGINEER
6/11/2024

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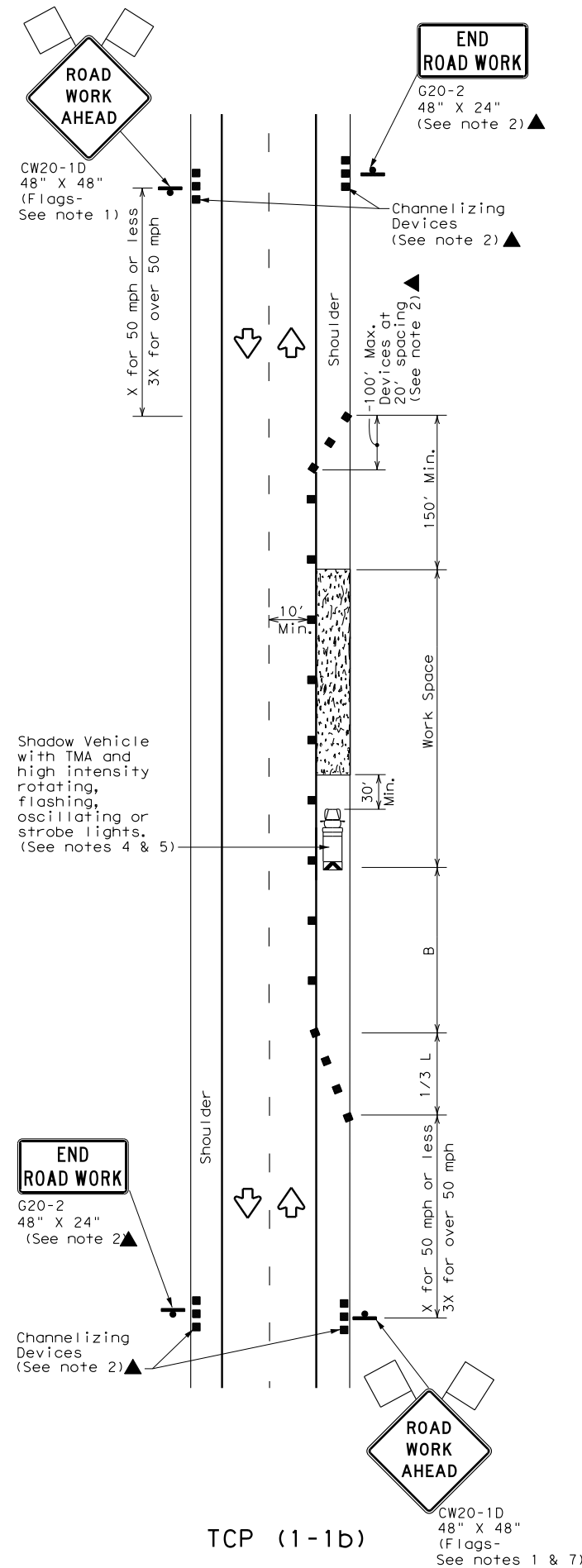
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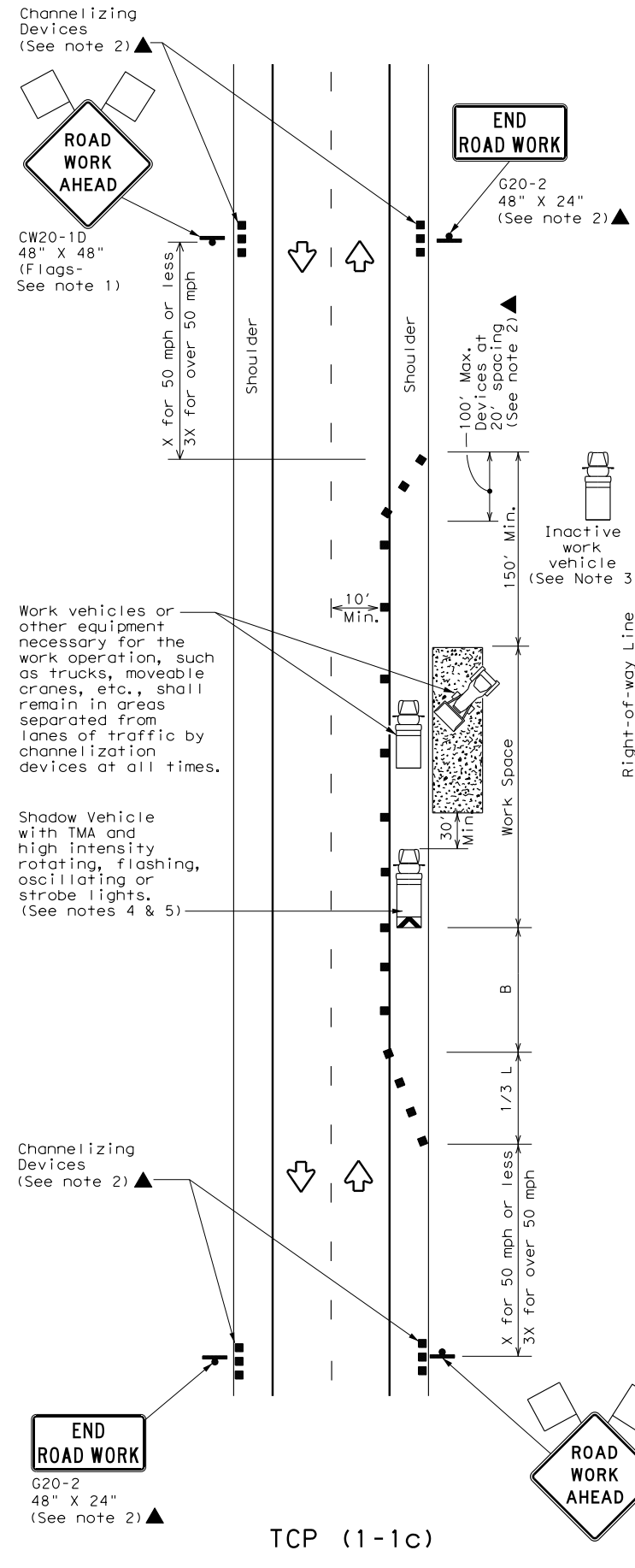
TCP (1-1a)

WORK SPACE NEAR SHOULDER
Conventional Roads



TCP (1-1b)

WORK SPACE ON SHOULDER
Conventional Roads



TCP (1-1c)

WORK VEHICLES ON SHOULDER
Conventional Roads

LEGEND			
	Type 3 Barricade		Channelizing Devices
	Heavy Work Vehicle		Truck Mounted Attenuator (TMA)
	Trailer Mounted Flashing Arrow Board		Portable Changeable Message Sign (PCMS)
	Sign		Traffic Flow
	Flag		Flagger

Posted Speed *	Formula	Minimum Desirable Taper Lengths **			Suggested Maximum Spacing of Channelizing Devices		Minimum Sign Spacing "X" Distance	Suggested Longitudinal Buffer Space "B"
		10' Offset	11' Offset	12' Offset	On a Taper	On a Tangent		
30	$L = \frac{WS^2}{60}$	150'	165'	180'	30'	60'	120'	90'
35		205'	225'	245'	35'	70'	160'	120'
40		265'	295'	320'	40'	80'	240'	155'
45	L = WS	450'	495'	540'	45'	90'	320'	195'
50		500'	550'	600'	50'	100'	400'	240'
55		550'	605'	660'	55'	110'	500'	295'
60		600'	660'	720'	60'	120'	600'	350'
65		650'	715'	780'	65'	130'	700'	410'
70		700'	770'	840'	70'	140'	800'	475'
75		750'	825'	900'	75'	150'	900'	540'

* Conventional Roads Only

** Taper lengths have been rounded off.

L=Length of Taper (FT) W=Width of Offset (FT) S=Posted Speed (MPH)

TYPICAL USAGE				
MOBILE	SHORT DURATION	SHORT TERM STATIONARY	INTERMEDIATE TERM STATIONARY	LONG TERM STATIONARY
	✓	✓		

GENERAL NOTES

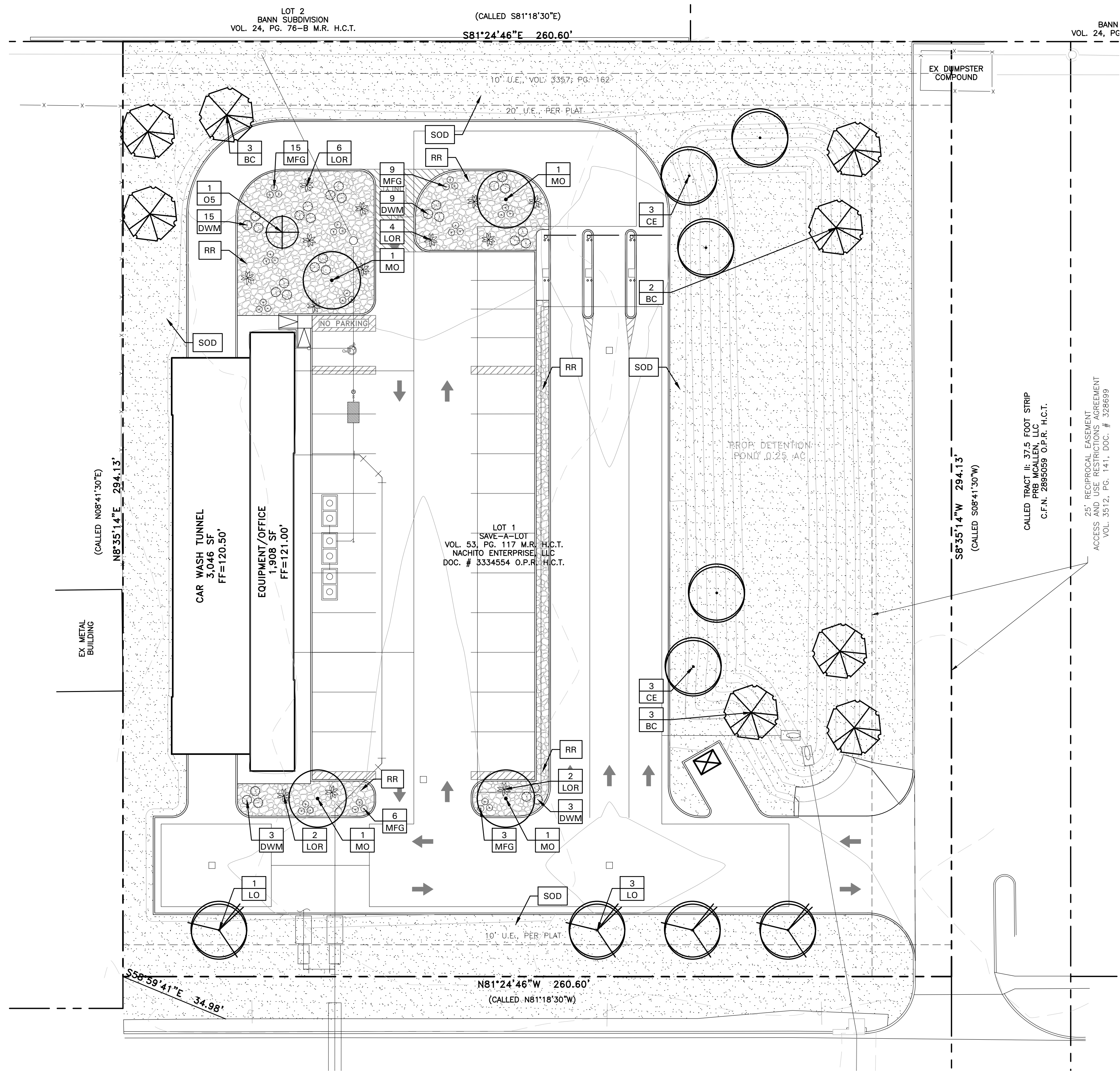
- Flags attached to signs where shown are REQUIRED.
- All traffic control devices illustrated are REQUIRED, except those denoted with the triangle symbol may be omitted when stated elsewhere in the plans, or for routine maintenance work, when approved by the Engineer.
- Inactive work vehicles or other equipment should be parked near the right-of-way line and not parked on the paved shoulder.
- A Shadow Vehicle with a TMA should be used anytime it can be positioned 30 to 100 feet in advance of the area of crew exposure without adversely affecting the performance or quality of the work. If workers are no longer present but road or work conditions require the traffic control to remain in place, Type 3 Barricades or other channelizing devices may be substituted for the Shadow Vehicle and TMA.
- Additional Shadow Vehicles with TMAs may be positioned off the paved surface, next to those shown in order to protect wider work spaces.
- See TCP(5-1) for shoulder work on divided highways, expressways and freeways.
- CW21-5 "SHOULDER WORK" signs may be used in place of CW20-1D "ROAD WORK AHEAD" signs for shoulder work on conventional roadways.



TRAFFIC CONTROL PLAN CONVENTIONAL ROAD SHOULDER WORK

TCP (1-1) - 18

FILE: tcp1-1-18.dgn	DN:	CK:	DW:	CK:
© TxDOT December 1985	CONT	SECT	JOB	HIGHWAY
REVISIONS				
2-94 4-98				
8-95 2-12				
1-97 2-18				
	DIST	COUNTY		SHEET NO.



LANDSCAPE NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
3. CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
5. ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
6. TOP OF MULL SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
7. ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
8. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
9. CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

1. THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
2. ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
3. ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
4. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
5. ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
6. CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

GENERAL LAWN NOTES

1. CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
2. CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
3. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
4. ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
5. CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
6. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
7. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

1. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
2. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
3. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
4. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMOUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE TABULATIONS

CITY OF McALLEN, TEXAS

SITE LANDSCAPE REQUIREMENTS

1. 10% of the area of any lot or parcel shall be devoted to landscape material.
2. 50% of the required landscape area shall be visible from the street fronting the developed property.
3. When the required area being landscaped is from 2,001 to 10,000 s.f., a min. of 10 trees for the first 2,000 s.f. and one tree for every 500 s.f. over 2,000 s.f. of landscape area shall be required.

Total Site Area: 76,645 s.f.

Required	Provided
7,665 s.f. (10%)	35,369 s.f. (46%)
3,833 s.f. (50%)	29,634 s.f.
(21) trees, 2.5" cal.	(21) trees, 3" cal.

PARKING LOT LANDSCAPE REQUIREMENTS

1. All parking spaces shall be located within 50' of a landscaped area with trees.

Required	Provided
50' from a tree	50' from a tree

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
	TREES				
BC	<i>Taxodium distichum</i>	Bald Cypress	8	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
CE	<i>Ulmus crassifolia</i>	Cedar Elm	5	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
DW	<i>Chilopsis linearis</i>	Desert Willow	1	30 gal.	container grown, 3-5 trunk, 5' ht. min., 3' spread min.
LO	<i>Quercus virginiana</i>	Live Oak	4	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
MO	<i>Quercus polymorpha</i>	Monterrey Oak	4	3" cal.	container grown, 12' ht., 4' spread, 4' branching ht., matching
	SHRUBS/GROUNDCOVER				
DWM	<i>Myrica pusilla</i>	Dwarf Wax Myrtle	30	5 gal.	container full, 20" spread
LOR	<i>Loropetalum chinensis</i> 'Plum Delight'	Loropetalum 'Plum Delight'	13	3 gal.	container full, 18" spread
MFG	<i>Nassella tenuissima</i>	Mexican Feathergrass	33	1 gal.	container full
	MISCELLANEOUS				
RR		Tan-Brown River Rock			2" - 4" dia., 4" depth
SOD	<i>Cynodon dactylon</i>	Common Bermudagrass			solid sod, refer to Solid Sod Notes

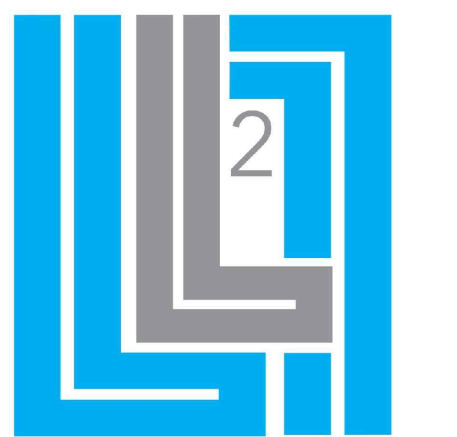
NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.



SCALE: 1" = 20'-0"



- 4245 North Central Expy
• Suite 501
• Dallas, Texas 75205
• 214.865.7192 office



L SQUARED ENGINEERING
MUNICIPAL COMMERCIAL RESIDENTIAL

WWW.L2ENGINEERING.COM

ARM REGISTRATION NUMBER 1123
(MAIN OFFICE)

3307 W. DAVIS STREET #100
CONROE, TEXAS 77304
800.878.8888 281.287.2100

OFFICE: 936-647-0420

21123 EVA STREET #200
MONTGOMERY, TEXAS 77356

BLUEWAVE
EXPRESS - MCALLEN
LANDSCAPE PLAN

CLIENT INFORMATION

CROSS DEVELOPMENT
4336 MARSH RIDGE
CARROLLTON, TX 75010

PROJECT ADDRESS
2400 PECAN BOULEVARD
MCALLEN, TX 78501

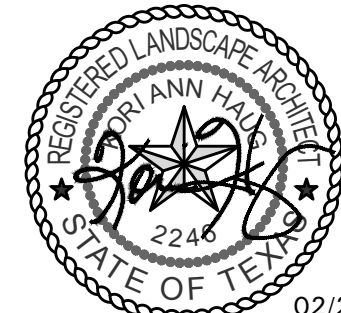
DRAWING ISSUE

#	DATE	BY	* COMMENT

DRAWING INFORMATION

PROJECT	10932	TDLR	*
DRAWN	RNM	CHECKED	KAH

SCALE 1" = 20' (24x36) 1" = 40' (11x17)	SHEET L1.01
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02/21/24

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SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

- A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

- A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs and grasses)
- Bed preparation and fertilization
- Notification of sources
- Water and maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: April 14, 2014 Edition; by American National Standards Institute, Inc. (Z60.1) – plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards
- D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, crushed stone, steel edging and tree stakes. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

A. Maintenance:

- The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
- Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
- A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.

B. Guarantee:

- Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.

- a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
- b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
- c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.

- The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.

- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
- Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
 - Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
 - Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 - Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

do not measure from branch or root tip-to-tip.

- Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
- Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.
- Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

A. Preparation:

- Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.

2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

B. Delivery:

- Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
- Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
- Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
- Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
- Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
- Remove rejected plant material immediately from job site.
- To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complementary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.
- D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as specified at no additional cost to the Owner.

specified at no additional cost to the Owner.

- Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature confirms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)

- F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

A. Sandy Loam:

- Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.

- Physical properties as follows:
 - Clay – between 7-27 percent
 - Silt – between 15-25 percent
 - Sand – less than 52 percent

- Organic matter shall be 3%-10% of total dry weight.

- If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.

- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.

- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.

- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.

- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.

- F. Organic Fertilizer: Ferti-laid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.

- G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UP) with a minimum 8% sulfur and 4% iron, plus micronutrients.

- H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: All steel edging shall be 3/16" thick x 4" deep x 16' long with 6 stakes per section, painted black at the factory as manufactured by The J.D. Russell Company and under its trade name DURAEDGE Heavy Duty Steel.

- B. Staking Material for Shade Trees: refer to details.

- C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.

- D. Filter Fabric: 'Mirafi Mirascape' by Mirafi Construction Products available at Lone Star Products, Inc., (469) 523-0444 or approved equal.

- E. River Rock: "Colorado" or native river rock, 2" - 4" dia.

- F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.

- B. All planting areas shall be conditioned as follows:

- Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.

- All planting areas shall receive a two (2") inch layer of specified mulch.

- Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.

C. Grass Areas:

- Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.

- B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.

- C. Position the trees and shrubs in their intended location as per plan.

- D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.

- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

- F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter (¾") inch in diameter. Plants should be thoroughly moist before removing containers.

- G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.

- H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per

tree planting detail as approved by the Landscape Architect if the percolation test fails.

- Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top ½ of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of "root scoring".

- J. Do not wrap trees.

- K. Do not over prune.

- L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.

- M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.

- N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3) feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.

- O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.

- P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.

- Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.

- Pruning shall be done with clean, sharp tools.

- Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.

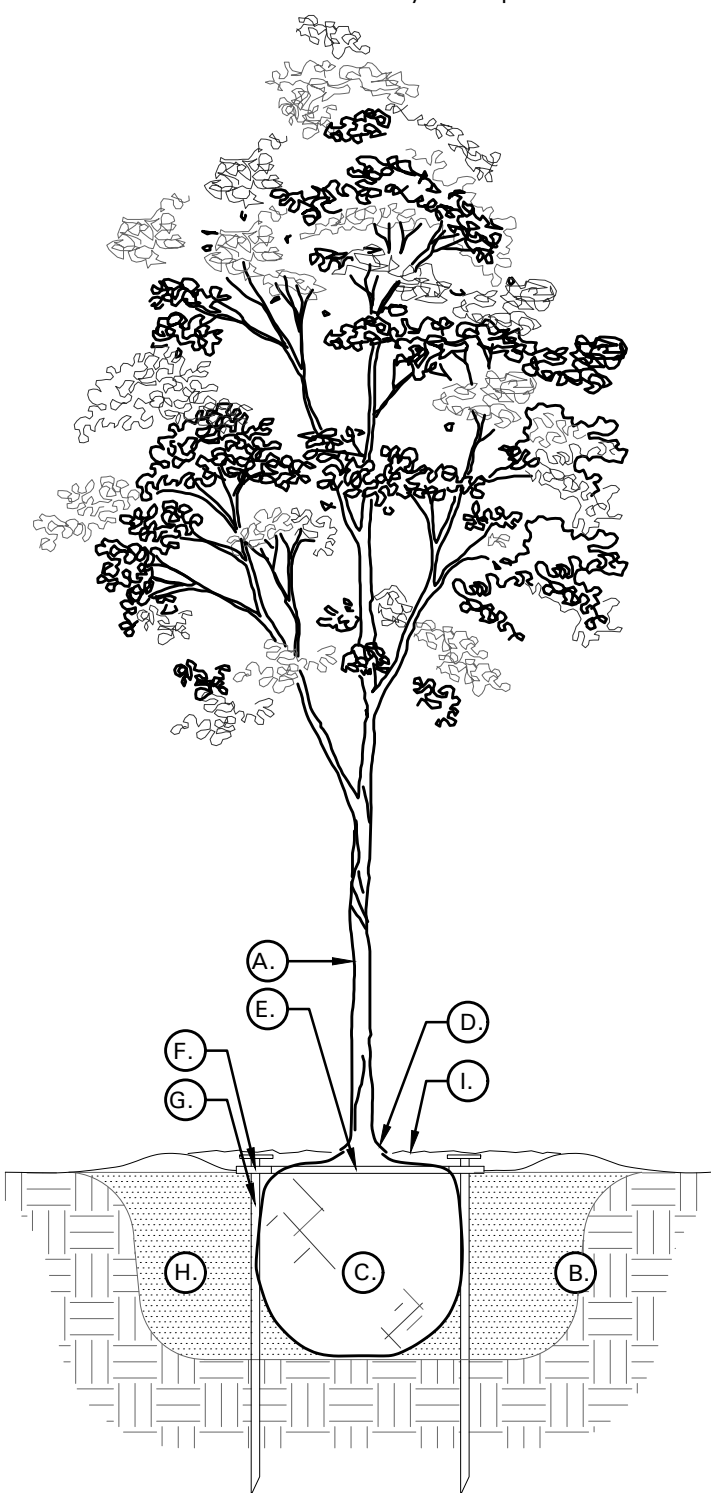
- Q. Steel Curbing Installation:

- Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
- All steel curbing shall be free of kinks and abrupt bends.
- Top of curbing shall be ½" maximum height above final finished grade.
- Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
- Do not install steel edging along sidewalks or curbs.
- Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

END OF SECTION



01 TREE PLANTING DETAIL
NOT TO SCALE

TREE PLANTING DETAIL LEGEND
AND NOTES

- A. TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR NURSERY STOCK. www.anla.org

- B. TREE PIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL. CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE SOIL.

- C. ROOT BALL: REMOVE TOP ¼ BURLAP AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE INSPECTED FOR GIRDLING ROOTS.

- D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH, AND AT LEAST TWO INCHES ABOVE GRADE. TREES SHALL BE REJECTED WHEN GIRDLING ROOTS ARE PRESENT & ROOT FLARE IS NOT APPARENT.

- E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL. TRUNK SHOULD BE IN THE CENTER OF THE RING.

- F. ROOT ANCHOR BY TREE STAKE SOLUTIONS.

- G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR Mallet FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH "J" BRACKET ADJACENT TO ROOTBALL (DO NOT DISTURB ROOTBALL).

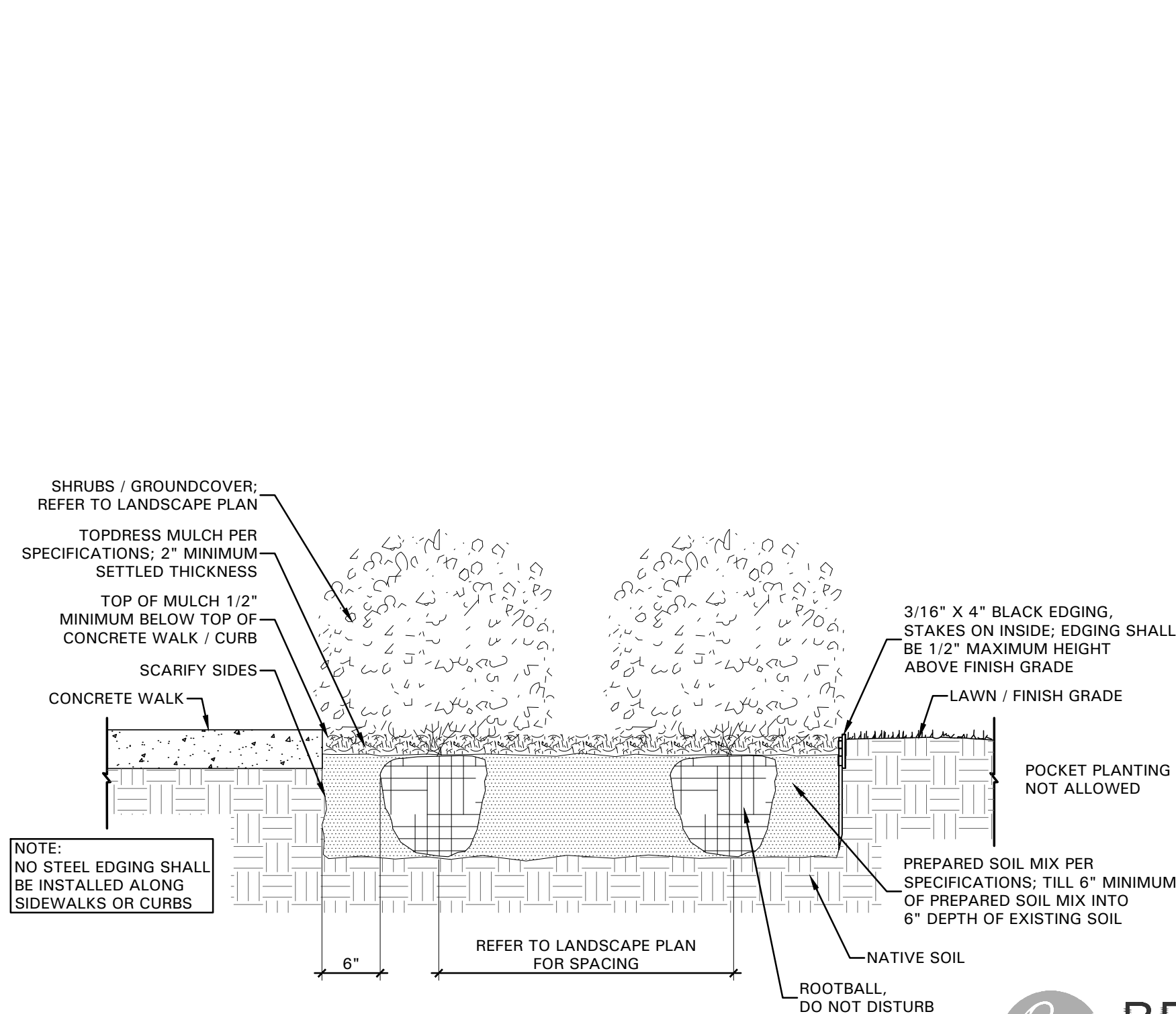
- H. BACKFILL: USE EXISTING NATIVE SOIL (no amendments) WATER THOROUGHLY TO ELIMINATE AIR POCKETS.

- I. MULCH: DOUBLE SHREDDED HARDWOOD MULCH, 2" INCH SETTLED THICKNESS, WITH 2" HT. WATERING RING; ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE.

- J. TREE STAKES: TREE STAKE SOLUTIONS 'SAFETY STAKE' BELOW GROUND MODEL AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tuley (903) 676-6143 jeff@treestakesolutions.com www.treestakesolutions.com

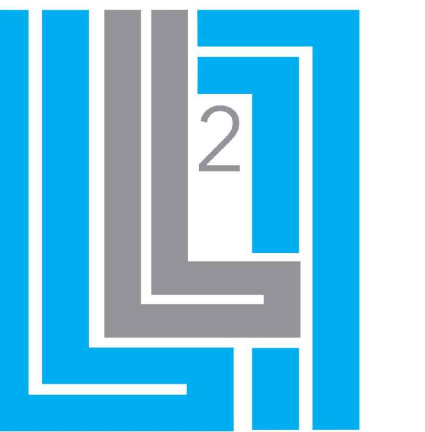
- OR APPROVED EQUAL. TREES SHALL BE STAKED BELOW GROUND WHERE NECESSARY; ABOVE GROUND STAKING IS EXPRESSLY PROHIBITED.

- K. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION OF TREE STAKES. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.



02 SHRUB / GROUNDCOVER DETAIL
NOT TO SCALE

• 4245 North Central Expy
• Suite 501
• Dallas, Texas 75205
• 214.865.7192 office



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MUNICIPAL COMMERCIAL RESIDENTIAL

WWW.L2ENGINEERING.COM
3307 W. DAVIS STREET #100
CONROE, TEXAS 77304
OFFICE: 936-647-0400
21123 EVA STREET #200
MONTGOMERY, TEXAS 77136

BLUEWAVE
EXPRESS - MCALLEN
LANDSCAPE SPECIFICATIONS
AND DETAILS

CLIENT INFORMATION
CROSS DEVELOPMENT
4336 MARSH RIDGE
CARROLLTON, TX 75010
PROJECT ADDRESS
2400 PECAN BOULEVARD
MCALLEN, TX 78501

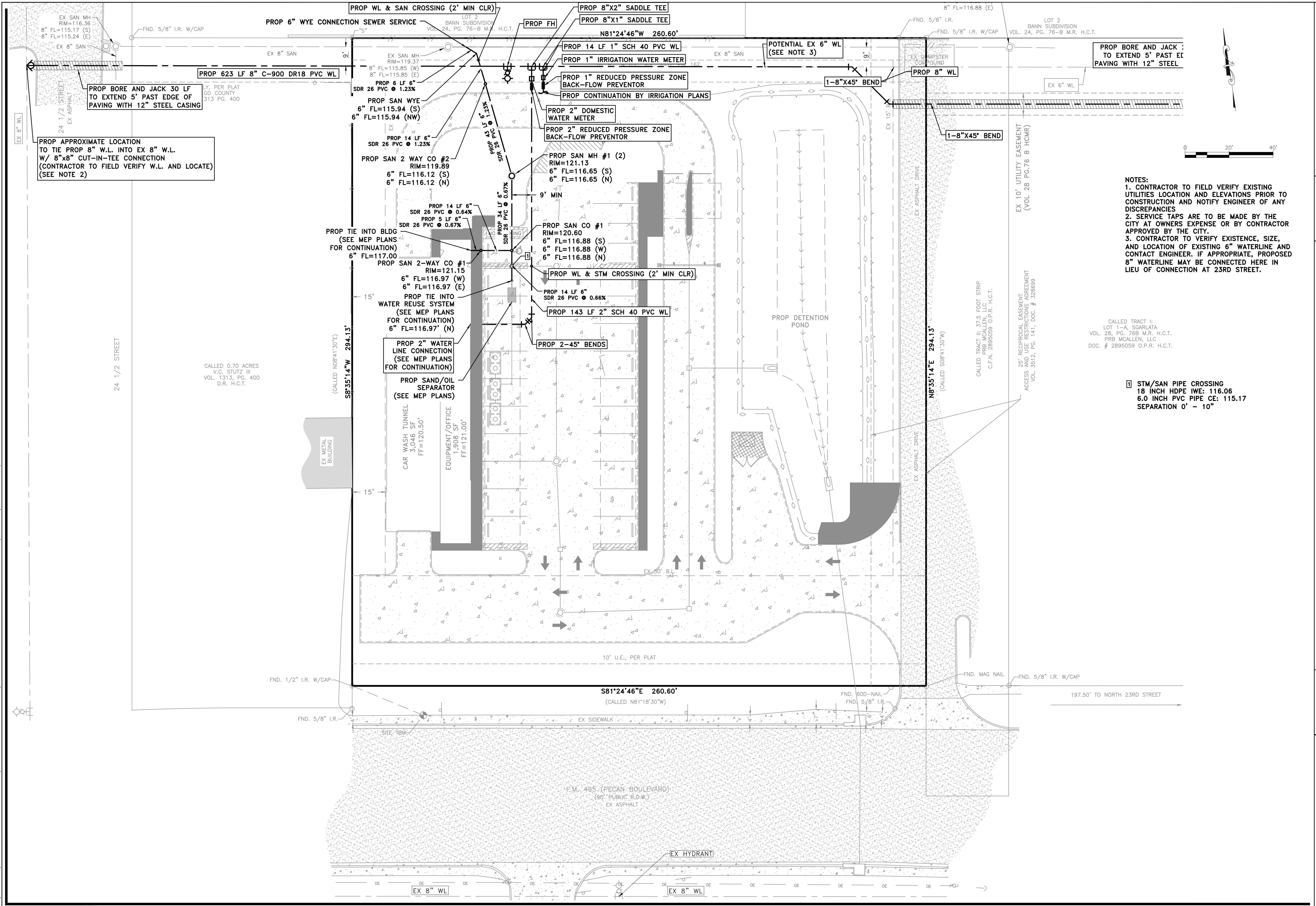
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#	DATE	BY	* COMMENT

DRAWING INFORMATION			
PROJECT	10932	TDLR	**
DRAWN	RNM	CHECKED	KAH
SCALE	NONE	SHEET	L1.02



02/21/24

L:\SHARED\L2 ENGINEERING PROJECTS\ENGINEERING PROJECTS\10932 - CLEARWATER EXPRESS MCALEN\03 CAD\DESIGN SET\06 UTILITY PLANDWG Jun. 25, 2024--3:39 PM JERAHMY LAVENDER



NOTES:
1. CONTRACTOR TO FIELD VERIFY EXISTING UTILITIES LOCATION AND ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES
2. SERVICE TAPS ARE TO BE MADE BY THE CITY AT OWNERS EXPENSE OR BY CONTRACTOR APPROVED BY THE CITY.
3. CONTRACTOR TO VERIFY EXISTENCE, SIZE, AND LOCATION OF EXISTING 6" WATERLINE AND CONTACT ENGINEER. IF APPROPRIATE, PROPOSED 8" WATERLINE MAY BE CONNECTED HERE IN LIEU OF CONNECTION AT 23RD STREET.

