

AGENDA

PLANNING & ZONING COMMISSION REGULAR MEETING

TUESDAY, JULY 7, 2020 - 3:30 PM

MCALLEN CITY HALL, 1300 HOUSTON AVENUE

CITY COMMISSION CHAMBERS, 3RD FLOOR

At any time during the course of this meeting, the Planning & Zoning Board may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

INVOCATION

1) MINUTES:

- a) Minutes for Regular Meeting held on June 16, 2020

2) SITE PLAN:

- a) Revised Site Plan approval for Lot 3-A, Plaza Del Norte Phase I-A Subdivision, 7501 North 10th Street. **(SPR2020-0015)**

3) CONSENT:

- a) B.B.E. Ranch Subdivision; 909 East Whalen- Cynthia Molina **(Revised Final) (SUB2019-0058)** SEA

4) SUBDIVISIONS:

- a) The Villas on Freddy Phase II Subdivision; 1500 Freddy Gonzalez Road- The Villas on Freddy, LLC **(Final) (SUB2020-0039)** M&H
- b) The Tree Apartments Subdivision; 1001 South Taylor Road- Majima, LLC **(Final) (SUB2020-0040)** TE
- c) Santoy Subdivision; 3321 U.S. Highway 83- Juan Santoy **(Preliminary) (SUB2020-0041)** SEC
- d) Flores Estates Subdivision; 5121 State Highway 107- Juan and Antonia Flores **(Preliminary) (SUB2020-0042)** Altex
- e) La Contessa Subdivision; 609 South Bentsen Road- Gabriel Sosa and Blanca L. Garza **(Preliminary) (SUB2020-0043)** SEA
- f) Olvera Subdivision; 4509 Buddy Owens Boulevard- Jose Tellez Olvera **(Revised Preliminary) (Tabled: 06/02/20) (Remained Tabled: 06/16/20) (SUB2020-0022)** SEA

5) PUBLIC HEARING

a) CONDITIONAL USE PERMITS:

- 1.** Request of Jared W. Doxey, on behalf of The Church of Jesus Christ of Latter-Day Saints for a Conditional Use Permit, for the life of the use, for an Institutional Use (church) at a 10.615-acre tract of land out of Lot 16, Section 13, Hidalgo Canal Company Subdivision, Hidalgo County, Texas; 7301 North 2nd Street. **(CUP2020-0057) (Tabled: 06/16/20)**

6) INFORMATION ONLY:

- a)** City Commission Actions: June 22, 2020

ADJOURNMENT:

IF ANY ACCOMMODATIONS FOR A DISABILITY ARE REQUIRED, PLEASE NOTIFY THE PLANNING DEPARTMENT (681-1250) 72 HOURS BEFORE THE MEETING DATE. WITH REGARD TO ANY ITEM, THE PLANNING & ZONING COMMISSION MAY TAKE VARIOUS ACTIONS, INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR PARTICULAR ACTION AT A FUTURE DATE.

STATE OF TEXAS
COUNTY OF HIDALGO
CITY OF McAllen

The McAllen Planning and Zoning Commission convened in a Regular Meeting & Public Hearing on Tuesday, June 16, 2020 at 3:37 p.m. in the McAllen City Hall City Commission Room at 1300 Houston Avenue, McAllen, Texas.

Present:	Pepe Cabeza de Vaca Daniel Santos Michael Hovar Rogelio Cervantes Gabriel Kamel Michael Fallek	Chairperson Vice-Chairperson Member Member Member Member
Absent:	Jose Saldana	Member
Staff Present:	Evaristo Garcia Michelle Rivera Edgar Garcia Rodrigo Sanchez Berenice Gonzalez Jose De La Garza Jr. Kaveh Forghanparast Lilliana Garza Juan Martinez Bilkis Olazaran Martinez Martina Mejia Claudia Mariscal	Assistant City Attorney Assistant City Manager Director Senior Planner Planner III Planner III Planner II Planner II Development Coordinator Engineering Department (Virtual) Traffic Department Administrative Secretary

CALL TO ORDER- Pepe Cabeza de Vaca, Chairperson

Meeting held via Teleconference and Video Conference.

PLEDGE OF ALLEGIANCE

INVOCATION- Mr. Rogelio Cervantes

1) MINUTES:

- a)** Minutes for Regular Meeting held on June 2, 2020.

The minutes for the regular meeting held on June 2, 2020 were approved as submitted. The motion to approve was made by Mr. Gabriel Kamel. Mr. Daniel Santos seconded the motion, which carried unanimously with six members present and voting.

2) ABANDONMENT:

- a)** Request to Abandon A 20 FT. X 1926.16 Right-Of-Way out of Lot 11 and 12, Section 5, Hidalgo Canal Company Subdivision, Hidalgo County, Texas; 4900 South Old 10th Street **(ABD2019-0004)**

Ms. Gonzalez stated that this was a request of Elio J. Botello, to abandon a 20 ft. x 1926.16 right-of-way out of Lot 11 and 12, section 5, Hidalgo Canal Company Subdivision. The property is vacant

and is located on the west side of S. Old 10th Street, approximately 1300 ft. north of West Military Highway (FM 1016), and is zoned I-1 (light commercial) District. The adjacent zoning includes the McAllen Public Utilities Water Reservoir and A-O (agricultural - open space) District to the north and I-1 District to south, east and west. Surrounding land uses include vacant land, junk yards, and a trailer repair shop. The basis for the request is that the owner would like to subdivide Lots 11 and 12 to develop a business park.

The Right-of-Way Department has notified the various departments and utility companies regarding the request. The Right-of-Way Department is recommending approval of the abandonment request subject to the abandonment not taking effect and ordinance will not be recorded until the following conditions are met: 1) The replat of the subdivision being recorded.

Staff recommended approval of the request subject to the abandonment not taking effect and ordinance will not be recorded until the following conditions are met: 1) The replat of the subdivision being recorded.

After a brief discussion, Mr. Gabriel Kamel moved to approve with conditions noted. Mr. Daniel Santos seconded the motion, which was approved with six members present and voting.

3) SITE PLAN:

- a) Site Plan approval for Lot 6B, Valencia Marketplace Lot 6A, 6B, and 6C Subdivision; 1300 Trenton Road. **(SPR2020-0012)** DP

Ms. Garza stated that the property was located on the north side of Trenton Rd., approximately 817 ft. west of North 10th Street. The property was vacant and was zoned C-3 (general business) District. The adjacent zoning is C-3 (general business) Districts to the north, east, and west and R-3A (multifamily residential apartments) District to the south. Surrounding land uses include Panda Express restaurant, Sam's Club, PlainsCapital Bank, Del Oro Apartments, and Morris Middle School.

The original plat was recorded under the name of Valencia Marketplace, Block 1 Lot 6 and the owner has re-platted the property into a three-lot subdivision under the name of Valencia Marketplace Subdivision Lots 6A, 6B, and 6C, which was recorded on May 20, 2019. A note on the plat indicates that a site plan must be approved by the Planning and Zoning Commission prior to building permit issuance.

The applicant was proposing to construct a 19,573 sq. ft. building for retail/restaurant use on property. Based on 11,173 sq. ft. of restaurant use (112 parking spaces are required); and 8,400 sq. ft. of retail use (24 parking spaces are required) for a combined total of 136 parking spaces required; 139 parking spaces are provided. Five of the proposed parking spaces must be accessible, one of which must be van accessible with an 8 ft. wide aisle. Access to the site is proposed to be from N. 10th Street and Trenton Road. These curb cuts for access connect to private interior drives, which will provide access to all the lots. The required landscaping for the site is 15,512 sq. ft. with trees required as follows: 33 - 2 ½" caliper trees, or 17 - 4" caliper trees, or 9 - 6" caliper trees, or 66 palm trees. A minimum 10 ft. wide landscaped strip is proposed inside the property line along private drives and Trenton Road. Fifty percent of landscape must be visible in front areas, and each parking space must be within 50 ft. of a landscape area with tree, as required by ordinance. A 4 ft. sidewalk exists along Trenton Road and site plan also shows additional

sidewalks provided on portions of the private interior drive. A 6 ft. buffer is required around the dumpster is visible from the street. No structures are permitted over easements. All setbacks will be in compliance with the plat note requirements and the zoning ordinance.

Staff recommended approval of the site plan subject to the conditions noted, Public Works Department requirements, paving and building permit requirements, and the subdivision and zoning ordinances.

Being no discussion, Mr. Gabriel Kamel **moved** to approve with conditions noted. Mr. Rogelio Cervantes seconded the motion, which was approved with six members present and voting.

4) CONSENT:

a) Nolana Retail Subdivision; 1300 East Nolana Avenue – South Padre Retail Center LTD (Final) (SUB2020-0036) AEC

E. Nolana Avenue had 60 ft. from centerline for 120 ft. ROW with 65 ft. of paving and curb & gutter on both sides. N. "K" Center St.: 72-105 ft. ROW with 44 ft. of paving and curb & gutter on both sides. 800 ft. Block Length. ROW: 20 ft. Paving: 16 ft. for alley/service drive easement required for commercial properties. In lieu of an alley, plat provides for a 28-36 ft. wide paved private service drive easement as shown on Lot 1. See lot 2 drive below. Plat submitted May 28, 2020 had a plat note indicating private service drive will be extended through Lot 2 and west to N. "K" Center Street upon Lot 2 development. Front setbacks for E. Nolana Avenue had 60 ft., or greater for easements or approved site plan. N. K. Center Street had 35 ft. or greater for easements or approved site plan. Rear setbacks were in accordance with zoning ordinance or greater for easements or approved site plan. Sides: In accordance with zoning ordinance or greater for easements, or approved site plan. Corner: N. "K" Center Street had 35 ft. or greater for easements or approved site plan. All setbacks are subject to increase for easements or approved site plan. A 5 ft. wide minimum sidewalk was required on E. Nolana Avenue and 4 ft. wide minimum sidewalk was required on N. "K" Center St. Perimeter sidewalks must be built or money escrowed if not built at this time. A 6 ft. opaque buffer was required from adjacent/between multi-family residential and commercial, and industrial zones/uses. An 8 ft. masonry wall was required between single-family residential and commercial, industrial, or multi-family residential zones/uses. Perimeter buffers must be built at time of Subdivision Improvements. Per Traffic Department, curb cut has been approved for the east-most access, movements will be restricted to exit only and right turn only. Site plan must be approved by the Planning and other Development Departments prior to building permit issuance. Common areas, private streets must be maintained by the lot owners and not the City of McAllen. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Minimum lot width and lot area. Rezoning Needed Before Final Approval. Trip Generation to determine if TIA is required, prior to final plat. Per Traffic Department, need to submit Trip Generation to determine if a TIA will be required, prior to final. Per Traffic Department Trip Generation has been completed, TIA will be required prior to final. Traffic Impact Analysis (TIA) required prior to final plat. Per Traffic Department, TIA has been approved with conditions for the east-most access; movements will be restricted to exit only and right turn only. Must comply with City's Access Management Policy.

Staff recommended approval of the subdivision in final form, subject to the conditions noted.

Being no discussion, Mr. Daniel Santos **moved** to approve based on the conditions. Mr. Gabriel

Kamel seconded the motion, which was approved with six members present and voting.

**b) McAllen Townsite Subdivision; 500 South 11th Street- Lucas Castillo Jr. (Final)
(SUB2020-0037) AC**

S. 11th Street: 32.5 ft. from centerline for 65 ft. ROW existing 40 ft. of paving and curb & gutter on both sides. Erie Avenue had 5 ft. dedication required for 50 ft. ROW with existing 30 ft. of paving and curb & gutter on both sides. 800 ft. Block Length. ROW: 20 ft. Paving: 16 ft. for alley/service drive easement required for commercial properties. Existing alley approximately 32 ft. to the west. Front setbacks along S. 11th Street had 32.5 ft. or greater for approved site plan or easements, or in line with the average setbacks of existing structures, whichever is greater. Rear setbacks were in accordance with the Zoning Ordinance or greater for easements or approved site plan. Interior side setbacks were in accordance with the Zoning Ordinance or greater for easements or approved site plan. Corner setbacks were 10 ft. or greater for easements or approved site plan. All setbacks are subject to increase for easements or approved site plan. A 4 ft. wide minimum sidewalk was required on S. 11th Street and Erie Avenue. Perimeter sidewalks must be built or money escrowed if not built at this time. A 6 ft. opaque buffer was required from adjacent/between multi-family residential and commercial, and industrial zones/uses. An 8 ft. masonry wall was required between single-family residential and commercial, industrial, or multi-family residential zones/uses. Perimeter buffers must be built at time of Subdivision Improvements. Lots fronting public streets. Minimum lot width and lot area. Trip Generation to determine if TIA is required, prior to final plat. Per Traffic Department, Trip Generation has been waived. Must comply with City's Access Management Policy.

Subdivision was approved in final form at the P&Z meeting held June 16, 2020.

Being no discussion, Mr. Daniel Santos **moved** to approve based on the conditions. Mr. Gabriel Kamel seconded the motion, which was approved with six members present and voting.

5) SUBDIVISIONS:

a) The Tree Apartments Subdivision; 1001 South Taylor Road- Majima, LLC (Revised Preliminary) (SUB2017-0055) AC

Ms. Gonzalez stated that the property was located on S. Taylor Road: 10 ft. dedicated for 40 ft. from centerline for an 80 ft. ROW with 52 ft. - 65 ft. of paving and curb & gutter on both sides. Owner must escrow monies for improvements not built prior to plat recording. ROW: 20 ft. Paving: 16 ft. for alley/service drive easement required for commercial properties is the southwest service drive proposed to be used for city services? Front setbacks along S. Taylor Road - 40 ft. or greater for easements Rear: In accordance with the Zoning Ordinance, or greater for easements Side setback were in accordance with the Zoning Ordinance, or greater for easements. Project engineer, on behalf of the developer is requesting a 0 ft. sideyard setback along the north property line for the enclosed garages. However, the site plan shows a 10 ft. utility easement on the north boundary; project engineer to clarify with McAllen Public Utility and revise accordingly. Revised Preliminary plat removed from the table and approved with 0 ft. building setback on the north side only by the Planning and Zoning Commission on October 17, 2017. Engineer needs to clarify request based on the revised 2-lot plat, prior to final. Plat needs to reflect what the proposed setbacks are. Note #3 will need to be revised to correspond with requirements. Engineer needs to submit a letter requesting variance for proposed setbacks, if needed. Need to show setbacks for

new lot line dividing Lots 1 and 2. Engineer submitted a letter on June 2, 2020 requesting a variance for zero-lot line along the south boundary of Lot 1 in lieu of a 6 ft. setback and also a zero-lot line along the south boundary lot line of Lot 2 due to multiple buildings being proposed along that area, these buildings will be at 13'-6" separation. Garage setbacks were 18 ft. except where greater setback is required; greater setback applies. Revise Note #3 regarding garage setbacks as noted above. All setbacks are subject to increase for easements. A 4 ft. wide minimum sidewalk was required on S. Taylor Road. Perimeter sidewalks must be built or money escrowed if not built at this time. A 6 ft. opaque buffer was required from adjacent/between multi-family residential and commercial, or industrial zones/uses and along S. Taylor Road. An 8 ft. masonry wall was required between single-family residential and commercial, industrial, or multi-family residential zones/uses. Site plan must be approved by the Planning Department and other Development Departments prior to building permit issuance. Common Areas, private service drives must be maintained by the lot owners and not the City of McAllen. Park Fee of \$700 per dwelling unit will be required to be paid as per City Commission approval/requirements as agreed on January 13, 2020, January 27, 2020 and February 10, 2020. Per City Commission action on February 10, 2020: Developer to pay \$106,400 within 30 days of closing for Phase I, and the remaining \$106,400 as building permits for Phase I begin to be issued. Considered on December 18, 2019 by the Parkland Dedication Advisory Board and City Commission on January 13, 2020, January 27, 2020, and February 10, 2020. Per City Commission action on February 10, 2020: Developer to pay \$106,400 within 30 days of closing for Phase I, and the remaining \$106,400 as building permits for Phase I begin to be issued. Trip Generation to determine if TIA is required, prior to final plat. Per Traffic Department engineer submitted a TIA in lieu of a Trip Generation. Traffic Impact Analysis (TIA) required prior to final plat. Per Traffic Department TIA is under review. Preliminary plat approved by the Planning and Zoning Commission on September 5, 2017. Revised Preliminary plat removed from the table and approved with 0 ft. building setback on the north side only by the Planning and Zoning Commission on October 17, 2017. City Commission granted the variance to not require S. 49th Street (collector road) at their meeting on September 25, 2017. Per Traffic, the plat must comply with the City's Access Management Policy. Project engineer to coordinate the alignment of driveways with existing drives on the west side of S. Taylor Road. Driveways/Access for S. Taylor Road must be at a spacing of 425 ft. and 200 ft. spacing on future S. 49th Street. Subdivision layout has been revised as 2-lot subdivision instead of the 1-lot originally submitted. Engineer needs to submit a letter requesting variance for proposed setbacks, if needed. Need to show setbacks for new lot line dividing Lots 1 and 2. Engineer has submitted a letter requesting a variance for a zero-lot line on both lots.

Staff recommended approval of the subdivision in revised preliminary form, subject to the conditions noted.

Chairperson Pepe Cabeza de Vaca clarified if the two-lot subdivision was once and one lot subdivision and Ms. Gonzalez confirmed. Mr. Gabriel Kamel asked why the lot was divided, Ms. Gonzalez stated that Ms. Karime was present to answer any questions the board had. Chairperson Pepe Cabeza de Vaca requested Ms. Karime to come up and speak. Ms. Karime explained that it was done because the ones who financed the project requested it. Mr. Fallek asked if they were approving the various points of encroachment and Ms. Gonzalez confirmed that they were encroaching into the 6 feet required and few areas that have 2 feet spacing, however the buildings have 13 feet spacing so it is for the lot line. Chairperson Pepe Cabeza de Vaca noticed that it was also in the parking area, Ms. Gonzalez confirmed. Mr. Hovar was concerned that the applicant was area that all the requirements were meant specifically with Fire Department.

After the discussion, Mr. Michael Hovar **moved** to approve the variance request as submitted and the site plan in the current version subject to the conditions noted and compliance with Building and Fire code. Mr. Rogelio Cervantes seconded the motion, which was approved with six members present and voting.

b) Villas Jardin Lot 34A & 34B; 2800 South 2nd Street- Villas Jardin Homeowner's Association- (Preliminary) (SUB2020-0035) SEC

Mr. De La Garza stated that the property was located South 2nd Street: 60 ft. of existing ROW. Thoroughfare Plan calls for 120 ft. of ROW for that section of South 2nd Street. 65 ft. of paving and curb & gutter on both sides. Existing paving approximately of 48 ft. on South 2nd Street Must label centerline to verify if any dedication is required prior to final. Villas Jardin Drive: 50 ft. existing ROW Paving: 30 ft. approximately of existing paving and curb & gutter on both sides. 800 ft. Block Length. 600 ft. Maximum Cul-de-Sac ROW: 56.5 ft. of alley existing Paving: 38 ft. approximately of existing paving Alley/service drive easement required for commercial properties Parking areas provided as part of the alley area Front: 25 feet or greater for easements. Please revise plat note as shown above. Rear: 25 feet (double fronting lots) or greater for easements. Please revise plat note as shown above. Interior Sides: 6 feet or greater for easements. Please revise plat note as shown above. Corner: 10 feet or greater for easements. Please revise plat note as shown above. Garage: 18 feet or or where greater setback is required, greater setback applies. Please add plat note as shown above. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required along South 2nd Street and Villas Jardin Drive. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along South 2nd Street. 8 ft. masonry wall required between single-family residential and commercial, industrial, or multi-family residential zones/uses, and along South 2nd Street. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along South 2nd Street. Please add plat note as shown above. Site plan must be approved by the Planning and Zoning Commission prior to building permit issuance. Site plan will be reviewed as part of the conditional use permit for the PUD. Common Areas, Private Streets, private alleys, etc. Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Lots fronting public streets. Lots will be fronting onto Villas Jardin Drive. Minimum lot width and lot area. Existing: R-1 Proposed: R-1Rezoning Needed Before Final Approval. Existing conditional use permit for the PUD (Planned Unit Development) will have to be amended prior to final, and will include a site plan. As per Parks Department, park fee of \$700 per dwelling unit to be paid prior to recording (\$700 X 2 = \$1,400) As per Traffic department, Trip Generation has been waived. ust comply with city's access Management policy. Conditional Use Permit required for the PUD prior to final.

Staff recommended approval of the subdivision in preliminary form subject to conditions noted, utilities, and drainage approvals.

After no discussion, Mr. Gabriel Kamel **moved** to approve in preliminary form based on the conditions noted. Mr. Michael Fallek seconded the motion, which was approved with six members present and voting.

**c) LB Montecristo Subdivision; 11001 Montecristo Road— Joaquin Garcia
(Preliminary) (SUB2020-0038) MAS**

Mr. De La Garza stated that the property was located on Monte Cristo Road: 35 ft. of dedication for 75 ft. from centerline for 150 ft. of ROW with paving and curb & gutter to be done by the State. Must escrow monies if improvements are not built prior to recording. Please remove shaded area for 46 ft. of existing pavement. North 112th Street (west boundary collector): 30 ft. ROW dedication required 60 ft. ROW 40 ft. of paving and curb & gutter on both sides. Owner must escrow monies for improvements if not built prior to plat recording. ROW: 20 ft. Paving: 16 ft. for alley/service drive easement required for commercial properties. Front setbacks were 75 ft. or greater for easements. Please revise plat note as shown above. Rear setbacks were proposed 30 ft. or greater for easement. Sides: Proposing 15 ft. or greater for easements. Corner (North 112th Street): 30 ft. or greater for easements. Please add plat note as shown above. All setbacks are subject to increase for easements or approved site plan. A 5 ft. wide minimum sidewalk was required along Monte Cristo Road. and a 4 ft. wide minimum sidewalk along N/S collector road on west boundary of proposed subdivision. Perimeter sidewalks must be built or money escrowed if not built at this time. A 6 ft. opaque buffer was required from adjacent/between multi-family residential and commercial, and industrial zones/uses. An 8 ft. masonry wall was required between single-family residential and commercial, industrial, or multi-family residential zones/uses. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Common Areas, private streets/ service drives must be maintained by the lot owners and not the City of McAllen. Existing: ETJ Proposed: ETJ (Commercial Use). As per Traffic Department, Trip Generation to determine if TIA is required, prior to final plat. Must comply with City's Access Management Policy. As per Traffic and Fire Dept., please submit site plan for staff's review prior to final.

Staff recommended approval of the subdivision in preliminary form subject to conditions noted, and utility and drainage approvals.

Mr. Kamel asked why there was not a use on the application and Mr. De La Garza explained because it was in the ETJ and the City does not regulate zoning.

After discussion, Mr. Gabriel Kamel **moved** to approve in preliminary form subject to conditions noted, utility and drainage approvals. Mr. Daniel Santos seconded the motion, which was approved with six members present and voting.

**d) J. Leal Subdivision; 10800 7 Mile Road – Jesus Leal (Preliminary) (SUB2018-0042)
QHA**

Mr. De La Garza stated that the property was located on Trosper Road: 40 ft. from centerline for 80 ft. ROW with 52 ft. to 65 ft. of paving and curb & gutter on both sides. Must escrow monies if improvements not constructed prior to recording. F.M. 681 (Mile 7 North Road): 115 ft. from centerline shown on plat for 150 ft. ROW existing with paving and curb & gutter to be done by the State. Monies must be escrowed if improvements not constructed prior to recording. Engineer must show distance from centerline to property line to assure compliance with ROW dedication prior to final. ROW: 20 ft. Paving: 16 ft. for alley/service drive easement required for commercial properties. Engineer is proposing a 20 ft. service drive easement on the north side of the property. The minimum width for a service drive easement must be 24 ft. with 20 ft. of paving. Please clarify

width and location of proposed service drive easement prior to final. Front: F.M. 681 (Mile 7 North Road) - 75 ft. or greater for easements Trosper Road- 40 ft. or greater for easements Rear: 25 ft. and 5 ft. from the private drive (from north property line) proposed by the engineer. Need to clarify, but not less than the ordinance; prior to final. Interior West side had a 15 ft. or greater for easements proposed by the engineer. Must clarify if 24 ft. Private Service Drive and Utility Easement will run along west property line prior to final. Corner setbacks along Trosper Road were 40 ft. or greater for easements. All setbacks are subject to increase for easements or approved site plan. As per Engineering Department, a 5 ft. wide minimum sidewalk was required on Trosper Road and F.M. 681 (Mile 7 North Road). Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. An 8 ft. masonry wall was required between single-family residential and commercial, industrial, or multi-family residential zones/uses. Please add plat note as shown above. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along Site plan must be approved by the Planning and Zoning Commission prior to building permit issuance. Plat references site plan required by the county, please clarify. Common areas, private streets/service drives must be maintained by the lot owners and not the City of McAllen Plat note must be added prior to final. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets: Minimum lot width and lot area. Existing: ETJ Proposed: ETJ – Commercial. Per Traffic Department, TG must be submitted to determine if a TIA was required, prior to final. Traffic Impact Analysis (TIA) required prior to final plat. Must comply with City's Access Management Policy As per Traffic Dept., please submit site plan to assure compliance with requirements prior to final. Correct reference to "Moorefield Rd" on Vicinity Map to confirm location of proposed subdivision prior to final. Subdivision approved in Preliminary form, with conditions, at the Planning and Zoning meeting of June 19, 2018.

Staff recommended approval of the subdivision in preliminary form, subject to conditions noted.

Being no discussion, Mr. Daniel Santos **moved** to approve subject to conditions noted. Mr. Rogelio Cervantes seconded the motion, which was approved with six members present and voting.

- e) Olvera Subdivision; 4509 Buddy Owens Boulevard – Jose Tellez Olvera
(Revised Preliminary) (Tabled: 06/02/2020) (06/16/2020) (SUB2020-0033)
SEA

Vice Chairperson Daniel Santos motioned to remove item from table. Mr. Michael Fallek seconded the motion, which was approved with five members present and voting.

Mr. De La Garza stated that the property is located on Buddy Owens Boulevard: 10 ft. ROW dedication by this plat for 60 ft. from centerline for 120 ft. of ROW with Paving and curb & gutter: by the state. Make reference to "10 ft. additional ROW dedicated by this plat" prior to final. Interior N/S Street: 50 ft. of ROW Paving: 32 ft. Curb & gutter: Both sides Cul-de-Sac is required at the south end of property with a minimum of 96 ft. paving diameter face to face as per Fire Department. As per Public Works, ROW is required to be dedicated in order to provide for necessary pavement improvements and Cul-de-Sac design for residential waste collection services. Must escrow monies if improvements are not constructed prior to recording. Engineer submitted a variance letter on May 21, 2020 to not provide the required 50 ft. of ROW, 32 ft. of pavement with curb and gutter on both sides, and to not provide the required cul-de-sac. Instead, the engineer is proposing a 20 ft. caliche access easement with no curb and gutter. 800 ft. Block Length. Block length proposed

is approximately 930 ft., which exceeds the maximum 800 ft., allowed. Engineer submitted a variance letter on May 21, 2020 requesting a variance to this requirement. 600 ft. Maximum Cul-de-Sac. Engineer submitted a variance letter on May 21, 2020 to not provide the required cul-de-sac ROW or 96 ft. paving diameter at the south end of the proposed 20 ft. access easement. Front: 25 ft. or greater for easements on properties facing interior N/S street. **Lot 1: 60 ft. or greater for easements on Buddy Owens Boulevard. Note must be included on plat prior to final. Zoning must be verified by Engineer prior to final to determine required setbacks. If Conditional use Permit is required, it must be approved prior to final. Rear: 10 ft. or greater for easements. (If Zoned R-1) Note must be included on plat prior to final. Zoning must be verified by Engineer prior to final to determine required setbacks. If Conditional use Permit is required, it must be approved prior to final. Interior Sides: 6 ft. or greater for easements. (If Zoned R-1) Note must be included on plat prior to final. Zoning must be verified by Engineer prior to final to determine required setbacks. If Conditional use Permit is required, it must be approved prior to final. Corner: 10 ft. or greater for easements. (If Zoned R-1) Note must be included on plat prior to final. Zoning must be verified by Engineer prior to final to determine required setbacks. If Conditional use Permit is required, it must be approved prior to final. Garage: 18 ft. or greater for easements except where greater setback is required, greater setback applies (If Zoned R-1) Note must be included on plat prior to final. Zoning must be verified by Engineer prior to final to determine required setbacks. If Conditional use Permit is required, it must be approved prior to final. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on both sides of interior street 5 ft. wide minimum sidewalk along Buddy Owens Blvd. as per Engineering Dept. Engineer submitted a variance letter on May 21, 2020 to not provide sidewalks along the interior street and Buddy Owens Blvd. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. 8 ft. masonry wall required between single-family residential and commercial, industrial, or multi-family residential zones/uses. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along Buddy Owens Blvd. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. (For commercial lots on Buddy Owens Boulevard). Common Areas, Private Streets must be maintained by the lot owners and not the City of McAllen. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-70 if a public subdivision. Engineer must clarify if this will be a private or public subdivision prior to final. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Engineer must clarify if subdivision will be private or public prior to final. Lots fronting public streets. Engineer submitted a variance letter on May 21, 2020 to allow Lots 2-6 to front onto a proposed 20 ft. access easement instead of the required street. Lot 1 has more than 50 ft. of frontage onto Buddy Owens Boulevard. Minimum lot width and lot area. Existing: C-3 & R-1 Proposed: R-1 Zoning must be verified by the engineer. If any rezoning or CUP for residence in a C-3 zone required, it must be done prior to final. Rezoning Needed Before Final Approval. Park Fee of \$700 per dwelling unit to be paid prior to recording. Plat submitted April 14, 2020 shows 6 lots. Engineer must clarify use for the 6 lots prior to final to determine amount of park fees required. Parks fees apply at a rate of \$700 per dwelling unit (6 lots X \$700= \$4,200). As per Traffic Department, Trip Generation to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Must comply with City's Access Management Policy As per Public Works Dept., ROW must be dedicated and provide pavement improvements including a turnaround design for residential waste collection service Minimum 96 ft. paving diameter required for Cul-de-Sac as per Fire Dept.

Staff recommended approval of the subdivision in revised preliminary form, subject to conditions noted, utility and drainage approvals, and clarification on variance requests.

The Board members discussed the variances and requested and the engineer Mr. David Salinas was present. The Board recommended Mr. Salinas to talk to the applicant and see if he would be willing to acquire adjacent land to accommodate for the required improvements such as ROW dedication, paving improvements, the require cul-de-sac, etc. Mr. Salinas requested to table his item.

After a brief discussion, Vice Chairperson Daniel Santos **moved** to table the item. Mr. Gabriel Kamel seconded the motion, which was approved with six members present and voting.

Mr. Rogelio Cervantes left the meeting.

6) PUBLIC HEARING:

a) REZONING:

1. Rezone from C-4 (commercial-industrial) District to R-3A (multifamily residential apartments) District: 14.355 acres out of Sections 227 and 232, Texas-Mexican Railway Company Survey, Hidalgo County, Texas; 14800 North Shary Road. **(REZ2019-0029)**

Mr. Forghanparast stated that the property was located at the northeast corner of North Shary Road and Tres Lagos Boulevard. The tract was an irregular-shaped lot with 770.85 ft. of frontage along North Shary Road and 945.25 ft. of frontage along Tres Lagos Boulevard for a lot size of 14.355 acres.

The applicant was requesting to rezone the property to R-3A (multifamily residential apartments) District in order to construct apartments. No feasibility plan had been submitted.

The adjacent zoning was R-1 (single family residential) District to the northeast and C-4 (commercial-industrial) District to the north, east, west, and south.

The property was currently vacant. Surrounding land uses were a public charter school, a university, single-family residential and vacant land.

The Foresight McAllen Comprehensive Plan designated the future land use for this property as City Parks and Suburban Commercial, which were comparable to A-O (agricultural and open space) and C-1 (office building) to C-3L (light commercial) Districts.

The development trend for this area along Tres Lagos Boulevard was single family residential. The tract had been annexed into the city and initially zoned R-1 (single family residential) District in 2014. A rezoning request to C-4 (commercial-industrial) District had been approved in 2015.

