

AGENDA

PLANNING & ZONING COMMISSION REGULAR MEETING TUESDAY, JUNE 16, 2026 - 3:30 PM MCALLEN CITY HALL, 1300 HOUSTON AVENUE CITY COMMISSION CHAMBERS, 3RD FLOOR

At any time during the course of this meeting, the Planning & Zoning Board may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code

CALL TO ORDER -

PLEDGE OF ALLEGIANCE -

INVOCATION -

1) MINUTES:

- a) Approval of minutes for June 2, 2026, meeting minutes.

2) PUBLIC HEARING:

- a) **ROUTINE ITEMS CITY INITIATED REZONINGS:** (All Rezoning listed under this section come with a favorable recommendation from Planning & Zoning Staff and will be enacted by one motion. However, if there is opposition at the meeting or a discussion is desired, that item(s) will be removed from the Routine Items section of the agenda and will be considered separately.)

1. Rezoning from C-4 (Commercial Industrial-OC) District and I-1 (Light Industrial-OC) District under the Old Code (OC) to I-1 (Light Industrial-UDC) District under the new Unified Development Code (UDC) for the following properties:

CASE REZ2026-0073:

6400 Industrial Center Subdivision, Lot 1, Hidalgo County, Texas
6200 South 10th Street

4400, 4500, 4601, 5000, 5001, 5400, 5401, 5500, 5800, 5801, 5901, 6101 and
6275 South 10th Street (PIDs: 847673, 189348, 189349, 189350, 644888, 644889,
1462774, 644855, 189313, 189362, 189317, 610102, 189330, and 189329)

2. Rezoning from C-3 (General Business-OC) District under the Old Code (OC) to C-2 (Regional Commercial-UDC) District under the new Unified Development Code (UDC) for the following properties:

CASE REZ2026-0075:

Tex-Mart #38 Subdivision, Lot 1, Hidalgo County, Texas
5700 South 10th Street

3. Rezoning from A-O (Agricultural & Open Space-OC) District under the Old Code (OC) to A-O (Agricultural & Open Space-UDC) District under the new Unified Development Code (UDC) for the following properties:

CASE REZ2026-0076:

1901 Tanya Avenue Rear (PID: 843512)
1905 Military Highway and Rear (PIDs: 729591 and 729592)
6601 South 10th Street Rear, 6701 South 10th Street Rear, 6801 South 10th Street
Rear, and 7200 South 10th Street (PIDs: 20828092, 189331, 190017, and 654315)
7001 and 7301 South 23rd Street (PIDs: 185537 and 185538)

4. Rezoning from C-3 (General Business-OC), R-3C (Multifamily Residential Condominium-OC), and A-O (Agricultural and Open Space-OC) Districts under the Old Code (OC) to C-2 (Regional Commercial-UDC) District under the new Unified Development Code (UDC) for the following properties:

CASE REZ2026-0077:

3001 Business Park Subdivision, Lot 1; South 10th Shopping Center Unit 1
Subdivision, Lots 1-2; South 10th Shopping Center Unit 2 Subdivision, Lots 1-2,
Hidalgo County, Texas
817 Bales Road
2901 South 10th Street
3113 South 10th Street
3201 South 10th Street
3221 South 10th Street
413, 521, 2721, 3000, 3005, 3013, 3017, 3020, 3300, 3327, 3400, 3601, 3609, and
3900 South 10th Street (PIDs: 200872, 175509, 175508, 175510, 175511, 175512,
189393, 965189, 714035, 189404, 189405, 1305555)
912 and 916 Bales Road (PIDs: 175514 and 560145)
3602 South 2nd Loop (PID: 189406)

5. Rezoning from R-1 (Single-Family Residential-OC) District under the Old Code (OC) to R-1 (Low-Density Residential-UDC) District under the new Unified Development Code (UDC) for the following properties:

CASE REZ2026-0078:

Amended Map of Sowell Subdivision, Lot A; Amended Map of Villas Jardin
Subdivision, Lots 1-40; Country Club Condominiums Phase 1, Lots 1-37; Country
Club Condominiums Phase 2, Lots 1-37; Country Club Condominiums Phase III,
Lots 1-37; Amended Map of Country Club Condominiums Phase IV, Lots 1-36,
Hidalgo County, Texas
2400 Country Club Lane
301 Byron Nelson Drive
301 Byron Nelson Drive Units 1-40
14 Villas Jardin Drive
101 and 111 Yuma Avenue
100 and 200 East Yuma Avenue
401 Byron Nelson Drive (PID: 189379)

6. Rezoning from R-3A (Multifamily Residential Apartment-OC) and R-3C (Multifamily Residential Condominium-OC) Districts under the Old Code (OC) to R-3 (High-Density Residential-UDC) District under the new Unified Development Code (UDC) for the following properties:

CASE REZ2026-0079:

The Woodlands Subdivision, Lot 1; Lot 2A The Woodlands Subdivision, Lot 2A,
Hidalgo County, Texas

700 Sunset Drive
800 Sunset Drive
507 Bales Road (PID: 189384)

b) REZONING:

1. Rezoning from C-3 (General Business-OC) District to C-2 (Regional Commercial-UDC) District: Lot 3-A, Lots 3-A and 4-A Main International Subdivision, Hidalgo County, Texas; 6100 North 10th Street. **(REZ2026-0074)**
2. Rezoning from R-1 (Single-Family Residential-OC) District to C-1 (Local Commercial-UDC) District: 15.176 acres out of Lot 113, La Lomita Irrigation and Construction Company Subdivision, Hidalgo County, Texas; 4117 North Ware Road. **(REZ2026-0080)**
3. Rezoning from R-1 (Single-Family Residential-OC) District to R-3 (High-Density Residential-UDC) District: the west 97.5 feet of the east 306.60 feet of the north 360 feet of Lot 14, Stewart's Addition Subdivision, Hidalgo County, Texas; 617 Dallas Avenue. **(REZ2026-0081)**

c) CONDITIONAL USE PERMITS:

1. Request of Karla M. Rivera, on behalf of MKZ Night Club LLC, for a Conditional Use Permit, for one year, and adoption of an ordinance, for a Nightclub/Bar (MK'z Nightclub) at Lots 25-34, Resubdivision of Continental Trade Center Subdivision, Hidalgo County, Texas; 2021 Orchid Avenue. **(CUP2026-0037)**
2. Request of David Rossow, for a Conditional Use Permit, for one year, and adoption of an ordinance, for a Smoke/Vape Shop (Smoking Valley) at Lots 5 & 6, Block 1, Trenton Commercial Park Subdivision, Hidalgo County, Texas; 2200 Trenton Road, Suite 2A. **(CUP2026-0038)**
3. Request of Juan M. Villarreal, on behalf of Topsy Aliens, LLC, for a Conditional Use Permit, for one year, and adoption of an ordinance, for a Nightclub/Bar (Alibi) at the south 25 feet of Lot 9, Block 23, McAllen Addition Subdivision, Hidalgo County, Texas; 211 South 17th Street. **(CUP2026-0039)**
4. Request of Reyes Gonzalez Jr., on behalf of United Covenant Ministries of South Texas, Inc., for a Conditional Use Permit for one year, for an Institutional Use (church) at Lot 4, Block 3, Market Center Subdivision, Hidalgo County, Texas; 1428 East Laurel Avenue. **(CUP2026-0041)**
5. Request of Abobaker R. Mohamed, on behalf of UR Vape Match LLC, for a Conditional Use Permit for one year, and adoption of an ordinance, for a Vape Shop (UR Vape) at Lot 1, The District Phase I-A Subdivision, Hidalgo County, Texas; 7913 North 10th Street Suite 170. **(CUP2026-0042)**
6. Request of Mark A. Watts, on behalf of JAM Entertainment Ventures LLC, for a Conditional Use Permit for one year, and adoption of an ordinance, for a Nightclub (Santa Diabla) at Lot 1 and South one foot of Lot 2, Block 25, McAllen Addition, Hidalgo County, Texas; 1704 Dallas Avenue. **(CUP2026-0043)**

d) SUBDIVISION:

1. THE CUE SUBDIVISION, 2801 S. 10TH STREET, CITY OF MCALLEN; **(SUB2026-0081) (FINAL) PE**

3) SUBDIVISIONS:

- a) MY HOME CROSSING DREAMS SUBDIVISION, 11 S. 29TH STREET, MY HOME, LLC; **(SUB2026-0080) (FINAL) MAS**
- b) AQUALINA AT TRES LAGOS PHASE V SUBDIVISION, 6800 RUSSELL ROAD (REAR), RHODES DEVELOPMENT, INC; **(SUB2026-0079) (FINAL) M&H**
- c) 7-11 MCALLEN SUBDIVISION, 201 DALLAS AVENUE, VAQUERO VENTURES MANAGEMENT, LLC; **(SUB2025-0150) (REVISED PRELIMINARY) M&H**
- d) THE VILLAS AT JONQUIL SUBDIVISION, 512 JONQUIL AVENUE, EFFECTIVE REAL ESTATE; **(SUB2025-0050) (REVISED PRELIMINARY) BIG**
- e) HIDDEN GROVE ESTATES SUBDIVISION, 8601 N. 2ND STREET, J & D PRODUCE, INC; **(SUB2024-0131) (REVISED PRELIMINARY) M&H**
- f) STAR SUBDIVISION, 401 E. DICKER ROAD; STAR CLOTHING, LLC; **(SUB2026-0072) (PRELIMINARY) REGA**
- g) MCALLEN TEMPLE SUBDIVISION, 300 TRENTON ROAD, CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS; **(SUB2026-0077) (PRELIMINARY) M&H**
- h) PECAN PLAZA SUBDIVISION, 4801 PECAN BLVD., REA GENERAL CONTRACTORS; **(SUB2026-0076) (PRELIMINARY) M&H**
- i) REPLAT CENTRAL MARKET SUBDIVISION LOTS 2 & 3, 5617 S. 23RD STREET, AGGREKO MSR GRID PC37 LLC, **(SUB2026-0078) (PRELIMINARY) BOWMAN**

4) DISCUSSION:

5) INFORMATION ONLY:

ADJOURNMENT:

IF ANY ACCOMMODATIONS FOR A DISABILITY ARE REQUIRED, PLEASE NOTIFY THE PLANNING DEPARTMENT (681-1250) 72 HOURS BEFORE THE MEETING DATE. WITH REGARD TO ANY ITEM, THE PLANNING & ZONING COMMISSION MAY TAKE VARIOUS ACTIONS, INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR PARTICULAR ACTION AT A FUTURE DATE.

STATE OF TEXAS
COUNTY OF HIDALGO
CITY OF McALLEN

The McAllen Planning and Zoning Commission convened in a Regular Meeting on Tuesday, June 2, 2026 at 3:34p.m. at the McAllen City Hall, 3rd. Floor Commission Chambers Room,1300 Houston Avenue, McAllen, Texas.

Present:	Marco Suarez	Chairperson
	Gabriel Kamel	Vice Chairperson
	Raul Sesin	Member
	Emilio Santos Jr.	Member
	Isela V. Rios	Member
	Reza Badiozzamani	Member
Absent:	Jesse Ozuna	Member
Staff Present:	Michelle Rivera	Deputy City Manager
	Norma Borrego	Assistant City Attorney I
	Eduardo Garza	Development Coordinator
	Omar Sotelo	Planning Director
	Luis Mora	Planning Deputy Director
	Kaveh Forghanparast	Senior Planner
	Natalie Moreno	Planner III
	Marcos Johnson	Planner III
	Noah Del Bosque	Planner II
	Mia Fuentes	Planner I
	Even Gonzalez	Development Engineer
	Jonathan Gutierrez	Technician I
	Carmen White	Administrative Assistant

CALL TO ORDER – 3:34 pm Mr. Marco Suarez, Chairperson

PLEDGE OF ALLEGIANCE

INVOCATION. Mr. Emilio Santos Jr.

1) MINUTES:

- a) Approval of May 19, 2026 meeting minutes.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel motioned to approve the minutes. Mr. Emilio Santos Jr. second the motion with five members present and voting.

2) PUBLIC HEARING:

- a) **ROUTINE ITEMS CITY INITIATED REZONINGS:** (All Rezoning’s listed under this section come with a favorable recommendation from Planning & Zoning Staff and will be enacted by one motion. However, if there is opposition at the meeting or a discussion is desired, that item(s) will be removed from the Routine Items section of the agenda and will be considered separately.)

1. **Ms. Mia Fuentes stated that the City of McAllen is requesting to Rezone from R-3A (Multifamily Residential Apartment-OC) District, R-3C (Multifamily Residential Condominium-OC) District, and R-3T (Multifamily Residential Townhouse-OC)**

District under the Old Code (OC) to R-3 (High-Density Residential-UDC) District under the new Unified Development Code (UDC) for the following properties:

CASE REZ2026-0066:

Springfield Heights Subdivision, South 562.5 feet of the North 572.5 feet of Lot 1,
Fairway North Subdivision, Lots 1-21, Hidalgo County, Texas
500 Wichita Avenue Rear
600-817 Toronto Avenue

2. **Ms. Mia Fuentes stated that the City of McAllen is requesting to Rezone from R-1 (Single-Family Residential-OC) District to R-1 (Low-Density Residential-UDC) District under the new Unified Development Code (UDC) for the following properties:**

CASE REZ2026-0067:

South Main Street Subdivision, Lots 1-7 Block 2, Blocks 3 & 4 South Main Street
Subdivision, Lots 1-13 Block 3, Hidalgo County, Texas
1415, 1417, 1501, 1505, 1509, 1513, 1517, 1601, 1605, 1609, 1613, 1617, 1621,
1625, 1701, 1705, 1709, 1713, 1717 and 1721 Toronto Avenue

3. **Ms. Mia Fuentes stated that the City of McAllen is requesting to Rezone from I-1 (Light Industrial-OC) District to I-1 (Light Industrial-UDC) District under the new Unified Development Code (UDC) for the following properties:**

CASE REZ2026-0068:

Mama Chedes Cold Storage Subdivision, Lot 1, McAllen Palms Business Park
Subdivision, Lots 1-25 and Detention Areas Lot "A" and "B", Hidalgo County, Texas
4700 South Old 10th Street
1012-1701 Melba Avenue
5040-5041 South Main Street
4800-4901 South 15th Street
4800-4901 South 17th Street
4401, 4501 and Rears 1-2, 4601 and Rears 1-3, 4701, 4730, 5100, 5200, 5208, 5216,
5300 and 5400 South Old 10th Street (PIDs: 189362, 189342, 189343, 189346 and
690189, 189344, 189347, 542756, 189345, 1462773, 189352, 189355, 189358,
189359, 189360, 511993 and 189361)
1100 and Rear, 1200 and Rears 1-2, 1300, 1500 and 1700 Military Highway (PIDs:
189321 and 189322, 189320, 189318, 189319, 343366, 654316, 644893 and 644894)

4. **Ms. Mia Fuentes stated that the City of McAllen is requesting to Rezone from I-1 (Light Industrial-OC) District under the Old Code (OC) to C-2 (Regional Commercial-UDC) District under the new Unified Development Code (UDC) for the following properties:**

CASE REZ2026-0069:

CEH Addition Subdivision, Lot 1; and The Warehouse Kingdom Lot 1A Subdivision, Lot
1A, Hidalgo County, Texas
6321 and 6401 South 23rd Street

5. **Ms. Mia Fuentes stated that the City of McAllen is requesting to Rezone from C-4 (Commercial Industrial-OC) District under the Old Code (OC) to C-2 (Regional Commercial-UDC) District under the new Unified Development Code (UDC) for the following properties:**

CASE REZ2026-0070:

3029 Expressway 83 (PID: 1444065)

6. **Ms. Mia Fuentes stated that the City of McAllen is requesting to Rezone from C-3 (General Business-OC) District under the Old Code (OC) to C-2 (Regional Commercial-UDC) District under the new Unified Development Code (UDC) for the following properties:**

CASE REZ2026-0071:

C.W. Manhattan Subdivision No.2, Lot A; Colbert's Addition Subdivision, Lot A; Fairway North Subdivision, Lot 3, Block 1; La Placita Subdivision, Lot 1; Lots A2 & A3 Wichita Commercial Park Subdivision, Lots A2 & A3; and Fairway Plaza Subdivision, Lot 1, Hidalgo County, Texas

1819, 1821, 2017, 2101, 2109, 2117, 2131, 2201 South 10th Street

620 Wichita Avenue

1800 South 2nd Street (PID: 230477)

1815, 1816, 1900, 1902, 1904, 1906, 1908, 2001, 2011, and 2101 South 10th Street (PIDs: 189484, 154239, 154241, 154240, 173609, 173610, 194176)

1904 South 11th Street (PID: 154240)

913 Uvalde Avenue (PID: 194176)

Chairperson Mr. Marco Suarez asked if there was anyone present in opposition of the proposed city initiated rezoning request 2a1 -2a6. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve the city initiated rezoning request. Ms. Isela V. Rios second the motion with five members present and voting.

b) REZONING:

1. Rezoning from M-2 (Regional Mixed Use-UDC) District to R-2 (Medium Density Residential-UDC) District: a 0.96 acre tract of land out of a measured 10.50 acre tract of land out of the south 20.08 acres out of Lot 12, Section 277, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas; 11401 North 10th Street (Rear). **(REZ2026-0065)**

The subject property is located along the west side of North 10th Street, south of State Highway 107.

The applicant is requesting to rezone the property to R-2 (Medium-Density Residential-UDC) District under the new McAllen Unified Development Code (UDC) for a townhome development.

The adjacent properties are zoned C-3 (General Business-OC) District to the north, M-2 (Regional Mixed Use-UDC) District to the east, and R-2 (Medium-Density Residential-UDC) District to the west and south.

The subject property is currently vacant and in the process of development. Surrounding land uses include vacant land and single-family and multi-family residential.

The Envision McAllen Future Land Use Plan designates the future land use for these properties as Regional Commercial. Development types most compatible with Regional Commercial include shopping centers on a neighborhood and community scale.

The development trend along North 10th Street is commercial and residential.

The property is going through the subdivision process under the proposed name of Alhambra on 10th Subdivision Phase II. The property was rezoned from C-3 (General Business-OC) District to R-2 (Medium-Density Residential-UDC) and M-2 (Regional Mixed Use-UDC) District on April 13, 2026.

The requested zoning does not conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan. However, it is compatible with the adjacent zones and follows the development trend in this area.

If the rezoning is approved, a recorded subdivision plat will be required prior to building permit issuance for any future development on the subject property. Any future construction must comply with all development and conditional use permit requirements where applicable under the UDC.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

Staff recommends approval of the rezoning request.

Chairperson Mr. Marco Suarez asked if there was anyone present in opposition of the proposed rezoning request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve the rezoning request. Mr. Raul Sesin Second the motion with six members present and voting.

2. Rezoning from C-3L (Light Commercial-OC) District and R-3A (Multifamily Residential Apartment-OC) to R-3 (High-Density Residential-UDC) District: A 8.98-acre tract of land, more or less, out of Lot 6, Block 15, Steele & Pershing Subdivision, Hidalgo County, Texas; 2315 South McColl Road. **(REZ2026-0072)**

The subject property is located along the east side of South McColl Road, north of East Yuma Avenue.

The applicant is requesting to rezone the property to R-3 (High-Density Residential-UDC) District for proposed apartments.

The adjacent properties are zoned R-3 (High-Density Residential-UDC) District to the north and south; C-3 (General Business-OC) District to the north and west; and R-3A (Multifamily Residential Apartment-OC) District to the east.

The subject property is currently vacant. Surrounding uses include apartments, commercial uses, and vacant land.

The Envision McAllen Future Land Use Plan designates the future land use for this property as Regional Commercial. Regional Commercial areas consist of nonresidential land uses that meet the needs of both local and regional residents.

The development trend in this area are apartments and commercial uses.

This property was initially zoned R-3A (Multifamily Residential Apartment-OC) District upon annexation into the city on November 27, 1995. On November 13, 2006, City Commission approved the rezoning

of the west 380 feet of this property to C-3L (Light Commercial-OC) District. There has been no rezoning request to this property since then. No subdivision application has been submitted at this time.

The requested zoning does not conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan. Regional Commercial is generally oriented towards uses that rely on access and visibility to major roadways and highways and residential is not encouraged along the major roadways and highways for environmental justice and quality of life reasons. However, it does follow the development trend in this area. There are two apartment complexes adjacent to the subject property, Hearthstone Apartments to the north and Castelo Apartments to the south.

If the rezoning is approved, any future construction must comply with all development and conditional use permit requirements where applicable under the UDC.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

Staff recommends approval of the rezoning request.

Chairperson Mr. Marco Suarez asked if there was anyone present in opposition of the proposed rezoning request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve the rezoning request. Mr. Raul Sesin Second the motion with six members present and voting.

c) CONDITIONAL USE PERMIT:

1. Request of Jaime Castillo, on behalf of Betania McAllen, for a Conditional Use Permit, for life of use, and adoption of an ordinance for an Institutional Use at Lots 1-16, Block 6, Bonnie-View Subdivision, Hidalgo County, Texas; 2100 Fir Avenue. **(CUP2026-0034)**

The subject property is located at the northwest corner of Fir Avenue and North 21st Street. The property is zoned R-2 (Duplex-Fourplex-OC) District. The surrounding land uses include single-family residences, duplexes, and a church. An institutional use is permitted in this zone with a Conditional Use Permit and in compliance with requirements.

Bonnie-View Subdivision was recorded on August 22, 1927. The building was previously used as Stephen F. Austin Elementary School, a Hidalgo County Head Start facility, and a church under the name Casa De Oración Rey de Reyes. A Conditional Use for the previous church was approved for one year by the Planning & Zoning Commission on August 4, 2020 and renewed for an additional year on January 18, 2022. A building permit for a change of occupancy with interior renovations was issued on May 1, 2026, and an application for a CUP for a new church was submitted on April 10, 2026.

The subject property was previously a church. The applicant is proposing to do interior remodeling for a new church and operate under the name Betania McAllen.

The site plan must comply with all other Zoning Ordinances, Building Codes, Fire Department requirements, and all requirements on the building permit, including setbacks, landscaping, and parking. The proposed church must also comply with the following specific requirements:

- 1) No form of pollution shall emanate beyond the immediate property line of the permitted use;
- 2) Additional reasonable restrictions or conditions such as open space, loading and parking requirements, suitable landscaping, curbing, sidewalks or other similar improvements may be imposed in order to carry

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out the spirit of the Zoning Ordinance or mitigate adverse effects of the proposed use. The project is proposing 64 parking spaces;

- 3) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial;
- 4) The proposed use shall comply with the Off-street Parking and Loading Ordinance and make provisions to prevent the use of street parking especially in residential areas;
- 5) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges, or reorientation of entrances and exits;
- 6) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 7) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 8) The number of persons within the building shall be restricted based on the Max Occupant Load;
- 9) Sides adjacent to a residentially zoned or used property shall be screened by a 6' opaque fence.

Staff has not received any phone calls, letters or emails in opposition to the request.

Staff recommends approval of the request, subject to compliance with the Zoning Ordinance, Fire Department, and Building Code requirements.

Chairperson Mr. Marco Suarez asked if there was anyone present in opposition of the conditional use permit. There was none.

Being no discussion, Board member Mr. Reza Badiozzamani moved to approve the conditional use permit. Mr. Raul Sesin Second the motion with six members present and voting.

2. Request of Edgar A. Espinoza, for a Conditional Use Permit, for life of use, and adoption of an ordinance for an Institutional Use (welding institute) at Lot 45, less east 30 feet of Lot 45 and all of Lot 46, Betty-Rose Subdivision, Hidalgo County, Texas; 601 East Beaumont Avenue. **(CUP2026-0036)**

The subject property is located at the northeast corner of East Beaumont Avenue and South "E" Street. The subject property is zoned C-3 (General Business-OC) District. The surrounding land uses include duplex-fourplexes, light industrial, and commercial uses. An institutional use is permitted in this zone with a Conditional Use Permit and in compliance with requirements.

Betty-Rose Subdivision was recorded on June 4, 1946. The building was previously used for storage. No previous CUP requests were found on file for this property.

The applicant is proposing to operate a welding school with classes consisting of 10 students and 2 trained staff members. The hours of operation will be split into two shifts, 7 a.m. to 12 p.m. and 1 p.m. to 6 p.m. Monday through Saturday. The site plan must comply with all other Zoning Ordinances, Building Codes, Fire Department requirements, and all requirements on the building permit, including setbacks, landscaping, and parking. The proposed welding school must also comply with the following specific requirements:

- 1) No form of pollution shall emanate beyond the immediate property line of the permitted use;
- 2) Additional reasonable restrictions or conditions such as open space, loading and parking requirements, suitable landscaping, curbing, sidewalks or other similar improvements may be imposed in order to carry

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out the spirit of the Zoning Ordinance or mitigate adverse effects of the proposed use. The project is proposing 12 parking spaces;

- 3) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial;
- 4) The proposed use shall comply with the Off-street Parking and Loading Ordinance and make provisions to prevent the use of street parking especially in residential areas;
- 5) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges, or reorientation of entrances and exits;
- 6) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 7) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 8) The number of persons within the building shall be restricted based on the Max Occupant Load;
- 9) Sides adjacent to a residentially zoned or used property shall be screened by a 6' opaque fence.

Staff has not received any phone calls, letters or emails in opposition to the request.

Staff recommends approval of the request, subject to compliance with the Zoning Ordinance, Fire Department, and Building Code requirements.

Chairperson Mr. Marco Suarez asked if there was anyone present in opposition of the conditional use permit. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve the conditional use permit. Mr. Raul Sesin Second the motion with six members present and voting.

SUBDIVISION:

1. **NORTH MCALLEN LOT 10A, BLOCK 17 SUBDIVISION, 508 N. 11TH STREET, LEONEL BAZAN; (SUB2026-0075) (FINAL) HLG**

Ms. Natalie Moreno stated the property located on N. 11th Street: 65 ft. ROW Existing. Paving: 40 ft. Curb & gutter: both sides. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. Paving Curb & gutter. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. Paving Curb & gutter. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. Paving Curb & gutter. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. Paving Curb & gutter. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. ROW 20 ft. Paving 16 ft. Existing improvements remain as now exist. Alley/service drive easement required for commercial properties. Subdivision Ordinance: Section 134-106. Front: 20 ft. or greater for easements, or in line with existing structures, whichever greater applies. Add plat note as stated above, prior to final. Zoning Ordinance: Section 138-356. Rear: 10 ft. or greater for easements. Revise plat note as shown above. Zoning Ordinance: Section 138-356. Sides: 6 ft. or greater for easements. Revise plat note as stated above. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required, greater setbacks applies. Revise note as stated above. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum

sidewalk required on N. 11th Street. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Must be on a separate plat note. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Must be on a separate plat note. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Must comply with City Access Management Policy. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area for an R-3A is 7,800 sqft. Zoning Ordinance: Section 138-356. Existing R-3A (Apartments) Proposed R-3A (Apartments). Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Zoning Ordinance: Article V. Land dedication in lieu of fee. Clarify the number of units proposed to establish park fees. Park fees were paid. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Clarify the number of units proposed to establish required park fee, prior to final. Park fees were paid. Pending review by the Parkland Dedication Advisory Board and CC. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Trip Generation for 1 lot Multifamily subdivision is waived as per traffic department. Traffic Impact Analysis (TIA) required prior to final plat. Comments: Public Hearing will need to take place. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in final form subject to conditions noted.

Chairperson Mr. Marco Suarez asked if there was anyone present in opposition of the subdivision. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve the subdivision in final form. Mr. Raul Sesin Second the motion with six members present and voting.

3) CONSENT:

- a) BRIER VILLAGE PHASE II SUBDIVISION, 3925 N. BENTSEN ROAD, GARMAN INVESTMENTS, LP; **(SUB2025-0001) (FINAL) M&H**
- b) LAS BRISAS PHASE II SUBDIVISION, 3105 MONTE CRISTO ROAD, RHODES DEVELOPMENT, INC; **(SUB2025-0111) (FINAL) M&H**
- c) HABITAT AT WARE PHASE II SUBDIVISION, 6117 N. WARE ROAD (REAR), HABITAT DEVELOPERS; **(SUB2026-0073) (FINAL) SEC**
- d) MARIEL LUCILLE SUBDIVISION, 836 E. OLYMPIA AVENUE, MARIEL TORRES; **(SUB2026-0074) (FINAL) RIOPLEX**
- e) JLV SUBDIVISION, 2113 STATE HIGHWAY 107, JOSE LUCIO VASQUEZ; **(SUB2025-0070) (REVISED PRELIMINARY) (6 - MONTH EXTENTION) MGE**

Chairperson Mr. Marco Suarez asked if there was anyone present in opposition of the subdivision. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve the consent items from 3a-3e. Ms. Isela V. Rios Second the motion with six members present and voting

3) SUBDIVISIONS

- a) THE WOODLANDS SUBDIVISION, 601 S. TAYLOR ROAD, MDM LAND COMPANY, LLC;
(SUB2026-0030) (REVISED PRELIMINARY) RDE (TABLED 05/19/2026)

Mr. Marco Johnson stated the property located on Erie Avenue: 80 ft. ROW. Paving: 52 ft. Curb & gutter: both sides. Staff reviewed the collector street for Erie, and there is no plans to connect Erie to S. Taylor Road. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. Rear: In accordance with the zoning ordinance greater for easements. Revisions Needed: Proposing: In accordance with the zoning ordinance, or greater for easements. Zoning Ordinance: Section 138-356. Sides: In accordance with the zoning ordinance, or greater for easements. Revisions Needed: Proposing: In accordance with the zoning ordinance, or greater for easements. Zoning Ordinance: Section 138-356. Corner: 10 ft. or greater for easements. Revisions Needed: Proposing: 10 ft. or greater for easements. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required; greater setback applies. For the apartment complex lots only. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on S. Taylor Rd., and both sides of all interior streets. Revisions Needed: Include note as shown above prior to final, once final wording is established. Note may be subject to change once street designation is finalized, finalize wording prior to final. Sidewalk requirement may increase to 5 ft. as per Engineering Department prior to final. Finalize wording prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, and along S. Taylor Road. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along S. Taylor Road. Shown as plat note #9. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions Needed: Add a plat note as shown above prior to final. Note subject to change once subdivision requirements have been finalized. Finalize wording for note prior to final. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Need to add plat note as shown above prior to final. Section 134-168 applies if private subdivision is proposed. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: R-1 (Single-Family Residential) District & R-3T (Townhouse Residential) District Proposed: M-2 (LOCAL MIX USE) Engineer must verify if proposed subdivision is within appropriate zoning as it may prompt changes to plat and or rezoning process, review and finalize prior to final. If rezoning to UDC, development requirements are subject to change. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. If proposing changing to UDC, need to apply for rezoning, and rezoning needs to be completed prior to final approval. Zoning Ordinance: Article V. Land dedication in lieu of fee. Property for Commercial Development does not apply to Parks. If park fee requested in lieu of land dedication, need to submit variance request for fee in lieu of land dedication. Clarify the total number of dwelling units to finalize the park fee prior to final. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not required. Once the number of lots/dwelling units have been finalized, park fees to be paid prior to recording will be established. If park fee requested in lieu of land dedication, need to submit variance request for fee in lieu of land dedication. Pending review by City Managers Office. Once clarified if land dedication is applicable to this development, a written request must be submitted if requesting fees in lieu of land to be reviewed by the City Manager's office. If park fee requested in lieu of land dedication, need to submit

variance request for fee in lieu of land dedication. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat.

Staff recommends approval of the subdivision in revised preliminary form, subject to conditions noted, drainage and utility approval and approval of the variance requests.

Chairperson Mr. Marco Suarez asked to be a motion to un table subdivision. Vice Chairperson Mr. Gabriel Kamel motioned to un table the subdivision Mr. Raul Sesin Second the motion with six members present and voting.