1. STM/SAN PIPE CROSSING
18 INCH HDPE IWE: 116.06
6.0 INCH PVC PIPE CE: 115.17
SEPARATION 0' - 10"



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MUNICIPAL COMMERCIAL RESIDENTIAL
WWW.LZENGINERING.COM
3307 W. DAVIS STREET #100
CORPUS CHRISTI, TEXAS 78404
OFFICE: 361-447-0400

CLIENT INFORMATION
CROSS DEVELOPMENT
4317 MARSH RIDGE ROAD
CARROLLTON, TX 75010
PROJECT ADDRESS
2400 PECAN BLVD
MCALLEN, TX 78501

**BLUEWAVE EXPRESS
MCALEN 23**

UTILITY PLAN 1 OF 2

DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	6/25/24	LR	FOR PERMIT

DRAWING INFORMATION

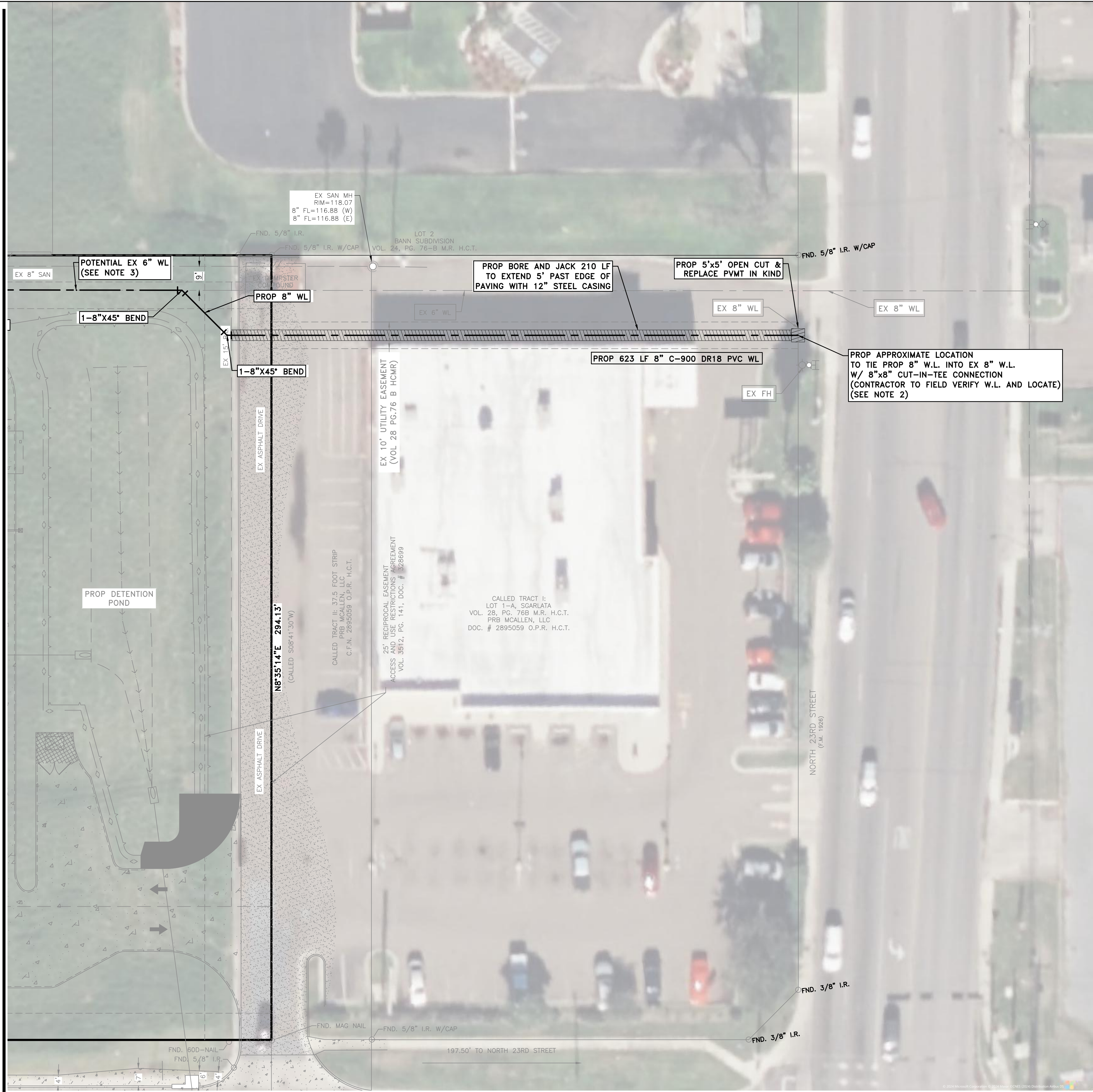
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DRAWN	CLD	EIT	CRH
SCALE	SHEET		
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1" = 40' (11x17)			



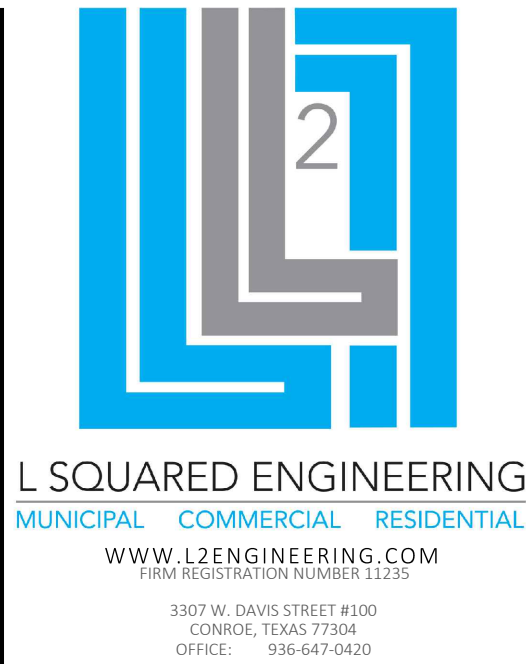
6/25/2024

*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE

L:\SHARED\L2 ENGINEERING PROJECTS\ENGINEERING PROJECTS\10932 - CLEARWATER EXPRESS MCALLEN\03 CAD DESIGN SET\06 UTILITY PLAN.DWG Jun. 25, 2024-3:39 PM JERAHMY LAVENDER



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CLIENT INFORMATION
CROSS DEVELOPMENT
4317 MARSH RIDGE ROAD
CARROLLTON, TX 75010
PROJECT ADDRESS
2400 PECAN BLVD
MCALLEN, TX 78501

BLUEWAVE EXPRESS MCALLEN 23

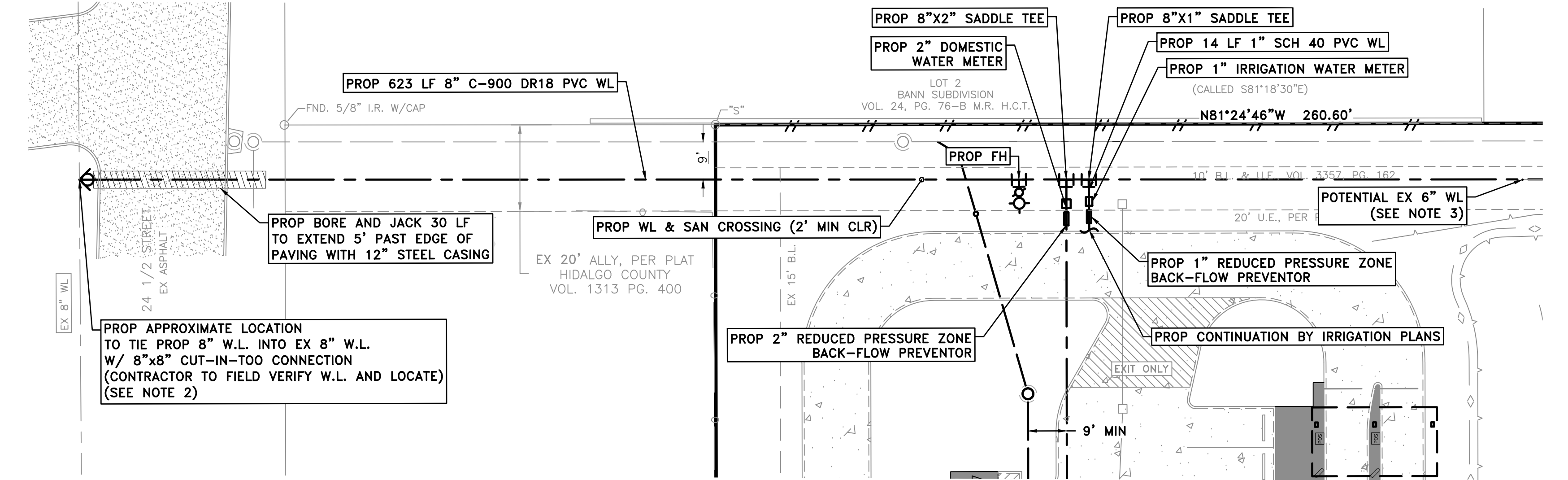
UTILITY PLAN 2 OF 2

DRAWING ISSUE			
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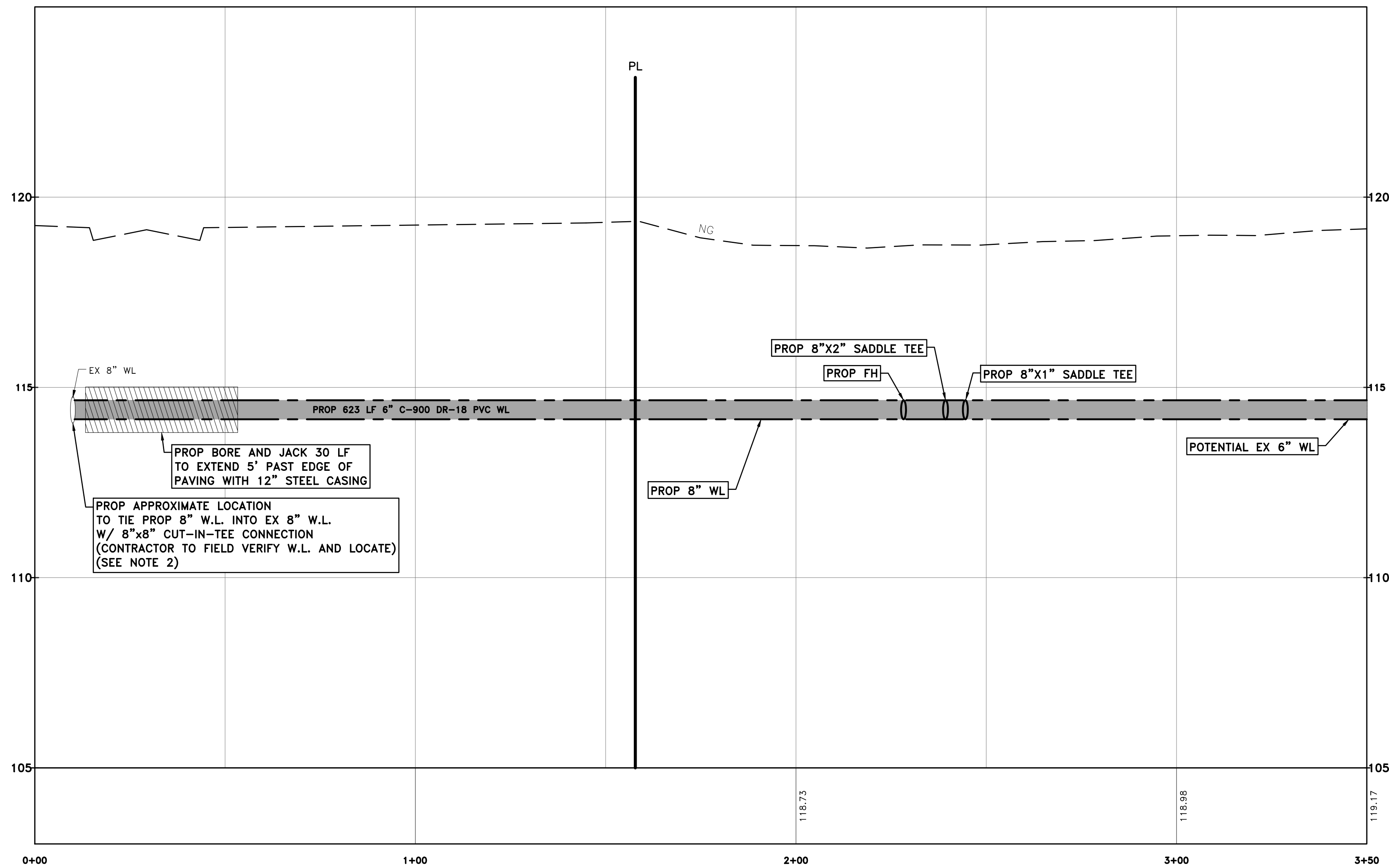
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PROJECT	10932	TDLR	**
DRAWN	CLD	EIT	CRH
SCALE	SHEET		
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1" = 20' (11x17)			



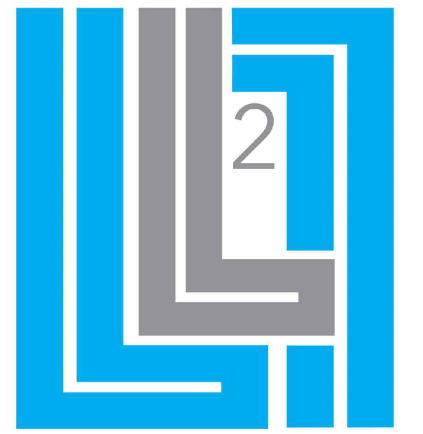
*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE



WATERLINE PROFILE
SCALE:
1"=20' HORIZ
1"=2' VERT



- NOTES:
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MUNICIPAL COMMERCIAL RESIDENTIAL
WWW.L2ENGINEERING.COM
PRO REGISTRATION NUMBER 13125
3307 W. DAVIS STREET #100
CONROE, TEXAS 77384
OFFICE: 281-467-0600

CLIENT INFORMATION
CROSS DEVELOPMENT
4317 MARSH RIDGE ROAD
CARROLLTON, TX 75010
PROJECT ADDRESS
2400 PECAN BLVD
MCALLEN, TX 78501

BLUEWAVE EXPRESS MCALLEN 23

WATERLINE PLAN AND PROFILE 1 OF 2

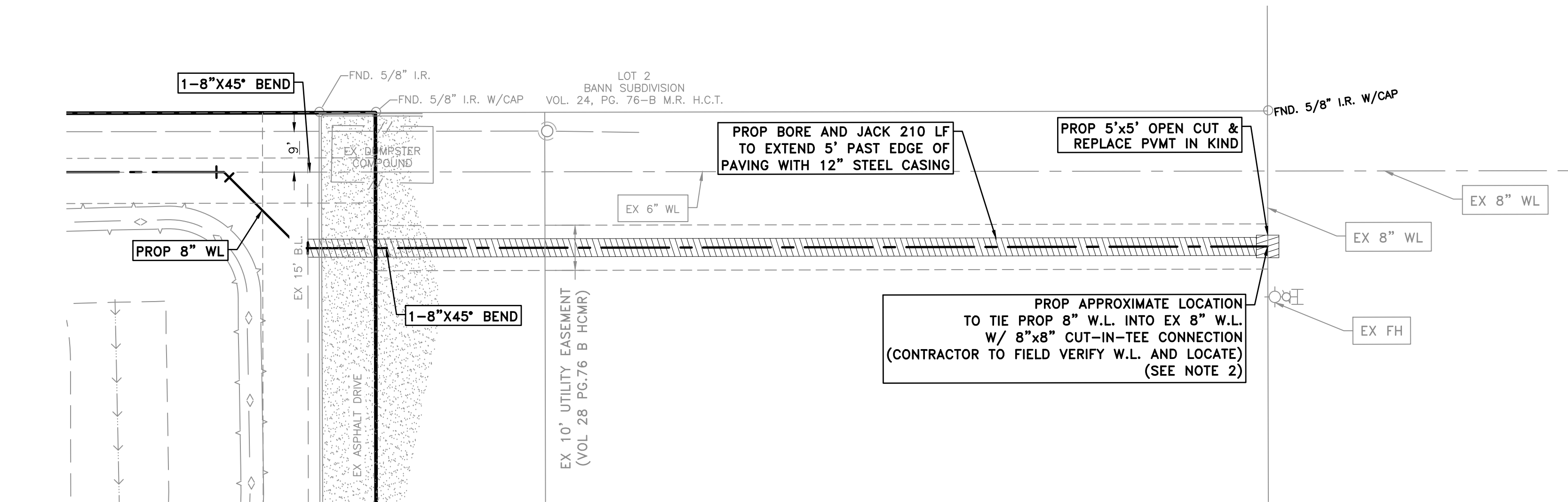
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DRAWING INFORMATION			
PROJECT	10932	TDLR	**
DRAWN	CLD	EIT	CRH
SCALE	SHEET		
1" = 20' (24x36)	09		
1" = 40' (11x17)			

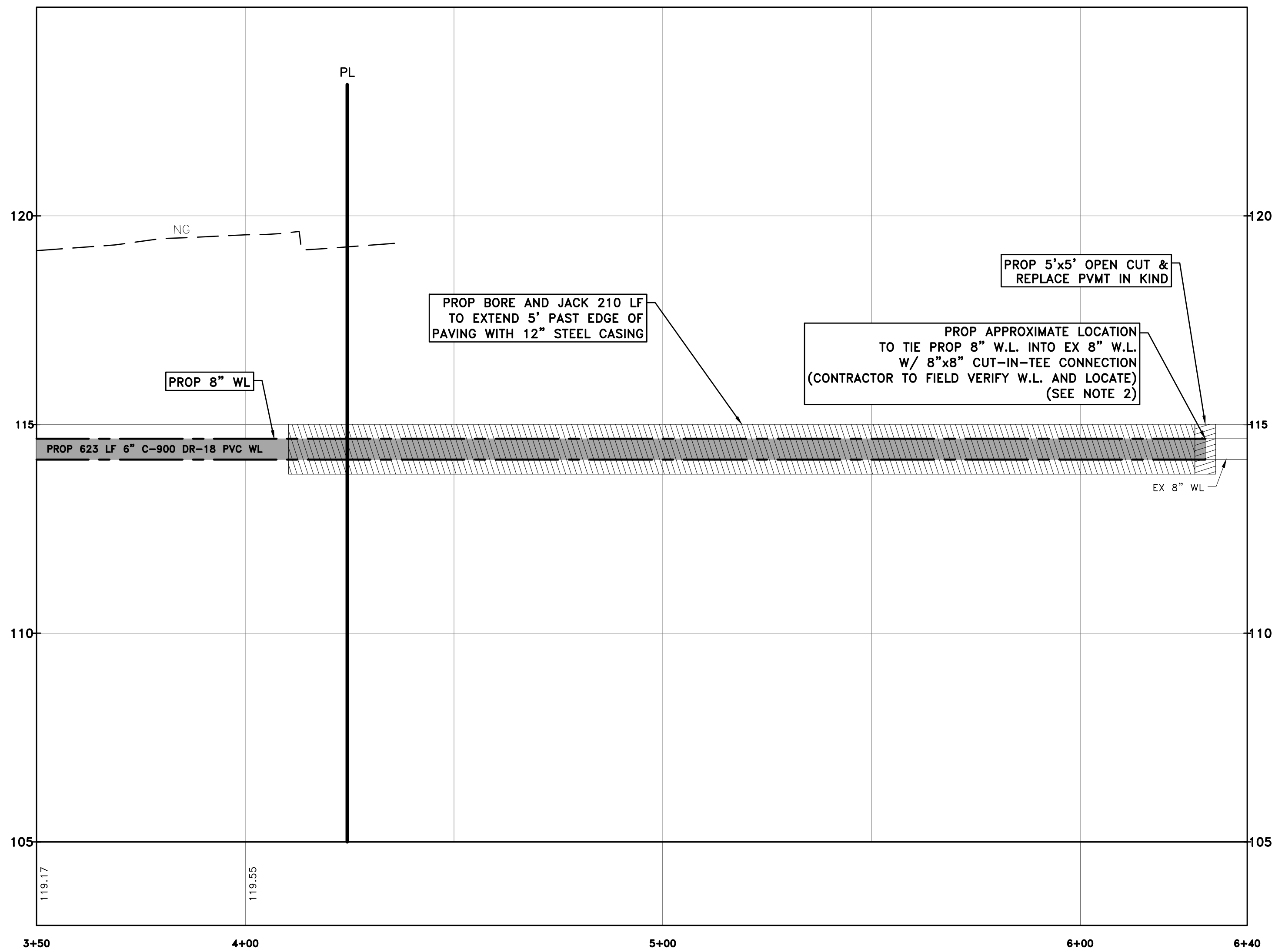


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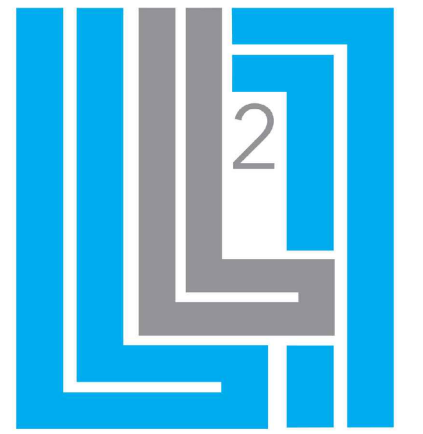
*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE



WATERLINE PROFILE
SCALE:
1"=20' HORIZ
1"=2' VERT



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4317 MARSH RIDGE ROAD
CARROLLTON, TX 75010

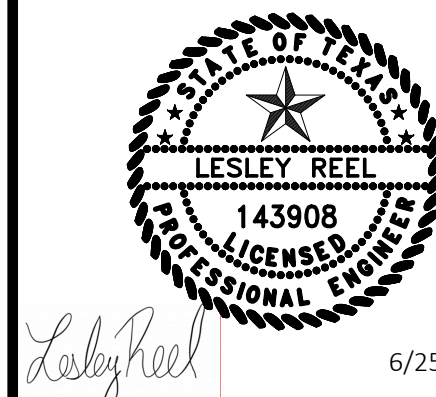
PROJECT ADDRESS
2400 PECAN BLVD
MCALLEN, TX 78501

BLUEWAVE EXPRESS MCALLEN 23

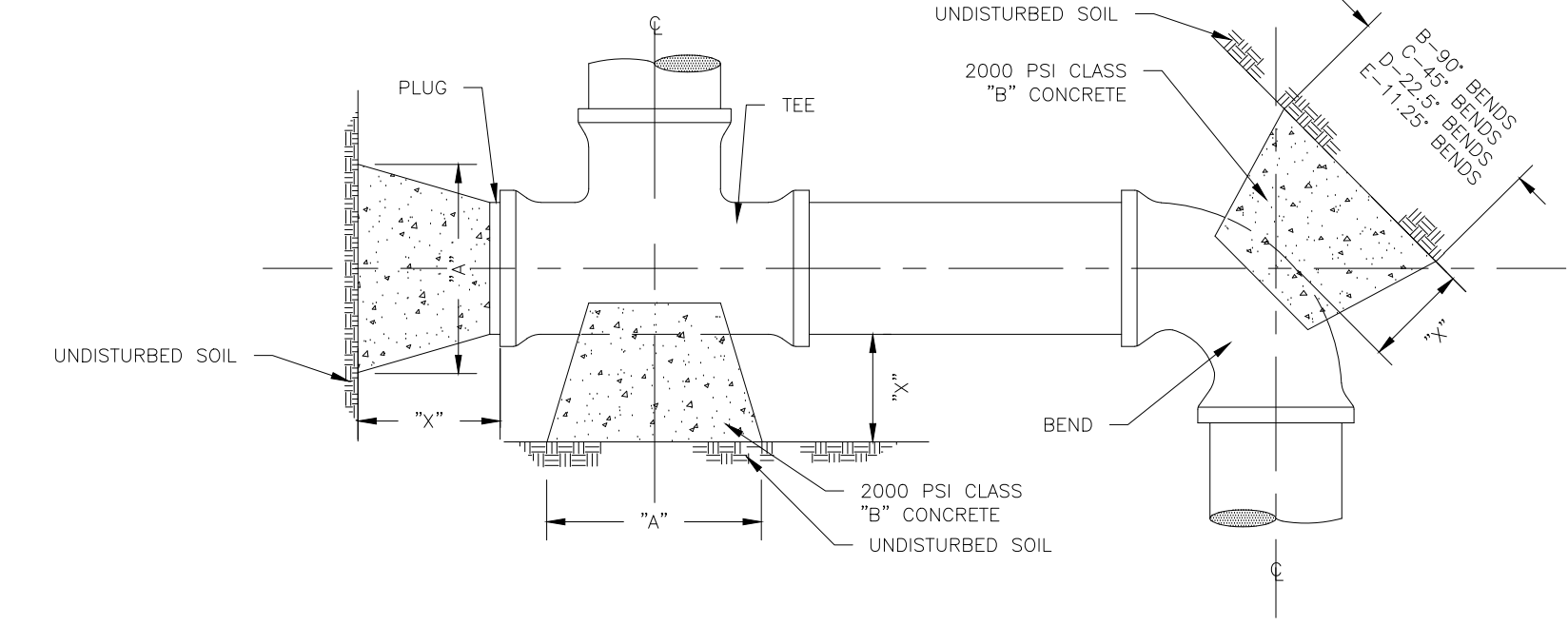
WATERLINE PLAN AND PROFILE 2 OF 2

DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	6/25/24	LR	FOR PERMIT

DRAWING INFORMATION			
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SCALE	SHEET		
1" = 20' (24x36)	10		
1" = 40' (11x17)			



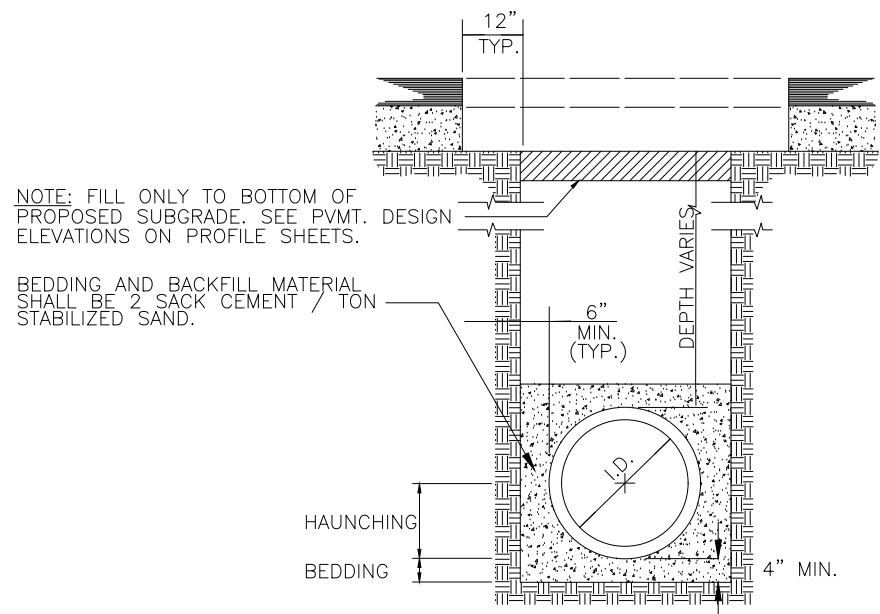
*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE



NOTES:
DIMENSION 'X' TO BE A MINIMUM OF 1' BUT IS TO BE INCREASED WHERE NECESSARY TO PROVIDE BEARING AGAINST UNDISTURBED TRENCH WALL. CALCULATIONS IN MIN AREA COLUMN ARE IN SF. CALCULATIONS IN MIN VOLUME COLUMN ARE IN CY.