The requested zoning did not conform to the City Parks and Suburban Commercial land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, the rezoning request provided opportunities for a variety of housing types throughout the city that responds to

the residents' economic and social lifestyles. The proposed development would be in proximity to compatible uses, a public charter school and a university, since institutional uses were located within residential neighborhoods.

The maximum density in R-3A (multifamily residential apartments) District was 54 one-bedroom units (800 Sq. ft.) per acre or 29 three-bedroom units (1,500 sq. ft.) per acre. Therefore, the maximum number of units for the subject property was approximately 755 one-bedroom or 416 three-bedroom units.

Section 110-49 (a) Vegetation Ordinance required a masonry screen eight ft. in height where a commercial, industrial or multifamily use had a side or rear property line in common with a single-family use or zone.

A recorded subdivision plat and approved site plan were required prior to building permit issuance. Required Park Land dedication or a fee in lieu of land comprising \$700 per dwelling unit was required prior to recording a subdivision plat.

Staff had not received any calls or emails in opposition.

Staff recommended approval of the rezoning request to R-3A (multifamily residential apartments) District.

Mr. Kamel asked what kind of easement was running across the property but Mr. Forghanparast explained that it was just a mark showing the type of zoning.

Chairperson Pepe Cabeza de Vaca asked if there was anyone present in opposition of the proposed rezoning. There were none.

Being no discussion, Mr. Gabriel Kamel moved to approve. Mr. Daniel Santos seconded the motion, which was approved with five members present and voting.

2. Rezone from C-4 (commercial-industrial) District to R-3T (multifamily residential townhouses) District: 2.908 acres out of Sections 227 and 232, Texas-Mexican Railway Company Survey, Hidalgo County, Texas; 15000 North Shary Road. (REZ2020-0010)

Mr. Forghanparast stated that the property was located on the east side of North Shary Road, approximately 954 ft. north of Tres Lagos Boulevard. The tract was an irregular-shaped lot with 316.16 ft. of frontage along North Shary Road and the maximum depth of 600.00 ft. for a lot size of 2.908 acres.

The applicant was requesting to rezone the property to R-3T (multifamily residential townhouses) District in order to construct townhouses. No feasibility plan had been submitted.

The adjacent zoning is R-1 (single family residential) District to the east and north and C-4 (commercial-industrial) District to the northwest, west, and south.

The property was currently vacant. Surrounding land uses were a public charter school, a university, single-family residential and vacant land.

The Foresight McAllen Comprehensive Plan designated the future land use for this property as City Parks, which was comparable to A-O (agricultural and open space) District.

The development trend for this area along Tres Lagos Boulevard was single family residential. The tract had been annexed into the city and initially zoned R-1 (single family residential) District in 2014. A rezoning request to C-4 (commercial-industrial) District had been approved in 2015.

The requested zoning did not conform to the City Parks land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, the rezoning request provided opportunities for a variety of housing types throughout the city that responded to the residents' economic and social lifestyles. The proposed development would be in proximity to compatible uses, a public charter school and a university, since institutional uses were located within residential neighborhoods.

The maximum density in R-3T (multifamily residential townhouses) District was 20 units per acre. Therefore, the maximum number of units for the subject property was approximately 58 units.

Section 110-49 (a) Vegetation Ordinance requires a masonry screen eight ft. in height where a commercial, industrial or multifamily use had a side or rear property line in common with a single-family use or zone.

A recorded subdivision plat and approved site plan were required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit was required prior to recording a subdivision plat.

Staff had not received any calls or emails in opposition.

Staff recommended approval of the rezoning request to R-3T (multifamily residential townhouses) District.

Chairperson Pepe Cabeza de Vaca asked if there was anyone present in opposition of the proposed rezoning. There were none.

Being no discussion, Mr. Gabriel Kamel moved to approve. Mr. Daniel Santos seconded the motion, which was approved with five members present and voting.

3. Rezone from R-1 (single-family residential) District to R-3T (multifamily residential townhouses) District: 26.375 acres out of Sections 227 and 232, Texas-Mexican Railway Company Survey, Hidalgo County, Texas; 5600 Tres Lagos Boulevard. (REZ2019-0027)

Mr. Forghanparast stated that the property was located on the north side of Tres Lagos Boulevard and the east side of North Shary Road. The tract was an irregular-shaped lot with 105.24 ft. of frontage along Tres Lagos Boulevard and 614.16 ft. of frontage along North Shary Road for a lot size of 26.375 acres.

The applicant was requesting to rezone the property to R-3T (multifamily residential townhouses) District in order to construct townhouses. No feasibility plan had been submitted.

The adjacent zoning was R-1 (single family residential) District to the east and south and C-4 (commercial-industrial) District to the north and west.

The property was currently vacant. Surrounding land uses were a public charter school, a university, single-family residential, and vacant land.

The Foresight McAllen Comprehensive Plan designated the future land use for this property as Auto Urban Single Family, which was comparable to R-1 (single family residential) Districts.

The development trend for this area along Tres Lagos Boulevard was single family residential. The tract had been annexed into the city and initially zoned R-1 (single family residential) District in 2014.

The requested zoning did not conform to the Auto Urban Single Family land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, the rezoning request provided opportunities for a variety of housing types throughout the city that responded to the residents' economic and social lifestyles. The proposed development would be in proximity to compatible uses, a public charter school and a university, since institutional uses were located within residential neighborhoods.

The maximum density in R-3T (multifamily residential townhouse) District was 20 units per acre. Therefore, the maximum number of units for the subject property was approximately 527 townhouses.

Section 110-49 (a) Vegetation Ordinance required a masonry screen eight ft. in height where a commercial, industrial or multifamily use had a side or rear property line in common with a single-family use or zone.

A recorded subdivision plat and approved site plan were required prior to building permit issuance. Required park land dedication or a fee in lieu of land comprising \$700 per dwelling unit was required prior to recording a subdivision plat.

Staff had not received any calls or emails in opposition.

Staff recommended approval of the rezoning request to R-3T (multifamily residential townhouses) District.

Chairperson Pepe Cabeza de Vaca asked if there was anyone present in opposition of the proposed rezoning. There were none.

Being no discussion, Mr. Daniel Santos moved to approve. Mr. Gabriel Kamel seconded the motion, which was approved with five members present and voting.

4. Rezone from C-4 (commercial-industrial) District to R-3T (multifamily residential townhouses) District: 2.888 acres out of section 232, Texas-Mexican Railway Company Survey, Hidalgo County, Texas; 5700 Tres Lagos Boulevard. (REZ2020-0011)

Ms. Garza stated that the subject property is located on the north side of Tres Lagos Boulevard, approximately 900 ft. east of N. Shary Road. The tract has 269.97 ft. of frontage along Tres Lagos Boulevard and a depth of 517.23 ft. at its deepest point for a tract size of 2.888 acres.

The applicant is requesting to rezone the property to R-3T (multifamily residential townhouse) District in order to construct a townhouse development. A feasibility plan has not been submitted.

The adjacent zoning was C-4 (commercial-industrial) District to the west and south, R-1 (single family residential) District to the north and east.

The subject property is vacant. Surrounding land uses are an IDEA public charter school, Texas A&M University, single-family residential, and vacant land.

The Foresight McAllen Comprehensive Plan designates the future land use for this property as Suburban Commercial, which is comparable to C-3L (light commercial) District.

The development trend for this area along Tres Lagos Boulevard is single family residential. The tract was annexed into the city and initially zoned R-1 (single family residential) District in 2014. A rezoning request to C-4 (commercial-industrial) District was approved in 2015.

The requested zoning does not conform to the Suburban Commercial land use designation as indicated on the Foresight McAllen Comprehensive Plan.

Section 110-49 (a) of the Vegetation Ordinance requires a masonry screen eight ft. in height where a commercial, industrial or multifamily use has a side or rear property line in common with a single family use or zone.

The rezoning request provides opportunities for a variety of housing types throughout the city that responds to the residents' economic and social lifestyles. The proximity of the proposed development to a public charter school and university are compatible uses since institutional uses locate within residential neighborhoods.

The maximum density in R-3T (multifamily residential townhouse) District is approximately 20 units per acre. The approximately maximum number of units for the subject property is 57 townhouses.

A recorded subdivision plat and approved site plan are required prior to building permit issuance. Required Parkland Dedication or fees in lieu of parkland dedication comprising \$700 per dwelling unit/lot is required prior to recording a subdivision plat.

Staff had not received any calls or emails in opposition.

Staff recommended approval of the rezoning request to R-3T (multifamily residential townhouse) District.

Chairperson Pepe Cabeza de Vaca asked if there was anyone present in opposition of the proposed rezoning. There were none.

Being no discussion, Mr. Gabriel Kamel moved to approve. Mr. Daniel Santos seconded the motion, which was approved with five members present and voting.

5. Rezone from R-1 (single-family residential) District to R-3A (multifamily residential apartments) District: 0.645 acres out of Section 232, Texas-Mexican Railway Company Survey, Hidalgo County, Texas; 5750 Tres Lagos Blvd. (REZ2020-0012)

Ms. Garza stated that the subject property is located north of Tres Lagos Boulevard, approximately 720 ft. east of N. Shary Road. The irregular shaped property is an interior tract that is to be part of a larger tract that fronts Tres Lagos Boulevard and consists of 0.645 acres.

The applicant is requesting to rezone the property to R-3A (multifamily residential apartments) District in order to construct an apartment development. A feasibility plan has not been submitted.

The adjacent zoning is C-4 (commercial-industrial) District to the west and south, R-1 (single family residential) District to the north and east.

The subject property is vacant. Surrounding land uses are an IDEA public charter school, Texas A&M University, single-family residential, and vacant land.

The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Single Family, which is comparable to R-1 (single family residential) District.

The development trend for this area along Tres Lagos Boulevard is single family residential. The tract was annexed into the city and initially zoned R-1 (single family residential) District in 2014.

The requested zoning does not conform to the Auto Urban Single Family land use designation as indicated on the Foresight McAllen Comprehensive Plan.

Section 110-49 (a) of the Vegetation Ordinance requires a masonry screen eight ft. in height where a commercial, industrial or multifamily use has a side or rear property line in common with a single family use or zone.

The rezoning request provides opportunities for a variety of housing types throughout the city that responds to the residents' economic and social lifestyles. The proximity of the proposed development to a public charter school and university are compatible uses since institutional uses locate within residential neighborhoods.

The maximum density in R-3A (multifamily residential apartments) District is 54 one-bedroom units (800 sq. ft.) per acre or 29 three bedroom units (1,500 sq. ft.) per acre. Approximately the maximum number of units for the subject property is 34 one-bedroom units or 18 three-bedroom units.

A recorded subdivision plat and approved site plan are required prior to building permit issuance. Required Parkland Dedication or fees in lieu of parkland dedication comprising \$700 per dwelling unit/lot is required prior to recording a subdivision plat.

Staff had not received any calls or emails in opposition.

Staff recommended approval of the rezoning request to R-3A (multifamily residential apartments) District.

Chairperson Pepe Cabeza de Vaca asked if there was anyone present in opposition of the proposed rezoning. There was none.

Chairperson Pepe Cabeza de Vaca asked what street was going to be used to go in and out, Ms. Garza stated that Tres Lagos Boulevard. Chairperson Pepe Cabeza de Vaca also asked how many apartments were going to be put on the piece of land since it is little more than half an acre. Mr. Forghanparast explained that this piece of land was going to be a part of the previous land.

After a brief discussion, Mr. Gabriel Kamel moved to approve. Mr. Daniel Santos seconded the motion, which was approved with five members present and voting.

6. Rezone from C-3 (general business) District to R-3A (multifamily residential apartments) District: Lot 3, Block 54, McAllen Addition, Hidalgo County, Texas 612 South 15th Street. (REZ2020-2014)

Ms. Garza stated that the property was located along the west side of South 15th Street 2 lots north of Galveston Avenue. The tract has 50 feet of frontage along South 15th Street and a depth of 140 feet for a tract size of 7,000 square feet.

The applicant was requesting to rezone the property to R-3A (multifamily residential apartment) District in order to construct a six-unit two-story apartment complex. A feasibility plan had been submitted.

The adjacent zoning was R-3A (multifamily residential apartment) District to the south and east and C-3 (general business) District to the north and west. The subject property was zoned to C-3 (general business) District during Comprehensive Zoning in 1979. A rezoning request for the subject property to R-3A (multifamily residential apartment) District was approved on July 25, 2011. A rezoning request for this same property to C-3 (general business) District was approved on October 13, 2014. Two rezoning requests to R-3A District to the south and east were approved in 2003 and 2001 that were subsequently developed with apartments.

The subject property is vacant. Surrounding land uses are single family residences, apartments, parking lots, medical offices, and vacant commercial buildings.

The Foresight McAllen Comprehensive Plan designates the future land use for this property as Urban Residential, which is comparable to multifamily use zoning districts.

The development trend for this area along South 15th Street is apartment development. The proposed zoning is consistent with multifamily residential development trends on adjacent properties.

The requested zoning conforms to the Urban Residential land use designation as indicated on the Foresight McAllen Comprehensive Plan.

Multifamily residential site plans located in the central business district must comply with the

Vegetation Ordinance with 50% of the required front yard and side yard areas within the front yard shall be devoted to landscape material.

An approved site plan is required prior to issuance of any building permit. Required Parkland Dedication or fees in lieu of parkland dedication comprising \$700 per dwelling unit is required.

Staff had not received any calls or emails in opposition.

Staff recommended approval of the rezoning request to R-3A (multifamily residential apartments) District.

Mr. Kamel asked if the land was big enough for that many apartments, Ms. Garza explained that they were proposing six apartments three on the first floor and three on the second floor. Mr. Kamel then asked if there will be enough parking spaces and Ms. Garza explained they would be pending one parking so they will need to apply for a variance because the requirement for the one-bedroom 6 units is nine parking spaces. Once they do the site plan, they will have to apply for a variance. Ms. Garza also explained that on the east side of this lot was a replica of this proposal. Ms. Garza informed the board that back in 2011, it had been R-3A but in 2014, it was rezoned to C-3.

After a brief discussion, Mr. Gabriel Kamel moved to approve. Mr. Daniel Santos seconded the motion, which was approved with five members present and voting.

7. Rezone from R-1 (single-family residential) District to C-4 (commercial industrial) District: 12.23 acres tract of land out of Lot 482, John H. Shary Subdivision, Hidalgo County, Texas; 6801 Mile 7 Rd. (REZ2020-0015)

Ms. Garza stated that the property is located on the southwest corner of Mile 7 Road and Glasscock Road. The tract has 450 feet of frontage along Mile 7 Road and a depth of 1,319.91 feet for a tract size of 12.23 acres.

The applicant, South Texas Electric Cooperative, Inc. (STEC), is requesting to rezone the property to C-4 (commercial-industrial) District in order to construct an electrical substation. A feasibility plan nor a subdivision plat have been submitted.

The adjacent zoning is R-1 (single-family residential) District and C-3 (general business) District to the north, C-4 (commercial-industrial) District to the west, and properties to the south and east are outside city limits within McAllen's Extra Territorial Jurisdiction. The property was initially zoned A-O (agricultural-open space) District upon annexation in 2012. A City initiated rezoning request for the subject property to R-1 (single-family residential) District was approved on December 14, 2015.

The subject property was vacant. Surrounding land uses are single-family residences, existing commercial-industrial uses, and vacant land.

The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Residential, which is comparable to R-1 (single-family residential) District. The Auto Urban Residential land use designation reflects the existing development pattern in the area.

The development trend for this area of Glasscock Road and Mile 7 road is single-family residences on unsubdivided tracts and rural residential subdivisions.

The requested zoning does not conform to the Auto Urban Residential land use designation as indicated on the Foresight McAllen Comprehensive Plan. The Auto Urban Residential land use designation reflects the rezoning history of the area and development trends.

Glasscock Road is designated as a major collector with 80 feet of right-of-way and is currently 40 feet of right-of-way with 2 travel lanes, no shoulders and roadside ditches. Mile 7 Road is designated as a major collector with 80 feet of right-of-way and currently 70 feet of right-of-way with 2 travel lanes, no shoulders and roadside ditches.

A recorded subdivision plat and approved site plan are required prior to issuance of any building permits.

Staff had not received any calls or emails in opposition.

Staff recommended disapproval of the rezoning request.

Chairperson Pepe Cabeza de Vaca asked if there was anyone present in opposition of the proposed rezoning. There were none.

Chairperson Pepe Cabeza de Vaca stated that he would recommend applying for a Conditional Use Permit, because the company can have their substation there without having to rezone the property. Mr. Jander stated that it was recommended by staff to apply for a rezoning but Chairperson Pepe Cabeza de Vaca informed him it would be more suitable for a conditional use permit. Mr. Jander asked if they could apply for a life of use conditional permit.

After a brief discussion, Mr. Daniel Santos moved to disapprove. Mr. Gabriel Kamel seconded the motion, which was disapproved with five members present and voting.

b) CONDITIONAL USE PERMITS:

1. Request of Mario Guterrez, for a Conditional Use Permit, for one year, for a Social Event Center, at Lot A, Arapaho Subdivision, Hidalgo County, Texas; 4108 North 10th Street, Suite 1000. (CUP2020-0049)

Ms. Garza stated that the property was located on the east side of North 10th Street, approximately 380 ft. north of Nolana Avenue and is zoned C-3 (general business) District. The adjacent zoning is C-3 to the north, west and south, and R-3A (multifamily residential apartments) District to the northeast. Surrounding land uses include the Seville apartments, restaurants, retail and offices. An event center is permitted in a C-3 zone with a Conditional Use Permit and in compliance with requirements

The initial conditional use permit was approved for a bar at this location in 1999 by the Planning and Zoning Commission. The permit has been renewed annually by different applicants. The last approval was on March 26, 2018 for one year, by the City Commission with a variance to the 600 ft. distance requirement. The approval was also subject to providing extra security to patrol and secure the area for an hour after the event center is closed.

The applicant was proposing to continue to operate an event center in the existing 3,614 sq. ft. lease space. Of the 3,614 sq. ft. lease space, 2,453.20 sq. ft. of actual floor area is being used. Currently, there is a multi-tenant commercial building of approximately 39,585 sq. ft. on the property. The building is a mixture of retail, a restaurant, event centers, a child daycare, and a vacant suite. The proposed hours of operation are from 5:00 PM to 2:00 AM Monday through Sunday. Attached is a police report, which indicates service calls from June 2019 until present.

The Health and Fire Departments have conducted their respective inspection, and found the establishment to be in compliance. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

- a) The property line of the lot of any of the abovementioned businesses must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The Seville Apartments are adjacent to the establishment;
- b) The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The establishment is located on North 10th Street, and does not generate traffic into residential areas;
- c) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. The multi-tenant building is a mixture of commercial businesses; a vacant suite 3,100 sq. ft., a 3,100 sq. ft. boxing gym, a 4,146 sq. ft. restaurant, a 2,160 sq. ft. Beauty Spa, a 3,050 sq. ft. daycare, a social club which totals 7,000 sq. ft., and a vacant suite of 3,614 sq. ft. There are 263 parking spaces on site; 264 are required for all the establishments to operate at the same time. The daycare operation hours (8:00 AM to 3:30 PM) do not interfere with the operation hours of the event center on suite 1000, which would free 8 parking spaces. After 3:30 PM, only 256 parking spaces are required for all of the establishments to operate at the same time.
- d) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties;
- e) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
- f) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties.
- g) The above-mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

Staff recommended disapproval of the request due to non-compliance with requirement #1 (distance) of Section 138-118(4) of the Zoning Ordinance.

Chairperson Pepe Cabeza de Vaca asked if there was anyone present in opposition of the proposed rezoning and Ms. Allison Spencer was there via teleconference. Ms. Spencer explained that she was concerned about the parking availability. She mentioned that the paragraph states there are 263 parking spaces but the site plan that was attached to the application shows 113. Ms. Garza informed Ms. Spencer that most of the parking spaces are behind the building to the east. Ms. Spencer was under the impression that this location was a nightclub previously and the applicant was proposing for it to be an event center as a new use. Chairperson Pepe Cabeza de Vaca requested for the applicant to speak and asked Mr. Mario Gutierrez how long he has had the event center at that location, Mr. Gutierrez stated that it has been there for seven years. Ms. Spencer asked if the customer was required to apply for new Conditional Use Permit every year because of distance requirement from residences, Chairperson Cabeza de Vaca confirmed. Ms. Spencer also asked if they also owned the property where the additional parking is located and Mr. Garza confirmed.

Being no discussion, Michael Fallek moved to disapprove with a favorable recommendation. Mr. Gabriel Kamel seconded the motion, which was disapproved with five members present and voting.

2. Request of Mario Gutierrez, for a Conditional Use Permit, for one year, for a Social Event Center at Lot A, Arapaho Subdivision, Hidalgo County, Texas, 4108 North 10th Street, Suite 900. (CUP2020-0051)

Ms. Garza stated that the property is located on the east side of North 10th Street, approximately 380 ft. north of Nolana Avenue and is zoned C-3 (general business) District. The adjacent zoning is C-3 to the north, west and south, and R-3A (multifamily residential apartments) District to the northeast. Surrounding land uses include the Seville apartments, restaurants, retail and offices. An event center is permitted in a C-3 zone with a Conditional Use Permit and in compliance with requirements

The initial conditional use permit was approved for one year by the City Commission on appeal to the distance requirement on February 22, 2016. The last approval was on April 8, 2019 for one year, by the City Commission with a variance to the distance requirement

The applicant was proposing to continue to operate an event center from an existing 8,522 sq. ft. lease space. Of the 8,522 sq. ft. lease space, 8,522 sq. ft. of actual floor area is being used. Currently, there is a multi-tenant commercial building of approximately 39,585 sq. ft. on the property. The building is a mix of retail, a restaurant, event centers, a child daycare, and a vacant suite. The proposed hours of operation are from 5:00 p.m. to 2:00 a.m. Monday through Sunday. Attached is a police report, which indicates service calls from June 2019 till present.

The Health and Fire Departments have conducted their inspections, and found the establishment to be in compliance. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

- a) The property line of the lot of any of the abovementioned businesses must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The Seville Apartments are adjacent to the establishment;

- b) The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The establishment is located on North 10th Street, and does not generate traffic into residential areas;
- c) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. The multi-tenant building is a mix of commercial businesses; a vacant suite 3,100 sq. ft., a 3,100 sq. ft. boxing gym, a 4,146 sq. ft. restaurant, a 2,160 sq. ft. Beauty Spa, a 3,050 sq. ft. daycare, a social club which totals 7,000 sq. ft., and a vacant suite of 3,614 sq. ft. There are 263 parking spaces on site; 264 are required for all the establishments to operate at the same time. The daycare operation hours (8:00 a.m. to 3:30 p.m.) do not interfere with the operation hours of the event center on suite 900, which would free 8 parking spaces. After 3:30 p.m., only 256 parking spaces are required for all of the establishments to operate at the same time.
- d) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties;
- e) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
- f) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties.; and
- g) The above-mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

Staff recommends disapproval of the request due to non-compliance with requirement #1 (distance) of Section 138-118(4) of the Zoning Ordinance.

Chairperson Pepe Cabeza de Vaca asked if there was anyone present in opposition of the proposed Conditional Use Permit, there were none.

After the discussion, Vice Chairperson Daniel Santos moved to disapprove with a favorable recommendation. Mr. Gabriel Kamel seconded the motion. The motion carried unanimously with five members present and voting.

3. Request of Jared W. Doxey, on behalf of The Church of Jesus Christ of Latter-Day Saints for a Conditional Use Permit, for life of the use, for an Institutional Use (church), at a 10.615- acre tract of land out of Lot 16, Section 13, Hidalgo Canal Company Subdivision, Hidalgo County, Texas, 7301 North 2nd Street. (CUP2020-0057)

Authorized agent had requested to table the item.

Vice Chairperson **moved** to table the item. Mr. Gabriel Kamel seconded the motion. The motion carried unanimously with five members present and voting.

4. Request of Jaqueline Diaz Gonzalez, for a Conditional Use Permit, for one year, for an Institutional Use (beauty school), at the South 119ft. of the North 235 ft. of the West ft. of Lot 11, a resubdivision of Lot 6, Block 12, Rancho de la Fruta #2 Subdivision, Hidalgo County, Texas, 112 North McColl Road Suite A. (CUP2020-0055)

Mr. Forghanparast stated that the property was located on the east side of North McColl Road, approximately 285 ft. north of US Business Highway 83. The property was zoned I-1 (light industrial) District. The adjacent zoning was I-1 to the east, west, south, and north. Surrounding land uses included retail plazas, Allied Fire Protection, Toby's Plumbing, Wilson Hearing Aid Center and Martinez Furniture Store. An institutional use (beauty school) was permitted in the I-1 zone with a conditional use permit.

The applicant was proposing to operate a beauty school from a 2,250 sq. ft. lease space. The proposed days and hours of operations were Monday through Friday from 8am to 5 pm. There would be 5 classrooms and 1 administrative office. Based on 5 parking spaces per classroom and 1.5 parking spaces per admin office, 27 parking spaces were required, of which two parking spaces must be van accessible with an 8ft. aisle. Four spaces were provided on site, one space was assigned van accessible. The applicant had presented two parking agreements from a neighboring business for an additional 26 spaces, totaling 30 parking spaces. The parking agreements must be recorded at the county. Should the number of offices and classrooms increase, then additional parking would be required. There had been no complaints to the Planning Department.

A site inspection had revealed that the parking needed maintenance and the South parking lot needed to be clear out of grass and North parking lot needed to be properly striped. A follow-up inspection was needed.

Fire Department inspections were still pending. Should the conditional use permit be approved, the applicant would be required to sign the certificate acknowledge and agreeing to the conditions of the permit. The proposed use must meet the requirements set forth in Section 138-118 of the Zoning Ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial; The property fronted McColl Road and had access to U.S. Business Highway 83;
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking, especially in residential areas; 27 parking spaces were required, and 30 spaces were provided, two of which were van accessible. Should the number of offices and classrooms increase, then additional parking would be required;
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits. The beauty school must comply with the circulation pattern approved by the Traffic Operations Department;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;

5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;

6) The number of persons within the building shall be restricted to those allowed by the Fire Marshal and Building Official at the time of permit issuance; The maximum capacity for the establishment was 51 persons; and

7) Sides adjacent to residentially zoned or used properties shall be screened by a 6 ft. opaque fence.

Staff recommended approval of the request, for one year, subject to compliance with Section 138-118 and Section 138-400 (b) (off-street parking standards) of the Zoning Ordinance, recordation of the parking agreements, Building Permit, and Fire Department requirements.

Chairperson Pepe Cabeza de Vaca asked if there was anyone present in opposition, there was none.

Chairperson Pepe Cabeza de Vaca asked Mr. Forghanparast to repeat the list of parking conditions. Mr. Forghanparast stated that 27 parking spaces were required, and they had provided four spaces on site and they had an agreement for 26 more spaces that needed to be recorded with the county, the parking lot had to be maintained as well. The South parking lot needed to be clear of grass and the north parking lot needed to be striped. The applicant was aware of these requirements. Applicant Jacqueline Diaz Gonzalez was present and informed the board she was aware of the requirements.

After a brief discussion, Gabriel Kamel **moved** to approve with conditions noted. Mr. Daniel Santos seconded the motion, which was approved with five members present and voting.

5. Request of Jorge A. Briones, for a Conditional Use Permit, for one year, for an automotive service and repair shop, at Lots 11 & 12, Block 2, West Addition to McAllen Subdivision, Hidalgo County, Texas; 2241 Dallas Avenue. Suite B. (CUP2020-0054)

Mr. Forghanparast stated that the property was located at the southeast corner of Dallas Avenue and South 23rd Street. The property had 100 ft. of frontage along Dallas Avenue and a depth of 140 ft. for a lot area of 14,000 square feet. It was zoned C-3 (general business) District. The adjacent zoning was R-2 (duplex-fourplex residential) District to the east and C-3 District to the north, south, and west. Surrounding land uses included single-family residences, vacant land, RGV Spray On Bed liners, various auto sales car lots, yerberia Santa Barbara and a plumbing company. An automotive service and repair business was allowed in a C-3 zone with a Conditional Use Permit and in compliance with requirements.

There had been a conditional use permit approved for the first time in 2015 in the same building on the adjacent Suite for Truck Accessories part installations. Last time the CUP had been renewed was in 2018.

On the initial application, the case had been presented to the Board of Commissioners; the applicant appealed the decision of the P&Z Board. Part of the discussion had been the parking

requirement. Applicant had stated that the owner of the plaza bought a property across the street (2226 Dallas Ave) to comply with parking requirements; however, the property was zoned R-2 and would require a CUP for a parking facility. Furthermore, the address mentioned, was not paved as required by the ordinance.

There was an existing 9,600 sq. ft. commercial building with two suites. This building had been used for auto repair services.

The applicant was proposing to use Suite B of the building as a body shop repair business. The proposed hours of operation were from 8:00 A.M. to 5:00 P.M. Monday through Friday and 8:00 A.M. to 2:00 P.M. on Saturday. Staff had met with the applicant, and he had stated that the business would not be open to the public. He picked up and delivered the vehicles; no customers would be on site. Based on the total 4,800 sq. ft. for the body shop repair, 15 parking spaces were required; 9 parking spaces were provided on site. One of the provided spaces must be van accessible; one van accessible parking space was provided.

There had been one call in opposition from surrounding property owners.

Fire Department inspection was pending. Should the conditional use permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The business must meet the requirements set forth in Section 138-281 of the Zoning Ordinance and specific requirements as follows:

- 1) A minimum lot size of 10,000 sq. ft. was required. The subject property is approximately 14,000 sq. ft.
- 2) All service, repair, maintenance, painting and other work shall take place within an enclosed area. The applicant was proposing to work inside the main structure.
- 3) Outside storage of materials was prohibited. The applicant had indicated that there would be no outside storage including vehicles.
- 4) The building where the work would take place shall be at least 100 ft. from the nearest residence. The Building was adjacent to single-family residential use to the east, south and north.
- 5) A 6 ft. opaque fence buffering the proposed use from any residential use or residentially zoned area was required. There was an existing block wall, which decreased from 6'-3" to 3'-10" as approaching to the front property line on the west side of the property.
- 6) New buildings and conversions of existing buildings shall meet current building and fire code requirements concerning separation of high hazard uses from other occupancy use classifications.

Staff recommended disapproval of the request based on non-compliance with requirements #4 (distance) and #5 (fence) of Section 138-281 and Section 138-395 (off-street parking requirement) of the Zoning Ordinance.

Chairperson Pepe Cabeza de Vaca asked if there was anyone there present in opposition of the proposed Conditional Use Permit, there were none but there were one letter submitted to the planning department in person. The person who was in opposition stated some of his concerns:

limited parking space, the trashcans are not maintained, the alley being blocked by cars and the business had already started. Chairperson Pepe Cabeza de Vaca asked for the applicant Jorge Briones to speak to ask him some questions. Chairperson Pepe Cabeza de Vaca asked if Mr. Briones was already operating his business, Mr. Briones explained that he was using the location to park his cars because of the hail he believed was coming when it had rained. Mr. Briones stated that he was operating in Mission but wanted to bring his business to McAllen. Pepe Cabeza de Vaca mentioned that the issues were the fence, parking, and distance. Mr. Briones asked which fence was the problem and Chairperson Cabeza de Vaca explained there needed to be a fence between the C-3 and the residence. Mr. Briones explained that there was a fence in between the two properties however; Mr. Forghanparast explained that there was a fence but it does not meet the height requirement. Mr. Briones stated that the cars that are in the alley did not belong to him and that he would not exceed more than two cars because he did not have the staff to work on more than two cars at a time. The cars would be parked in front of his property. Mr. Hovar stated that his only concern was queuing in the alley. Mr. Hovar suggested that the fence be left as is for safety purposes.

After a brief discussion, Mr. Daniel Santos moved to disapprove with a favorable recommendation with conditions noted and for the city to verify the fence. Michael Hovar seconded the motion, which was approved with five members present and voting.