Chairperson Mr. Marco Suarez asked if there was anyone present in opposition of the subdivision. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve the subdivision in revised preliminary form including variance. Mr. Emilio Santos Second the motion with six members present and voting.

b) IMPERIOR ESTATES PHASE II SUBDIVISION, 8600 N. 29TH STREET, HOLLYWOOD DEVELOPMENT & CONSTRUCTION, LLC; (SUB2026-0029) (REVISED PRELIMINARY) RDE

Ms. Natalie Moreno stated the property located on Front: In accordance with the Zoning Ordinance or in line with average existing structures, or greater for easement, or approved site plan; whichever is greater applies. The property is currently zoned A-O (Agricultural & Open Space District). A rezoning request to rezone the property to R-1 (Low Density Residential) district has been submitted and is scheduled to be heard by the Planning and Zoning Commission on 03/17/26. Proposing: 20 ft. or Greater for Easements. Zoning Ordinance: Section 138-356. Rear: In accordance with the Zoning Ordinance or in line with average existing structures, or greater for easement, or approved site plan; whichever is greater applies. The property is currently zoned A-O (Agricultural & Open Space District). A rezoning request to rezone the property to R-1 (Low Density Residential) district has been submitted and is scheduled to be heard by the Planning and Zoning Commission on 03/17/26. Proposing: 10 ft. or Greater for Easements. Zoning Ordinance: Section 138-356. Sides: In accordance with the Zoning Ordinance or in line with average existing structures, or greater for easement, or approved site plan; whichever is greater applies. The property is currently zoned A-O (Agricultural & Open Space District). A rezoning request to rezone the property to R-1 (Low Density Residential) district has been submitted and is scheduled to be heard by the Planning and Zoning Commission on 03/17/26. Proposing: 5 ft. or Greater for Easements. Zoning Ordinance: Section 138-356. Corner: In accordance with the Zoning Ordinance or in line with average existing structures, or greater for easement, or approved site plan; whichever is greater applies. The property is currently zoned A-O (Agricultural & Open Space District). A rezoning request to rezone the property to R-1 (Low Density Residential) district has been submitted and is scheduled to be heard by the Planning and Zoning Commission on 03/17/26. Proposing: 10 ft. or Greater for Easements. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on N. 29th Street (Rooth Road) and both sides of all interior streets. Sidewalk requirement may be increased to 5 ft. along N. 29th Street (Rooth Road) and both sides of all interior streets by Engineering Department prior to recording. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along N. 29th Street. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along N.29th Street

(Rooth Road). City's Access Management Policy. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 110-72 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 134-168 applies if private subdivision is proposed. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168". Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Homeowner's Association Covenants must be submitted for staff review, prior to recording. Make sure Section referenced is Section 110-72 as this is a Public Subdivision. Section 134-168 applies if private subdivision is proposed. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public/private streets. Subdivision Ordinance: Section 134-1. Existing: A-O (Agricultural and Open Space District) Proposed: R-1 (Low Density Residential) District. Finalize the rezoning request to finalize the subdivision requirements prior to final. A rezoning request to rezone the property to R-1 (Low Density Residential) district has been submitted (REZ2026-0018) and is scheduled to be heard by the Planning and Zoning Commission on 03/17/2026. Rezoning was approved. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Zoning Ordinance: Article V. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per plat submitted on February 13, 2026, plat depicts 37 residential lots, Park fees of \$25,900 (based on 37 lots X \$700) to be paid prior to recording. If the number of lots/dwelling units changes, park fees will be adjusted accordingly prior to recording. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Comments: Street names will need to be revised prior to final/recording. HOA's need to be reviewed prior to recording. 50 ft. Costal Transmission Corporation GAS R.O.W along lots 1, 2, 27, 28, clarify if this will remain. Site plan may be required as applicable to establish if buildable lots on 1,2,27, 28 and 8. As per engineer gas easement will remain and subdivision will be public. 10 ft. of Additional R.O.W. is being provided on N. 29th Street. To provide Exhibit. Irrigation district's signature block, if its presented on the physical mylar, you must provide for their signature & required recording documents (i.e. H.C.I.D. #1, U.I.D., H.C.I.D. #2, etc. Tax Certificates) Need to provide paving details for street. Any variances that may be requested must be finalized prior to final and will establish additional requirements as needed prior to finalizing the plat. two variance requests will be heard at the Planning and Zoning meeting of June 2, 2026 and CC TBD. Disclaimer: Any abandonment must be done by a separate instrument/document, cannot be done by plat, prior to recording. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in revised preliminary form, subject to conditions noted, drainage and utility approval and approval of the variance requests.

Chairperson Mr. Marco Suarez asked if there was anyone present in opposition of the subdivision. There was none.

Being no discussion, Board Member Mr. Emilio Santos moved to approve the subdivision in preliminary form including variance request. Mr. Gabriel Kamel Second the motion with six members present and voting.

- c) MENDOZA ACRES SUBDIVISION, 11200 N. TROSPER ROAD, LUIGE & BELEN MENDOZA; (SUB2026-0071) (PRELIMINARY) SOTEX

Ms. Natalie Moreno stated the property located on N. 104th Street (N/S 1/4 Mile Street-east boundary): 35 ft. dedication from centerline for 70 ft. total ROW. Paving: 40 ft. to 44 ft. Curb & gutter: Both Sides. Subdivision Ordinance: Section 134-105 & COM Thoroughfare Plan. Paving Curb & gutter. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. Paving Curb & gutter. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. Paving Curb & gutter. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. 900 ft. Block Length for R-3 Zone Districts. Subdivision Ordinance: Section 134-118. 600 ft. Maximum Cul-de-Sac. Subdivision Ordinance: Section 134-105. Front/N. Trospen Rd: 50 ft. or in line with average setback of existing structures, or easement, whichever is greater. Zoning Ordinance: Section 138-356. Rear/N. 104th Street: 35 ft. or greater for easements, whichever is greater. Proposing: Rear/N. 104th Street: 35 ft., not to exceed 50 ft. As per email submitted 11/14/22 by engineer, Hidalgo County is requiring a 35 ft. rear setback from N. 104th Street, which is based on half of the future ROW but not to exceed 50 ft. Sides: 15 ft. or greater for easement, whichever is greater. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setbacks are required; greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on N. Trospen Road and N. 104th Street. 5 ft. sidewalk might be required on N. Trospen Road by engineering department. if so, please revise plat note #28 to show. 5 ft wide minimum sidewalk required on N. Trospen Road, and 4 ft. wide minimum sidewalk required on 104th Street. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Must comply with City Access Management Policy. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing ETJ Proposed ETJ. Zoning Ordinance: Article V. If Annexation is proposed, process must be finalized, prior to final along with the initial zoning process. Rezoning Needed Before Final Approval. Zoning Ordinance: Article V. If Annexation is proposed, process must be finalized, prior to final along with the initial zoning process. Land dedication in lieu of fee. As per Parks Department, properties in ETJ are not subject to Parks department. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Pending review by the Parkland Dedication Advisory Board and CC. Traffic Impact Analysis (TIA) required prior to final plat. Comments: Must comply with City's Access Management Policy. The initial submittal was submitted on 10/12/2022. Variance requests that were previously approved will have to re-submit application.

Staff recommends approval of the subdivision in preliminary form, subject to conditions noted, drainage and utility approvals.

Chairperson Mr. Marco Suarez asked if there was anyone present in opposition of the subdivision. There was none.

Being no discussion, Board member Mr. Raul Sesin moved to approve the subdivision in preliminary form including the variance request. Mr. Gabriel Kamel Second the motion with six members present and voting.

**d) REPLAT OF LOT 50, ESTANCIA SUBDIVISION AT TRES LAGOS, 4601 BALMORHEA WAY;
RHODES DEVELOPMENT; (SUB2026-0070) (PRELIMINARY) M&H**

Ms. Natalie Moreno stated the property located on Balmorhea Way: Dedication of 50 ft. total. Paving: 32 ft. Curb & gutter: both sides. Show ROW on both sides, prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. Estancia Parkway: Dedication of 50 ft. total ROW. Paving: 32 ft. Curb & gutter: both sides. Show ROW on both sides, prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. Paving Curb & gutter. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. Paving Curb & gutter. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. Paving Curb & gutter. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. 900 ft. Block Length for R-3 Zone Districts. Subdivision Ordinance: Section 134-118. 600 ft. Maximum Cul-de-Sac. Subdivision Ordinance: Section 134-105. All setbacks are subject to increase for easements or approved site plan. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-72 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Section 110-72 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: R-1 (Single-Family Residential) Proposed: R-1 (Single-Family Residential) Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Zoning Ordinance: Article V. No rezoning has been submitted at this time. Land dedication in lieu of fee. Must be in compliance with agreement. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Park Fee of \$700 per dwelling unit is required to be paid prior to recording. Park Fee is N/A per agreement on 10-30-2014. Pending review by the Parkland Dedication Advisory Board and CC. Park Fee of \$700 per dwelling unit is required to be paid prior to recording. Park Fee is N/A per agreement on 10-30-2014. Traffic Impact Analysis (TIA) required prior to final plat. Comments: Must comply with City's Access Management Policy. This is a replat, this subdivision will require a public hearing with legal notices to be mailed out (R-1) Zone. If any restrictions are removed, this will trigger a Vacate & Replat process. The subdivision name should be changed to plat of "Estancia at Tres Lagos Lot 50A & 50B Subdivision", prior to final. The wording (Private Subdivision) not as bold & in smaller font should be added below the subdivision name.

Staff recommends approval of the subdivision in preliminary form, subject to conditions noted, drainage and utility approval.

Chairperson Mr. Marco Suarez asked if there was anyone present in opposition of the subdivision. There was none.

Being no discussion, Board member Mr. Raul Sesin moved to approve the subdivision in preliminary form. Mr. Gabriel Kamel Second the motion with six members present and voting.

**e) 23RD STREET PLAZA SUBDIVISION, 7600 N. 23RD STREET, LUIS ANGEL TREVINO;
(SUB2026-0067) (PRELIMINARY) MAS**

Mr. Marco Johnson stated the property located on 7600 N. 23rd street All setbacks are subject to increase for easements or approved site plan. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Refer to Traffic comment regarding driveway on N 23rd ST (FM1926) must be in alignment with Xenops Avenue to the west of N. 23rd ST. Must comply with City Access Management Policy. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: C-3 Proposed. Application on file does not reflect a proposed zone. Shall update propsoed zoning on the application prior to final. Clarify if the intent is to keep the current zone. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Comments: 24 ft. Access Easement must be shown on plat and connect to the existing share access easement to the south. Any variances that may be requested must be finalized prior to final and will establish additional requirements as needed prior to finalizing the plat. Any abandonment of easements must be done by a separate instrument/document, cannot be abandoned by plat. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in preliminary form, subject to the conditions noted, drainage, and utilities approval.

Chairperson Mr. Marco Suarez asked if there was anyone present in opposition of the subdivision. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve the subdivision in preliminary form. Ms. Isela V. Rios Second the motion with six members present and voting.

5) DISCUSSION:

No Discussion was given to board members.

6) INFORMATION ONLY:

Planning Director, Mr. Omar Sotelo was informing board members on the city commission cases that were presented in the meeting.

ADJOURNMENT:

There being no further business to come before the Planning & Zoning Commission, Vice Chairperson Mr. Gabriel Kamel adjourned the meeting at 3:55 p.m. with Ms. Isela V. Rios second the motion with six members present and voting.

Marco Suarez, Chairperson

ATTEST: _____
Valerie Ramos, Administrative Assistant

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 16, 2026

SUBJECT: REZONING FROM C-4 (COMMERCIAL INDUSTRIAL-OC) DISTRICT AND I-1 (LIGHT INDUSTRIAL-OC) DISTRICT UNDER THE OLD CODE (OC) TO I-1 (LIGHT INDUSTRIAL-UDC) DISTRICT UNDER THE NEW UNIFIED DEVELOPMENT CODE (UDC) FOR THE FOLLOWING PROPERTIES:

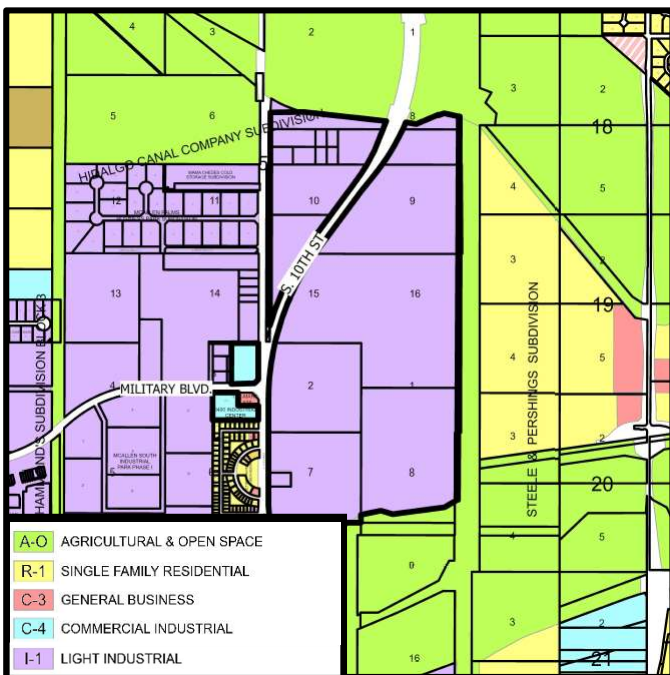
CASE REZ2026-0073:

6400 Industrial Center Subdivision, Lot 1, Hidalgo County, Texas

6200 South 10th Street

4400, 4500, 4601, 5000, 5001, 5400, 5401, 5500, 5800, 5801, 5901, 6101 and 6275 South 10th Street (PIDs: 847673, 189348, 189349, 189350, 644888, 644889, 1462774, 644855, 189313, 189362, 189317, 610102, 189330, and 189329)

LOCATION: The subject properties are located along the both sides of South 10th Street and on both sides of Military Highway.



PROPOSAL: The City of McAllen is requesting to rezone the properties to I-1 (Light Industrial-UDC) District as part of the citywide rezoning pertaining to the adoption of the new McAllen Unified Development Code (UDC).

ADJACENT ZONING: The adjacent properties are zoned A-O (Agricultural & Open Space-OC) District to the north, east, and south; I-1 (Light Industrial-OC) District to the west; R-1 (Single-Family Residential-OC) District to the south of the C-4 (Commercial Industrial-OC) District properties; and C-3 (General Business-OC) District at the northeast corner of South 10th Street and Military Highway.

LAND USE: The subject properties are vacant. Surrounding uses include single-family residential, a convenience store, light industrial uses, and vacant land.

COMPREHENSIVE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for these properties as Mixed-Density Complete Neighborhood. Mixed-Density Complete Neighborhoods are focused in the close-in neighborhoods that have more vacant land for ground-up developments and allow for a combination of diverse residential and nonresidential uses in a compact, neighborhood-scale design to create a walkable environment.

DEVELOPMENT TRENDS: The development trend in this area is industrial uses.

ANALYSIS: The requested zoning does not conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan. However, it does follow the development trend in this area.

If the rezoning is approved, any future construction must comply with all development and conditional use permit requirements where applicable under the UDC.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request.

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

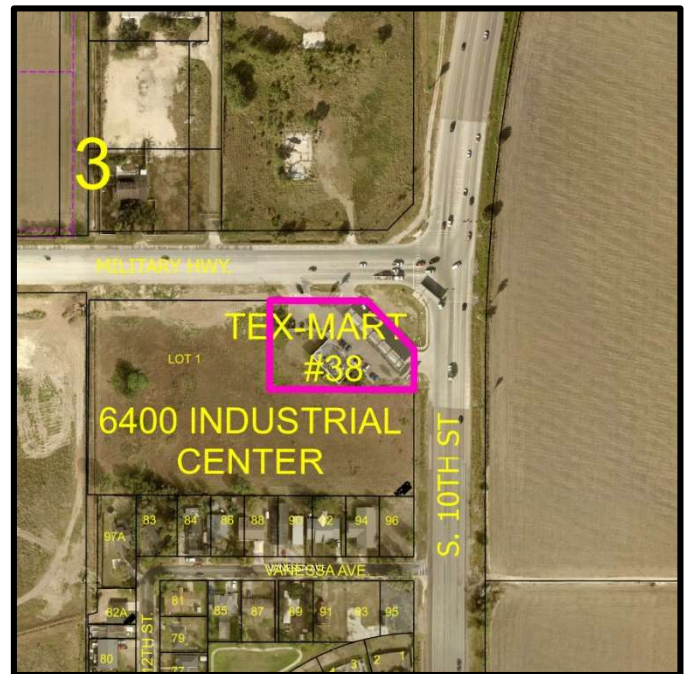
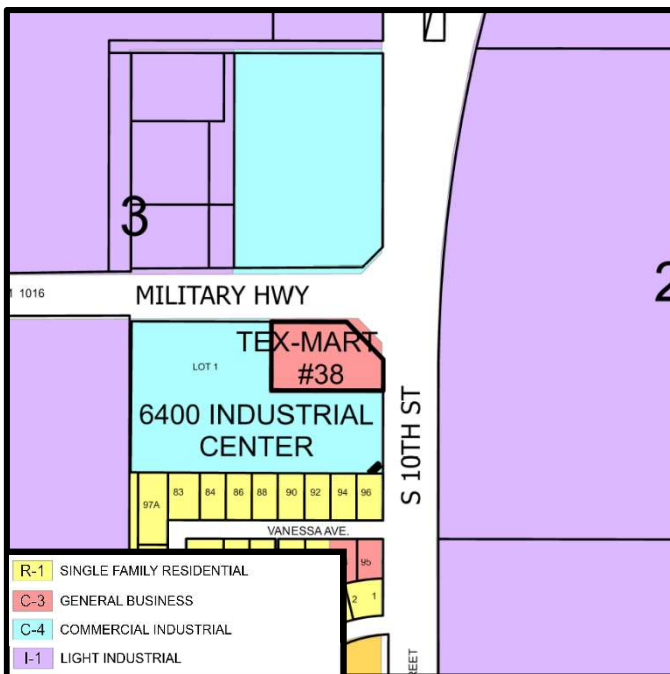
DATE: June 16, 2026

SUBJECT: REZONING FROM C-3 (GENERAL BUSINESS-OC) DISTRICT UNDER THE OLD CODE (OC) TO C-2 (REGIONAL COMMERCIAL-UDC) DISTRICT UNDER THE NEW UNIFIED DEVELOPMENT CODE (UDC) FOR THE FOLLOWING PROPERTIES:

CASE REZ2026-0075:

Tex-Mart #38 Subdivision, Lot 1, Hidalgo County, Texas
5700 South 10th Street

LOCATION: The subject property is located at the southwest corner of South 10th Street and Military Highway.



PROPOSAL: The City of McAllen is requesting to rezone the properties to C-2 (Regional Commercial-UDC) District as part of the citywide rezoning pertaining to the adoption of the new McAllen Unified Development Code (UDC).

ADJACENT ZONING: The adjacent properties are zoned C-4 (Commercial Industrial-OC) District to the north, south, and west; and I-1 (Light Industrial-OC) District to the east.

LAND USE: The subject property is a convenience store. Surrounding uses include vacant land.

COMPREHENSIVE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for these properties as Mixed-Density Complete Neighborhood. Mixed-Density Complete Neighborhoods are focused in the close-in neighborhoods that have more vacant land for ground-up developments and allow for a combination of diverse residential and nonresidential uses in a compact, neighborhood-scale design to create a walkable environment.

DEVELOPMENT TRENDS: The development trend in this area is industrial uses.

ANALYSIS: The requested zoning does not conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan. However, shopping centers function as employment centers, with increased emphasis on service industry and office employment which is more in line with the development for this area; proximity of retail helps boost the attractiveness of employment centers for employers of all sizes, providing useful services to employees. Convenience stores are permitted in a C-2 (Regional Commercial-UDC) District, but not in an I-1 (Light Industrial-UDC) District.

If the rezoning is approved, any future construction must comply with all development and conditional use permit requirements where applicable under the UDC.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request.

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 16, 2026

SUBJECT: REZONING FROM A-O (AGRICULTURAL & OPEN SPACE-OC) DISTRICT UNDER THE OLD CODE (OC) TO A-O (AGRICULTURAL & OPEN SPACE-UDC) DISTRICT UNDER THE NEW UNIFIED DEVELOPMENT CODE (UDC) FOR THE FOLLOWING PROPERTIES:

CASE REZ2026-0076:

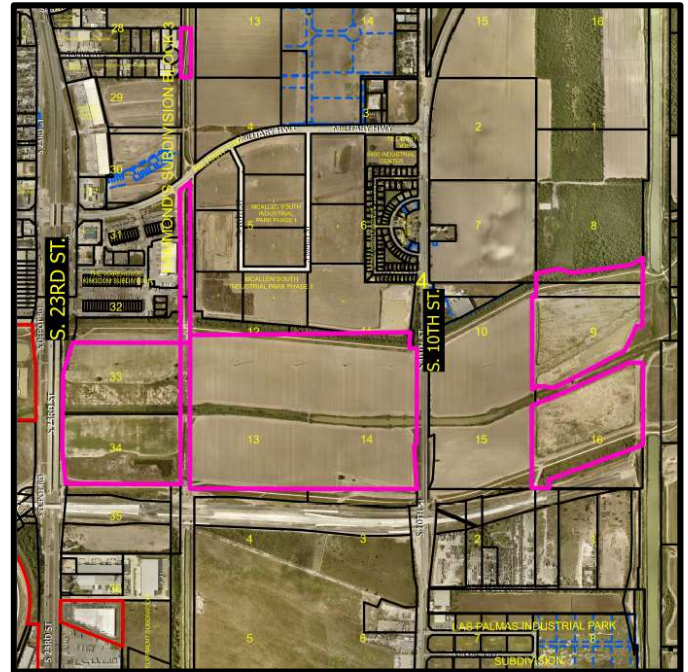
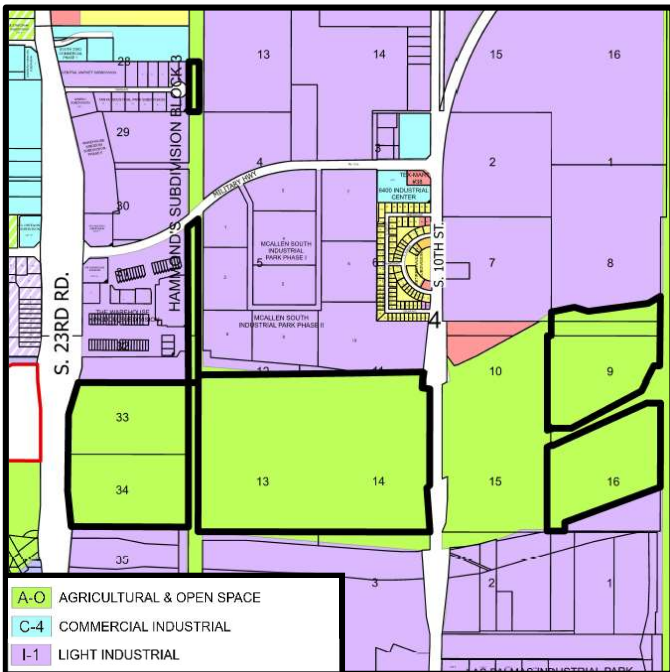
1901 Tanya Avenue Rear (PID: 843512)

1905 Military Highway and Rear (PIDs: 729591 and 729592)

6601 South 10th Street Rear, 6701 South 10th Street Rear, 6801 South 10th Street Rear, and 7200 South 10th Street (PIDs: 20828092, 189331, 190017, and 654315)

7001 and 7301 South 23rd Street (PIDs: 185537 and 185538)

LOCATION: The subject properties are located on the east side of South 23rd Street, on both sides of South 10th Street, north and south of Military Highway.



PROPOSAL: The City of McAllen is requesting to rezone the properties to A-O (Agricultural & Open Space-UDC) District as part of the citywide rezoning pertaining to the adoption of the new McAllen Unified Development Code (UDC).

ADJACENT ZONING: The adjacent properties are zoned A-O (Agricultural & Open Space-OC) District and I-1 (Light Industrial-OC) District to the north, south, east, and west.

LAND USE: The subject properties are vacant. Surrounding uses include industrial uses and vacant land.

COMPREHENSIVE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for these properties as Parks and Open Space. The Parks and Open Space areas noted in the Future Land Use Map denote parks, recreational facilities, drainage ways, trails and other open spaces that are currently in existence or planned.

DEVELOPMENT TRENDS: The development trend in this area is industrial uses.

ANALYSIS: The requested zoning does conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan.

If the rezoning is approved, any future construction must comply with all development and conditional use permit requirements where applicable under the UDC.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request.

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 16, 2026

SUBJECT: REZONING FROM C-3 (GENERAL BUSINESS-OC), R-3C (MULTIFAMILY RESIDENTIAL CONDOMINIUM-OC), AND A-O (AGRICULTURAL AND OPEN SPACE-OC) DISTRICTS UNDER THE OLD CODE (OC) TO C-2 (REGIONAL COMMERCIAL-UDC) DISTRICT UNDER THE NEW UNIFIED DEVELOPMENT CODE (UDC) FOR THE FOLLOWING PROPERTIES:

CASE REZ2026-0077:

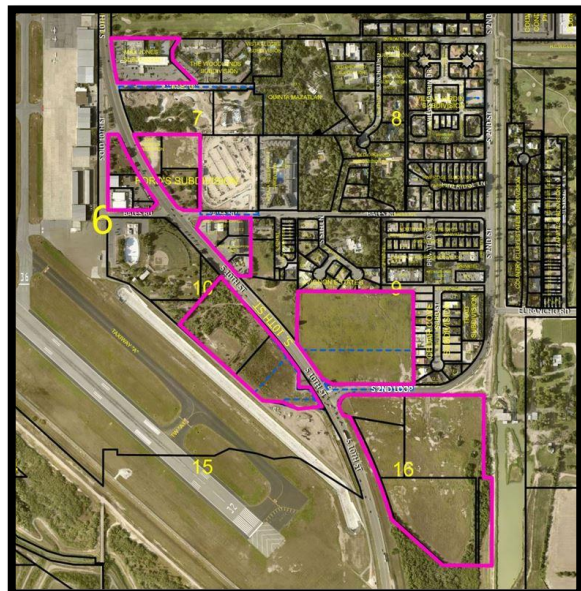
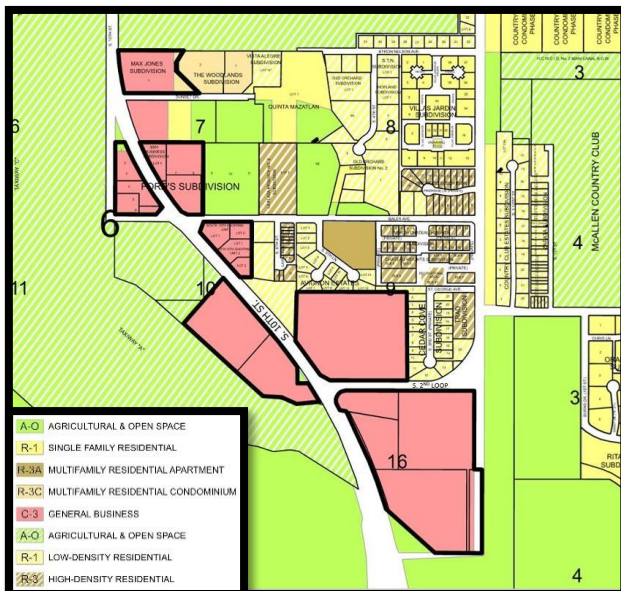
3001 Business Park Subdivision, Lot 1; South 10th Shopping Center Unit 1 Subdivision, Lots 1-2; South 10th Shopping Center Unit 2 Subdivision, Lots 1-2, Hidalgo County, Texas

817 Bales Road
2901 South 10th Street
3113 South 10th Street
3201 South 10th Street
3221 South 10th Street

413, 521, 2721, 3000, 3005, 3013, 3017, 3020, 3300, 3327, 3400, 3601, 3609, and 3900 South 10th Street (PIDs: 200872, 175509, 175508, 175510, 175511, 175512, 189393, 965189, 714035, 189404, 189405, 1305555)

912 and 916 Bales Road (PIDs: 175514 and 560145)
3602 South 2nd Loop (PID: 189406)

LOCATION: The subject properties are located along both sides of South 10th Street, between both sides of Bales Road and South 2nd Loop, and the north side of Sunset Drive.



PROPOSAL: The City of McAllen is requesting to rezone the properties to C-2 (Regional Commercial-UDC) District as part of the citywide rezoning pertaining to the adoption of the new McAllen Unified Development Code (UDC).

ADJACENT ZONING: The adjacent properties are zoned A-O (Agricultural and Open Space-OC), R-1 (Single Family Residential-OC), C-3 (General Business-OC), A-O (Agricultural and Open Space-UDC), and R-1 (Low Density Residential-UDC) Districts to the north, A-O (Agricultural and Open Space-OC), R-3C (Multifamily Residential Condominium-OC), and R-1 (Low Density Residential-UDC) Districts to the east, A-O (Agricultural and Open Space-OC), R-1 (Single Family Residential-OC), C-3 (General Business-OC), and A-O (Agricultural and Open Space-UDC) Districts to the south, and A-O (Agricultural and Open Space-OC) and A-O (Agricultural and Open Space-UDC) Districts to the west.

LAND USE: The subject properties include commercial use and vacant land. Surrounding uses include residential, commercial, and vacant lots.

COMPREHENSIVE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for these properties as Complete Communities, Mixed Density Complete Neighborhood, Public/Semi-Public, and Parks and Open Space.

DEVELOPMENT TRENDS: The development trend of this area is commercial and agricultural.

ANALYSIS: The requested zoning conforms to the future land use designation as shown on the Envision McAllen Future Land Use Plan. It also follows the development trend in this area.

If the rezoning is approved, any future construction must comply with all development and conditional use permit requirements where applicable under the UDC.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request.

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 16, 2026

SUBJECT: REZONING FROM R-1 (SINGLE-FAMILY RESIDENTIAL-OC) DISTRICT UNDER THE OLD CODE (OC) TO R-1 (LOW-DENSITY RESIDENTIAL-UDC) DISTRICT UNDER THE NEW UNIFIED DEVELOPMENT CODE (UDC) FOR THE FOLLOWING PROPERTIES:

CASE REZ2026-0078:

Amended Map of Sowell Subdivision, Lot A; Amended Map of Villas Jardin Subdivision, Lots 1-40; Country Club Condominiums Phase 1, Lots 1-37; Country Club Condominiums Phase 2, Lots 1-37; Country Club Condominiums Phase III, Lots 1-37; Amended Map of Country Club Condominiums Phase IV, Lots 1-36, Hidalgo County, Texas

- 2400 Country Club Lane
- 301 Byron Nelson Drive
- 301 Byron Nelson Drive Units 1-40
- 14 Villas Jardin Drive
- 101 and 111 Yuma Avenue
- 100 and 200 East Yuma Avenue
- 401 Byron Nelson Drive (PID: 189379)

LOCATION: The subject properties are located along both sides of South 2nd Street, between Wichita Avenue and Bales Avenue.



PROPOSAL: The City of McAllen is requesting to rezone the properties to R-1 (Low Density Residential-UDC) District as part of the citywide rezoning pertaining to the adoption of the new McAllen Unified Development Code (UDC).

ADJACENT ZONING: The adjacent properties are zoned A-O (Agricultural and Open Space-UDC) and R-1 (Low Density Residential-UDC) Districts to the north, A-O (Agricultural and Open Space-OC), R-1 (Single Family Residential-OC), and R-1 (Low Density Residential-UDC) Districts to the east, A-O (Agricultural and Open Space-UDC) and R-3 (High Density Residential-UDC) Districts to the south, and R-1 (Single Family Residential-OC), A-O (Agricultural and Open Space-UDC), and R-1 (Low Density Residential-UDC) Districts to the west.

LAND USE: The subject properties include residential use. Surrounding uses include residential, vacant land, and the McAllen Country Club.

COMPREHENSIVE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for these properties as Complete Communities and Regional Commercial.

DEVELOPMENT TRENDS: The development trend of this area is residential and agricultural.

ANALYSIS: The requested zoning conforms to the future land use designation as shown on the Envision McAllen Future Land Use Plan. It also follows the development trend in this area.

If the rezoning is approved, any future construction must comply with all development and conditional use permit requirements where applicable under the UDC.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request.

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

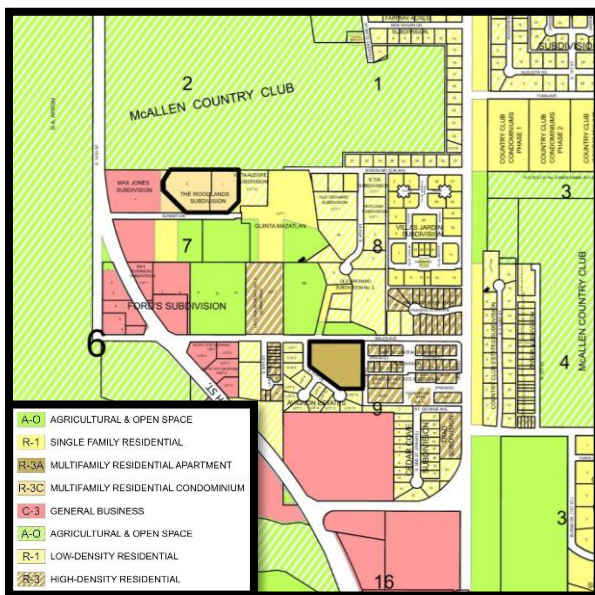
DATE: June 16, 2026

SUBJECT: REZONING FROM R-3A (MULTIFAMILY RESIDENTIAL APARTMENT-OC) AND R-3C (MULTIFAMILY RESIDENTIAL CONDOMINIUM-OC) DISTRICTS UNDER THE OLD CODE (OC) TO R-3 (HIGH-DENSITY RESIDENTIAL-UDC) DISTRICT UNDER THE NEW UNIFIED DEVELOPMENT CODE (UDC) FOR THE FOLLOWING PROPERTIES:

CASE REZ2026-0079:

The Woodlands Subdivision, Lot 1; Lot 2A The Woodlands Subdivision, Lot 2A, Hidalgo County, Texas
700 Sunset Drive
800 Sunset Drive
507 Bales Road (PID: 189384)

LOCATION: The subject properties are located along South 10th Street, on the north side of Sunset Drive and the south side of Bales Road.



PROPOSAL: The City of McAllen is requesting to rezone the properties to R-3 (High Density Residential-UDC) District as part of the citywide rezoning pertaining to the adoption of the new McAllen Unified Development Code (UDC).

ADJACENT ZONING: The adjacent properties are zoned A-O (Agricultural and Open Space-OC) and A-O (Agricultural and Open Space-UDC) Districts to the north, R-1 (Low Density Residential-UDC) and R-3 (High Density Residential-UDC) Districts to the east, A-O (Agricultural and Open Space-OC) and R-1 (Low Density Residential-UDC) Districts to the south, and C-3 (General Business-OC) and R-1 (Low Density Residential-UDC) Districts to the west.

LAND USE: The subject properties include multi-family residential use. Surrounding uses include residential, commercial, and vacant land.

COMPREHENSIVE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for these properties as Complete Communities.

DEVELOPMENT TRENDS: The development trend of this area is residential and commercial.

ANALYSIS: The requested zoning conforms to the future land use designation as shown on the Envision McAllen Future Land Use Plan. It also follows the development trend in this area.

If the rezoning is approved, any future construction must comply with all development and conditional use permit requirements where applicable under the UDC.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request.