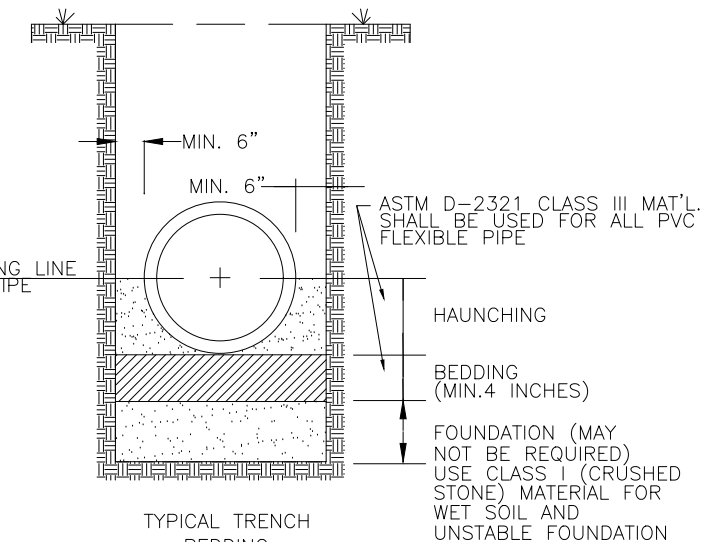
PIPE SIZE	'X' DIM.	PLUGS & TEES 'A'	MIN. AREA	MIN. VOL.	90° BENDS			45° BENDS			22.50° BENDS			11.25° BENDS		
					'b'	MIN. AREA	MIN. VOL.	'c'	MIN. AREA	MIN. VOL.	'd'	MIN. AREA	MIN. VOL.	'e'	MIN. AREA	MIN. VOL.
4"	1'-0"	1'-0"	1.06	0.06	1'-2"	1.50	0.09	1'-0"	0.83	0.05	1'-0"	0.83	0.05	1'-0"	0.83	0.05
6"	1'-6"	1'-0"	1.89	0.11	1'-6"	2.86	0.15	1'-3"	1.44	0.08	1'-0"	0.83	0.05	1'-0"	0.83	0.05
8"	1'-6"	1'-3"	2.95	0.17	2'-0"	4.17	0.24	1'-6"	2.26	0.13	1'-3"	1.15	0.07	1'-0"	0.83	0.05
10"	1'-6"	1'-3"	4.25	0.24	2'-3"	6.00	0.34	1'-9"	3.25	0.18	1'-3"	1.65	0.10	1'-0"	0.83	0.05
12"	1'-6"	2'-0"	7.34	0.56	3'-0"	10.65	0.79	2'-3"	5.76	0.43	1'-8"	2.94	0.22	1'-2"	1.48	0.11
16"	2'-0"	2'-7"	7.70	0.57	3'-5"	10.89	0.82	2'-6"	5.89	0.44	1'-10"	3.01	0.22	1'-5"	1.51	0.11
18"	2'-0"	2'-11"	7.86	0.59	3'-9"	11.12	0.84	2'-9"	6.01	0.45	2'-0"	3.07	0.23	1'-7"	1.54	0.12
20"	2'-0"	3'-3"	11.33	0.84	4'-3"	16.00	1.20	3'-2"	8.65	0.65	2'-6"	4.42	0.33	1'-10"	2.22	0.17
24"	2'-6"	3'-8"														

HORIZONTAL BLOCKING DETAIL NTS

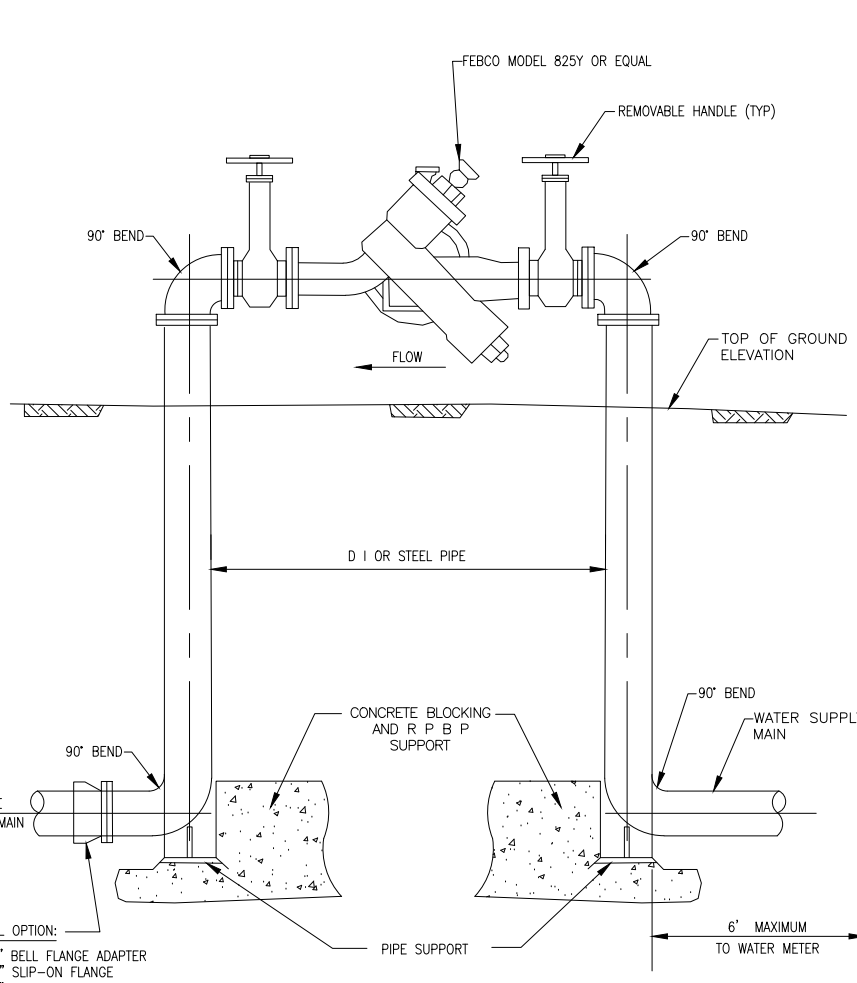


FOUNDATION:
A FOUNDATION IS REQUIRED WHEN THE TRENCH BOTTOM IS UNSTABLE. ANY FOUNDATION THAT WILL SUPPORT A RIGID PIPE WITHOUT CAUSING LOSS OF GRADE OR FLEXURAL BREAKING WILL BE MORE THAN ADEQUATE FOR PVC PIPE.
BEDDING:
THE BEDDING DIRECTLY UNDERNEATH THE PIPE IS REQUIRED ONLY TO BRING THE TRENCH BOTTOM UP TO GRADE. IT SHOULD NOT BE SO THICK OR SOFT THAT THE PIPE WILL SETTLE AND LOSE GRADE. THE PURPOSE OF THE BEDDING IS TO PROVIDE A FIRM, STABLE AND UNIFORM SUPPORT OF THE PIPE. A LAYER OF MATERIAL SUFFICIENT TO ESTABLISH LINE, GRADE, AND SUPPORT SHOULD BE PLACED. BELL HOLES SHOULD BE EXCAVATED TO INSURE UNIFORM BEARING.
HAUNCHING:
THE HAUNCHING AREA IS THE MOST IMPORTANT IN TERMS OF LIMITING THE DEFLECTION OF A FLEXIBLE PIPE. THIS IS THE AREA THAT SHOULD BE COMPACTED TO THE REQUIRED OR SPECIFIC DENSITY.
ASTM D 2321
DESCRIPTION OF EMBEDMENT MATERIALS
CLASS I
ANGULAR, 1/4" TO 1 1/2" GRADED STONE, INCLUDING A NUMBER OF FILL MATERIALS THAT HAVE REGIONAL SIGNIFICANCE, SUCH AS CORAL, STAG, CINDERS, CRUSHED STONE AND CRUSHED SHELLS.

TYPICAL TRENCH BEDDING AND TRENCH DETAIL NTS

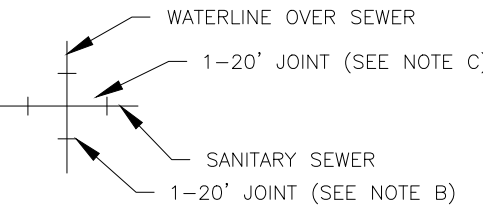


CLASS II
COARSE SANDS AND GRAVELS WITH MAXIMUM PARTICLE SIZE OF 1 1/2", INCLUDING VARIOUSLY GRADED SANDS AND GRAVELS CONTAINING SMALL PERCENTAGES OF FINES, GENERALLY GRANULAR AND NONCOHESIVE, EITHER WET OR DRY. SOIL TYPES GW, GP, SW, AND SP ARE INCLUDED IN THIS CLASS.
CLASS III
FINE SAND AND CLAYEY GRAVELS INCLUDING FINE SANDS, SAND-CLAY MIXTURES, AND GRAVEL-CLAY MIXTURES. SOIL TYPES GM, GC, SM, AND SC ARE INCLUDED IN THIS CLASS.
CLASS IV
SILT, SILTY CLAYS, AND CLAYS, INCLUDING INORGANIC CLAYS AND SILTS OF MEDIUM TO HIGH PLASTICITY AND LIQUID LIMITS. SOIL TYPES MH, ML, CH AND CL ARE INCLUDED IN THIS CLASS.
CLASS V
THIS CLASS INCLUDES THE ORGANIC SOILS OL, OH, AND PT AS WELL AS SOILS CONTAINING FROZEN EARTH, DEBRIS, ROCKS LARGER THAN 1 1/2" IN DIAMETER, AND OTHER FOREIGN MATERIALS. THESE MATERIALS ARE NOT RECOMMENDED FOR BEDDING, HAUNCHING, OR INITIAL BACKFILL.
NOTE: BACKFILL ABOVE THE BEDDING SHALL CONFORM TO "TYPICAL WATERLINE BACKFILL AND TRENCH REPAIR" STANDARD DRAWING W-5.

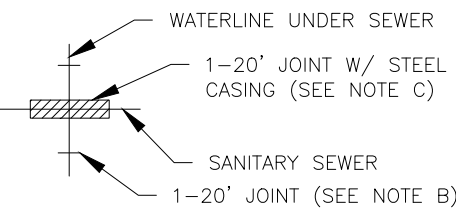


REDUCED PRESSURE BACKFLOW PREVENTER NTS

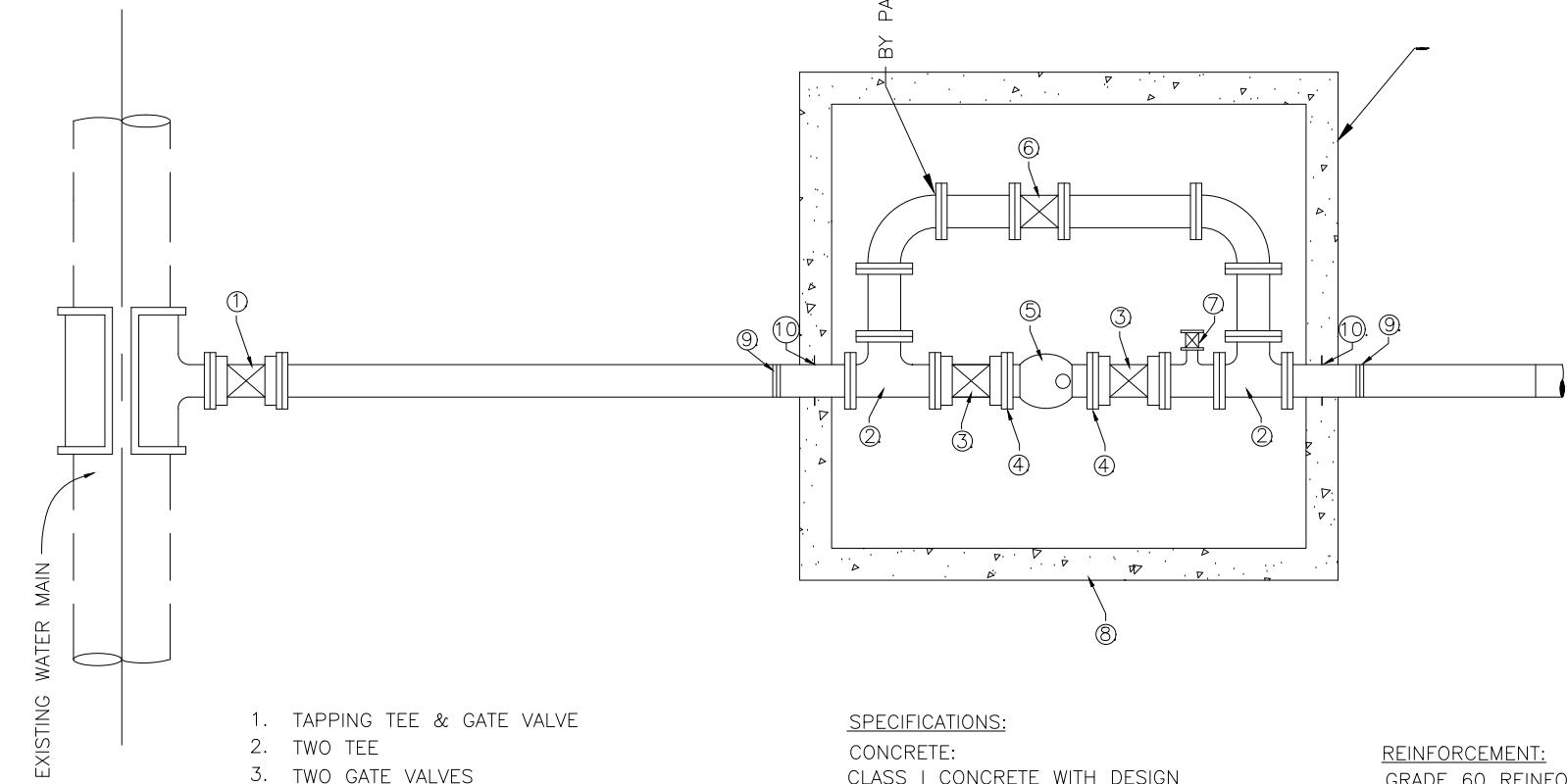
CONSTRUCT WATER LINE-SANITARY SEWER CROSSING PER THE FOLLOWING REQUIREMENTS:
1. A. PROVIDE MINIMUM 2' VERTICAL CLEARANCE
B. PLACE ONE FULL SECTION (MIN. 18 FT) OF WATERLINE CENTERED AT SANITARY SEWER CROSSING. PROVIDE RESTRAINED JOINTS ON WATERLINE, SPACED AT LEAST 9 FEET HORIZONTALLY FROM CENTERLINE SAND, AS PER TAC § 290.44.
C. WHERE A WATERLINE CROSSES A SEWER MAIN OR LATERAL WITHOUT 2' CLEARANCE, WATERLINE MUST BE 6" ABOVE SEWER MAIN OR LATERAL. SEWER MUST HAVE A PRESSURE RATED PIPE OF AT LEAST 150 PSI AND SHALL BE EMBEDDED IN CEMENT STABILIZED SAND FOR A TOTAL LENGTH OF ONE PIPE SEGMENT PLUS 12" BEYOND THE JOINT ON EACH END.
D. PLACE ONE FULL SECTION (MIN. 18 FT) OF 150 PSI SANITARY SEWER CENTERED AT WATERLINE CROSSING, SPACED AT LEAST 9 FEET HORIZONTALLY FROM CENTERLINE OF WATERLINE, AND EMBED IN CEMENT STABILIZED SAND.
E. WATERLINES, INCLUDING SERVICE LEADS, SHALL ALWAYS CROSS OVER SANITARY SEWER LINES AND SERVICE LEADS UNLESS SPECIFICALLY LABELED AND APPROVED OTHERWISE.



2. A. ANY SANITARY SEWER MAIN OR LATERAL THAT CROSSES OVER A NEW WATERLINE SHALL BE ENCASED IN 18" OR LONGER SECTION OF PIPE CENTERED ON THE WATERLINE OR CONSTRUCTED WITH DUCTILE IRON OR STEEL PIPE WITH MECHANICAL WELDED JOINTS.



WATER LINE AND SANITARY SEWER CROSSING NOTES AND DETAIL NTS



1. TAPPING TEE & GATE VALVE
2. TWO TEE
3. TWO GATE VALVES
4. TWO FLG. COUP. ADAPT'S.
5. 2" TO 10" TURBINE COMPOUND
6. METER ONE 2" GATE VALVE
7. 2" TEST TEE (CORP. STOP)
8. REINFORCED CONC. VAULT WITH 4" WALLS AND 4" TOP SLAB WITH 24"x24" VAULT FRAME & COVER OR APPROVED
9. EQUAL FLEX COUPLING AS REQUIRED
10. WATER TIGHT SEAL AROUND WATERLINE ENTERING AND EXITING VAULT

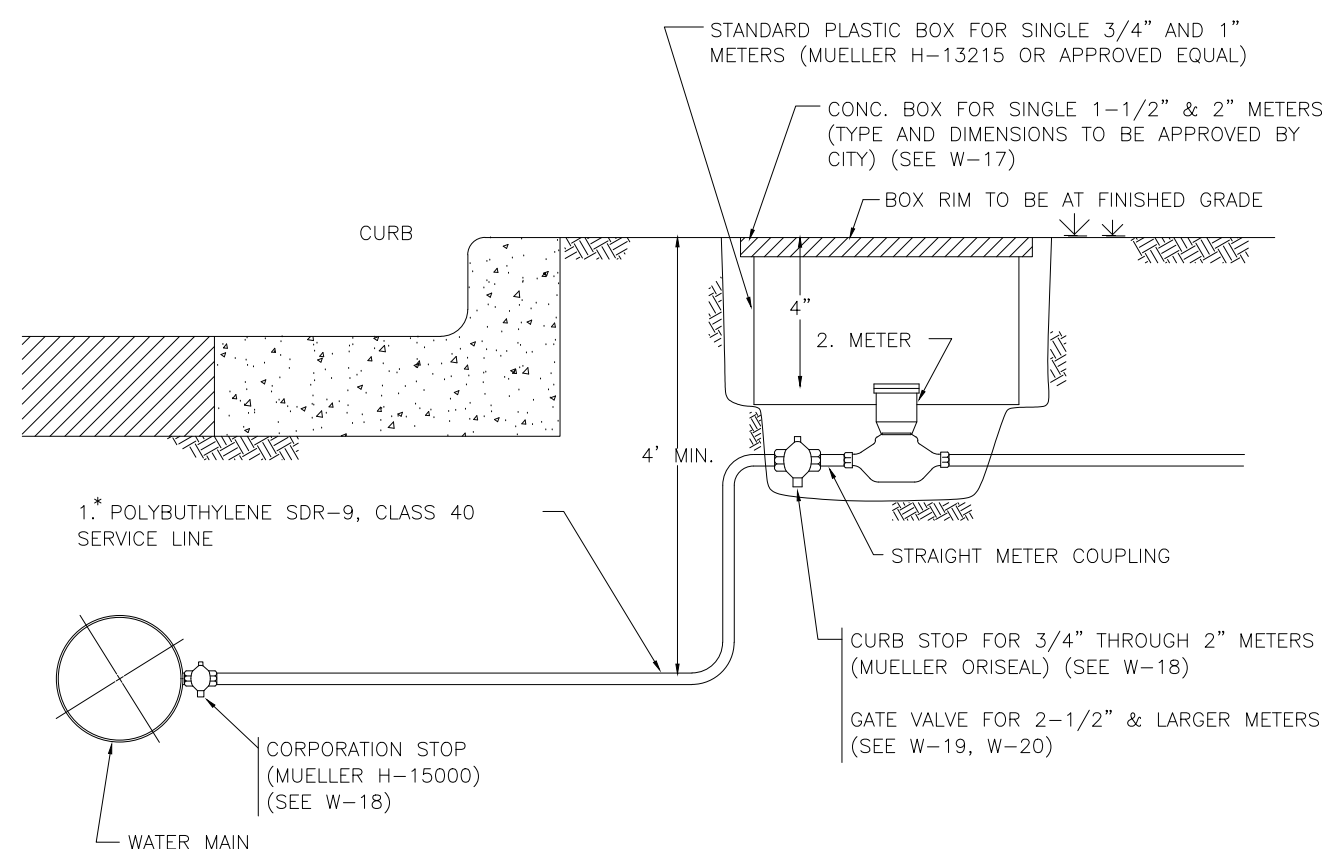
SPECIFICATIONS:

CONCRETE:
CLASS I CONCRETE WITH DESIGN STRENGTH OF 4500 P.S.I. AT 28 DAYS. UNIT IS OF MONOLITHIC CONSTRUCTION AT FLOOR AND FIRST STAGE OF WALL WITH SECTIONAL RISER TO REQUIRED DEPTH. GROSS EMPTY WEIGHT OF APPROXIMATELY 12,000 POUNDS.

REINFORCEMENT:
GRADE 60 REINFORCED STEEL REBAR CONFORMING TO ASTM A515 ON REQUIRED CENTERS OR EQUAL.

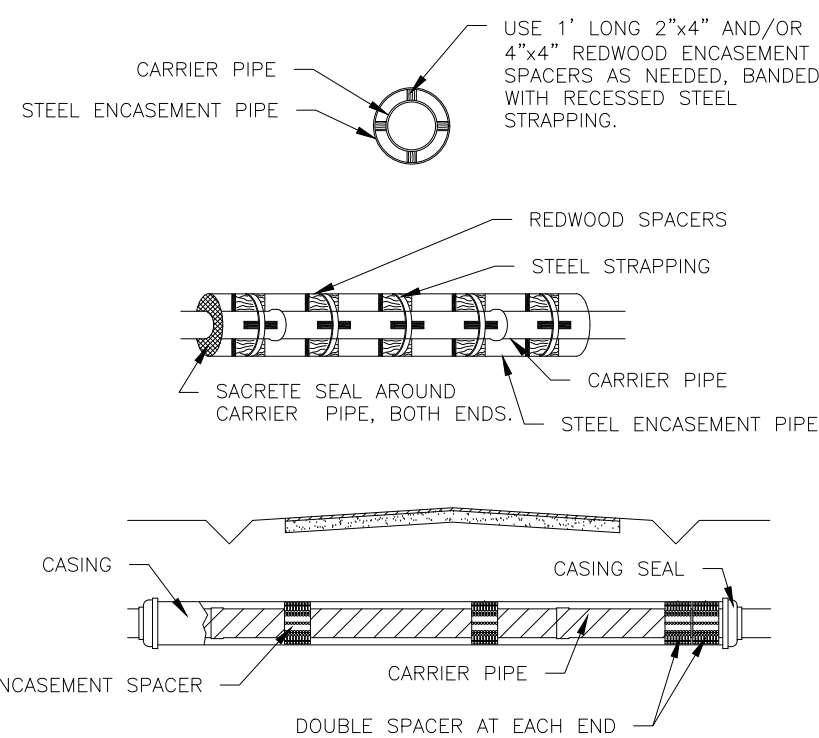
TYPICAL WATER METER SERVICE. 2" OR LARGER METER INSTALLATION WILL REQUIRE CONCRETE VAULT AND A BY-PASS ASSEMBLY.

2" & LARGER WATER SERVICE CONNECTION NTS



1. SDR-9 SERVICE LEAD BY CONTRACTOR, WITH STANDARD PLASTIC METER BOX. 2. METER INSTALLED BY CITY OF CONROE.
3. 3/4" POLY TUBING FOR 3/4" X 5/8" METER INSTALLATION FOR SINGLE SERVICE TAP.
- 1" POLY TUBING FOR 1" METER INSTALLATION FOR DOUBLE SERVICE TAP.

TYPICAL WATER SERVICE CONNECTION DETAIL NTS



- NOTES:
1. LOCATE REDWOOD SPACERS ON EITHER SIDE OF CARRIER PIPE BELLS, THEN ONE SET CENTERED ON EACH JOINT.
 2. STEEL CASING SHALL HAVE TOTALLY WELDED JOINTS.
 3. CONTRACTOR TO OBTAIN PERMITS PRIOR TO ANY CONSTRUCTION AT THESE CROSSINGS.

CARRIER SIZE	STEEL PIPE SIZE (ENCASEMENT)
4" FM	8" - .25 WALL
6" FM	12" - .25 WALL
8" FM	16" - .25 WALL
10" FM	18" - .25 WALL
12" FM	20" - .25 WALL
14" FM	24" - .25 WALL
16" FM	26" - .25 WALL
18" FM	30" - .25 WALL
20" FM	36" - .375 WALL
24" FM	42" - .375 WALL

STANDARD STEEL CASING NTS

L SQUARED ENGINEERING
MUNICIPAL COMMERCIAL RESIDENTIAL
WWW.LZENGINERING.COM
PHYS. REGISTRATION NUMBER 12325
3307 W. DAVIS STREET #100
CONROE, TEXAS 77304
OFFICE: 281-467-0902

CLIENT INFORMATION
CROSS DEVELOPMENT
4317 MARSH RIDGE ROAD
CARROLLTON, TX 75010
PROJECT ADDRESS
2400 PECAN BLVD
MCALLEN, TX 78501

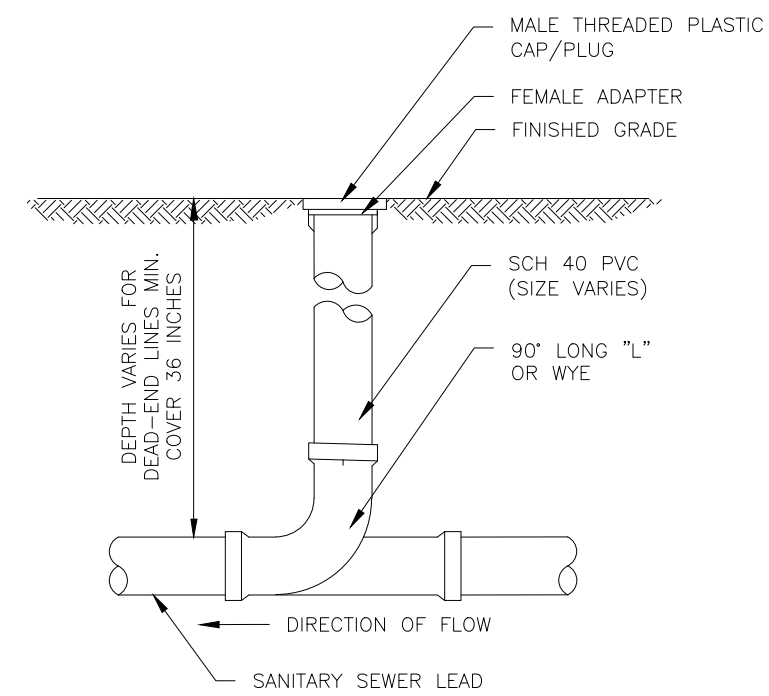
BLUEWAVE EXPRESS
MCCALLEN 23
WATER DETAILS

DRAWING ISSUE			
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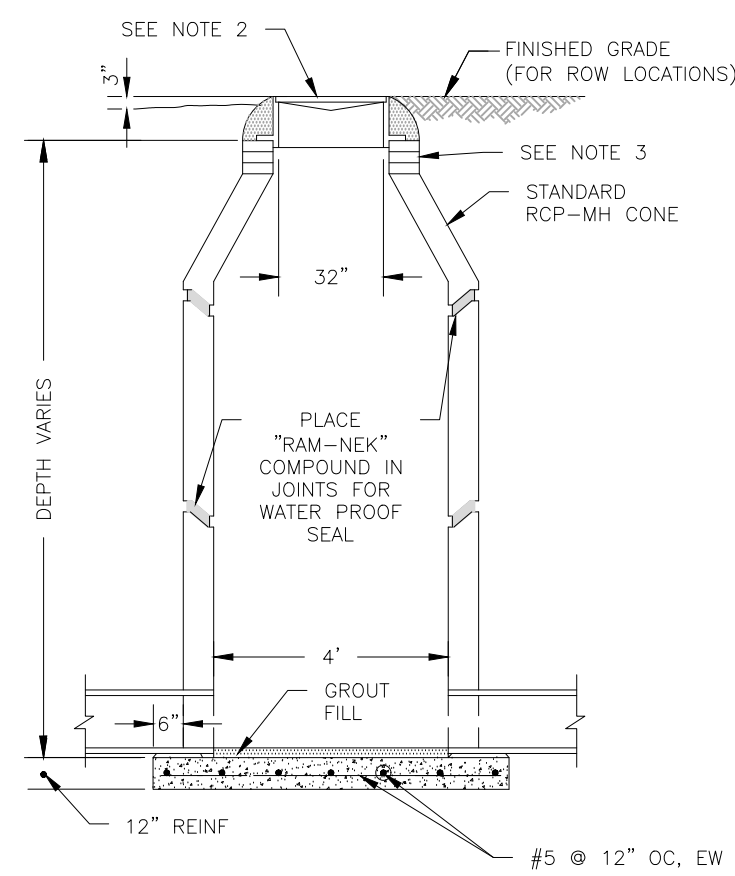
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PROJECT	10932	TDLR	**
DRAWN	CLD	EIT	CRH
SCALE	NOT SHOWN	SHEET	23

6/25/2024

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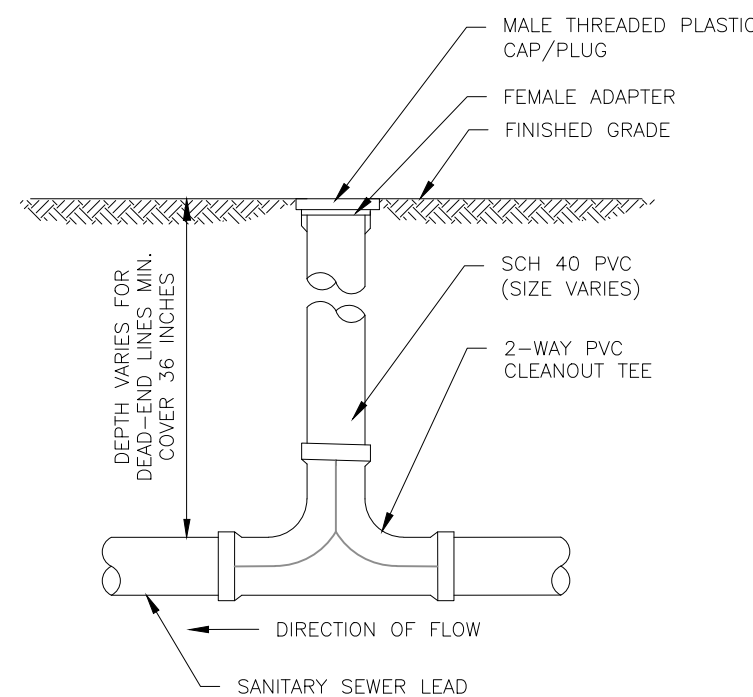


TYPICAL SANITARY SEWER CLEAN OUT DETAIL
NTS

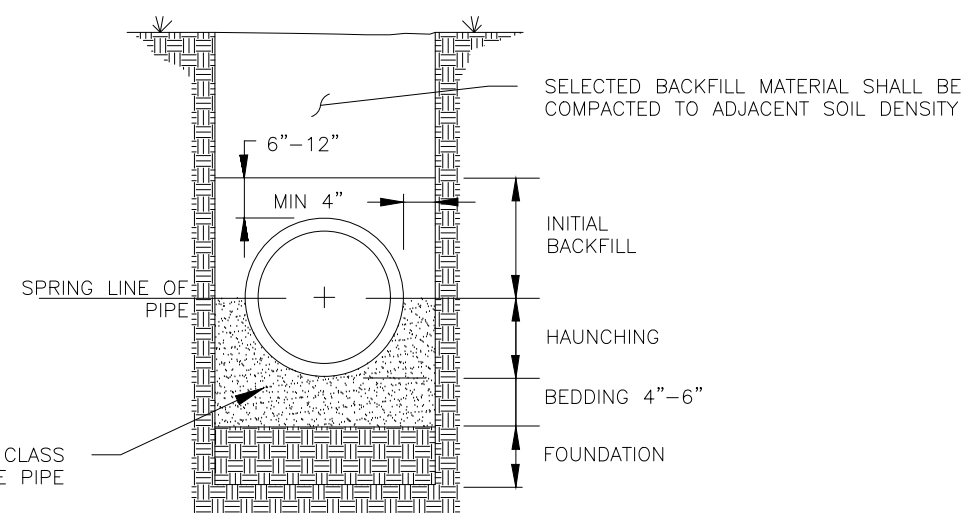


- NOTES:
1. ALL RCP MANHOLES SHALL BE IN ACCORDANCE ASTM C-478
 2. EAST JORDAN 32" FRAME AND COVER (OR EQUAL)
 3. FOR ADJUSTMENT OF MANHOLE LID USE STANDARD CONCRETE RINGS. NO BRICK ADJUSTMENT.
 4. PRECAST BOTTOM SECTION OF MANHOLE TO BE SECURELY ATTACHED TO REINFORCED CONCRETE SLAB WITH WATERPROOF SEALER
 5. MANHOLE SECTIONS, CONES AND INVERT TOPS SHALL BE COATED WITH A SUITABLE, PROTECTIVE, 20 MILS THICK, COLD TAP EPOXY COATING

STANDARD SANITARY PRE-CAST MANHOLE
NTS



TYPICAL SANITARY SEWER 2-WAY CLEAN OUT DETAIL
NTS



1. A FOUNDATION IS REQUIRED WHEN THE TRENCH BOTTOM IS UNSTABLE. ANY FOUNDATION THAT WILL SUPPORT A RIGID PIPE WITHOUT EXCESSIVE DEFLECTION OR FLEXURE OF THE PIPE WILL BE MORE THAN ADEQUATE FOR PVC PIPES.
2. THE BEDDING DIRECTLY UNDERNEATH THE PIPE IS REQUIRED TO BE AT LEAST THE SAME GRADE AS THE PIPE. GRADE SHOULD NOT BE SO THICK OR SOFT THAT THE PIPE WILL SETTLE AND LOSE GRADE. THE PURPOSE OF THE BEDDING IS TO PROVIDE A FIRM, STABLE AND UNIFORM SUPPORT FOR THE PIPE. A LAYER OF MATERIAL SUFFICIENT TO ESTABLISH LINE, GRADE, AND SUPPORT SHOULD BE PLACED. BELL HOLES SHOULD BE EXCAVATED TO THE SAME DEPTH AND WIDTH AS THE PIPE.
3. THE HAUNCHING AREA IS THE MOST IMPORTANT IN TERMS OF LIMITING THE DEFLECTION OF A FLEXIBLE PIPE. THIS IS THE AREA THAT SHOULD BE COMPACTED TO THE REQUIRED OR SPECIFIED DENSITY.

ASTM D-2521: DESCRIPTION OF EMBEDEDMENT MATERIALS:

CLASS I: Angular, 1/4" to 1-1/2" GRADED STONE, INCLUDING A NUMBER OF GRADES OF CORAL, CRUSHED CORAL, CRUSHED CORAL, SUCH AS CORAL, SLAG, CINDERS, CRUSHED STONE AND CRUSHED SHELLS.