7) INFORMATION ONLY

a) City Commission Actions: June 8, 2020

Mr. Edgar Garcia stated that at the City Commission Meeting on June 8, 2020 the rezoning by Tres Lagos at 12512 North Ware Road was tabled again requested by the applicant due to pending a traffic study. The Conditional Use Permit for the dog kennel at 6820 North Taylor was tabled because the board suggested that staff advertises for the item again since it has been a while since any notices have gone out for the proposed Conditional Use Permit. There was the Conditional Use Permit for a bar Del Torro at 2203 South 23rd was approved as recommended

ADJOURNMENT:

There being no further business to come before the Planning & Zoning Commission, Mr. Gabriel Kamel adjourned the meeting at 5:46 p.m., and Mr. Daniel Santos seconded the motion, which carried unanimously with five members present and voting.

Chairperson, Pepe Cabeza de Vaca

ATTEST: _____
Claudia Mariscal, Secretary

Planning Department

Memo

TO: Planning and Zoning Commission

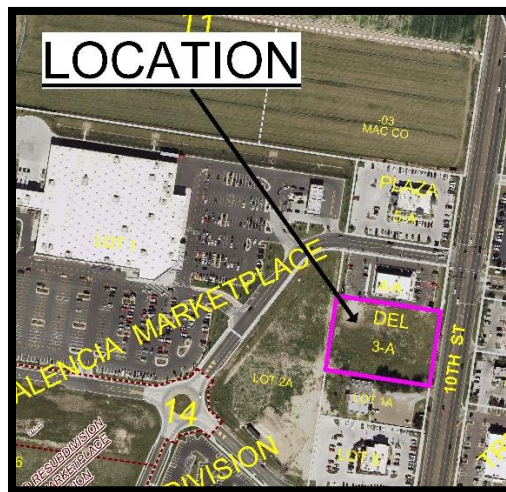
FROM: Planning Staff

DATE: July 2, 2020

SUBJECT: REVISED SITE PLAN APPROVAL FOR LOT 3-A, PLAZA DEL NORTE PHASE I-A SUBDIVISION, 7501 NORTH 10TH STREET. (SPR2020-0015)

LOCATION: The property is located on the west side of North 10th Street, approximately ¼ mile north of Trenton Road. The property is zoned C-3 (general business) District and the adjacent zoning is C-3 in all directions. Surrounding land uses include Red Lobster, Bar-B-Cutie restaurant, Sam's Club, and Bank of America.

HISTORY: The property is part of Plaza Del Norte Phase I-A Subdivision, which was recorded on December 11, 2009. A note on the plat indicates that a site plan must be approved by the Planning and Zoning Commission prior to building permit issuance.



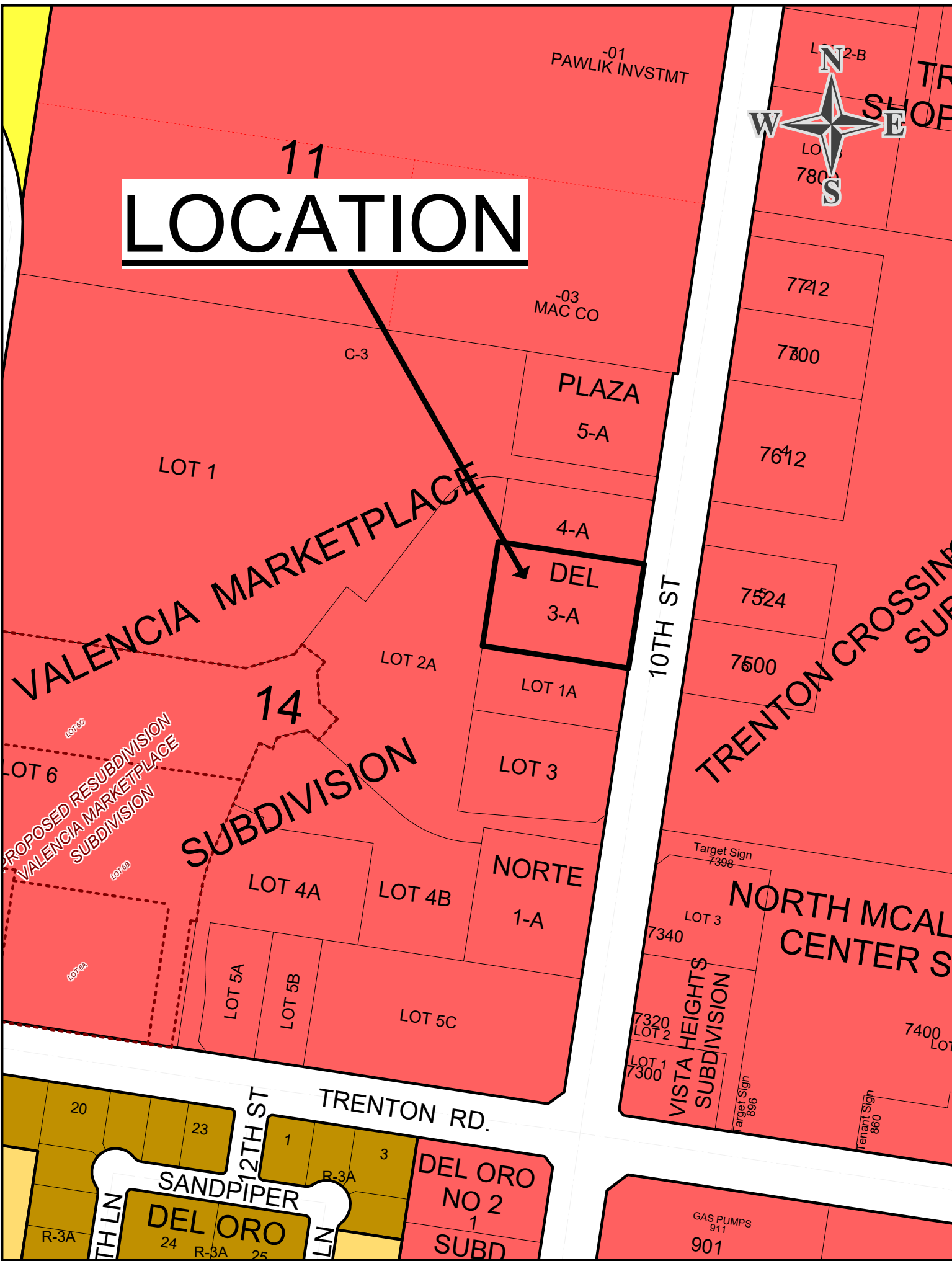
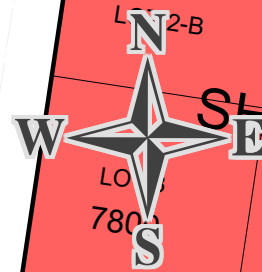
PROPOSAL: The applicant is proposing to add a drive-thru on the south side of the existing building for a future restaurant. Based on 4,689 sq. ft. of restaurant use (47 parking spaces are required); based on 3,600 sq. ft. of retail use (12 parking spaces are required), and based on 3,700 sq. ft. of office use (22 parking spaces are required) for a combined total of 78 parking spaces required; 78 parking spaces are provided. Traffic department and Fire department are requiring for 6 of the original parking spaces on the southwest corner to be removed for a proper maneuvering of the fire truck. If any adjustments need to be made to the fire lane, the Fire department will advise at the time of inspection. A Pavement Marking is required by the Traffic department for the curb-cut

between menu board and building to leave access clear between the menu board and building. The required landscaping for the site is 6,852 sq. ft. with trees required as follows: 20 - 2 ½" caliper trees, or 10 – 4" caliper trees, or 5 – 6" caliper trees, or 40 palm trees. The applicant is proposing to relocate three of the existing trees. A tree removal application has been submitted. A minimum 10 ft. wide landscaped strip is located inside the property line along 10th Street. Fifty percent of landscape must be visible in front areas, and each parking space must be within 50 ft. of a landscape area with tree, as required by ordinance. All setbacks will be in compliance with the plat note requirements and the zoning ordinance.

RECOMMENDATION:

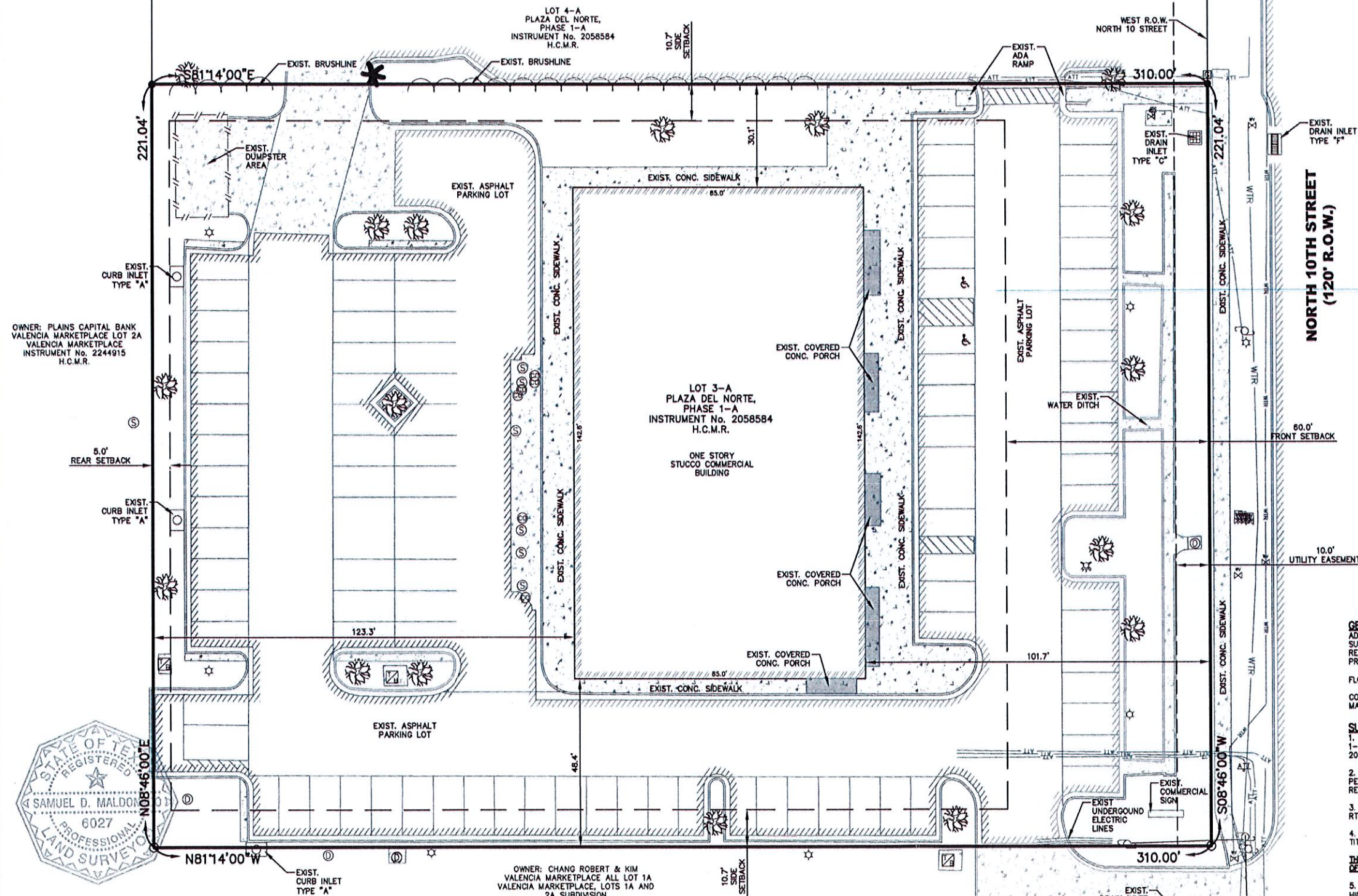
Staff recommends approval of the site plan subject to the conditions noted, Traffic Department and Fire Department requirements, paving and building permit requirements, and the subdivision and zoning ordinances.

LOCATION



[illegible]

AUG. 28, 2008
1" = 100'



LEGEND	
	- FND. 1/2" IRON ROD
	- SET 1/2" IRON ROD W/PLASTIC CAP STAMPED "SAMES"
	- POWER POLE
	- LIGHT POLE
	- CLEAN OUT
	- GAS METER
	- WATER VALVE
	- STORM SEWER MANHOLE
	- SANITARY SEWER MANHOLE
	- TRANSFORMER BOX
	- FIRE HYDRANT
	- FIRE DEPARTMENT CONNECTION
	- PALM TREE
	- TREE
	- CEDAR FENCE LINE
	- ELEC. UNDERGROUND ELECTRIC LINE
	- WTR. WATER LINE
	- EXIST. CONCRETE
	- ASPHALT
	- CONCRETE
	H.C.M.R. - HIDALGO COUNTY MAP RECORDS
	H.C.D.R. - HIDALGO COUNTY DEED RECORDS
	O.R.H.C. - OFFICIAL RECORDS OF HIDALGO COUNTY
	R.O.W. - RIGHT OF WAY
	FND. - FOUND

GENERAL NOTES:
ADDRESS: 7501 N. 10TH STREET, McALLEN, TEXAS, 78504
SURVEYED: APRIL 17, 2020
REQUESTED BY: RYAN INVESTMENTS
PROPERTY OWNER: JDD-SJD 10TH STREET L.L.C.

FLOOD ZONE DESIGNATION: "ZONE C" - AREAS OF MINIMAL FLOODING.

COMMUNITY-PANEL NUMBER: 480334 0425 C
MAP REVISED: NOVEMBER 16, 1982

SURVEY NOTES:
1. BASIS OF BEARING THE NORTH LINE OF LOT 3A, PLAZA DEL NORTE, PHASE 1-A, AS PER THE MAP OR PLAT THEREOF RECORDED IN INSTRUMENT No. 2058584, MAP RECORDS OF HIDALGO COUNTY, TEXAS.
2. BEARINGS SHOWN ARE BASED ON PLAZA DEL NORTE, PHASE 1-A, AS PER THE MAP OR PLAT THEREOF RECORDED IN INSTRUMENT No. 2058584, AP RECORDS OF HIDALGO COUNTY, TEXAS.
3. ALL HORIZONTAL CONTROL ON THIS PROJECT WAS ESTABLISHED UTILIZING RTK GPS METHODS.
4. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. THERE MAY BE EASEMENTS OR OTHER MATTERS THAT ARE NOT SHOWN.

THE FOLLOWING MATTERS AND ALL TERMS OF THE DOCUMENTS CREATING OR OFFERING EVIDENCE OF THE MATTERS:

5. SUBJECT TO THE SUBDIVISION RULES AND REGULATIONS OF THE COUNTY OF HIDALGO AND/OR ORDINANCES OR GOVERNMENTAL REGULATIONS OF THE CITY IN WHICH THE PROPERTY MAY BE LOCATED OR HOLDING EXTRA TERRITORIAL JURISDICTION OF SAID PROPERTY.

PLAT SHOWING

ALL OF LOT 3-A, PLAZA DEL NORTE, PHASE 1-A, AN ADDITION TO THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN INSTRUMENT No. 2058584, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

I, SAMUEL DAVID MALDONADO, CERTIFY THAT THE ABOVE PLAT IS AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY SUPERVISION AND THAT THIS SURVEY CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF THE SURVEY AND MEETS THE MINIMUM SURVEY STANDARDS.

SAMUEL DAVID MALDONADO
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6027

JOB NUMBER	DRAWN BY	RVWD. BY	DATE
ENG. 20.003	J.S.	S.D.M.	04/29/2020

SETBACKS AS PER McALLEN PLANNING AND ZONING:
FRONT: 60'
SIDE: 1' FOR EVERY 2' OF BUILDING'S HEIGHT
REAR: 5'

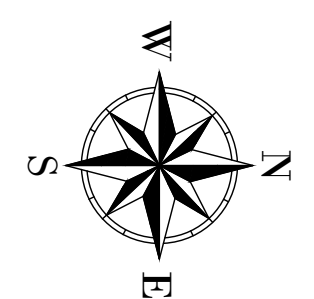
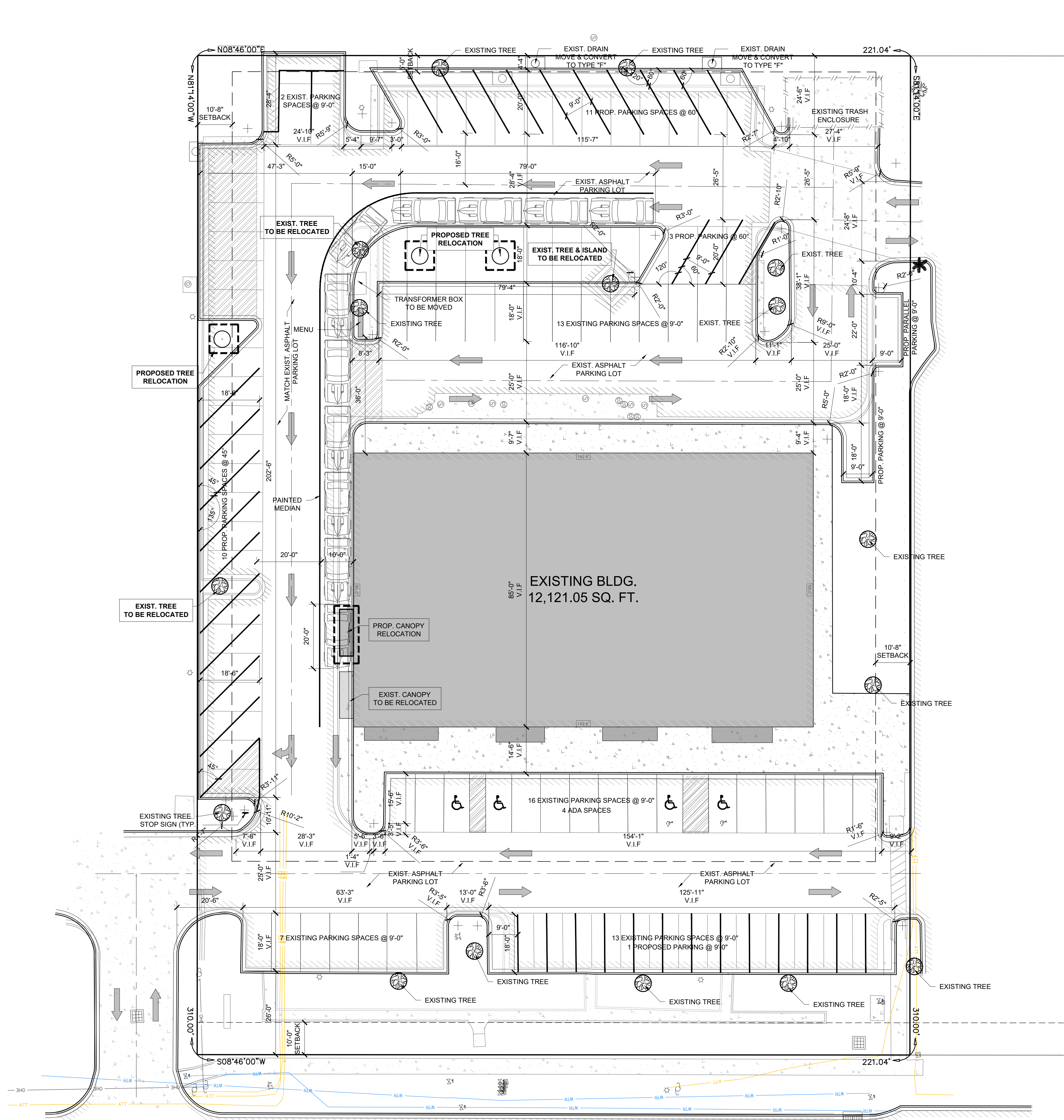
SHEET 1 OF 1: SURVEY PLAT

RECEIVED

JUN 05 2020

BY: [Signature] 4:55pm

CITY HALL	
ADDRESS: N. 10TH ST. McALLEN, TX	
PROJECT DESCRIPTION: N. 10TH ST. DRIVE THRU	
OWNER:	
NO.	REVISIONS/DESCRIPTIONS
01	REVISIONS/DESCRIPTIONS
DATE	DATE
CCF	CCF
CCF	CCF
CD PHASE	
SAMES	
SAM Engineering & Surveying, Inc.	
200 S. 10TH ST. SUITE 1500 TEL: (956) 702-8880	
McALLEN, TEXAS 78501 FAX: (956) 702-8883	
FOR REVIEW ONLY NOT FOR CONSTRUCTION	
G1.01	
SURVEY	



N.10th St.

SITE PLAN
SCALE: 1/16" = 1'-0"

LEGAL DESCRIPTION			
PLAZA DEL NORTE PH 1A LOT 3A			
ADDRESS			
7501 N 10th STREET MCALLEN, TX			
TOTAL SQ. FT. OF STRUCTURES			
COMMERCIAL SIGN: 21.19 SQ. FT. + EXISTING BUILDING: 12,121.05 SQ. FT. TOTAL SQ. FT. = 12,142.24 SQ. FT.			
TOTAL SQ. FT. OF PROPERTY			
68,495.29 S.F.			
OCCUPANCY TYPE			
TYPE A-2			
PARKING CALCULATIONS			
REQUIRED PARKING = 81 SPACES			
10 PARKING SPACES @ 45' 14 PARKING SPACES @ 60' 1 PARALLEL PARKING SPACES + 53 STANDARD PARKING SPACES TOTAL PARKING = 78 SPACES			
CITY HALL			
ADDRESS: N.10TH ST. MCALLEN, TX			
PROJECT DESCRIPTION: N.10TH ST. DRIVE THRU			
OWNER:			
NO.	REVISIONS/SUBMISSIONS	DATE	
01	PROCESS PLANS	4/1/2020	
DESIGNED	DRAWN	CHECKED	REVIEWED
CCF	J.S	CCF	CCF
DRAWING TITLE CD PHASE			
SAMES			
SAM Engineering & Surveying, Inc.			
200 S. 10TH ST. SUITE 1007 TEL: (956) 702-8880			
MCALLEN, TEXAS 78501 FAX: (956) 702-8883			
The Professional Engineers and Surveyors are held to the strictest standards of the State of Texas and the United States of America. The Professional Engineers and Surveyors are not responsible for the design or construction of any structure or facility shown on this drawing. The Professional Engineers and Surveyors are not responsible for the design or construction of any structure or facility shown on this drawing. The Professional Engineers and Surveyors are not responsible for the design or construction of any structure or facility shown on this drawing.			
PROJECT NO: ARH.20.005			
SCALE: AS NOTED			
FOR REVIEW ONLY NOT FOR CONSTRUCTION			
A1.01 OVERALL SITE PLAN			

City of McAllen
Planning Department
**APPLICATION FOR
DIVISION PLAT REV**

**1300 Houston Avenue
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)**

SUB2D18-0074

Project Description	Subdivision Name <u>B. B. E. BACHETTE SUBD.</u> Location <u>887' E. OF S. MCOLL ALONG N. SIDE OF</u> City Address or Block Number <u>909 E. WHALEN RD</u> <u>WHALEN TOWN.</u> Number of lots <u>1</u> Gross acres <u>2.296</u> Net acres <u>1.872</u> Existing Zoning <u>R-1</u> Proposed <u>R-1</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____ Existing Land Use <u>OPEN</u> Proposed Land Use <u>RESIDENTIAL</u> Irrigation District # <u>2</u> Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Agricultural Tax Exemption Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>1500⁰⁰</u> Legal Description <u>2.296 AC. 0/0 LOT 6, BIK. 19: LOT 1,</u> <u>BIK. 20, 0/0 STEELE AND PERSHING SUBD., W.C.T.</u>
	Name <u>CYNTHIA E. MOLINA</u> Phone <u>739-9048</u> Address <u>2433 LEANNA DENAR</u> City <u>MISSION</u> State <u>TX</u> Zip <u>78572</u> E-mail _____
Developer	Name <u>SAME AS OWNER</u> Phone _____ Address _____ City _____ State _____ Zip _____ Contact Person _____ E-mail _____
Engineer	Name <u>DAVID D. SALINAS</u> Phone <u>682-9081</u> Address <u>2221 DAKRODIL AVE.</u> City <u>MENARD</u> State <u>TX</u> Zip <u>78501</u> Contact Person <u>DAVID</u> E-mail <u>dsalinas@salinasengineering.com</u>
Surveyor	Name <u>SAME AS ENGINEER</u> Phone _____ Address _____ City _____ State _____ Zip _____ E-mail _____

Rct#587103 pd \$225 (S)

RECEIVED
OCT 12 2018
BY: CW 336 pm

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- _____ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- _____ Title Report
- _____ 8 ½" by 11" Sealed Survey showing existing structures/easements
or 3 blueline copies
- _____ 2 Location Maps
- _____ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- _____ 6 Folded blueline prints of the proposed plat
- _____ 2 Warranty Deeds (Identifying owner on application)
- _____ Autocad DWG file of plat
- _____ Letter of Authorization from the owner, if applicable
- _____ Proof of authority of person signing application on behalf of
partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and
surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width
from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

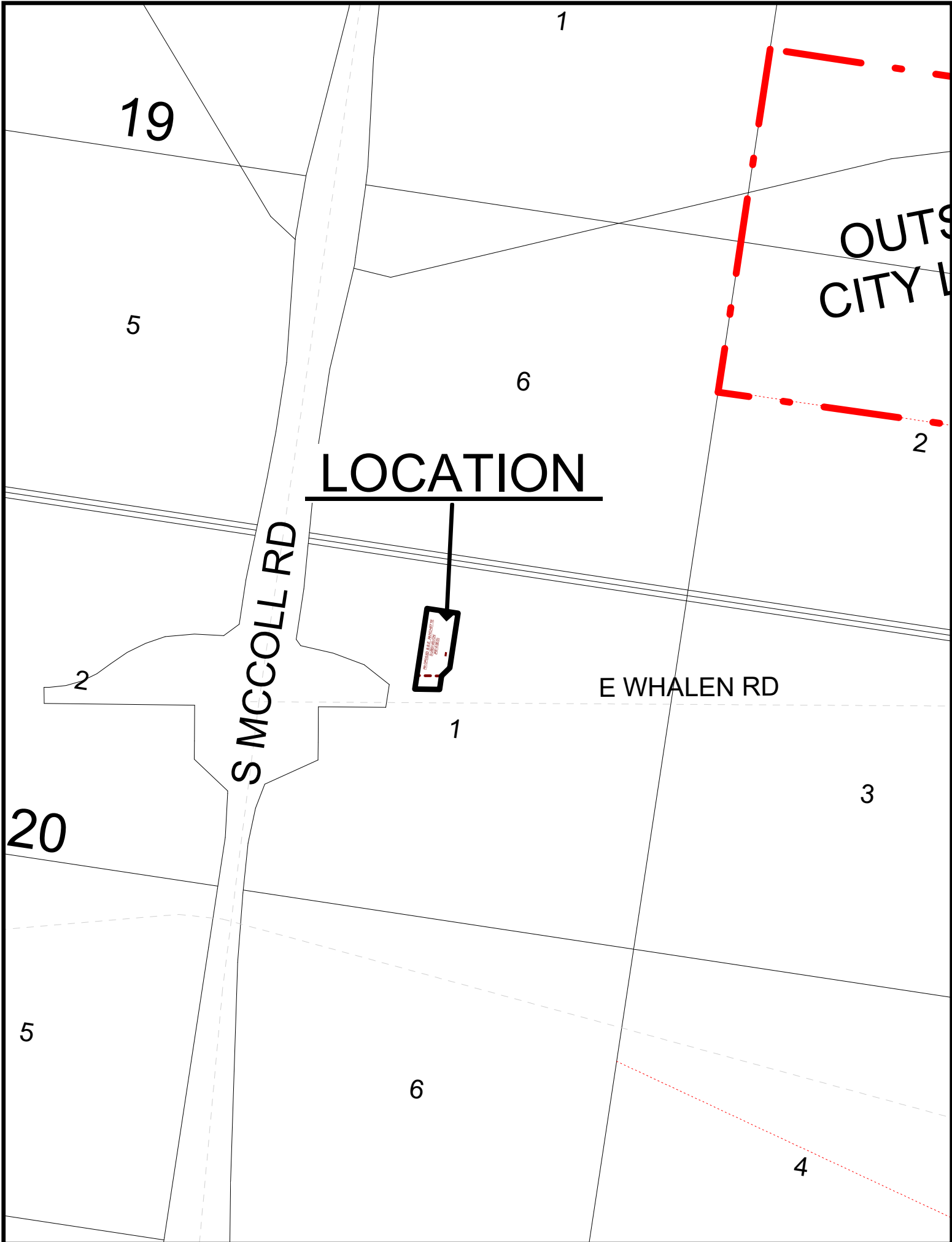
Signature Cynthia Molina Date _____

Print Name Cynthia E. Molina

Owner ☐

Authorized Agent ☐

Rev 03/11





Reviewed On: 6/23/2020

SUBDIVISION NAME: B.B.E. RANCH**REQUIREMENTS****STREETS AND RIGHT-OF-WAYS**

E. Whalen Road: Revised plat shows 40 ft. existing ROW with no additional dedication proposed

Paving: min. 32 ft. Curb & gutter: both sides

*Previous approval had a 10 ft. dedication for 50 ft. ROW

Applied

E. Military Highway (F.M. 1016) along the north portion of the property: 40 ft. ROW existing - 55 ft. dedication on either side for 75 ft. from centerline for 150 ft. ROW

Paving: min. 65 ft. Curb & gutter: both sides

**If a state road, improvements done by the state - to be determined prior to final.

****Revised plat submitted March 8, 2018 does not extend to the location of E. Military Highway. The new plat area is approximately 170 south of the roadway.

***If the plat is revised to include other streets, requirements will be established accordingly.

NA

Loop/Expressway Road (RMA) - 350 ft. ROW

Paving: by the state Curb & gutter: by the state

**Engineer to verify if the road affects this plat, prior to final.

****Revised plat submitted March 8, 2018 does not extend to the location of E. Military Highway. The new plat area is approximately 170 south of the roadway.

***If the plat is revised to include other streets, requirements will be established accordingly.

NA

Paving _____ Curb & gutter _____

Applied

Applied

* 800 ft. Block Length _____

Compliance

* 600 ft. Maximum Cul-de-Sac _____

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial properties.

**Property is zoned R-1 District.

NA

SETBACKS

* Front: E. Whalen Road: 45 ft. or greater for easements.

**If the plat is revised to include other street, setbacks will be revised to establish requirements.

Applied

* Rear: In accordance with the Zoning Ordinance or greater for easements.

***If the plat is revised to include other streets, requirements will be established accordingly.

Applied

* Sides: In accordance with the Zoning Ordinance, or greater for easements.

Compliance

* Corner:

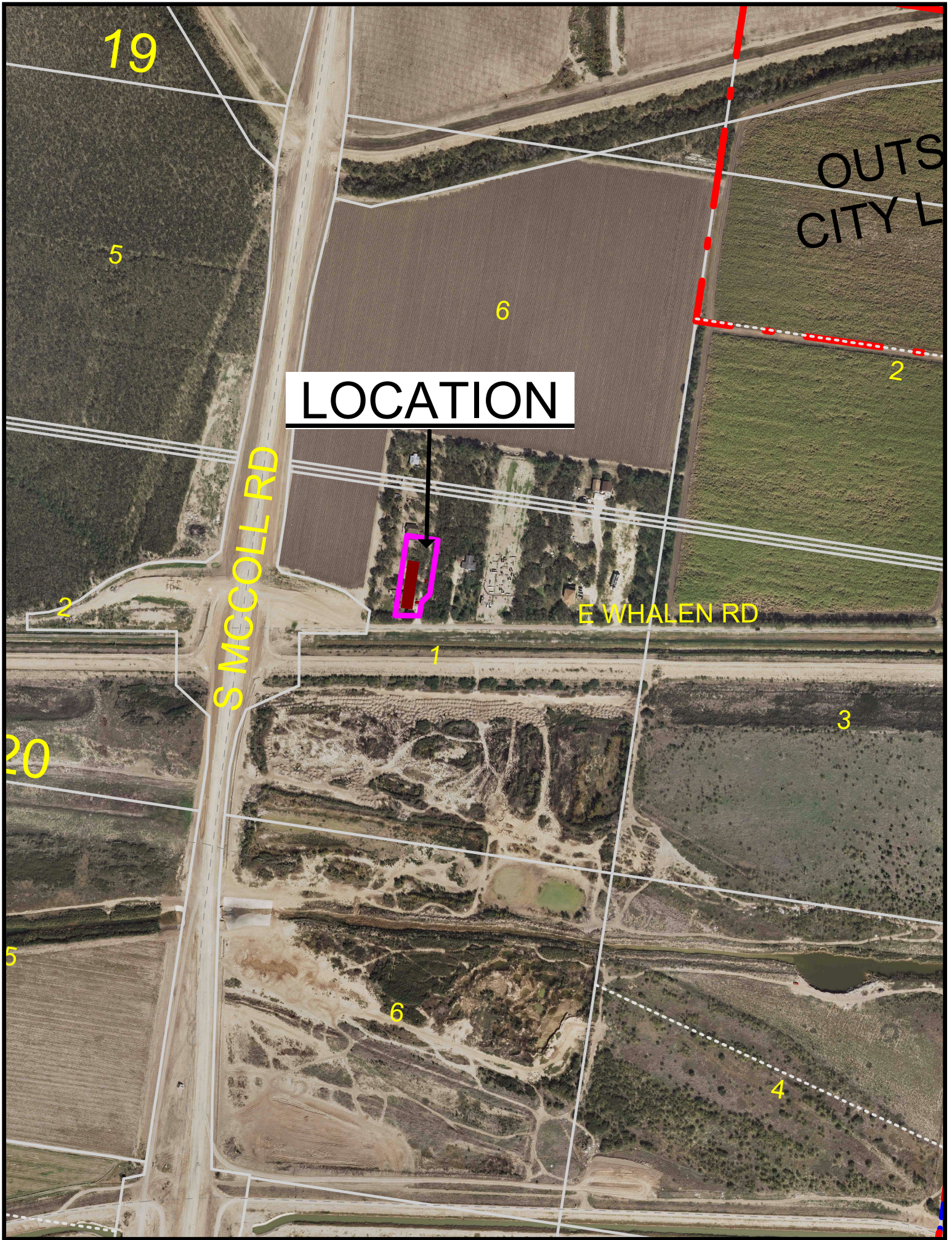
NA

* Garage: 18 ft. except where greater setback is required, greater setback applies.