Memo

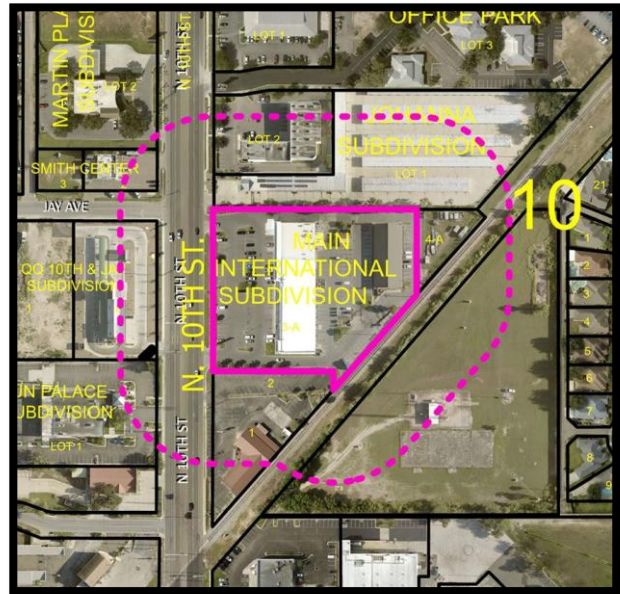
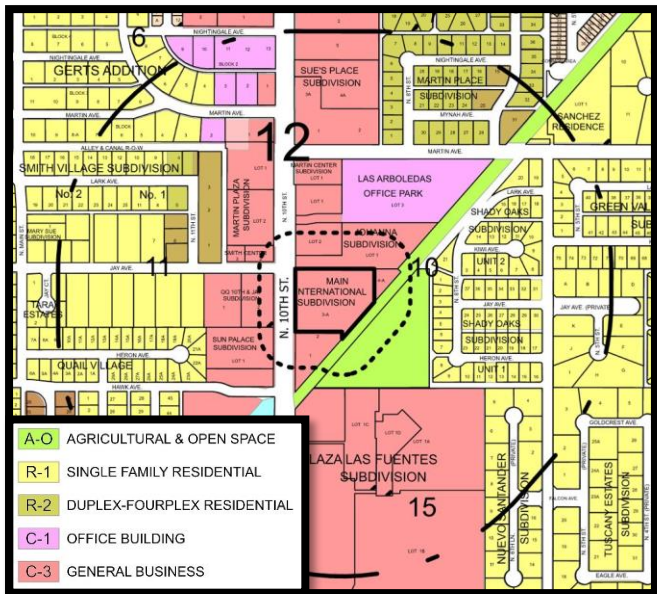
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 16, 2026

SUBJECT: REZONING FROM C-3 (GENERAL BUSINESS-OC) DISTRICT TO C-2 (REGIONAL COMMERCIAL-UDC) DISTRICT: LOT 3-A, LOTS 3-A AND 4-A MAIN INTERNATIONAL SUBDIVISION, HIDALGO COUNTY, TEXAS; 6100 NORTH 10TH STREET. (REZ2026-0074)

LOCATION: The subject property is located along the east side of North 10th Street, south of Martin Avenue.



PROPOSAL: The applicant is requesting to rezone the property to C-2 (Regional Commercial-UDC) District under the new McAllen Unified Development Code (UDC) for commercial use.

ADJACENT ZONING: The adjacent properties are zoned C-3 (General Business-OC) District to the north, south, and west, and A-O (Agricultural and Open Space-OC) District to the east.

LAND USE: The subject property is used as a commercial plaza. Surrounding land uses include commercial, agricultural, and single family residential.

COMPREHENSIVE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for these properties as Mixed Use Corridors. Development types most compatible with Mixed Use Corridors include mixed-use commercial and residential areas.

DEVELOPMENT TRENDS: The development trend along North 10th Street is commercial.

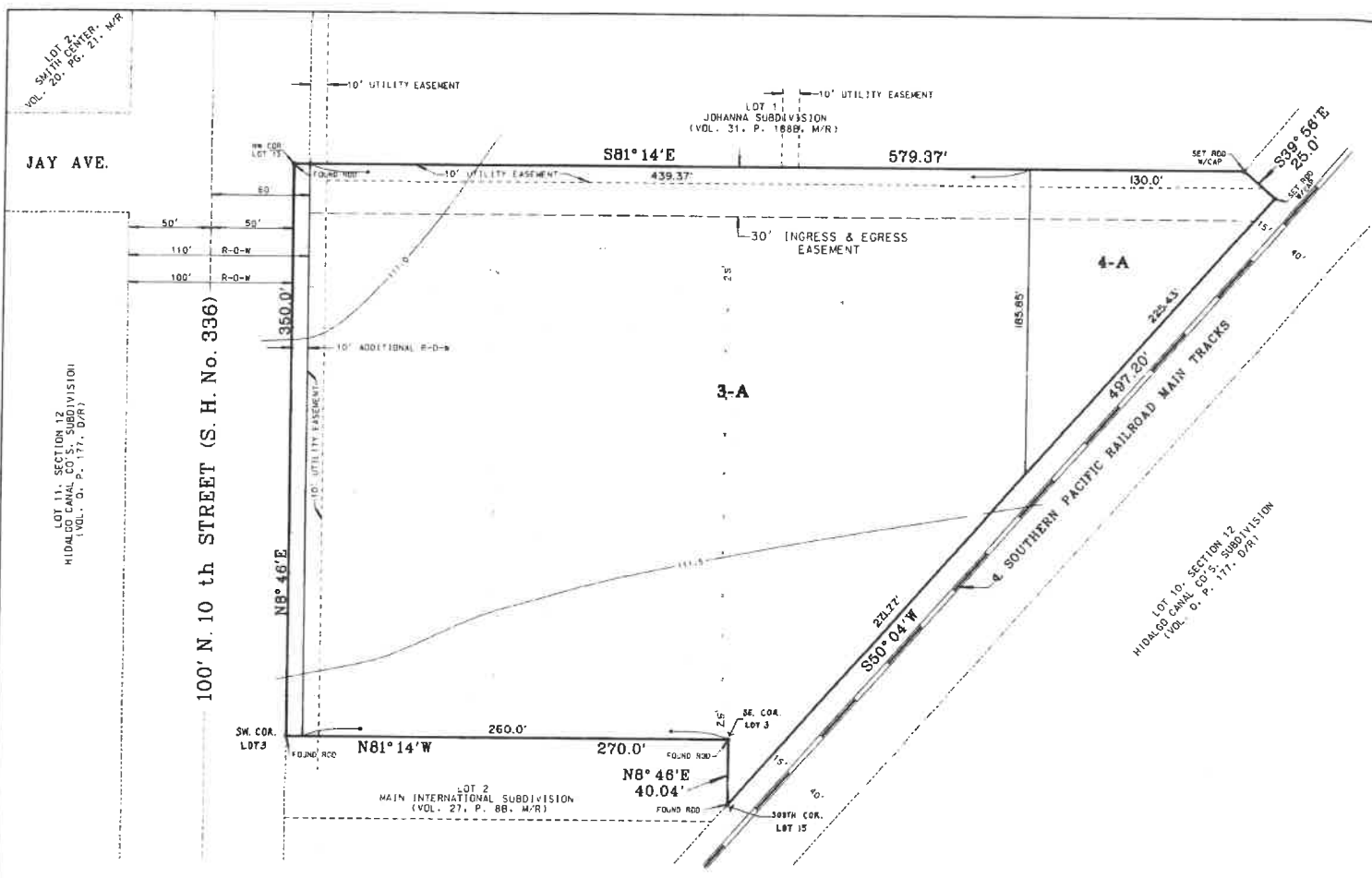
HISTORY: Lots 3-A and 4-A Main International Subdivision was recorded on November 28, 2001. The earliest zoning record found for the property, indicating A-O zoning designation, dates back to 1979.

ANALYSIS: The requested zoning does conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan. It also follows the development trend in this area.

If the rezoning is approved, any future construction must comply with all development and conditional use permit requirements where applicable under the UDC.

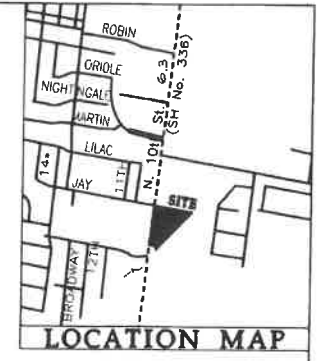
Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request.



MAP OF
**LOTS 3-A AND 4-A
 MAIN INTERNATIONAL
 SUBDIVISION**

McALLEN, TEXAS
 BEING A RESUBDIVISION OF ALL OF LOTS 3-15,
 MAIN INTERNATIONAL SUBDIVISION,
 CITY OF McALLEN,
 HIDALGO COUNTY, TEXAS,
 AS RECORDED IN VOL. 27, PG. 8-B, MAP RECORDS
 HIDALGO COUNTY, TEXAS,
 CONTAINING 3.70 AC. OF LAND, MORE OR LESS.



Recorded in Volume 38, Page 174
 of the map records of Hidalgo
 County, Texas
 J.D. Salinas III
 County Clerk

PREPARED BY:
FABIAN, NELSON & MEDINA, INC.
 320 N. 15TH STREET, McALLEN, TEXAS
 SCALE: 1" = 50' DATE: 10-15-01
 (956) 682-3414

FILED FOR RECORD IN:
 HIDALGO COUNTY
 BY J.D. SALINAS, III
 COUNTY CLERK
 ON: 11-28-01 AT 8:47 AM/PM
 AS A RECORDING NUMBER 1028547
 BY: *Ben Cruff* DEPUTY

METES AND BOUNDS

DESCRIPTION OF A 3.70 ACRE TRACT OF LAND OUT OF LOTS 3-15, MAIN INTERNATIONAL SUBDIVISION, CITY OF McALLEN, HIDALGO COUNTY, TEXAS, RECORDED IN VOL. 27, PAGE 8B, MAP RECORDS.

BEGINNING at an iron rod found at the Northwest corner of Lot 15, for the Northwest corner of the following described tract of land, said point being the intersection of the East line of North 10th Street (S.H. No. 336) and the South line of Lot 1, Johanna Subdivision, as recorded in Vol. 31, Page 188B, Map Records:

THENCE, with the North line of Lot 15 and the South line of Lot 1, South 81 Deg. 14 Min. East, or 10.0 feet pass the Southwest corner of said Lot 1 and at 579.37 feet an iron rod with FNM COO found at the most Westerly Northeast corner of Lot 15, for the most Westerly Northwest corner hereof;

THENCE, with the Northeast line of Lot 15, South 39 Deg. 56 Min. East, 25.0 feet an iron rod with FNM cap found at the most Easterly Northeast corner of Lot 15, for the most Easterly Northeast corner hereof; said point being located on the Northwest line of the Southern Pacific Railway right-of-way;

THENCE, with the Southeast line of Lot 15, and Northwest line of said railroad right-of-way, South 50 Deg. 04 Min. West, 497.20 feet to an iron rod found at the South corner of Lot 15, for the South Corner hereof;

THENCE, with the Southeast west line of Lot 15, North 8 Deg. 46 Min. East, 40.04 feet to an iron rod found at the Southeast corner of Lot 3, for an interior corner hereof;

THENCE, with the South line of Lot 3, and North line of Lot 2, North 81 Deg. 14 Min. West, 270.0 feet to an iron rod found at the Southwest corner of Lot 3, for the Southwest corner hereof; said point being located on the East line of North 10th Street (S.H. No. 336);

THENCE, with the West line of Lot 3 thru 15 inclusive and the East line of North 10th Street (S.H. No. 336), North 8 Deg. 46 Min. East, 350.0 feet the POINT OF BEGINNING. Containing 3.70 acres of land, more or less.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE 49.211(c) THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION. BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1
 BY: *[Signature]*

- NOTES:
- MIN. FINISH FLOOR ELEVATION SHALL BE 10 INCHES ABOVE TOP OF CURB MEASURED AT FRONT CENTER OF LOT.
 - THIS PROPERTY FALLS IN ZONE 'B' OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 420343 0005C, REVISED NOVEMBER 2, 1982.
 - DRAINAGE DETENTION OF 0.21 AC-FT IS REQUIRED FOR THIS SUBDIVISION.
 - MINIMUM BUILDING SETBACK LINES SHALL BE AS FOLLOWS: N. 10th St. (SH No. 336) - 60 FT. OR GREATER FOR APPROVED SITE PLAN.
 - OTHER SETBACKS SHALL BE IN ACCORDANCE WITH ZONING ORDINANCE OR APPROVED SITE PLAN OR EASEMENT LINE, WHICHEVER IS GREATER.
 - AN ENGINEERED DETENTION PLAN MUST BE APPROVED BY ENGINEERING DEPARTMENT PRIOR TO APPLICATION FOR A BUILDING PERMIT.
 - SITE PLAN MUST BE APPROVED BY PLANNING AND ZONING PRIOR TO ISSUANCE OF BUILDING PERMITS.
 - A 4 FOOT WALK REQUIRED ALONG 10th STREET (SH No. 336)
 - A 6 FOOT BUFFER IS REQUIRED FROM ADJACENT RESIDENTIAL ZONE USE.

STATE OF TEXAS
 COUNTY OF HIDALGO

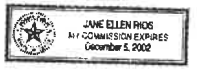
I, WE, THE UNDERSIGNED, HOLDER(S) (OR DULY AUTHORIZED OFFICERS OF THE HOLDER(S)) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS LOTS 3-A AND 4-A, MAIN INTERNATIONAL SUBDIVISION OF THE CITY OF McALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

McALLEN INVESTMENT PARTNERS, LTD.
 BY: *Thomas F. Phillips*
 THOMAS F. PHILLIPS, PRES.

STATE OF TEXAS
 COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED THOMAS F. PHILLIPS, PRESIDENT OF McALLEN INVESTMENT PARTNERS, LTD., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE 15th DAY OF October, 2001.

Jane Ellen Rios
 NOTARY PUBLIC



STATE OF TEXAS:
 COUNTY OF HIDALGO:

I, (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED AS THE LOTS 3-A & 4-A, MAIN INTERNATIONAL SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME(S) IS (ARE) SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE), WILL CAUSE TO BE INSTALLED THEREON SHOWN OR NOT SHOWN IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

MAIN INTERNATIONAL, Inc.
 BY: RICARDO MALDONADO, PRESIDENT
 8501 LAS CRUCES DRIVE
 LAREDO, TX 78045

HIDALGO CITY INVESTMENTS, Inc.
Thomas F. Phillips
 BY: THOMAS F. PHILLIPS, VICE-PRESIDENT
 5401 N. 10th ST. SUITE 203
 McALLEN, TX. 78504

STATE OF TEXAS:
 COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RICARDO MALDONADO, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE 15th DAY OF October, 2001.



Jane Ellen Rios
 NOTARY PUBLIC

STATE OF TEXAS:
 COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED THOMAS F. PHILLIPS, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE 15th DAY OF October, 2001.



Jane Ellen Rios
 NOTARY PUBLIC

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

Stephen Spoor
 CHAIRMAN, PLANNING COMMISSION

STATE OF TEXAS:
 COUNTY OF HIDALGO:

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR # 1590 IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

Plinio C. Medina
 PLINIO C. MEDINA
 REGISTERED PROFESSIONAL LAND SURVEYOR
 McALLEN, TEXAS

STATE OF TEXAS:
 COUNTY OF HIDALGO:

I, STEPHEN SPOOR, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

Stephen Spoor
 10-25-01
 REGISTERED PROFESSIONAL ENGINEER
 P. E. REGISTRATION NO. 56752

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

Acio M. Gutierrez
 MAYOR, CITY OF McALLEN

Memo

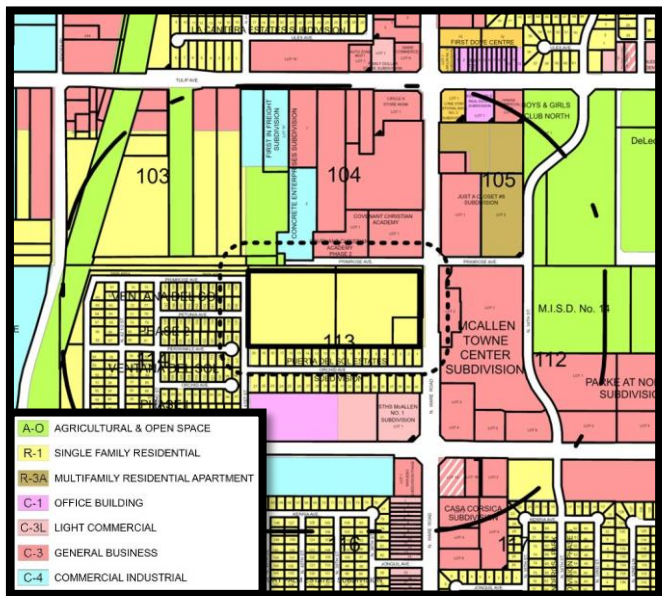
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 16, 2026

SUBJECT: REZONING FROM R-1 (SINGLE-FAMILY RESIDENTIAL-OC) DISTRICT TO C-1 (LOCAL COMMERCIAL-UDC) DISTRICT: 15.176 ACRES OUT OF LOT 113, LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY SUBDIVISION, HIDALGO COUNTY, TEXAS; 4117 NORTH WARE ROAD. (REZ2026-0080)

LOCATION: The subject property is located at the southwest corner of North Ware Road and Primrose Avenue.



PROPOSAL: The applicant is requesting to rezone the property to C-1 (Regional Commercial-UDC) District under the new McAllen Unified Development Code (UDC) for institutional use.

ADJACENT ZONING: The adjacent properties are zoned C-3 (General Business-OC), C-4 (Commercial Industrial-OC), and A-O (Agricultural and Open Space-OC) Districts to the north, C-3 (General Business-OC) District to the east, and R-1 (Single Family Residential-OC) District to the west and south.

LAND USE: The subject property is currently vacant. Surrounding land uses include commercial plazas, single family residential, and vacant land.

COMPREHENSIVE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for these properties as Mixed Use Corridors and Complete Communities. Development types most compatible with Mixed Use Corridors and Complete Communities include mixed-use commercial and residential areas.

DEVELOPMENT TRENDS: The development trend along North Ware Road is commercial and residential.

HISTORY: The subject property is currently going through the subdivision process under the proposed name of Covenant Christian Academy. The City initiated a rezoning for the property from A-O (Agricultural and Open Space-OC) District to R-1 (Single Family Residential-OC) District on August 24, 2015.

ANALYSIS: The requested zoning does conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan. It also follows the development trend in this area.

If the rezoning is approved, any future construction must comply with all development and conditional use permit requirements where applicable under the UDC.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request.

Memo

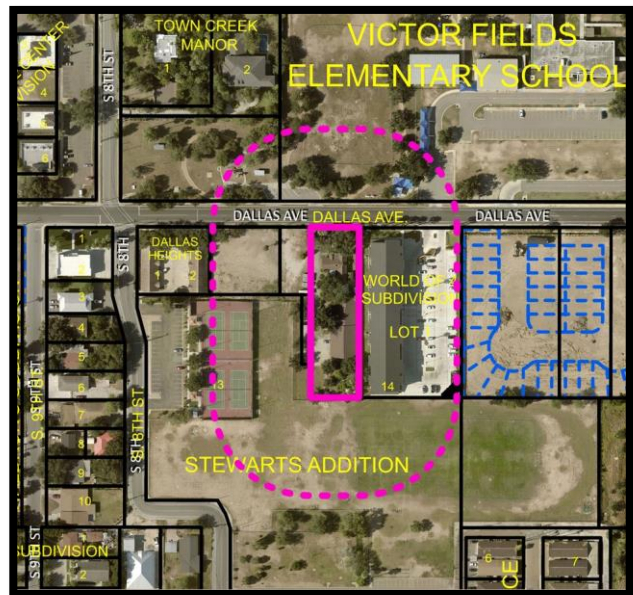
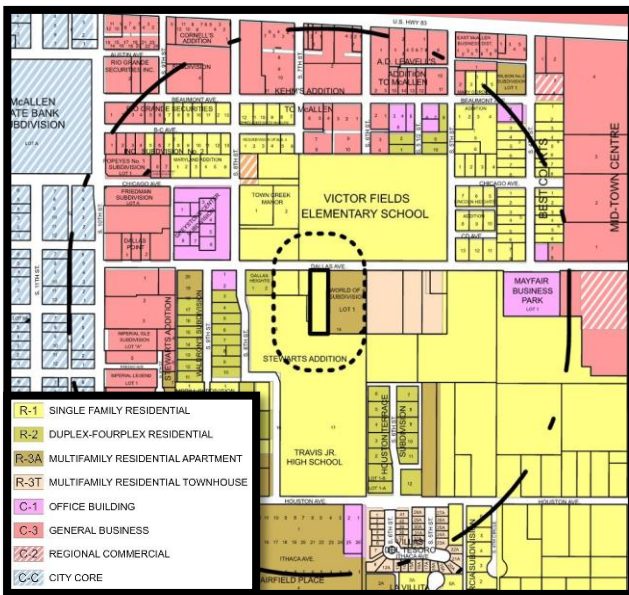
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 16, 2026

SUBJECT: REZONING FROM R-1 (SINGLE-FAMILY RESIDENTIAL-OC) DISTRICT TO R-3 (HIGH-DENSITY RESIDENTIAL-UDC) DISTRICT: THE WEST 97.5 FEET OF THE EAST 306.60 FEET OF THE NORTH 360 FEET OF LOT 14, STEWART'S ADDITION SUBDIVISION, HIDALGO COUNTY, TEXAS; 617 DALLAS AVENUE. (REZ2026-0081)

LOCATION: The subject property is located on the south side of Dallas Avenue, east of South 8th Street.



PROPOSAL: The applicant is requesting to rezone the property to R-3 (High Density Residential-UDC) District under the new McAllen Unified Development Code (UDC) for an assisted living facility.

ADJACENT ZONING: The adjacent properties are zoned R-1 (Single Family Residential-OC) District to the north, west, and south, and R-3A (Mutifamily Residential Apartment-OC) District to the east.

LAND USE: The subject property is currently used an assisted living facility. Surrounding land uses include single family residential, commercial plazas, and schools.

COMPREHENSIVE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for these properties as Complete Communities. Development types most compatible with Complete Communities include residential areas, mixed use at the neighborhood scale, civic uses, and parks and open spaces.

DEVELOPMENT TRENDS: The development trend along Dallas Avenue is single family and multi-family residential.

HISTORY: The earliest zoning record found for the property, indicating R-1 zoning designation, dates back to 1979.

ANALYSIS: The requested zoning does conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan. It also follows the development trend in this area.

If the rezoning is approved, any future construction must comply with all development and conditional use permit requirements where applicable under the UDC.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request.

Memo

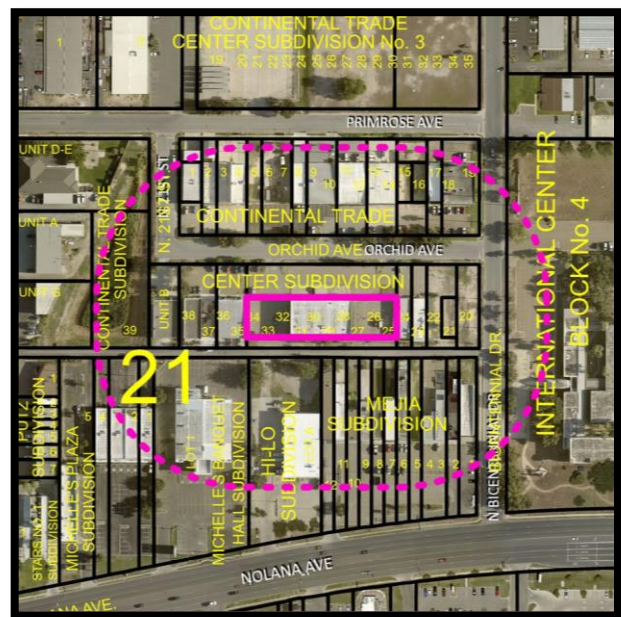
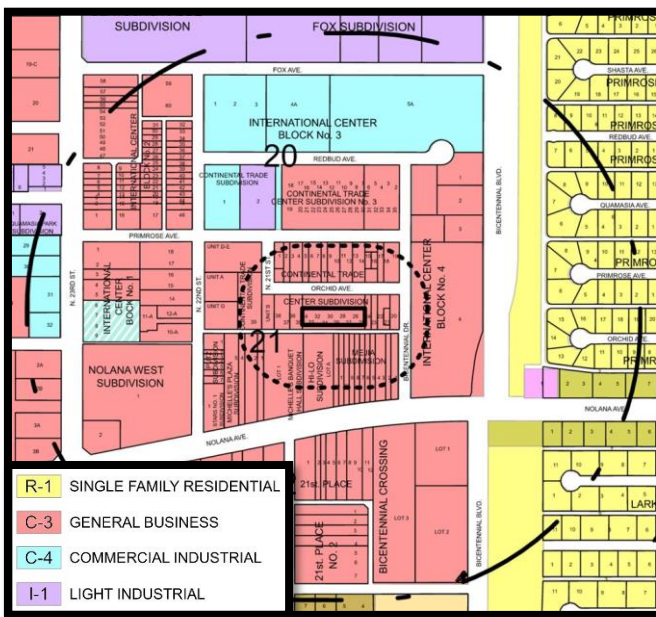
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 16, 2026

SUBJECT: REQUEST OF KARLA M. RIVERA, ON BEHALF OF MKZ NIGHT CLUB LLC, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR A NIGHTCLUB/BAR (MK'Z NIGHTCLUB) AT LOTS 25-34, RESUBDIVISION OF CONTINENTAL TRADE CENTER SUBDIVISION, HIDALGO COUNTY, TEXAS; 2021 ORCHID AVENUE. (CUP2026-0037)

BRIEF DESCRIPTION: The subject property is located along the south side of Orchid Avenue, west of Bicentennial Drive and is zoned C-3 (General Business-OC) District. Adjacent zoning include C-3 (General Business-OC) District in all directions. A bar is permitted in a C-3 District with a Conditional Use Permit and in compliance with all requirements.



HISTORY: Continental Trade Center Subdivision was recorded on November 15, 1994. The previous Conditional Use Permit for this applicant and location was approved by City Commission on June 14, 2021 for one year, but was not renewed. There was a citation issued on February 28, 2026 for not having an active Conditional Use Permit. The applicant submitted a new application for a Conditional Use Permit on April 28, 2026.

ANALYSIS: The bar's current and proposed days and hours are Friday to Sunday from 9:00 p.m. to 2:00 a.m. If approval is granted, the establishment must comply with all other Zoning Ordinances, Building Codes, and Fire Department requirements. As per Section 138-400 of the Zoning Ordinance, the parking lot must be properly striped and free of potholes.

The establishment must also meet the requirements set forth in Section 138-118(a)(4):

- 1) The property line of the lot of any of the abovementioned businesses must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The establishment is not within 400 feet of a residential use/zone;
- 2) The abovementioned businesses must be as close as possible to a major arterial, and shall not allow the traffic generated by such businesses onto residential streets, or allow such traffic to exit into and disrupt residential areas. The establishment has direct access to Orchid Avenue;
- 3) The abovementioned businesses must provide parking in accordance with the city off street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. 75 parking spaces are required and are provided. There is an active parking agreement with the subject property and two properties in its vicinity;
- 4) The abovementioned businesses must do everything possible to prevent the unauthorized parking by the patrons of such businesses on adjacent business or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances;
- 5) The abovementioned businesses should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility of as much as possible of the site from a public street;
- 6) The abovementioned businesses must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties;
- 7) The abovementioned businesses shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Director of Planning. This number cannot exceed the number provided for in existing city ordinances.

Staff has not received any phone calls, emails, or letters in opposition to this request.

RECOMMENDATION: Staff recommends approval of the request subject to Zoning, Building, and Fire Department requirements.

NORTH 21 ST STREET



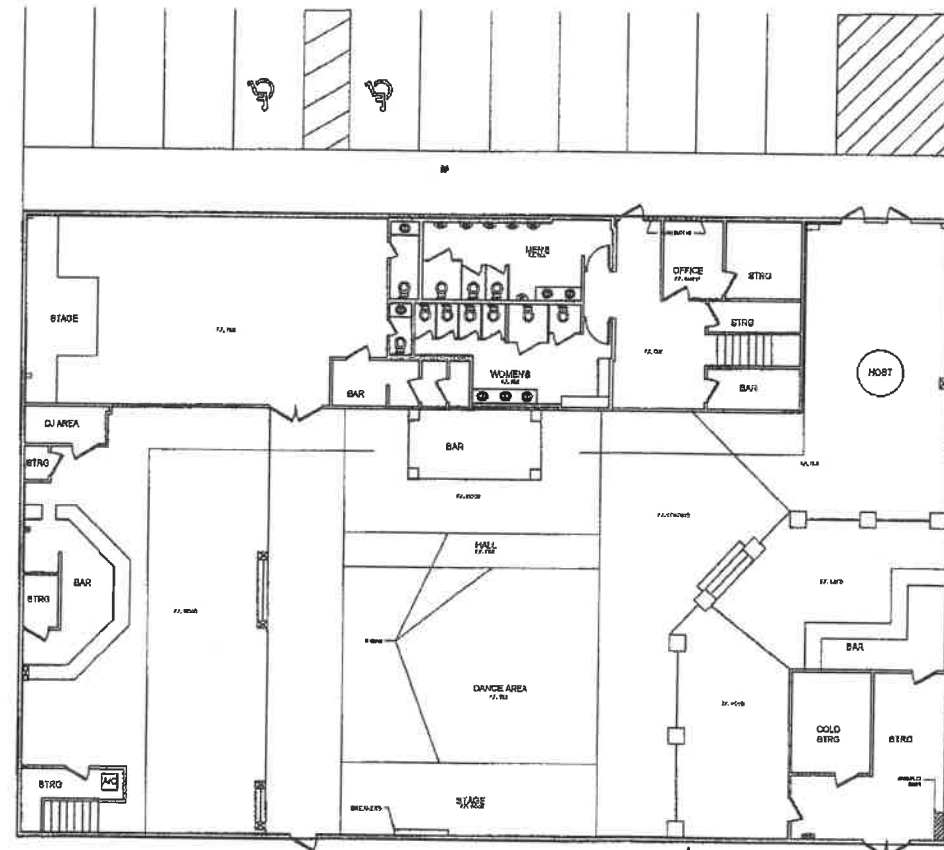
Residential • Commercial

2807 N. Silverado Cir. Apt. E
Mission, Texas 78574
956.573.9557

All Designs contained in these Drawings are property of TREVINO DRAFT DESIGN. Any use of this material or reproduction of these drawings is expressly prohibited except as TREVINO DRAFT DESIGN may otherwise state in writing.

REVISIONS	DATE

EXISTING PARKING: 75
PARKING SPACES



LAMP POST

EXISTING
LAMP POST

LIVING

1ST FLOOR 9,680 SQ. FT.

2ND FLOOR 3,727 SQ. FT.

TOTAL 13,407 SQ. FT.

Actual use.

6567
First floor

915
Second floor

total
7482

ALLEY

AS-BUILT
2012 ORCHID AVE.
MCALLEN, TEXAS

SHEET CONTENT:
EXISTING SITE PLAN

PROJECT No.:

21.7.04

DATE:

4-7-2021

DRAWN BY:

J.T.

CHECKED BY:

J.T.