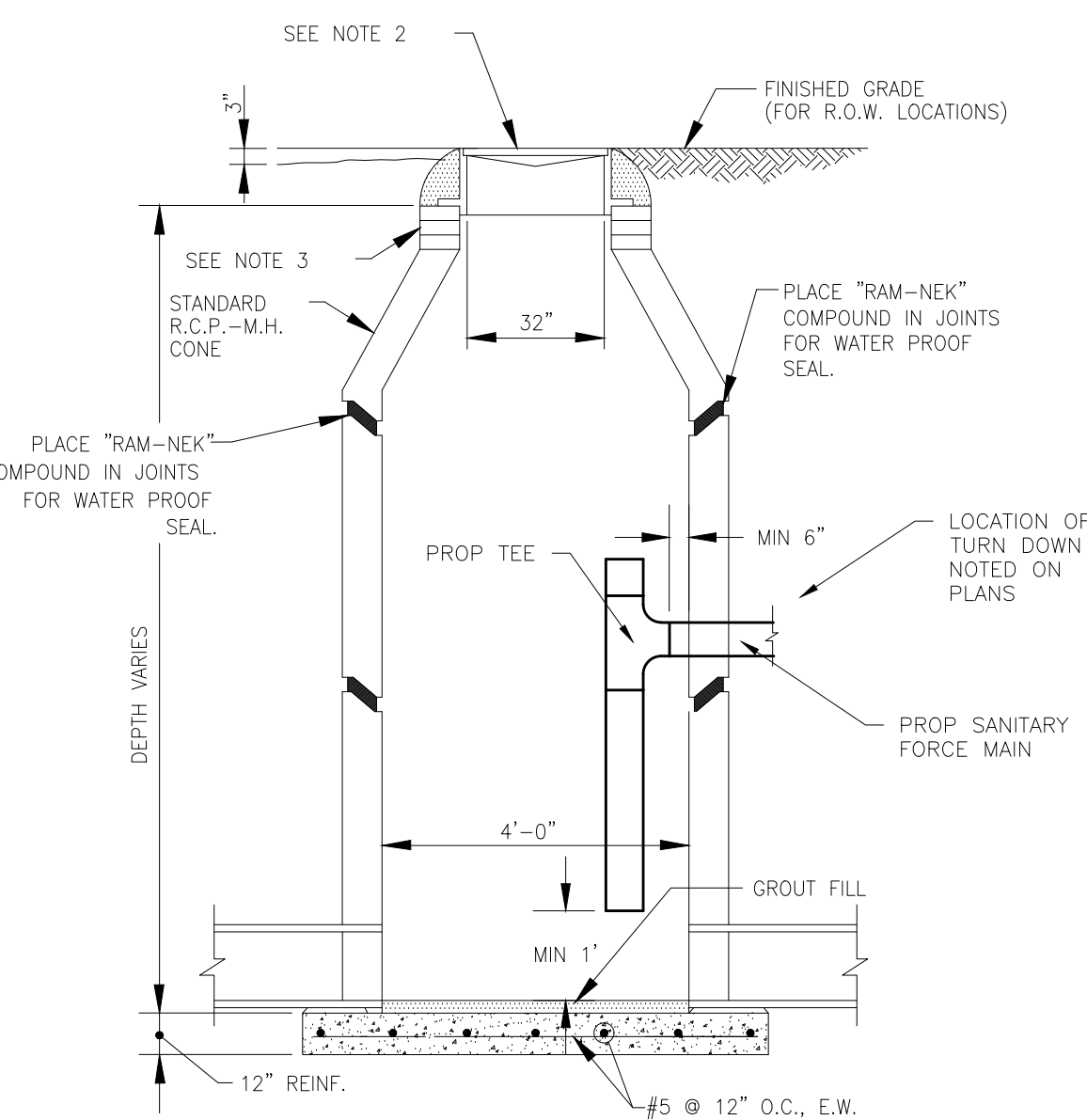
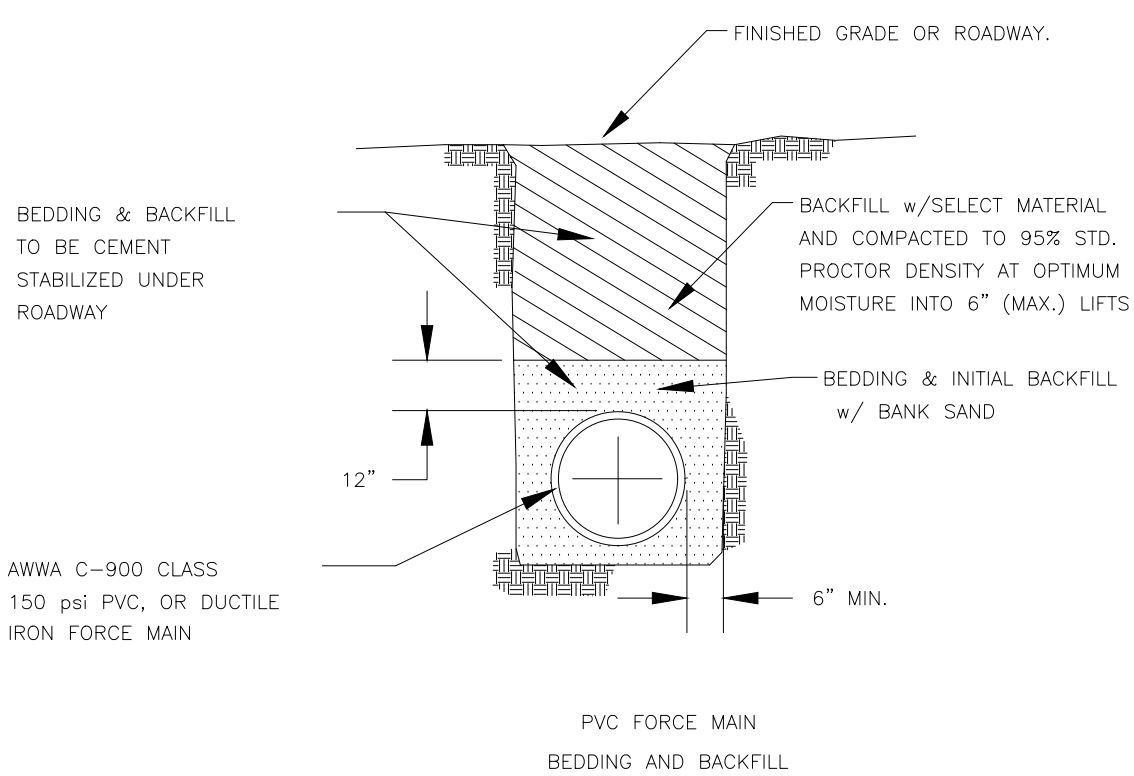
CLASS II: SANDS, SILT, CLAYS, AND GRAVELS, INCLUDING VARIOUSLY GRADED SANDS, AND GRAVELS CONTAINING SMALL PERCENTAGES OF FINES, FINEST GRANULAR AND INCLUSIVE OF FINES, FINEST GRANULAR, AND FINES, SW, AND SP ARE INCLUDED IN THIS CLASS.

CLASS III: SANDS, SILT, CLAYS, AND GRAVELS, INCLUDING FINE SANDS AND SAND-SILT CLAY MIXTURES, AND GRAVEL CLAY MIXTURES. SOIL TYPES GM, GC, MH, AND SC ARE INCLUDED IN THIS CLASS.

CLASS IV: SILT, SILTY CLAYS, AND CLAYS, INCLUDING INORGANIC CLAYS AND SILTS OF MEDIUM TO HIGH PLASTICITY AND LIQUID LIMITS. SOILS OF TYPE MH, CL, CH, AND CLAY ARE INCLUDED IN THIS CLASS.

CLASS V: THIS CLASS INCLUDES THE ORGANIC SOILS OL, OH, AND PT AS WELL AS THE ORGANIC CLAYS AND SILTS OF MEDIUM TO HIGH PLASTICITY AND LIQUID LIMITS. SOILS OF TYPE OL, OH, AND PT ARE INCLUDED IN THIS CLASS. SOILS OF TYPE OL, OH, AND PT ARE 1-1/2" IN DIAMETER, AND OTHER FOREIGN MATERIALS. THESE SOILS ARE NOT RECOMMENDED FOR BEDDING, HAUNCHING, OR INITIAL BACKFILL.

TYPICAL SANITARY BEDDING & TRENCH DETAIL
NTS



- NOTE:
1. All R.C.P. Manholes shall be in accordance A.S.T.M. C-478.
 2. East Jordan 32" Frame and Cover (or equal) with the City of Concord logo embossed on lid.
 3. For adjustment of Manhole Lid use standard concrete rings. No brick adjustment allowed.
 4. Precast bottom section of manhole to be securely attached to reinforced concrete slab with waterproof sealer.
 5. Manhole sections, cones and invert tops shall be coated with a suitable, protective, 20 mils thick, cold tar epoxy coating.

STANDARD PRECAST MANHOLE W/ FORCE MAIN TIE-IN
NTS

BLUEWAVE EXPRESS
MCALLEN 23
SANITARY DETAILS

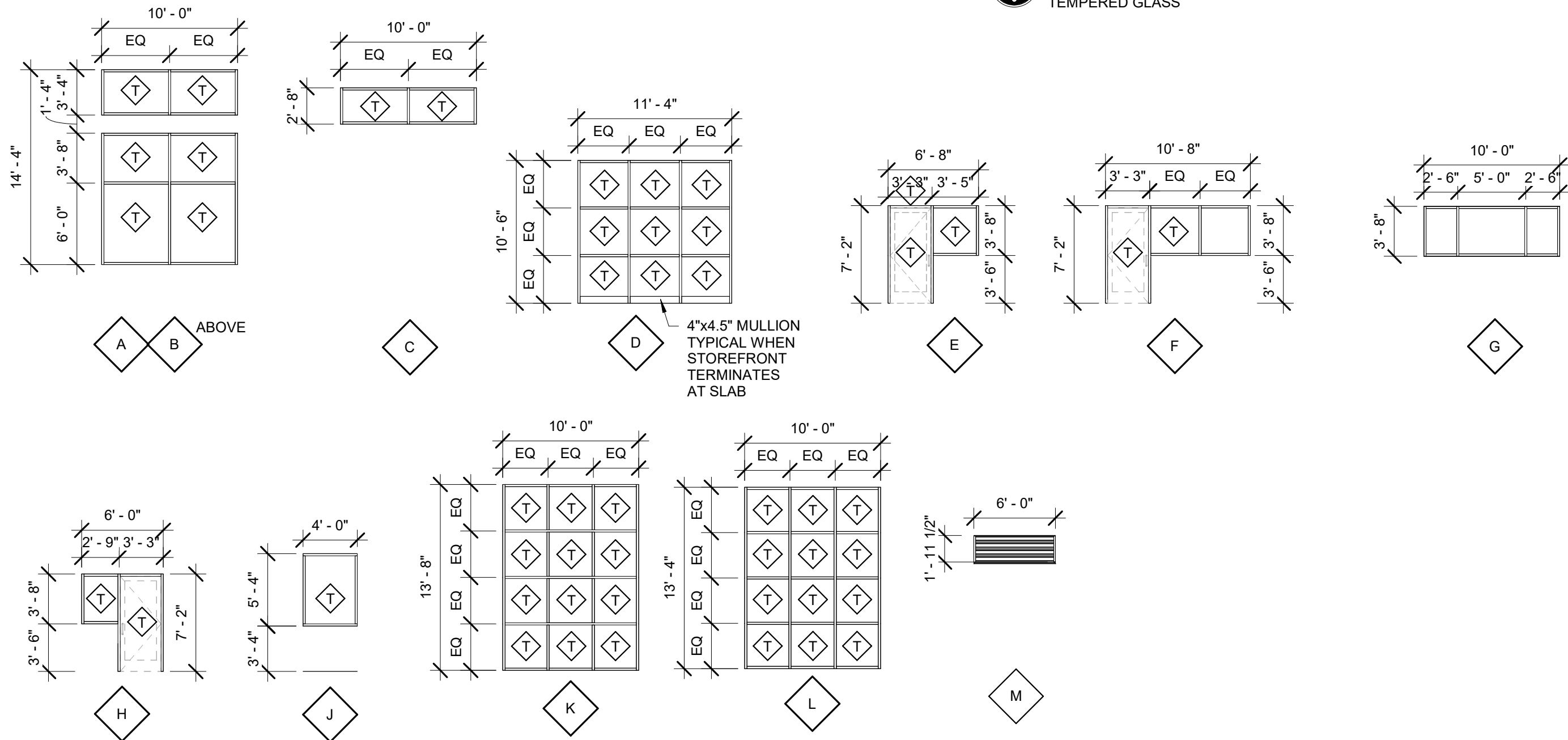
DRAWING ISSUE			
#	DATE	BY	* COMMENT
1	6/25/24	LR	FOR PERMIT

DRAWING INFORMATION			
PROJECT	10932	TDLR	*
DRAWN	CLD	EIT	CRH
SCALE		SHEET	
NOT SHOWN		24	

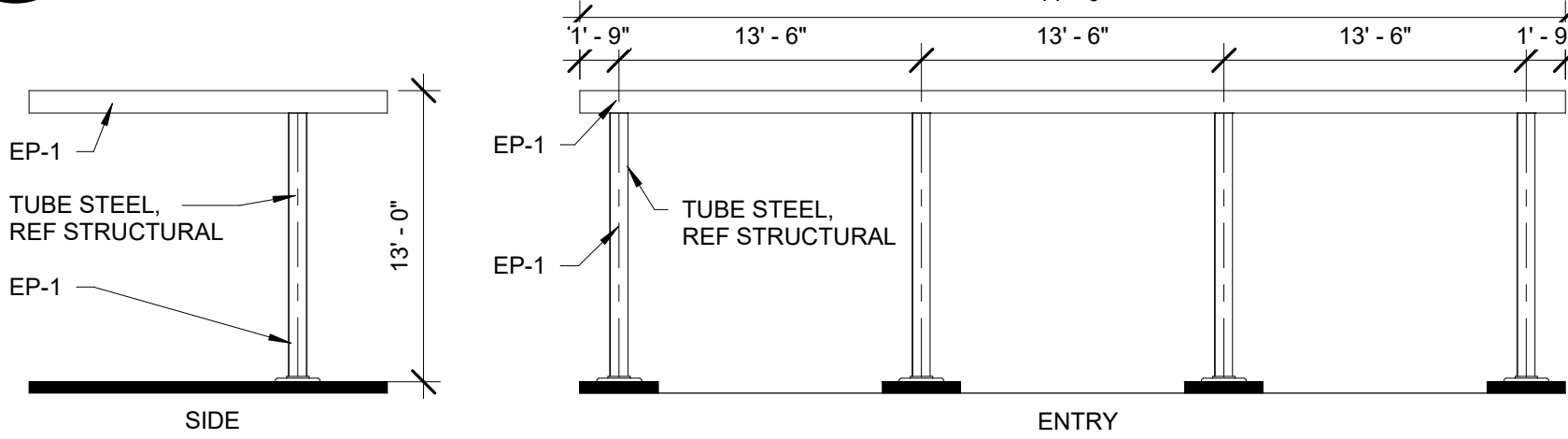


*PLANS NOT RELEASED FOR CONSTRUCTION UNLESS INDICATED ABOVE

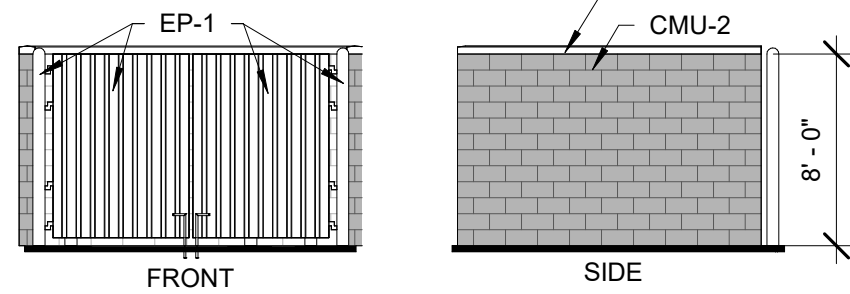
THIS SYMBOL
DENOTES
TEMPERED GLASS



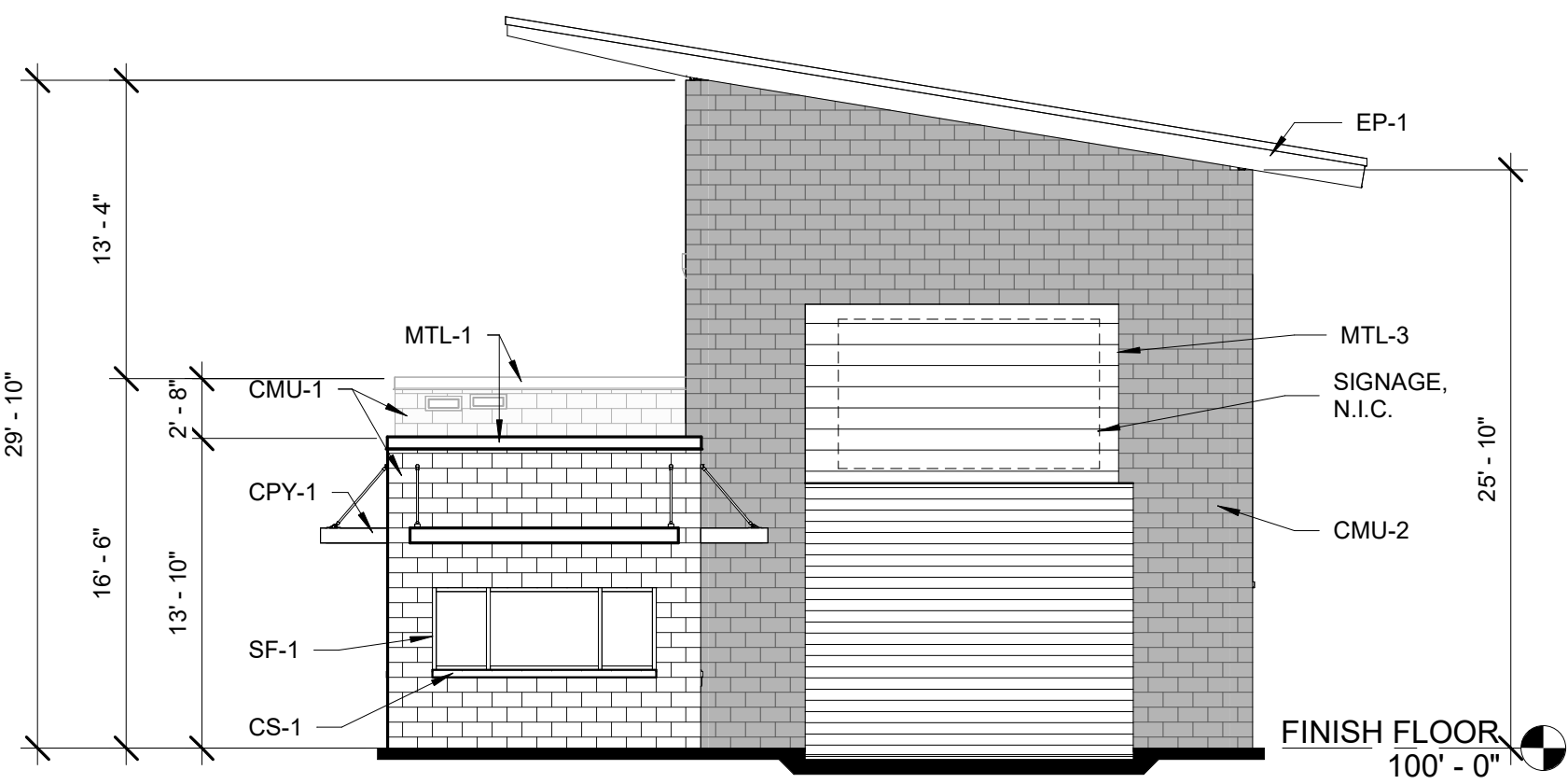
E2 WINDOW ELEVATIONS
1/8" = 1'-0"



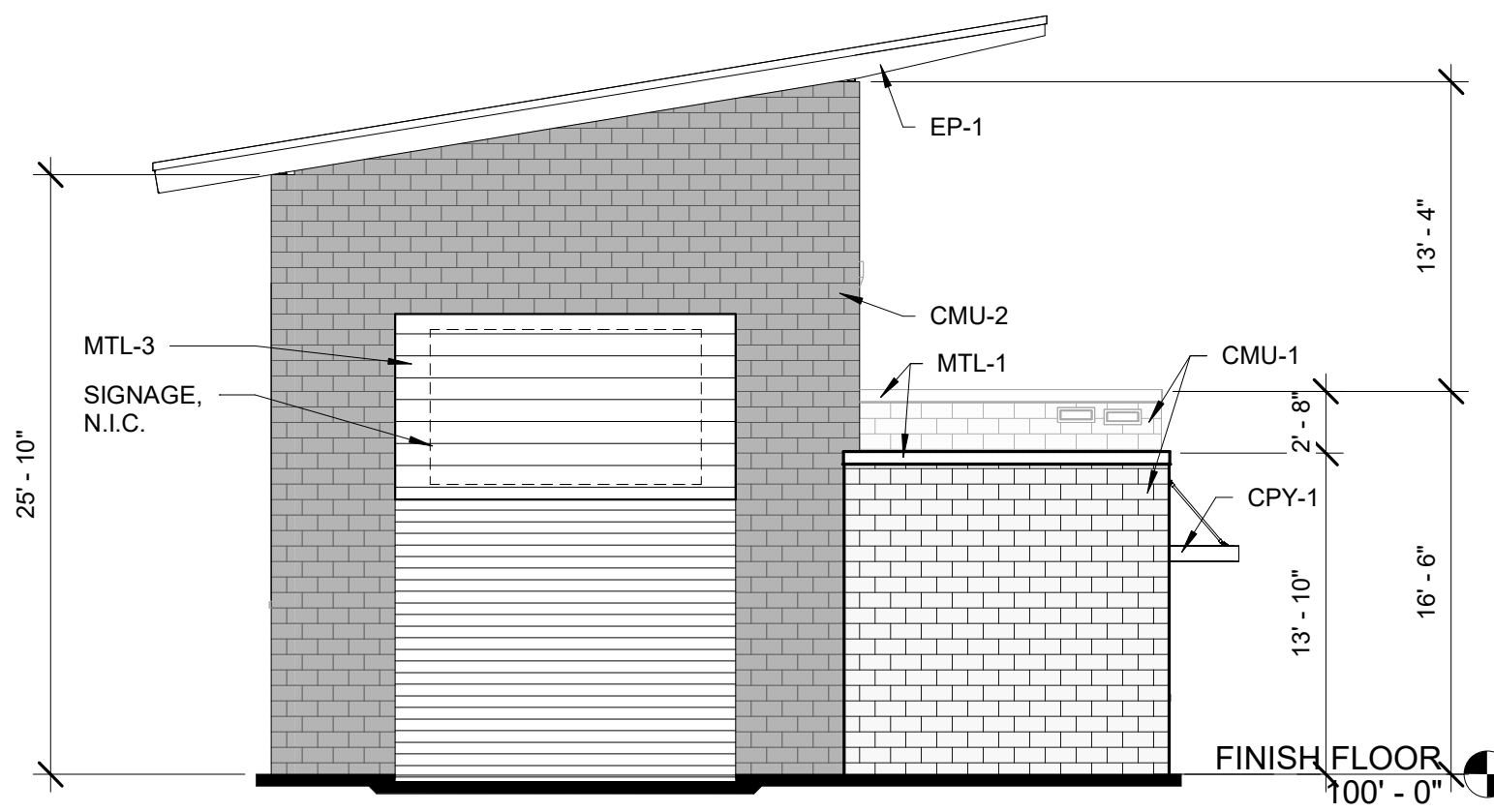
G2 POS CANOPY ELEVATIONS
1/8" = 1'-0"



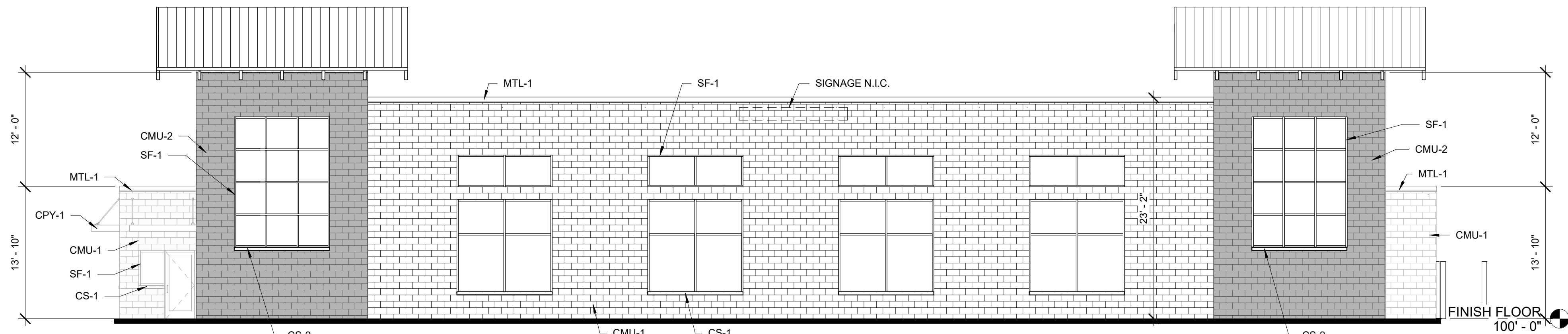
G7 DUMPSTER ENCLOSURE ELEVATIONS
1/8" = 1'-0"



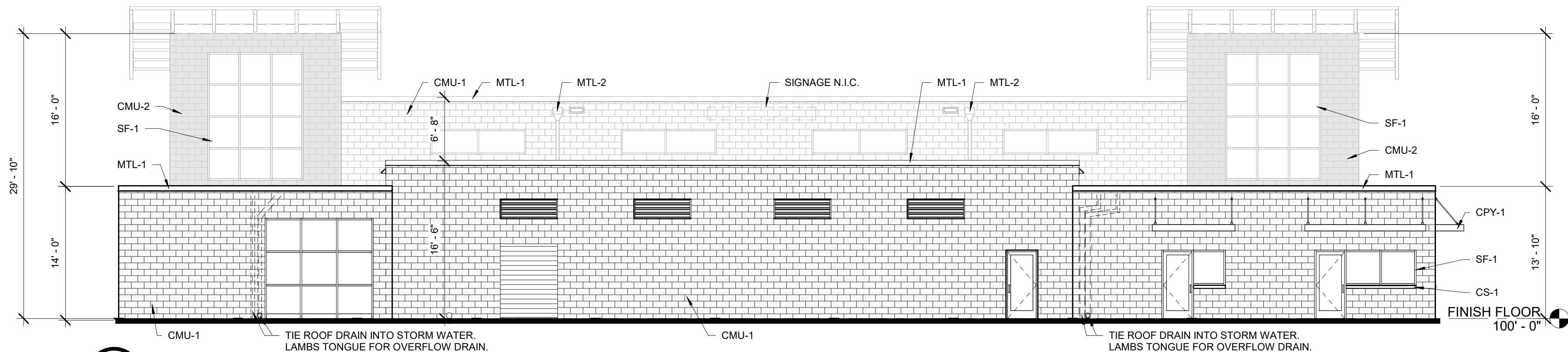
K2 NORTH
1/8" = 1'-0"



N2 SOUTH
1/8" = 1'-0"



K7 WEST
1/8" = 1'-0"



N7 EAST
1/8" = 1'-0"

WINDOW TYPES

E,F,G,H (OFFICE ->EXT)	
4 1/2" ANODIZED ALUMINUM STORE FRONT SYSTEM, 1" DOUBLE GLAZED INSULATED GUARDIAN GLASS SNR 43 ON CLEAR	
A,K,L (TUNNEL -> EXT)	
4 1/2" ANODIZED ALUMINUM STORE FRONT SYSTEM, SINGLE GLAZED CLEAR	
INSTALL STOREFRONT FRAME WITH EXTERIOR FACING INWARD (WEEPS INTO TUNNEL)	
B,C (HIGH TUNNEL ->EXT - NO GLAZING)	
4 1/2" ANODIZED ALUMINUM STORE FRONT SYSTEM, NO GLAZING. PROVIDE CAP FOR OPENING INTENDED FOR GLAZING.	
D (EQUIPMENT ->EXT)	
4 1/2" ANODIZED ALUMINUM STORE FRONT SYSTEM, SINGLE GLAZED CLEAR (WEEPS OUTWARD)	
J (OFFICE-> TUNNEL)	
4 1/2" ANODIZED ALUMINUM STORE FRONT SYSTEM, 1" DOUBLE GLAZED INSULATED, CLEAR GLAZING, NO FILM OR TINT	
INSTALL STOREFRONT FRAME WITH EXTERIOR FACING INWARD AT TUNNEL LOCATION TYP. (WEEPS INTO TUNNEL)	
M (LOUVER)	
PREFINISHED ALUMINUM LOUVER - CLEAR ANODIZED ALUMINUM	

- NOTES:
- DIMENSIONS SHOWN ARE NOMINAL AND DO NOT SHOW REQUIRED GAPS TO MASONRY. PROVIDE SYSTEMS THAT FIT WITHIN COURSED MASONRY. VERIFY ALL OPENING PRIOR TO SHOP DRAWINGS AND FABRICATION.
 - ALL GLAZING IN CONDITIONED SPACES SHALL COMPLY WITH IECC STANDARDS FOR CLIMATE ZONE. REFER TO COMCHECK FOR U FACTOR AND SHGC. SHGC RATING NOT REQUIRED ON WINDOWS INTO TUNNEL.
 - PER SPECIFICATIONS. GLAZING THICKNESS SHALL BE DETERMINED BY GLAZING MANUFACTURER TAKING INTO ACCOUNT WIND LOADS, GLAZING SIZE, AND GLAZING LOCATION. SHOP DRAWINGS SHALL BE PROVIDED TO ARCHITECT FOR APPROVAL.
 - PROVIDE SHIM AND SEALANT BETWEEN STOREFRONT SYSTEM AND ADJACENT BUILDING MATERIAL. TYP.

EXTERIOR FINISH SELECTIONS

PAINT (EXTERIOR)	EP-1	SHERWIN WILLIAMS 7019 GAUNTLET GREY
METAL COMPONENTS	MTL-1	GALVALUME, 24 GA
	MTL-2	PRE-FINISHED GUTTERS AND DOWNSPOUTS TO MATCH MTL-1
	MTL-3	VESTA GILDED GRAIN BY QUALITY EDGE
MASONRY	CMU-1	BEST BLOCK 700 LIMESTONE BURNISHED
		CMU MORTAR: SPEC MIX: TANGLEWOOD
		PROVIDE PROSOCO SILOXANE PD BLOCK SEALER
	CMU-2	BEST BLOCK 06 GREY GRANITE BURNISHED
STOREFRONT SYSTEM		CMU MORTAR: SPEC MIX: BLACK
		PROVIDE PROSOCO SILOXANE PD BLOCK SEALER
		PROVIDE SHERWIN WILLIAMS ANTI-GRAFFITI COATING ON ALL CMU
	SF-1	CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM, SEE WINDOW TYPES
CAST STONE	CS-1	CAST STONE TO MATCH CMU-1
	CS-2	CAST STONE TO MATCH CMU-2
	CPY-1	MAPES ILLUMSHADE, CLEAR ANODIZED ALUMINUM OR SIMILAR

EXTERIOR FINISH SELECTIONS NOTES:

- ALL EXTERIOR FINISHES, MATERIALS, AND SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- ALL ARCHITECTURAL CMU BLOCK SHALL BE INTEGRALLY COLORED, PRE-SEALED AT THE FACTORY. UTILIZE MATCHING SMOOTH FACE PRE-COLORED CMU WHERE SHOWN AND WHERE COMPONENTS, FLASHING, COPINGS WILL ATTACH, TYPICAL.
- ALL STANDARD CMU (NON-INTEGRALLY COLORED) SHALL BE COMPLETELY COVERED.
- PROVIDE L&M AQUAPEL ON ALL CMU SURFACES PRIOR TO FINAL PAINT OR COVERING.
- PAINTE ALL EXPOSED STEEL STRUCTURE AS SCHEDULED.
- ALL EXPOSED METAL FLASHING/TRIM PIECES SHALL BE PRE-FINISHED METAL.
- ALL CONNECTIONS, FASTENERS AND TRIMS FOR GALVANIZED ITEMS SHALL BE GALVANIZED OR STAINLESS STEEL.

EXTERIOR MOCKUP WALL NOTES

CONTRACTOR TO PROVIDE AN EXTERIOR FINISH MOCK-UP WALL, 4' WIDE BY 6' HIGH MINIMUM, FOR OWNER AND/OR ARCHITECT APPROVAL PRIOR TO ANY EXTERIOR FINISH CONSTRUCTION. MOCK-UP WALL SHALL HAVE ALL EXTERIOR COMPONENTS REPRESENTED INCLUDING GROUT, SEALANTS, FLASHING, ETC..

EXPOSED EXTERIOR CONCRETE NOTE

ALL EXPOSED EXTERIOR CONCRETE ABOVE GRADE IS SHALL HAVE SMOOTH RUBBED FINISH.