Compliance

<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p> <p>**Revised plat submitted March 8, 2018 does not extend to the location of E. Military Highway. The new plat area is approximately 170 south of the roadway.</p> <p>***If the plat is revised to include other streets, requirements will be established accordingly.</p>	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on E. Whalen Road.</p> <p>**Sidewalks subject to increase to 5 ft. wide as may be required by Engineering, prior to recording.</p> <p>***Revised plat submitted March 8, 2018 does not extend to the location of E. Military Highway. The new plat area is approximately 170 south of the roadway.</p> <p>****If the plat is revised to include other streets, requirements will be established accordingly.</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Applied
	Applied
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses.</p> <p>**Revised plat submitted March 8, 2018 does not extend to the location of E. Military Highway. The new plat area is approximately 170 south of the roadway.</p> <p>***If the plat is revised to include other streets, requirements will be established accordingly.</p> <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.</p> <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Applied
	Applied
	Applied
NOTES	
<p>* No curb cut, access, or lot frontage permitted along:</p> <p>**Revised plat submitted March 8, 2018 does not extend to the location of E. Military Highway. The new plat area is approximately 170 south of the roadway.</p> <p>***If the plat is revised to include other streets, requirements will be established accordingly.</p> <p>* Site plan must be approved by the Planning and Zoning Commission prior to building permit issuance.</p> <p>* Common Areas must be maintained by the lot owners and not the City of McAllen</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>**N/A if the property remains R-1.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</p>	Applied
	NA
	Applied
	NA
	NA
	NA
LOT REQUIREMENTS	
<p>* Lots fronting public streets:</p> <p>**Revised plat submitted March 8, 2018 does not extend to the location of E. Military Highway. The new plat area is approximately 170 south of the roadway.</p> <p>***If the plat is revised to include other streets, requirements will be established accordingly.</p> <p>* Minimum lot width and lot area:</p> <p>***Revised plat submitted March 8, 2018 does not extend to the location of E. Military Highway. The new plat area is approximately 170 south of the roadway.</p> <p>****Lot must meet minimum size requirements as required by McAllen Public Utility.</p> <p>*****If the plat is revised to include other streets, requirements will be established accordingly.</p>	Compliance
	Applied

ZONING/CUP	
* Existing: R-1 Proposed: R-1	Applied
* Rezoning Needed Before Final Approval.	NA
PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording	Required
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
TRAFFIC	
* Trip Generation to determine if TIA is required, prior to final plat. Per Traffic Department, Trip Generation waived for 1 single family residence.	Complete
* Traffic Impact Analysis (TIA) required prior to final plat.	NA
COMMENTS	
<p>Must comply with City's Access Management Policy.</p> <p>**Need to address street requirements, including any RMA road that affects this property. Revised plat submitted March 8, 2018 does not extend to the location of E. Military Highway. The new plat area is approximately 170 south of the roadway.</p> <p>***Lot must meet minimum size requirements as required by McAllen Public Utility.</p> <p>****P&Z approved the plat in preliminary form at the meeting of November 6, 2018.</p> <p>*****P&Z approved the subdivision in revised preliminary form, with conditions, at the meeting of April 16, 2019.</p> <p>*****P&Z approved the subdivision in final form, with conditions, at the meeting of August 20, 2019</p> <p>*****If the plat is revised to include other streets, requirements will be established accordingly.</p> <p>*****Subdivision was approved in final form at the P&Z meeting held January 21, 2020 under B.B.E. Ranchette. *****Engineer indicated via email on June 16, 2020 the owner wanted to change the subdivision name to B.B.E. Ranch instead of B.B.E. Ranchette.</p>	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED FINAL FORM SUBJECT TO THE CONDITIONS NOTED.	Applied



19

5

6

LOCATION

OUTS
CITY L

2

2

E WHALEN RD

1

3

20

5

6

4

SUB 2020-0021



City of McAllen
Planning Department
APPLICATION FOR

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW

Project Description	<p>Subdivision Name <u>The Villas on Freddy Phase II</u></p> <p>Location <u>NEC Freddy Gonzalez & Bicentennial</u></p> <p>City Address or Block Number <u>to be determined</u></p> <p>Number of lots <u>97</u> Gross acres <u>14.888</u> Net acres <u>14.680</u></p> <p>Existing Zoning <u>R3T</u> Proposed <u>R3T</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>vacant</u> Proposed Land Use <u>residential</u> Irrigation District # <u>1</u></p> <p>Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due <u>8,160.31</u></p> <p>Parcel No. <u>297558</u> Tax Dept. Review _____</p> <p>Legal Description <u>Approx. 14.888 ac o/o lot 5 section 278, Texas Mexican RCS</u></p>
Owner	<p>Name <u>The Villas on Freddy, LLC</u> Phone <u>90(956) 381-0981</u></p> <p>Address <u>200 S. 10th St., Ste. 1700</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u></p> <p>E-mail <u>% fKurth@meldenandhunt.com</u></p>
Developer	<p>Name <u>The Villas on Freddy, LLC</u> Phone <u>90(956) 381-0981</u></p> <p>Address <u>200 S. 10th St., Ste. 1700</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u></p> <p>Contact Person <u>% Fred L. Kurth, P.E.</u></p> <p>E-mail <u>% fKurth@meldenandhunt.com</u></p>
Engineer	<p>Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u></p> <p>Address <u>115 W. McIntyre St</u></p> <p>City <u>Edinburg</u> State <u>Tx</u> Zip <u>78541</u></p> <p>Contact Person <u>Fred L. Kurth, P.E.</u></p> <p>E-mail <u>fKurth@meldenandhunt.com</u></p>
Surveyor	<p>Name <u>Melden & Hunt, Inc.</u> Phone <u>(956) 381-0981</u></p> <p>Address <u>115 W. McIntyre St.</u></p> <p>City <u>Edinburg</u> State <u>Tx</u> Zip <u>78541</u></p>

APR 03 2020

Rct # 710990 pd \$300

BY: CW 3:38 pm

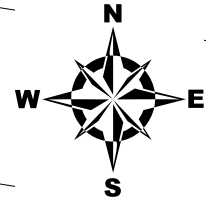
1

LOCATION

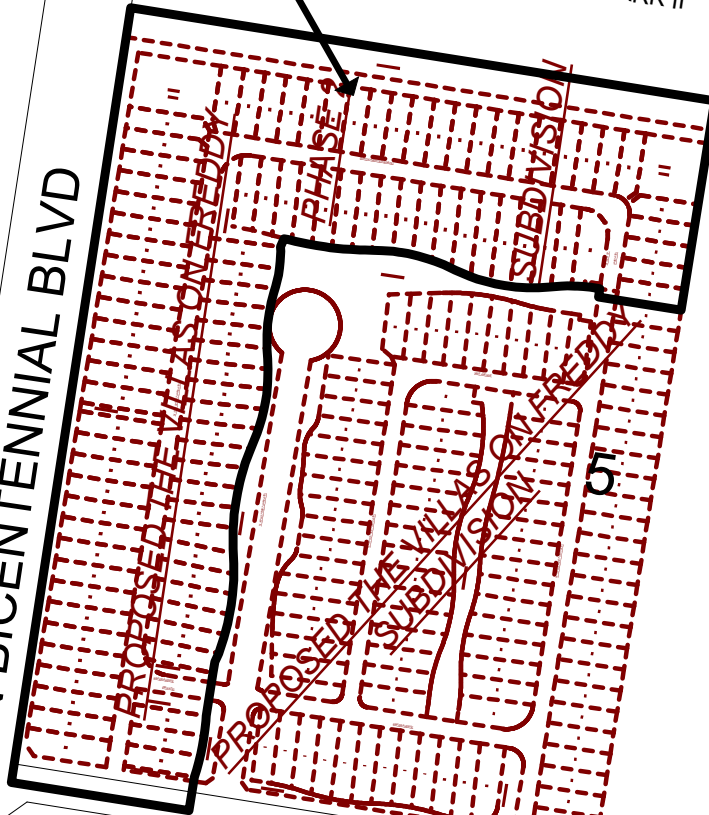
4
TRIPLE "B" MOBILE PARK
SUBDIVISION

LOT 1

TRIPLE "B" MOBILE PARK II



N BICENTENNIAL BLVD



PALM ESTATES

YALE AVE

LAS TORRES
SUB

FREDDY GONZALEZ RD

10TH ST

2

FRE

12

EZ RD

TARY
ON

-00
1401

-08
1101

-07
1001

-22
9901

-13
9817

IRRIGATION EASEMENT
DEED WITHOUT WARRANTY
DOCUMENT NO. 810546, H.C.D.R.

N:16633912.546
E:1076113.926

FWW, INC.
DEED WITHOUT WARRANTY
DOCUMENT NO. 810546, H.C.D.R.

S 80° 57' 12" E
994.69'

LOT 4, SECTION 278 TEXAS-MEXICAN RAILWAY SURVEY
VOLUME 24, PAGE 168, H.C.D.R.

15'0" IRRIGATION EASEMENT
TO H.C.D. #1
DOC. NO. 137515, H.C.D.R.

UTILITY CROSSING TO
CITY OF McALLEN
DOC. NO. 611798, H.C.D.R.

N:16633909.448
E:1075985.410

CITY OF McALLEN
10' SANITARY SEWER LINE EASEMENT
AGREEMENT (WITHOUT WARRANTY)
DOCUMENT NO. 564350, H.C.D.R.

N 08° 45' 19" E
1318.65'

125' CANAL R.O.W. (H.C.D. NO. 1)

CITY OF McALLEN
DEED WITHOUT WARRANTY
INSTRUMENT NO. 183844, H.C.D.R.

ADD. R.O.W. DEDICATED
BY THIS PLAT
(BICENTENNIAL BLVD.)

SEE
DETAIL "A"

N:16632609.262
E:1075913.210

P.O.C.
S.W. COR.
LOT 5
SECTION 278

P.O.B.

N 80° 50' 20" W
302.50'

20'00' ADD. R.O.W.
DEDICATED BY THIS PLAT

TO: CITY OF McALLEN
ROW AND UTILITY EASEMENT
DOCUMENT NO. 686557, H.C.D.R.

LOT 12, SECTION 278
TEXAS-MEXICAN RAILWAY SURVEY
VOLUME 24, PAGE 168-171, H.C.D.R.

N:16632454.628
E:1076888.306

SUBDIVISION MAP OF THE VILLAS ON FREDDY PHASE II

(PRIVATE SUBDIVISION)
BEING 14.888 ACRES OUT OF LOT 5, SECTION 278
TEXAS-MEXICAN RAILWAY COMPANY SURVEY
RECORDED IN VOLUME 24, PAGES 168-171, H.C.D.R.,
CITY OF McALLEN, HIDALGO COUNTY, TEXAS

RECEIVED

By Nikki Marie Cavazos at 9:21 am, Apr 06, 2020



AS PREPARED BY
NICKI MARIE CAVAZOS
REGISTERED PROFESSIONAL SURVEYOR
DOCUMENT NO. 278
TEXAS-MEXICAN RAILWAY COMPANY SURVEY
RECORDED IN VOLUME 24, PAGE 168-171, H.C.D.R.



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/26/2020

SUBDIVISION NAME: THE VILLAS ON FREDDY PHASE II

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Freddy Gonzalez Road - 20 ft. ROW dedication, for 50 ft. from center line for 100 ft. ROW
Paving: 65 ft. Curb & gutter: both sides.

*Must escrow monies if improvements are not constructed prior to recording.

N. 17th Street (Private), Xavier Ave. (Private), Zurich Ave. (Private) and N. 13th St. (Private):
30 ft. ROW

Paving 30 ft. Curb & gutter both sides

*Variance request for 30 ft. ROW width, and 30 ft. paving back to back approved by City
Commission on May 13, 2019.

**Fire Lanes and HOA enforcement of no parking on the streets per Fire Department
requirements.

Bicentennial Boulevard - Proposed 25 ft. additional ROW for 150.50-150.87 ft. total ROW

Paving: By the state Curb & gutter: Both sides

* 800 ft. Block Length

**Variance request to the 800 ft. block length requirement approved by City Commission at the
May 13, 2019 meeting.

* 600 ft. Maximum Cul-de-Sac

Applied

Applied

Compliance

Compliance

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial properties

NA

SETBACKS

* Front:

LOTS 96-100 SHALL BE 23 FEET (FRONTING WEST)

LOTS 101-120 SHALL BE 23 FEET (FRONTING SOUTH)

LOTS 121-138 SHALL BE 10 FEET (FRONTING SOUTH)

LOTS 139-162 SHALL BE 10 FEET (FRONTING EAST)

LOTS 163-192 SHALL BE 23 FEET (FRONTING EAST)

Applied

* Rear:

LOTS 96-100 SHALL BE 10 FEET (EAST)

LOTS 101-120 SHALL BE 10 FEET (EAST)

LOTS 121-138 SHALL BE 23 FEET (GARAGE NORTH)

LOTS 139-162 SHALL BE 23 FEET (GARAGE WEST)

LOTS 163-192 SHALL BE 10 FEET (WEST)

Applied

* Interior Sides: LOTS 96-100 SHALL BE 3 FEET NORTH SIDE AND 7 FEET SOUTH SIDE

LOTS 101-120 SHALL BE 3 FEET EAST SIDE AND 7 FEET WEST SIDE

LOTS 121-138 SHALL BE 3 FEET WEST SIDE AND 7 FEET EAST SIDE

LOTS 139-162 SHALL BE 7 FEET SOUTH SIDE AND 3 FEET NORTH SIDE

LOTS 163-192 SHALL BE 3 FEET NORTH SIDE AND 7 FEET SOUTH SIDE

Applied

* Side Corner: 5 FEET, OR GREATER FOR EASEMENTS.

Applied

* Garage: 23 ft. except where greater setback is required, greater setbacks applies.

**Garage setback proposed so vehicles don't overlap over the sidewalks

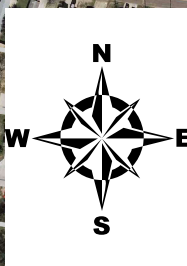
***Based on meetings engineer/developer and staff, garage setbacks provided to increase to
assure vehicles don't overhang over the sidewalks, prior to recording.

Applied

*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on Freddy Gonzalez Rd., Bicentennial Blvd. and both sides of all interior streets; however Engineer submitted a Walking Trails plan for the interior street which provides for sidewalks along the front of each unit. Sidewalks are located along some streets, while others are within common areas.</p> <p>**Variance request for sidewalk requirement approved by City Commission on May 13, 2019 as per Walking Trails Plan for the interior streets, etc.</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Required
	Applied
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along Freddy Gonzalez Rd. and Bicentennial Blvd.</p> <p>**Revise street name Freddy Gonzalez Rd. instead of Dr. now shown.</p>	Applied
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.</p>	Compliance
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
NOTES	
<p>* No curb cut, access, or lot frontage permitted along Freddy Gonzalez Rd. and/or Bicentennial Blvd.</p> <p>**Revise Note #10 on plat to reflect Freddy Gonzalez Rd.</p>	Required
* Site plan must be approved by the Planning and Zoning Commission prior to building permit issuance.	NA
* Common Areas, Private Streets must be maintained by the lot owners and not the City of McAllen	Compliance
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.	Required
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.	Applied
LOT REQUIREMENTS	
* Lots fronting public streets	Compliance
* Minimum lot width and lot area - All lots must be minimum 20 ft. wide and corner lot must be minimum 24 ft. wide in R-3T district.	Compliance
ZONING/CUP	
* Existing : R3T Proposed: R3T	Applied
* Rezoning Needed Before Final Approval	NA
PARKS	
<p>* Land dedication in lieu of fee</p> <p>**Park Land Dedication Advisory Board approved a variance for land dedication in lieu of fees at the meeting held on September 19, 2019. City Commission approved the variance to waive fees due to 3.9 acres of green space allocation at the meeting of October 28, 2019.</p>	Applied
<p>*Park Land Dedication Advisory Board approved a variance for land dedication in lieu of fees at the meeting held on September 19, 2019. City Commission approved the variance to waive fees due to 3.9 acres of green space allocation at the meeting of October 28, 2019.</p>	Applied
<p>* Pending review by the Parkland Dedication Advisory Board and CC.</p> <p>* Land dedication in lieu of fee</p>	Complete

**Park Land Dedication Advisory Board approved a variance for land dedication in lieu of fees at the meeting held on September 19, 2019. City Commission approved the variance to waive fees due to 3.9 acres of green space allocation at the meeting of October 28, 2019.	
TRAFFIC	
* Trip Generation to determine if TIA is required, prior to final plat. **Per Traffic Department Trip generation has been approved.	Complete
* Traffic Impact Analysis (TIA) required prior to final plat. **Waived if number of units has not changed.	NA
COMMENTS	
Comments: *Must comply with City's Access Management Policy **Engineers to clarify required ROW for Bicentennial Blvd. and along the north side. ***Gate detail must be submitted and approved, prior to recording	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO CONDITIONS NOTED.	Applied

LOCATION



N BICENTENNIAL BLVD

TRIPLE "B" MOBILE PARK SUBDIVISION

PROPOSED THE VILLAS ON FREDDY

PHASE 2

SUBDIVISION

PROPOSED THE VILLAS ON FREDDY SUBDIVISION

PALM ESTATES

YALE AVE

LAS TO RIES SUB

FREDDY GONZALEZ RD

10TH ST

12

2

**SUBDIVISION NAME: THE VILLAS ON FREDDY PHASE II**

DEPARTMENT	STATUS	DATE	REVIEWER	COMMENTS
Public Works Review	Reviewed	07/01/2020	Roel Mendiola	7/01/20: Private Subdivision. Plat note indicating private streets and private drainage system to be maintained by HOA. Drainage outfall connection to McAllen Drainage Ditch must adhere to City specifications. Must designate waste collection areas to accommodate commercial dumpsters with enclosures complying with Solid Waste Department requirements. Comply with Watershed Ordinance. Start Time End Time
Planning Review	Reviewed	07/01/2020	Berenice Gonzalez	Subdivision scheduled for approval in final form at the P&Z meeting scheduled for July 7, 2020. **See attached comments.
Utilities Review	Reviewed	07/01/2020	Rafael Balderas	1. Subdivision has received approval from the MPU Board. 2. Construction plans have been given and are under review. 3. Payment of the utility reimbursement in the amount of \$3,722.00 has been paid on May 11, 2020. 4. Once Final P&Z has approved the subdivision, we can move forward with a pre-construction meeting.

Fire Review	Reviewed	07/01/2020	Felipe Hernandez	07/01/20 <ul style="list-style-type: none">• Must comply with International Fire Code 2012, All Applicable NFPA standards, and any listed Permit Conditions and any and all city ordinances and conditions.• Submit site plan with gate detail• Entry Gates shall have a min. clearance of 20' wide face to face and 14' height and SOS entry system• Location will require two (2) fire department access roads that meet minimum spacing requirements (over 30 lots)• Submit site plan with dimensions for fire department access drives• Auto Turn calculations to be submitted for review. Dimensions to be Used, Inside Turn: 20 ft.; Wall to Wall: 40ft (McAllen Fire Specific)• Turn around needed if dead end is deeper than 150'• Fire hydrants must meet residential distance requirements (500')• Fire hydrants must meet commercial distance requirements if apartments are built (300')
-------------	----------	------------	------------------	--

Engineering Review	Reviewed	07/01/2020	Bilkis Olazaran Martinez	<p>07/01/2020</p> <p>1. Drainage approval has been granted. 2. As per the meeting between Project Engineer and Engineering Department, Developer will be providing escrows for public improvements along Freddy Gonzalez. 3. As per P&Z Meeting:</p> <p>Freddy Gonzalez - 20 ft. ROW dedication, for 50 ft. from center line for 100 ft. ROW Paving:65 ft. Curb & gutter: both sides. *Must escrow monies if improvements are not constructed prior to recording.</p> <p>N. 17th Street (Private), Xavier Ave. (Private), Zurich Ave. (Private) and N. 13th St. (Private): 30 ft. ROW Paving 30 ft. Curb & gutter both sides *Variance request for 30 ft. ROW width, and 30 ft. paving back to back approved by City Commission on May 13, 2019. **Fire Lanes and HOA enforcement of no parking on the streets per Fire Department requirements.</p> <p>Bicentennial Boulevard - 25 ft. dedication required for 150 ft. ROW, 25ft provided. Paving: By the state Curb & gutter: Both sides **Finalize dedication prior to final</p> <p>=====</p> <p>=====</p> <p>* 4 ft. wide minimum sidewalk required on Freddy Gonzalez Rd., Bicentennial Blvd. and both sides of all interior streets; however Engineer has submitted a Walking Trails plan for the interior street which provides for sidewalks along the front of each unit. Sidewalks are located along some streets, while others are within common areas. **Revise note on plat as noted above. ***Variance request for sidewalk requirement approved by City Commission on May 13, 2019 as per Walking Trails Plan for the interior streets, etc.</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>
--------------------	----------	------------	-----------------------------	---

Traffic Review	Reviewed	07/01/2020	Martina Mejia	<p>1. Trip generation approved, TIA waived HONORED IF NUMBER OF UNITS HAS NOT CHANGED</p> <p>2. Please submit street light layout for existing and/or proposed street lights. APPROVED DURING MASTER</p> <p>3. Please submit sign and pavement marking layout. APPROVED DURING MASTER</p> <p>4. Please submit gate detail APPROVED DURING MASTER</p> <p>5. Access spacing requirement for Freddy Gonzalez is 250ft for a Minor Arterial. APPROVED DURING MASTER</p>
Parks Review	Reviewed	07/01/2020	Joe Fuentes	<p>Per Subdivision Plat Review application dated April 3, 2020, this is the second phase for The Villas on Freddy. New plat dated June 29, 2020 was filed for review. Noticed this new plat depicts 97 lots -- proposed use is residential--R3T. Subdivision has appeared twice before the Park Land Dedication Advisory Board. First time to consider a variance of fees in lieu of land. This first request was considered on August 2, 2019 where Board voted unanimously to recommend the measure. Board met on September 19, 2019 for a second time to consider a new variance request. New variance from Developer called for Park fees to be waived. Reason to waive fees is due to Developer allocating 3.9 acres of green space within the subdivision. These 3.9 acres of green space will have amenities such as trails, pool, fitness center, pickle ball court, dog park, and a playground. New variance request was submitted to City Commission for consideration on October 28, 2019. City Commission approved the new variance to waive fees due to the 3.9 acre green space allocation.</p>



City of McAllen
Planning Department
APPLICATION FOR
SUBDIVISION PLAT REVIEW

1300 Houston Avenue
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

182017-0055

Project Description	<p>Subdivision Name <u>THE TREE APARTMENTS</u> TAYLOR ROAD APARTMENTS SUBDIVISION</p> <p>Location <u>Approx. 1650 North of Taylor Road & Expressway 83 on the east side</u></p> <p>City Address or Block Number <u>1001 S. TAYLOR RD.</u> Vasquez Ed</p> <p>Number of lots <u>2</u> Gross acres <u>18.04</u> Net acres <u>17.71</u></p> <p>Existing Zoning <u>R3A</u> Proposed <u>R3A</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>FARM</u> Proposed Land Use <u>Apartment</u> Irrigation District # <u>UNITED</u></p> <p>Residential Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></p> <p>Agricultural Tax Exemption Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>\$1,000</u></p> <p>Legal Description <u>Being a 18.04 acres of land out of the north part of Lot 187, John H. Shary Sub'd of Porciones 58, 59 & 60, Hidalgo County, Texas Recorded in Volume 1, pg. 17 & 42 M/R.</u></p>
Owner	<p>Name <u>MAJIMA, LLC & MAJIMA V, LLC</u> Phone <u>(956) 843-6009</u></p> <p>Address <u>4101 S. Shary Rd. Suite 201-A</u></p> <p>City <u>Mission</u> State <u>TX</u> Zip <u>78572</u></p> <p>E-mail <u>miguel@ginther.com.mx</u></p>
Developer	<p>Name <u>MAJIMA, LLC</u> Phone _____</p> <p>Address <u>4101 S. Shary Rd. Suite 201-A</u></p> <p>City <u>Mission</u> State <u>TX</u> Zip <u>78572</u></p> <p>Contact Person <u>MIGUEL Ramirez</u></p> <p>E-mail <u>miguel@ginther.com.mx</u></p>
Engineer	<p>Name <u>TREVINO ENGINEERING</u> Phone <u>(956) 283-8847</u></p> <p>Address <u>200 S. 10th St. Ste. 1301</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u></p> <p>Contact Person <u>IDEN I. TREVINO, PE</u></p> <p>E-mail <u>ident@trevinoengineering.com</u></p>
Surveyor	<p>Name <u>SAM Engineering & Surveying</u> Homero L. Gutierrez Phone <u>(956) 702-8880</u></p> <p>Address <u>200 S. 10th St. - 15th Floor</u> P.O. Box 548 <u>(956) 369-0988</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u> <u>78505</u></p> <p>E-mail <u>ssam@samengineering-surveying.com</u> homero-gutierrez@sbconline.net</p>

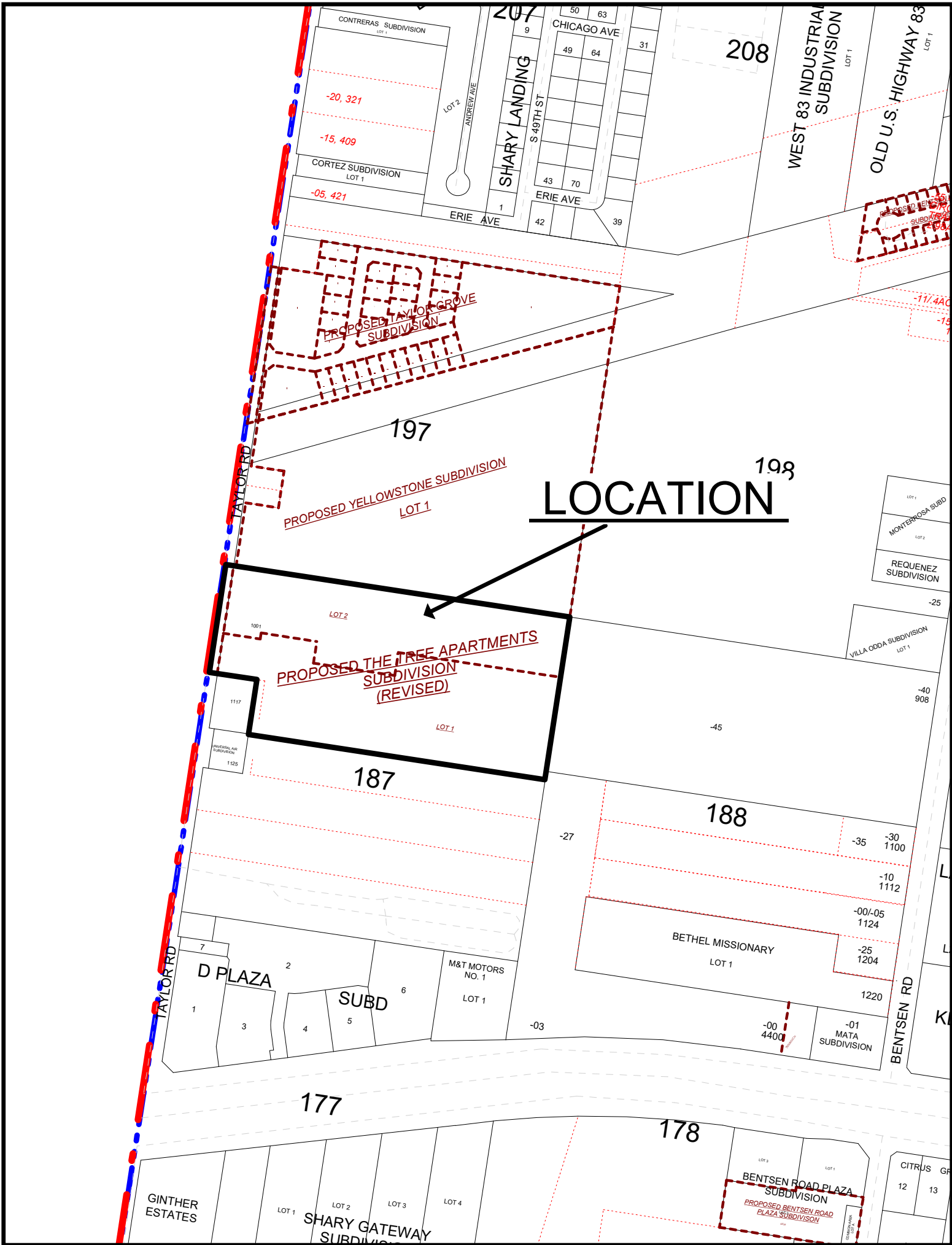
RECEIVED

AUG 14 2017

BY:

4:07pm

RC# 487946



LOCATION

**PROPOSED THE TREE APARTMENTS
SUBDIVISION
(REVISED)**

**PROPOSED TAYLOR GROVE
SUBDIVISION**

**PROPOSED YELLOWSTONE SUBDIVISION
LOT 1**

D PLAZA

SUBD

**M&T MOTORS
NO. 1
LOT 1**

**BETHEL MISSIONARY
LOT 1**

**BENTSEN ROAD PLAZA
SUBDIVISION
PROPOSED BENTSEN ROAD
PLAZA SUBDIVISION**

**-01
MATA
SUBDIVISION**

CITRUS GR

**WEST 83 INDUSTRIAL
SUBDIVISION**

OLD U.S. HIGHWAY 83

SHARY LANDING

**CONTRERAS SUBDIVISION
LOT 1**

**CORTEZ SUBDIVISION
LOT 1**

CHICAGO AVE

ERIE AVE

TAYLOR RD

BENTSEN RD

177

178

208

197

198

187

188

**GINTHER
ESTATES**

**SHARY GATEWAY
SUBDIVISION**

-20, 321

-15, 409

-05, 421

-11/4 AC

-13

**-40
908**

-45

-27

-35

**-30
1100**

**-10
1112**

**-00/-05
1124**

**-25
1204**

1220

-03

**-00
4400**

1117

**ANDERSON AIR
SUBDIVISION
1125**

7

2

3

4

5

6

-27

-35

**-30
1100**

**-10
1112**

**-00/-05
1124**

**-25
1204**

1220

-03

**-00
4400**

1117

**ANDERSON AIR
SUBDIVISION
1125**

7

2

3

4

5

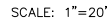
6

BEING A 18.04 ACRES (785,822.40 SQ. FT.) OF LAND OUT OF THE NORTH PART OF LOT 187, JOHN H. SHARY SUB'D, OF PORCIONES 58, 59 & 60, HIDALGO COUNTY, TEXAS. RECORDED IN VOL. 1, PG. 17 & 42, M/R

BEING A 18.04 ACRES (785,822.40 SQ. FT.) OF LAND OUT OF THE NORTH PART OF LOT 187,
JOHN H. SHARY SUB'D, OF PORCIONES 58, 59 & 60, HIDALGO COUNTY, TEXAS. RECORDED IN
VOL. 1, PG. 17 & 42, M/R

● - FND. 1/2" IRON ROD
 ○ - SET 1/2" IRON ROD SET
 W/ CAP STAMPED "SAMES"
 ● - FND. 5/8" IRON ROD
 ○ - FND. 2" IRON PIPE
 R.O.W. - RIGHT OF WAY
 FND. - FOUND
 P.O.C. - POINT OF COMMENCEMENT
 P.O.B. - POINT OF BEGINNING

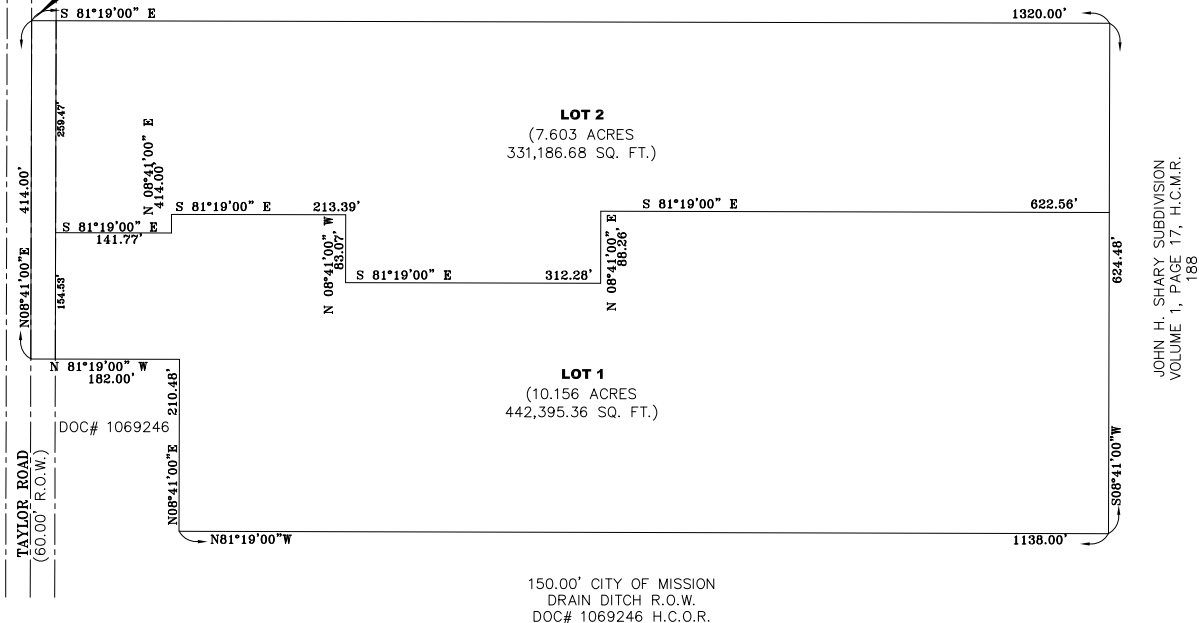
1. ALL BEARING AND DISTANCES ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD83), TEXAS STATE PLANE, SOUTH ZONE.
2. ALL HORIZONTAL CONTROL ON THIS PROJECT HAS ESTABLISHED UTILIZING RTK GPS METHODS.
3. ELEVATIONS ON THIS PROJECT ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)



BASIS OF BEARING
EAST BOUNDARY LINE OF BALBOA
ACRES SUBDIVISION,
HIDALGO COUNTY, TEXAS
VOL. 14, PG. 31,
H.C.M.R.