SHEET No.:

D-1.0

1 EXISTING SITE PLAN
SCALE: 3/32" = 1'-0"

RECEIVED
APR 28 2026
By: VIZ



Residential • Commercial
2807 N. Silverado Cir. Apt. E
Mission, Texas 78574
956.573.9557

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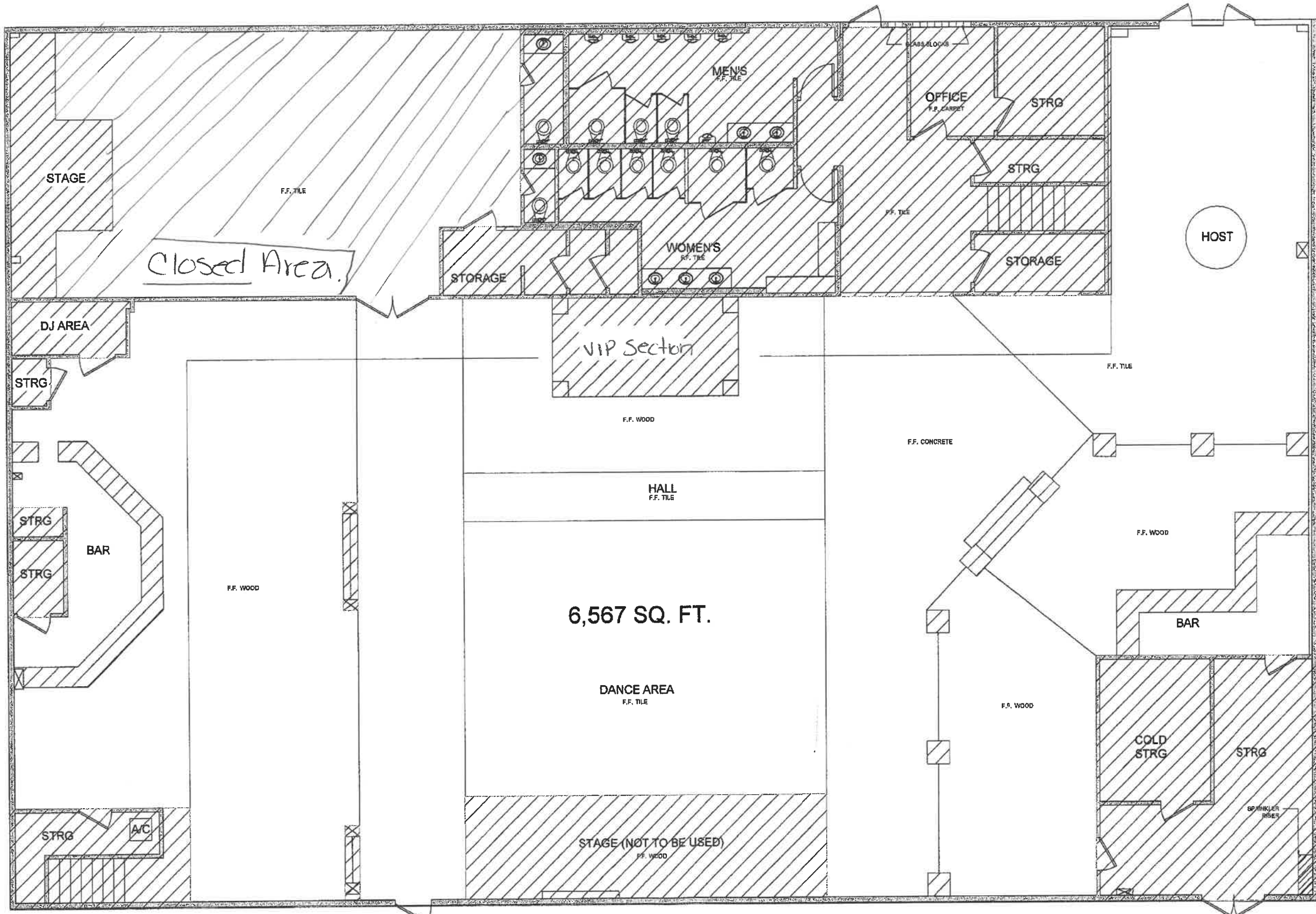
REVISIONS	DATE

AS-BUILT
2012 ORCHID AVE.
MCALLEN, TEXAS

AS-BUILT
2012 ORCHID AVE.
MCALLEN, TEXAS

SHEET CONTENT:	AREA TO BE USED
PROJECT No.:	217.04
DATE:	4-7-2021
DRAWN BY:	J.T.
CHECKED BY:	J.T.
SHEET No.:	D-2.2

RECEIVED
APR 28 2026
By VC



1 1ST FLOOR
SCALE: 1/4" = 1'-0"

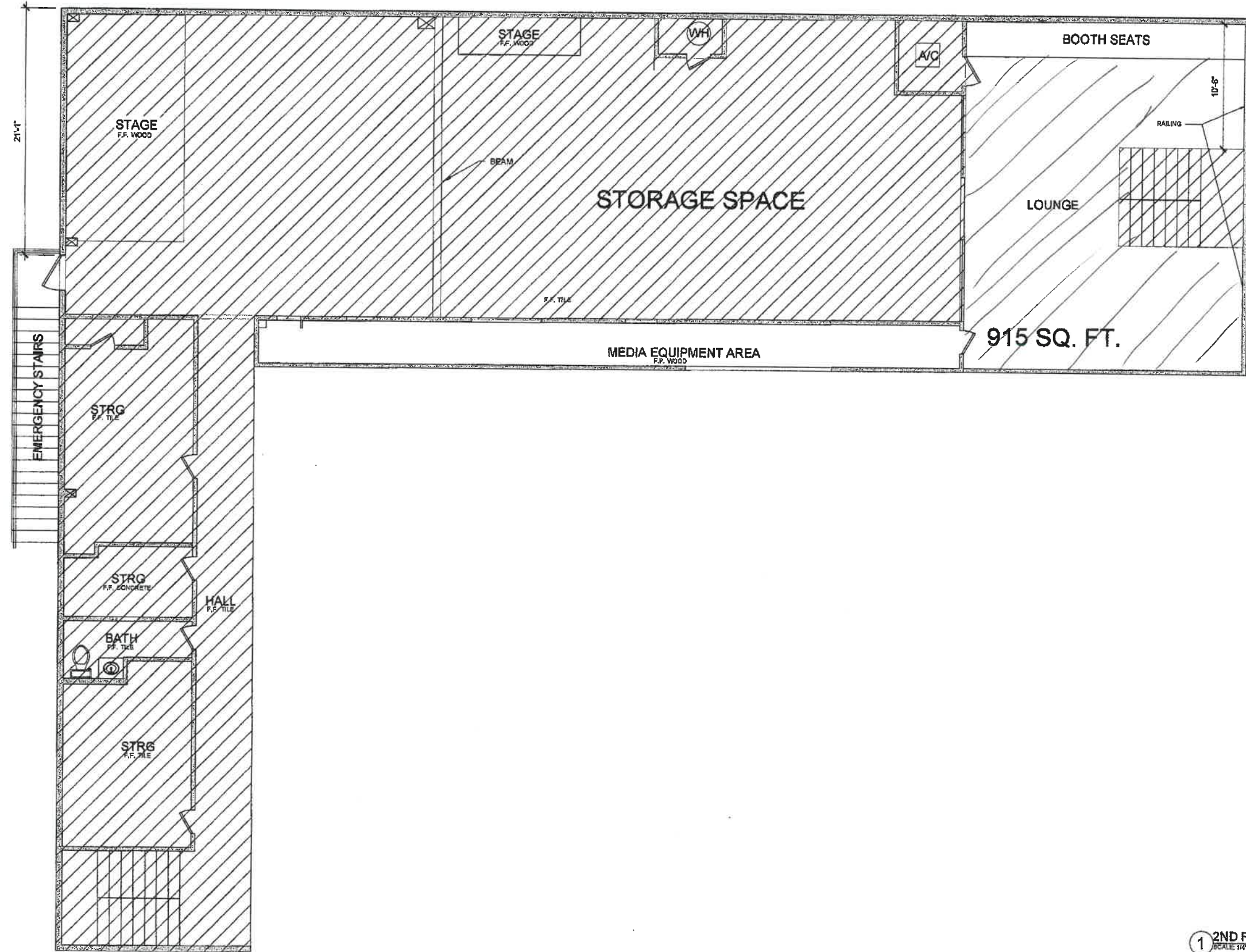
Areas shaded will not be used, storage and restroom.



Residential • Commercial
 2807 N. Silverado Cir. Apt. E
 Mission, Texas 78574
 956.573.9557

All Design contained in these drawings are property of TREVINO DRAFT DESIGNS. Any use of this material or reproduction of these drawings is expressly prohibited except as TREVINO DRAFT DESIGNS may otherwise agree in writing.

REVISIONS	DATE



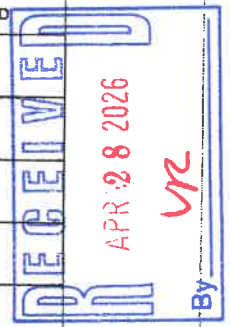
915 SQ. FT.

AS-BUILT
 2012 ORCHID AVE.
 MCALLEN, TEXAS

SHEET CONTENT:
 AREA TO BE USED

PROJECT No.:
 21.704
 DATE:
 4-7-2021
 DRAWN BY:
 J.T.
 CHECKED BY:
 J.T.

SHEET No.:



1 2ND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

shaded Areas will Not be used, storage and Restroom.

D-2.3



McALLEN POLICE DEPARTMENT

CALLS FOR SERVICE REPORT

From Date/Time: 05/01/2025 00:00

Incident Type: All

To Date/Time: 05/13/2026 23:59

Location: 2021 Orchid Ave., McAllen, TX

Call Date/Time	Incident Number	Incident Type	Location
09/08/2025 01:28	2025-00055152	Improperly Parked Vehicle	2021 Orchid Ave, McAllen
08/25/2025 21:37	2025-00052449	Hit and Run	2021 Orchid Ave, McAllen
08/18/2025 03:21	2025-00050801	Police Services	2021 Orchid Ave, McAllen
06/01/2025 01:41	2025-00034493	Assist Other Agency	2021 Orchid Ave, McAllen

- Disclaimer:** The figures reflected above are 'calls for service' for the City of McAllen. They are NOT lists of Crimes or Crime Reports. Calls are titled as they are called in and dispatched.



MKz
NIGHTCLUB



CUP2026-0037
NOTICE
NIGHTCLUB
FOR THIS
PROPERTY

CITY OF McALLEN PLANNING DEPT.
846-4811 / 1230
WWW.MCALLEN.GOV

Memo

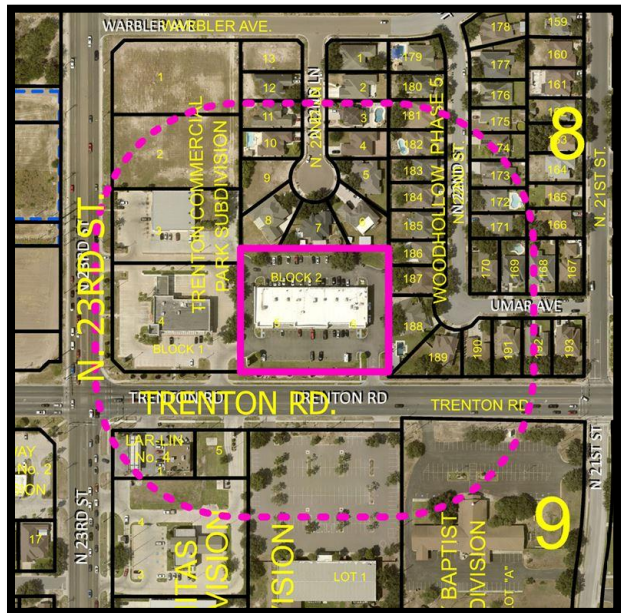
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 16, 2026

SUBJECT: REQUEST OF DAVID ROSSOW, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR A SMOKE/VAPE SHOP (SMOKING VALLEY) AT LOTS 5 & 6, BLOCK 1, TRENTON COMMERCIAL PARK SUBDIVISION, HIDALGO COUNTY, TEXAS; 2200 TRENTON ROAD, SUITE 2A. (CUP2026-0038)

BRIEF DESCRIPTION: The subject property is located along the north side of Trenton Road, east of North 23rd Street, and is zoned C-3 (General Business-OC) District. Adjacent zoning include R-1 (Single Family Residential-OC) District to the north and east, A-O (Agricultural and Open Space-OC) District to the south, and C-3 (General Business-OC) District to the west. A smoke shop is permitted in a C-3 District with a Conditional Use Permit and in compliance with all requirements.



HISTORY: Trenton Commercial Park Subdivision was recorded on March 2, 2005. The first Conditional Use Permit for this smoke shop was approved by City Commission on November 14, 2022. The latest Conditional Use Permit expired on April 28, 2026. The applicant submitted a new application on April 30, 2026.

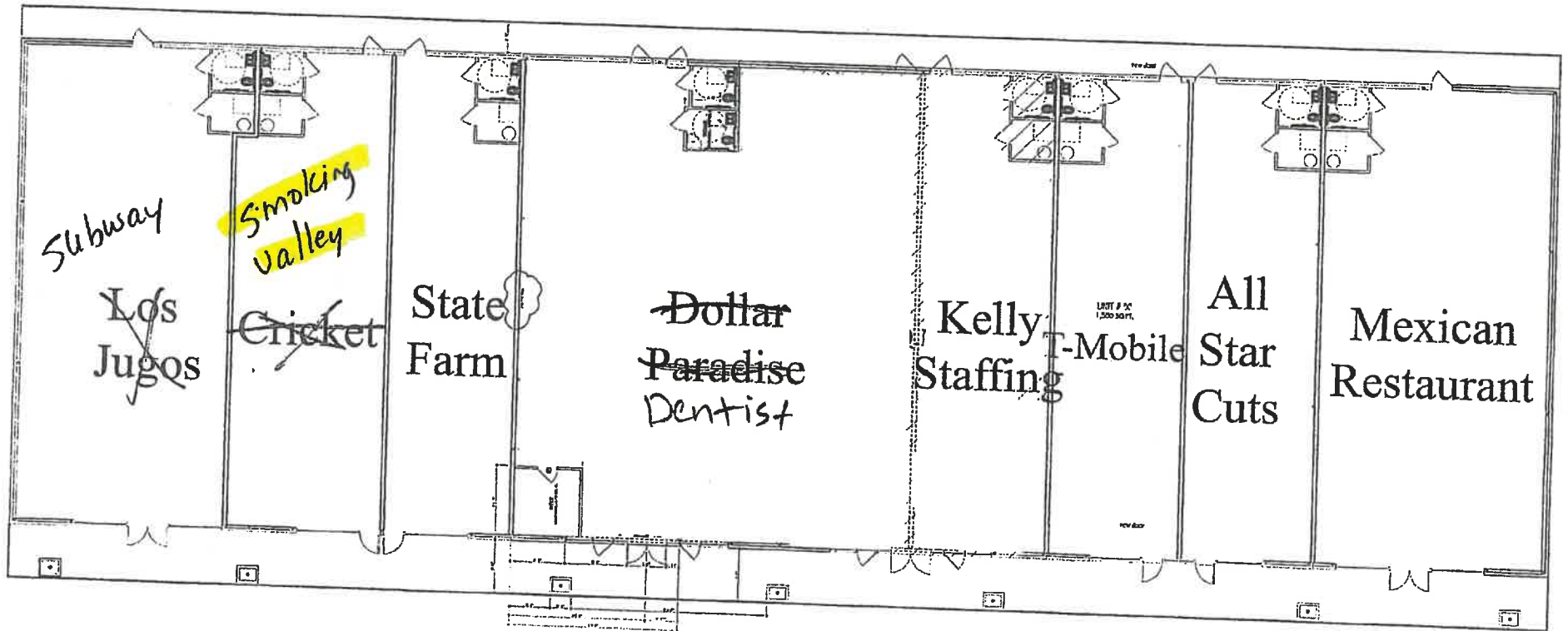
ANALYSIS: The smoke shop's proposed days and hours are Monday to Sunday from 9:00 a.m. to 1:00 a.m. If approval is granted, the establishment must comply with all other Zoning Ordinances, Building Codes, and Fire Department requirements. As per Section 138-400 of the Zoning Ordinance, the parking lot must be properly striped and maintained free of potholes.

The establishment must also meet the requirements set forth in Section 138-118(a)(4):

- 1) The property line of the lot of any of the abovementioned businesses must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The establishment is within 400 feet of a residential use/zone;
- 2) The abovementioned businesses must be as close as possible to a major arterial, and shall not allow the traffic generated by such businesses onto residential streets, or allow such traffic to exit into and disrupt residential areas. The establishment has direct access to Trenton Road;
- 3) The abovementioned businesses must provide parking in accordance with the city off street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. Based on approximately 1,750 square feet of retail use, 8 parking spaces are required. The plaza provides a total of 96 parking spaces;
- 4) The abovementioned businesses must do everything possible to prevent the unauthorized parking by the patrons of such businesses on adjacent business or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances;
- 5) The abovementioned businesses should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility of as much as possible of the site from a public street;
- 6) The abovementioned businesses must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties;
- 7) The abovementioned businesses shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Director of Planning. This number cannot exceed the number provided for in existing city ordinances.

Staff has not received any phone calls, emails, or letters in opposition to this request.

RECOMMENDATION: Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(a)(4).



APR 30 2026

BY: _____

(Signature)

SMOKING VALLEY

State Farm

CBD+ VAPE
original 250K
MAGNUM **CBD**
GEEKBAR **THC-A**
LOOPER **VAPES**
PUFFCO **PIPES**
NORTH **SCALES**
VISION
Stinger **STINZY** **EDIBLES**
DETOX

2200 Suite 2A
Business Hours
Monday - Friday
9:00 am - 5:00 pm
Closed Sat/Sun
956.322.6434

2200 W Trenton Rd
Suite 2B

AUTO - HOME - LIFE - HEALTH
956-682-1345

State Farm

State Farm
Leo Rodriguez, Agent
956-682-1345
www.statefarm.com

Monday - Friday
9:00 am - 5:00 pm
Closed Sat/Sun
12:00 pm - 1:15 pm

RESERVED
PARKING

3.99
6" DELI

TEXAS
MCV-1495

Supreme

SMOKING VALLEY
P - VAPE - SMOKE
N 'TILL 1 AM

SUBWAY
DRIVE THRU

SMOKING VALLEY

State Farm

Xpress
OPEN SATURDAY

CBD+ VAPE

MAGNUM
THC-A
VAPES
PIPES
BUBBLES

AUTO - HOME - LIFE - HEALTH
956-682-1345

State Farm
Like a good neighbor, State Farm is there.

FedEx
Express

CUP2026-0038
• NOTICE •
SMOKE SHOP
FOR THIS
PROPERTY

CITY OF MCALLEN PLANNING DEPT.
956-681-1250
WWW.MCALLEN.NET



Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 16, 2026

SUBJECT: REQUEST OF JUAN M. VILLARREAL, ON BEHALF OF TIPSY ALIENS, LLC, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR A NIGHTCLUB/BAR (ALIBI) AT THE SOUTH 25 FEET OF LOT 9, BLOCK 23, MCALLEN ADDITION SUBDIVISION, HIDALGO COUNTY, TEXAS; 211 SOUTH 17TH STREET. (CUP2026-0039)

BRIEF DESCRIPTION: The subject property is located along the east side of South 17th Street, between Beaumont Avenue and Chicago Avenue, and is zoned C-C-DT (City Core-Downtown-UDC) District. Adjacent zoning is C-C-DT (City Core-Downtown-UDC) District in all directions. A bar is permitted in a C-C-DT District with a Conditional Use Permit and in compliance with all requirements.



HISTORY: This is the first Conditional Use Permit submitted by this applicant for this location. The subject property has been used as a nightclub/bar since 2010. A Special Use Permit was approved for the same applicant on September 18, 2025 to operate at 209 South 17th Street.

ANALYSIS: The applicant is proposing to operate a bar under the name Alibi from 3,000 square feet of lease space. The bar will require 6 parking spaces including one accessible parking space but may pay an applicable fee in lieu of such compliance as set in Section 4.4.4.B.9 of the UDC. Their proposed days and hours of operation are Friday to Saturday from 10:00 p.m. to 2 a.m.

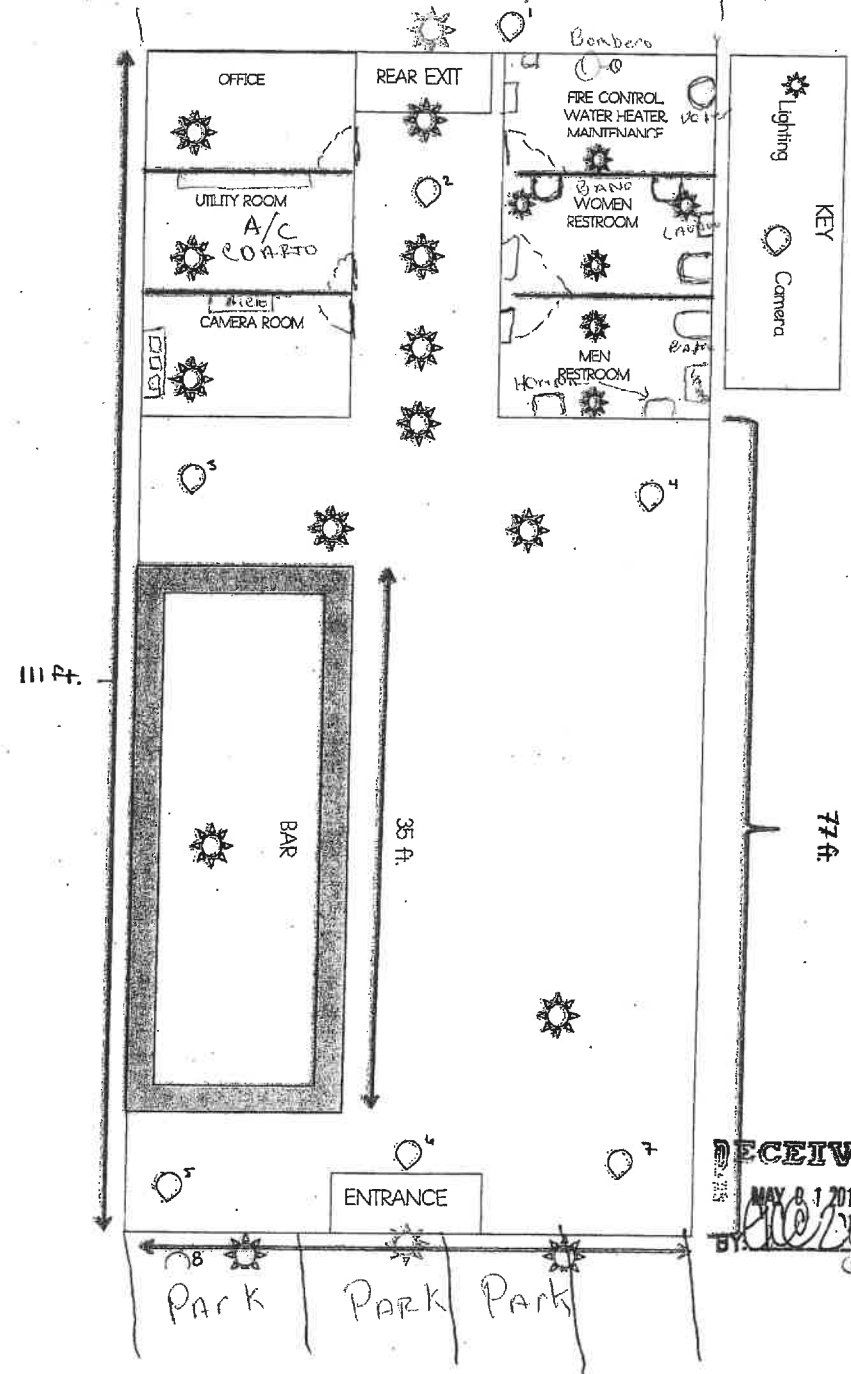
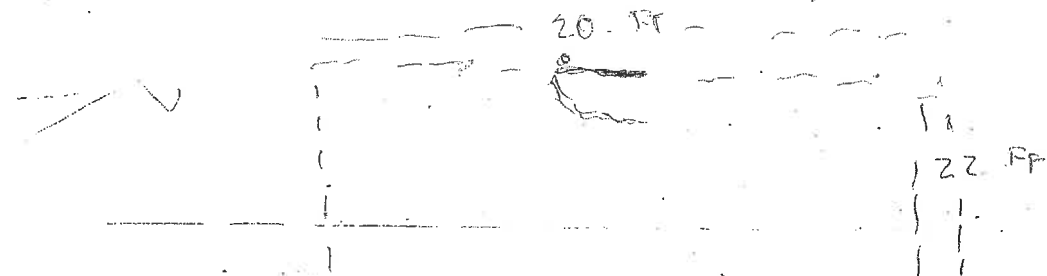
The proposed bar must comply with Fire Department, Building Code requirements, and all conditions of Section 3.2.5.A of the UDC, including, but not limited to, the following:

- Adequate Lighting, including, but not limited to, all entrances and exits
- Security personnel based on occupancy load
- Security cameras with a minimum retention load of 30 days at the entrance, exit, and based on the square footage
- Noise control
- Age verification device with capability to produce reports
- Mark all occupants that are under the age of 21 years with UV ink
- Litter control
- Maximum occupancy load established by the building official

If approval is granted, the applicant must sign an acknowledgement and agreement to all conditions.

Staff has not received any phone calls, emails, or letters in opposition to this request.

RECOMMENDATION: Staff recommends approval of the request, for one year, subject to conditions noted in Section 3.2.5.A. of the UDC, Fire Department, and Building Code requirements.



2 security
1 supervisor



McALLEN POLICE DEPARTMENT

CALLS FOR SERVICE REPORT

From Date/Time: 05/01/2025 00:00

Incident Type: All

To Date/Time: 05/13/2026 23:59

Location: 211 S 17th St., McAllen, TX

Call Date/Time	Incident Number	Incident Type	Location
7/27/2025 1:11	2025-00046315	Domestic Disturbance	211 S 17TH ST, MCALLEN

- **Disclaimer:** The figures reflected above are 'calls for service' for the City of McAllen. They are NOT lists of Crimes or Crime Reports. Calls are titled as they are called in and dispatched.



McALLEN POLICE DEPARTMENT

CALLS FOR SERVICE REPORT

From Date/Time: 05/2025 **Incident Type:** All
To Date/Time: 06/2026 **Location:** 209 S 17th St 4 McAllen, Tx 78501

Call Date/Time	Location	Incident Type
12/4/2025 23:12	209 S 17TH ST, MCALLEN	Assist Other Agency

• **Disclaimer:** The figures reflected above are 'calls for service' for the City of McAllen. They are NOT lists of Crimes or Crime Reports. Calls are titled as they are called in and dispatched.



211

FDC



Mini

209-B



CUP2026-0039
NOTICE
BAR
FOR THIS
PROPERTY
CITY OF McALLEN PLANNING DEPT
505-681-1330
WWW.MCALLEN.NET



211

FDC

215
A



Memo

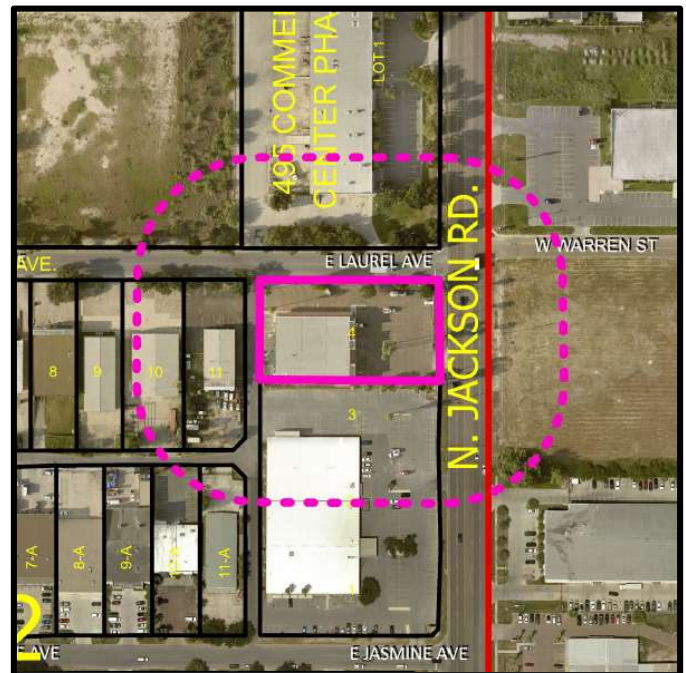
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 16, 2025

SUBJECT: REQUEST OF REYES GONZALEZ JR., ON BEHALF OF UNITED COVENANT MINISTRIES OF SOUTH TEXAS, INC., FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR AN INSTITUTIONAL USE (CHURCH) AT LOT 4, BLOCK 3, MARKET CENTER SUBDIVISION, HIDALGO COUNTY, TEXAS; 1428 EAST LAUREL AVENUE. (CUP2026-0041)

BRIEF DESCRIPTION: The subject property is located at the southwest corner of East Laurel Avenue and North Jackson Road. The property is zoned C-4 (Commercial Industrial-OC) District. The surrounding land uses includes industrial and commercial uses. An institutional use is permitted in this zone with a Conditional Use Permit and in compliance with requirements.



HISTORY: Market Center Subdivision was recorded on August 15, 1983. The initial CUP for an institutional use was approved for one year by City Commission on August 5, 2024. The permit expired on August 6, 2025; however, no CUP had been applied for until May 4, 2026.

ANALYSIS: The applicant is proposing to continue operating a church under the name United Covenant Ministries of South Texas. The proposed hours of operation will be 10 a.m. to 2 p.m. on Sundays and 6 p.m. to 8 p.m. on Wednesdays.

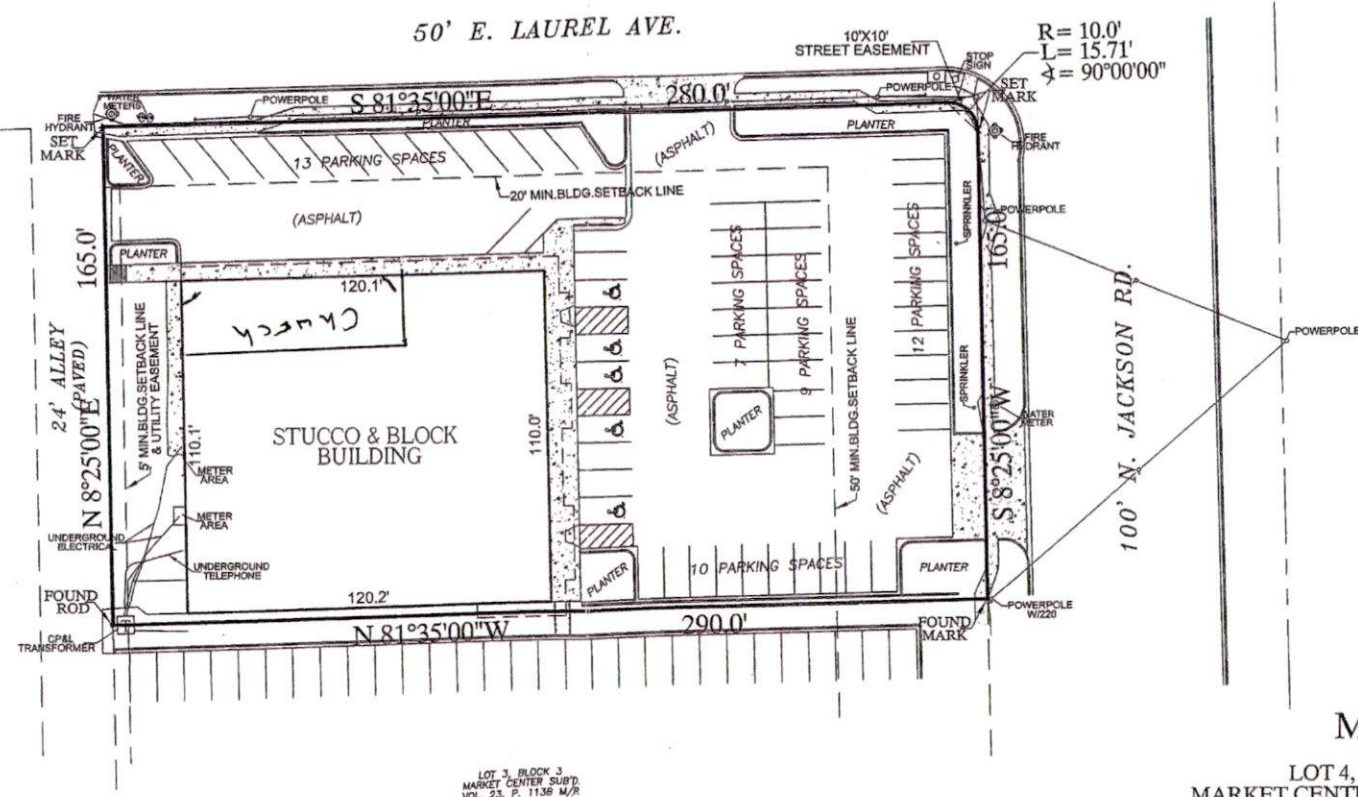
The site plan must comply with the Zoning Ordinance, Fire Department, Building Code requirements and all requirements on the building permit, including setbacks, landscaping, parking, etc. The proposed church must also comply with the following specific requirements:

- 1) No form of pollution shall emanate beyond the immediate property line of the permitted use;
- 2) Additional reasonable restrictions or conditions such as open space, loading and parking requirements, suitable landscaping, curbing, sidewalks or other similar improvements may be imposed in order to carry out the spirit of the Zoning Ordinance or mitigate adverse effects of the proposed use;
- 3) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial;
- 4) The proposed use shall comply with the Off-street Parking and Loading Ordinance and make provisions to prevent the use of street parking especially in residential areas. 75 seats are proposed, making their parking requirement 19 spaces. The applicant is providing 60 spaces;
- 5) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges, or reorientation of entrances and exits;
- 6) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 7) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 8) The number of persons within the building shall be restricted based on the Max Occupant Load;
- 9) Sides adjacent to a residentially zoned or used property shall be screened by a 6' opaque fence.

Staff has not received any phone calls, letters or emails in opposition to the request.

RECOMMENDATION: Staff recommends approval of the request, subject to compliance with the Zoning Ordinance, Fire Department, and Building Code requirements.

ORIGINAL



LOT 7, BLOCK 5
MARKET CENTER SUB'D
VOL. 23, P. 113B M/R

LOT 3, BLOCK 3
MARKET CENTER SUB'D
VOL. 23, P. 113B M/R

SURVEY DONE WITHOUT BENEFIT OF A TITLE REPORT OR TITLE COMMITMENT.

ADDRESS: 1109, 1111, 1113, & 1115 N JACKSON ROAD

PROPERTY SUBJECT TO CP&L CO. ELECTRICAL EASEMENT FOR UNDERGROUND ELECTRICAL LATERAL TOGETHER WITH INGRESS & EGRESS TO THEIR FACILITIES

I, MICHAEL FABIAN, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THE FOREGOING MAP IS A REPRESENTATION OF SURVEY MADE ON THE GROUND UNDER MY SUPERVISION AND THAT THERE ARE NO VISIBLE DISCREPANCIES, CONFLICTS, OR SHORTAGES IN AREA OR BOUNDARY LINES, OR ANY ENCROACHMENTS OR OVERLAPPING OF IMPROVEMENTS EXCEPT AS SHOWN ON THIS PLAN. THIS PROPERTY FALLS IN ZONE "B" OF THE FLOODED INSURANCE RATE MAPS.



Michael Fabian
MICHAEL FABIAN
REGISTERED PROFESSIONAL LAND SURVEYOR
MCALEN, TEXAS

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MAP
OF
LOT 4, BLOCK 3
MARKET CENTER SUBDIVISION
CITY OF MCALEN
HIDALGO COUNTY, TEXAS
RECORDED IN VOL. 23, P. 113B M/R.