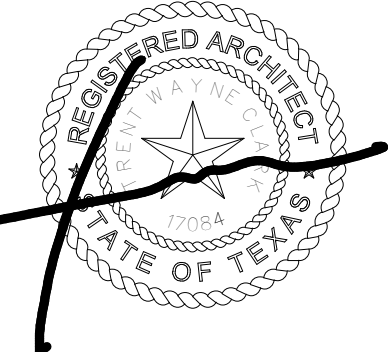


A PLUS DESIGN
GROUP
ARCHITECTURE
INTERIORS
CONSTRUCTION

972-724-4440

APDG.US

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02-19-24

A NEW CAR WASH FOR:

BLUEWAVE

PEXAN & 23rd

MCALLEN, TX. 78501

REVISIONS

No.	DATE	NOTE

Project No. 24-0116

Date 02-19-24

EXTERIOR
ELEVATIONS

A3.1

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

*ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL *

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 2/23/24

Print Name Miguel A. Perez

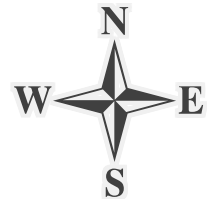
Owner ☒ Authorized Agent ☐

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

SHARY ROAD

LOCATION

PROPOSED A-A-A APARTMENT
SUBDIVISION



5 MILE LINE

5 MILE LINE

PROPOSED VIDA
SUBDIVISION

405

WESTMINSTER

CANTERBURY AVE

AVE

1

2

3

4

5

13

14

12

11

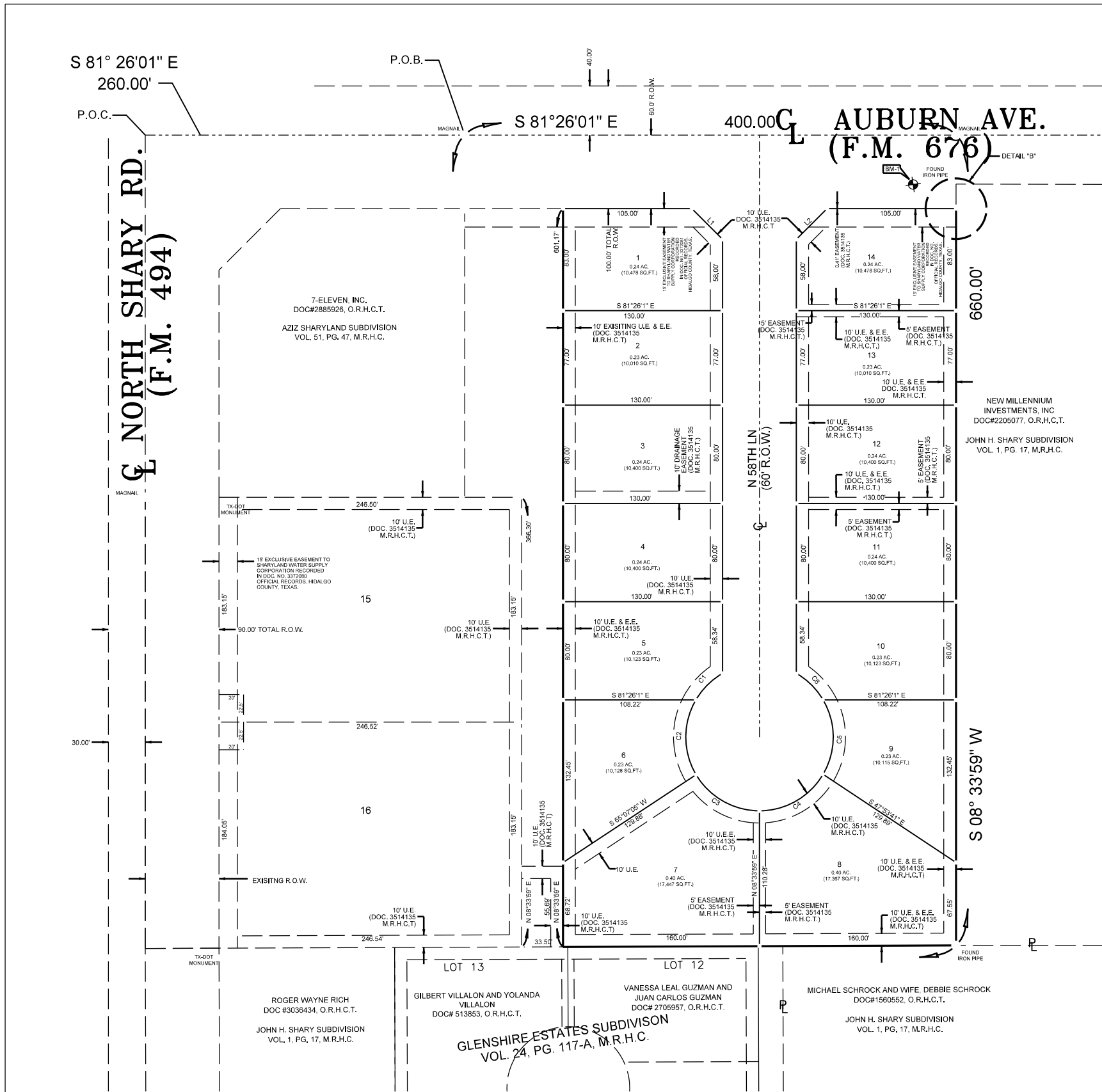
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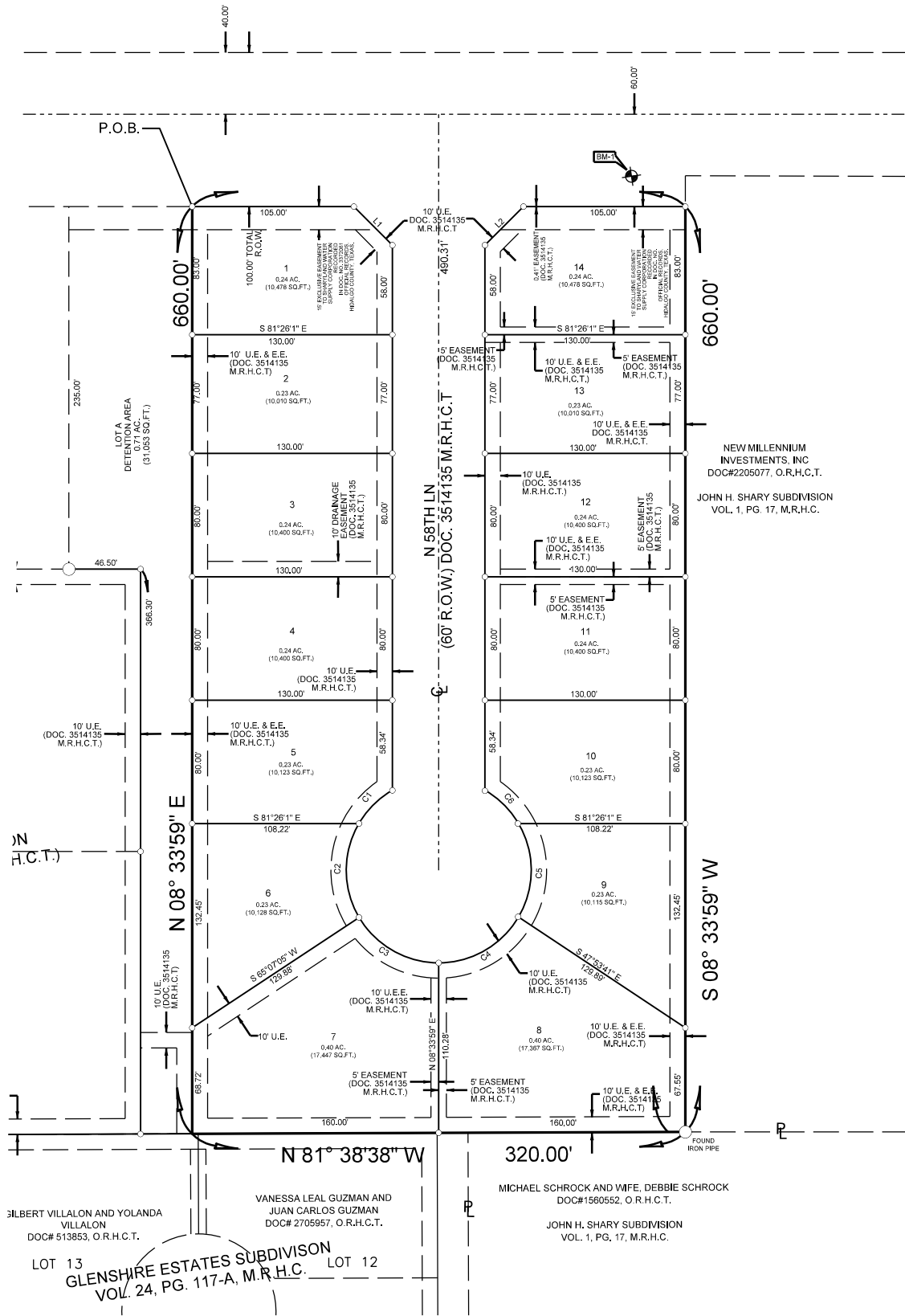
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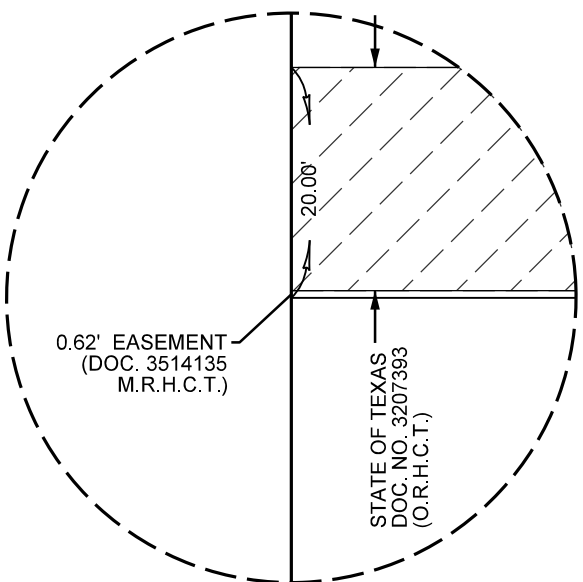
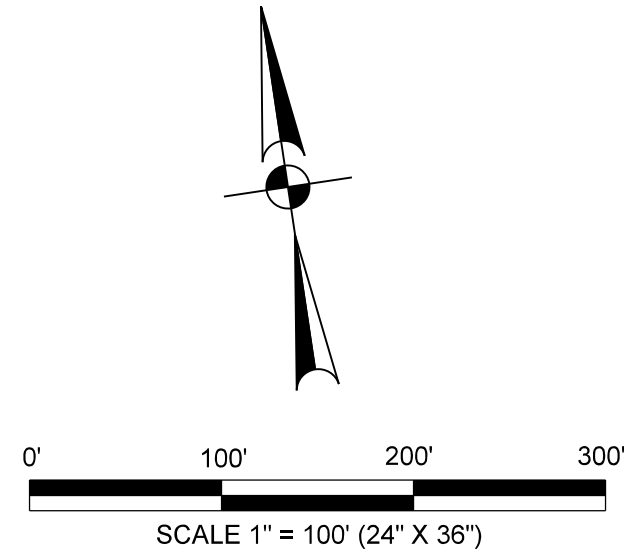
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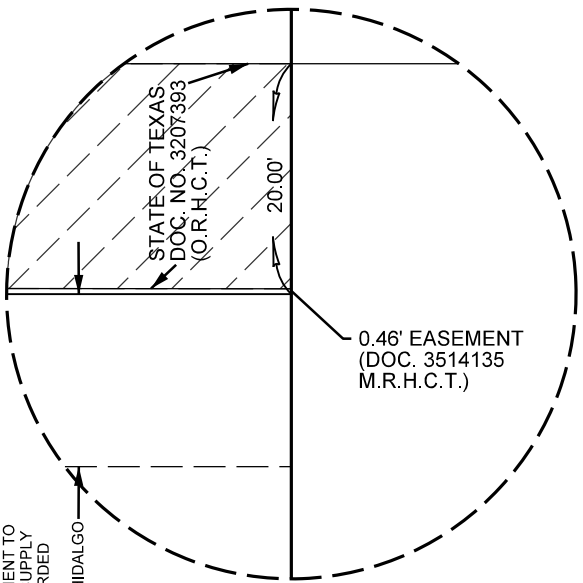
VACATING
VIDA SUBDIVISION



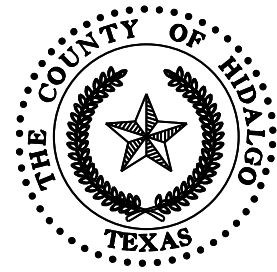
REPLAT OF VIDA SUBDIVISON LOTS 1A-14A



DETAIL "A"



DETAIL "B"



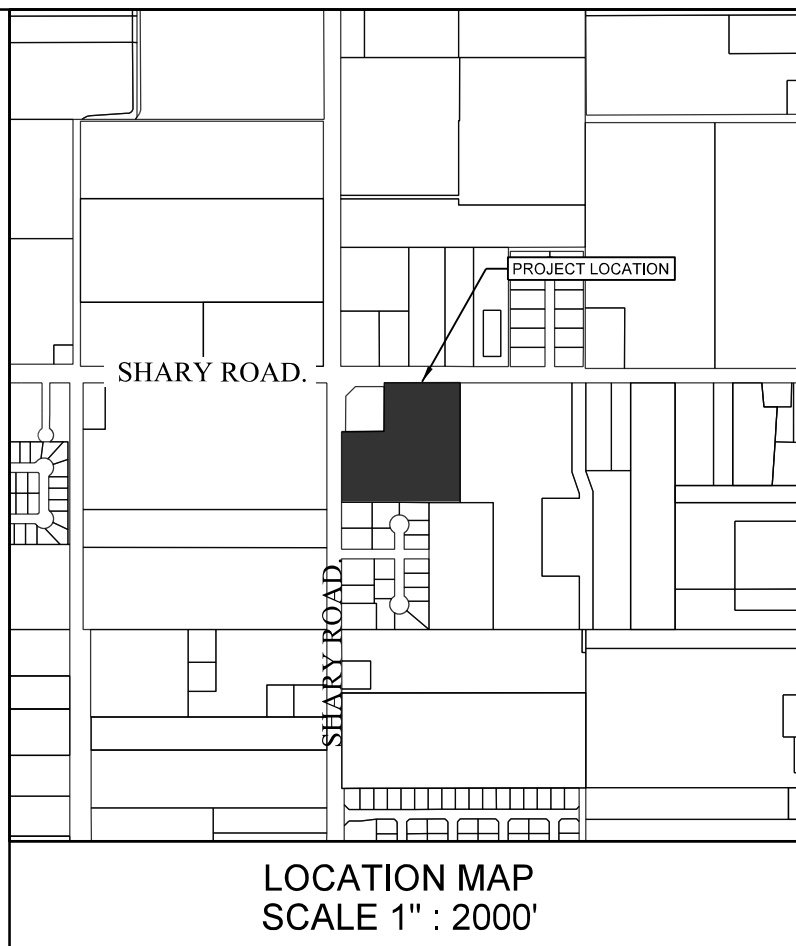
FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON _____ AT _____ AMPM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY _____ DEPUTY

LEGEND:

- SET # 5/8" IRON ROD WITH PLASTIC CAP STAMPED "ROWSS PROP. COR."
- FOUND IRON ROD WITH PLASTIC CAP STAMPED "ROWSS PROP. COR.", UNLESS OTHERWISE NOTED
- OFFICIAL RECORDS HIDALGO COUNTY TEXAS
- MAP RECORDS HIDALGO COUNTY TEXAS
- DEED RECORDS HIDALGO COUNTY TEXAS
- RIGHT-OF-WAY HIDALGO COUNTY DRAINAGE DISTRICT
- UTILITY EASEMENT
- ELECTRIC EASEMENT

- O.R.H.C.T.
- M.R.H.C.T.
- D.R.H.C.T.
- R.O.W.
- U.E.
- E.E.



- GENERAL NOTES:
- FLOOD ZONE STATEMENT:
ZONE "X" AREAS ARE DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN:
BASED ON FEMA'S ESTIMATED FLOOD REPORT, WE HAVE DETERMINED THAT THE BASED FLOOD ELEVATION FOR THE ZONE "X" ON THIS SPECIFIC PROPERTY IS 10.3. PROPERTY HAS BEEN TAKEN OUT OF THE FLOOD ZONE WITH LOHR CASE NO. 23-06-2187-A, COMMUNITY PANEL NO. 48034-006-0, REVISED, JUNE 8, 2000.
 - SETBACK LINES TO BE AS PER CITY OF McALLEN ZONING ORDINANCE:
FRONT:
LOTS 1A-14A: 15 FT OR GREATER FOR EASEMENTS, EXCEPT 10' FOR UNENCLOSED CARPORTS.
REAR:
LOTS 1A-14A: 10 FT OR GREATER FOR EASEMENTS.
INTERIOR SIDES:
LOTS 1A-14A: IN ACCORDANCE WITH ZONING ORDINANCE OR GREATER FOR EASEMENTS, SUBJECT TO APPROVED SITE PLAN.
CORNER:
LOTS 1A-14A: 10 FT OR GREATER FOR EASEMENTS.
GARAGE:
LOTS 1A-14A: 18 FT EXCEPT WHERE GREATER SETBACK IS REQUIRED, GREATER SETBACK APPLIES.
ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN.
3. MINIMUM FINISH FLOOR NOTE:
MINIMUM FINISH FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB AT CENTER OF LOT.
4. CITY OF McALLEN BENCHMARK "MC 54" FROM THE CITY OF McALLEN G.P.S. REFERENCE MARKS LIST PREPARED BY GUCK, LINN OFFICE, PERIOD OCTOBER 2, 1999, BEING LOCATED AT THE GARZA PARK ON MILE 4 ROAD, 30" ALUMINUM PIPE WITH A 3-1/4" BRASS MONUMENT CAP ON TOP AT ELEVATION +117.01 FEET (NAVD83).
B.M. (BENCH MARK) ON POWER POLE (ELEV=119.27
5. ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
6. A MINIMUM 24 FT. PRIVATE SERVICE DRIVE EASEMENT WILL BE ESTABLISHED AS PART OF THE SITE PLAN AND WILL BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.
7. NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH UNLINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.
8. NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATORS EXPENSE.
9. NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATORS EXPENSE.
10. IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THE DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 104,363 CFT OR 2.45 ACRE-FT OF STORM WATER RUNOFF. DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: (SEE SHEET NO.2 FOR STORM SEWER IMPROVEMENTS).
11. 6 FT. OPaque BUFFER REQUIRED FROM ADJACENT/NEIGHBORING MULTIFAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONED AREAS AND ALONG AUBURN AVENUE (5 MILE LINE-FM 676).
12. 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ON AUBURN AVENUE (5 MILE LINE - FM 676) AND 4 FT. MINIMUM WIDE SIDEWALK ALONG BOTH SIDES OF ALL INTERIOR STREETS.
13. 6 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTIFAMILY RESIDENTIAL ZONED AREAS.
14. COMMON AREAS, DETENTION AREAS, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.
15. DETENTION AREA (LOT A) SHALL BE MAINTAINED BY THE DEVELOPER, WHO MAY TRANSFER SUCH MAINTENANCE OBLIGATION TO THE SUBDIVISION HOMEOWNER'S ASSOCIATION, VIDA HOMEOWNER'S ASSOCIATION, UPON CONVEYANCE OF TITLE TO THE SAME, THEIR SUCCESSORS AND ASSIGNS, AND NOT BY THE CITY OF McALLEN. NO BUILDINGS OR OTHER STRUCTURES SHALL BE ERRECTED IN DETENTION BASINS, WHICH SHALL BE USED EXCLUSIVELY AS A RETENTION AREA. AFTER TRANSFER OF TITLE TO THE VIDA HOMEOWNER'S ASSOCIATION, THE SUBDIVISION LOT OWNER PRO RATA SHARES OF THE COST OF MAINTENANCE SHALL BE DETERMINED BY THE RENAISSANCE HOMEOWNER'S ASSOCIATION, FALING IN SUCH MAINTENANCE OBLIGATIONS, THE CITY OF McALLEN MAY, BUT SHALL NOT BE REQUIRED TO MAINTAIN THE SAME AT THE LOT OWNERS COST, WHICH COST MAY BECOME A LIEN AGAINST THE LOT OWNERS' PROPERTIES PRIOR TO THE IMPOSITION OF ANY LIEN. THE CITY SHALL FIRST COMPLY WITH NOTICE REQUIREMENTS, AS THE SAME MAY BE AVAILABLE, THE SPECIFIC AND EXCLUSIVE USE OF RETENTION BASINS, BLOCK 1, THE CONVEYANCE MAINTENANCE OBLIGATION, AND THE CONSEQUENCES OF FAILURE TO MAINTAIN SHALL BE INCORPORATED INTO ANY DEED OR INSTRUMENT OF CONVEYANCE AS A DEED RESTRICTION.
16. NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG AUBURN AVENUE (5 MILE LINE-FM 676).
17. ALL SHARYLAND WATER SUPPLY CORPORATION EASEMENTS ARE EXCLUSIVE, NO OTHER USE OF EASEMENT IS PERMITTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF SHARYLAND WATER SUPPLY CORPORATION.
18. LOT 7 & 8 WATER METER TO BE UPGRADED IN CASE OF INCREASE, THE NUMBER OF UNITS (FROM FOUR) PLEX TO SIX(6) PLEX.
19. UNITED IRRIGATION DISTRICT RETAINS A BLANKET IRRIGATION EASEMENT AS PER DOCUMENT NO. 190-1010590, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, ON LOT 405, JOHN H. SHARY SUBDIVISION, AS RECORDED IN VOLUME 1, PAGE 42A, 43 AND 43A, MAP RECORDS, HIDALGO COUNTY, TEXAS.
20. IF BUILDING PERMITS ARE SUBMITTED WITH NUMBER OF UNITS MORE THAN INITIALLY PAID, ADDITIONAL PARK FEES MUST BE PAID PRIOR TO BUILDING PERMIT ISSUANCE.
21. ALL EASEMENTS ARE DEDICATED BY THIS PLAT UNLESS OTHERWISE NOTED.
22. AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS FOR THE VACATING AND REPLAT OF VIDA SUBDIVISION RECORDED AS DOC. NO. 391434, HIDALGO COUNTY OFFICIAL RECORDS, DEVELOPER/OWNER, THEIR SUCCESSORS AND ASSIGNEES, AND NOT THE CITY OF McALLEN SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 110-72 OF THE CODE NOT THE CITY OF McALLEN SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 110-72 OF THE CODE OR ORDINANCE OF THE CITY OF McALLEN, INCLUDING BUT NOT LIMITED TO THE COMMON AREAS AND PRIVATE STREETS. ANY ASSIGNMENT TO DECLARATIONS THAT CONFLICT WITH THE REQUIREMENTS OF SECTION 110-72 SHALL BE NULL AND VOID.
23. MINIMUM 25 FT BY 25 SKOFT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS.

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.21(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. DATE

THIS PLAT IS HEREBY APPROVED BY THE UNITED IRRIGATION DISTRICT ON THIS THE ____ DAY OF _____, 20__

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

ATTEST: _____ PRESIDENT

SECRETARY

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, TEXAS HERBY CERTIFY THAT VACATING AND REPLAT OF VIDA SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF McALLEN WHEN MY APPROVAL IS REQUIRED.

CHAIRMAN PLANNING AND ZONING COMMISSION

DATE: _____
CERTIFICATION OF THE MAYOR OF THE CITY OF McALLEN

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS VACATING AND REPLAT OF VIDA SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR CITY OF McALLEN DATE

SHARYLAND WATER SUPPLY CORPORATION

I, CARLOS LIMA, HEREBY CONDITIONALLY CERTIFY THAT POTABLE WATER SERVICE IS AVAILABLE FOR THE VACATING AND REPLAT OF VIDA SUBDIVISION LOCATED AT INTERSECTION OF 5 MILE LINE ROAD AND NORTH SHARY ROAD IN HIDALGO COUNTY, TEXAS, SUBJECT TO THE SUBDIVISIONS POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DEVELOPER'S DESIGN ENGINEER, ALL APPLICABLE RULES AND REGULATIONS OF SHARYLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE, AND FEDERAL AGENCIES.

DEVELOPER AND ITS DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER SYSTEM IS CONSTRUCTED WITHIN THE DESIGNATED SHARYLAND WATER SUPPLY CORPORATION EXCLUSIVE EASEMENT.

CARLOS LIMA
GENERAL MANAGER
SHARYLAND WATER SUPPLY CORPORATION
DATE

STATE OF TEXAS
COUNTY OF HIDALGO

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE VACATING AND REPLAT OF VIDA SUBDIVISION OF THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

LIMA VENTURES, LTD (OWNER)
3N VENTURES, LLC (MANAGING GENERAL PARTNER)
MANUEL CHAPA, MEMBER/MANAGER
7216 W. EXPRESSWAY 83
MISSION, TX 78752
DATE

LIMA VENTURES, LTD (OWNER)
3N VENTURES, LLC (MANAGING GENERAL PARTNER)
LISA M. CHAPA, MEMBER/MANAGER
7216 W. EXPRESSWAY 83
MISSION, TX 78752
DATE

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MANUEL CHAPA AND LISA CHAPA, KNOWN TO ME TO BE THE PERSONS WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____

NOTARY PUBLIC

STATE OF TEXAS
COUNTY OF HIDALGO

I (WE), THE UNDERSIGNED, HOLDERS(S) (OR DULY AUTHORIZED OFFICERS OF THE HOLDER(S)) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE VACATING AND REPLAT OF VIDA SUBDIVISION OF THE CITY OF McALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND DO HEREBY FORECLOSE THAT RELY TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

BRIAN A. HUMPHREYS, JR (TRUSTEE)
RIO BANK
701 E. EXPRESSWAY 83
McALLEN, TEXAS 78501
DATE

STATE OF TEXAS
COUNTY OF HIDALGO

KNOW ALL MEN BY THESE PRESENTS:

I, VICTOR H. TREVINO, A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, LICENSE NUMBER 128195, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

VICTOR H. TREVINO, P.E.
LICENSED PROFESSIONAL ENGINEER,
TEXAS LIC. NO. 128195

STATE OF TEXAS
COUNTY OF HIDALGO

KNOW ALL MEN BY THESE PRESENTS:

I, VICTOR H. TREVINO, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND ON _____ UNDER MY DIRECTION.

VICTOR H. TREVINO, R.P.L.S.
REG. PROFESSIONAL LAND SURVEYOR # 6968

METES AND BOUNDS

BEING A 4.85 ACRE TRACT OF LAND OUT OF THE WEST 10.0 ACRES OF THE NORTH 20.0 ACRES OF LOT 405, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGES 42A, 43 AND 43A, MAP RECORDS, HIDALGO COUNTY, TEXAS, CONVEYED TO LIMA VENTURES, LTD BY CORRECTION INSTRUMENT AS DESCRIBED IN DOCUMENT NUMBER 288173, OF THE OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, SAID 4.85 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 405, JOHN H. SHARY SUBDIVISION, ALSO BEING THE CENTERLINE OF AUBURN AVENUE (F.M. 676) AND ALSO THE CENTERLINE OF SHARY ROAD (FM 694);

THENCE, SOUTH 81°26'01" EAST AT A DISTANCE 320.00 FEET, CONTINUING ALONG SAID CENTERLINE OF AUBURN AVENUE (F.M. 676), TO A MAGNAIL SET FOR THE POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT OF LAND;

THENCE, SOUTH 81°26'01" EAST AT A DISTANCE 320.00 FEET, CONTINUING ALONG SAID CENTERLINE OF AUBURN AVENUE (F.M. 676), TO A MAGNAIL SET FOR A CORNER OF A TRACT OF LAND CONVEYED TO NEW MILLENNIUM INVESTMENTS, INC., AS DESCRIBED IN DOCUMENT NUMBER 229507, OF THE OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, AND ALSO BEING A CORNER OF THIS HEREIN DESCRIBED TRACT OF LAND;

THENCE, SOUTH 03°33'59" WEST AT A DISTANCE 40.00 FEET, ALONG THE WEST LINE OF SAID NEW MILLENNIUM INVESTMENTS, INC., TO AN IRON PIPE FOUND FOR THE SOUTH LINE OF A HIDALGO COUNTY 40' RIGHT-OF-WAY EASEMENT AS DESCRIBED IN VOLUME 79, PAGE 236, DEED RECORDS, HIDALGO COUNTY, TEXAS, CONTINUING FOR A TOTAL DISTANCE OF 660.00 FEET, TO AN IRON PIPE FOUND FOR THE COMMON CORNER OF SAID NEW MILLENNIUM INVESTMENTS, INC., AND A TRACT OF LAND CONVEYED TO MICHAEL SCHROCK AND WIFE, DEBBIE SCHROCK AS DESCRIBED IN DOCUMENT NUMBER 190552, OF THE OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, AND ALSO BEING A CORNER OF THIS HEREIN DESCRIBED TRACT OF LAND;

THENCE, NORTH 81°38'38" WEST AT A DISTANCE 320.00 FEET, ALONG THE NORTH LINE OF SAID MICHAEL SCHROCK AND WIFE, DEBBIE SCHROCK, TO A POINT BEING THE NORTHEAST CORNER OF GLENSHIRE ESTATES SUBDIVISION AS DESCRIBED IN VOLUME 24, PAGE 117-A, MAP RECORDS, HIDALGO COUNTY, TEXAS, CONTINUING FOR A TOTAL DISTANCE OF 60.00 FEET, TO A POINT BEING A CORNER OF SAID GLENSHIRE ESTATES SUBDIVISION AND ALSO BEING A CORNER OF A TRACT OF LAND CONVEYED TO ROGER WAYNE RICH AS DESCRIBED IN DOCUMENT NUMBER 303643, OF THE OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, AND ALSO BEING A CORNER OF THIS HEREIN DESCRIBED TRACT OF LAND;

THENCE, NORTH 03°33'59" EAST 660.00 FEET, ALONG THE EAST LINE LOT A, VIDA SUBDIVISION, TO THE POINT OF BEGINNING OF THIS TRACT BEING A COMPUTED AREA OF 4.85 ACRES.



PRINCIPAL CONTACTS:				
	NAME	ADDRESS	CITY & ZIP	PHONE FAX
OWNER:	LIMA VENTURES, LTD	P.O. BOX 1958	MISSION, TEXAS 78752	(956) 581-3918
ENGINEER:	VICTOR H. TREVINO, P.E.	900 S. STEWART RD., STE. 13	MISSION, TEXAS 78752	(956) 424-3335 (956) 424-3132
SURVEYOR:	VICTOR H. TREVINO, P.E.	900 S. STEWART RD., STE. 13	MISSION, TEXAS 78752	(956) 424-3335 (956) 424-3132

SOUTH TEXAS INFRASTRUCTURE GROUP
800 S. STEWART, SUITE 13
MISSION, TEXAS 78752
PH: (856) 424-3335
FAX: (856) 424-3132
TBPE REG. # 1500



SHEET

1



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 7/3/2024

SUBDIVISION NAME: VACATE PLAT OF VIDA LOTS 1-14 SUBDIVISION AND REPLAT TO VIDA, LOTS 1A-14A SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

N. Shary Road (FM 494): 30 ft. ROW dedication for 60 ft. ROW from centerline for 120 ft. of total R.O.W.

Paving: By the state Curb & gutter: By the state

-As per the application, the vacate and replat is for Lot 1-14 only which do not front N. Shary Road.

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

***Monies must be escrowed if improvements are required prior to recording.

Auburn Avenue (5 Mile Line-FM 676): Dedication for 60 ft. from centerline for 120 ft. R.O.W.

Paving: by the state Curb & gutter: by the state

Revisions Needed:

- As per the application, the vacate and replat is for Lot 1-14 only. Revise the subdivision boundary to include these lots only.

- Show total existing ROW along Auburn Avenue as well as ROW on both sides of the centerline and reference the document number on the plat prior to final.

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

***Monies must be escrowed if improvements are required prior to recording.

N. 58th Lane: 60 ft. R.O.W.

Paving: 40 ft. Curb & gutter: Both sides

Revisions Needed:

- Clarify if the interior street ROW is being vacated and dedicated by the replat or the subdivision boundary includes only Lots 1-14 and not the dedicated ROW. The correct reference and label will be needed on plat prior to final.

- As per Fire Department, minimum 96 ft. paving face-to-face with minimum 10 ft. R.O.W. back-of-curb around cul-de-sac. Show the Cul-de-Sac ROW radius on plat and submit paving layout prior to final.

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

***Monies must be escrowed if improvements are required prior to recording.

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

* 1,200 ft. Block Length

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts.