P.O.B.
N.W. CORNER
LOT 187
JOHN H. SHARY SUB.

JOHN H. SHARY SUBDIVISION
VOLUME 1, PAGE 17, H.C.M.R.
197



By Nikki Marie Cavazos at 9:53 am, Jul 30, 2019

RECEIVED VIA EMAIL 07/30/2019 AT 9:20 AM



City of McAllen

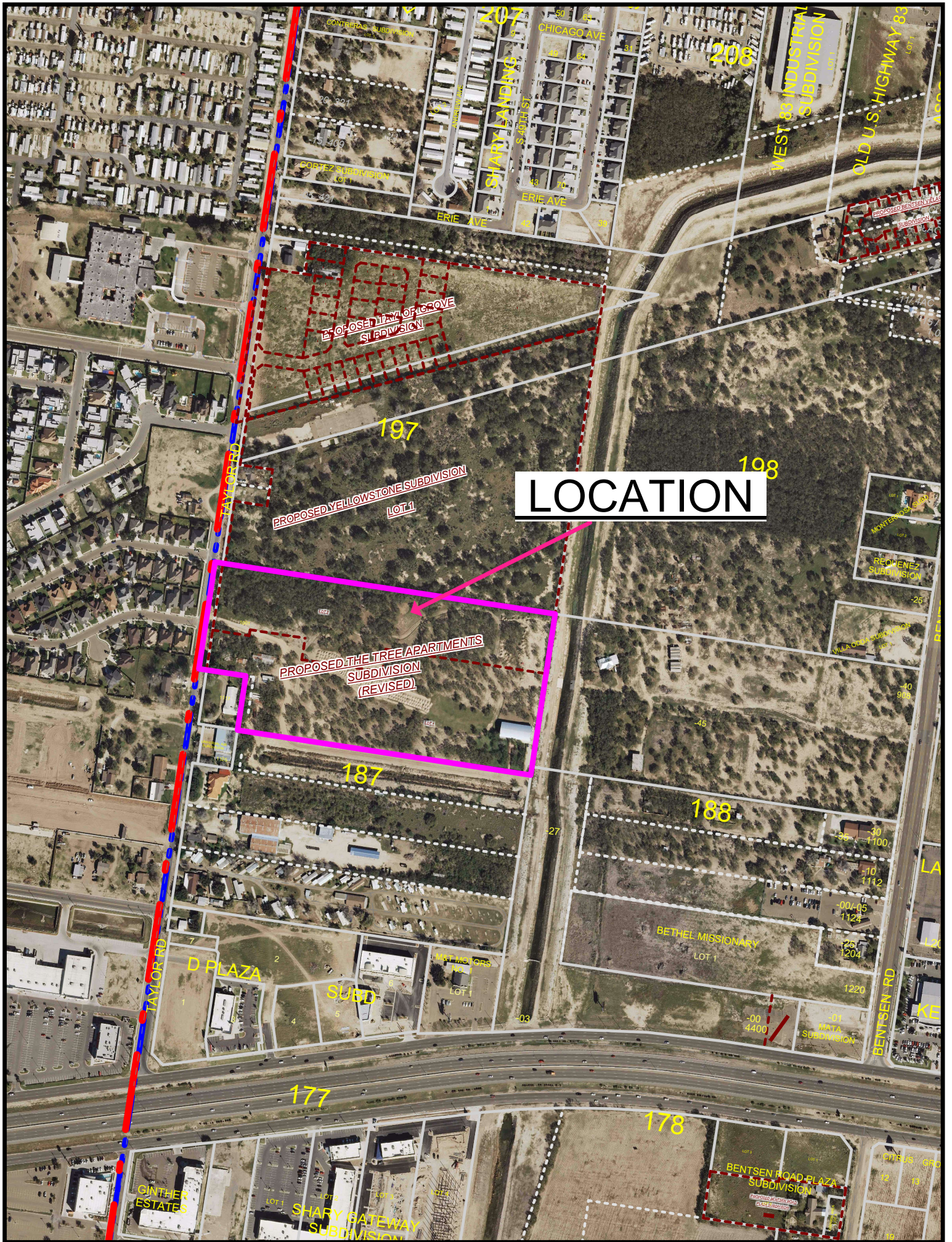
SUBDIVISION PLAT REVIEW

Reviewed On: 7/1/2020

SUBDIVISION NAME: THE TREE APARTMENTS	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>S. Taylor Road: 10 ft. dedicated for 40 ft. from centerline for an 80 ft. ROW Paving: 52 ft. - 65 ft. Curb & gutter: both sides *Owner must escrow monies for improvements not built prior to plat recording.</p>	Compliance
<p>S. 49th Street: 30 ft. ROW dedication required for 60 ft. ROW Paving: 40 ft. Curb & gutter: both sides *Owner must escrow monies for improvements not built prior to plat recording. **The property owner has submitted a variance request to not require S. 49th Street on the east boundary. ***The City Commission granted the variance to not require S. 49th Street (collector road) at their meeting on September 25, 2017.</p>	NA
* 800 ft. Block Length	NA
* 600 ft. Maximum Cul-de-Sac	NA
ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Southwest drive is proposed to be used for City Services</p>	Applied
SETBACKS	
* Front: S. Taylor Road - 40 ft. or greater for easements or approved site plan	Required
**Revise plat as noted above	
* Rear: In accordance with the Zoning Ordinance, or greater for easements	Compliance
* Sides:	Non-compliance
<p>Lot 1: North side: In accordance with the Zoning Ordinance, or greater for easements or approved site plan. South side: 0 ft. or greater for easements or approved site plan, and in compliance with Building and Fire Codes. Lot 2: North side: 0 ft. for garages or greater for easements or approved site plan. South side: 0 ft. or greater for easements or approved site plan, and in compliance with Building and Fire Codes.</p>	
**Revise plat as noted above, prior to final.	
***Project engineer, on behalf of the developer is requesting a 0 ft. sideyard setback along the north property line for the enclosed garages. However, the site plan shows a 10 ft. utility easement on the north boundary; project engineer to clarify with McAllen Public Utility and revise accordingly.	
****Revised Preliminary plat removed from the table and approved with 0 ft. building setback on the north side only by the Planning and Zoning Commission on October 17, 2017.	
*****Engineer submitted a letter on June 2, 2020 requesting the following variances: Lot 1: 0 ft. setback along the south side for garages, instead of the required 6 ft.	
*****On June 16, 2020, P&Z Board approved the 2-Lot subdivision with 0 ft. setbacks on the south side of Lot 1 and north side of Lot 2 for garages, and 0 ft. setback on the south side of Lot 2 as shown on the site plan, subject to compliance with Building and Fire Code. Site plan shows a 13'-6" separation between buildings on both lots.	
* Corner	NA
* Garage: * Garage: 18 ft. except where greater setback is required; greater setback applies	Non-compliance
**Revise Note #3 to include garage setbacks as noted above.	

*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 4 ft. wide minimum sidewalk required on S. Taylor Road.	Compliance
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses.	Compliance
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses _____	Compliance
*Perimeter buffers must be built at time of Subdivision Improvements.	NA
NOTES	
* No curb cut, access, or lot frontage permitted along	NA
* Site plan must be approved by the Planning and other Development Departments prior to building permit issuance.	Required
* Common Areas, private service drives must be maintained by the lot owners and not the City of McAllen.	Required
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.	NA
LOT REQUIREMENTS	
* Lots fronting public streets	Compliance
* Minimum lot width and lot area	Compliance
ZONING/CUP	
* Existing: R-3A Proposed: R-3A	Compliance
* Rezoning Needed Before Final Approval	NA
PARKS	
* Land dedication in lieu of fee	NA
* Park Fee of \$700 per dwelling unit will be required to be paid as per City Commission approval/requirements as agreed on January 13, 2020, January 27, 2020 and February 10, 2020. **Per City Commission action on February 10, 2020: Developer to pay \$106,400 within 30 days of closing for Phase I, and the remaining \$106,400 as building permits for Phase I begin to be issued	Required
* Considered on December 18, 2019 by the Parkland Dedication Advisory Board and City Commission on January 13, 2020, January 27, 2020, and February 10, 2020. **Per City Commission action on February 10, 2020: Developer to pay \$106,400 within 30 days of closing for Phase I, and the remaining \$106,400 as building permits for Phase I begin to be issued.	Applied
TRAFFIC	
* Trip Generation to determine if TIA is required, prior to final plat. Per Traffic Department engineer submitted a TIA in lieu of a Trip Generation.	Applied

* Traffic Impact Analysis (TIA) required prior to final plat. Per Traffic Department TIA has been approved.	Completed
COMMENTS	
<p>Comments: *Preliminary plat approved by the Planning and Zoning Commission on September 5, 2017.</p> <p>**Revised Preliminary plat removed from the table and approved with 0 ft. building setback on the north side only by the Planning and Zoning Commission on October 17, 2017.</p> <p>***City Commission granted the variance to not require S. 49th Street (collector road) at their meeting on September 25, 2017.</p> <p>****Per Traffic, the plat must comply with the City's Access Management Policy.</p> <p>****Project engineer to coordinate the alignment of driveways with existing drives on the west side of S. Taylor Road.</p> <p>*****Driveways/Access for S. Taylor Road must be at a spacing of 425 ft. and 200 ft. spacing on future S. 49th Street.</p> <p>*****Subdivision layout has been revised as 2-lot subdivision instead of the 1-lot originally submitted.</p> <p>*****On June 16, 2020, P&Z Board approved the 2-Lot subdivision with 0 ft. setbacks on the south side of Lot 1 and north side of Lot 2 for garages, and 0 ft. setback on the south side of Lot 2 as shown on the site plan, subject to compliance with Building and Fire Code. Site plan shows a 13'-6" separation between buildings on both lots.</p>	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL IN FINAL FORM, SUBJECT TO CONDITIONS NOTED.	Applied



LOCATION

SUB2020-0041



City of McAllen
Planning Department
**APPLICATION FOR
SUBDIVISION PLAT REVIEW**

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project Description	<p>Subdivision Name <u>Santoy Subdivision</u></p> <p>Location <u>3321 W. US Highway 83, McAllen, TX</u></p> <p>City Address or Block Number <u>3321 W. US Highway 83, McAllen, TX</u></p> <p>Number of lots <u>1</u> Gross acres <u>1.27</u> Net acres <u>1.27</u></p> <p>Existing Zoning <u>C3</u> Proposed _____ Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>comm.</u> Proposed Land Use <u>comm.</u> Irrigation District # <u>1</u></p> <p>Residential Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>N/A</u></p> <p>Parcel No. <u>204813 88</u> Tax Dept. Review _____</p> <p>Legal Description <u>A 1.27 acre portion of L. 2 and 3, King's Highway Subdivision</u></p>
Owner	<p>Name <u>Juan Santoy</u> Phone <u>956-212-7121</u></p> <p>Address <u>2436 Carianna Avenue</u></p> <p>City <u>Mission</u> State <u>Texas</u> Zip <u>78572</u></p> <p>E-mail <u>JFSantoy@gmail.com</u></p>
Developer	<p>Name <u>same as owner</u> Phone _____</p> <p>Address _____</p> <p>City _____ State _____ Zip _____</p> <p>Contact Person _____</p> <p>E-mail _____</p>
Engineer	<p>Name <u>Spoor Engineering Consultants, Inc.</u> Phone <u>956-683-1000</u></p> <p>Address <u>202 So. 4th Street</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u></p> <p>Contact Person <u>Steve Spoor, P.E.</u></p> <p>E-mail <u>SEC@SpoorEng.com</u></p>
Surveyor	<p>Name <u>Paul Pena</u> Phone <u>956-682-8812</u></p> <p>Address <u>1001 Whitewing Avenue</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u></p>

RECEIVED

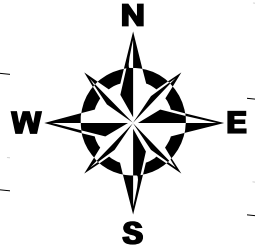
JUN 17 2020

8:41:10pm

Act # 721478 pd \$225-

LOCATION

ASH AVE



US BUSINESS 83

35TH ST

PABLO'S SUBDIVISION
LOT 1

PROPOSED SANTOY
SUBDIVISION
LOT 1

LOT 1

84

5

BLK 1

1

PROPOSED AUSTIN

(DATE)

PROPOSED
SUBDIVISION

36

36

12

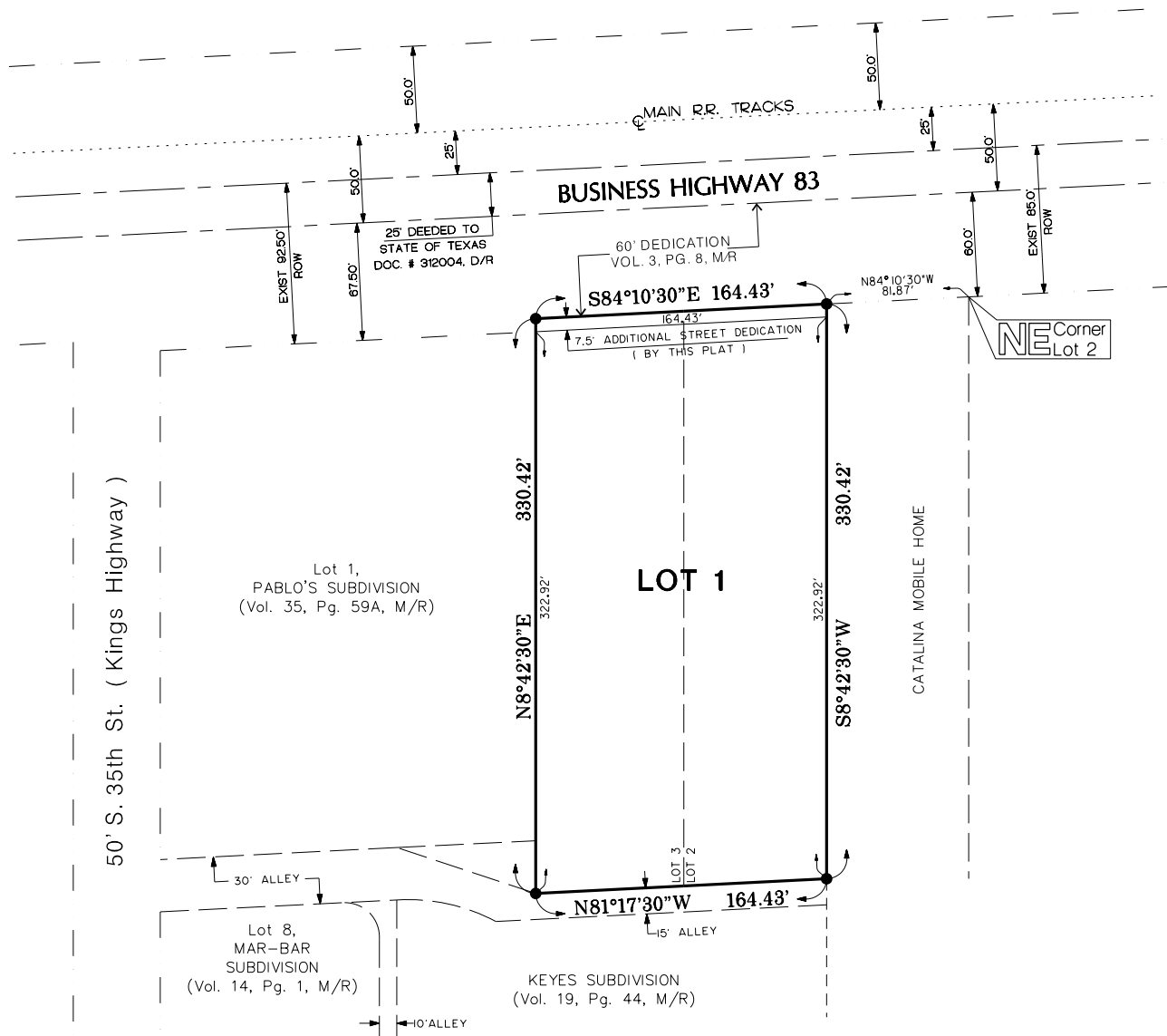
LOT 2

IS TRAILER PARK 5 SUBDIVISION

1

33RD ST

NSON SUBD.
PID



MAP OF SANTOY SUBDIVISION

McAllen, Texas

Being a Subdivision of a 1.27 Ac. Tract of Land
Out of Lots 2 and 3, Kings Hiway Subdivision,
Hidalgo County, Texas, according to plat record in
Vol. 3, Pg. 8, Map Records, Map Records,
Hidalgo County, Texas.

RECEIVED

By Nikki Marie Cavazos at 11:42 am, Jun 22, 2020

RECEIVED VIA EMAIL 06/17/2020 AT 4:23 PM



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/30/2020

SUBDIVISION NAME: SANTOY	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
U.S. Highway 83 (Loop 374): Proposing additional 7.5 ft. (subject to increase to 10 ft. for 95 ft. ROW) for 67.5 ft. from centerline for a total of 92.5 ft. ROW. Paving: By the state Curb & gutter: By the state **Need to revise street name as noted above. ***Show centerline and ROW on both sides and total ROW after accounting for ROW dedication.	Non-compliance
Paving _____ Curb & gutter _____ * 800 ft. Block Length * 600 ft. Maximum Cul-de-Sac	Applied
	Compliance
	Compliance
ALLEYS	
ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Plat shows 15 ft. alley on the rear side of the property. Need to revise prior to final as needed to comply with requirements for City services.	Non-compliance
SETBACKS	
* Front: 50 ft. or greater for approved site plan or easement	Applied
* Rear: In accordance with the Zoning Ordinance or greater for approved site plan, or easements. **Revise plat and label rear setback accordingly	Non-compliance
* Sides: In accordance with the Zoning Ordinance or greater for approved site plan, or easements. **Revise plat to identify side setbacks accordingly.	Non-compliance
* Corner	NA
* Garage	NA
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 5 ft. wide minimum sidewalk required on West Business Highway 83 **Revise Note #5 on plat to reflect West Business Highway 83 as street name	Non-compliance
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses	Compliance
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses	Compliance
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
NOTES	
* No curb cut, access, or lot frontage permitted along	NA

* Site plan must be approved by the Planning and other Development Departments prior to building permit issuance.	Required
* Common Areas, Private Streets, services drives, etc. must be maintained by the lot owners and not the City of McAllen	Required
**Note required on plat regarding maintenance of service drives to be done by owner and not City of McAllen	
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	Applied
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.	NA
LOT REQUIREMENTS	
* Lots fronting public streets	Compliance
* Minimum lot width and lot area	Compliance
ZONING/CUP	
* Existing: C-3 & R-4 Proposed: C-3	Non-compliance
**Rezoning needs to be completed prior to final approval.	
* Rezoning Needed Before Final Approval	Required
PARKS	
* Land dedication in lieu of fee	NA
* Park Fee of \$700 per dwelling unit/lot to be paid prior to recording	NA
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
TRAFFIC	
* Trip Generation to determine if TIA is required, prior to final plat. Per Traffic Department, need to submit a Trip Generation to determine if a TIA will be required.	Non-compliance
* Traffic Impact Analysis (TIA) required prior to final plat.	TBD
COMMENTS	
Comments: **Must comply with City's Access Management Policy **Provide site plan for review ***Property will need to be rezoned before final approval ****Show centerline along West Business Highway 83 and show total ROW after accounting for dedication *****Service drive required for commercial properties, revise plat as needed prior to final. *****Show legal description for triangular property located adjacent to southwest corner of subdivision, clarify/revise as needed.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO CONDITIONS NOTED, AND UTILITIES, AND DRAINAGE APPROVALS.	Applied

LOCATION

ASH AVE

US BUSINESS 83



35TH ST

PABLOS SUBDIVISION
LOT 1

PROPOSED SANTOY
SUBDIVISION
LOT 1

LOT 1

1ST TRAILER PARK 5 SUBDIVISION

33RD ST

INSON SUBD
PID

PROPOSED AUSTIN
LOT 1
LOT 2
LOT 3
LOT 4
LOT 5
LOT 6
LOT 7
LOT 8
LOT 9
LOT 10
LOT 11
LOT 12
LOT 13
LOT 14
LOT 15
LOT 16
LOT 17
LOT 18
LOT 19
LOT 20
LOT 21
LOT 22
LOT 23
LOT 24
LOT 25
LOT 26
LOT 27
LOT 28
LOT 29
LOT 30
LOT 31
LOT 32
LOT 33
LOT 34
LOT 35
LOT 36
LOT 37
LOT 38
LOT 39
LOT 40
LOT 41
LOT 42
LOT 43
LOT 44
LOT 45
LOT 46
LOT 47
LOT 48
LOT 49
LOT 50
LOT 51
LOT 52
LOT 53
LOT 54
LOT 55
LOT 56
LOT 57
LOT 58
LOT 59
LOT 60
LOT 61
LOT 62
LOT 63
LOT 64
LOT 65
LOT 66
LOT 67
LOT 68
LOT 69
LOT 70
LOT 71
LOT 72
LOT 73
LOT 74
LOT 75
LOT 76
LOT 77
LOT 78
LOT 79
LOT 80
LOT 81
LOT 82
LOT 83
LOT 84
LOT 85
LOT 86
LOT 87
LOT 88
LOT 89
LOT 90
LOT 91
LOT 92
LOT 93
LOT 94
LOT 95
LOT 96
LOT 97
LOT 98
LOT 99
LOT 100

PRIVATE)

ON

SUBDIVISION

LOT 2

**City of McAllen****SUBDIVISION PLAT DEPARTMENT REVIEWS****SUBDIVISION NAME: SANTOY**

DEPARTMENT	STATUS	DATE	REVIEWER	COMMENTS
Utilities Review	Reviewed	06/24/2020	Rafael Balderas	1. The subdivision will need receive approval from the MPU Board. 2. Please provide a utility layout showing the water and sewer lines and services. 3. Water meter(s) should be placed within a green area. 4. Clean-out(s) needed at the edge of ROW/Utility easement for the sewer service. 5. For commercial use, fire hydrant spacing is 300 feet. Additional fire hydrant may need to be required. 6. With the subdivision process, payment of a utility reimbursement may be needed and will be determined prior to the subdivision going before the MPU Board.
Fire Review	Reviewed	06/24/2020	Felipe Hernandez	06/24/20 <ul style="list-style-type: none">• Submit site plan with Fire Hydrant layout (new and existing)• Fire hydrants must meet commercial distance requirements (300')• Submit site plan with dimensions for fire department access drives• Fire Department Connections (FDC) must be within 150' of fire hydrant if the building (s) requires a Fire Sprinkler System• Maintain 20' Fire Department Access around building• Buildings with a vertical height over 30' require 26' wide Fire Department Access roads around building• Turn around needed if dead end is deeper than 150'
Engineering Review	Reviewed	06/24/2020	Bilkis Olazaran Martinez	1. Drainage approval required. Pending submittal of Hidalgo County-approved drainage report. 2. Paving and drainage escrows to be established at P&Z meeting.

Traffic Review	Reviewed	06/24/2020	Martina Mejia	<ol style="list-style-type: none">1. Please submit trip generation to see if a traffic impact analysis is required.2. Please submit a site plan to verify access location is meeting access management policy. Access spacing requirement is 250ft spacing for Business HWY 83, minor arterial road. Throat length requirement of 30ft from ROW.3. Please submit a street light layout to see if street lights are required. Street lights are to be 150ft spacing on Business HWY 83 for an arterial road.4. Please show sign and pavement marking layouts, if applicable.5. Please review Access Management Policy to make sure you are following access requirements.
Parks Review	Reviewed	06/24/2020	Joe Fuentes	According to Subdivision Pat Review Application dated June 17, 2020 proposed use is commercial. Commercial developments do not apply to Parks.
Public Works Review	Reviewed	06/24/2020	Roel Mendiola	6/24/20 please submit site plan with dumpster location, with a service drive or service alley. Will also need storm drain plan for site.
Planning Review	Reviewed	06/22/2020	Berenice Gonzalez	Subdivision is scheduled for approval in preliminary form, subject to conditions noted at the P&Z meeting of July 7, 2020. **See attached comments

SUB 2020-0042



City of McAllen
Planning Department
**APPLICATION FOR
SUBDIVISION PLAT REVIEW**

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project Description	Subdivision Name <u>Flores Estates Subd</u> Location <u>Southeast corner of SH 107 and Taylor Rd in McAllen, Texas</u> City Address or Block Number <u>W. Hwy 107</u> Number of lots <u>2</u> Gross acres <u>2.531</u> Net acres <u>1.979</u> Existing Zoning <u>R-1</u> Proposed <u>R-1</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____ Existing Land Use <u>Res.</u> Proposed Land Use <u>Res.</u> Irrigation District # <u>United Irr. Dist.</u> Residential Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>0</u> Parcel No. <u>458362</u> Tax Dept. Review _____ Legal Description <u>2.72 Acres out of Lot 507 of John H. Shary Subdivision</u> <u>as per Vol 1 pg 42, H.C.M.R.</u>
Owner	Name <u>Juan and Antonia Flores</u> Phone <u>(956)638-0761</u> Address <u>11831 Acosta Ave.</u> City <u>Mission</u> State <u>Texas</u> Zip <u>78573</u> E-mail <u>noebazan1@yahoo.com</u>
Developer	Name <u>Noe Bazan</u> Phone <u>956-638-0761</u> Address <u>11837 Acosta Circle West</u> City <u>Mission</u> State <u>Texas</u> Zip <u>78573</u> Contact Person <u>Noe Bazan</u> E-mail <u>noebazan1@yahoo.com</u>
Engineer	Name <u>Altex Engineering</u> Phone <u>956-294-1241</u> Address <u>50 N. Vermont Ave. Suite C</u> City <u>Mercedes</u> State <u>Texas</u> Zip <u>78570</u> Contact Person <u>Juan Alonzo, P.E.</u> E-mail <u>jalonzo@altexeng.com</u>
Surveyor	Name <u>Reynaldo Robles, RPLS</u> Phone <u>956-968-2422</u> Address <u>107 W. Huisache St</u> City <u>Weslaco</u> State <u>Texas</u> Zip <u>78570</u>

RECEIVED
JUN 18 2020
BY: Scio Ram

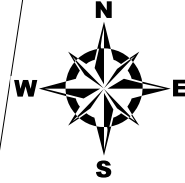
Pct# 721767 pd \$225

PROPOSED
SHANDELLE ACRES SUBD

516

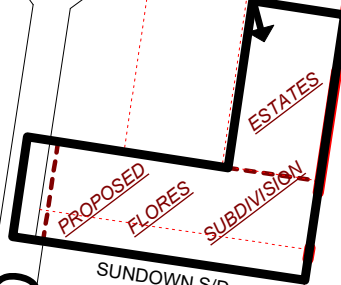
517

LOCATION



S.H 107 (11700)

506



SUNDOWN S/D
LOT 1

DOBERMAN ESTATES
SUBD
LOT 1

507

OUTSIDE CITY LIMITS

11504 11500

11424 11422
-02 11420
11400 11416

-00
11316

-07
11308

11300

497

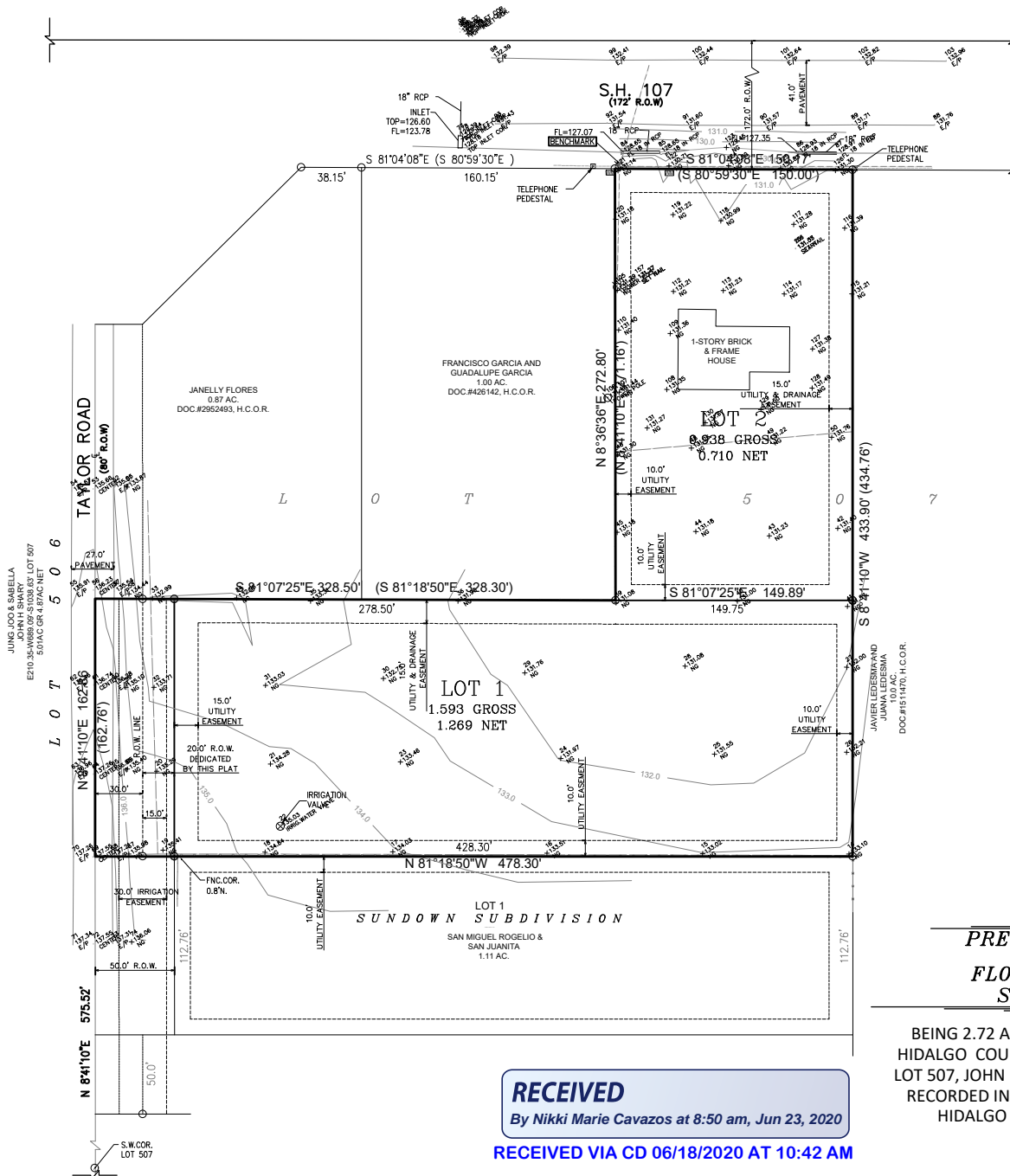
OSCAR
SUBD
11116

200)

6

-10

FLORES ESTATES
SUBDIVISION
SCALE: 1" = 50'



**PRELIMINARY PLAT
OF
FLORES ESTATES
SUBDIVISION**

BEING 2.72 ACRES OF LAND SITUATED IN HIDALGO COUNTY, TEXAS AN BEING OUT OF LOT 507, JOHN H. SHARY SUBDIVISION AS PER RECORDED IN VOLUME 1, PAGE 42 OF THE HIDALGO COUNTY MAP RECORDS.