PREPARED BY
MICHAEL FABIAN SURVEYING, INC.
Land Surveying & Consultants
320 North 15th Street
McAllen, Texas

Phone: (956) 630-1432 Fax: (956) 687-4060

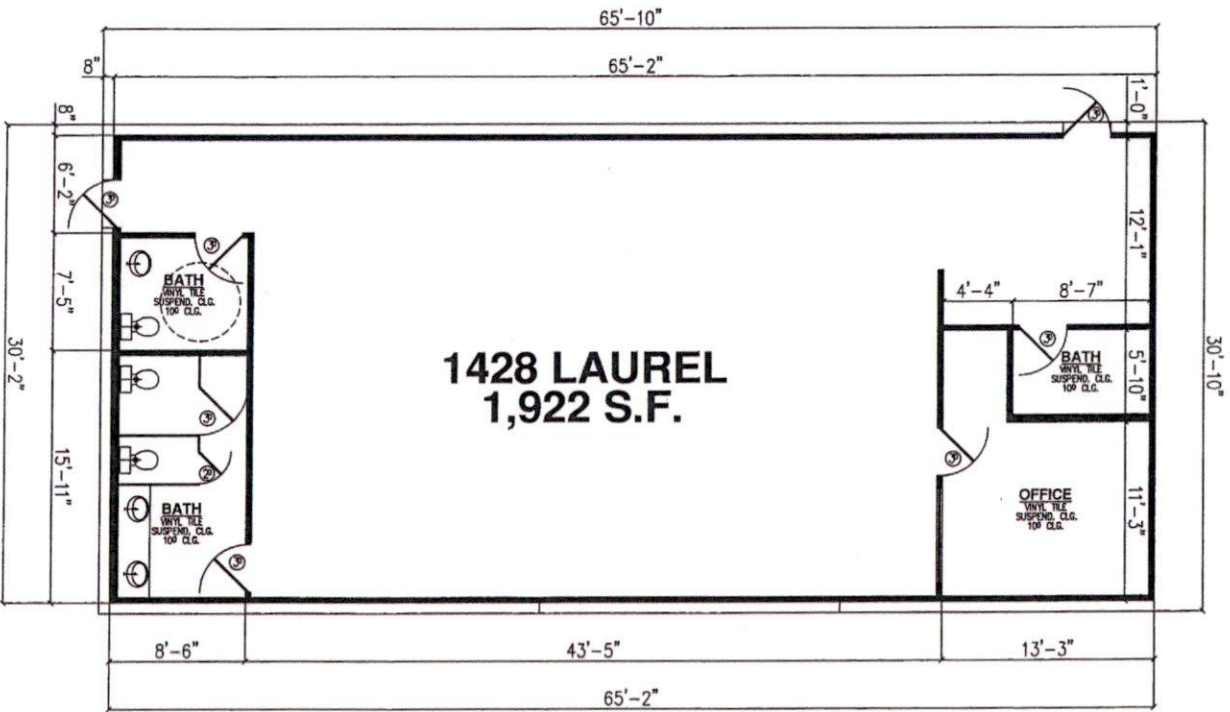
Right-of-way, Topographic, Construction Stakeout, Subdivision, Coordination, Well Locations, Mortgage Surveys
MICHAEL FABIAN, R. P. L. S.

WO# 02320 CRD. W02320

SCALE: 1"=40' DATE: 12-28-2010

RECEIVED
JUL 09 2024
NG

copy



copy

SHEET No. _____
DATE: 07-09-2024
PLAN No. _____
DRAWN BY: _____

J.M. MOFFITT CONSTRUCTION
1128 PECAN BLVD.
MOLLEN, TEXAS, 78001
OFFICE (956) 686 8374
FAX (956) 686 0076

Memo

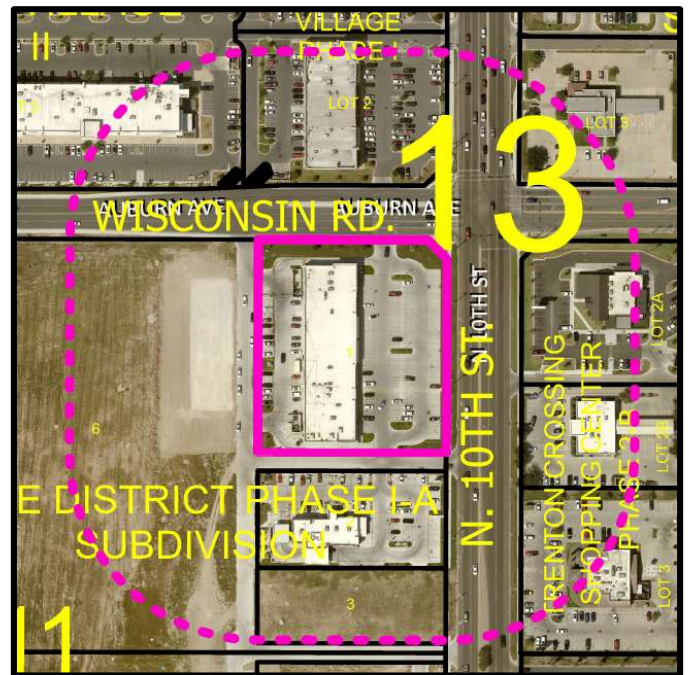
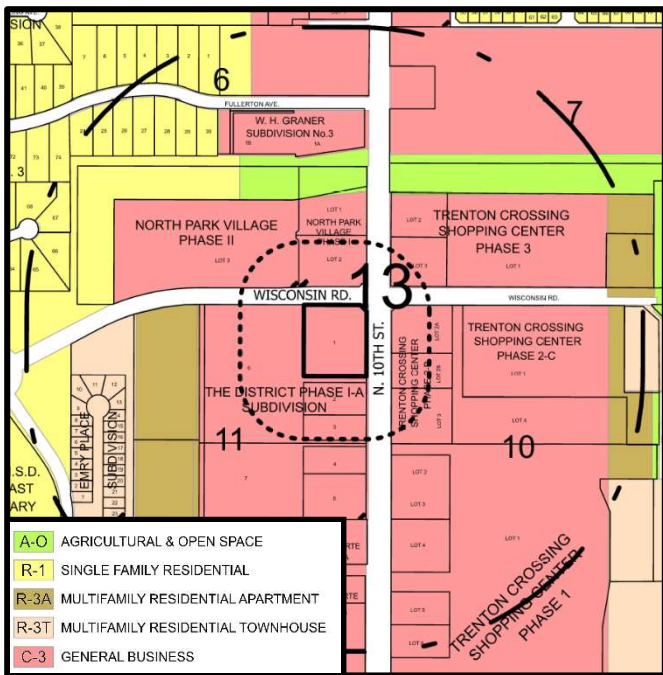
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 16, 2025

SUBJECT: REQUEST OF ABOBAKER R. MOHAMED, ON BEHALF OF UR VAPE MATCH LLC, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE FOR A VAPE SHOP (UR VAPE) AT LOT 1, THE DISTRICT PHASE I-A SUBDIVISION, HIDALGO COUNTY, TEXAS; 7913 NORTH 10TH STREET SUITE 170. (CUP2026-0042)

BRIEF DESCRIPTION: The subject property is located at the southwest corner of North 10th Street and Wisconsin Road. The property is zoned C-3 (General Business-OC) District. The surrounding land uses includes commercial and vacant land. A vape shop is permitted in this zone with a Conditional Use Permit and in compliance with requirements.



HISTORY: The District Phase I-A Subdivision was recorded on February 2, 2025. The initial CUP for the vape shop was approved for one year by City Commission on June 18, 2025.

ANALYSIS: The applicant is proposing to operate a vape shop under the name UR Vape. The proposed hours of operation will be 8 a.m. to 11 p.m. Sundays through Saturday.

The site plan must comply with the Zoning Ordinance, Fire Department, Building Code requirements, and all requirements on the building permit, including setbacks, landscaping, parking, etc. The vape shop must also comply with the following requirements set forth in Section 138-118(a)(4):

- 1) The property line of the lot of any of the abovementioned businesses must be at least 300 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m.;
- 2) The abovementioned businesses must be as close as possible to a major arterial, and shall not allow the traffic generated by such businesses onto residential streets, or allow such traffic to exit into and disrupt residential areas;
- 3) The abovementioned businesses must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. Seven parking spaces are required, 128 spaces are provided;
- 4) The abovementioned businesses must do everything possible to prevent the unauthorized parking by the patrons of such businesses on adjacent business or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances;
- 5) The abovementioned businesses should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility of as much as possible of the site from a public street;
- 6) The abovementioned businesses must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties;
- 7) The abovementioned businesses shall restrict the number of persons within the building to those allowed by the planning and zoning commission at the time of permit issuance, after having taken into account the recommendations of the fire marshal, building official and director of planning. This number cannot exceed the number provided for in existing city ordinances.

Staff has not received any phone calls, letters or emails in opposition to the request.

RECOMMENDATION: Staff recommends approval of the request, subject to compliance with the Zoning Ordinance, Fire Department, and Building Code requirements.

SITE PLAN

DETAILS

Building Size
22,305 SqFt

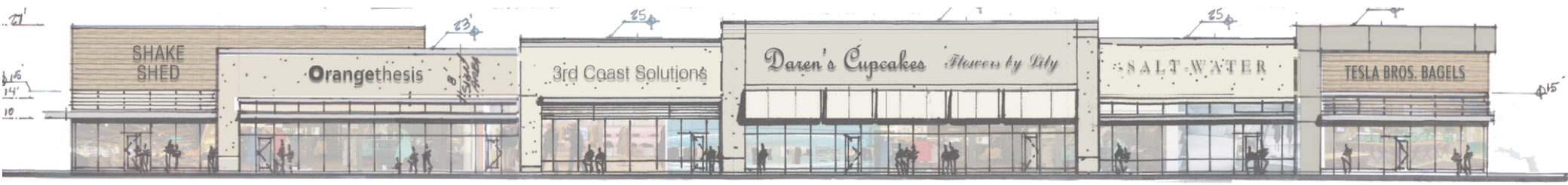
Parking Spaces
141 Spaces

Site Entrances
5 Ingress/Egress

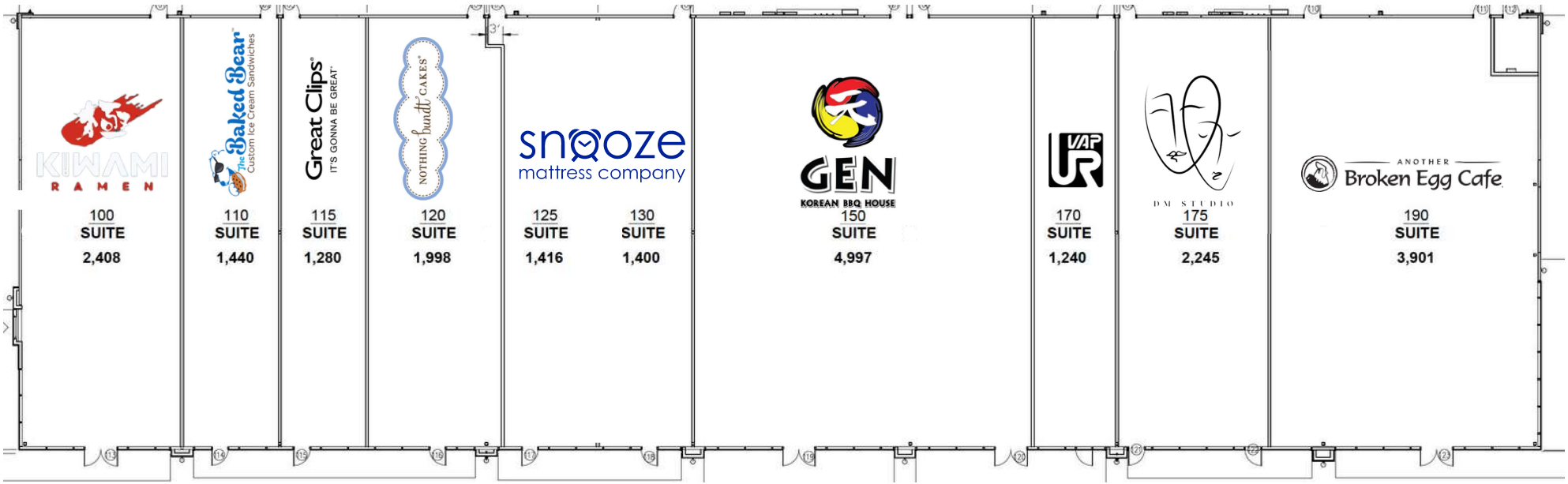
Traffic Counts
47,000 VPD

Foot Traffic (Anchor)
57,261 Daily Shoppers



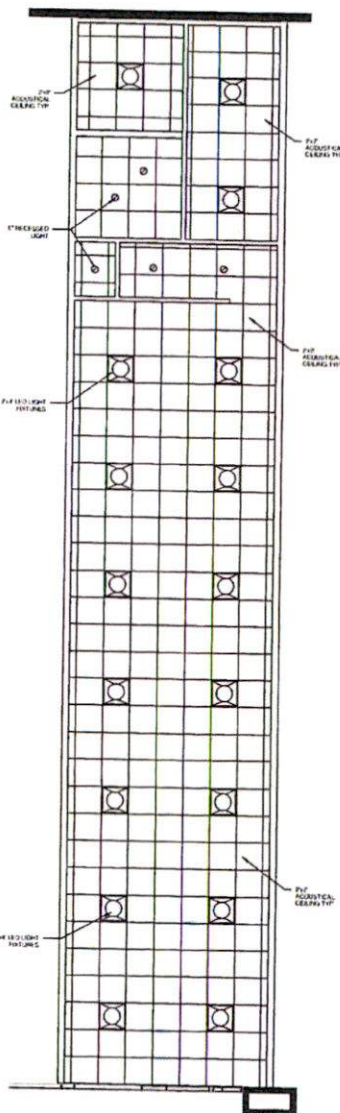


FRONT ELEVATION



BUILDING A
7913 N. 10th Street | McAllen, Texas

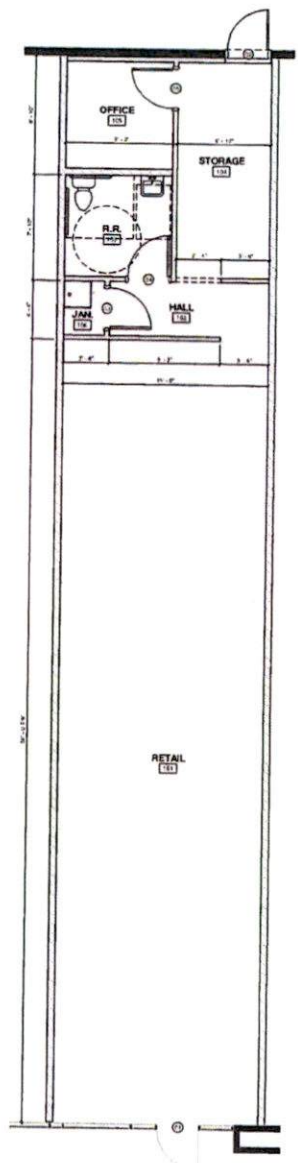
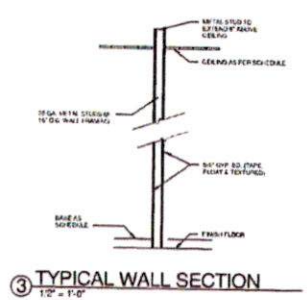
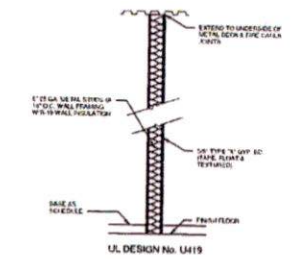
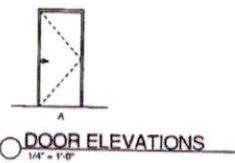
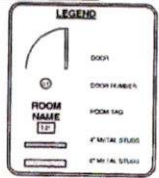
LEASING PLAN



④ CEILING PLAN
1/4" = 1'-0"

ROOM FINISH						
ROOM #	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	CEILING HEIGHT
101	OFFICE	WOOD	WOOD	PAINT	POP	9'-0"
102	JAM	WOOD	WOOD	PAINT	POP	9'-0"
103	STORAGE	WOOD	WOOD	PAINT	POP	9'-0"
104	R.A.	WOOD	WOOD	PAINT	POP	9'-0"
105	HALL	WOOD	WOOD	PAINT	POP	9'-0"
106	RETAIL	WOOD	WOOD	PAINT	POP	9'-0"

DOOR SCHEDULE						
DOOR #	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH
101	A	3'-0"	7'-0"	1 1/2"	WOOD	PAINT
102	A	3'-0"	7'-0"	1 1/2"	WOOD	PAINT
103	A	3'-0"	7'-0"	1 1/2"	WOOD	PAINT
104	A	3'-0"	7'-0"	1 1/2"	WOOD	PAINT
105	A	3'-0"	7'-0"	1 1/2"	WOOD	PAINT
106	A	3'-0"	7'-0"	1 1/2"	WOOD	PAINT



① FLOOR PLAN
1/4" = 1'-0"

ISSUES/REVISIONS

DOMAIN
DEVELOPMENT
100 E. INCLIANA BLVD. 108, McALLEN, TX. 78504-966-991-8888

THE DISTRICT - BUILDING A
UR-VAPE
7913 N 10TH ST. SUITE 170, McALLEN TX.

SHEET
1.2

DATE: 3-25-25
 PROJECT: Project Number
 DRAWN BY: G.F.
 CHECKED BY:
 FILE NAME:

RECEIVED
MAY 04 2026

Memo

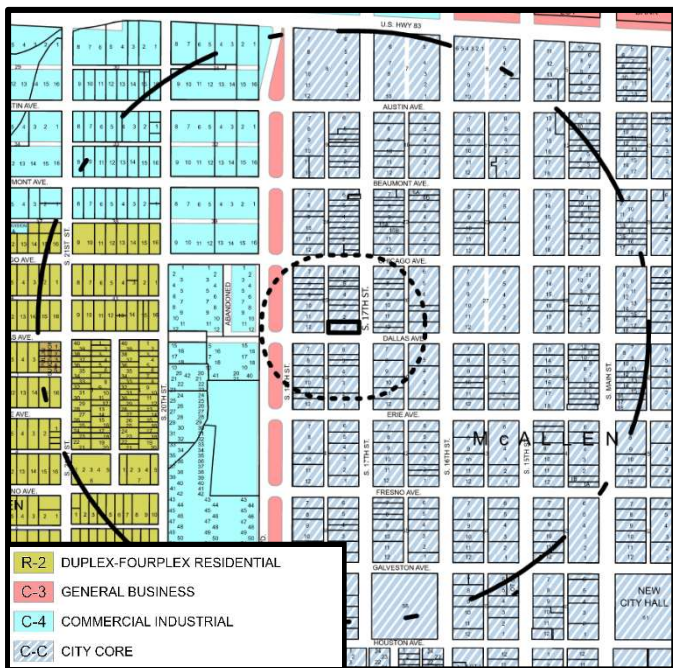
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: June 16, 2025

SUBJECT: REQUEST OF MARK A. WATTS, ON BEHALF OF JAM ENTERTAINMENT VENTURES LLC, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE FOR A NIGHTCLUB (SANTA DIABLA) AT LOT 1 AND SOUTH ONE FOOT OF LOT 2, BLOCK 25, MCALLEN ADDITION, HIDALGO COUNTY, TEXAS; 1704 DALLAS AVENUE. (CUP2026-0043)

BRIEF DESCRIPTION: The subject property is located at the northwest corner of Dallas Avenue and South 17th Street. The subject property and adjacent properties are zoned CC-DT (City Core-Downtown-UDC) District. The surrounding land uses include bars, nightclubs, retail, and residential uses. A bar is allowed in a CC-DT District with a Conditional Use Permit and in compliance with requirements.



HISTORY: This property is part of the Original Townsite of McAllen. Special Use Permits for this property under different ownership have been issued in the past, most recently in January 2023.

ANALYSIS: The applicant is proposing to operate a bar under the name Santa Diabla from approximately 3,000 square feet of lease space. Their proposed hours of operation are 9 p.m. to 2 a.m. Thursday through Sunday.

The site plan must comply with the UDC, Fire Department, Building Code requirements, and all requirements on the building permit, including setbacks, landscaping, parking, etc. The proposed bar must comply with all conditions of Section 3.2.5.A of the UDC, including, but not limited to, the following:

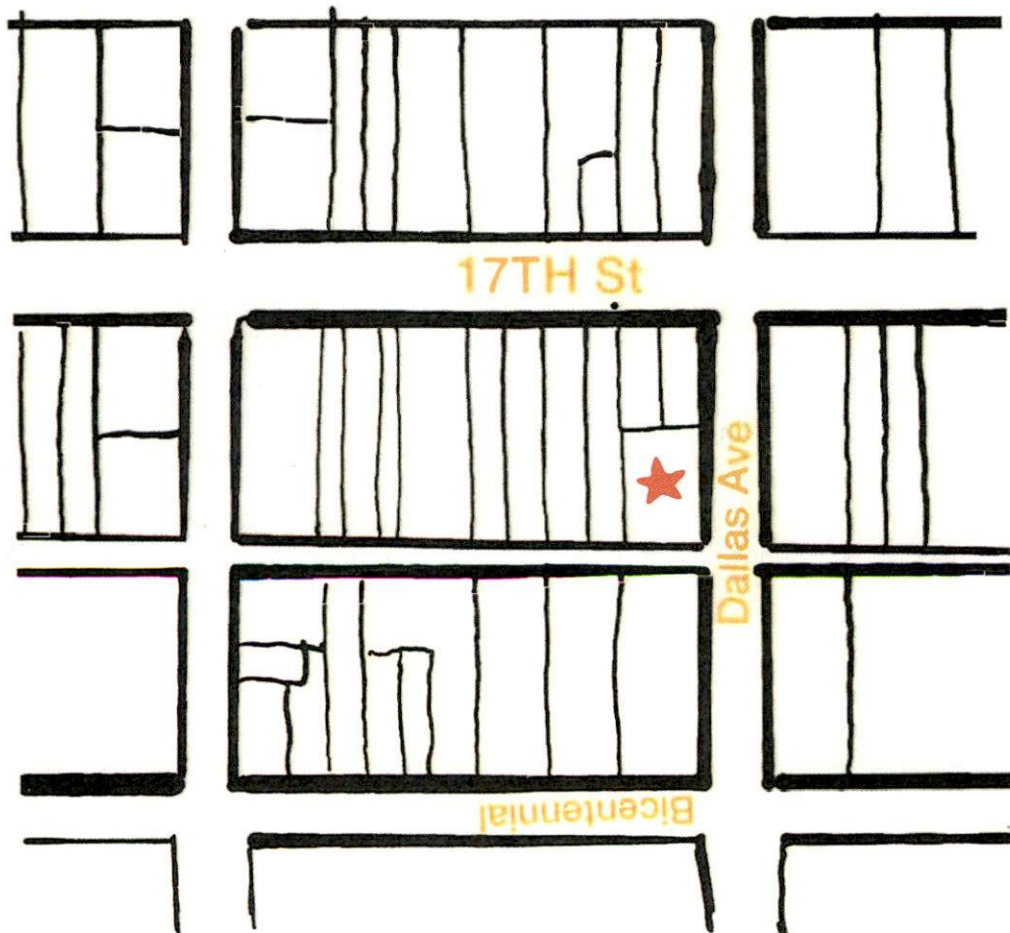
- Adequate Lighting, including, but not limited to, all entrances and exits
- Security personnel based on occupancy load
- Security cameras with a minimum retention load of 30 days at the entrance, exit, and based on the square footage
- Noise control
- Age verification device with capability to produce reports
- Mark all occupants that are under the age of 21 years with UV ink
- Litter control
- Maximum occupancy load established by the building official

If approval is granted, the applicant must also sign an acknowledgement and agreement to all conditions.

Staff has not received any phone calls, letters or emails in opposition to the request.

RECOMMENDATION: Staff recommends disapproval of the request, due to noncompliance with Section 3.2.5.A.1, distance to a residential property.

Location Map - Santa Diabla



RECEIVED
MAY 04 2026
By: VR

FLOOR PLAN

1704 W Dallas Avenue

McAllen, TX 78501

Parcel ID: M1950-00-025-0001-00

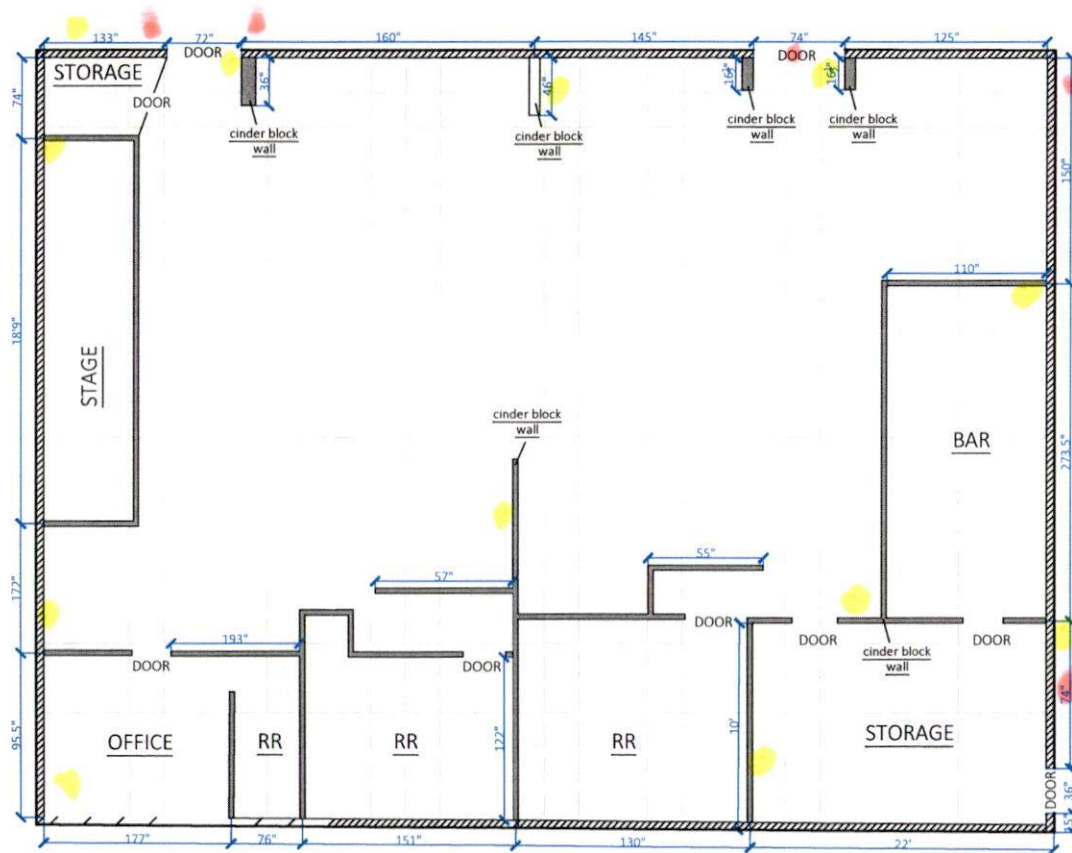
Lot area: 0.16 Acres

3000 sq. feet

DALLAS AVE



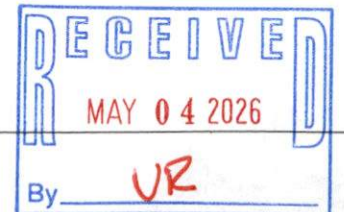
scale 1/8"=1'0"



A
C
C ● Ext. Lighting
E ● Cameras
Y

NOTE

*All exterior walls are cinder block



CITY OF McALLEN

Planning & Zoning Commission Meeting

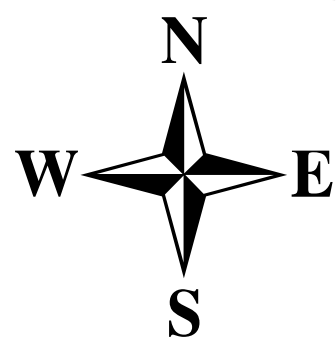
Subdivision Name	<i>The Cue Subdivision</i>
Owner Name	<i>City of McAllen</i>
Engineering Firm	<i>Perez Consulting Engineers</i>
Existing Zoning	<i>A-0, R-1, C-3</i>
Proposed Zoning	<i>A-0, R-1, C-3</i>
Number of Lots	<i>4</i>

City of McAllen Planning Department

McALLEN² COU

615

LOCATION



10TH ST

MAX JONES
SUBDIVISION
LOT 1

THE WOODLANDS
SUBDIVISION
2 800 1 700

VISTA
ALEGRE
LOT "A"
628

**PROPOSED THE CUE
SUBDIVISION**

SUNSET DR

QUINTA MAZATLA
SUBDIVISION
LOT 1

S OLD 10TH ST

10TH ST (S.H. 336)

FORD'S
SUBDIVISION

LA PLAZA
REGENCY NO. 2
SUBD.