**Subdivision Ordinance: Section 134-118

Applied

Required

Required

Applied

Compliance

NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* 600 ft. Maximum Cul-de-Sac</p> <p>Revisions:</p> <p>**As per Fire Department 96 ft. of paving face to face in the Cul-de-Sac. Minimum 10 ft. ROW is required from back of the curb around the Cul-de-Sac. Show the ROW radius on Cul-de-Sac and ensure that paving layout complies with requirements as noted.</p> <p>***As per dimensions on plat submitted on 02-27-24, cul-de-sac length is in compliance.</p> <p>***Subdivision Ordinance: Section 134-105.</p>	Required
ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft.</p> <p>*Alley/service drive easement required for commercial properties</p> <p>Revisions Needed:</p> <p>-Clarify review note regarding service drive prior to final: "A minimum 24 ft. private service drive easement will be established as part of the site plan and will be maintained by the lot owners and not the city of McAllen."</p> <p>-Must comply with public works requirements as applicable prior to Recording.</p> <p>**Subdivision Ordinance: Section 134-106</p>	Applied
SETBACKS	
<p>Front: Lots 1A-14A: 20 ft. or greater for easements, except 10' for unenclosed carports only, or greater for easements.</p> <p>Proposing:</p> <p>"Front: Lots 1A-14: 15ft or greater for easements, except 10' for unenclosed carports."</p> <p>-Revise plat note for 20ft not 15ft.</p> <p>- If site plan review is required for Lots 1A-14A, setbacks will be subject to approved site plan. Clarify the number of dwelling units to finalize setbacks prior to final.</p> <p>**Zoning Ordinance: Section 138-356,138-367</p> <p>**The property owner submitted a variance request (VAR2024-0016) and requested 10 ft. front setback for unenclosed carports only. If the variance request is approved the front setback will be: 20 ft. except 10 ft. for unenclosed carports only, or greater for easements. The plat note for front setback will be finalized prior to final.</p> <p>**Variance for the unenclosed carports was approved on the P&Z meeting of 05-07-24.</p>	Required
<p>* Rear: Lots 1A-14A: 10 ft. or greater for easements</p> <p>Revisions needed:</p> <p>**Finalize Setbacks prior to final.</p> <p>If site plan review is required for Lots 1A-14A, setbacks will be subject to approved site plan.</p> <p>**Zoning Ordinance: Section 138-356</p>	Applied
<p>* Interior Sides:</p> <p>Lots 1A-14A: In Accordance with Zoning Ordinance or greater for easements.</p> <p>Proposed:</p> <p>"Lots 1A-14A: In accordance with Zoning Ordinance or greater for easements. Subject to Approved Site Plan."</p> <p>Revisions needed:</p> <p>Finalize setbacks prior to final.</p> <p>-If site plan review is required for Lots 1A-14A, setbacks will be subject to approved site plan.</p> <p>**Zoning Ordinance: Section 138-356</p>	Required
<p>* Corner: Lots 1A-14A: 10 ft. or greater for easements.</p> <p>Revisions Needed:</p> <p>Finalize setbacks prior to final.</p> <p>-If site plan review is required for Lots 1A-14A, setbacks will be subject to approved site plan.</p> <p>**Zoning Ordinance: Section 138-356.</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Garage: Lots 1A-14A: 18 ft. except where greater setback is required, greater setback applies. Revisions Needed: If site plan review is required for Lots 1A-14A, setbacks will be subject to approved site plan. **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN ***This is not a Plat Note***</p>	Applied
	Applied
SIDEWALKS	
<p>* 5 ft. wide minimum sidewalk required on North Shary Road (FM 494) and Auburn Avenue (5 Mile Line-FM 676) and 4 ft. minimum wide sidewalk required along both sides of all interior streets. ***5 ft. sidewalk requirement as per Engineering Department. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Applied
	Applied
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along Auburn Ave. (5 Mile Line - F.M. 676) **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/use. **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements.</p>	Applied
	Applied
	Applied
NOTES	
<p>* No curb cut, access, or lot frontage permitted along Auburn Avenue (5 Mile Line-FM 676). **Must comply with City Access Management Policy, Traffic Department requirements and conditions for any variances as needed. * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. **Any owner, builder or developer of a multiple-family, condominium, or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development, submit a site plan for staff review prior to final. **Zoning Ordinance: Section 138-210. * Common Areas, detention areas, etc. must be maintained by the lot owners and not the City of McAllen. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	Required
	Applied
	Applied
	Applied
	Applied
	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. - Clarify how the vacated and replated lots 1A-14A will be part of the HOA prior to final. If a plat note is proposed or HOA is proposed to be amended, etc. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	Required
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets. **Subdivision Ordinance: Section 134-1 	Applied
<ul style="list-style-type: none"> * Minimum lot width and lot area. **Zoning Ordinance: Section 138-356 	Applied
ZONING/CUP	
<ul style="list-style-type: none"> * Existing R3-A Proposed R3-A. Annexation Date of June 2021. ***Zoning Ordinance: Article V 	Applied
<ul style="list-style-type: none"> * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V 	Applied
PARKS	
As per Parks Department, subdivision was annexed June 2021 therefore now subject to City of McAllen Park Land Dedication and Park Development Fees Ordinance. Park fees of \$39,200 paid as of November 2nd,2023, based on 56 units X\$700.00. Park fees will be adjusted if the number of units changes.	Applied
<ul style="list-style-type: none"> * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, subdivision was annexed June 2021 therefore now subject to City of McAllen Park Land Dedication and Park Development Fees Ordinance. Park fees of \$39,200 paid as of November 2nd,2023, based on 56 units X\$700.00. Park fees will be adjusted if the number of units changes. 	Applied
<ul style="list-style-type: none"> * As per Parks Department, subdivision was annexed June 2021 therefore now subject to City of McAllen Park Land Dedication and Park Development Fees Ordinance. Park fees of \$39,200 paid as of November 2nd,2023, based on 56 units X\$700.00. Park fees will be adjusted if the number of units changes. 	Applied
TRAFFIC	
<ul style="list-style-type: none"> * As per Traffic Department, Trip Generation previously approved, TIA waiver request approved with conditions. If uses changes an updated Trip Generation would be required at site plan process 	Completed
<ul style="list-style-type: none"> ** As per Traffic Department, Trip Generation previously approved, TIA waiver request approved with conditions. If uses changes an updated Trip Generation would be required at site plan process. 	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none">-Must comply with City's Access Management Policy.***REVISE NAME: "Vacate Plat of Vida Lots 1-14 Subdivision and Replat to Vida Lots 1A-14A Subdivision.[Vida Lots 1A-14A Subdivision] <---- Subdivision Title: This part needs to be bolded and shown in slightly bigger text than the rest.-As per Public Works Department, dumpster easement may be needed as applicable on plat and will need to be finalized prior to recording.-Boundaries of vacate plat should only reflect portion being vacated. Lots 1A-14A and not the ROW. Revise the plat boundary prior to final to finalize the requirements. <p>**The property owner submitted a variance request (VAR2024-0016) and requested 10 ft. front setback for unenclosed carports only. If the variance request is approved the front setback will be: 20 ft. except 10 ft. for unenclosed carports only, or greater for easements. The plat note for front setback will be finalized prior to final.</p> <p>***The subdivision was approved in revised preliminary form, subject to the conditions noted, drainage and utilities approval at the Planning and Zoning Commission meeting of May 7, 2024. The Board also approved the setback variance as requested.</p>	Applied
RECOMMENDATION	
RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO THE CONDITIONS NOTED.	Applied



SHARY ROAD

LOCATION

PROPOSED A-A-A APARTMENT
SUBDIVISION

5 MILE LINE

5 MILE LINE

PROPOSED VIDA
SUBDIVISION

405

WESTMINSTER

CANTERBURY AVE

AVE

1

2

3

4

13

14

12

11

10

9

8

7

6



City of McAllen

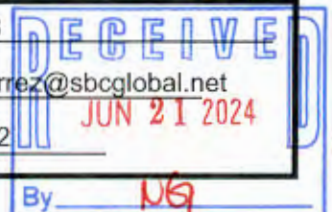
Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

SUB2024-0071

Project Information	Subdivision Name	<u>Pecan Heights Subdivision</u>		
	Legal Description	<u>Being 1.515 acres, more or less, being out of Lot 2, Hamilton Place, an addition to the City of McAllen, Hidalgo County, Texas as per map or plat thereof recorded in Volume 31, Page 152, MRHC, Tx</u>		
	Location	<u>East side of 1st Street approx. 320 feet South of Pecan Avenue.</u>		
	City Address or Block Number	<u>100 East Pecan Boulevard</u>		
	Total No. of Lots	<u>14</u>	Total Dwelling Units	<u>14</u>
	Gross Acres	<u>1.515</u>	Net Acres	<u>1.515</u>
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input type="checkbox"/> No			
	For Fee Purposes: <input type="checkbox"/> Commercial (<u> </u> Acres) / <input checked="" type="checkbox"/> Residential (<u>14</u> Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No			
	(F.L.E.)			
	Existing Zoning	<u>R-3T</u>	Proposed Zoning	<u>R-3T</u> (F.L.E.)
Applied for Rezoning <input type="checkbox"/> No / <input type="checkbox"/> Yes: Date <u> </u>				
Existing Land Use	<u>Vacant</u>	Proposed Land Use	<u>Residential</u>	
Irrigation District #	<u>2</u>	Water CCN: <input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC	Other <u> </u>	
Agricultural Exemption: <input type="checkbox"/> Yes / <input type="checkbox"/> No	Parcel #	<u>563152</u>		
Estimated Rollback Tax Due	<u> </u>	Tax Dept. Review	<u>M.R. 6/21/24</u>	
Owner	Name	<u>Terraform Development LLC</u>	Phone <u>956-336-8368</u>	
	Address	<u>4900 W Expwy 83, Suite 113</u>	E-mail <u>riocasas956@gmail.com</u>	
	City	<u>McAllen</u>	State <u>TX</u> Zip <u>78501</u>	
Developer	Name	<u>Terraform Development LLC</u>	Phone <u>956-336-8368</u>	
	Address	<u>4900 W Expwy 83, Suite 113</u>	E-mail <u>riocasas956@gmail.com</u>	
	City	<u>McAllen</u>	State <u>TX</u> Zip <u>78501</u>	
	Contact Person	<u>Abiel de la Torre</u>		
Engineer	Name	<u>M2 Engineering, PLLC</u>	Phone <u>956-600-8628</u>	
	Address	<u>1810 E Griffin Parkway</u>	E-mail <u>fernando@m2-engineers.com</u>	
	City	<u>Mission</u>	State <u>TX</u> Zip <u>78572</u>	
	Contact Person	<u>Fernando L. Estevan</u>		
Surveyor	Name	<u>Homero L Gutierrez</u>	Phone <u>956-369-0988</u>	
	Address	<u>Homero L Gutierrez</u>	E-mail <u>homero_gutierrez@sbcglobal.net</u>	
	City	<u>Mission</u>	State <u>TX</u> Zip <u>78572</u>	



Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL


PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

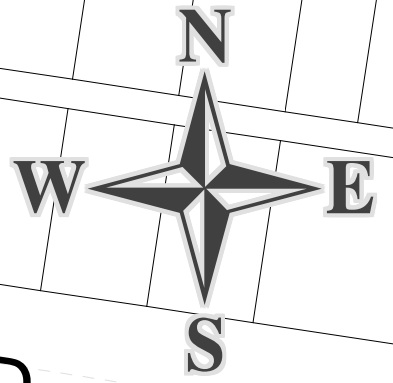
Signature  Date 6/21/24

Print Name Fernando L. Estevan, EIT, CFM

Owner ☐

Authorized Agent ☒

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion



LOCATION

PECAN BLVD

1ST ST



**PROPOSED PECAN
HEIGHTS SUBDIVISION**

**PROPOSED CAVADONGA
SUBDIVISION**

LOT 1

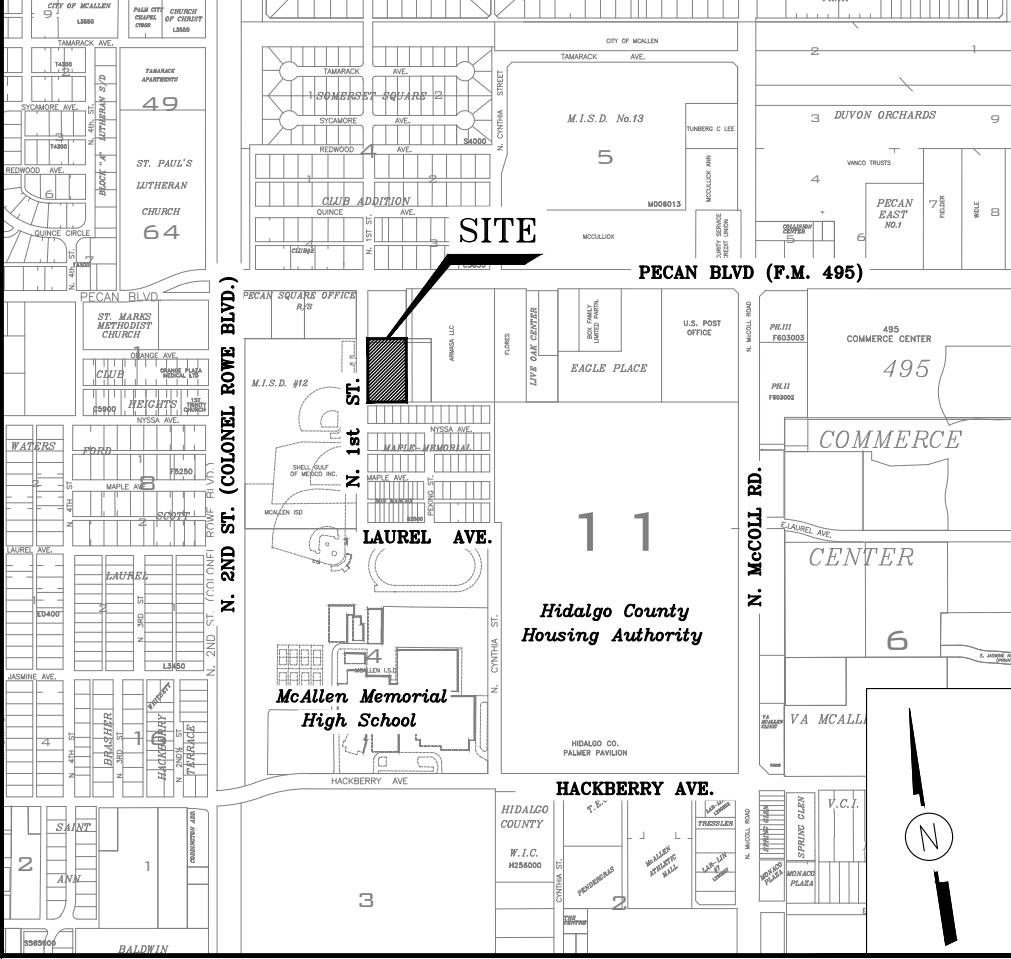
NYSSA AVE

1ST ST

MAPLE AVE

NG ST

THIA ST



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

Lot Area Table	
Lot No.	Area
1	8,000 S.F.
2	4,000 S.F.
3	4,000 S.F.
4	4,000 S.F.
5	4,000 S.F.
6	4,000 S.F.
7	4,000 S.F.
8	4,000 S.F.
9	4,000 S.F.
10	4,000 S.F.
11	4,000 S.F.
12	4,000 S.F.
13	4,000 S.F.
14	10,000 S.F.

DIETES AND BOUNDS 3.636-ACRE TRACT

A 1.515 ACRE TRACT, MORE OR LESS, BEING OUT OF LOT 2, HAMILTON PLACE, AN ADDITION TO THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 31, PAGE 152, MAP RECORDS, HIDALGO COUNTY, TEXAS.

REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSE,
LOCATED ON THE EAST SIDE OF N 1ST STREET, APPROXIMATELY
320 FEET SOUTH OF PECAN AVENUE IN THE CITY OF MCALLEN,
TEXAS, IS BEING MORE PARTICULARLY DESCRIBED BY METES AND
BOUNDS AS FOLLOWS:

BEGINNING AT A NO. 4 REBAR FOUND AT THE SOUTHWEST CORNER OF SAID LOT 2 AND ON THE EXISTING EAST RIGHT-OF-WAY OF NORTH 1ST STREET, FOR THE POINT OF BEGINNING, AND THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;

THENCE, NORTH 08 DEGREES 36 MINUTES 43 SECONDS EAST, ALONG THE EXISTING EAST RIGHT-OF-WAY LINE OF NORTH 1ST STREET, A DISTANCE OF 330.00 FEET TO A NO. 4 REBAR SET AT THE NORTHWEST CORNER OF SAID LOT 2 AND SOUTHWEST CORNER OF LOT 1, SAID HAMILTON PLACE, FOR THE NORTHWEST CORNER OF THIS TRACT;

THE SOUTH LINE OF SAID LOT 1, AND THE NORTH LINE OF SAID LOT 2, A DISTANCE OF 200.00 FEET TO THE NORTHEAST CORNER OF THIS TRACT; THENCE, SOUTH 08 DEGREES 36 MINUTES 43 SECONDS WEST ALONG THE EAST LINE OF A CERTAIN TRACT CONVEYED TO ARMASA LLC BY VIRTUE OF A WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2614841, HIDALGO COUNTY OFFICIAL RECORDS, A DISTANCE OF 330.00 FEET TO A NO. 4 REBAR SET ON THE SOUTH LINE OF SAID LOT 1; AND SOUTHWEST CORNER OF SAID CERTAIN TRACT CONVEYED TO ARMASA LLC, FOR THE SOUTHEAST CORNER OF THIS TRACT.

THENCE, NORTH 81 DEGREES 23 MINUTES 17 SECONDS WEST ALONG THE SOUTH LINE OF SAID LOT 2, A DISTANCE OF 200.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.515 ACRES OF LAND, MORE OR LESS.

BEARING BASIS AS PER NAD 1983 STATE PLANE
TEXAS SOUTH FIPS 4205 FEET.

(PRELIMINARY)
PECAN HEIGHTS
SUBDIVISION

BEING 1.515 ACRES, MORE OR LESS, BEING OUT OF LOT 2,
HAMILTON PLACE, AN ADDITION TO THE CITY OF MCALLEN,
HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF
RECORDED IN VOLUME 31, PAGE 152, MAP RECORDS,
HIDALGO COUNTY, TEXAS.



M2
Engineering, PLLC

TBPELS FIRM REGISTRATION F-19545

1810 E. GRIFFIN PARKWAY
MISSION TX 78572
956-600-8628

PRINCIPAL CONTACTS:

NAME	ADDRESS	CITY & ZIP	PHONE
OWNER: ALPEG PROPERTIES, LLC (ABEL HERNANDEZ)	2203 MCLEOD AVE	EDINBURG, TEXAS 78539	(956) -
ENGINEER: EMIGDIO "MILO" SALINAS, P.E.	1810 F. GRIFFIN PARKWAY	MISSION, TEXAS 78572	(956) 600-8628
SURVEYOR: HOMERO LUIS GUTIERREZ, R.P.L.S.	P.O. BOX 548	MCALLEN, TEXAS 78505	(956) 369-0988

STATE OF TEXAS
COUNTY OF HIDALGO

(WE) THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE PECAN HEIGHTS SUBDIVISION, TO THE CITY OF McALLEN and Whose NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATERLINES, SEWER LINES, STORM LINES FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTE OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

TERRAFORM DEVELOPMENT, LLC
200 S 10TH ST., #1301
MCALLEN, TX 78501

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2024.

NOTARY PUBLIC, STATE OF TEXAS
MY COMMISSION EXPIRES:

STATE OF TEXAS
CITY OF McALLEN
PLANNING AND ZONING COMMISSION

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THIS PECAN HEIGHTS SUBDIVISION PLAT WHICH CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

DATED THIS _____ DAY OF _____, 2024

CHAIRMAN OF PLANNING AND ZONING COMMISSION

HIDALGO COUNTY DRAINAGE DISTRICT No. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. DATE
GENERAL MANAGER

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, EMIGDIO "MILO" SALINAS, P.E., A LICENSED PROFESSIONAL ENGINEER, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

FOR REVIEW ONLY

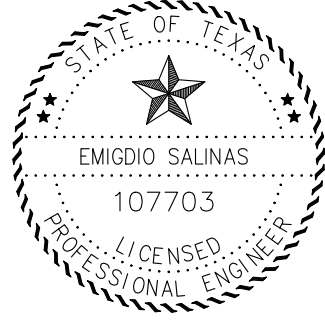
EMIGDIO "MILO" SALINAS, P.E. DATE
LICENSED PROFESSIONAL ENGINEER No. 107703
FIRM REGISTERED No. F-19545

STATE OF TEXAS
COUNTY OF HIDALGO

I, HOMERO LUIS GUTIERREZ, REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MCALLEN, TEXAS.

FOR REVIEW ONLY

HOMERO LUIS GUTIERREZ, R.P.L.S.
TEXAS R.P.L.S. No. 2791





City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 7/3/2024

SUBDIVISION NAME: PECAN HEIGHTS SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>N. 1st St.: Existing 60.0ft R.O.W. Paving: 40.0ft Curb & gutter: Both Sides **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>* 1,200 ft. Block Length. **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 900 ft. Block Length for R-3T Zone Districts. **Subdivision Ordinance: Section 134-118</p>	Compliance
<p>* 600 ft. Maximum Cul-de-Sac. **Subdivision Ordinance: Section 134-105</p>	NA
ALLEYS	
<p>R.O.W.: 20ft. Paving: 16ft. *Alley/service drive easement required for commercial and multi-family properties. - Side Alley are not allowed, will need to be gated and "Alley/Utility Easement" would need to be private. **Subdivision Ordinance: Section 134-106</p>	Non-compliance
SETBACKS	
<p>* Front setback will be established once easements along the front of the lots are finalized. **Setbacks are based on R-3T Zoning District. **Zoning Ordinance: Section 138-356</p>	TBD
<p>* Rear: 10 ft. or greater for easements, whichever is greater applies. Revisions Needed: -Include note as shown above prior to final. **Zoning Ordinance: Section 138-356</p>	Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Sides: In accordance with the zoning ordinance or greater for easements, whichever is greater applies. Revisions Needed: -Include note as shown above prior to final. **Zoning Ordinance: Section 138-356 	Non-compliance
<ul style="list-style-type: none"> * Corner: 10 ft. or greater for easements, whichever is greater applies. Revisions Needed: -Include note as shown above prior to final. **Zoning Ordinance: Section 138-356 	Non-compliance
<ul style="list-style-type: none"> * Garage: 18 ft. except where greater setback is required, greater setback applies. Revisions Needed: -Include note as shown above prior to final. **Zoning Ordinance: Section 138-356 	Non-compliance
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
<ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on N. 1st Street Revisions Needed: -Include note as shown above prior to final. -Proposing: "Note # 6. A 5 Foot wide minimum sidewalk required on _____ road." **Sidewalk requirement may increase to 5 ft. for interior streets per Engineering Department prior to final. ****Subdivision Ordinance: Section 134-120 	Non-compliance
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46 	Applied
<ul style="list-style-type: none"> * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46 	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along. **Must comply with City Access Management Policy 	NA
<ul style="list-style-type: none"> * Site plan must be approved by the Planning and Development Departments prior to building permit issuance for 5 or more attached dwelling units on each lot if applicable. **Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development. Review as applicable prior to final. ***Zoning Ordinance: Section 138-210. 	Non-compliance
<ul style="list-style-type: none"> * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions Needed: - Add the plat note as shown above prior to final. Note subject to change once subdivision requirements have been finalized. Finalize wording for note prior to final. Proposed: Note # "15. All common access, parking and landscape areas shall be maintained by the lot owner." 	Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. ***Section 110-72 applies if public subdivision is proposed. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. - Homeowner's Association Covenants must be submitted for staff review, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. *****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168 	NA
	Applied
	Required
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public/private streets. **Subdivision Ordinance: Section 134-1 ** Minimum lot width and lot area. Lot dedication min. 20' frontage on street. **Zoning Ordinance: Section 138-356" 	Compliance
	Compliance
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: R-3T (townhouse residential) Proposed: R-3T (townhouse residential) ***Zoning Ordinance: Article V * Rezoning Needed Before Final Approval. ***Zoning Ordinance: Article V 	Applied
	NA
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. Park Fee required at \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not applicable. ***If park fee requested in lieu of land dedication, need to submit variance request for fee in lieu of land dedication. * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not required. Once the number of lots/dwelling units have been finalized, park fees to be paid prior to recording will be established. ***If park fee requested in lieu of land dedication, need to submit variance request for fee in lieu of land dedication. * Pending review by City Managers Office. Once clarified if land dedication is applicable to this development, a written request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office. ***If park fee requested in lieu of land dedication, need to submit variance request for fee in lieu of land dedication. 	Required
	Required
	Required
TRAFFIC	
<ul style="list-style-type: none"> * As per Traffic Department, Trip Generation required to be submitted to determine if TIA is required, prior to final plat. * Traffic Impact Analysis (TIA) required prior to final plat. 	Non-compliance
	TBD

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none">- Verify Note #6, City of McAllen min. Sidewalk requirement is 4.0ft but Engineering Dept. may require 5.0ft.- Verify the Owner Signature Lines, as Terraform Development, LLC must include all of its member signature lines, with their own heading and title.- Verify City of McAllen Mayor signature line, currently it is not shown on the Plat.- Verify the neighboring subdivision owner names and doc. no's.- Provide Document's for staff review regarding existing easements and alleys that are shown on the plat.- General Notes, Note #1 has a repeated 1. in it. "1. 1.Flood...etc"- Verify the Principal Contacts Box on the Bottom Right, it mentions an ALPEG Properties LLC as Owner of this subdivision.- Add a note for the proposed 35ft. Access & Utility Easement.- A 20ft planting strip and 20ft. service drive area required as per Section 134-106 of the Subdivision Ordinance and are proposed as part of the easements.- Corner Clip would be required on each alley entrance/access point. <p>*Must comply with City's Access Management Policy. *Any abandonments must be done by separate process, not by plat. **Any variances that may be requested must be finalized prior to final and will establish additional requirements as needed prior to finalizing the plat.</p>	Non-compliance
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE & UTILITIES APPROVAL.	Applied

LOCATION



PECAN BLVD

1ST ST

PROPOSED PECAN
HEIGHTS SUBDIVISION

PROPOSED CAVADONGA
SUBDIVISION
LOT 1

NYSSA AVE

1ST ST

MAPLE AVE

ING ST

NTHIA ST





City of McAllen

SUBA024-0034

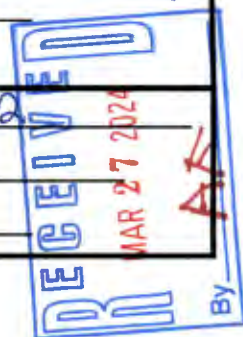
Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>La Lomita Paradise</u>		
	Legal Description <u>Phase 0' Texas "A" lot 2</u>		
	Location _____		
	City Address or Block Number <u>3500 mile 6 1/2 Rd.</u>		
	Total No. of Lots <u>44</u> Total Dwelling Units <u>88</u> Gross Acres <u>10</u> Net Acres _____		
	<input checked="" type="checkbox"/> Public Subdivision/ <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No		
	For Fee Purposes: <input type="checkbox"/> Commercial (_____ Acres)/ <input checked="" type="checkbox"/> Residential (<u>44</u> Lots) Replat: <input checked="" type="checkbox"/> Yes/ <input type="checkbox"/> No		
	Existing Zoning <u>R2</u> Proposed Zoning <u>R2</u> Applied for Rezoning <input checked="" type="checkbox"/> No/ <input type="checkbox"/> Yes: Date _____		
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Duplex</u>		
	Irrigation District # <u>HCLD #1</u> Water CCN: <input checked="" type="checkbox"/> MPU/ <input type="checkbox"/> Sharyland Water SC Other _____		
Agricultural Exemption: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No Parcel # <u>262591</u>			
Estimated Rollback Tax Due <u>\$4,948.64</u> Tax Dept. Review <u>NPG</u>			
Owner	Name <u>Sergio H. Morales</u>		Phone <u>(956) 638-0741</u>
	Address <u>509 W. Woburn Ave</u>		E-mail _____
	City <u>McAllen</u>	State <u>TX</u>	Zip <u>78504</u>
Developer	Name <u>La Lomita Paradise LLC</u>		Phone <u>(956) 638-6548</u>
	Address <u>808 S. Shary Co. Ste 5 #330</u>		E-mail <u>sl.rgu@pm.me</u>
	City <u>Mission</u>	State <u>TX</u>	Zip <u>78572</u>
	Contact Person <u>Mariel Gresso</u> <u>agentmarielg@pm.me</u>		
Engineer	Name <u>Wan Haeck / Kodelta Engineering</u>		Phone <u>(956) 380-5152</u>
	Address <u>921 S. 10th Ave</u>		E-mail <u>wan@kodelta-engineering.com</u>
	City <u>Edinburg</u>	State <u>TX</u>	Zip <u>78539</u>
	Contact Person <u>Wan Haeck</u>		
Surveyor	Name <u>Pena Engineering</u>		Phone <u>(956) 682-8812</u>
	Address <u>PO Box 83200</u>		E-mail _____
	City <u>McAllen</u>	State <u>TX</u>	Zip <u>78502</u>

KF



Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 3/27/24

Print Name Valerie Isabel Gonzalez

Owner ☐ Authorized Agent ☒

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

MAR 2024 - 0032

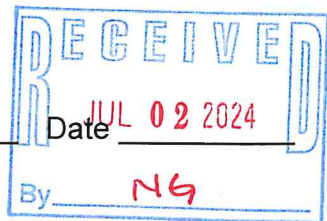


City of McAllen

311 North 15th Street
McAllen, TX 78501
P. O. Box 220McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)LA LOMITA
PARADISE

Planning Department

VARIANCE TO SUBDIVISION PROCESS APPLICATION

Project	Legal Description	BEING A 10.00 ACRES TRACT OF LAND, MORE OR LESS, OF LOT 2, RESUBDIVISION OF LOTS 164-171 INCLUSIVE OF PRIDE O TEXAS SUBDIVISION, RECORDED IN VOLUME 7, PAGE 45, MAP RECORDS OF HIDLAGO COUNTY, TEXAS.	
	Street Address	MI 6 1/2 RD TX	
	Number of lots	42	Gross acres 10.00 ACRES
	Existing Zoning	R-2	Existing Land Use VACANT
<input type="checkbox"/> Current Survey and Metes and Bounds (if the legal description of the tract is a portion of a lot) is required			
Applicant	Name	RIO DELTA ENGINEERING	Phone (956) 380-5152
	Address	921 S. 10TH AVENUE	E-mail EDINBURG@RIODELTAENGINEERING.COM
	City	EDINBURG	State TX Zip 78539
Owner	Name	SERGIO G MORALES	Phone (956) 578-6868
	Address	509 W NOLANA	E-mail
	City	MCALLEN	State TX Zip 78504-3029
Authorization	To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
	I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.		
	Signature	Date JULY 2, 2024	
	Print Name Sergio Morales	<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Authorized Agent	
Office	*FOR OFFICE USE ONLY*		
	APPLICATION FILING FEE:	<input type="checkbox"/> \$250.00	
	Accepted by	Payment received by	
	Rev 06/21		



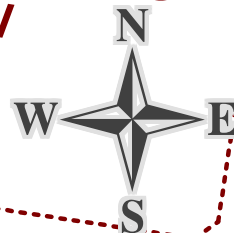
***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal	VARIANCE	1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.	
		1) THE PROPOSED SUBDIVISION WILL BE PUBLIC. THE SUBDIVISION WILL NOT CONNECT TO ANY OTHER STREETS DUE TO THE ALLEYS THAT ARE ALONG THE PERIMETER OF THE PROPERTY. THE ALLEYS ARE NEEDED AS THEY WILL FUNCTION AS ENTRANCE TO THE PROPOSED LOTS, ACCESS FOR DUMPSTERS, AND AS A TURNAROUND FOR FIRE DEPARTMENT IF NEEDED. OVERALL LENGTH OF PROPERTY FROM NORTH TO SOUTH IS 1,320 FT. THE BLOCKLENGTH REQUIREMENT IS 1,200 FEET AND WE HAVE 1046 FEET WITHIN THE BLOCK THAT IS FORMED BETWEEN NORTH AND SOUTH ACCESSES OF THE ALLEYS.	
	1) BLOCK LENGTH		
		2. Described how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.	
	J.H.		1) THE PROPOSED SUBDIVISION WILL BE PUBLIC. THE SUBDIVISION WILL NOT CONNECT TO ANY OTHER STREETS DUE TO THE ALLEYS THAT ARE ALONG THE PERIMETER OF THE PROPERTY. THE ALLEYS ARE NEEDED AS THEY WILL FUNCTION AS ENTRANCE TO THE PROPOSED LOTS, ACCESS FOR DUMPSTERS, AND AS A TURNAROUND FOR FIRE DEPARTMENT IF NEEDED. OVERALL LENGTH OF PROPERTY FROM NORTH TO SOUTH IS 1,320 FT. THE BLOCKLENGTH REQUIREMENT IS 1,200 FEET AND WE HAVE 1046 FEET WITHIN THE BLOCK THAT IS FORMED BETWEEN NORTH AND SOUTH ACCESSES OF THE ALLEYS.
		3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.	
		1) WILL NOT AFFECT ANY ADJOINING PROPERTIES.	
	4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.		
J.H.		1) THE PROPOSED SUBDIVISION WILL BE PUBLIC. THE SUBDIVISION WILL NOT CONNECT TO ANY OTHER STREETS DUE TO THE ALLEYS THAT ARE ALONG THE PERIMETER OF THE PROPERTY. THE ALLEYS ARE NEEDED AS THEY WILL FUNCTION AS ENTRANCE TO THE PROPOSED LOTS, ACCESS FOR DUMPSTERS, AND AS A TURNAROUND FOR FIRE DEPARTMENT IF NEEDED. OVERALL LENGTH OF PROPERTY FROM NORTH TO SOUTH IS 1,320 FT. THE BLOCKLENGTH REQUIREMENT IS 1,200 FEET AND WE HAVE 1046 FEET WITHIN THE BLOCK THAT IS FORMED BETWEEN NORTH AND SOUTH ACCESSES OF THE ALLEYS.	

ELM AVE

LOCATION

**PROPOSED FIRE FIGHTER TRAINING
FACILITY SUBDIVISION**



LA LOMITA ROAD

**PROPOSED LA LOMITA PARADISE
SUBDIVISION**

**PROPOSED NORTHWEST CREEKS
SUBDIVISION
(REVISED)**

LA LOMITA ROAD

N 33RD ST

PROPOSED RESUBDIVISION OF VILLANUEVA

ESTATES AT
40

41

N 32ND ST

55



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 7/5/2024

SUBDIVISION NAME: LA LOMITA PARADISE SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

La Lomita Rd.(Mile 6 1/2 Road): proposed 60 ft. dedication from centerline for 80 ft. total R.O.W.