RECEIVED

By Nikki Marie Cavazos at 8:50 am, Jun 23, 2020

RECEIVED VIA CD 06/18/2020 AT 10:42 AM



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/26/2020

SUBDIVISION NAME: FLORES ESTATES

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

S.H. 107: Existing 86 ft. from centerline for 172 ft. total ROW.

Paving: By the state Curb & gutter: by the state

**Need to show centerline along S.H. 107

***Need to show ROW on both sides of centerline to determine dedication prior to final

****Remove pavement details from plat

Non-compliance

N. Taylor Road: 20 ft. ROW dedication for 50 ft. from centerline for 100 ft. total ROW

Paving: 65 ft. Curb & gutter: Both sides

**Revise street name on plat to N. Taylor Rd.

***Need to show centerline along Taylor Rd. and label ROW on both sides of centerline to determine dedication requirements, prior to final

****Remove pavement details from plat

Non-compliance

Paving _____ Curb & gutter _____

Applied

* 800 ft. Block Length

Compliance

* 600 ft. Maximum Cul-de-Sac

Compliance

ALLEYS

ROW: 16 ft. Paving: 20 ft.

*Alley/service drive easement required for commercial properties

NA

SETBACKS

* Front:

S.H. 107: 75 ft.

Applied

Taylor Rd.: 75 ft.

* Rear: 15 ft. or greater for easements

Compliance

* Sides: 15 ft. or greater for easements

Compliance

* Corner

NA

* Garage: 18 ft., except where greater setback is required, greater setback applies.

**Include note on plat regarding garage setback

Non-compliance

*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN

Applied

SIDEWALKS

* 4 ft. wide minimum sidewalk required on Taylor Rd. and 5 ft. wide minimum sidewalk required along S.H. 107.

**Revise Note #11 as shown above.

***5 ft. wide minimum sidewalk required on S.H. 107, per Engineering Department.

* Perimeter sidewalks must be built or money escrowed if not built at this time.

Non-compliance

Applied

BUFFERS

* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses

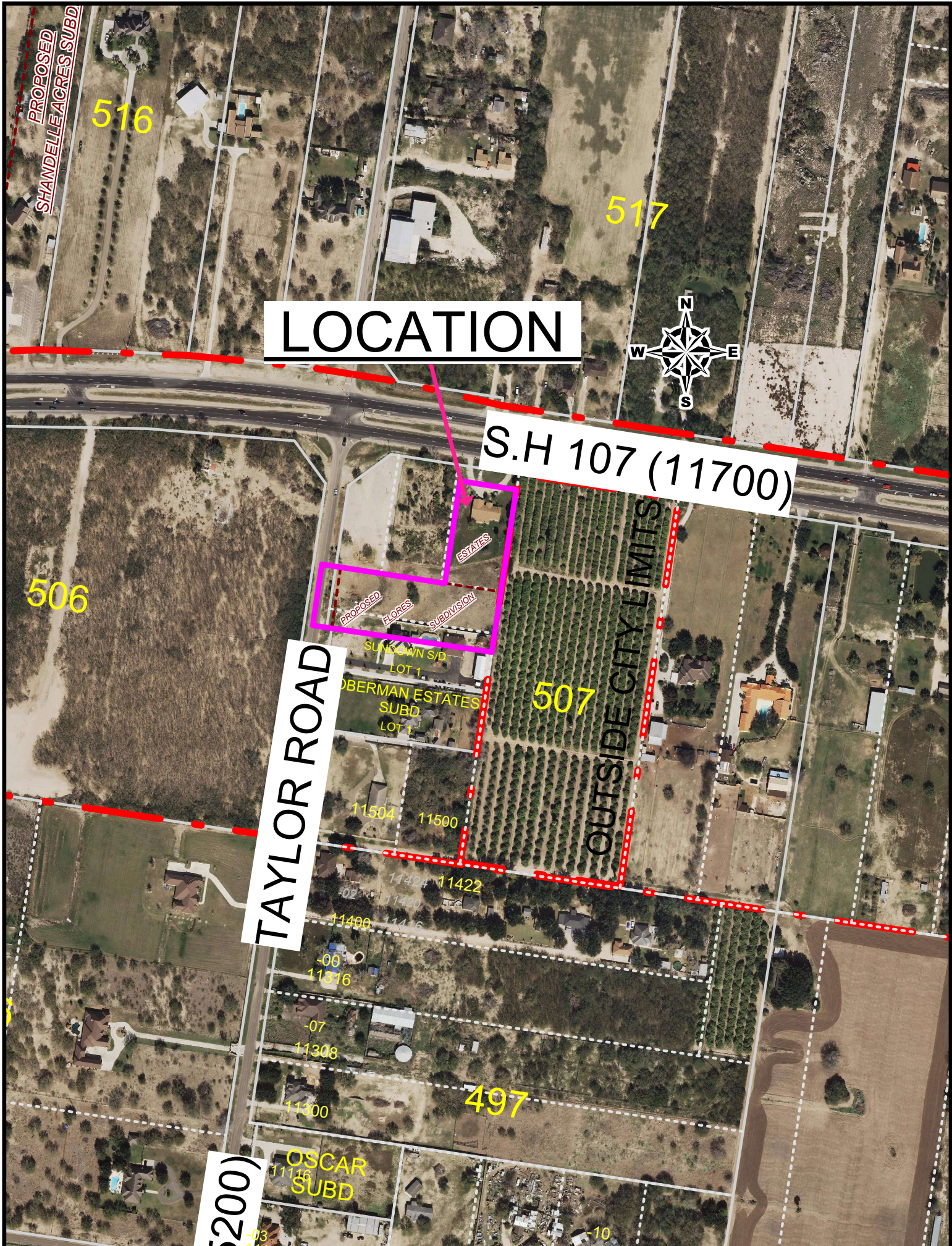
**Revise plat to include note as shown above.

* 8 ft. masonry wall required between single family residential and commercial, industrial, or

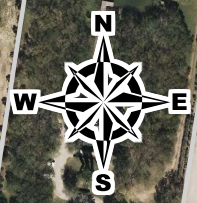
Non-compliance

Non-compliance

multi-family residential zones/uses. **Revise plat to include note as shown above. *Perimeter buffers must be built at time of Subdivision Improvements.	
	Applied
NOTES	
* No curb cut, access, or lot frontage permitted along	TBD
* Site plan must be approved by the Planning and other Development Departments prior to building permit issuance.	NA
* Common Areas, Private Streets, service drives, etc. must be maintained by the lot owners and not the City of McAllen	Applied
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.	Applied
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.	NA
LOT REQUIREMENTS	
* Lots fronting public streets	Compliance
* Minimum lot width and lot area	Compliance
ZONING/CUP	
* Existing: R-1 Proposed: R-1	Applied
* Rezoning Needed Before Final Approval	NA
PARKS	
* Land dedication in lieu of fee	NA
* Park Fee of \$700 per dwelling unit/lot to be paid prior to recording. Based on plat submitted June 18, 2020 2 residential lots are proposed. Park fees will apply at a rate of \$700 x 2 lots = \$1,400 due prior to recording	Required
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
TRAFFIC	
* Trip Generation to determine if TIA is required, prior to final plat. Per Traffic Department, need to submit a Trip Generation to determine if a TIA will be required prior to final.	Non-compliance
* Traffic Impact Analysis (TIA) required prior to final plat.	TBD
COMMENTS	
Comments: **Must comply with City's Access Management Policy ***Submit site plan for review location of dumpsters for City services ****Rezoning needed prior to final approval *****Show centerline along S.H. 107 and Taylor Rd. Also, show ROW on both sides of centerline and show total ROW after accounting for additional dedication *****Label easement shown along north side of Lot 2	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO CONDITIONS NOTED, UTILITY AND DRAINAGE APPROVALS.	Applied



LOCATION



S.H 107 (11700)

PROPOSED FLORES SUBDIVISION

TAYLOR ROAD

OUTSIDE CITY LIMITS

(200)

OSCAR SUBD

SUB2020-0043



City of McAllen
Planning Department

APPLICATION FOR
SUBDIVISION PLAT REVIEW

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project Description	Subdivision Name <u>La Contessa Subd.</u>
	Location <u>SEC BRESTED (S.) : GALVESTON</u>
	City Address or Block Number <u>NOT ASSIGNED</u>
	Number of lots <u>4</u> Gross acres <u>0.86</u> Net acres <u>0.86</u>
	Existing Zoning <u>R-1</u> Proposed <u>R-1</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____
	Existing Land Use <u>OPEN</u> Proposed Land Use <u>RESIDENTIAL</u> Irrigation District # _____
	Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>1500⁰⁰</u>	
Parcel No. <u>PTD L1300000000</u> Tax Dept. Review <u>1517</u>	
Legal Description <u>0.86 ac. o/o LOT 151, LA LOMITA IRRIG. : CONSTRUCTION Co.'s SUBD.</u>	
Owner	Name <u>GABRIEL SOSA : BLANCA L. GARZA</u> Phone <u>455-0717</u>
	Address <u>704 N. 49TH ST.</u>
	City <u>McALLEN</u> State <u>TX</u> Zip <u>78501</u>
	E-mail <u>ripit1268@gmail.com</u>
Developer	Name <u>SAME AS OWNER</u> Phone _____
	Address _____
	City _____ State _____ Zip _____
	Contact Person _____
	E-mail _____
Engineer	Name <u>David Salinas</u> Phone <u>682-9081</u>
	Address <u>2221 DAFFODIL AVE.</u>
	City <u>McALLEN</u> State <u>TX</u> Zip <u>78501</u>
	Contact Person <u>David</u>
	E-mail <u>dsalinas@salinasengineering.com</u>
Surveyor	Name <u>SAME AS OWNER</u> Phone _____
	Address _____
	City _____ State _____ Zip _____



RC# 722441 pd \$225

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- _____ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- _____ Title Report
- _____ 8 ½" by 11" Original Sealed Survey showing existing structures/
easements or 3 blueline copies
- _____ 2 Location Maps
- _____ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- _____ 6 Folded blueline prints of the proposed plat
- _____ 2 Warranty Deeds (Identifying owner on application)
- _____ Autocad 2005 DWG file and PDF of plat
- _____ Letter of Authorization from the owner, if applicable
- _____ Proof of authority of person signing application on behalf of
partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and
surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width
from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 6/17/20

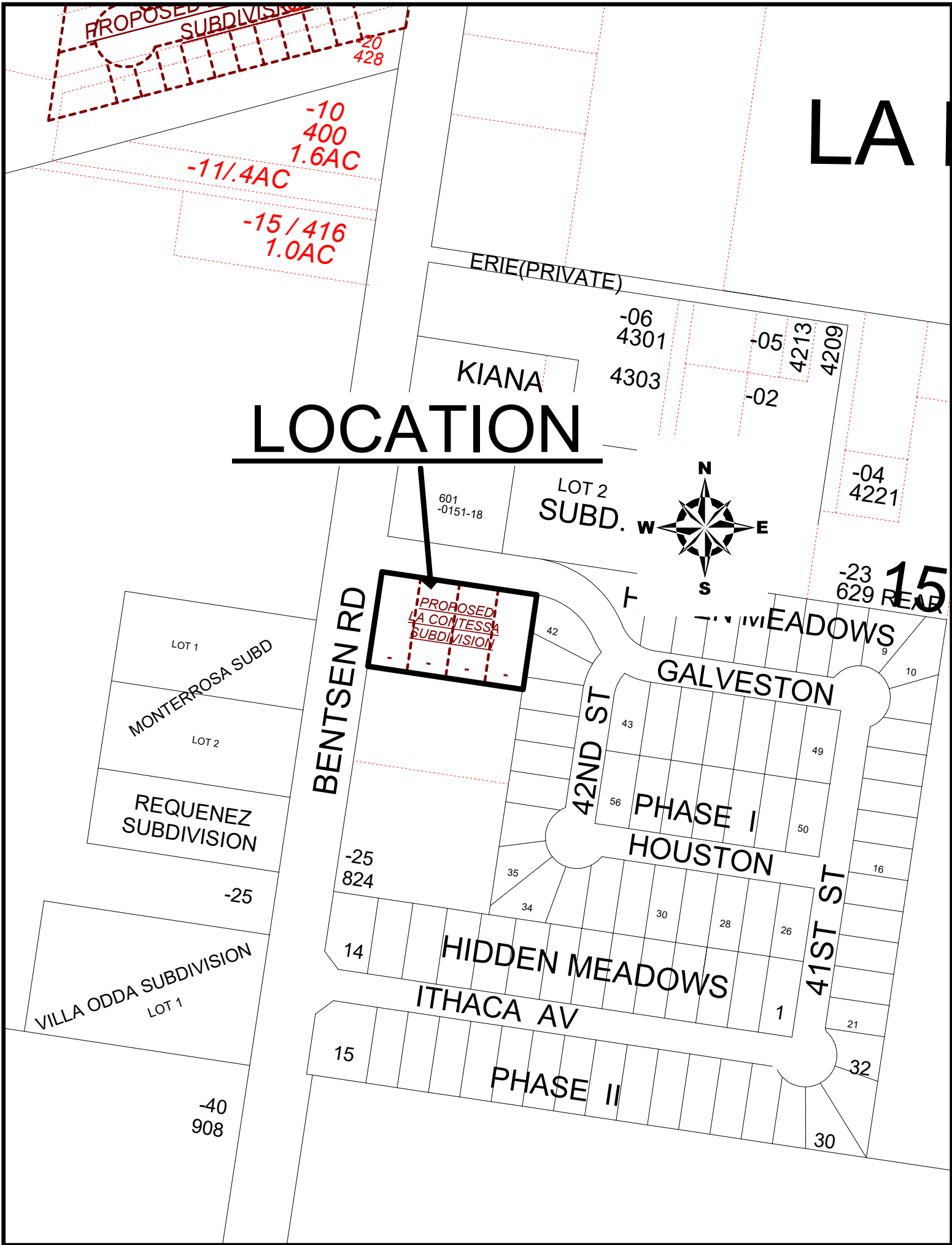
Print Name Gabriel Sosa

Owner ☐

Authorized Agent ☐

LA I

LOCATION





Reviewed On: 6/30/2020

SUBDIVISION NAME: LA CONTESSA**REQUIREMENTS****STREETS AND RIGHT-OF-WAYS**

South Bentsen Road: 50 ft. from centerline for 100 ft. ROW
 Paving: 65 ft. Curb & gutter: Both sides

Galveston Avenue: Existing 28.45 ft. from centerline for 56.89 ft ROW
 Paving: Approximately 36 ft. existing Curb & gutter: Both sides

Paving _____ Curb & gutter _____

* 800 ft. Block Length.

* 600 ft. Maximum Cul-de-Sac.

Applied

Applied

Applied

Compliance

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.
 *Alley/service drive easement required for commercial properties

NA

SETBACKS

* Front (Galveston Avenue): 25 ft. or greater for easements.
 **Please revise plat note as shown above.

* Rear: 10 ft. or greater for easements.

* Sides: 6 ft. or greater for easements or in accordance with the Zoning Ordinance.
 **Please revise plat note as shown above.

* Corner (South Bentsen Road): 10 ft. or greater for easements.
 **Please revise plat note as shown above.

* Garage: 18 ft. or except where greater setback is required; greater setback applies.

*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN

Non-compliance

Compliance

Applied

Non-compliance

Compliance

Applied

SIDEWALKS

* 4 ft. wide minimum sidewalk required on South Bentsen Road and Galveston Avenue.

* Perimeter sidewalks must be built or money escrowed if not built at this time.

Compliance

Applied

BUFFERS

* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along South Bentsen Road.

* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.

*Perimeter buffers must be built at time of Subdivision Improvements.

Non-compliance

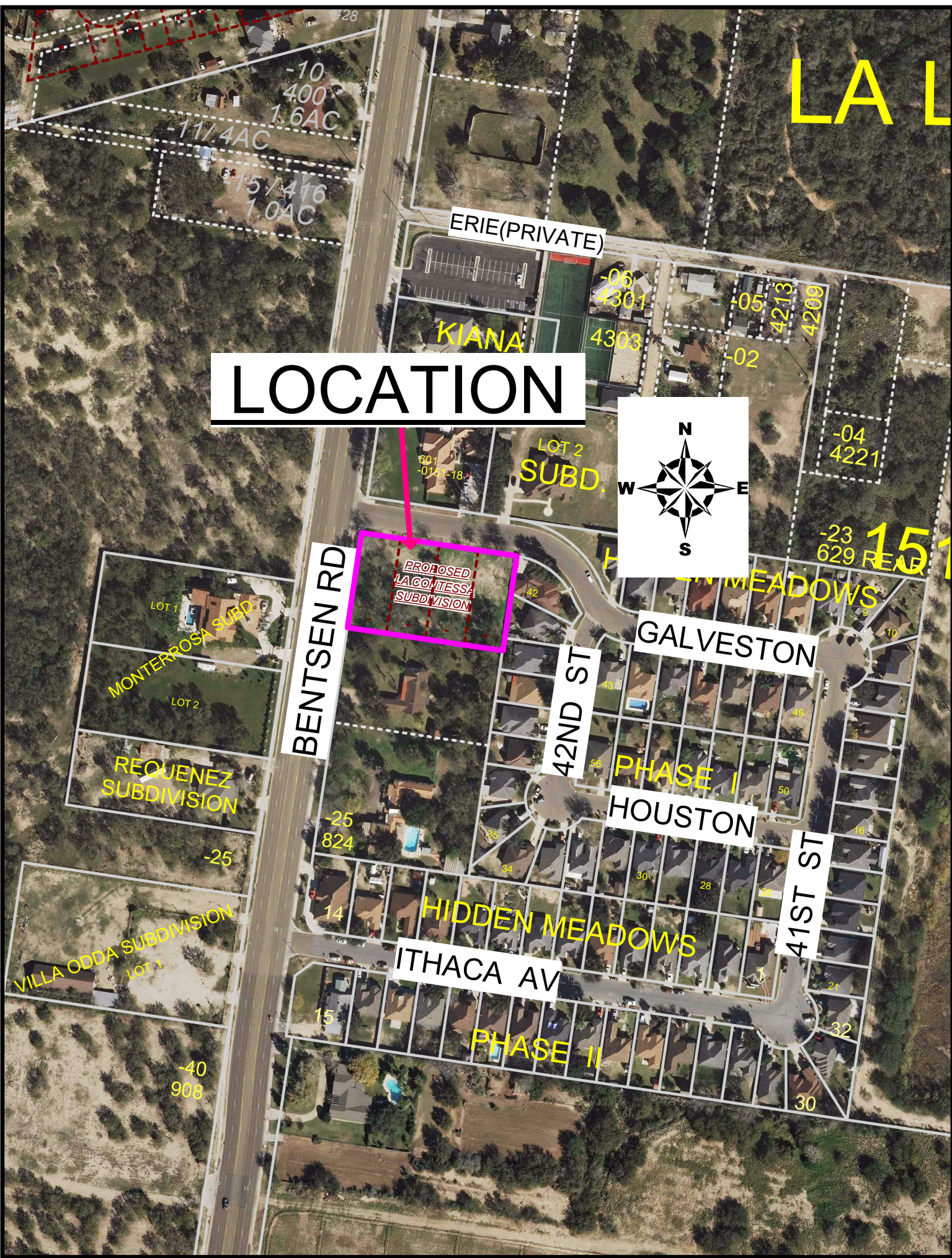
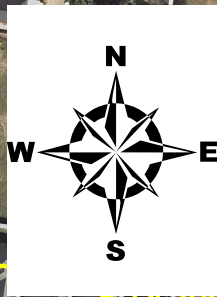
Compliance

Applied

NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along South Bentsen Road. **Please add plat note as shown above. * Site plan must be approved by the Planning and Zoning Commission prior to building permit issuance. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Common Areas, Private Streets must be maintained by the lot owners and not the City of McAllen * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-72 applies for a public subdivision. * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. 	Non-compliance
	NA
	NA
	NA
	Applied
	Applied
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: R-1 Proposed: R-1 * Rezoning Needed Before Final Approval 	Compliance
	NA
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets. * Minimum lot width and lot area. 	Compliance
	Compliance
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. * Park Fee of \$700 per dwelling unit to be paid prior to recording. As per plat submitted on June 22, 2020, 4 lots are proposed. (4 x \$700= \$2,800). Amount to be paid might vary depending on the amount of lots/dwelling units proposed. * Pending review by the Parkland Dedication Advisory Board and CC. 	NA
	Non-compliance
	Applied
TRAFFIC	
<ul style="list-style-type: none"> * As per Traffic Department, must submit a Trip Generation to determine if TIA is required, prior to final plat. * Traffic Impact Analysis (TIA) required prior to final plat. 	Non-compliance
	TBD
COMMENTS	
<p>Comments: Must comply with City's Access Management Policy.</p> <p>**As per Traffic and Fire Dept., please submit site plan for review prior to final as may be required.</p>	Applied
RECOMMENDATION	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, AND UTILITIES AND DRAINAGE APPROVALS.</p>	Applied

LAL

LOCATION



ERIE(PRIVATE)

KIANA

LOT 2
SUBD.

BENTSEN RD

42ND ST

GALVESTON

PHASE I
HOUSTON

ITHACA AV

41ST ST

HIDDEN MEADOWS

PHASE II

REQUENEZ
SUBDIVISION

MONTERROSA SUBD

VILLA ODDA SUBDIVISION

-40
908

-25

25
824

14

15

34

35

42

43

44

45

46

47

48

49

50

51

52

53

54

55

56

57

58

59

60

61

62

63

64

65

66

67

68

69

70

71

72

73

74

75

76

77

78

79

80

81

82

83

84

85

86

87

88

89

90

91

92

93

94

95

96

97

98

99

100

101

102

103

104

105

106

107

108

109

110

111

112

113

114

115

116

117

118

119

120

121

122

123

124

125

126

127

128

129

130

131

132

133

134

135

136

137

138

139

140

141

142

143

144

145

146

147

148

149

150

151

152

153

154

155

156

157

158

159

160

161

162

163

164

165

166

167

168

169

170

171

172

173

174

175

176

177

178

179

180

181

182

183

184

185

186

187

188

189

190

191

192

193

194

195

196

197

198

199

200

201

202

203

204

205

206

207

208

209

210

211

212

213

214

215

216

217

218

219

220

221

222

223

224

225

226

227

228

229

230

231

232

233

234

235

236

237

238

239

240

241

242

243

244

245

246

247

248

249

250

251

252

253

254

255

256

257

258

259

260

261

262

263

264

265

266

267

268

269

270

271

272

273

274

275

276

277

278

279

280

281

282

283

284

285

286

287

288

289

290

291

292

293

294

295

296

297

298

299

300

301

302

303

304

305

306

307

308

309

310

311

312

313

314

315

316

317

318

319

320

321

322

323

324

325

326

327

328

329

330

331

332

333

334

335

336

337

338

339

340

341

342

343

344

345

346

347

348

349

350

351

352

353

354

355

356

357

358

359

360

361

362

363

364

365

366

367

368

369

370

371

372

373

374

SUB 2020-0022



City of McAllen
Planning Department

APPLICATION FOR
SUBDIVISION PLAT REVIEW

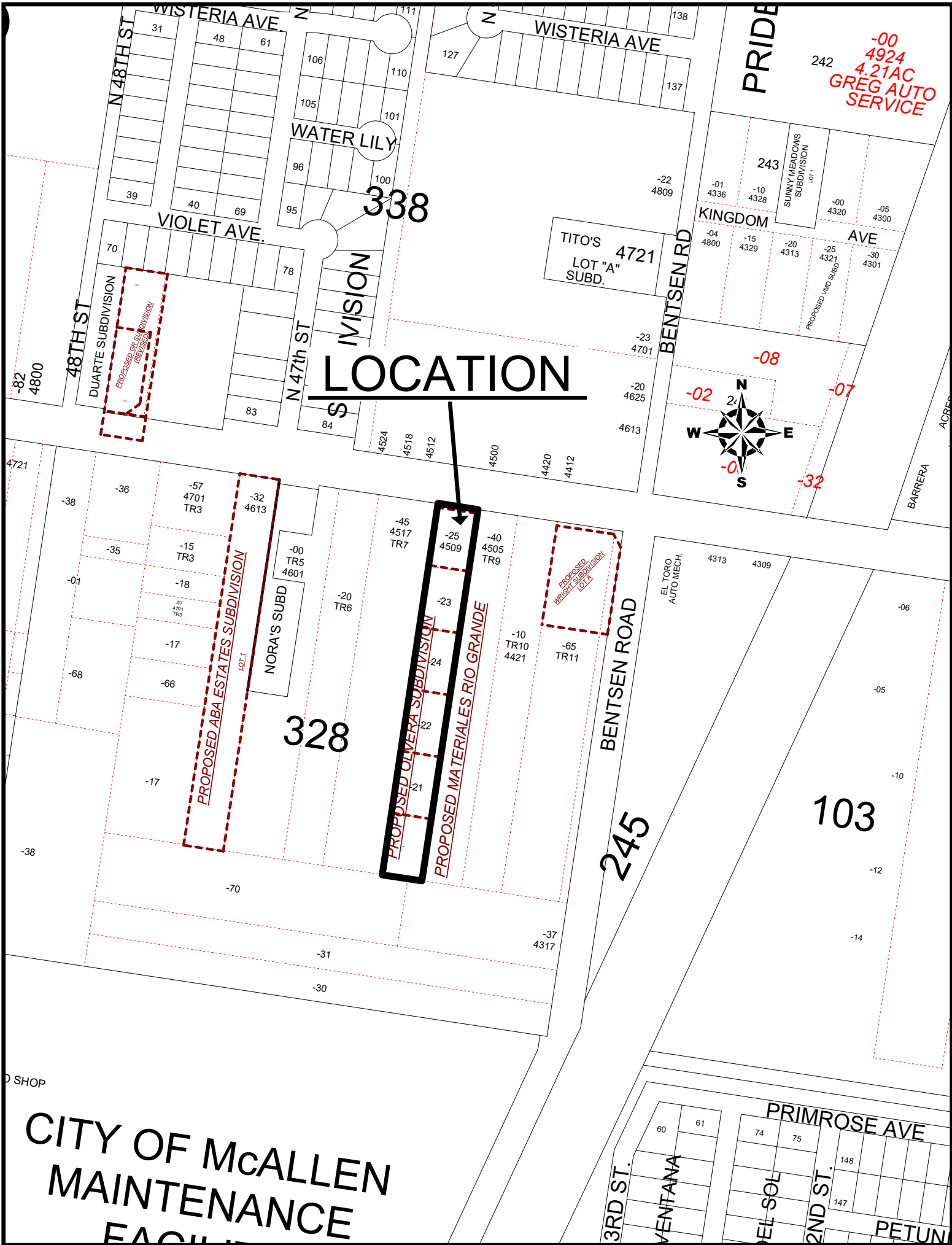
311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project Description	<p>Subdivision Name <u>OLVERA SUBD.</u> <u>OF BUDDY OWENS</u></p> <p>Location <u>1/4 475' WEST OF BENTLEY ROAD ALONG SOUTH SIDE</u></p> <p>City Address or Block Number <u>4509 BUDDY OWENS BLVD.</u></p> <p>Number of lots <u>6</u> Gross acres <u>2.15</u> Net acres <u>2.15</u></p> <p>Existing Zoning <u>C3/R-1</u> Proposed <u>C3/R-1</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>OPEN/RESIDENTIAL</u> Proposed Land Use <u>RESIDENTIAL</u> Irrigation District # <u>1</u></p> <p>Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>1500⁰⁰</u></p> <p>Parcel No. <u>PROP. I.D. # 281799</u> Tax Dept. Review _____</p> <p>Legal Description <u>2.15 AC. 0/0 LOT 328, JOHN. D. SHARP SUBD., D.C.T.</u></p>
Owner	<p>Name <u>JOSE TALLEZ OLVERA</u> Phone <u>776-9268</u></p> <p>Address <u>4509 BUDDY OWENS BLVD.</u></p> <p>City <u>MCALLEN</u> State <u>TX</u> Zip <u>78504</u></p> <p>E-mail <u>None</u></p>
Developer	<p>Name <u>SHARPS AS OWNER</u> Phone _____</p> <p>Address _____</p> <p>City _____ State _____ Zip _____</p> <p>Contact Person _____</p> <p>E-mail _____</p>
Engineer	<p>Name <u>DAVID O. SALINAS</u> Phone <u>682-9001</u></p> <p>Address <u>2221 DAFFODIL AVE.</u></p> <p>City <u>MCALLEN</u> State <u>TX</u> Zip <u>78501</u></p> <p>Contact Person <u>DAVID</u></p> <p>E-mail <u>dsalinas@salinasengineering.com</u></p>
Surveyor	<p>Name <u>SHARPS AS ENGR.</u> Phone _____</p> <p>Address _____</p> <p>City _____ State _____ Zip _____</p>