6

BALES RD

BALES RD

LOT 1
3113
LOT 2
3105
SOUTH 40TH
SHOPPING
CENTER
LOT 1
3201

3101
3103
3105
3107
3109
3111
3113
3115
3119
3106
3110
3114

S 6TH LN

S 5TH LANE

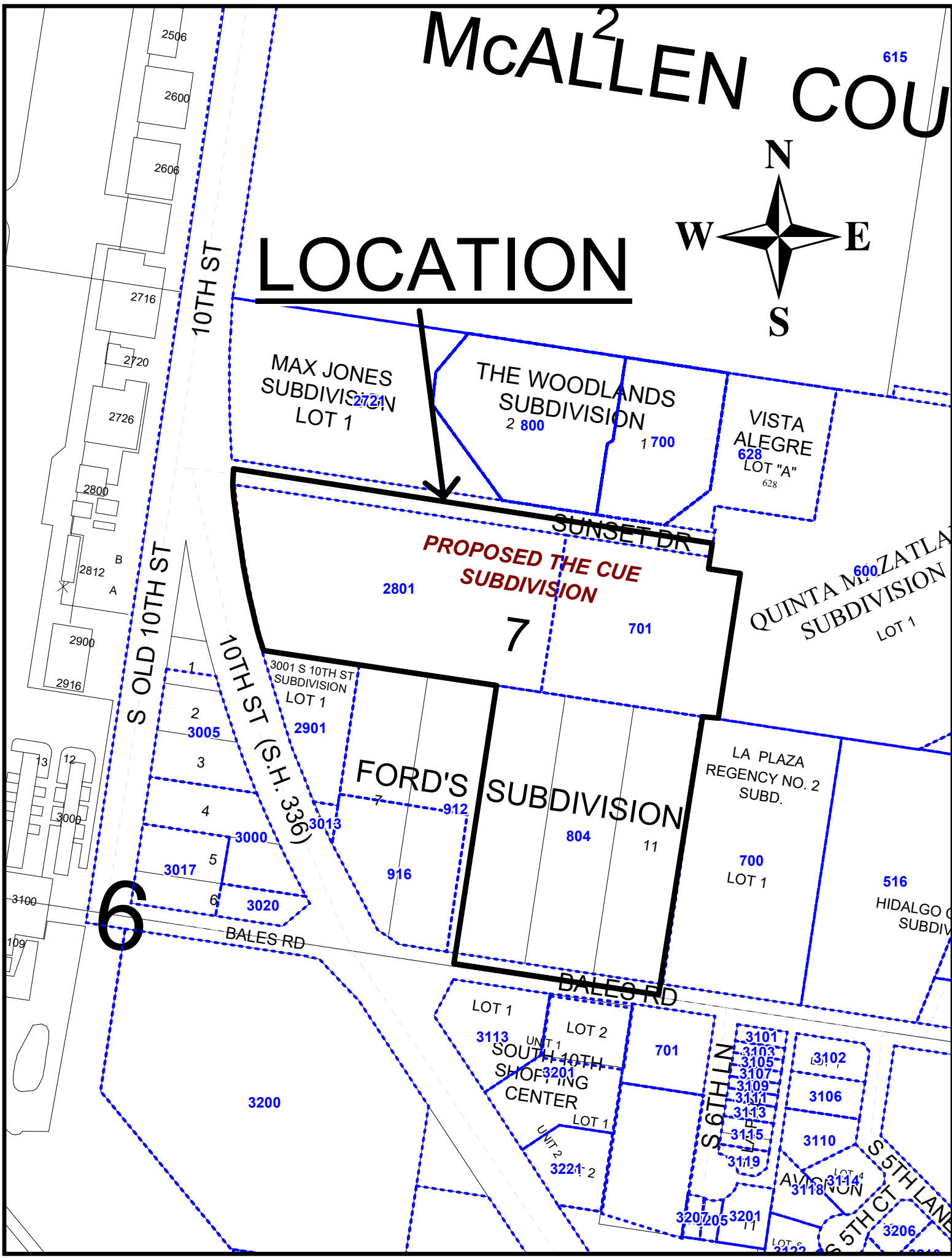
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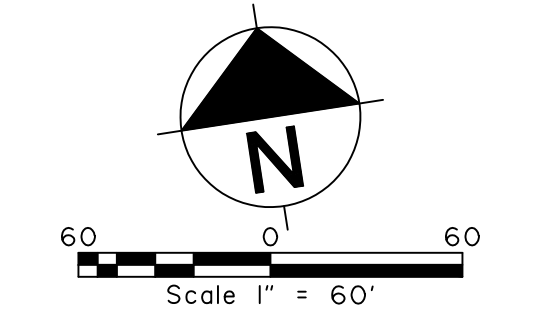
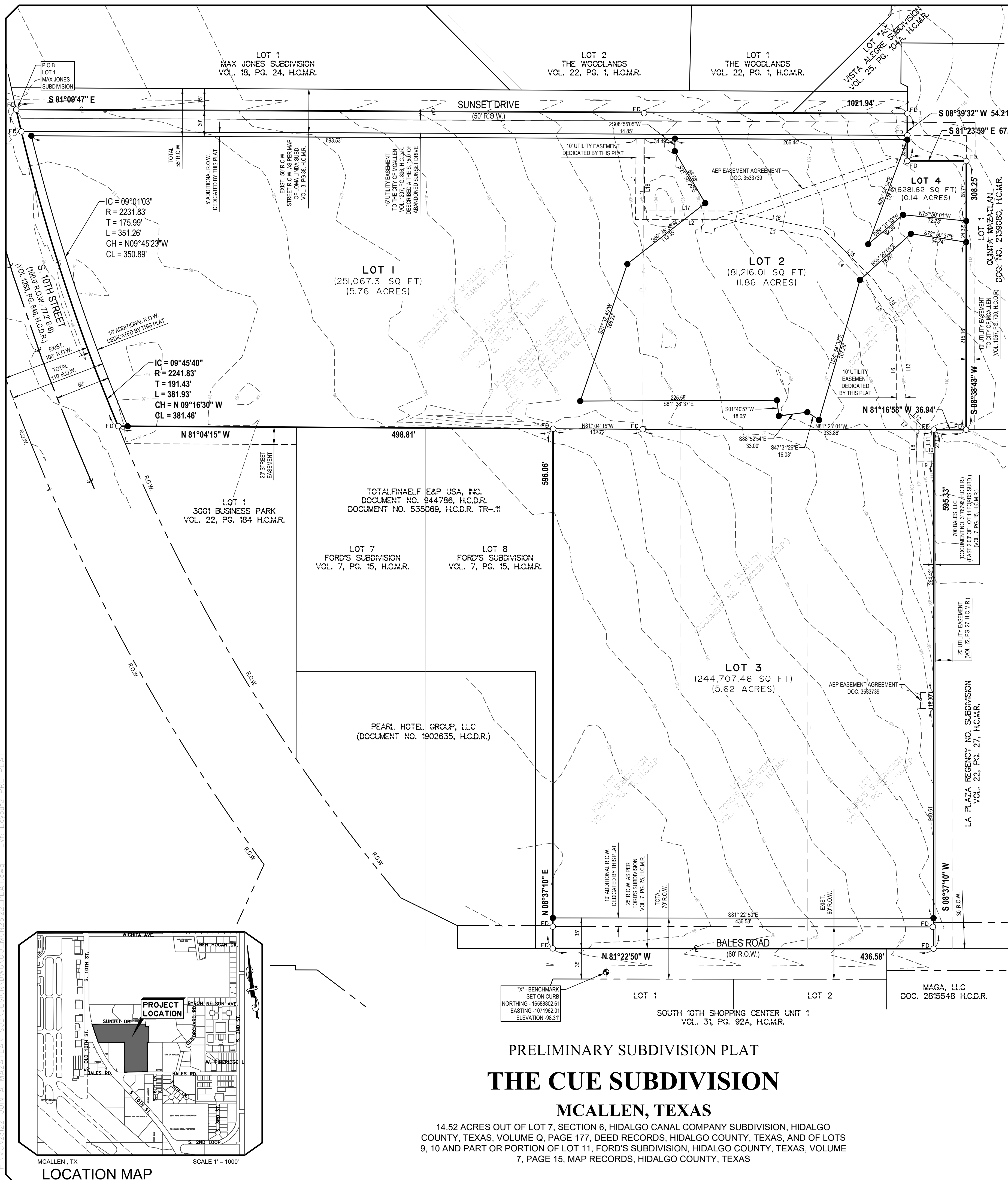
701

3201

3118

3206





- LEGEND:**
- FD O = 1/2" IRON ROD FOUND
 - I.R.S. = IRON ROD SET
 - = BENCHMARK
 - P = PROPERTY LINE
 - L = LOT LINE
 - C = CENTER LINE
 - P.O.B. = POINT OF BEGINNING
 - R.O.W. = DENOTES RIGHT OF WAY
 - H.C.M.R. = HIDALGO COUNTY MAP RECORDS
 - H.C.D.R. = HIDALGO COUNTY DEED RECORDS
 - H.C.O.R. = HIDALGO COUNTY OFFICIAL RECORDS
 - VOL. = VOLUME
 - Pgs. = PAGES

WATER LINE EASEMENT DIMENSION TABLE		
Line #	Length (FT)	Direction
L1	93.08	S09° 01' 59.52" W
L2	105.35	S81° 22' 32.12" E
L3	108.12	S70° 07' 32.12" E
L4	76.91	S36° 22' 32.12" E
L5	59.34	S25° 38' 15.27" E
L6	96.71	S08° 37' 27.88" W
L7	32.40	S36° 22' 32.12" E
L8	33.46	S08° 37' 05.95" W
L9	20.22	S81° 17' 54.19" E
L10	10.23	N81° 17' 54.19" W
L11	27.61	N08° 37' 05.95" E
L12	32.40	N36° 22' 32.12" W
L13	95.65	N08° 37' 27.88" E
L14	62.90	N25° 38' 15.27" W
L15	81.34	N36° 18' 50.11" W
L16	112.14	N70° 07' 32.12" W
L17	96.26	N81° 22' 32.12" W
L18	83.05	N09° 01' 44.60" E

- GENERAL NOTES:**
- MINIMUM FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB AS MEASURED AT CENTER OF SUNSET DRIVE.
 - MINIMUM SET BACKS LINES:
FRONT - ACCORDING TO THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, OR IN LINE WITH AVERAGE EXISTING SETBACKS, WHICHEVER IS GREATER.
REAR - ACCORDING TO THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER.
SIDES - ACCORDING TO THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER.
CORNER - ACCORDING TO THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER.
 - SETBACKS FOR THE EXISTING STRUCTURE(S) IN REMAIN; HOWEVER ONCE ANY ADDITIONS OR NEW CONSTRUCTION IS PROPOSED, THE SETBACKS AS REFERENCED IN NOTE NO. 2 WILL APPLY.
 - BY GRAPHICAL PLOTTING LAND CONTAINED WITHIN THIS SUBDIVISION LIES IN ZONE "B" ACCORDING TO THE FIRM (FLOOD INSURANCE RATE MAP) DATED 11/02/82. COMMUNITY PLAN NO. 480343-0010C
 - REQUIRED STORM WATER DETENTION SHALL BE 2.21 ACRE-FEET (3565.47 CY)
 - "X" - BENCHMARK SET ON CURB
NORTHING - 16588802.61
EASTING - 1071962.01
ELEVATION - 98.31'
 - 4 FT. WIDE MINIMUM SIDEWALK REQUIRED ON S. 10TH STREET, SUNSET DRIVE AND BALES ROAD.
 - 6 FT OPAQUE BUFFER IS REQUIRED FROM ADJACENT/BETWEEN MULTIFAMILY RESIDENTIAL AND COMMERCIAL OR INDUSTRIAL ZONES/USES.
 - 8 FT MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL INDUSTRIAL OR MULTIFAMILY RESIDENTIAL ZONES/USES.
 - THE CONSTRUCTION OF ANY STRUCTURES AND DRAINAGE DETENTION PONDS ON OR WITHIN ANY EASEMENT SHALL BE PROHIBITED.
 - COMMON AREA, ANY PRIVATE STREETS/DRIVES, GATE AREAS, ETC. MUST BE MAINTAINED BY THE LOT OWNERS.
 - THIS SUBDIVISION IS SUBJECT TO AEP EASEMENTS AS FOLLOWS; AEP EASEMENT AGREEMENT DOC. 3533739

METES AND BOUNDS DESCRIPTION:
A TRACT OF LAND CONTAINING 14.52 ACRES OF LAND, MORE OR LESS, SITUATED IN HIDALGO COUNTY, TEXAS, BEING PART OR PORTION OF LOT 7, SECTION 6, HIDALGO CANAL COMPANY SUBDIVISION, HIDALGO COUNTY, TEXAS, MAP REFERENCE: VOLUME Q, PAGE 177, DEED RECORDS, HIDALGO COUNTY, TEXAS, AND LOTS 9 AND 10 AND PART OR PORTION OF LOT 11, FORD'S SUBDIVISION, HIDALGO COUNTY, TEXAS, MAP REFERENCE: VOLUME 7, PAGE 15, MAP RECORDS, HIDALGO COUNTY, TEXAS, SAID 14.52 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING, AT A NAIL FOUND, AT THE SOUTHWEST CORNER OF MAX JONES SUBDIVISION, MAP REFERENCE: VOLUME 18, PAGE 24, MAP RECORDS, HIDALGO COUNTY, TEXAS, THE EAST RIGHT-OF-WAY LINE OF S. 10TH STREET, (STATE HIGHWAY 336), RECORDED IN VOLUME 1253, PAGE 846, DEED RECORDS, HIDALGO COUNTY, TEXAS, FOR THE POINT OF BEGINNING, AND THE NORTHWEST CORNER OF THIS TRACT;

THENCE S 81° 09' 47" E, ALONG THE SOUTH LINE OF SAID MAX JONES SUBDIVISION, WITHIN SUNSET DRIVE, A DISTANCE OF 1021.94 FEET, TO A NAIL SET, ON THE WEST LINE OF QUINTA MAZATLAN SUBDIVISION MAP REFERENCE: DOCUMENT NUMBER 2139080 MAP RECORDS, HIDALGO COUNTY, TEXAS, FOR THE NORTHEAST CORNER HEREOF;

THENCE S 08° 39' 32" W, ALONG THE WEST LINE OF SAID QUINTA MAZATLAN SUBDIVISION, AT A DISTANCE OF 25.00 FEET, PASS A 1/2" IRON ROD WITH A PLASTIC CAP STAMPED "CVQ LS" SET, ON THE SOUTH RIGHT-OF-WAY LINE OF SAID SUNSET DRIVE, CONTINUING A TOTAL DISTANCE OF 94.40 FEET, TO A 1/2" IRON ROD FOUND, AT AN INSIDE CORNER OF SAID QUINTA MAZATLAN SUBDIVISION, FOR A CORNER HEREOF;

THENCE S 81° 23' 59" E, ALONG SAID QUINTA MAZATLAN SUBDIVISION, A DISTANCE OF 67.78 FEET, TO AN IRON PIPE FOUND, ON AN INSIDE CORNER OF SAID QUINTA MAZATLAN SUBDIVISION, FOR A CORNER HEREOF;

THENCE S 08° 37' 10" W, ALONG SAID QUINTA MAZATLAN SUBDIVISION, A DISTANCE OF 308.25 FEET, TO A 1/2" IRON ROD WITH A PLASTIC CAP STAMPED "CVQ LS" SET, ON THE MOST SOUTHERLY SOUTHWEST CORNER OF SAID QUINTA MAZATLAN SUBDIVISION, THE NORTH LINE OF LA PLAZA REGENCY NO. 2 SUBDIVISION, MAP REFERENCE: VOLUME 22 PAGE 27 MAP RECORDS, HIDALGO COUNTY, TEXAS, FOR A CORNER HEREOF;

THENCE N 81° 16' 58" W, ALONG THE NORTH LINE OF SAID LA PLAZA REGENCY NO. 2 SUBDIVISION, AT A DISTANCE OF 34.94 FEET, PASS A 1/2" IRON ROD FOUND, ON THE NORTHWEST CORNER OF SAID LA PLAZA REGENCY NO. 2 SUBDIVISION, CONTINUING A TOTAL DISTANCE OF 36.94 FEET, TO THE NORTHWEST CORNER OF A TRACT OF LAND DEEDED TO 700 BALES, LLC, RECORDED IN DOCUMENT NUMBER 3176798 DEED RECORDS, HIDALGO COUNTY, TEXAS, FOR A CORNER HEREOF;

THENCE S 08° 37' 10" W, ALONG THE WEST LINE OF SAID 700 BALES, LLC, TRACT, AT A DISTANCE OF 570.33 FEET, PASS A 1/2" IRON ROD WITH A PLASTIC CAP STAMPED "JA GZA" FOUND, ON THE NORTH RIGHT-OF-WAY LINE OF BALES RD, CONTINUING A TOTAL DISTANCE OF 595.33 FEET, TO A NAIL SET, ON THE SOUTH LINE OF SAID LOT 11, FORD'S SUBDIVISION, FOR THE SOUTHEAST CORNER HEREOF;

THENCE N 81° 22' 50" W, ALONG THE SOUTH LINE OF SAID LOTS 11, 10 AND 9, FORD'S SUBDIVISION, WITHIN SAID BALES ROAD, A DISTANCE OF 436.58 FEET, TO A NAIL SET, ON THE WEST LINE OF SAID LOT 9, FOR THE SOUTHWEST CORNER HEREOF;

THENCE N 08° 37' 10" E, ALONG THE WEST LINE OF SAID LOT 9, AT A DISTANCE OF 25.00 FEET, PASS A 1/2" IRON ROD WITH A PLASTIC CAP STAMPED "CVQ LS" SET, ON THE NORTH RIGHT-OF-WAY LINE OF SAID BALES ROAD, CONTINUING A TOTAL DISTANCE OF 596.06 FEET, TO A 1/2" IRON ROD WITH A PLASTIC CAP STAMPED "JA GZA" FOUND, ON THE NORTHWEST CORNER OF SAID LOT 9, FOR A CORNER HEREOF;

THENCE N 81° 04' 15" W, ALONG THE NORTH LINE OF LOTS 7 AND 8, OF SAID FORD'S SUBDIVISION, AT A DISTANCE OF 292.00 FEET, PASS THE NORTHEAST CORNER OF 3001 BUSINESS PARK SUBDIVISION, MAP REFERENCE: VOLUME 22, PAGE 184 MAP RECORDS, HIDALGO COUNTY, TEXAS, CONTINUING A TOTAL DISTANCE OF 498.81 FEET, TO A 1/2" IRON ROD WITH A PLASTIC CAP "M & H" FOUND, ON THE EAST RIGHT-OF-WAY OF SAID S. 10TH STREET (FM 336), AND A CURVE TO THE RIGHT, FOR A CORNER HEREOF;

THENCE, IN A NORTHWESTERLY DIRECTION ALONG SAID CURVE TO THE RIGHT, A DISTANCE OF 381.93 FEET, SAID CURVE HAVING A RADIUS OF 2241.83 FEET, A DELTA ANGLE OF 09° 45' 40", A TANGENT OF 191.43 FEET, AND A CHORD THAT BEARS N 09° 16' 30" W, 381.46 FEET, TO THE POINT OF BEGINNING, CONTAINING 14.52 ACRES OF LAND, MORE OR LESS.

STATE OF TEXAS
COUNTY OF HIDALGO
I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE **THE CUE SUBDIVISION** TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERE TO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

CITY OF McALLEN
1300 HOUSTON AVE.
McALLEN, TEXAS 78504
HIDALGO COUNTY

STATE OF TEXAS
COUNTY OF HIDALGO
ON THIS DAY PERSONALLY APPEARED _____, WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT OF WRITING, AND ACTING IN THE CAPACITY THEREIN STATED.

WITNESS MY HAND ON THIS THE _____ DAY OF, _____ A.D. 2026.

NOTARY PUBLIC

CERTIFICATION BY THE CHAIRMAN OF THE COMMISSION: I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

DATED THIS THE _____ DAY OF, _____ A.D. 2026.

CHAIRMAN, PLANNING AND ZONING COMMISSION
McALLEN, TEXAS

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, TEXAS HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

DATED THIS THE _____ DAY OF, _____ A.D. 2026.

MAYOR
CITY OF McALLEN, TEXAS

ATTEST: CITY SECRETARY

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE

STATE OF TEXAS
COUNTY OF HIDALGO
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN HEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF McALLEN, TEXAS.

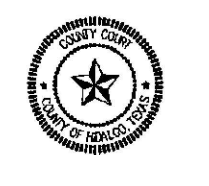
DATED THIS THE _____ DAY OF, _____ 2026.

CARLOS VASQUEZ, R.P.L.S. NO. 4608
CVQ LAND SURVEYORS, LLC
TBPELS FIRM NO. 10119600
517 BEAUMONT AVE.
McALLEN, TEXAS 78501

STATE OF TEXAS
COUNTY OF HIDALGO
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION WAS GIVEN TO THIS PLAT.

DATED THIS THE _____ DAY OF, _____ 2026.

J. DAVID PEREZ, P.E.
REGISTERED PROFESSIONAL ENGINEER
STATE OF TEXAS T.B.E. NO. 89429



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, CLR
HIDALGO COUNTY CLERK

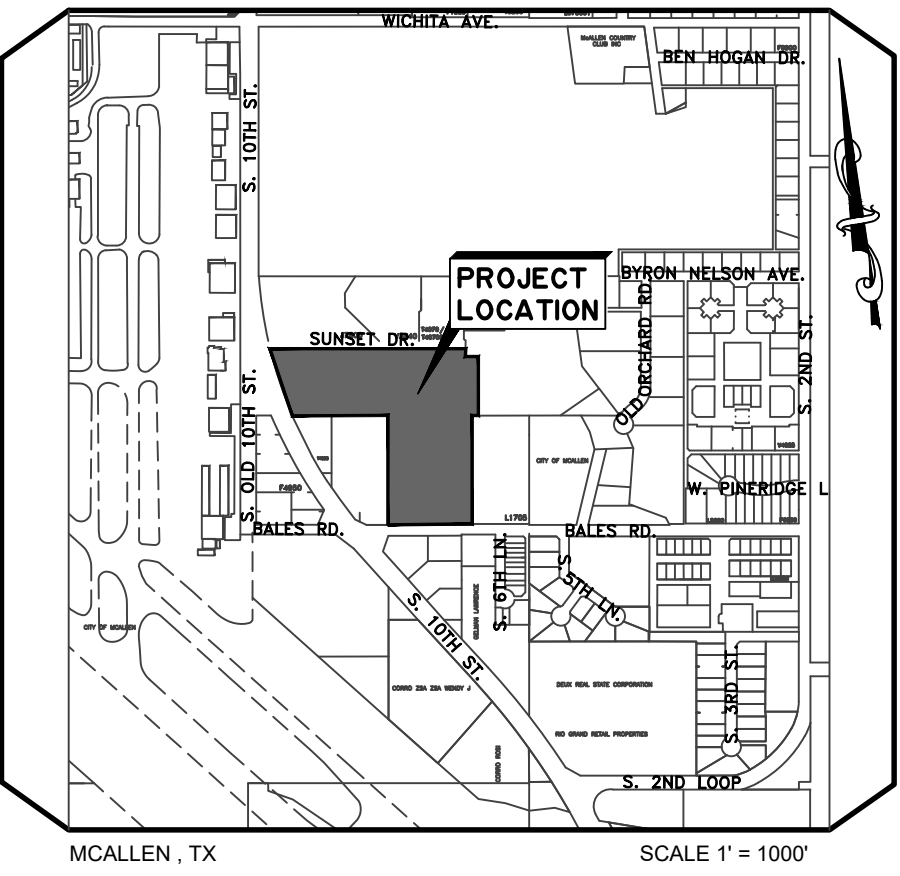


Texas Registered Engineering Firm F-2158
808 Dallas Ave. McAllen, Texas 78501
(361) 631-4487 fax (361) 662-1545

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF MAP RECORDS OF HIDALGO COUNTY TEXAS

BY: _____ DEPUTY

DATE OF ISSUANCE: JULY 3, 2024
REVISED: JANUARY 19, 2026
REVISED: MARCH 3, 2026



PRELIMINARY SUBDIVISION PLAT
THE CUE SUBDIVISION
McALLEN, TEXAS

14.52 ACRES OUT OF LOT 7, SECTION 6, HIDALGO CANAL COMPANY SUBDIVISION, HIDALGO COUNTY, TEXAS, VOLUME Q, PAGE 177, DEED RECORDS, HIDALGO COUNTY, TEXAS, AND OF LOTS 9, 10 AND PART OR PORTION OF LOT 11, FORD'S SUBDIVISION, HIDALGO COUNTY, TEXAS, VOLUME 7, PAGE 15, MAP RECORDS, HIDALGO COUNTY, TEXAS

BEARING BASIS AS PER TEXAS STATE PLANE COORDINATES SYSTEM NAD 1983, SOUTH ZONE.

A: Cod. Rev. 24-25 (LWMS, Tech) User: pcc-1
 H:\A\2024\2024 QUINTA MAZATLAN SUBDIVISION.DWG: QUINTA MAZATLAN SUBDIVISION.DWG: 24-25 (LWMS, Tech) User: pcc-1
 H:\A\2024\2024 QUINTA MAZATLAN SUBDIVISION.DWG: QUINTA MAZATLAN SUBDIVISION.DWG: 24-25 (LWMS, Tech) User: pcc-1



City of McAllen
SUBDIVISION PLAT REVIEW

Reviewed On: 6/11/2026

SUBDIVISION NAME: THE CUE SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>S. 10th Street: ROW dedication needed for 75 ft. from centerline for total 150 ft. ROW Paving: By the State Curb & gutter: By the State Revisions needed: - Submit a copy of the referenced documents prior to final. - Provide the ROW dedication as shown above prior to final. -The subdivision will be requesting a variance on May 19, 2026, to waive the requirement for additional right-of-way dedication. Approval of the variance request shall be required prior to final approval of the subdivision. -The Variance Request was approved by City Commission on June 8, 2026. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Compliance
<p>Sunset Drive: ROW dedication as needed for 5 ft. additional ROW dedication for 30 ft. from centerline for total 55 ft. ROW Paving: 40 ft. Curb & gutter: both sides Revisions needed: - Reference the document number for the existing ROW and submit a copy of the referenced documents prior to final. - Provide ROW dedication as needed above prior to final. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>Bales Road: ROW dedication needed for 35 ft. from centerline for total 70 ft. ROW Paving: 44 ft. Curb & gutter: both sides Revisions needed: - Reference document number for the existing ROW and submit a copy of the referenced documents prior to final. - Provide the ROW dedication as shown above prior to final. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length _____ **Subdivision Ordinance: Section 134-118</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* 900 ft. Block Length for R-3 Zone Districts _____ **Subdivision Ordinance: Section 134-118</p>	<p>Applied</p>
<p>* 600 ft. Maximum Cul-de-Sac _____ **Subdivision Ordinance: Section 134-105</p>	<p>Applied</p>
<p>ALLEYS</p>	
<p>ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties ** A CUP for this property (CUP2023-0147) for a learning center and park was approved by the City Commission on November 27, 2023, for life of the use, which include a service drive. **Subdivision Ordinance: Section 134-106</p>	<p>Applied</p>
<p>SETBACKS</p>	
<p>* Front: According to the Zoning Ordinance or greater for easements or approved site plan, or in line with average existing setback, whichever is greater **Zoning Ordinance: Section 138-356</p>	<p>Compliance</p>
<p>Rear: According to the Zoning Ordinance or greater for easements or approved site plan, whichever is greater **Zoning Ordinance: Section 138-356</p>	<p>Compliance</p>
<p>Sides: According to the Zoning Ordinance or greater for easements or approved site plan, whichever is greater **Zoning Ordinance: Section 138-356</p>	<p>Compliance</p>
<p>* Corner: According to the Zoning Ordinance or greater for easements or approved site plan, whichever is greater **Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>* Garage _____ **Zoning Ordinance: Section 138-356</p>	<p>NA</p>
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	<p>Applied</p>
<p>SIDEWALKS</p>	
<p>4 ft. wide minimum sidewalk required on S. 10th Street, Sunset Drive, and Bales Road - Engineering Department may request 5 ft. sidewalk for S. 10th STREET. **Subdivision Ordinance: Section 134-120</p>	<p>Compliance</p>
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	<p>Applied</p>
<p>BUFFERS</p>	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. -The required 6-foot buffer and 8-foot buffer shall be identified as separate and individual plat notes. Revise the plat notes accordingly to clearly distinguish each buffer requirement. - Any additional buffer as applicable must be finalized prior to final. **Landscaping Ordinance: Section 110-46</p>	<p>Applied</p>
<p>8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses -The required 6-foot buffer and 8-foot buffer shall be identified as separate and individual plat notes. Revise the plat notes accordingly to clearly distinguish each buffer requirement. **Landscaping Ordinance: Section 110-46</p>	<p>Applied</p>
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	<p>Applied</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

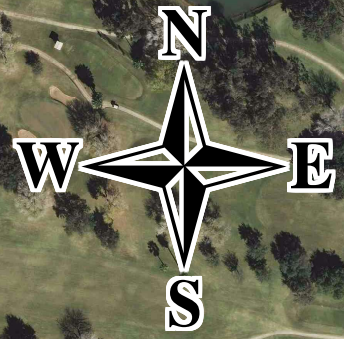
NOTES	
<p>No curb cut, access, or lot frontage permitted along S 10th Street.. - Plat note requirement will be finalized prior to final. **Must comply with City Access Management Policy</p>	Required
<p>Site plan must be approved by the Planning and Development Departments prior to building permit issuance. ** A CUP for this property (CUP2023-0147) for a learning center and park was approved by the City Commission on November 27, 2023, for life of the use. - Any change in the approved site plan will require the CUP to be amended.</p>	Applied
<p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p>	Applied
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	Applied
<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	NA
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	NA
LOT REQUIREMENTS	
<p>* Lots fronting public streets -The subdivision will be requesting a variance on May 19, 2026, to allow lots not fronting a public street. Approval of the variance request shall be required prior to final approval of the subdivision. --The Variance Request was approved by City Commission on June 8, 2026. **Subdivision Ordinance: Section 134-1</p>	Compliance
<p>* Minimum lot width and lot area _____ **Zoning Ordinance: Section 138-356</p>	Compliance
ZONING/CUP	
<p>* Existing: A-O, R-1, and C-3 Proposed: A-O, R-1, and C-3 ***Zoning Ordinance: Article V ** A CUP for this property (CUP2023-0147) for a learning center and park was approved by the City Commission on November 27, 2023, for life of the use. - Any change in the approved site plan will require the CUP to be amended.</p>	Applied
<p>* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V</p>	Applied
PARKS	
<p>* Land dedication in lieu of fee.</p>	NA
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording</p>	NA
<p>* Pending review by the Parkland Dedication Advisory Board and CC.</p>	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

TRAFFIC		
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. - TG APPROVED, TIA WAIVED WITH CONDITIONS AS PER TRAFFIC DEPT. * Traffic Impact Analysis (TIA) required prior to final plat.	Applied	
	Required	
COMMENTS		
Comments: - a PUBLIC HEARING WILL NEED TO BE HEARD. -A variance request will be required if the right-of-way (ROW) dedication is proposed to remain as currently shown on the plat. The Thoroughfare Plan identifies a 150-foot ROW along S. 10th Street, which is not reflected on the submitted plat. -Lot 4 must have frontage on a public street in accordance with subdivision requirements. If Lot 4 is proposed to remain as currently configured without public street frontage, a variance request will be required. -The subdivision will be requesting a variance on May 19, 2026, to allow lots not fronting a public street and to waive the requirement for additional right-of-way dedication. Approval of the variance request shall be required prior to final approval of the subdivision. *Must comply with City’s Access Management Policy.	Applied	
RECOMMENDATION		
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO CONDITIONS NOTED.	Applied	

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

MCALLEN COUNTY



LOCATION

MAX JONES
SUBDIVISION
LOT 1

THE WOODLANDS
SUBDIVISION
2

VISTA
ALEGRE
LOT "A"
628

PROPOSED THE CUE
SUBDIVISION
7

QUINTA MAZATLAN
SUBDIVISION
LOT 1

3001 S 10TH ST
SUBDIVISION
LOT 1

FORD'S
SUBDIVISION
7

LA PLAZA
REGENCY NO. 2
SUBD.
LOT 1

HIDALGO CA
SUBDIVISION

LOT 1
UNIT 1
SOUTH 10TH
SHOPPING
CENTER
LOT 1
LOT 2

S 6TH LN
LA PAZ SUBD

LOT 4
AVIGNON

LOT 6
S 5TH CT
LOT 5
LOT 3

6

10TH ST

S OLD 10TH ST

10TH ST (S.H. 336)

BALES RD

BALES RD

S 6TH LN

S 5TH CT

10

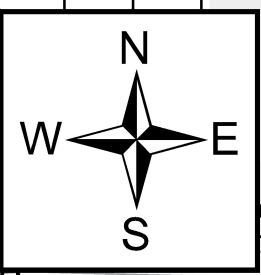
CITY OF McALLEN

Planning & Zoning Commission Meeting

Subdivision Name	<i>My Home Crossing Dreams Subdivision</i>
Owner Name	<i>My Home LLC</i>
Engineering Firm	<i>Mario A. Salinas</i>
Existing Zoning	<i>R-3 High-Density Residential</i>
Proposed Zoning	<i>R-3 High-Density Residential</i>
Number of Lots	<i>1</i>

City of McAllen Planning Department

No. 3
48 47 46



ASH AVE.

LOCATION

U. S. HWY 83

13 11 9 7 5 3 1
14 12 10 8 6 4 2

BLK 1

**PROPOSED MY HOME
CROSSING DREAMS
SUBDIVISION**

GENTRY SUBDIVISION

1 4
BUCK SUBDIVISION

2 3

5 4 3 2 1
3 2 1
4
5 13
6 7
10 9 8

10 11 12
1 2 3
4 4
5 5
6 6
9 8 7

S. 28TH ST.

11 12 13
1 2 3
4 5
10 9 8 6

ALTAMIRA SUBDIVISION

S. 27TH ST.

UBDIVISION

BLK. 2

S. 29TH ST.

3

4

3

4

11

MAP OF
MY HOME CROSSING DREAMS SUBDIVISION

HIDALGO COUNTY, TEXAS

BEING A 0.87 ACRE TRACT OF LAND, MORE OR LESS, CONTAINING ALL OF LOT 6, AND, THE WEST 157.0 FEET OF LOT 7, AND, THE NORTH 3.0 FEET OF THE WEST 157.0 FEET OF LOT 8, AND, THE WEST 50.50 FEET OF THE EAST 133.0 FEET OF LOT 9, GENTRY SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 04, PAGE 07, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

METES AND BOUNDS

BEING A 0.87 ACRE TRACT OF LAND, MORE OR LESS, CONTAINING ALL OF LOT 6, AND, THE WEST 157.0 FEET OF LOT 7, AND, THE NORTH 3.0 FEET OF THE WEST 157.0 FEET OF LOT 8, AND, THE WEST 50.50 FEET OF THE EAST 133.0 FEET OF LOT 9, GENTRY SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 04, PAGE 07, MAP RECORDS OF HIDALGO COUNTY, TEXAS; SAID 0.87 TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A NAIL SET ON THE NORTHWEST CORNER OF SAID LOT 6 LOCATED WITHIN THE RIGHT-OF-WAY OF SAID N. 29TH STREET; THENCE AS FOLLOWS:

SOUTH 81 DEGREES 18 MINUTES EAST, COINCIDENT WITH THE NORTH LINE OF SAID LOT 6, A DISTANCE OF 10.00 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND ON INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SAID N. 29TH STREET FOR THE NORTHWEST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

- THENCE, SOUTH 81 DEGREES 18 MINUTES EAST, COINCIDENT WITH THE NORTH LINE OF SAID LOT 6, A DISTANCE OF 280.0 FEET TO A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" SET ON INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF AUSTIN STREET FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, SOUTH 08 DEGREES 42 MINUTES WEST, COINCIDENT WITH THE WEST RIGHT-OF-WAY LINE OF SAID AUSTIN STREET, A DISTANCE OF 65.0 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND ON INTERSECTION WITH THE SOUTH LINE OF SAID LOT 6 FOR AN OUTSIDE EASTERN CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, NORTH 81 DEGREES 18 MINUTES WEST, COINCIDENT WITH THE SOUTH LINE OF SAID LOT 6 AND THE NORTH LINE OF SAID LOT 7, A DISTANCE OF 82.50 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND FOR AN INSIDE CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, SOUTH 08 DEGREES 42 MINUTES WEST, A DISTANCE OF 195.0 FEET TO A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" SET ON INTERSECTION WITH THE SOUTH LINE OF SIDE LOT 9 FOR AN OUTSIDE SOUTHERN CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, NORTH 81 DEGREES 18 MINUTES WEST, COINCIDENT WITH THE SOUTH LINE OF SAID LOT 9, A DISTANCE OF 50.50 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND FOR AN OUTSIDE CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, NORTH 08 DEGREE 42 MINUTES EAST, A DISTANCE OF 127.0 FEET TO A 1/2 INCH DIAMETER IRON ROD FOUND ON INTERSECTION WITH THE SOUTH LINE OF SAID LOT 7 FOR AN INSIDE CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, NORTH 81 DEGREES 18 MINUTES WEST, COINCIDENT WITH SOUTH LINE OF SAID LOT 7, A DISTANCE OF 147.0 FEET TO A 1/2 INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" SET ON INTERSECTION WITH THE EAST RIGHT-OF-WAY LINE OF SIDE S. 29TH STREET FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;
- THENCE, NORTH 08 DEGREES 42 MINUTES EAST, COINCIDENT WITH THE EAST RIGHT-OF-WAY LINE OF SIDE N. 29TH STREET, A DISTANCE OF 133.0 FEET TO THE POINT OF BEGINNING, CONTAINING 0.87 ACRES OF LAND, MORE OR LESS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. SALINAS, A LICENSED PROFESSIONAL ENGINEER, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.