Paving: 52 ft. - 65 ft. Curb & gutter: both sides

Revisions required:

- Show the document number on the plat for the existing R.O.W. and provide a copy for staff review prior to recording.
- Show and label "Existing R.O.W." and "Total R.O.W." after R.O.W. dedication prior to final.
- Clearly label street and lines, there are some bearings and distances shown that seem to be on the East and West of La Lomita that do not belong to the plat.

****La Lomita Rd.(Mile 6 1/2 Road) is designated as a major collector with 80 ft. R.O.W. The dedication requirements will be finalized prior to Recording.**

****Subdivision Ordinance: Section 134-105**

****Monies must be escrowed if improvements are required prior to recording.**

****COM Thoroughfare Plan**

Brazos Avenue (E/W 1/4 mile Collector on Northern Boundary): 35 ft. ROW dedication for 70 ft. ROW

Paving: 44 ft. Curb & gutter: both sides

Revisions needed:

- Show and label the R.O.W. dedication as needed above prior to final.
- If there is any existing R.O.W., show the document number on the plat and provide a copy for staff review prior to final.
- Show and Label the Brazos Ave. on the Plat, currently there is no label of this Ave.

****Subdivision Ordinance: Section 134-105**

****Monies must be escrowed if improvements are required prior to recording.**

****COM Thoroughfare Plan**

Interior Streets: proposed 60 ft. ROW

Paving: 40 ft. Curb & gutter: both sides

Revisions needed:

- The name of the interior streets will be finalized by staff prior to final.

****Subdivision Ordinance: Section 134-105**

****Monies must be escrowed if improvements are required prior to recording**

****COM Thoroughfare Plan**

Paving _____ Curb & gutter _____

****Subdivision Ordinance: Section 134-105**

****Monies must be escrowed if improvements are required prior to final**

****COM Thoroughfare Plan**

Required

Required

Applied

NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * 1,200 ft. Block Length - Subdivision block length variance is needed, must be submitted and finalized prior to final. - Variance application was submitted on 07/02/2024. - Variance application has been revised on 07/05/2024. - Plat is subject to Variance application approval. - As per Section 134-118 of the Subdivision Ordinance, Block lengths in subdivisions zoned R-1,R-2,R-3A, commercial or industrial shall not exceed 1,200 feet. **Subdivision Ordinance: Section 134-118 * 900 ft. Block Length for R-3 Zone Districts. **Subdivision Ordinance: Section 134-118 * 600 ft. Maximum Cul-de-Sac. **Subdivision Ordinance: Section 134-105 	Required
	NA
	NA
ALLEYS	
<p>R.O.W.: 20 ft. Paving: 16 ft.</p> <ul style="list-style-type: none"> *Alley/service drive easement required for commercial properties - If the 20 ft. R.O.W. shown on the east and west side of subdivision looping into the interior street is alley R.O.W. by this plat, clarify and revise the label accordingly prior to Recording. - Plat submitted shows label, "20.00' R.O.W. Alley." **Subdivision Ordinance: Section 134-106 	Applied
SETBACKS	
<ul style="list-style-type: none"> * Front: 20 ft. or greater for easements **Zoning Ordinance: Section 138-356 * Rear: 10 ft. or greater for easements **Zoning Ordinance: Section 138-356 * Sides: In accordance with the zoning ordinance or greater for easement **Zoning Ordinance: Section 138-356 * Corner: 10 ft. or greater for easements **Zoning Ordinance: Section 138-356 * Garage: 18 ft. except where greater setback is required, greater setback applies **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN 	Applied
	Applied
	Applied
	Applied
	Applied
	Applied
SIDEWALKS	
<ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on La Lomita (Mile 6 1/2) Road, Brazos Avenue, and both sides of all interior streets. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time. 	Applied
	Applied
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along La Lomita (Mile 6 1/2) Road and Brazos Avenue. - Please add the Plat Note # for this note as it currently is left without a Note # number. **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements. 	Required
	Applied
	Applied

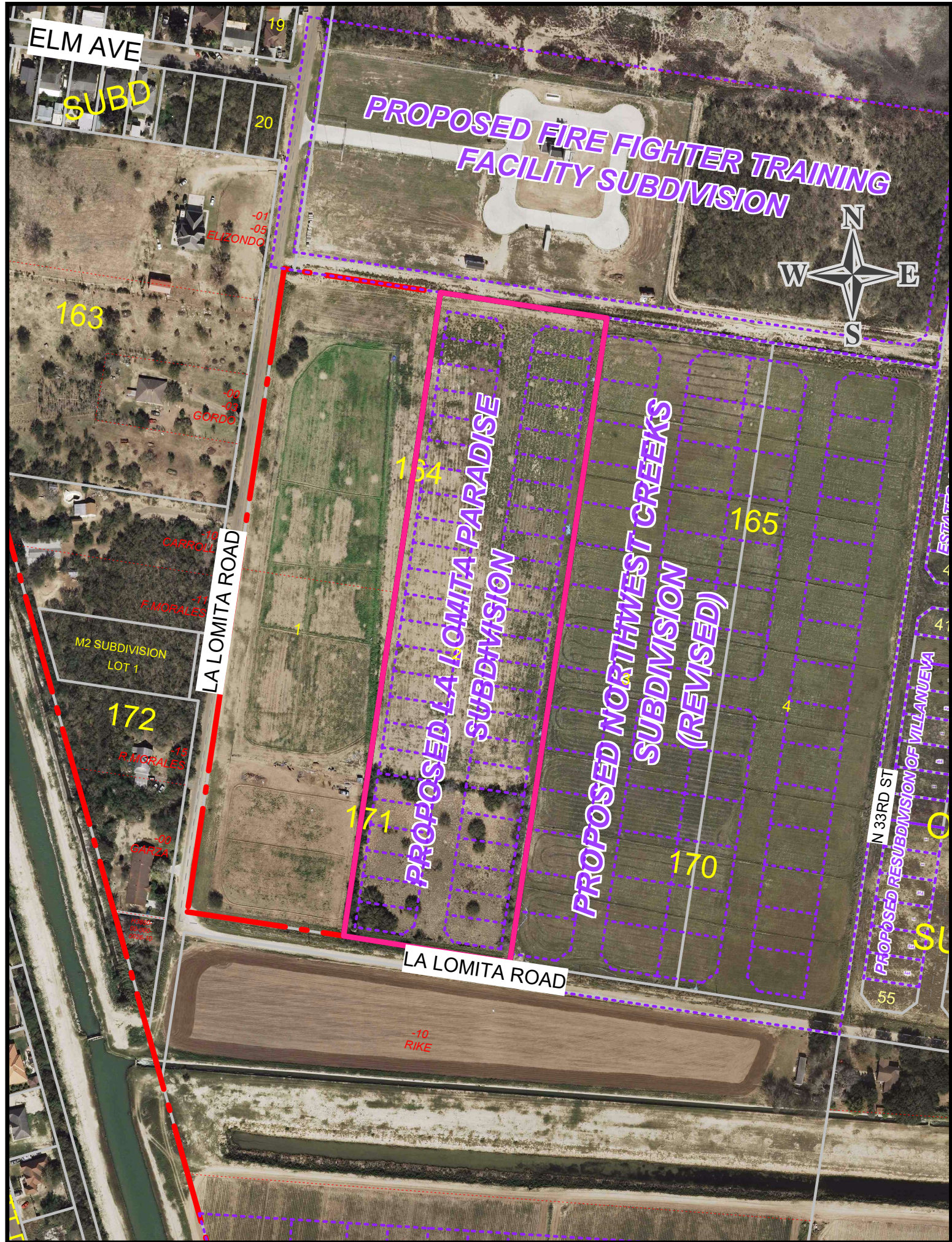
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along La Lomita (Mile 6 1/2) Road and Brazos Avenue. **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. - Based on the submitted application and lot sizes, only one duplex is proposed to be built on each lot. A site plan review is not required for a duplex building. A site plan review will be required for 5 or more attached dwelling units. * Common Areas and detention lots must be maintained by the lot owners and not the City of McAllen. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 110-72 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. **Section 110-72 applies if public subdivision is proposed. - Based on the submitted application, the subdivision is public. Clarify/revise plat notes No. 18 & 19 to reference the correct section of the ordinance prior to final. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. - Submit a draft HOA document for staff review prior to recording. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	Applied
	NA
	Applied
	NA
	Required
	Required
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets. **Subdivision Ordinance: Section 134-1 * Minimum lot width and lot area **Zoning Ordinance: Section 138-356 	Applied
	Applied
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: R-2 Proposed: R-2 ***Zoning Ordinance: Article V * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V 	Applied
	NA
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. - Based on the submitted plat, there are 42 lots proposed and based on the application, a duplex is proposed on each lot. Therefore, based on total 84 dwelling units, 1.34 acre of parkland dedication is required prior to recording. If a park fee in lieu of land dedication is proposed, a letter must be submitted to the Planning Director prior to final. The request will be reviewed by the City Manager's Office and if approved, \$700 per dwelling unit must be paid prior to recording. 	Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Park Fee of \$700 per dwelling unit to be paid prior to recording. - Based on the submitted plat, there are 42 lots proposed and based on the application, a duplex is proposed on each lot. Therefore, based on total 84 dwelling units, 1.34 acre of parkland dedication is required prior to recording. If a park fee in lieu of land dedication is proposed, a letter must be submitted to the Planning Director prior to final. The request will be reviewed by the City Manager's Office and if approved, \$700 per dwelling unit must be paid prior to recording. * Pending review by City Manager's Office. - Based on the submitted plat, there are 42 lots proposed and based on the application, a duplex is proposed on each lot. Therefore, based on total 84 dwelling units, 1.34 acre of parkland dedication is required prior to recording. If a park fee in lieu of land dedication is proposed, a letter must be submitted to the Planning Director prior to final. The request will be reviewed by the City Manager's Office and if approved, \$700 per dwelling unit must be paid prior to recording. 	Required
	Required
TRAFFIC	
<ul style="list-style-type: none"> * As per Traffic Department, Trip Generation Approved, no TIA required. * Traffic Impact Analysis (TIA) required prior to final plat. As per Traffic Department, Trip Generation Approved, no TIA required. 	Applied
	Applied
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> - Show the legal description of all adjacent lots on all sides, including the south side of La Lomita Rd. (Mile 6 1/2) Road prior to final. - Label for Mile 6 1/2 Road on Location map is obscured. Revise prior to final. - Show the layout of the recorded subdivisions and correct the City limits line on the Location map prior to final. - Any existing easements must be shown on the plat prior to final and any abandonment must be done by separate process, not by plat. - All signature blocks must comply with Section 138-61 of the subdivision ordinance prior to recording. - At the request of the Engineer, the plat is on for Final consideration, pending Variance (VAR2024-0032) approval for the Block length requirements, should it be approved. - Currently pending outcome of the Variance request. - Must Comply with all department requirements prior to Final. - Must Comply with all department requirements prior to Recording. <p>*Must comply with City's Access Management Policy.</p> <p>**A subdivision application under the same name, La Lomita Paradise Subdivision (SUB2023-0069) for the subject property was in process by the same developer but with a different engineer and was approved in preliminary form subject to the conditions noted, drainage, and Utilities approval on July 26, 2023. The previous application was withdrawn by the developer with a termination agreement with the previous engineer and resubmitted by Rio Delta Engineering on March 27, 2024.</p>	Required
RECOMMENDATION	
RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO THE CONDITIONS NOTED.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



ELM AVE
SUBD

PROPOSED FIRE FIGHTER TRAINING
FACILITY SUBDIVISION



LA LOMITA ROAD

PROPOSED LA LOMITA PARADISE
SUBDIVISION

PROPOSED NORTHWEST CREEKS
SUBDIVISION
(REVISED)

LA LOMITA ROAD

N 33RD ST

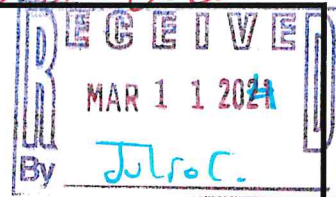
PROPOSED RESUBDIVISION OF VILLANUEVA

SUB2024-0028



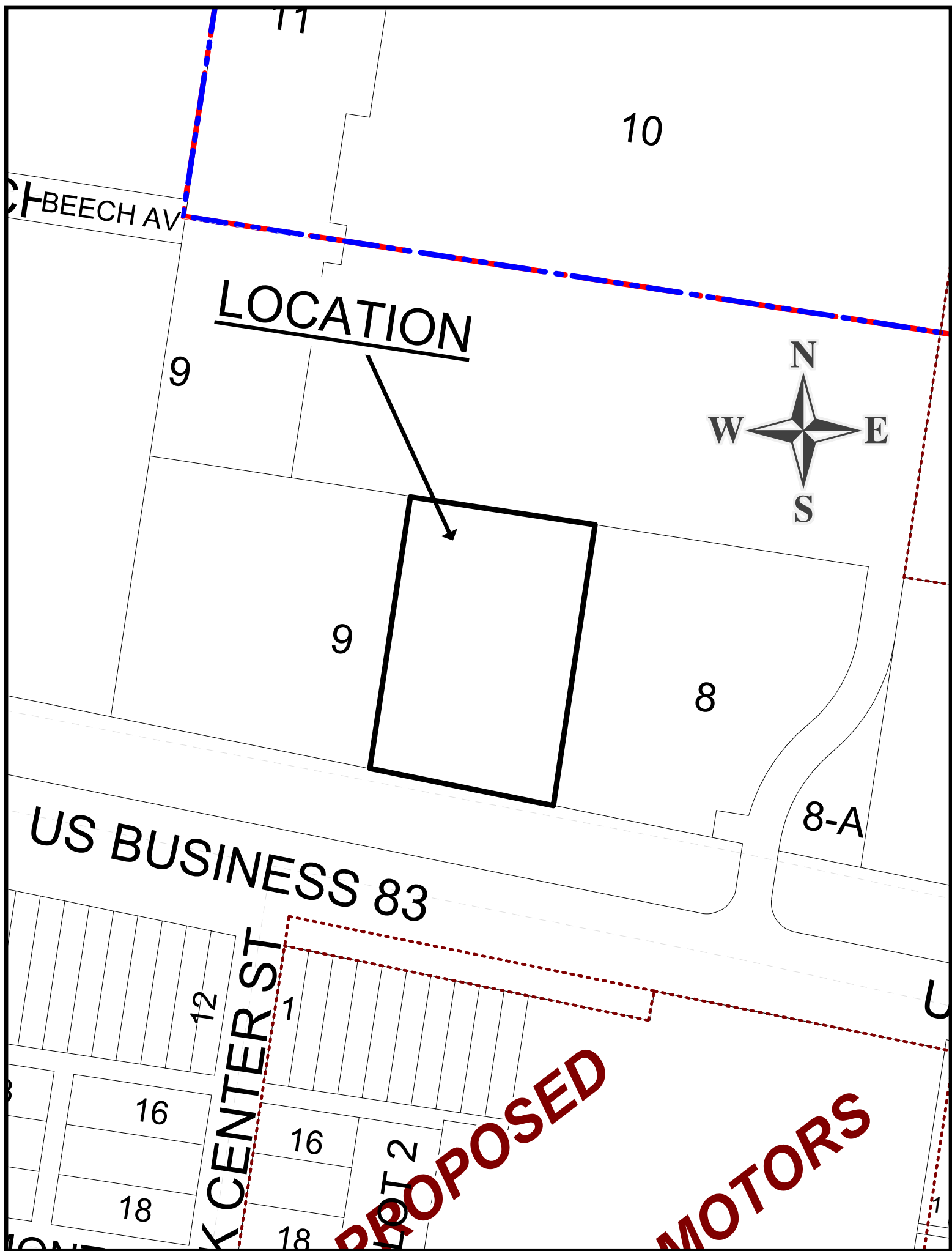
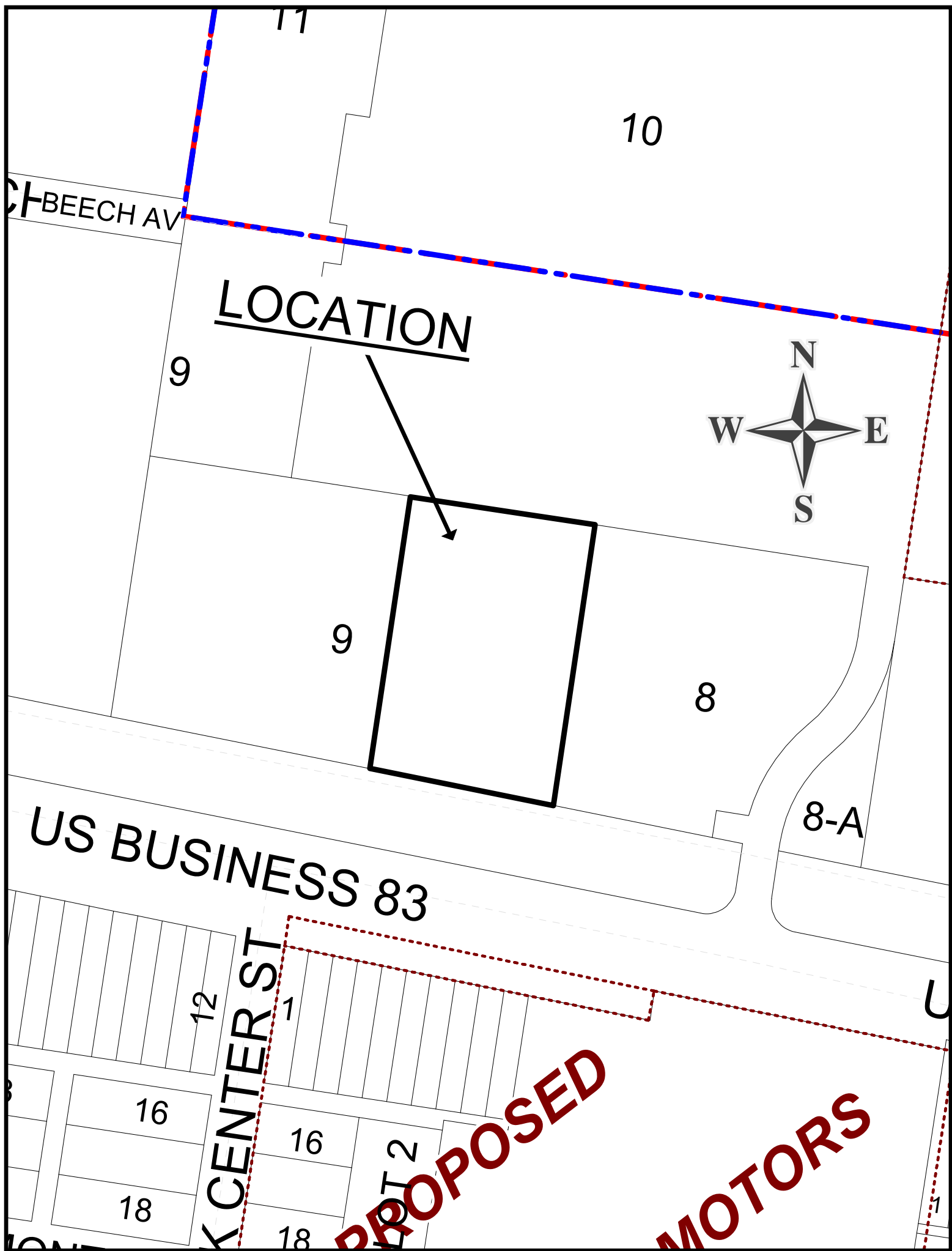
City of McAllen

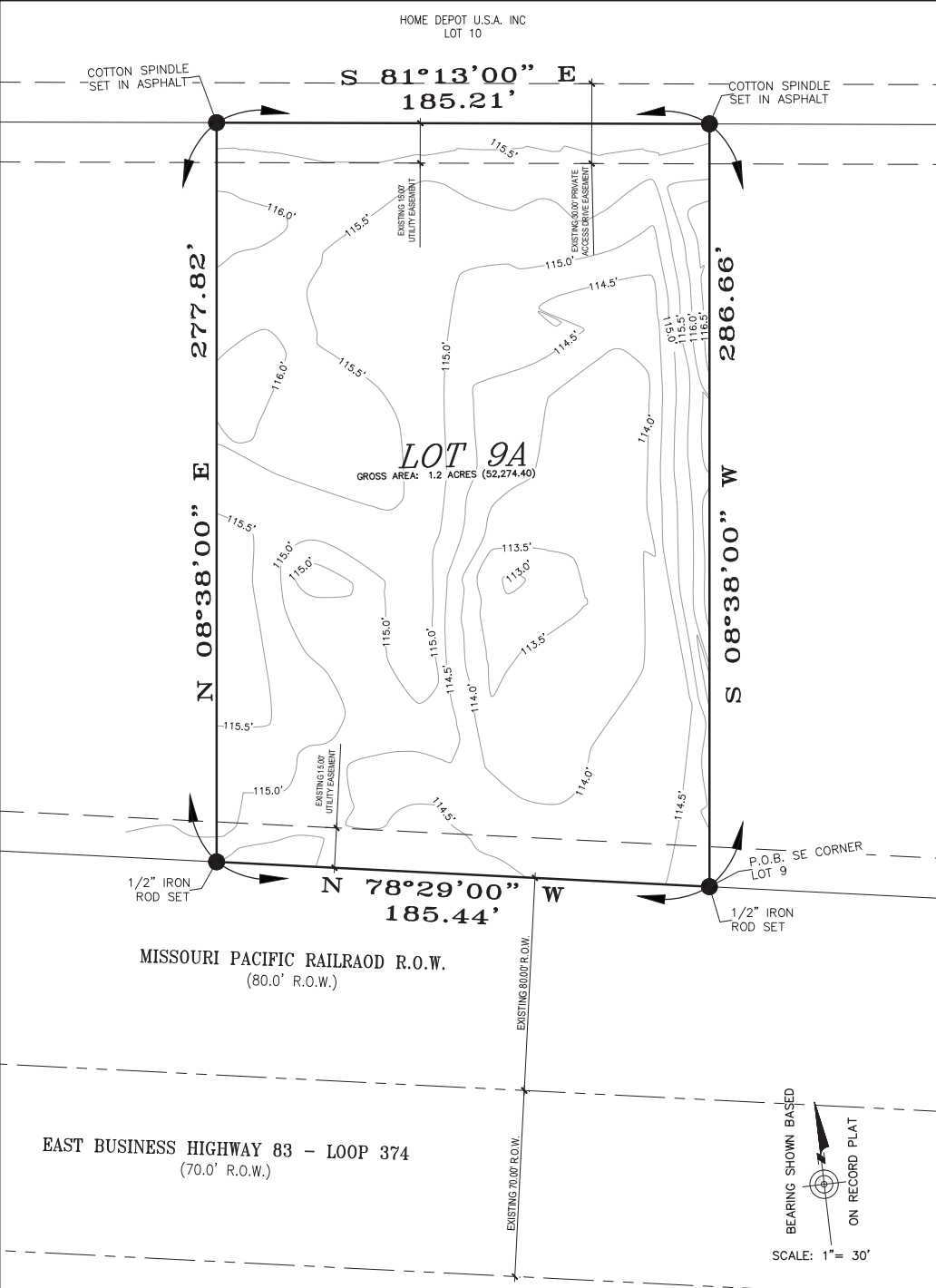
Planning Department



311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>i Shine Car Wash - McAllen</u>			
	Legal Description <u>1.20 Acre tract of land out of lot 9, Jackson Commerce Development Subd, Phase IV, Volume 33, Page 34 map records Hidalgo County, Texas</u>			
	Location <u>1021 E. HWY 83</u>			
	City Address or Block Number _____			
	Total No. of Lots <u>1</u> Total Dwelling Units <u>1</u> Gross Acres <u>1.2</u> Net Acres <u>1.1</u>			
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input type="checkbox"/> No			
	For Fee Purposes: <input checked="" type="checkbox"/> Commercial (<u>1.2</u> Acres) / <input type="checkbox"/> Residential (_____ Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No			
	Existing Zoning <u>C3L</u> Proposed Zoning <u>C3L</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____			
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Car Wash</u>			
	Irrigation District # _____ Water CCN: <input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other _____			
Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # <u>J 2003-04-000-0009-05/1539731</u>				
Estimated Rollback Tax Due <u>x</u> <u>0</u> Tax Dept. Review <u>x</u> <u>M. Reyna</u>				
Owner	Name	<u>Thomas Vuong</u>	Phone	<u>832-477-2284</u>
	Address	<u>6310 Cambrai Wood Ln</u>	E-mail	<u>Thomas@ishinecorp.com</u>
	City	<u>Katy</u>	State	<u>TX</u>
			Zip	<u>77493</u>
Developer	Name	<u>Same as Owner</u>		
	Address	_____		
	City	_____	State	_____
	Contact Person	_____		
Engineer	Name	<u>CHLH Engineering, LLC</u>	Phone	<u>956-687-5560</u>
	Address	<u>701 S. 15th Street</u>	E-mail	<u>cloro@chlhengineering.com</u>
	City	<u>McAllen</u>	State	<u>TX</u>
	Contact Person	<u>Cloromiro Hinojosa Jr., P.E.</u>		
Surveyor	Name	<u>Mario Gonzalez/ Rio Delta Surveying</u>	Phone	<u>956-262-0222</u>
	Address	<u>24593 FM88</u>	E-mail	<u>jmgonzalezrpls@msn.com</u>
	City	<u>Monte Alto</u>	State	<u>TX</u>
			Zip	_____





- GENERAL NOTES:
- FINISHED FLOOR ELEVATION TO BE 18" INCHES ABOVE TOP OF CURB OR BASE FLOOD ELEVATION, WHICHEVER IS HIGHER.
 - THIS PROPERTY APPEARS TO LIE WITHIN ZONE "B" (AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD) ACCORDING TO THE FLOOD COMMUNITY-PANNEL NUMBER 48034300050, EFFECTIVE DATE NOVEMBER 2, 1982. FLOOD ZONE IS DETERMINED BY GRAPHIC SCALING ONLY. SOUTHPOINT TEXAS SURVEYING, LLC DOES NOT ASSUME RESPONSIBILITY FOR EXACT DETERMINATION. (TABLE A, ITEM 3)
 - A 4 FT WIDE MINIMUM SIDEWALK REQUIRED ALONG E. BUSINESS HIGHWAY 83.
 - MIN. BUILDING SETBACK LINES SHALL BE AS FOLLOWS:
FRONT: PROPOSED 45 FT OR IN LINE WITH AVERAGE SETBACK OF EXISTING STRUCTURES, OR EASEMENT, WHICHEVER IS GREATER.
REAR: PROPOSED 10 FT OR GREATER FOR EASEMENTS.
SIDES: PROPOSING 6 FT OR GREATER FOR EASEMENTS, WHICHEVER IS GREATER.
 - BENCHMARK: BENCHMARK
EASTING: 0
NORTHING: 0
ELEVATION: 0
 - MAINTENANCE OF ALL LANDSCAPE AND DETENTION AREAS IS THE RESPONSIBILITY OF THE LOT OWNER.
 - ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SW3P) REQUIREMENTS.
 - ADDITIONAL FIRE PROTECTION MAY BE REQUIRED AT BUILDING PERMIT STAGE INCLUDING NECESSARY EASEMENTS.
 - NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN, UTILITY EASEMENTS, GAS EASEMENTS, OR IRRIGATION EASEMENTS AND LOT LINES.
 - AN ENGINEERED DETENTION PLAN APPROVED BY THE ENGINEERING DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
 - DRAINAGE DETENTION REQUIRED FOR THIS PROPERTY IS AS FOLLOWS:
TOTAL CF (AC-FT)
 - NO STRUCTURES SHALL BE BUILT OVER ANY EASEMENTS.
 - 6 FT OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES
 - 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
 - COMMON AREAS, SERVICE DRIVES, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF MCALLEN.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
 - MINIMUM 25 FT x 25 FT SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS AND A MINIMUM 10 FT x 10 FT SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL ALLEY/STREET INTERSECTIONS.
 - SITE PLAN MUST BE APPROVED BY THE PLANNING AND ZONING COMMISSION PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.

SUBDIVISION PLAT OF JACKSON COMMERCE DEVELOPMENT SUBDIVISION, LOT 9A, PHASE IV A

MCALLEN, TEXAS

ALTA/NSPS LAND TITLE SURVEY 1.20 ACRE TRACT OF LAND, MORE OR LESS
OUT OF LOT 9 JACKSON COMMERCE DEVELOPMENT SUBDIVISION, PHASE IV
VOLUME 33, PAGE 34, MAP RECORDS HIDALGO COUNTY, TEXAS

METES & BOUNDS:

FIELD NOTES OF A 1.200 ACRE TRACT OUT OF LOT 9, JACKSON COMMERCE SUBDIVISION, PHASE IV, AS DEPICTED AND RECORDED IN VOLUME 33, PAGE 34, MAP RECORDS, HIDALGO COUNTY, TEXS, SAID 1.200 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING, AT A 1/2 INCH IRON ROD SET WITH A SURVEYOR'S CAP STAMPED "SOUTHPOINT 5974" ON THE NORTH LINE OF THE MISSOURI PACIFIC RAILROAD RIGHT-OF-WAY (80.0' RIGHT-OF-WAY WIDTH) AT THE SOUTHEAST CORNER OF SAID LOT 9, FOR THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT

THENCE, NORTH 78°29'00" WEST, ALONG THE NORTH LINE OF THE MISSOURI PACIFIC RAILROAD RIGHT-OF-WAY, A DISTANCE OF 185.44 FEET, TO A 1/2 INCH IRON ROD SET WITH A SURVEYOR'S CAP STAMPED "SOUTHPOINT 5974", FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, NORTH 08°38'00" EAST, OVER AND ACROSS SAID LOT 9, A DISTANCE OF 277.82 FEET, TO COTTON SPINDLE SET IN ASPHALT ON THE NORTH BOUNDARY LINE OF LOT 9, FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, SOUTH 81°13'00" EAST, ALONG THE NORTH BOUNDARY LINE OF SAID LOT 9, A DISTANCE OF 185.21 FEET, COTTON SPINDLE SET IN ASPHALT AT THE NORTHEAST CORNER OF LOT 9, FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, SOUTH 08°38'00" WEST, ALONG THE EAST BOUNDARY LINE OF SAID LOT 9, A DISTANCE OF 286.66 FEET, TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT OF LAND, SAID TRACT CONTAINS 1.200 ACRES, MORE OR LESS, WITHIN THESE METES AND BOUNDS.

STATE OF TEXAS
COUNTY OF HIDALGO

I (WE) THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE "SHINE CAR WASH MCALLEN" SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

OWNER: MCALLEN ISHINE 21 LLC
DEVELOPER: THOMAS VUONG, (832) 477-2284
MCALLEN ISHINE 21 LLC 294
COUNTY ROAD 436A, YOAKUM TEXAS

DATE

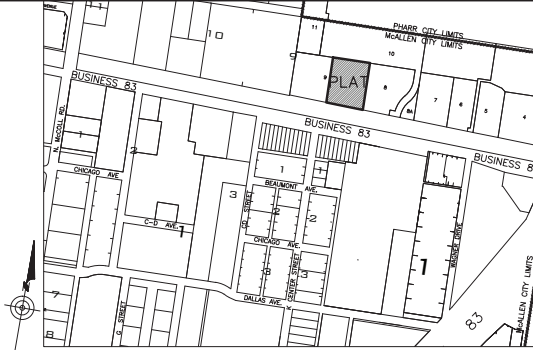
STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, 20____.

NOTARY PUBLIC

HIDALGO COUNTY, TEXAS

NOTARY PUBLIC



LOCATION MAP SCALE: 1:500



FILE FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

CERTIFICATION OF THE MAYOR OF THE CITY OF MCALLEN, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN DATE:

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHERE IN MY APPROVAL IS REQUIRED

CHAIRMAN, PLANNING AND ZONING
COMMISSION, CITY OF MCALLEN DATE:

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY WATER IMPROVEMENTS DISTRICT NO. 3, ON THIS THE ____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY WATER IMPROVEMENT DISTRICT NO. 3 RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A CONVEYANCE, WAIVER OR ABANDONMENT OF ANY PROPERTY INTEREST HELD BY THE DISTRICT IN THE PROPERTY SHOWN ON THE PLAT; OR THE ACCEPTANCE OR APPROVAL OF THE ACCURACY OF ANY STATEMENT, DIMENSION OR DESCRIPTION SHOWN ON THE PLAT.

O.E. BRAND JR., PRESIDNET MARK FREELAND, SECRETARY

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER DATE:

STATE OF TEXAS
COUNTY OF HIDALGO

I, (SURVEYOR), REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MCALLEN, TEXAS.

DATED THIS THE ____ DAY OF _____, 20____

REGISTERED PROFESSIONAL SURVEYOR (SEAL)
MARIO GONZALEZ
REGISTERED PROFESSIONAL PUBLIC SURVEYOR No. 5571
24593 FM 88, MONTE ALTO, TEXAS 78538
(956) 380-5154

No. _____ STATE OF TEXAS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

REGISTERED PROFESSIONAL ENGINEER (SEAL)
CLOROMIRO HINOJOSA, JR.
CHLH ENGINEERING, LLC
701 S. 15TH STREET, MCALLEN, TX 78501
(TEL)956-687-5560 (FAX)956-687-5561

No. _____ STATE OF TEXAS.