RECEIVED
APR 14 2020

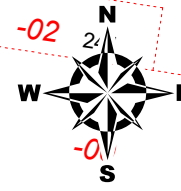
BY: NC 4:00 pm

Ref # 712517

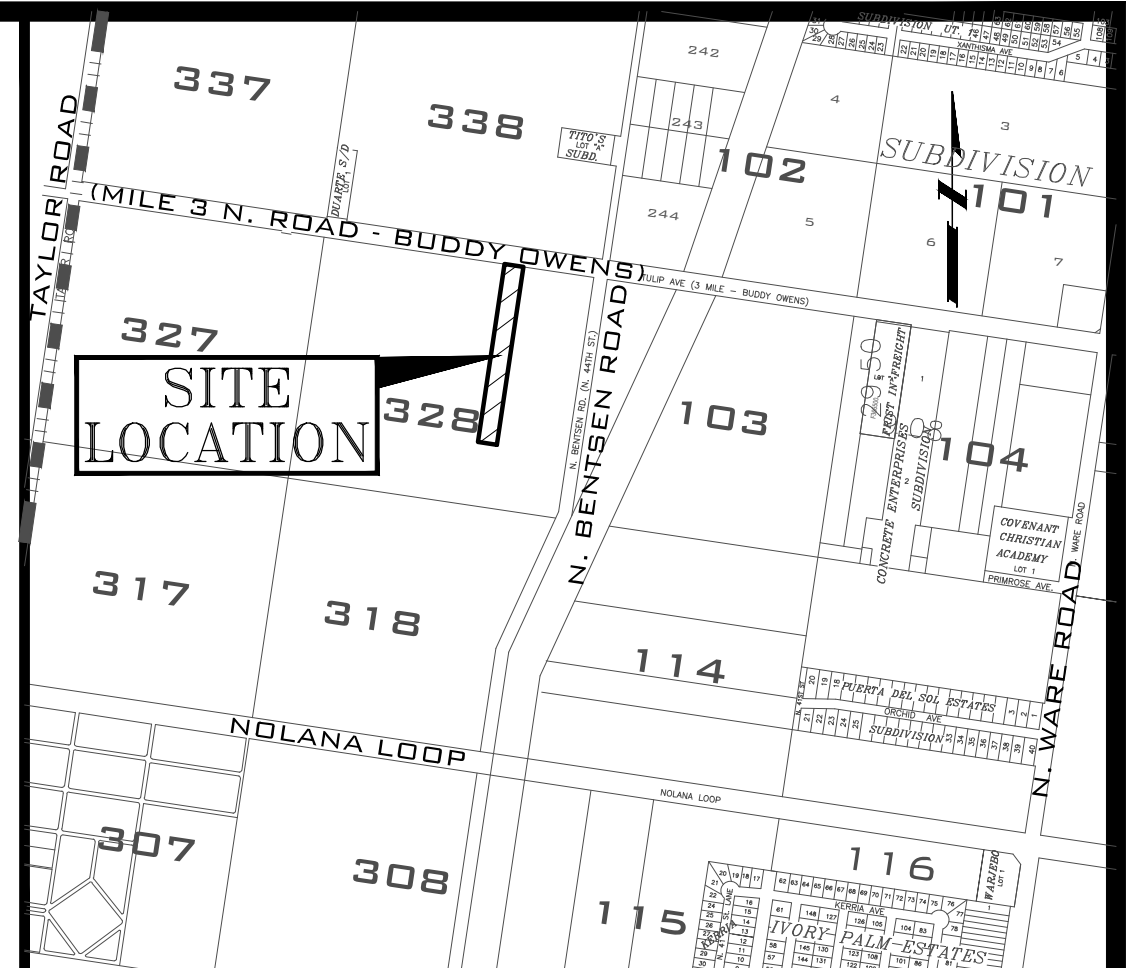


-00
4924
4.21AC
GREG AUTO
SERVICE

LOCATION



CITY OF McALLEN
MAINTENANCE
EACH



PREPARED BY:
SALINAS ENGINEERING & ASSOC.
DAVID D. SALINAS, P.E., R.P.L.S.
2221 DAFFODIL AVE.
MCALLEN, TEXAS 78501

DATE PREPARED: MAY 12, 2020
DATE SURVEYED: APRIL 06, 2020

AN ADDITION TO THE CITY OF MCALLEN,
HIDALGO COUNTY, TEXAS
BEING A 2.15 ACRE TRACT OF LAND, MORE OR LESS, CARVED OUT OF LOT
328, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO
THE MAP OR PLAT THEREOF RECORDED IN VOLUME 01, PAGE 17, MAP
RECORDS OF HIDALGO COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, DAVID OMAR SALINAS, P.E., A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, REGISTRATION NUMBER TX. 71973, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

OWNER: ROBERTO OLIVERA 4509 BUDDY OWENS BLVD. McAlLEN, TEXAS 78504 (OWNER OF LOT 1)	OWNER: JOSE TELLEZ OLIVERA 4509 BUDDY OWENS BLVD. McAlLEN, TEXAS 78504 (OWNER OF LOT 2)	OWNER: RICARDO OLIVERA 1410 MADRID ST. PHARR, TEXAS 78577 (OWNER OF LOT 3)
OWNER: RAUL OLIVERA AND WIFE THELMA OLIVERA 4509 BUDDY OWENS BLVD. McAlLEN, TEXAS 78504 (OWNER OF LOT 4)		OWNER: JOSE OLIVERA 4509 BUDDY OWENS BLVD. McAlLEN, TEXAS 78504 (OWNER OF LOTS 5 & 5)

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY
OF _____, 2020.

STATE OF TEXAS
CITY OF MCALLEN

I, THE UNDERSIGNED, MAYOR OF THE CITY MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

STATE OF TEXAS
CITY OF MCALLEN

I, THE UNDERSIGNED CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

STATE OF TEXAS
COUNTY OF HIDALGO

I, DAVID O. SALINAS, THE UNDERSIGNED A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

DAVID O. SALINAS, R.P.L.S.
REG. PROFESSIONAL LAND SURVEYOR #5782


APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE PLAN FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE 49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION. BASED ON GENERAL ACCEPTED ENGINEERING CRITERIA, IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THIS SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. GENERAL MANAGER	DATE
--	------

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW BY THE CITY OF MCALLEN ONLY & BY NO OTHERS UNDER THE AUTHORITY OF DAVID OMAR SALINAS, P.E., TX. REG. NO. 71973 ON MAY 12, 2020. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.



FILED FOR RECORD
 IN HIDALGO COUNTY
 ARTURO GUAJARDO, JR.
 HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
 INSTRUMENT NUMBER _____
 RECORDED IN VOLUME _____ PAGE _____
 OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
 BY: _____ DEPUTY

SE
A

SALINAS ENGINEERING & ASSOC.
(F-6675) (10065700)
CONSULTING ENGINEERS & SURVEYORS
2221 DAFFODIL AVE.-McALLEN, TEXAS 78501
(956) 685-9081 (956) 686-1489 (FAX)
TIFLS 12100 PARK 35 CIRCLE BLDG. A, SUITE 156, MC-230, AUSTIN, TEXAS 78757 (512) 239-5263

RECEIVED VIA EMAIL 05/20/2020 AT 11:53 AM



Reviewed On: 5/29/2020

SUBDIVISION NAME: OLVERA**REQUIREMENTS****STREETS AND RIGHT-OF-WAYS**

Buddy Owens Boulevard: 10 ft. ROW dedication by this plat for 60 ft. from centerline for 120 ft. of ROW

Paving: by the state Curb & gutter: by the state

**Make reference to "10 ft. additional ROW dedicated by this plat" prior to final.

Interior N/S Street: 50 ft. of ROW

Paving: 32 ft. Curb & gutter: Both sides

*Cul-de-Sac is required at the south end of property with a minimum of 96 ft. paving diameter face to face as per Fire Department.

**As per Public Works, ROW is required to be dedicated in order to provide for necessary pavement improvements and Cul-de-Sac design for residential waste collection services.

**Must escrow monies if improvements are not constructed prior to recording.

****Engineer submitted a variance letter on May 21, 2020 to not provide the required 50 ft. of ROW, 32 ft. of pavement with curb and gutter on both sides, and to not provide the required cul-de-sac. Instead, the engineer is proposing a 20 ft. caliche access easement with no curb and gutter.

Paving _____ Curb & gutter _____

Paving _____ Curb & gutter _____

Paving _____ Curb & gutter _____

* 800 ft. Block Length.

*Block length proposed is approximately 930 ft. which exceeds the maximum 800 ft. allowed.

**Engineer submitted a variance letter on May 21, 2020 requesting a variance to this requirement.

* 600 ft. Maximum Cul-de-Sac.

***Engineer submitted a variance letter on May 21, 2020 to not provide the required cul-de-sac ROW or 96 ft. paving diameter at the south end of the proposed 20 ft. access easement.

Applied

Non-compliance

Applied

Applied

Applied

Non-compliance

Non-compliance

ALLEYS

ROW 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial properties

NA

SETBACKS

* Front: 25 ft. or greater for easements on properties facing interior N/S street.

**Lot 1: 60 ft. or greater for easements on Buddy Owens Boulevard.

***Note must be included on plat prior to final.

****Zoning must be verified by Engineer prior to final to determine required setbacks.

*****If Conditional use Permit is required, it must be approved prior to final.

* Rear: 10 ft. or greater for easements. (If Zoned R-1)

**Note must be included on plat prior to final.

***Zoning must be verified by Engineer prior to final to determine required setbacks.

*****If Conditional use Permit is required, it must be approved prior to final.

Non-compliance

Non-compliance

<ul style="list-style-type: none"> * Interior Sides: 6 ft or greater for easements. (If Zoned R-1) **Note must be included on plat prior to final. ***Zoning must be verified by Engineer prior to final to determine required setbacks. ****If Conditional use Permit is required, it must be approved prior to final. 	Non-compliance
<ul style="list-style-type: none"> * Corner: 10 ft. or greater for easements. (If Zoned R-1) **Note must be included on plat prior to final. ***Zoning must be verified by Engineer prior to final to determine required setbacks. ****If Conditional use Permit is required, it must be approved prior to final. 	Non-compliance
<ul style="list-style-type: none"> * Garage: 18 ft. or greater for easements except where greater setback is required, greater setback applies (If Zoned R-1) **Note must be included on plat prior to final. ***Zoning must be verified by Engineer prior to final to determine required setbacks. ****If Conditional use Permit is required, it must be approved prior to final. 	Non-compliance
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
<ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on both sides of interior street **5 ft. wide minimum sidewalk along Buddy Owens Blvd. as per Engineering Dept. ***Engineer submitted a variance letter on May 21, 2020 to not provide sidewalks along the interior street and Buddy Owens Blvd. 	Non-compliance
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses.	Compliance
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.	Compliance
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
NOTES	
* No curb cut, access, or lot frontage permitted along Buddy Owens Blvd.	TBD
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance. (For commercial lots on Buddy Owens Boulevard).	Required
* Common Areas, Private Streets must be maintained by the lot owners and not the City of McAllen	Applied
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-70 if a public subdivision.	Required
*Engineer must clarify if this will be a private or public subdivision prior to final.	
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.	Applied
**Engineer must clarify if subdivision will be private or public prior to final.	
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets. **Engineer submitted a variance letter on May 21, 2020 to allow Lots 2-6 to front onto a proposed 20 ft. access easement instead of the required street. Lot 1 has more than 50 ft. of frontage onto Buddy Owens Boulevard. 	Non-compliance

* Minimum lot width and lot area.	Applied
ZONING/CUP	
* Existing: C-3 & R-1 Proposed: R-1 **Zoning must be verified by the engineer. If any rezoning or CUP for residence in a C-3 zone required, it must be done prior to final.	TBD
* Rezoning Needed Before Final Approval	TBD
PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per dwelling unit to be paid prior to recording. Plat submitted April 14, 2020 shows 6 lots. Engineer must clarify use for the 6 lots prior to final to determine amount of park fees required. Parks fees apply at a rate of \$700 per dwelling unit (6 lots X \$700= \$4,200)	Required
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation to determine if TIA is required, prior to final plat.	Non-compliance
* Traffic Impact Analysis (TIA) required prior to final plat.	TBD
COMMENTS	
Comments: *Must comply with City's Access Management Policy **As per Public Works Dept., ROW must be dedicated and provide pavement improvements including a turnaround design for residential waste collection service ***Minimum 96 ft. paving diameter required for Cul-de-Sac as per Fire Dept.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, UTILITY AND DRAINAGE APPROVALS, AND CLARIFICATION ON VARIANCE REQUESTS.	Applied



LOCATION



338


328

245

103

CITY OF MCALLEN
MAINTENANCE
FACILITY

Memo

To: McAllen Planning Department (Via Email on 05/21/20)
From: David Omar Salinas, P.E., R.P.L.S. 
CC: n:\subdivisionplats\olvera.sub\humbertodelagarza.001
Date: 5/21/2020
Re: Olvera Subd. – Variances to Street Requirements

On behalf of the subdivider of Olvera Subdivision, please find the following requested variances to the street of the proposed plat:

1. Variance for lots not fronting a public street. The only lots that currently fronts a public street is proposed Lot 1 while proposed Lots 2 thru 6 front on a private 20.0 foot roadway access easement;
2. Variance to the block length. Reviewing the details of this tract will show any kind of midway have cul-de-sac will likely makes the affected (lot/lots) un-buildable;
3. Variance to not providing for 50.0 feet of public dedicated ROW, and, not providing a 32' back to back roadway allowing the continued use of a 20.0 foot access easement. Client has agreed to provide for an all-weather road (i.e. caliche) in lieu of a paved section. The provision of any roadway dedication of 50.0 feet will make the lots almost un-buildable or would result in the reduction of the lots, and, would likely create another variance to lot depths;
4. Variance not to provide a cul-de-sac turn-a-round at the end of the ingress/egress roadway as the half cul-de-sac will make Lot 6 unbuildable (See Attachment);
5. Client is requesting a variance to providing sidewalks along the internal roadway easement and Mile 3 North Road.

Please see attachment of plat revisions.

The main purpose of this plat is to secure a building permit on proposed Lot 2 -Lots 1 and 5 already have residential improvements. Please advise if you need any further information. Thank you.

2221 Daffodil Ave., McAllen, Texas 78501
(956) 682-9081/(956) 686-1489 Facsimile
(956) 648-8899 Cell
dsalinas@salinasengineering.com



Memo

TO: Planning and Zoning Commission

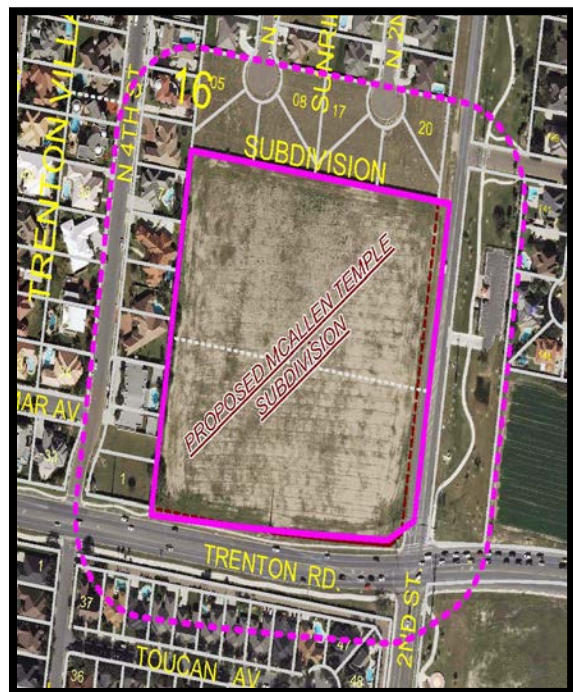
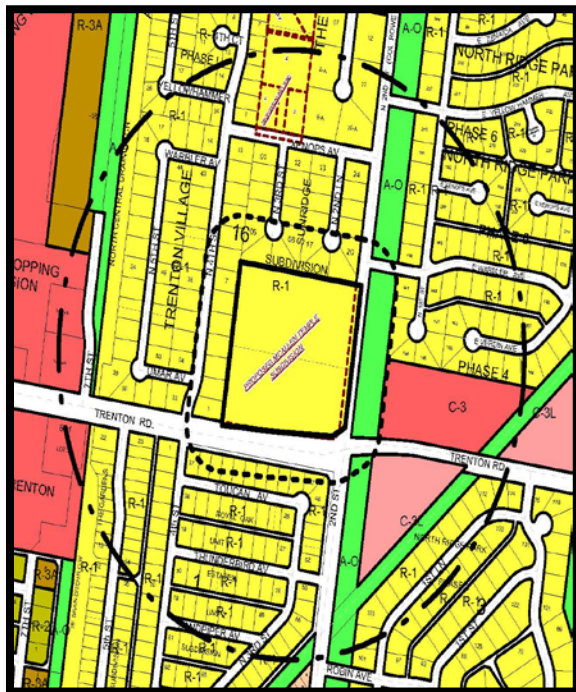
FROM: Planning Staff

DATE: June 8, 2020

SUBJECT: REQUEST OF JARED W. DOXEY, ON BEHALF OF THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS FOR A CONDITIONAL USE PERMIT, FOR LIFE OF THE USE, FOR AN INSTITUTIONAL USE (CHURCH) AT A 10.615-ACRE TRACT OF LAND OUT OF LOT 16, SECTION 13, HIDALGO CANAL COMPANY SUBDIVISION, HIDALGO COUNTY, TEXAS; 7301 NORTH 2ND STREET.(CUP2020-0057)

BRIEF DESCRIPTION:

The property is located at the northwest corner of North 2nd Street and Trenton Road. It is zoned R-1 (single family) District. The adjacent zoning is R-1 in all directions, and A-O (agricultural-open space), C-3(general business) to the east and C-3L (light commercial) District to the southeast. Surrounding land uses include single-family residences and vacant land. An institutional use is permitted in an R-1 zone with conditional use permit and in compliance with requirements.



HISTORY:

A subdivision submitted under the name McAllen Temple was approved in its preliminary form by the Planning and Zoning Commission meeting of March 3, 2020.

REQUEST/ANALYSIS:

The applicant is proposing to construct two buildings for a church and church related uses on the 10.615-acre vacant land.

The first building (meeting house) approximately 19,263 sq. ft., consists of 15 rooms, 9 offices, both women and men restrooms, as well as women and men dressing rooms, a basketball court and a chapel. The chapel has 40 pews, for a seating area capacity of approximately 150 people. Its primary use is for religious worship. It's scheduled to operate from Tuesday through Saturday from 5:00AM to 10:00 PM.

The second building approximately 29,732 sq. ft. consists of 5 instructional rooms, 4 offices, both women and men restrooms, a lobby and multiple dressing rooms. The temple is scheduled to be used mainly on Sundays from 7:00AM to 4:00PM and for smaller activities on Tuesday, Wednesday and Thursday nights from 6:00PM to 10:00PM.

Based on the number of seats in the main sanctuary, 52 parking spaces are required for the church building, of which 4 parking spaces must be van accessible with an 8 ft. aisle. Two hundred and forty parking spaces are proposed; 16 van accessible parking spaces are proposed. Additional parking may be required for the second building.

A landscape plan has yet not been submitted.

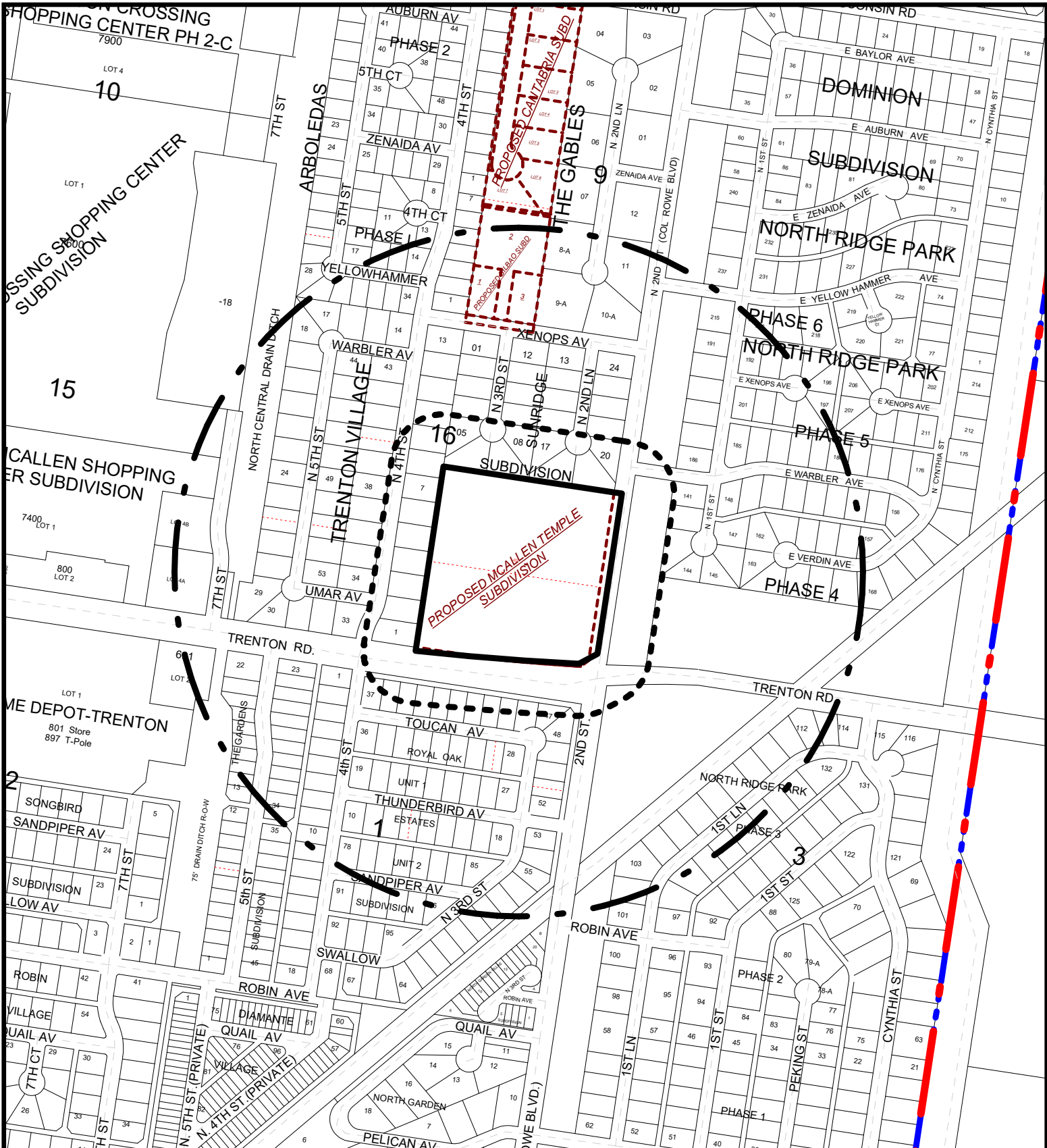
The Fire Department has not conducted the necessary inspections since the property is vacant. Should the conditional use permit be approved, the applicant would be required to sign the application acknowledging and agreeing to all conditions of the permit. The proposed use must also comply with the zoning ordinance and specific requirements as follows:


- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The property fronts Trenton Road and North 2nd Street.
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking, especially in residential areas. Based on the seating area of 150 seats in the main sanctuary, offices and instructional rooms, 52 parking spaces are required; 240 parking spaces are proposed. The parking must be clear of potholes and properly striped per city requirements. Additional parking may be required for the second building.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;

- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the main building shall be determined by the Building Inspections Department and shall maintain the existing seating capacity for the main sanctuary; and
- 7) Sides adjacent to commercially and residentially zoned or use property shall be screened by a 6 ft. opaque fence. A 6 ft. opaque fence will need to be provided along the north and west property line.

RECOMMENDATION:


Authorized agent has requested to table the item.







CITY OF McALLEN
PLANNING DEPARTMENT


LEGEND
SCALE: N.T.S.

 **SUBJECT PROPERTY**

 **200 FT. NOTIFICATION BOUNDARY**

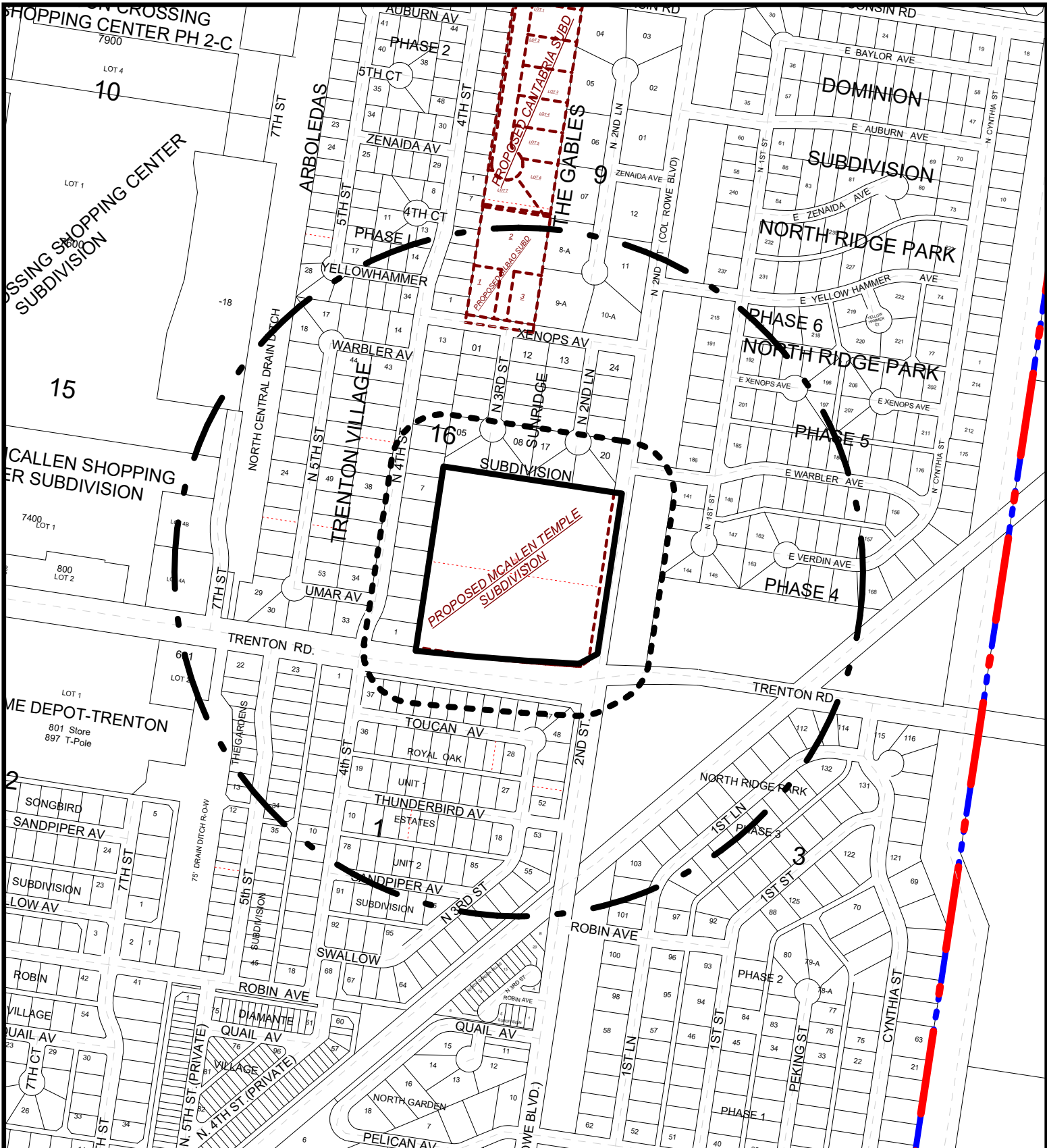
 **1/4 MILE RADIUS**


ZONING LEGEND

A-O (AGRICULTURAL & OPEN SPACE)	R-3A (APARTMENTS)	R-4 (MOBILE HOMES)	C-3 (GENERAL BUSINESS)	I-1 (LIGHT INDUSTRIAL)
R-1 (SINGLE FAMILY RESIDENTIAL)	R-3C (CONDOMINIUMS)	C-1 (OFFICE BUILDING)	C-3L (LIGHT COMMERCIAL)	I-2 (HEAVY INDUSTRIAL)
R-2 (DUPLEX-FOURPLEX)	R-3T (TOWNHOUSES)	C-2 (NEIGHBORHOOD COMMERCIAL)	C-4 (COMMERCIAL INDUSTRIAL)	 (SPECIAL DISTRICT)

This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.


STEELE &







CITY OF McALLEN
PLANNING DEPARTMENT


LEGEND
SCALE: N.T.S.

 **SUBJECT PROPERTY**

 **200 FT. NOTIFICATION BOUNDARY**

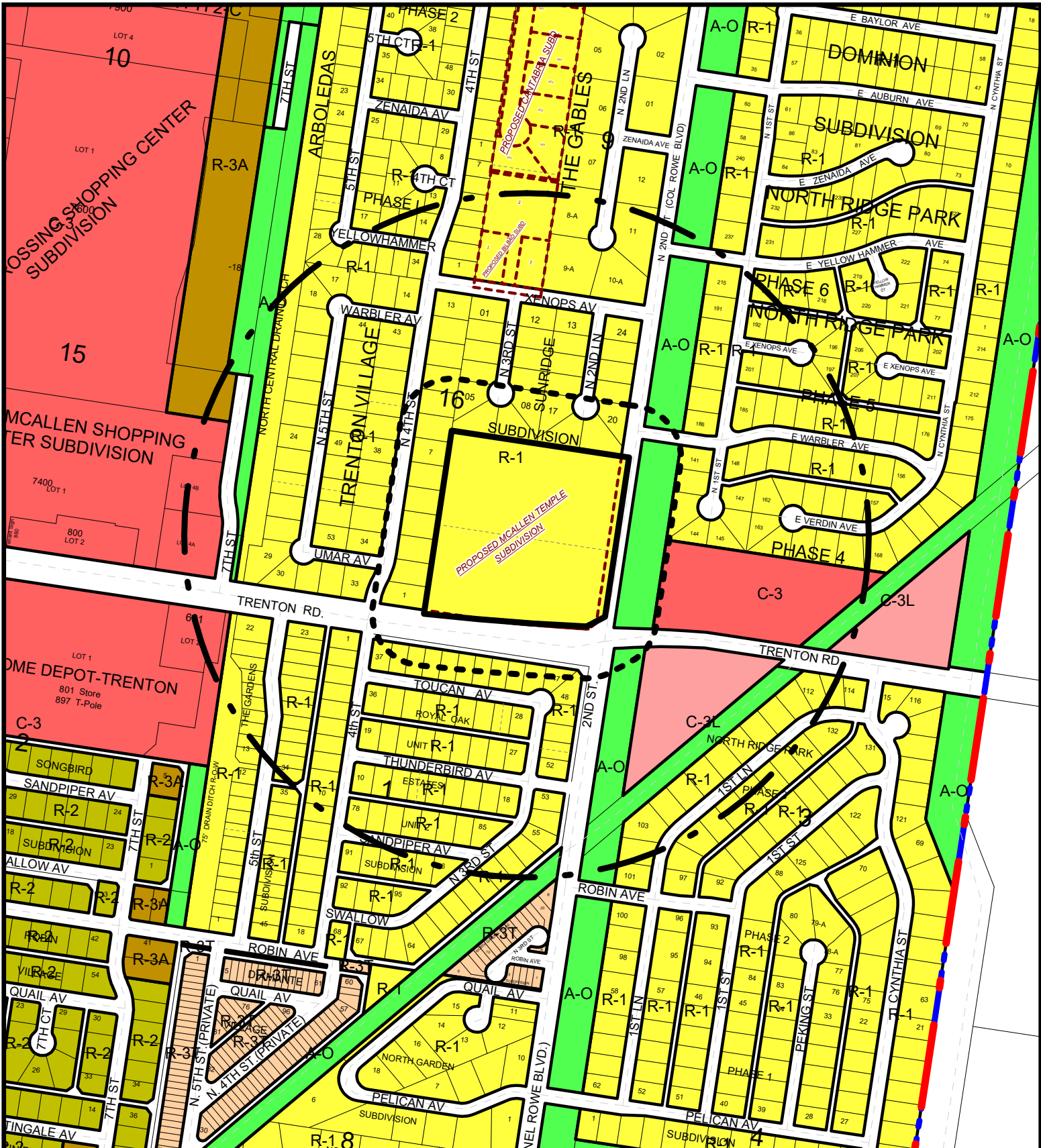
 **1/4 MILE RADIUS**

ZONING LEGEND

A-O (AGRICULTURAL & OPEN SPACE)	R-3A (APARTMENTS)	R-4 (MOBILE HOMES)	C-3 (GENERAL BUSINESS)	I-1 (LIGHT INDUSTRIAL)
R-1 (SINGLE FAMILY RESIDENTIAL)	R-3C (CONDOMINIUMS)	C-1 (OFFICE BUILDING)	C-3L (LIGHT COMMERCIAL)	I-2 (HEAVY INDUSTRIAL)
R-2 (DUPLEX-FOURPLEX)	R-3T (TOWNHOUSES)	C-2 (NEIGHBORHOOD COMMERCIAL)	C-4 (COMMERCIAL INDUSTRIAL)	 (SPECIAL DISTRICT)

This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.