MARIO A. SALINAS
LICENSED PROFESSIONAL ENGINEER # 96611
3911 N. 10TH STREET, SUITE H
MCALLEN, TEXAS 78501

DATE:

STATE OF TEXAS
COUNTY OF CAMERON

I, THE UNDERSIGNED, DAVID O. SALINAS, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

SALINAS ENGINEERING & ASSOCIATES
CONSULTING ENGINEERS & SURVEYORS
DAVID O SALINAS
FIRM No. 100657-00
2221 DAFFODIL AVE.
MCALLEN, TEXAS 78501
(956) 682-9081

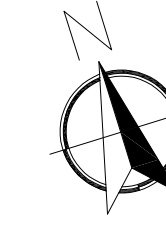
DATE:

FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK
ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

PRINCIPAL CONTACTS:

Name	Address	City & Zip	Phone
OWNER: OSCAR A. HERNANDEZ GARCIA	2212 PRIMEROSE AVE., STE. F	MCALLEN, TEXAS. 78504	(956) 821-2837
ENGINEER: MARIO A. SALINAS	3911 N. 10th. ST. SUITE H	MCALLEN TEXAS 78501	(956) 537-1311
SURVEYOR: DAVID O SALINAS	2221 DAFFODIL AVE.	MCALLEN, TEXAS 78501	(956) 682-9081



BEARING BASIS - TEXAS STATE
PLANE COORDINATE SYSTEM,
TEXAS SOUTH ZONE 4205
(NAD 83, NAVD 83, GEOID 12B)
0 60 120 Feet
SCALE 1" = 30'

STATE OF TEXAS
COUNTY OF HIDALGO

I, (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED AS THE MY HOME CROSSING DREAMS SUBDIVISION AN ADDITION TO THE CITY OF McALLEN, TEXAS AND WHOSE NAME(S) IS (ARE) SUBSCRIBED HERETO DO HEREBY GRANT AN EASEMENT TO SAID CITY AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY. THE USE OF THE STREETS IS RESTRICTED TO THE EMPLOYEES AND AGENTS OF THE CITY OF McALLEN EMPLOYEES OF UTILITIES UNDER FRANCHISE TO SAID CITY AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. ADDITIONAL PUBLIC RIGHT OF WAY SOUTH 28TH STREET ARE BEING DEDICATED BY THIS PLAT.

MY HOME LLC. _____ DATE _____
2212 PRIMEROSE AVE, STE F
MCALLEN, TEXAS 78504
BY: OSCAR A. HERNANDEZ GARCIA, MANAGING MEMBER

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED OSCAR A. HERNANDEZ GARCIA, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING THIS THE _____ DAY OF _____, 2026.

NOTARY PUBLIC _____

THIS PLAT APPROVED BY THE HIDALGO COUNTY IRRIGATION NO. 1
ON THIS _____ DAY OF _____, 20____

HIDALGO COUNTY IRRIGATION DISTRICT NO. ONE WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION. ALSO THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS.

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON THE HCID#1 RIGHT-OF-WAYS OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HCID#1.

PRESIDENT _____ SECRETARY _____

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHERE IN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN _____ DATE _____

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION _____ DATE _____

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

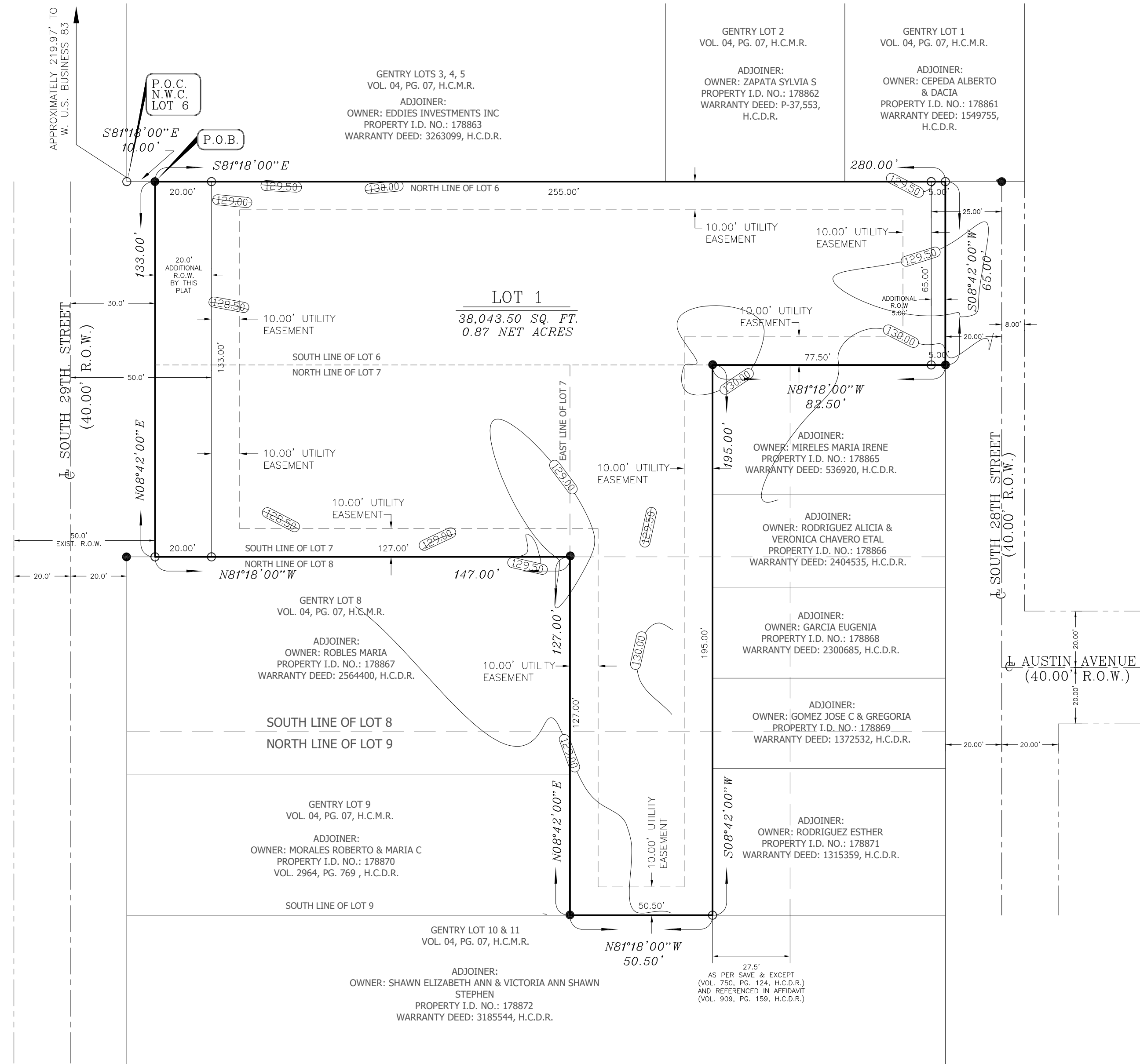
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

BY: RAUL SESIN, P.E., C.F.M., DISTRICT MANAGER _____ DATE _____

DATE OF PREPARATION MAY 08 2026

MAS ENGINEERING LLC.
CONSULTING ENGINEERING
FIRM NO. F-15499

3911 N. 10TH STREET, SUITE H PH. (956) 537-1311
MCALLEN, TEXAS. 78501 E-MAIL: MSALINAS6973@ATT.NET

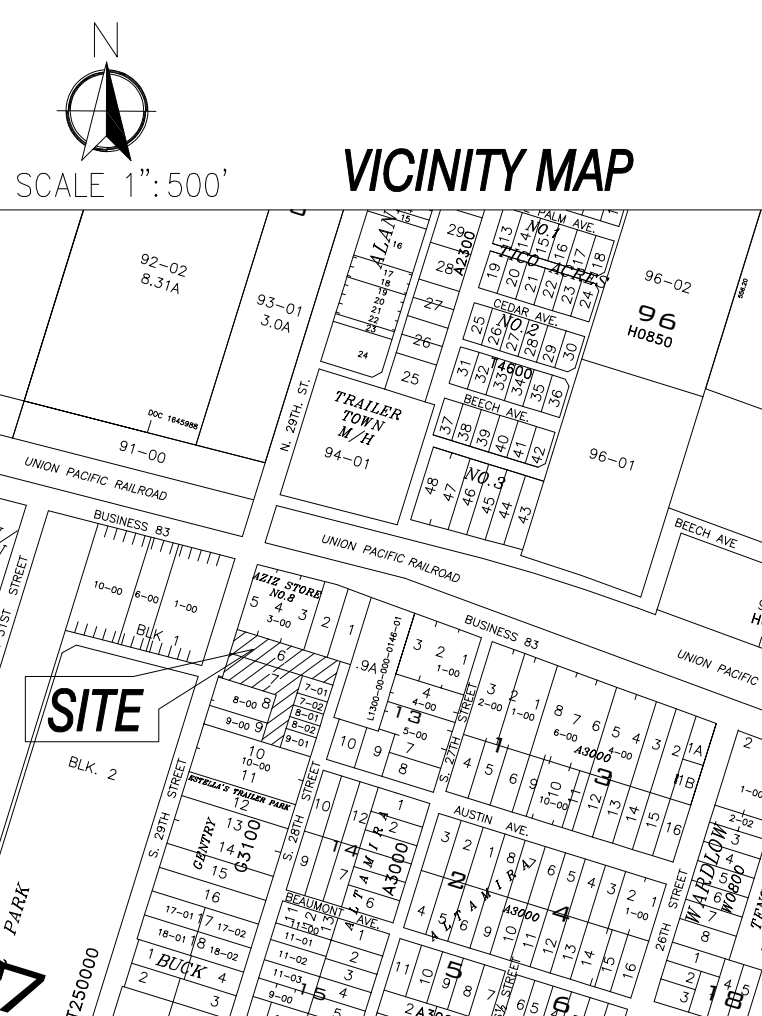


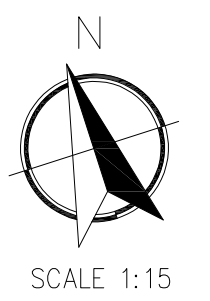
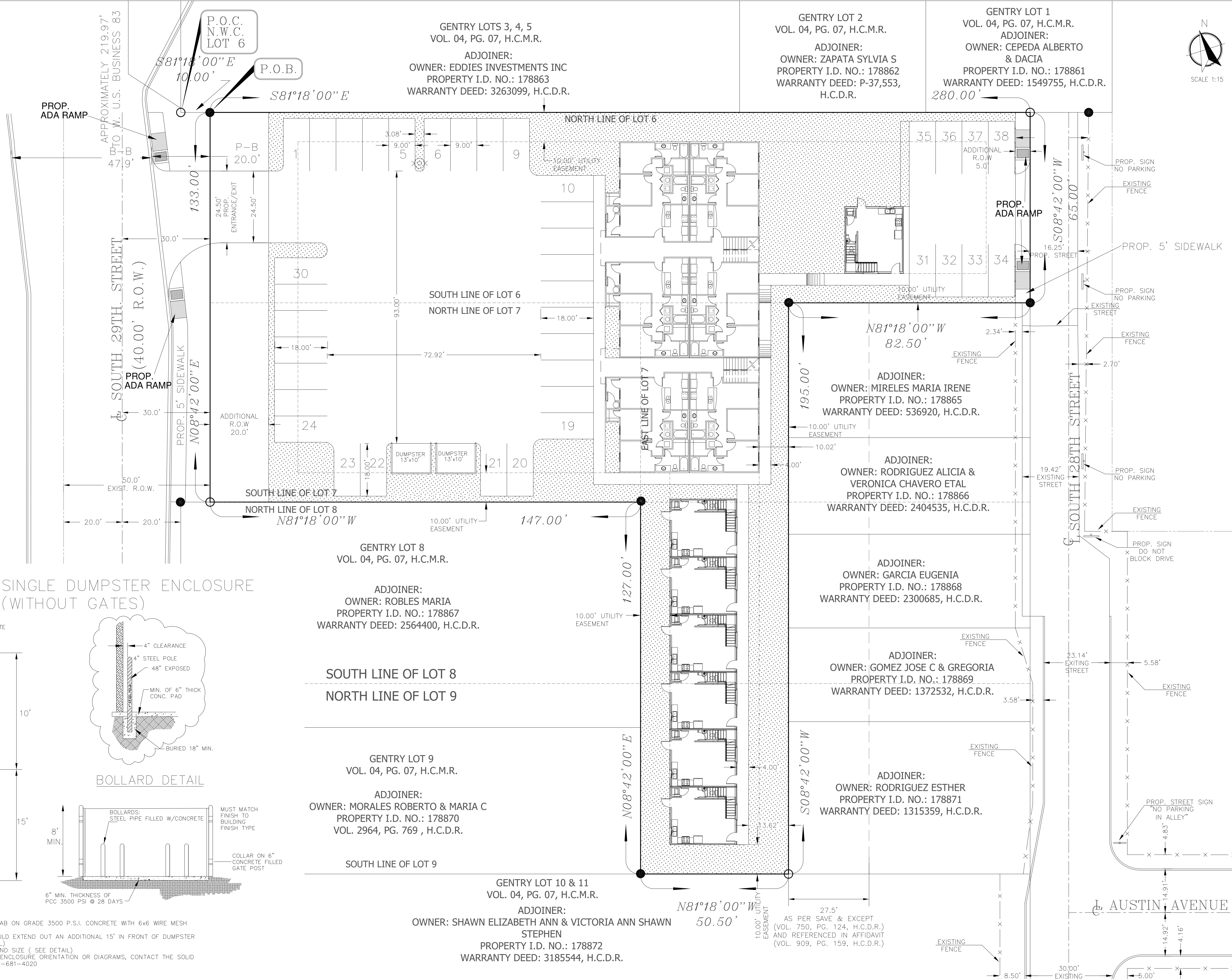
HIDALGO COUNTY GENERAL SUBDIVISION PLAT NOTES

- FLOOD ZONE STATEMENT:
THE TRACT LIES IN "ZONE C" AS DEFINED AS AREAS OF MINIMAL FLOODING. IN ACCORDANCE WITH F.E.M.A.-F.I.R.M. MAP NO. 480343 0005 C, MAP REVISED NOVEMBER 2, 1982.
- SETBACKS:
FRONT: 20 FT. OR GREATER FOR EASEMENTS OR INLINE WITH EXISTING STRUCTURES, WHICHEVER IS GREATER
REAR: 10 FT. OR GREATER FOR EASEMENT
SIDE: 5 FT. OR GREATER FOR EASEMENTS, WHICHEVER IS GREATER.
GARAGE: 18 FT. EXCEPT WHERE GREATER SETBACK APPLIES.
- 4 FT. WIDE MINIMUM SIDEWALK REQUIRED ALONG S. 29TH STREET AND 4 FT. WIDE MINIMUM SIDEWALK REQUIRED BOTH SIDES OF ALL INTERIOR STREETS.
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP THE CURB MEASURED AT FRONT CENTER OF EACH LOT..
- CITY OF McALLEN BENCHMARK: MC 76 IS LOCATED AT THE NORTH BOUND OF BUS 83, 110 FT EAST FROM THE BC OF WARE RD AND 5 FT NORTH FROM THE BC OF BUS 83, THE MONUMENT IS 22 FT SOUTH FROM THE R.R. TRACK RUNNING EAST - WEST. ELEV. 131.44 FEET HORIZONTAL DATUM NAD 83 LAT. 26° 12' 29.90909°N LONG. 098° 15' 39.49250°W. NORTHING 16601127.00278, EASTING 1062624.1962.
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 6,581 CUBIC-FEET 0.15 ACRE--FEET OF STORM WATER RUNOFF. DRAINAGE RETENTION IN ACCORDANCE WITH LOCAL REQUIREMENTS.
- NO PERMANENT STRUCTURES, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- THE DRAINAGE DETENTION CONNECTION WILL BE REVIEWED AT THE TIME OF BUILDING.
- 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES.
- 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTIFAMILY RESIDENTIAL ZONE/USES.
- COMMON AREAS AND ANY PRIVATE SERVICE DRIVES, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.
- ALL UTILITY EASEMENTS ARE DEDICATED BY THIS PLAT UNLESS OTHERWISE NOTED.

LEGEND

- FOUND 1/2" IRON ROD
- SET 1/2" IRON ROD WHIT YELLOW CAP MARKED "SEA 5782"
- FOUND 1/2" IRON PIPE
- SET 80-D NAIL
- R.O.W. RIGHT OF WAY
- P-B PROPERTY LINE TO BACK OF CURB
- B-B BACK OF CURB TO BACK OF CURB
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- H.C.D.R. HIDALGO COUNTY DEED RECORDS
- H.C.O.R. HIDALGO COUNTY OFFICIAL RECORDS
- H.C.M.R. HIDALGO COUNTY MAP RECORDS





PROJECT NAME:
MY HOME CROSSING DREAMS SUBDIVISION

ADDRESS:
S 29TH STREET McALLEN, TEXAS

CLIENT INFORMATION:
MY HOME, LLC

MAS ENGINEERING LLC.
CONSULTING ENGINEERING
FIRM NO. F-15499

PH: (956) 537-1311
E-MAIL: MSALINAS6973@ATT.NET

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MCALLEN, TEXAS. 78501

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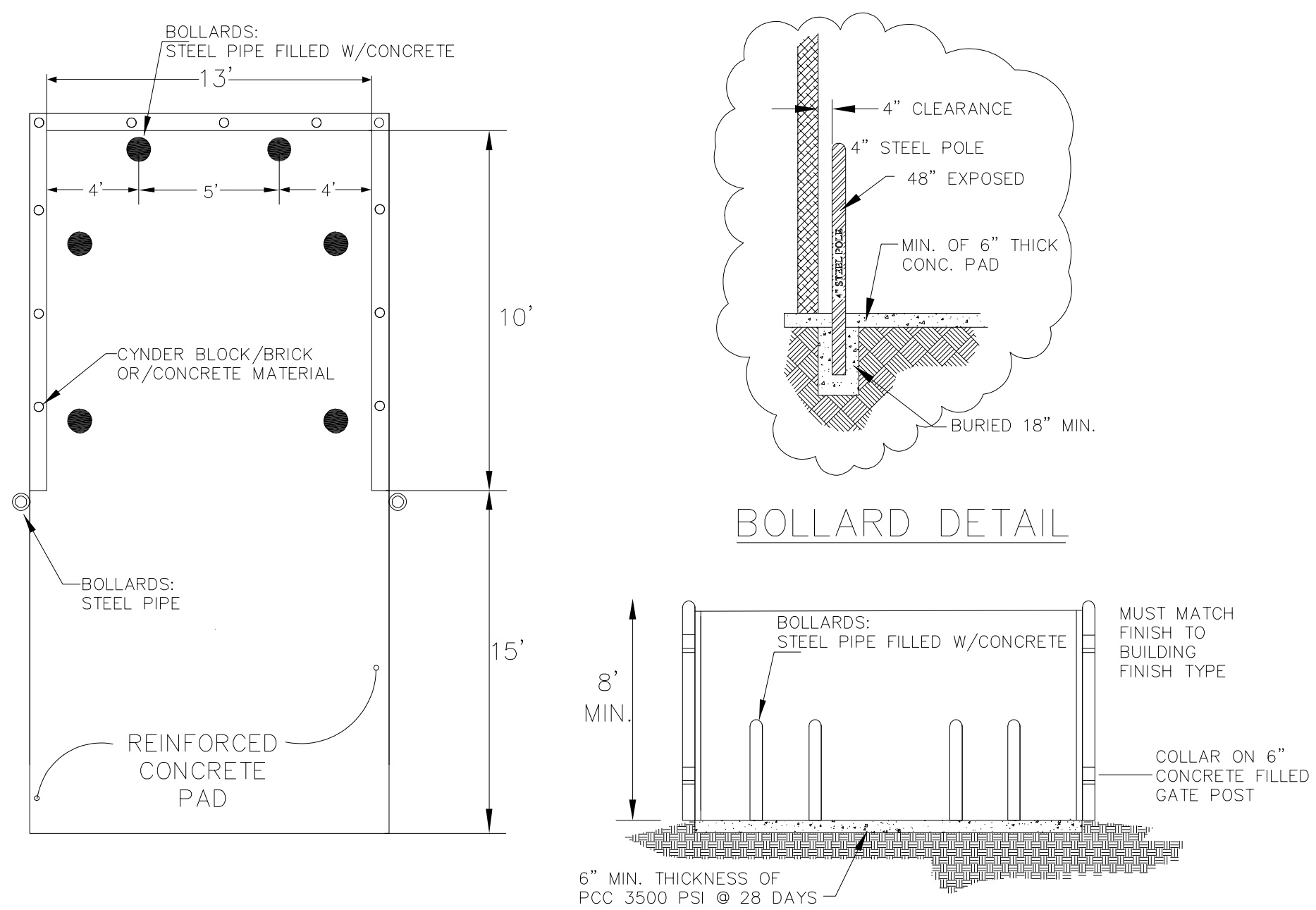
SHEET NAME:
SITE PLAN

REVISION: 5 BY: JB APPROVED BY: MAS

DATE OF PREPARATION:
05-08-2026

PROJECT No. SHEET No.
C-1

DETAIL 401: SINGLE DUMPSTER ENCLOSURE (WITHOUT GATES)



- NOTES:
- 6" THICK CONCRETE SLAB ON GRADE 3500 P.S.I. CONCRETE WITH 6x6 WIRE MESH OR 2" (#4) REBAR
 - CONCRETE APRON SHOULD EXTEND AN ADDITIONAL 15' IN FRONT OF DUMPSTER ENCLOSURE (SEE DETAIL)
 - BOLLARD PLACEMENT AND SIZE (SEE DETAIL)
 - FOR CLARIFICATION OF ENCLOSURE ORIENTATION OR DIAGRAMS, CONTACT THE SOLID WASTE DIVISION AT 956-681-4020

ADJOINER:
OWNER: ROBLES MARIA
PROPERTY I.D. NO.: 178867
WARRANTY DEED: 2564400, H.C.D.R.

SOUTH LINE OF LOT 8
NORTH LINE OF LOT 9

ADJOINER:
OWNER: MORALES ROBERTO & MARIA C
PROPERTY I.D. NO.: 178870
VOL. 2964, PG. 769, H.C.D.R.

SOUTH LINE OF LOT 9

ADJOINER:
OWNER: SHAWN ELIZABETH ANN & VICTORIA ANN SHAWN
STEPHEN
PROPERTY I.D. NO.: 178872
WARRANTY DEED: 3185544, H.C.D.R.

ADJOINER:
OWNER: MIRELES MARIA IRENE
PROPERTY I.D. NO.: 178865
WARRANTY DEED: 536920, H.C.D.R.

ADJOINER:
OWNER: RODRIGUEZ ALICIA & VERONICA CHAVERO ETAL
PROPERTY I.D. NO.: 178866
WARRANTY DEED: 2404535, H.C.D.R.

ADJOINER:
OWNER: GARCIA EUGENIA
PROPERTY I.D. NO.: 178868
WARRANTY DEED: 2300685, H.C.D.R.

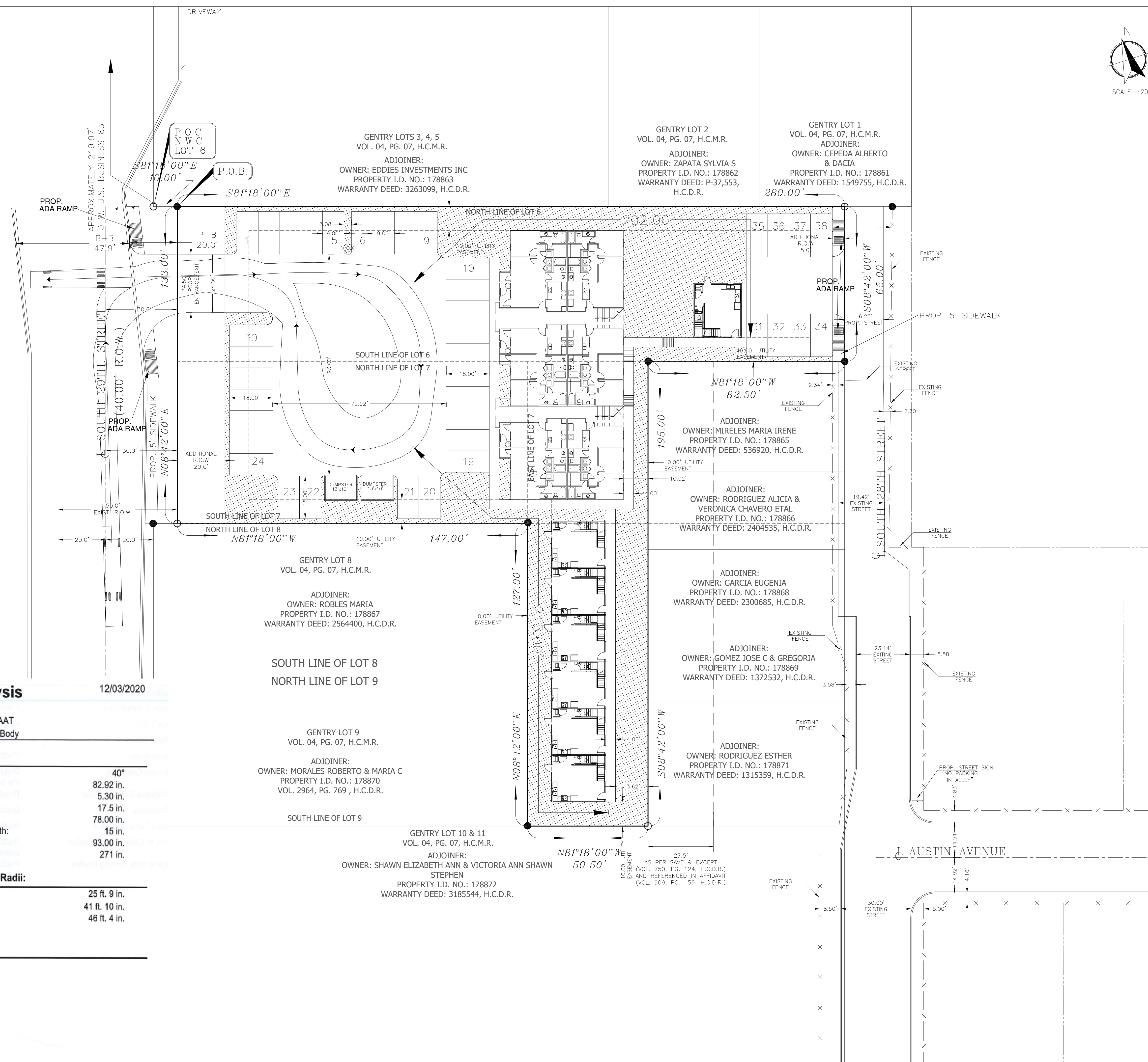
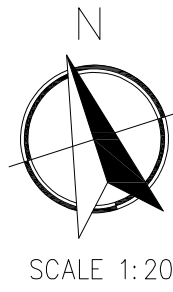
ADJOINER:
OWNER: GOMEZ JOSE C & GREGORIA
PROPERTY I.D. NO.: 178869
WARRANTY DEED: 1372532, H.C.D.R.

ADJOINER:
OWNER: RODRIGUEZ ESTHER
PROPERTY I.D. NO.: 178871
WARRANTY DEED: 1315359, H.C.D.R.

GENTRY LOT 2
VOL. 04, PG. 07, H.C.M.R.
ADJOINER:
OWNER: ZAPATA SYLVIA S
PROPERTY I.D. NO.: 178862
WARRANTY DEED: P-37,553,
H.C.D.R.

GENTRY LOT 1
VOL. 04, PG. 07, H.C.M.R.
ADJOINER:
OWNER: CEPEDA ALBERTO & DACIA
PROPERTY I.D. NO.: 178861
WARRANTY DEED: 1549755, H.C.D.R.

GENTRY LOTS 3, 4, 5
VOL. 04, PG. 07, H.C.M.R.
ADJOINER:
OWNER: EDDIES INVESTMENTS INC
PROPERTY I.D. NO.: 178863
WARRANTY DEED: 3263099, H.C.D.R.



Turning Performance Analysis

12/03/2020

Bid Number: 324
Department: McAllen Fire Department

Chassis: Velocity Chassis, 100AAT
Body: Aerial, 100AAT, Alum Body

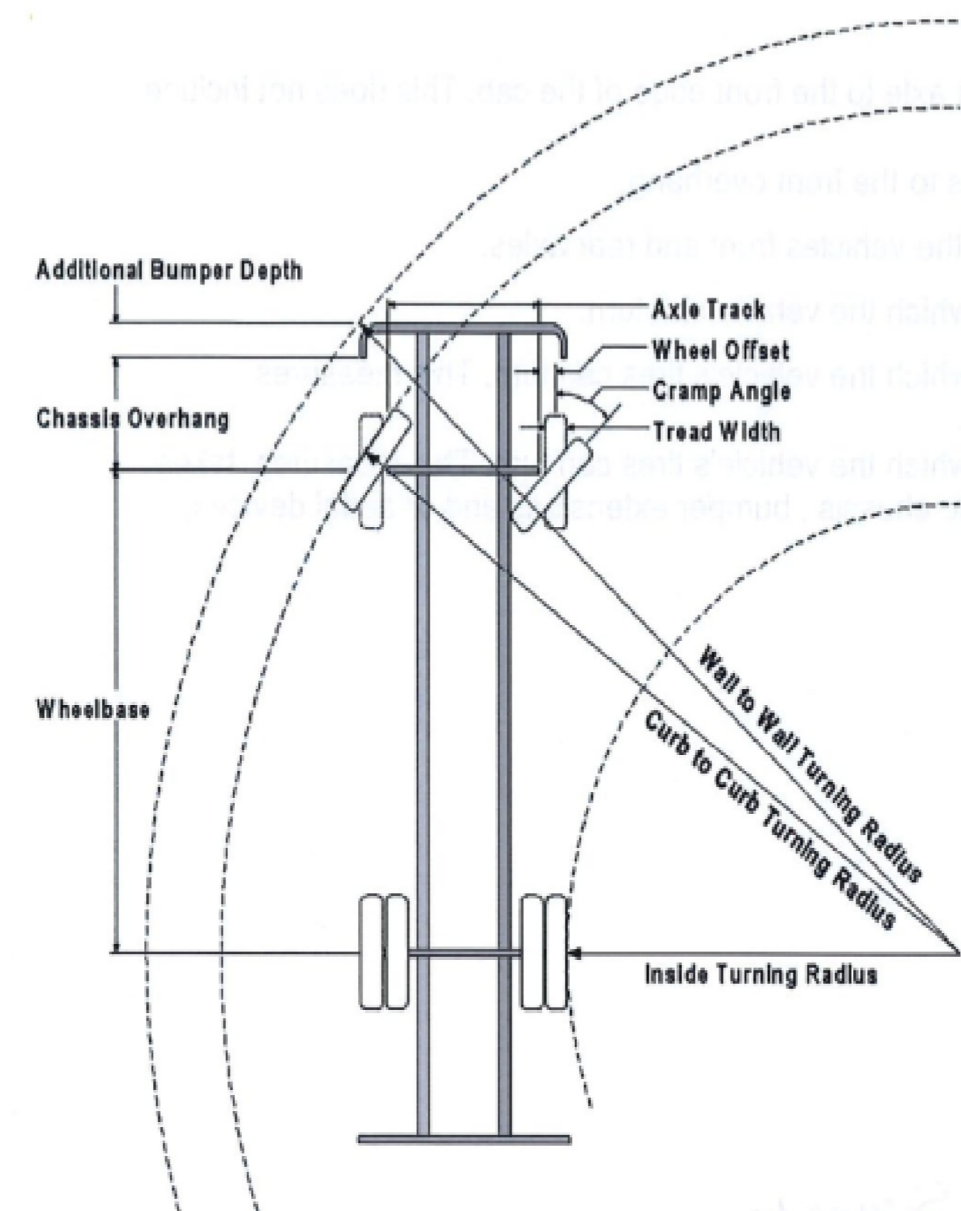
Parameters:

Inside Cramp Angle:	40°
Axle Track:	82.92 in.
Wheel Offset:	5.30 in.
Tread Width:	17.5 in.
Chassis Overhang:	78.00 in.
Additional Bumper Depth:	15 in.
Front Overhang:	93.00 in.
Wheelbase:	271 in.

Calculated Turning Radii:

Inside Turn:	25 ft. 9 in.
Curb to curb:	41 ft. 10 in.
Wall to wall:	46 ft. 4 in.