CHLH
ENGINEERING, LLC
TBPE FIRM No. F-8719
701 S. 15th STREET MCALLEN, TX. 78501
(956) 687-5560 (956) 687-5561 FAX

DATE OF PREPARATION: MAY 31, 2024

PRINCIPAL CONTACTS		ADDRESS	PHONE
OWNER: MCALLEN ISHINE 21 LLC	THOMAS VUONG	COUNTY ROAD 436A, YOAKUM TEXAS	(832) 477-2284
ENGINEER: CHLH ENGINEERING, LLC	CLOROMIRO HINOJOSA, JR.	701 S. 15TH STREET, MCALLEN, TX 78501	(956) 687-5560
SURVEYOR: RIO DELTA SURVEYING	MARIO GONZALEZ	24593 FM 88, MONTE ALTO, TEXAS 78538	(956) 380-5154



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 7/5/2024

SUBDIVISION NAME: JACKSON COMMERCE DEVELOPMENT LOT 9A, PHASE IV A (PREVIOUSLY I SHINE CAR WASH - MCALLEN)

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

(LOOP 374): E. Business Highway 83 . Plat Shows existing 70.0' R.O.W. need to finalize requirement for any dedication for a 100.0' R.O.W. prior to final.
 **Land Fronting property is owned by the Missouri Pacific Railroad company, this requirement does not apply.
 **80.0' R.O.W. also shown for railroad.
 **Paving: BY STATE. Curb & gutter: BY STATE.
 Revisions Needed:
 -Label R.O.W. from Centerline to new property line & Total R.O.W. after accounting for R.O.W. dedications - use applicable arrow annotation lines.
 -Must Include Document #'s on plat and must provide any documents as applicable regarding existing R.O.W.
 ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan
 ***Monies must be escrowed if improvements are not constructed prior to recording.

Required

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

NA

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

NA

* 1,200 ft. Block Length.

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts.

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac.

**Subdivision Ordinance: Section 134-105

Applied

NA

NA

ALLEYS

R.O.W.: 20 ft. Paving: 16 ft.
 *Alley/service drive easement required for commercial properties.
 **A 30.0' access easement exists on the north side of property. Finalize service access/alley easement requirements prior to final.
 ***Subdivision Ordinance: Section 134-106

Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

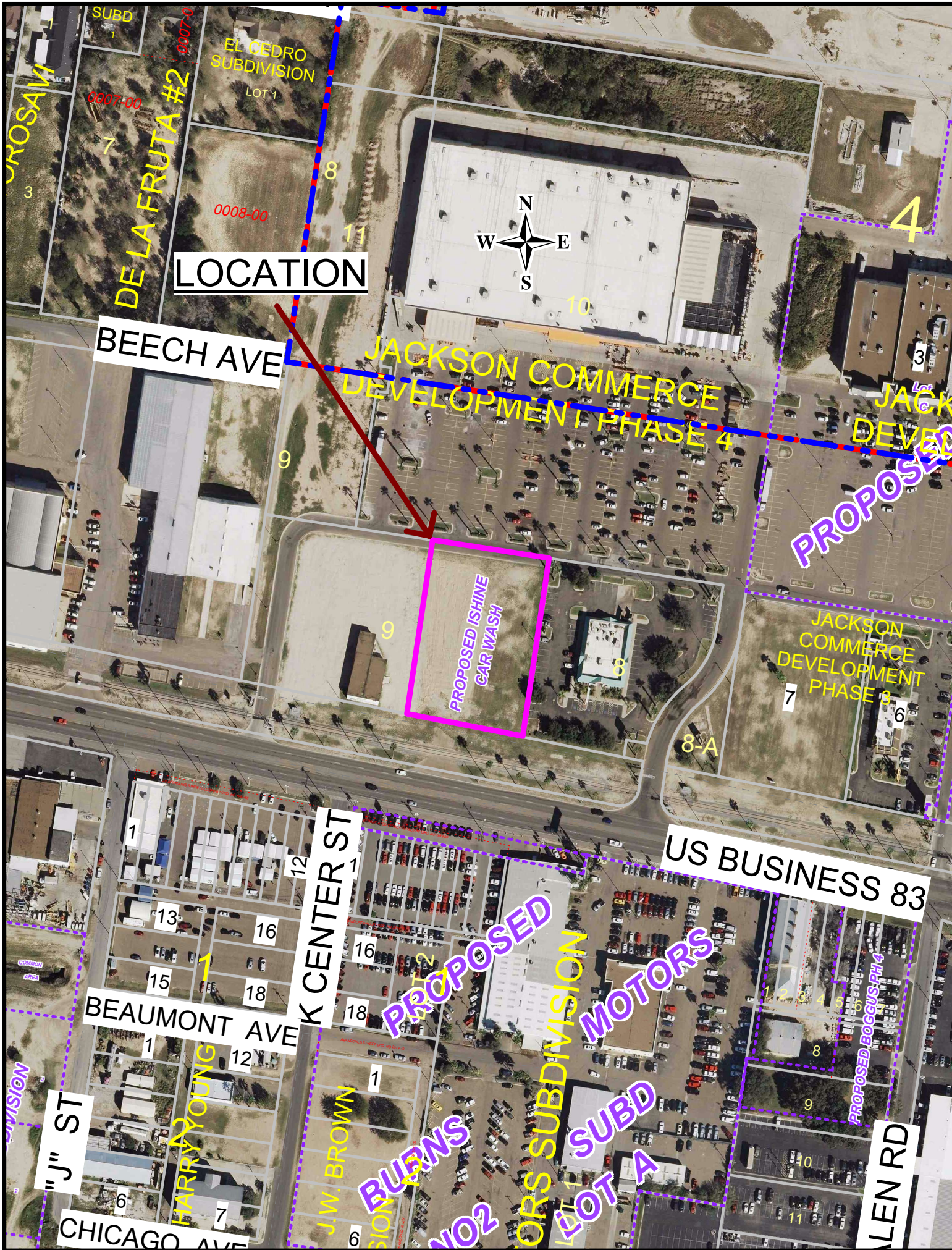
SETBACKS	
<ul style="list-style-type: none"> * Front: Proposed 45 ft. or in line with average setback of existing structures, or easement, whichever is greater. -Clarify proposed setback notes and ensure compliance with minimum setback requirements and as noted on recorded subdivision plat, prior to final. ****Zoning Ordinance: Section 138-356 	Applied
<ul style="list-style-type: none"> * Rear: Proposed 10 ft. or greater for easements. -Clarify proposed setback and ensure compliance with minimum setback requirements as noted on recorded subdivision plat, prior to final. ****Zoning Ordinance: Section 138-356 	Applied
<ul style="list-style-type: none"> * Sides: Proposing 6 ft. or greater for easements, whichever is greater. - Clarify proposed setback and ensure compliance with minimum setback requirements and as noted on existing recorded subdivision, prior to final. ***Zoning Ordinance: Section 138-356 	Applied
<ul style="list-style-type: none"> * Corner: 10 ft. or greater for easements. **Zoning Ordinance: Section 138-356 	NA
<ul style="list-style-type: none"> * Garage: 18 ft. except where greater setbacks are required; greater setback applies. ***Zoning Ordinance: Section 138-356 	NA
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
<ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required along E. Business Highway 83. *Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements. **Land Fronting property is owned by the Missouri Pacific Railroad company, this requirement does not apply. ***Subdivision Ordinance: Section 134-120 	NA
* Perimeter sidewalks must be built or money escrowed if not built at this time.	NA
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46 	Applied
<ul style="list-style-type: none"> * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46 	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted. As per Traffic Department: No Direct Access to Hwy 83 would be granted, Egress and Ingress to and from the development would be through the dedicated private easement. **Must comply with City Access Management Policy 	Applied
<ul style="list-style-type: none"> *Per recorded plat, needs to add note that says the following: "Site Plan must be approved by the Planning and Zoning Commission prior to issuance of any building permits." 	Applied
* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>*Access Easement on North side of Lot 9A proposed as per recorded lot. **Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	NA
	NA
	NA
LOT REQUIREMENTS	
<p>* Lots fronting public street: Lot 9A has no frontage on the street but has a shared access easement along the north side of the lot. Variance granted on August 25, 1997 by the City Commission to allow lots not to front a public street as part of the original subdivision. **Subdivision Ordinance: Section 134-1</p> <p>*Minimum Lot width and lot area: Lot 9A has no frontage on the street but has a shared access easement along the north side of the lot. Variance granted on August 25, 1997 by the City Commission to allow lots not to front a public street as part of the original subdivision. **Zoning Ordinance: Section 138-356"</p>	Applied
	Applied
ZONING/CUP	
<p>* Existing I-1 Proposed C-3L. **As noted on application, the proposed zoning is C-3L needs to verify zoning prior to final and revise applications as needed. ***Zoning Ordinance: Article V</p> <p>* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V</p>	Required
	Required
PARKS	
<p>* Land dedication in lieu of fee. As per Parks Department, properties in Commercial Zoning are not subject to Parks Department requirements. If switching to residential, park requirements apply.</p> <p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. If switching to residential, park requirements apply.</p> <p>* Pending review by the Parkland Dedication Advisory Board and CC. If switching to residential, park requirements apply.</p>	NA
	NA
	NA
TRAFFIC	
<p>* As per Traffic Department, TG Approved, no TIA required.</p> <p>* Traffic Impact Analysis (TIA) required prior to final plat. As per Traffic Department, TG Approved, no TIA required.</p>	Applied
	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

COMMENTS	
<p>Comments:</p> <p>**For this replat, finalize inclusion of remainder portion of lot 9, prior to final as part of this replat. Please notify our department on the status of this procedure.</p> <p>**If any easements proposed to be abandoned, requirements would need to be completed prior to final.</p> <p>**If changing or removing restrictions or notes, vacate and replat will be required.</p> <p>**Existing plat notes remain as noted on recorded plat.</p> <p>**Need to label legal descriptions of the surrounding properties on the plat.</p> <p>**Provide Documents of the R.O.W. for staff review.</p> <p>- Must Comply with all department requirements prior to Final.</p> <p>- Must Comply with all department requirements prior to Recording.</p> <p>*Must comply with City's Access Management Policy.</p>	Required
RECOMMENDATION	
RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO THE CONDITIONS NOTED.	Applied



LOCATION

BEECH AVE

JACKSON COMMERCIAL DEVELOPMENT PHASE 4

JACKSON COMMERCIAL DEVELOPMENT PHASE 3

PROPOSED ISHINE CAR WASH

US BUSINESS 83

BEAUMONT AVE

K CENTER ST

HARRY YOUNG

JW BROWN

CHICAGO AVE

"J" ST

BUENS VISION NO2

ORS SUBDIVISION LOT A

PROPOSED MOTORS

PROPOSED BOCGUS PH 4

LEN RD



City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

SUB2024-0070

Project Information	Subdivision Name	<u>KMB SUBDIVISION</u> ^{RPS}		
	Legal Description	<u>NELSON ADDITION W50' LOTS 5 & 6 & S25'-W50' LOT 4 BLK 1</u>		
	Location	<u>821 South 16th Street</u>		
	City Address or Block Number			
	Total No. of Lots	<u>2</u>	Total Dwelling Units	<u>2</u>
	Gross Acres	<u>0.14</u>	Net Acres	<u>0.14</u>
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No			
	For Fee Purposes: <input type="checkbox"/> Commercial (<u> </u> Acres) / <input checked="" type="checkbox"/> Residential (<u>2</u> Lots) Replat: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No			
	Existing Zoning	<u>R3T</u> ^{RPS}	Proposed Zoning	<u>R3T</u> ^{RPS}
	Applied for Rezoning	<input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date <u> </u>		
Existing Land Use	<u>TOWNHOMES</u>			
Proposed Land Use	<u>TOWNHOMES</u>			
Irrigation District #	<u>NONE</u>	Water CCN:	<input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other <u> </u>	
Agricultural Exemption:	<input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Property ID: <u>244826</u> <u>I.D.L</u>			
Estimated Rollback Tax Due	<u>N/A</u> Tax Dept. Review <u>NPG</u>			
Owner	Name	<u>DE LA FUENTE INVESTMENTS LLC</u>		
	Address	<u>520 E NEWPORT LN</u>		
	City	<u>McALLEN</u>	State	<u>TX</u> Zip <u>78501</u>
Developer	Name	<u>SAMES INC.</u>		
	Address	<u>200 S. 10TH STREET, SUITE 1500</u>		
	City	<u>McALLEN</u>	State	<u>TX</u> Zip <u>78501</u>
	Contact Person	<u>LUIS BRANDO HERNANDEZ</u>		
Engineer	Name	<u>MARIO A GARCIA</u>		
	Address	<u>200 S. 10TH STREET, SUITE 1500</u>		
	City	<u>McALLEN</u>	State	<u>TX</u> Zip <u>78501</u>
	Contact Person	<u>MARIO A GARCIA</u>		
Surveyor	Name	<u>LEO L. RODRIGUEZ, JR.</u>		
	Address	<u>200 S. 10TH STREET, SUITE 1500</u>		
	City	<u>McALLEN</u>	State	<u>TX</u> Zip <u>78501</u>

JUN 21 2024

BY: CW

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 06/21/2024

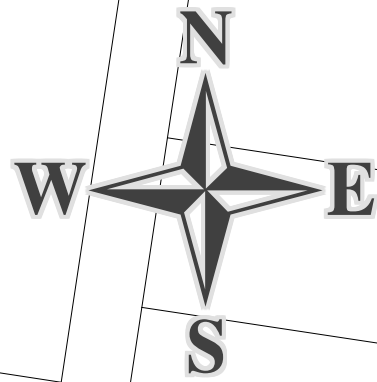
Print Name LUIS BRANDO HERNANDEZ

Owner ☐ Authorized Agent ☒

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

HOUSTON AV

LOCATION



16TH ST



ITHACA AV

PROPOSED
LAW OFFICE OF ALEJANDRO
GUERRA SUBD



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 7/3/2024

SUBDIVISION NAME: KMB SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Ithica Avenue: 10 ft. ROW dedication as required for 30 ft. from centerline for a 60 ft. total ROW.

Paving: 40 ft. Curb & gutter: both sides

- Label total ROW after accounting for dedication, prior to final.

- Reference document number on the plat for the existing ROW and provide a copy for staff review as applicable, prior to final.

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Non-compliance

South 16th Street: 10 ft. ROW dedication as required for 30 ft. from centerline for a 60 ft. total ROW.

Paving: 40 ft. Curb & gutter: both sides

- Label total ROW after accounting for dedication, prior to final.

- Reference document number on the plat for the existing ROW and provide a copy for staff review as applicable, prior to final.

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Non-compliance

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Applied

* 1,200 ft. Block Length

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac

**Subdivision Ordinance: Section 134-105

Applied

Applied

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial/multi-family properties

- As per Public Works Department this subdivision will utilize residential collection.

**Subdivision Ordinance: Section 134-106

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SETBACKS	
* Front: (South 16th Street) Lot 1: In accordance with the Zoning Ordinance or in line with average setbacks of existing structures or greater for easements, whichever is greater applies. (Ithica Avenue) Lot 2: In accordance with the Zoning Ordinance or in line with average setbacks of existing structures or greater for easements, whichever is greater applies. - Revise front setback as shown above, prior to final. **Zoning Ordinance: Section 138-356 & 367	Non-compliance
* Rear: In accordance with Zoning Ordinance or greater for easements. - Revise plat note as shown above, prior to final. **Zoning Ordinance: Section 138-356	Non-compliance
* Sides: In accordance with the Zoning Ordinance or greater for easements - Revise plat note as shown above, prior to final. **Zoning Ordinance: Section 138-356	Non-compliance
* Corner: In accordance with Zoning Ordinance or greater for easements. - Revise plat note as shown above, prior to final. **Zoning Ordinance: Section 138-356	Non-compliance
* Garage: 18 ft. except where greater setback is required, greater setback applies. - Include a plat note as shown above, prior to final. **Zoning Ordinance: Section 138-356	Non-compliance
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 4 ft. wide minimum sidewalk required on Ithica Avenue and South 16th Street **Subdivision Ordinance: Section 134-120	Applied
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. - Revise plat note as shown above, prior to final. **Landscaping Ordinance: Section 110-46	Non-compliance
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
NOTES	
* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy	Applied
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	Applied
* Common Areas, any private drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. - Include a plat note as shown above, prior to final.	Non-compliance
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	NA
<ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	NA
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets **Subdivision Ordinance: Section 134-1 	Applied
<ul style="list-style-type: none"> * Minimum lot width and lot area **Zoning Ordinance: Section 138-356 	Applied
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: R-3T Proposed: R-3T **City Commission approved a rezoning request from R-2 to R-3T on April 22, 2024. ***Zoning Ordinance: Article V 	Applied
<ul style="list-style-type: none"> * Rezoning Needed Before Final Approval **City Commission approved a rezoning request from R-2 to R-3T on April 22, 2024. ***Zoning Ordinance: Article V 	Applied
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. 	NA
<ul style="list-style-type: none"> * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. If number of lots/dwelling units changes, park fees will be adjusted accordingly, prior to recording. 	Required
<ul style="list-style-type: none"> * Pending review by the City Manager's Office. 	NA
TRAFFIC	
<ul style="list-style-type: none"> * As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. - As per Traffic Department, Trip Generation is waived for 2 lot townhouse subdivision. 	Applied
<ul style="list-style-type: none"> * Traffic Impact Analysis (TIA) required prior to final plat. 	NA
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> - Owner's signature block must comply with requirements set forth in Section 134-61. - Clarify if utility easement will be dedicated by plat or separate document. - Any abandonments must be done by separate document, not by plat. - Subdivision needs to be renamed to "Nelson Addition Lots 5A and 6A Subdivision", prior to final. Application will need to be revised to reflect the name change as well. <p>*Must comply with City's Access Management Policy.</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVAL.	Applied

HOUSTON AV

LOCATION



16TH ST

PROPOSED
KMB SUBDIVISION

ITHACA AV

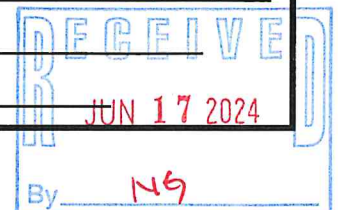
PROPOSED
OFFICE OF ALEJANDRO
SUBD

City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

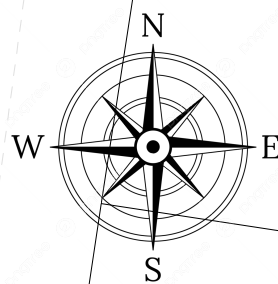
Project Information	Subdivision Name	SOUTH FORK SUBD.		
	Legal Description	0.16 AC. 0/0 LOT 11, RANCHO DE LA FRUTA SUBD. NO. 1, H.C.T.		
	Location	1/4 - 120' SOUTH OF E. FRESNO AVE. ALONG W.		
	City Address or Block Number	604 South Peking St. SIDE OF S. PEKING ST.		
	Total No. of Lots	1	Total Dwelling Units	1
	Gross Acres	0.16	Net Acres	0.15
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated		within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial (___ Acres) / <input checked="" type="checkbox"/> Residential (1 Lots)		Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	Existing Zoning	R-1	Proposed Zoning	R-1
	Applied for Rezoning	<input type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____		
Existing Land Use	RESIDENTIAL			
Proposed Land Use	RESIDENTIAL			
Irrigation District #	2	Water CCN:	<input checked="" type="checkbox"/> MGPU / <input type="checkbox"/> Sharyland Water SC Other _____	
Agricultural Exemption:	<input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No		Parcel #	267078
Estimated Rollback Tax Due	1500 ⁰⁰	Tax Dept. Review	21050-01-000 0-0011-02	
Owner	Name	MARIE ISABELLE O. GUTIERREZ		
	Address	600 S. PEKING ST.		
	City	McAllen	State	TX
Developer	Name	SAME AS OWNER		
	Address	_____		
	City	_____	State	_____
	Contact Person	_____		
	Zip	_____		
Engineer	Name	DR. D. SALINAS		
	Address	2221 DAFFODIL AVE.		
	City	McAllen	State	TX
	Contact Person	DR. D		
Surveyor	Name	SAME AS ENGINEER		
	Address	_____		
	City	_____	State	_____



SUBD.

4

6



FRESNO AVE

LOCATION



*PROPOSED SOUTHFORK
SUBDIVISION*

PEKING ST

EUC

ROO





City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 7/3/2024

SUBDIVISION NAME: SOUTHFORK SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

South Peking Street: 5 ft. ROW dedication as required for 25 ft. from centerline for a 50 ft. total ROW.

Paving: 32 ft. Curb & gutter: both sides

- Label total ROW after accounting for dedication, prior to final.

- Reference document number on the plat for the existing ROW and provide a copy for staff review as applicable, prior to final.

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Non-compliance

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Applied

* 1,200 ft. Block Length

**Subdivision Ordinance: Section 134-118

Applied

* 900 ft. Block Length for R-3 Zone Districts

**Subdivision Ordinance: Section 134-118

NA

* 600 ft. Maximum Cul-de-Sac

**Subdivision Ordinance: Section 134-105

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial properties

**Subdivision Ordinance: Section 134-106

NA

SETBACKS

* Front: 25 ft. or greater for easements or in line with existing structures, whichever is greater applies.

**Zoning Ordinance: Section 138-356

Applied

* Rear: 10 ft. or greater for easements.

**Zoning Ordinance: Section 138-356

Applied

* Sides: 6 ft. or greater for easements

**Zoning Ordinance: Section 138-356

Applied

* Corner

**Zoning Ordinance: Section 138-356

NA

* Garage: 18 ft. except where greater setback is required; greater setback applies.

**Zoning Ordinance: Section 138-356

Applied

*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SIDEWALKS	
<ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on South Peking Street. - Include a plat note as shown above, prior to final. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time. 	Non-compliance
	Required
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements. 	Applied
	Applied
	Required
NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. * Common Areas, any private drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. - Include a plat note as shown above, prior to final. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	Applied
	Applied
	Non-compliance
	NA
	NA
	NA
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets **Subdivision Ordinance: Section 134-1 * Minimum lot width and lot area **Zoning Ordinance: Section 138-356 	Applied
	Applied
ZONING/CUP	
<ul style="list-style-type: none"> * Existing:R-1 Proposed: R-1 ***Zoning Ordinance: Article V 	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	Applied
PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. The subdivision is proposed to have one single-family lot; therefore a park fee of \$700 must be paid prior to recording.	Required
* Pending review by the City Manager's Office.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.	Applied
- As per Traffic Department, Trip Generation for 1 Lot Single Family Subdivision has been waived.	
* Traffic Impact Analysis (TIA) required prior to final plat.	NA
COMMENTS	
Comments: - Clarify southwest portion of subdivision and utility easement appears to cover that entire corner, prior to final. - Any abandonment must be done by separate document, not by plat. *Must comply with City's Access Management Policy.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVAL.	Applied



RIGHTS 4
SUBD.

ISABE
4

6



FRESNO AVE

LOCATION

PROPOSED SOUTHFORK
SUBDIVISION

PEKING ST

EUC



City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

SUB2023-0134

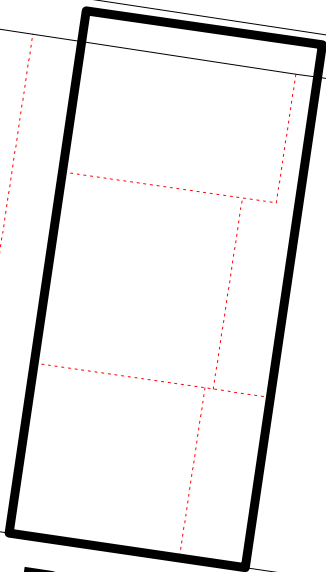
Project Information	Subdivision Name <u>R GV Cold Storages - Boralis USA, Inc</u>	
	Legal Description <u>A 3.953 acre tract of land out of Lot 3, section 4, Hidalgo County Canal Company's Sub. Vol. Q. B. 177</u>	
	Location <u>1100 Military Hwy</u>	
	City Address or Block Number <u>1100 Military Hwy, Mc Allen, TX 78503</u>	
	Total No. of Lots <u>1</u>	Total Dwelling Units _____ Gross Acres <u>3.953</u> Net Acres <u>3.953</u>
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input type="checkbox"/> No	
	For Fee Purposes: <input checked="" type="checkbox"/> Commercial (<u>3.953</u> Acres) / <input type="checkbox"/> Residential (_____ Lots) Replat: <input type="checkbox"/> Yes / <input type="checkbox"/> No	
	Existing Zoning <u>C-3</u> Proposed Zoning <u>I-1</u> Applied for Rezoning <input type="checkbox"/> No / <input checked="" type="checkbox"/> Yes: Date <u>10.10.23</u>	
	Existing Land Use <u>commercial</u> Proposed Land Use <u>Industrial</u>	
	Irrigation District # <u>3</u> Water CCN: <input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other _____	
Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # <u>189319, 189322, 189321, 189318</u>		
Estimated Rollback Tax Due <u>0</u> Tax Dept. Review <u>WPG</u>		
Owner	Name <u>Boralis USA, Inc</u>	Phone <u>(956) 239. 2150</u>
	Address <u>6713 S. 40th St.</u>	E-mail <u>jescortez37@hotmail.com</u>
	City <u>Mc Allen</u>	State <u>TX</u> Zip <u>78503</u>
Developer	Name <u>St. John River Group</u>	Phone <u>(956) 239 2150</u>
	Address <u>6713 S. 40th St.</u>	E-mail <u>jescortez37@hotmail.com</u>
	City <u>Mc Allen</u>	State <u>TX</u> Zip <u>78503</u>
	Contact Person <u>Jesus Cortez</u>	
Engineer	Name <u>CHLH Engineering, LLC</u>	Phone <u>(956) 222.5423</u>
	Address <u>701 S. 15th St.</u>	E-mail _____
	City <u>Mc Allen</u>	State <u>TX</u> Zip <u>78501</u>
	Contact Person <u>Cloromiro Hinajosa</u>	
Surveyor	Name <u>RC Consulting and Mapping</u>	Phone <u>(956) 960 8061</u>
	Address <u>2112 S. Sharyld. Ste 20</u>	E-mail <u>Roycastillosurvey@gmail.com</u>
	City <u>Mission</u>	State <u>TX</u> Zip <u>78572</u>

189320

KF



LOCATION



MILITARY HIGHWAY

10TH ST

10TH ST

PROPOSED

6400

INDUSTRIAL CENTER

SUBDIVISION

VANESSA AVE

12TH ST

BDIVISION⁸

TBPE FIRM No. F-8719
701 S. 15th STREET McALLEN, TX. 78501
(954) 487 5540 (954) 487 5541 FAX



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 7/5/2024

SUBDIVISION NAME: RGV COLD STORAGES - BORALIS USA, INC

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Military Highway (F.M. 1016): Dedication as needed for 75 feet from centerline for 150 feet total ROW.

Paving: 65-105 ft. Curb & gutter: Both sides

- Show the document number for any existing ROW on the plat and provide a copy for staff review prior to recording.

- Show and label ROW dedication from centerline and total ROW after accounting for ROW dedication.

- Lot line after ROW dedication must be solid line but not as bold as the original subdivision boundary. Revise as applicable prior to recording.

- Clarify the gas line shown the existing ROW prior to recording.

- A detail might be needed for the IRF BEARS information on the southeast corner of the property as it seems to be 1.03 ft. long but it's not clear without detail. Revise as applicable prior to recording.

***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

***Monies must be escrowed if improvements are not constructed prior to recording.

E/W Quarter Mile Collector (north boundary): Dedication as needed for 30 feet from centerline for 60 feet total ROW.

Paving: 40 ft. Curb & gutter: both sides

- Show and label Centerline, prior to recording.

- Show the lot line after ROW dedication with a solid line, not dashed line, prior to recording.

- Show ROW from centerline to lot line and total ROW after accounting for ROW dedication.

- Street names will be assigned by City prior to recording.

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed for improvements prior to recording

**COM Thoroughfare Plan

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

* 1,200 ft. Block Length

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac

**Subdivision Ordinance: Section 134-105

Required

Required

Applied

Applied

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial/industrial properties.

- Proposing: A minimum 24 ft. private service drive for City Services to be established as part of site plan and must be maintained by lot owner and not the City of McAllen.

**Subdivision Ordinance: Section 134-106

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SETBACKS	
<ul style="list-style-type: none"> * Front: In accordance with the zoning ordinance, or greater for easements, or in line with average existing structures, or approved site plan, whichever is greater applies. - Revise the setback note as shown above prior to recording. - Proposing: 45 ft. or greater for easements, or in line with existing, whichever is greater applies **Zoning Ordinance: Section 138-356 & 138-367 	Required
<ul style="list-style-type: none"> * Rear: In accordance with the zoning ordinance, or greater for easements, or approved site plan, whichever is greater applies. - Revise the setback note as shown above prior to recording. - Proposing: 10 ft. or greater for easements **Zoning Ordinance: Section 138-356 	Required
<ul style="list-style-type: none"> * Sides: In accordance with the zoning ordinance, or greater for easements, or approved site plan, whichever is greater applies. - Revise the setback note as shown above prior to recording. - Proposing: 6 ft. or greater for easements **Zoning Ordinance: Section 138-356 	Required
<ul style="list-style-type: none"> * Corner **Zoning Ordinance: Section 138-356 	NA
<ul style="list-style-type: none"> * Garage **Zoning Ordinance: Section 138-356 	NA
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
<ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on Military Highway and E/W Collector Street. - Plat note wording and street name to be finalized prior to recording. **Subdivision Ordinance: Section 134-120 	Required
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46 	Applied
<ul style="list-style-type: none"> * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46 	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
NOTES	
<ul style="list-style-type: none"> - Shared driveway/access easement must meet Traffic Department requirements prior to recording. **Must comply with City Access Management Policy 	Required
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	Required
* Common Areas, service drives, etc. must be maintained by the lot owners and not the City of McAllen.	Applied
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	Applied

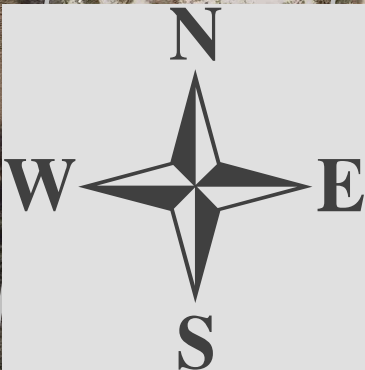
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	NA
<ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	NA
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets **Subdivision Ordinance: Section 134-1 	Applied
<ul style="list-style-type: none"> * Minimum lot width and lot area **Zoning Ordinance: Section 138-356 	Applied
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: I-1 Proposed: I-1 * City Commission approved a rezoning request (REZ2023-0051) for the subject property from C-3 to I-1 District on December 11, 2023. ***Zoning Ordinance: Article V 	Applied
<ul style="list-style-type: none"> * Rezoning Needed Before Final Approval * City Commission approved a rezoning request (REZ2023-0051) for the subject property from C-3 to I-1 District on December 11, 2023. ***Zoning Ordinance: Article V 	Applied
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. ** As per the application submitted on November 28, 2023, the proposed development is for industrial use. Park fees do not apply to industrial developments. 	NA
<ul style="list-style-type: none"> * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording ** As per the application submitted on November 28, 2023, the proposed development is for industrial use. Park fees do not apply to industrial developments. 	NA
<ul style="list-style-type: none"> * Pending review by the City Manager's Office. ** As per the application submitted on November 28, 2023, the proposed development is for industrial use. Park fees do not apply to industrial developments. 	NA
TRAFFIC	
<ul style="list-style-type: none"> * As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. - Trip Generation approved, no TIA required. 	Applied
<ul style="list-style-type: none"> * Traffic Impact Analysis (TIA) required prior to final plat. 	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none">- Reference the document number for the gas easement and add dimensions from the lot corners to the gas easement prior to recording.- Any abandonment must be done by separate process and not the plat prior to recording.- Include the legal description of all adjacent properties on all sides, including on the south side of Military Highway, prior to recording.- All signature blocks must comply with Sec. 134-61 of the subdivision ordinance prior to recording.- Legal description underneath the subdivision name and metes & bounds don't match, clarify correct legal description prior to recording.- Include interior lot dimensions and dimensions for utility easements.- Subdivision boundary dimension on the south side is covered by some other information. Review and revise as applicable prior to recording.- Subdivision must comply with all development departments requirements as applicable prior to recording.- If any development department has any requirement which must be addressed prior to final, those requirements must be addressed and finalized prior to final. <p>*Must comply with City's Access Management Policy.</p>	Required
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO THE CONDITIONS NOTED.	Applied

LOCATION



-10

+12

-03

-04

-07

-02

-05

-06

3

MILITARY HIGHWAY

10TH ST

570

PROPOSED

6400

INDUSTRIAL CENTER

SUBDIVISION

VISION 8

10TH ST

VANESSA AVE

10TH ST

P	PRESENT
A	ABSENT
MC	MEETING CANCELLED
LQ	LACK OF QUORUM

2024 ATTENDANCE RECORD FOR PLANNING AND ZONING COMMISSION MEETINGS

[illegible]

2024 ATTENDANCE RECORD FOR PLANNING AND ZONING COMMISSION WORKSHOPS

[illegible]