STEELE &



CITY OF McALLEN PLANNING DEPARTMENT

LEGEND
SCALE: N.T.S.

SUBJECT PROPERTY

200 FT. NOTIFICATION BOUNDARY

1/4 MILE RADIUS

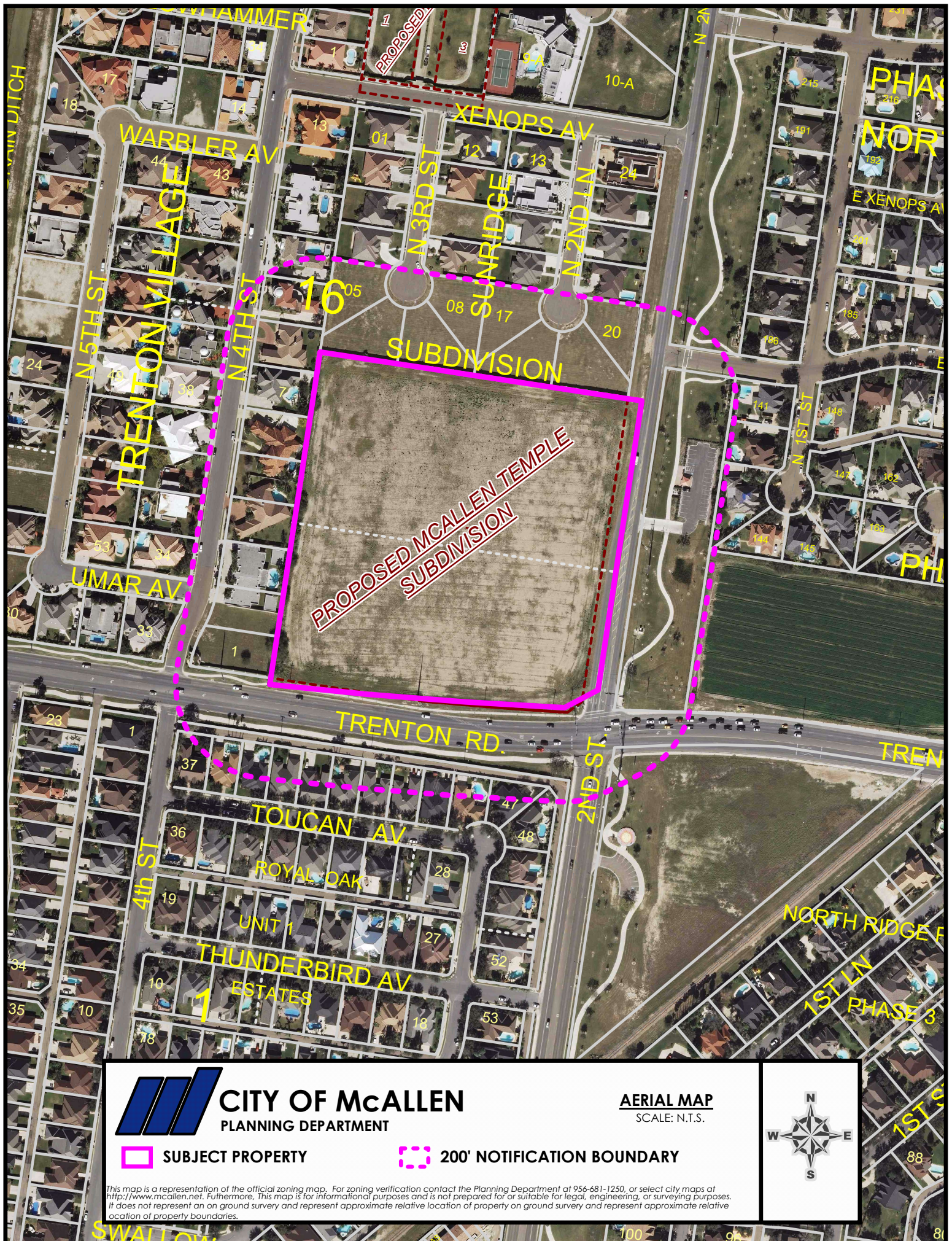


ZONING LEGEND

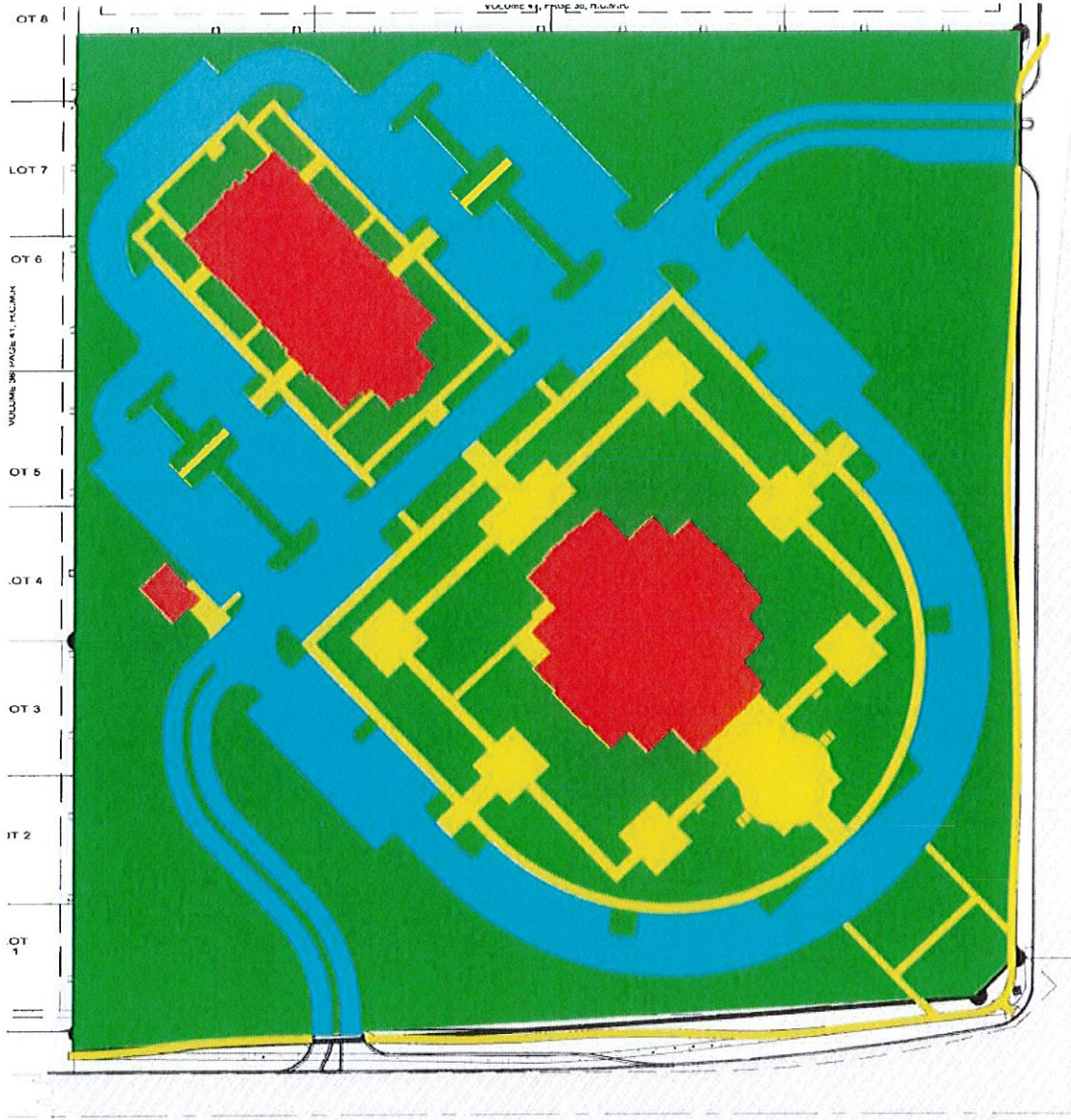
A-O (AGRICULTURAL & OPEN SPACE)	R-3A (APARTMENTS)	R-4 (MOBILE HOMES)	C-3 (GENERAL BUSINESS)	I-1 (LIGHT INDUSTRIAL)
R-1 (SINGLE FAMILY RESIDENTIAL)	R-3C (CONDOMINIUMS)	C-1 (OFFICE BUILDING)	C-3L (LIGHT COMMERCIAL)	I-2 (HEAVY INDUSTRIAL)
R-2 (DUPLEX-FOURPLEX)	R-3T (TOWNHOUSES)	C-2 (NEIGHBORHOOD COMMERCIAL)	C-4 (COMMERCIAL INDUSTRIAL)	(SPECIAL DISTRICT)

This map is a representation of the official zoning map. For zoning verification contact the Planning Department at 956-681-1250, or select city maps at <http://www.mcallen.net>. Furthermore, this map is for informational purposes and is not prepared for or suitable for legal, engineering, or surveying purposes. It does not represent an on ground survey and represent approximate relative location of property boundaries.

STEELE



PROPOSED SITE



Legend:

- Pervious:
- Roofs:
- Drives:
- Walks:

Proposed Weighted C Calculation

Land Use:	"c" value:	Square Footage	Acreage	partial "c"
Heavy soil, flat, 2% - Pervious	0.2	238,343	5.472	1.094
Roofs:	0.95	38,122	0.875	0.831
Drives:	0.95	133,801	3.072	2.918
Walks:	0.95	50,097	1.150	1.093
Total:		460362.51	10.568	5.936
Weighted "c":			0.562	

RECEIVED

MAY 20 2020

BY: *Be 3:25pm*

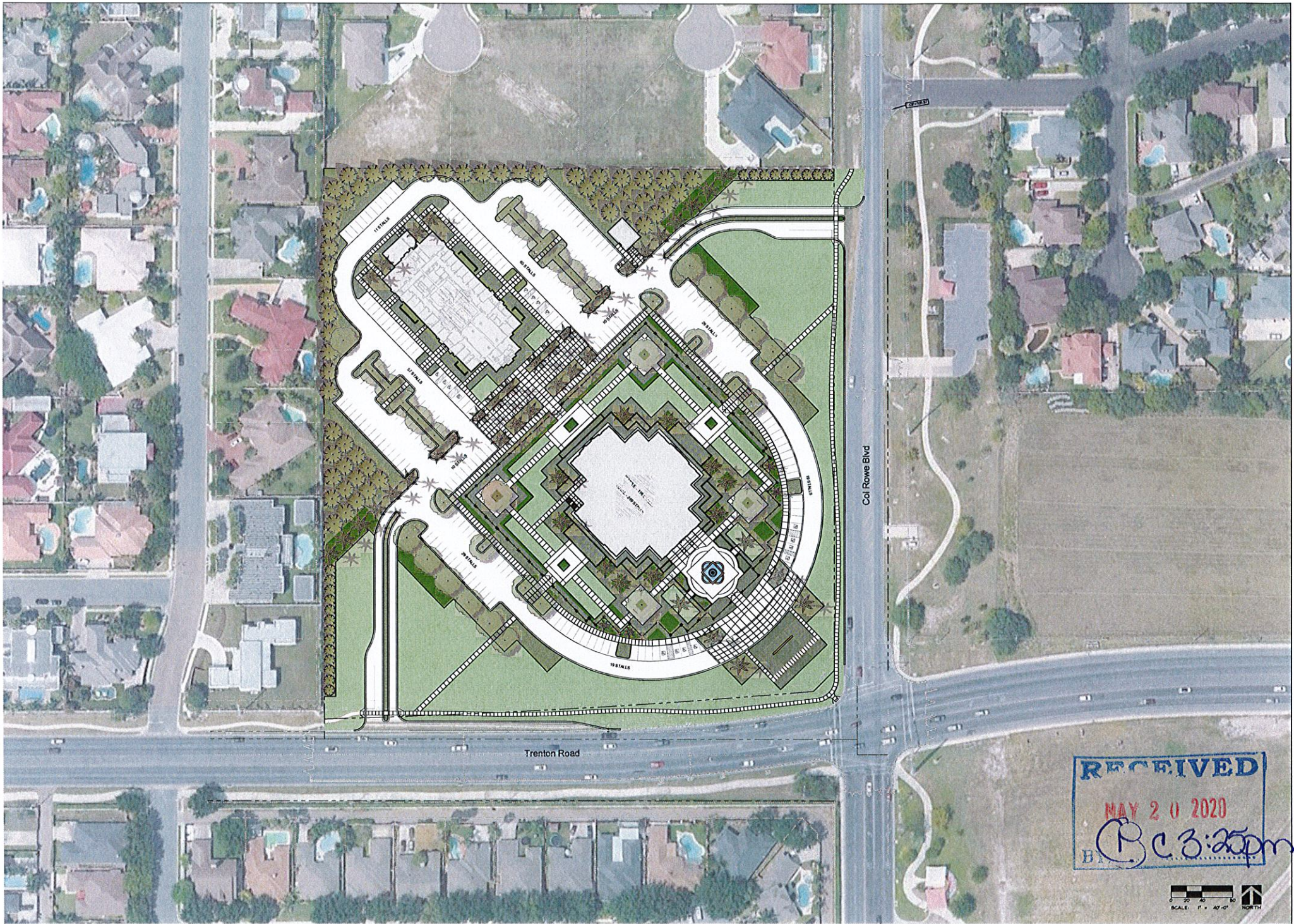


TBPLS No. 10096900

MELDEN & HUNT INC.

CONSULTANTS • ENGINEERS • SURVEYORS

115 W. McINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com

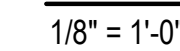


Trenton Road

Col Rowe Blvd

RECEIVED
MAY 20 2020
B. C. 3:25pm

0 20 40 60
SCALE 1" = 40'-0"
NORTH



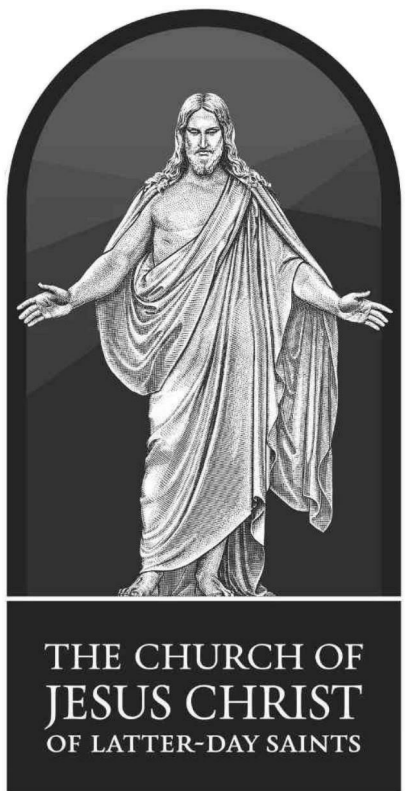
<h1 style="text-align: center;">KEYNOTES</h1>	
<div style="border: 1px solid black; padding: 2px; display: inline-block;">XX-XX</div>	KEYNOTE INSTRUCTIONAL
<h2 style="text-align: center;">INSTRUCTIONAL KEYNOTES</h2>	
FL-09	FIRE EXTINGUISHER CABINETS (FEC), SEE SPECIFICATIONS. INSTALL IN ACCORDANCE WITH ALL ADA GUIDELINES. PROVIDE BLOCKING AS REQ'D. FOR INSTALLATION.
FN-02	DOOR THRESHOLD, WIDTH TO MATCH FULL DOOR FRAME
FN-09	SOUND CONTROL THRESHOLD, SEE DETAILS & SPECIFICATION

[illegible]

NOTE				
SEE DIVISION 01 SPECIAL REQUIREMENTS OF SPECIFICATIONS FOR INSTRUCTIONS CONCERNING OWNER FURNISHED ITEMS.				
FURNISHED BY	ITEM	BRAND	STYLE OR TYPE	COLOR
OWNER	CARPET	SEE DIV. 09 FOR SPECS	LOOP PILE	
CONTRACTOR	WALL COVERING	SEE DIV. 09 FOR SPECS		
CONTRACTOR	COUNTERTOPS AND CABINETS	SEE DIV. 06 FOR SPECS		
OWNER	PEWS	SEE DIV. 12 FOR SPECS		
CONTRACTOR	DRAPERIES	SEE DIV. 12 FOR SPECS		
OWNER	ROSTRUM PEWS	SEE DIV. 12 FOR SPECS		
CONTRACTOR	ROSTRUM CASEWORK	SEE DIV. 12	SEE SHEET A411 AND A412	
OWNER	ROOM SIGNAGE	SEE DIV. 10	SEE SHEET F102	
OWNER	HYMN NUMBER BOARD	SEE DIV. 01	SEE ROSTRUM 146 ON 1/F101	

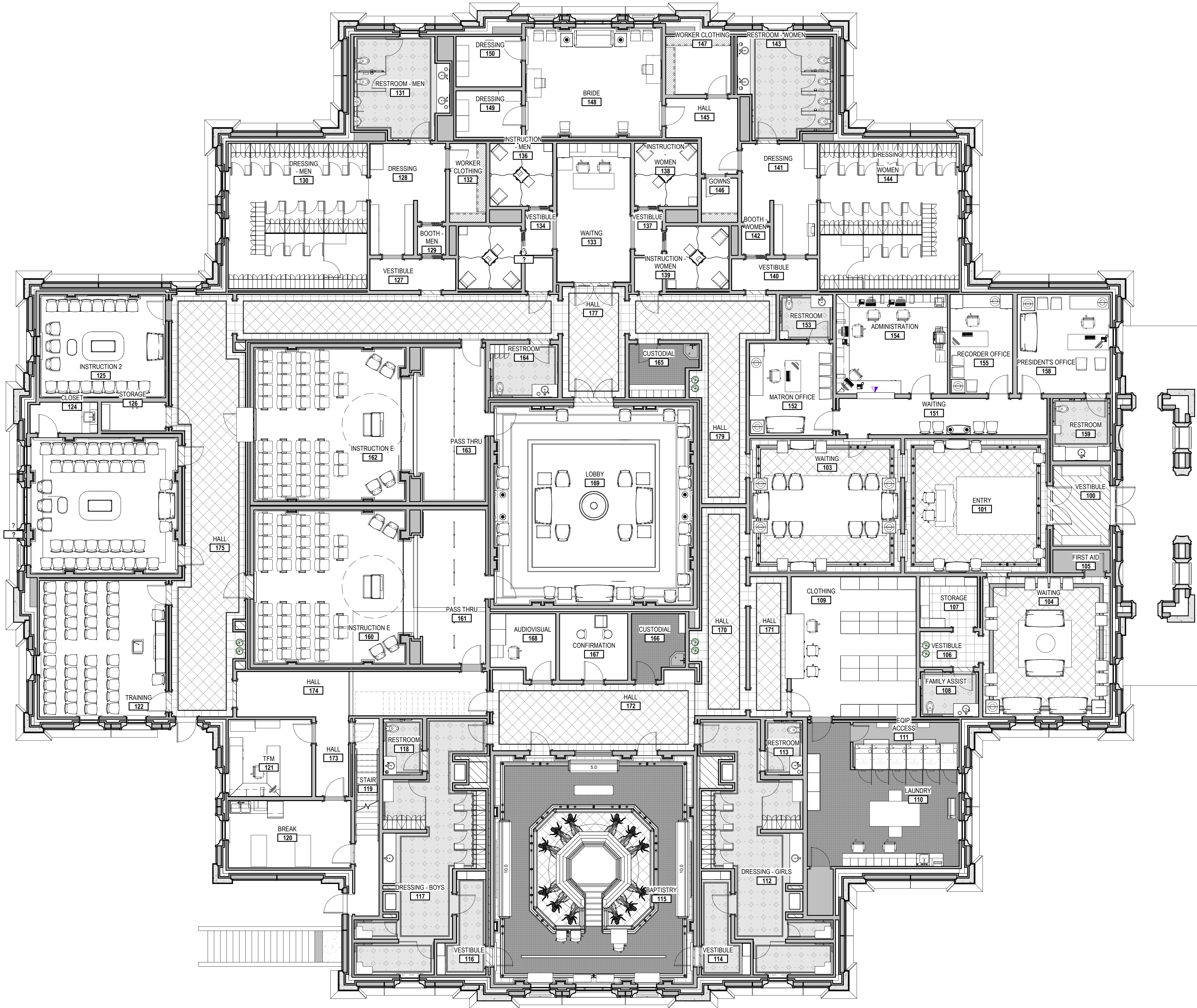
GENERAL FURNITURE NOTES

1. ALL FURNITURE SUPPLIED BY OWNER. LOCATION SHOWN FOR REFERENCE ONLY.

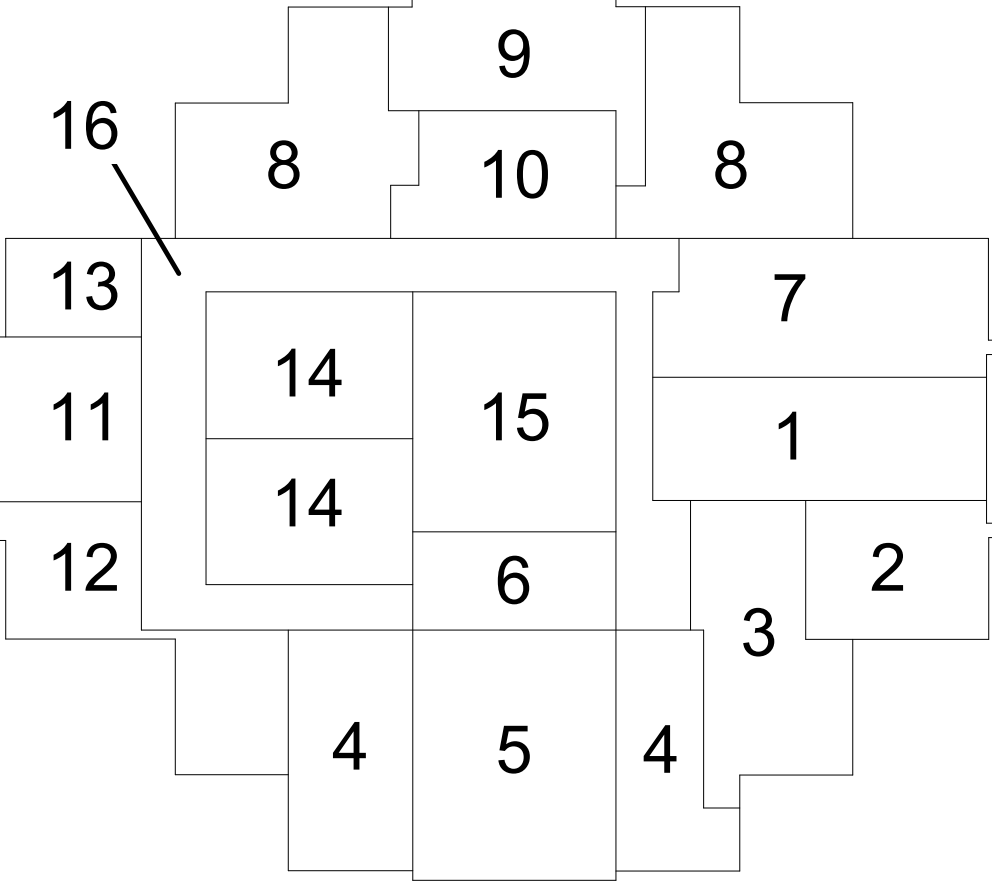


REV	DATE	DESCRIPTION
-----	------	-------------

VCBO NUMBER: 19614
CLIENT NUMBER: 00000
DATE: 19 MAY 2020



KEY PLAN



A4 PLAN - LEVEL 01 - FURNITURE

SCALE: 1/8" = 1'-0"

MCALLEN TEXAS TEMPLE

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROJECT ADDRESS: MCALLEN, TX

CONDITIONAL USE PERMIT

PLAN - FURNITURE - LEVEL01

A110.6



NOTICE
INSTITUTIONAL
USE
FOR
THIS PROPERTY
CUP2020-0057

Memo

TO: Planning & Zoning Commission
FROM: Edgar I. Garcia, AICP, CNU-A
DATE: July 2, 2020
SUBJECT: City Commission Actions on June 22, 2020

REZONINGS:

1. Rezone from C-3 to R-3A District: 38.27 acres of land out of Lot 385, John H. Shary Subdivision; 7000 N. Shary Rd.
 - Planning and Zoning Commission recommended approval
 - City Commission approved as recommended
2. Rezone from R-1 to R-3A District: 39.83 acres out of Lots 13, 14, 16, 17, and 18, Section 234, Texas-Mexican Railway Company's Survey; 12512 N. Ware Rd.
 - Planning and Zoning Commission recommended approval
 - City Commission maintained the item on the table

CONDITIONAL USE PERMITS:

1. Request of Miguel A. Pena, for a Conditional Use Permit, for one year, for a Social Club: Lots 7 & 8, Citrus Grove Subdivision, 2203 S 23rd St
 - Planning and Zoning Commission disapproved with a favorable recommendation
 - City Commission approved the item as recommended
2. Request of David Padilla, on behalf of Church of the King, for an amendment to a Conditional Use Permit, for life of the use, for an Institutional Use: Lot 1, Church of the King Subdivision; 7401 N. Ware Rd.
 - Planning and Zoning Commission recommended approval
 - City Commission approved as recommended
3. Request of Juan Ludwig, on behalf of AEP Texas, for a Conditional Use Permit, for life of the use, for a railroad facility or utilities holding a franchise (Electric Substation): 3.248-acre tract of land out of Lot 141, La Lomita Irrigation and Construction Company's Subdivision, 3600 Quince Ave. & 1700 N. Ware Rd.
 - Planning and Zoning Commission disapproved
 - City Commission tabled the item on request of the applicant

4. Request of Melissa Burton, for a Conditional Use Permit, for life of the use, for dog kennel:
1-acre tract of land out of the south 19.39 acres of Lot 387, John H. Shary Subdivision; 6820
N. Taylor Rd.

- Planning and Zoning Commission disapproved
- City Commission approved the item unanimously for six months

2020 ATTENDANCE RECORD FOR PLANNING AND ZONING COMMISSION MEETINGS

[illegible]

2020 ATTENDANCE RECORD FOR PLANNING AND ZONING COMMISSION WORKSHOPS

[illegible]



PLANNING DEPARTMENT

311 N 15th Street McAllen, TX 78501
Phone: 956-681-1250 Fax: 956-681-1279



2020 CALENDAR

Meetings:

- City Commission
- Public Utility Board
- Planning & Zoning Board
- Zoning Board of Adjustment
- HPC - Historic Preservation Council
- CENSUS**

Deadlines:

- D - Zoning/CUP Application
- N - Public Notification

* **Holiday** - Office is closed

JANUARY 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1 HOLIDAY	2	3	4
5	6	7	8 D-2/4 & 2/5	9 CENSUS	10	11
12	13 A-2/4 & 2/5	14 	15 N-2/4 & 2/5	16	17	18
19	20	21	22 HPC D-2/18 & 2/19	23	24	25
26	27 A-2/18 & 2/19	28 	29 N-2/18 & 2/19	30	31	

FEBRUARY 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1
2	3	4	5 D-3/3 & 3/4	6 CENSUS	7	8
9	10 A-3/3 & 3/4	11 	12 N-3/3 & 3/4	13	14	15
16	17	18	19 D-3/17 & 3/18	20	21	22
23	24 A-3/17 & 3/18	25 	26 HPC N-3/17 & 3/18	27	28	29

MARCH 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
1	2	3	4 D-4/1 & 4/7	5 CENSUS	6	7
8	9 A-4/1 & 4/7	10 	11 N-4/1 & 4/7	12	13	14
15	16	17	18 D-4/15 & 4/21	19	20	21
22	23 A-4/15 & 4/21	24 	25 HPC N-4/15 & 4/21	26	27	28
29	30	31				

APRIL 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1 D-5/5 & 5/6	2 CENSUS	3	4
5	6 A-5/5 & 5/6	7	8 N-5/5 & 5/6	9	10 HOLIDAY	11
12	13	14 	15 D-5/19 & 5/20	16	17	18
19	20 A-5/19 & 5/20	21	22 HPC N-5/19 & 5/20	23	24	25
26	27	28 	29	30		

MAY 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1	2
3	4	5	6 D-6/2 & 6/3	7 CENSUS	8	9
10	11 A-6/2 & 6/3	12 	13 N-6/2 & 6/3	14	15	16
17	18	19	20 D-6/16 & 6/17	21	22 A-6/16 & 6/17	23
24	25 HOLIDAY	26 	27 HPC N-6/16 & 6/17	28	29	30
31						





JUNE 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
	1	2	3 D-7/1 & 7/7	4 CENSUS	5	6
7	8 A-7/1 & 7/7	9 	10 N-7/1 & 7/7	11	12	13
14	15	16	17 D-7/15 & 7/21	18	19	20
21	22 A-7/15 & 7/21	23 	24 HPC N-7/15 & 7/21	25	26	27
28	29	30				

Deadlines and Meeting Dates are subject to change at any time. Please contact the Planning Department at (956) 681-1250 if you have any questions.

2020 CALENDAR

Meetings:

-  City Commission
-  Planning & Zoning Board
-  Public Utility Board
-  Zoning Board of Adjustment
- HPC - Historic Pres Council
- CENSUS

Deadlines:

- D- Zoning/CUP Application
- N - Public Notification

* **Holiday** - Office is closed

JULY 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1 D-8/4 & 8/5	2 CENSUS	3 HOLIDAY	4
5 A-8/4 & 8/5	6	7	8 N-8/4 & 8/5	9	10	11
12	13 City Commission	14 Public Utility Board	15 D-8/18 & 8/19	16	17	18
19 A-8/18 & 8/19	20	21	22 HPC	23	24	25
26	27 City Commission	28 Public Utility Board	29 N-8/18 & 8/19	30	31	

AUGUST 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1
2	3	4	5 D-9/1 & 9/2	6 CENSUS	7	8
9	10 A-9/1 & 9/2	11 Public Utility Board	12 N-9/1 & 9/2	13	14	15
16	17	18	19 D-9/16 & 9/17	20	21	22
23	24 A-9/16 & 9/17	25 Public Utility Board	26 HPC	27	28	29
30	31		30 N-9/16 & 9/17			

SEPTEMBER 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1	2 D-10/6 & 10/7	3 CENSUS	4	5
6 HOLIDAY	7	8	9 N-10/6 & 10/7	10	11	12
13 A-10/6 & 10/7	14 City Commission	15 Public Utility Board	16 D-10/20 & 10/21	17	18	19
20 A-10/20 & 10/21	21	22	23 HPC	24	25	26
27	28 City Commission	29 Public Utility Board	30 N-10/20 & 10/21			

OCTOBER 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
				1 CENSUS	2	3
4	5	6	7 D-11/3 & 11/4	8	9	10
11	12 A-11/3 & 11/4	13 Public Utility Board	14 N-11/3 & 11/4	15	16	17
18	19	20	21 D-11/17 & 11/18	22	23	24
25	26 A-11/17 & 11/18	27 Public Utility Board	28 HPC	29	30	31

NOVEMBER 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
1	2	3	4 D-12/1 & 12/2	5 CENSUS	6	7
8 A-12/1 & 12/2	9 City Commission	10 Public Utility Board	11 N-12/1 & 12/2	12	13	14
15	16	17	18 D-12/16 & 12/17	19	20	21
22 A-12/16 & 12/17	23 City Commission	24 Public Utility Board	25 N-12/16 & 12/17	26 HOLIDAY	27	28
29	30					

DECEMBER 2020

Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1	2 HPC	3 CENSUS	4	5
6	7 A-1/5 & 1/6	8	9 N-1/5 & 1/6	10	11	12
13	14 City Commission	15 Public Utility Board	16 D-1/19 & 1/20	17	18	19
20	21 A-1/19 & 1/20	22	23 N-1/19 & 1/20	24 HOLIDAY	25 HOLIDAY	26
27	28	29	30	31		