Comments:



MAS ENGINEERING LLC.
 CONSULTING ENGINEERING
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SHEET NAME:
FIRE TRUCK AUTOTURN

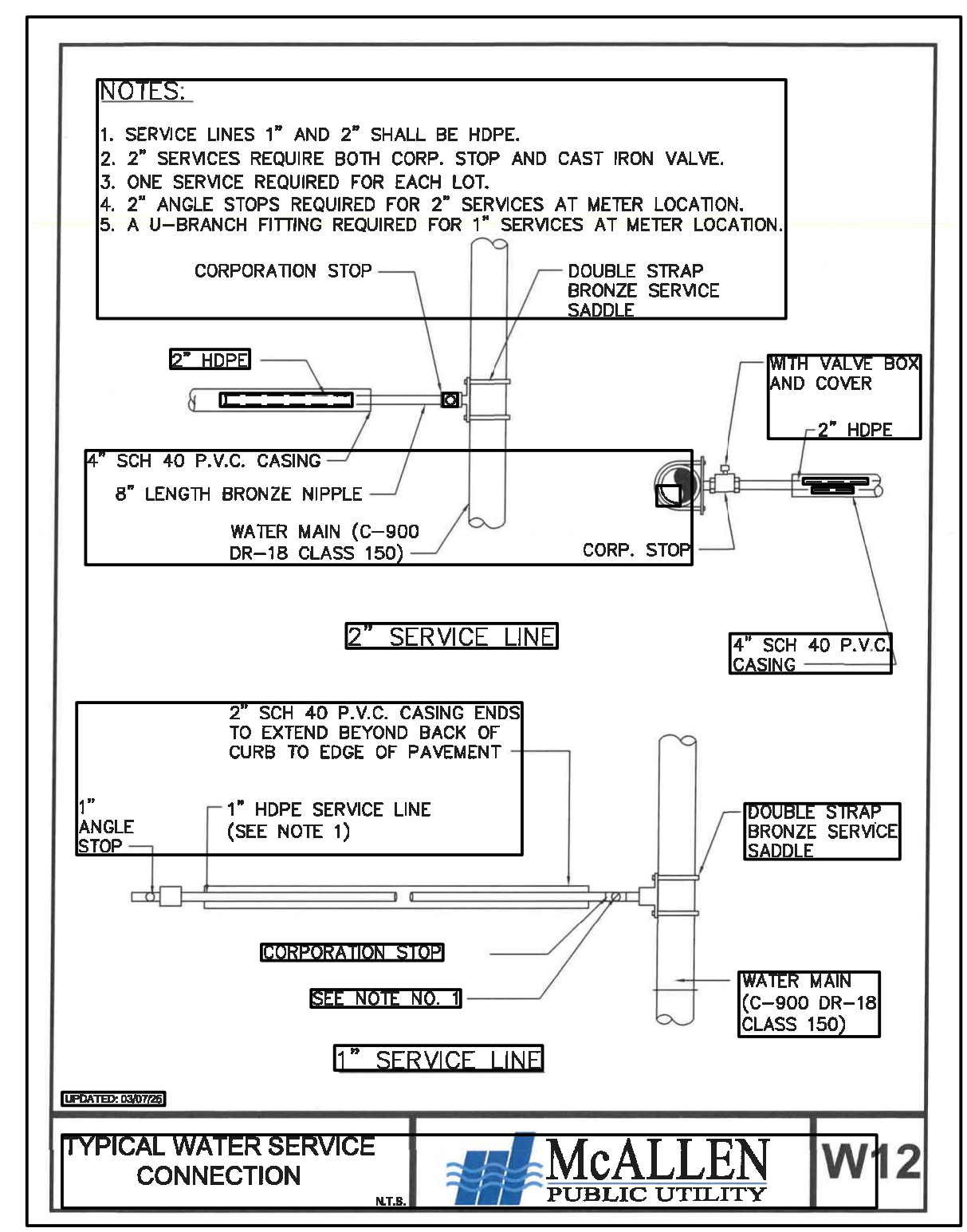
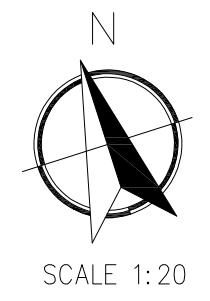
REVISION: 5 BY: JB APPROVED BY: MAS

DATE OF PREPARATION:
 05-08-2026

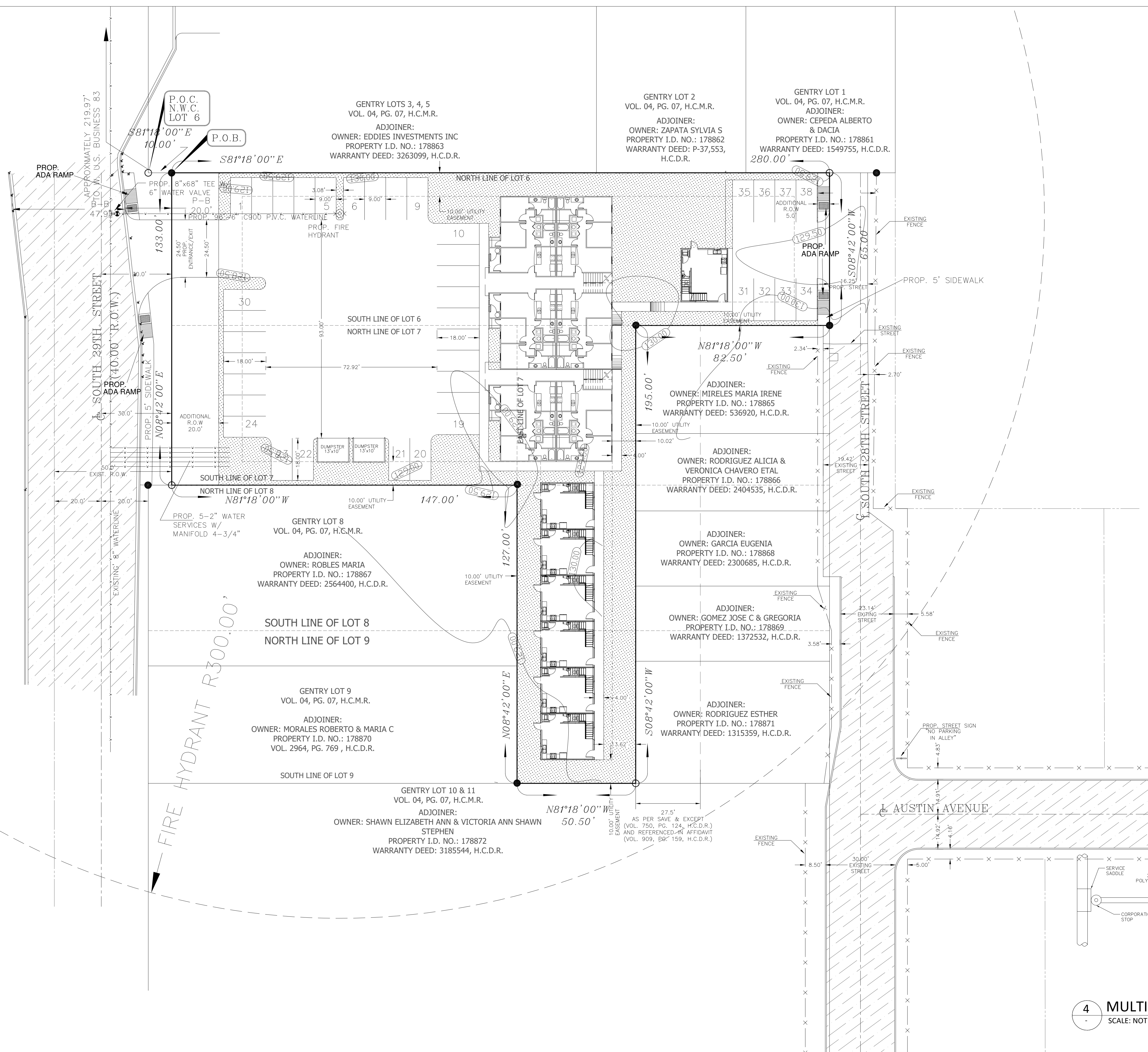
PROJECT No. SHEET No.
 C-1.1

LEGEND

- FOUND 1/2" IRON ROD
- SET 1/2" IRON ROD WITH YELLOW CAP MARKED "SEA 5782"
- R.O.W. RIGHT OF WAY
- P-B PROPERTY LINE TO BACK OF CURB
- B-B BACK OF CURB TO BACK OF CURB
- WV WATER VALVE
- SP SINGLE POLE SIGN (TYPE ON PLAN)
- SMH SANITARY SEWER MANHOLE
- DMH STORM DRAIN MANHOLE
- FX FIRE HYDRANT



4 MULTIPLE WATER SERVICE INSTALLATION
SCALE: NOT TO SCALE



PROJECT NAME: MY HOME CROSSING DREAMS SUBDIVISION
 ADDRESS: S 29TH STREET MCALEEN, TEXAS
 CLIENT INFORMATION: MY HOME, LLC

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 FIRM NO. F-15499

3911 N 10TH STREET, SUITE H
 MCALEEN, TEXAS. 78501

SHEET NAME: **WATER PLAN**

REVISION: 5 BY: JB APPROVED BY: MAS

DATE OF PREPARATION: 05-08-2026

PROJECT No. SHEET No. C-2

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LEGEND

- FOUND 1/2" IRON ROD
- SET 1/2" IRON ROD WITH YELLOW CAP MARKED "SEA 5782"
- R.O.W. RIGHT OF WAY
- P-B PROPERTY LINE TO BACK OF CURB
- B-B BACK OF CURB TO BACK OF CURB
- ⊗ WV WATER VALVE
- ⊕ MH SINGLE POLE SIGN (TYPE ON PLAN)
- ⊕ MH SANITARY SEWER MANHOLE
- ⊕ MH STORM DRAIN MANHOLE
- ⊗ X FIRE HYDRANT



PROJECT NAME:
MY HOME CROSSING DREAMS SUBDIVISION

ADDRESS:
S 29TH STREET McALLEN, TEXAS

CLIENT INFORMATION:
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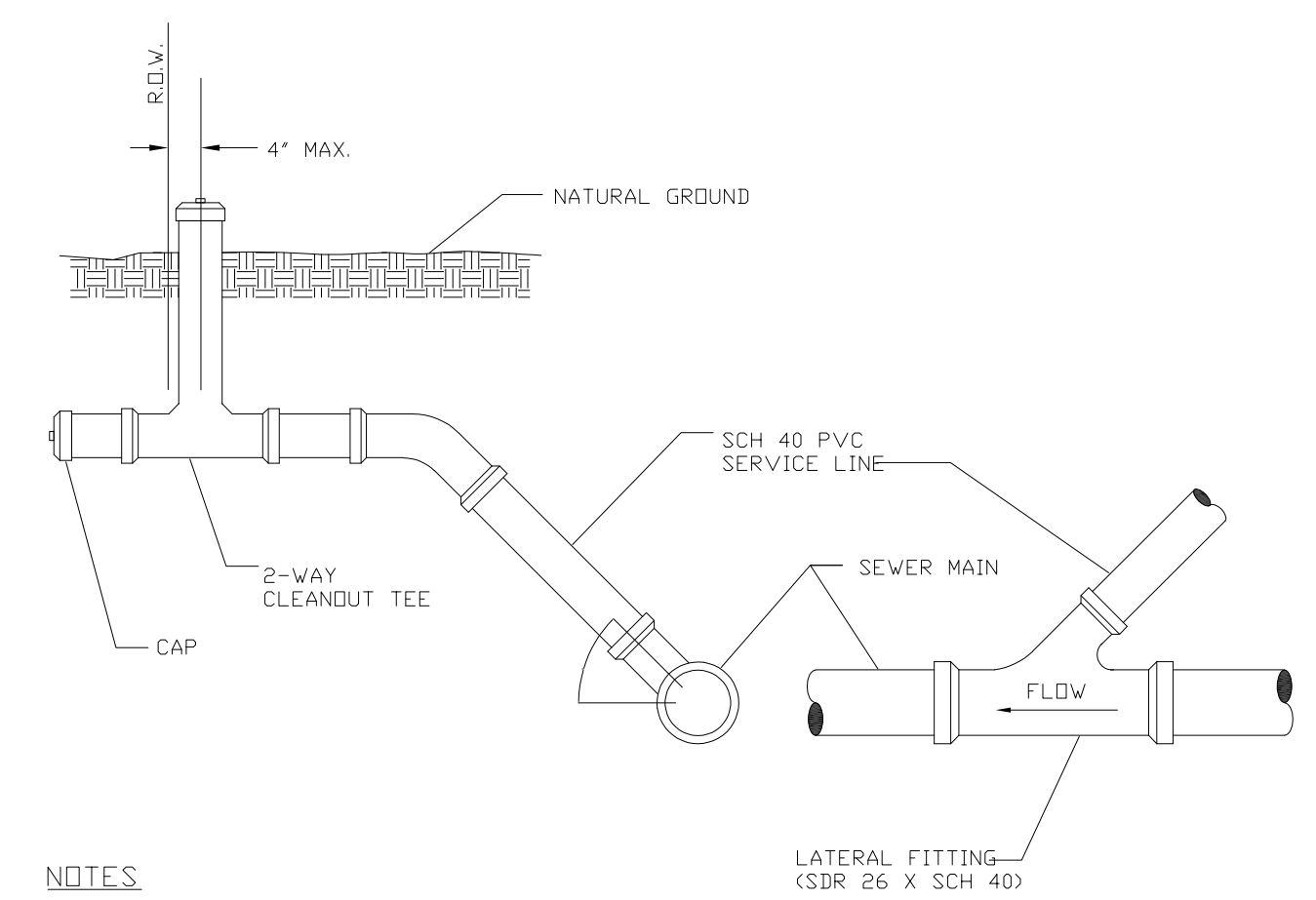
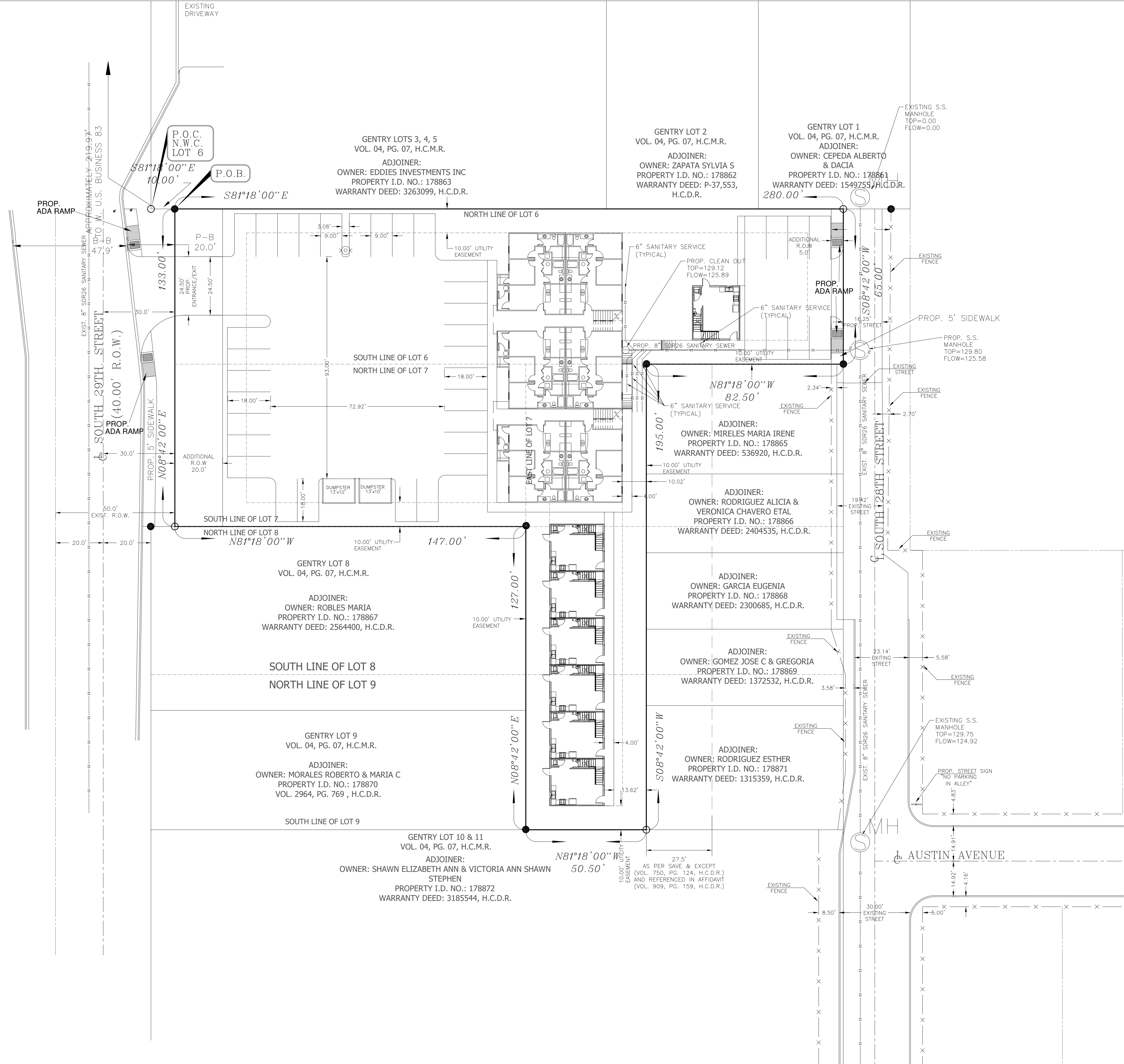
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SHEET NAME:
SANITARY SEWER PLAN

REVISION: 1 BY: JB APPROVED BY: MAS

DATE OF PREPARATION:
03-16-2026

PROJECT No. SHEET No.
C-3



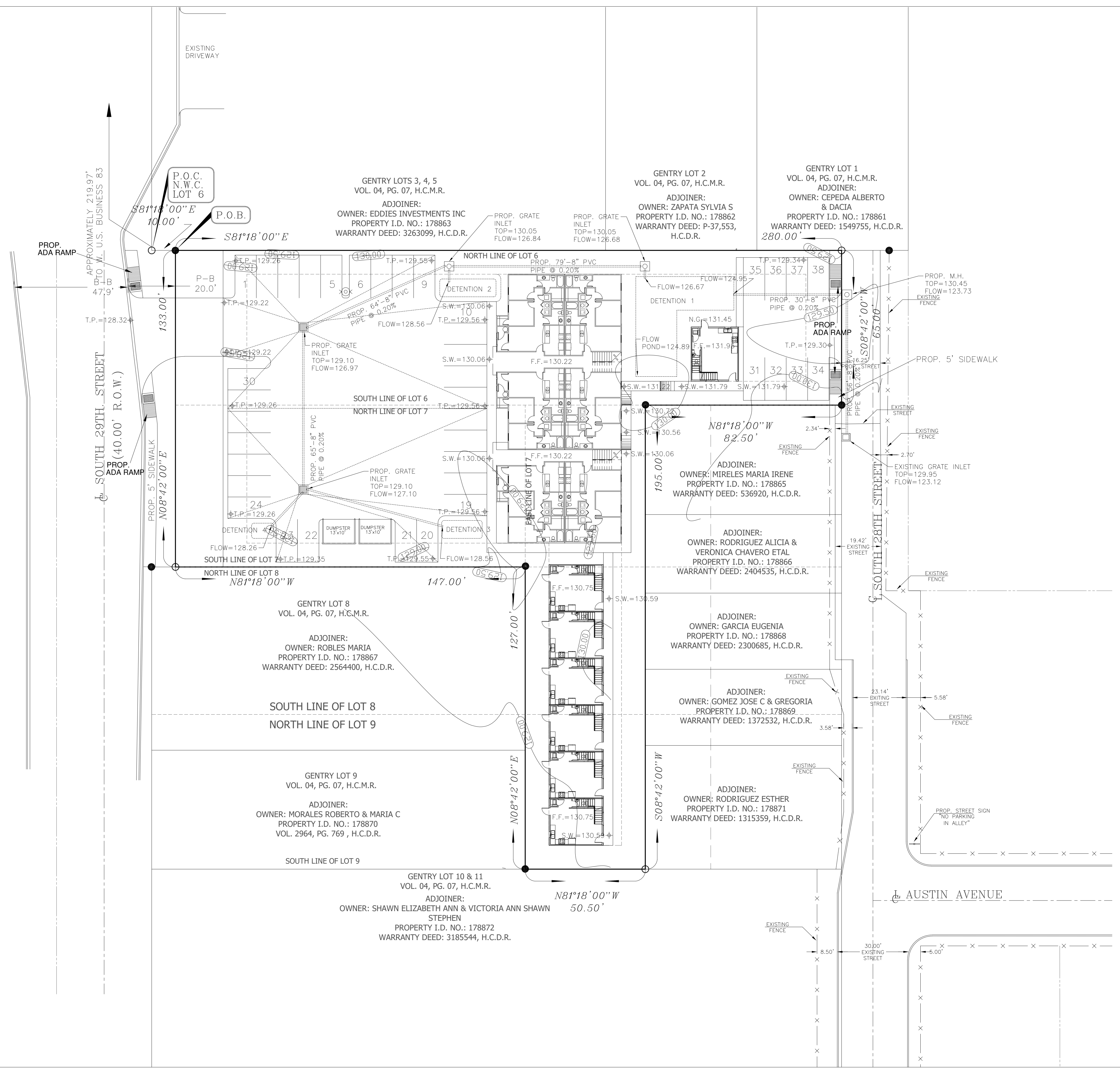
- NOTES
- INDIVIDUAL SERVICE LATERALS TO BE PROVIDED TO EACH LOT.
 - SINGLE FAMILY SERVICE SHALL BE 4" MIN. MULTI-FAMILY, COMMERCIAL, AND INDUSTRIAL SERVICE SHALL BE 6" OR GREATER AS REQUIRED.

TYPICAL SERVICE SANITARY SEWER



LEGEND

- FOUND 1/2" IRON ROD
- SET 1/2" IRON ROD WITH YELLOW CAP MARKED "SEA 5782"
- R.O.W. RIGHT OF WAY
- P-B PROPERTY LINE TO BACK OF CURB
- B-B BACK OF CURB TO BACK OF CURB
- WV WATER VALVE
- SPS SINGLE POLE SIGN (TYPE ON PLAN)
- SMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- FX FIRE HYDRANT



DETENTION STORAGE VOLUME	
NAME	VOLUME (C.F.)
I DET. POND-1	6,584.00
II DET. POND-2	365.00
III DET. POND-3	190.00
IV DET. POND-4	87.00
TOTAL	7,226.00

TOTAL VOL. REQ.	0.15 Ac-ft/6,581.00 C.F.
TOTAL VOL. PROV.	0.16 Ac-ft/7,226.00 C.F.

PROJECT NAME:
MY HOME CROSSING DREAMS SUBDIVISION

ADDRESS:
S 29TH STREET McALLEN, TEXAS

CLIENT INFORMATION:
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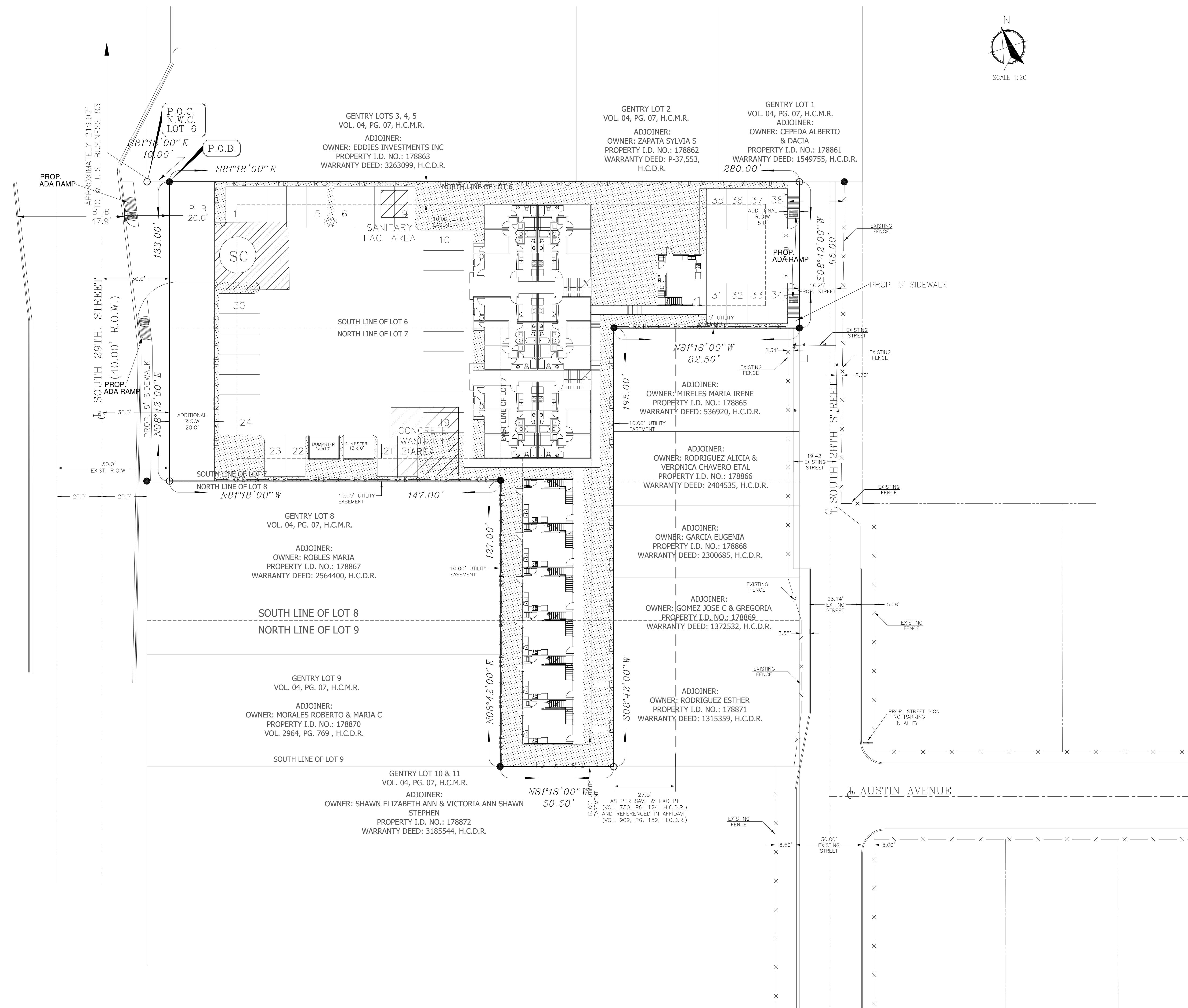
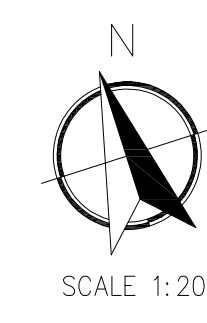
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SHEET NAME:
STORM SEWER PLAN

REVISION: 5 BY: JB APPROVED BY: MAS

DATE OF PREPARATION:
05-08-2026

PROJECT No. SHEET No.
C-5



PROJECT NAME:
MY HOME CROSSING DREAMS SUBDIVISION

ADDRESS:
S 29TH STREET McALLEN, TEXAS

CLIENT INFORMATION:
MY HOME, LLC

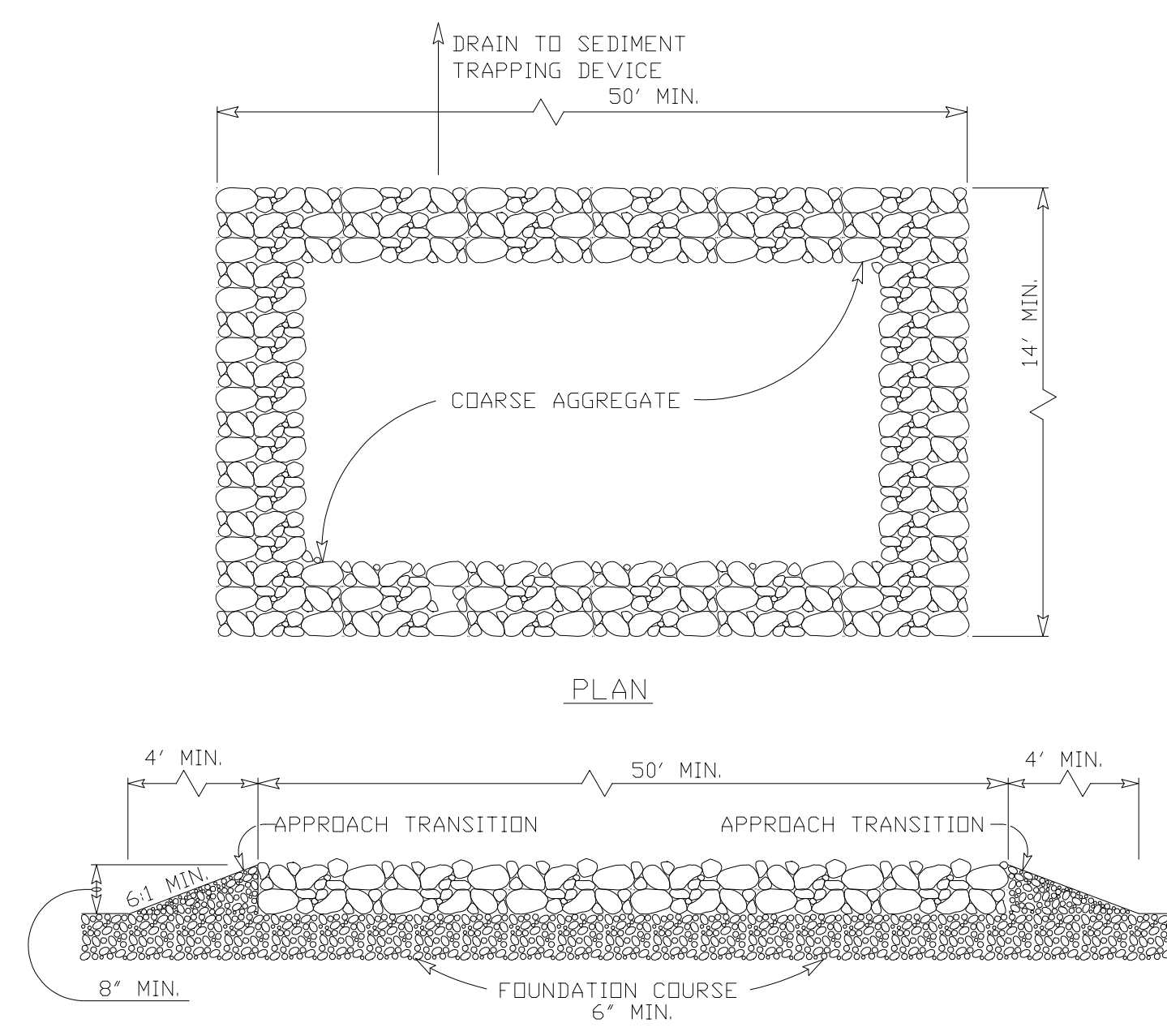
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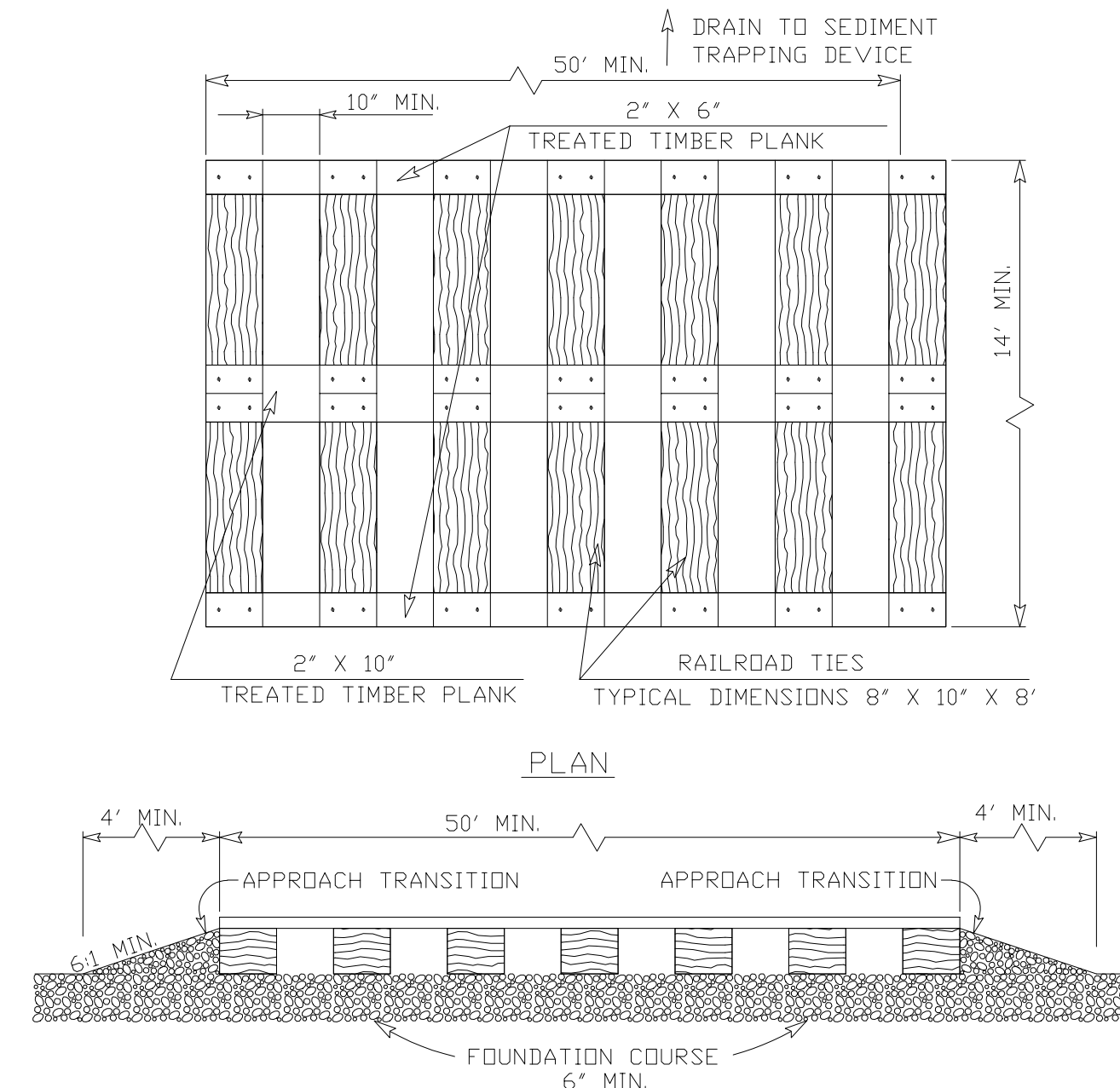
SHEET NAME: SW3P		
REVISION: 5	BY: JB	APPROVED BY: MAS
DATE OF PREPARATION: 05-08-2026		
PROJECT No.	SHEET No. C-6	



PROFILE

- NOTES:
1. THE LENGTH OF THE TYPE 1 CONSTRUCTION EXIT SHALL BE AS INDICATED ON THE PLANS, BUT NOT LESS THAN 50'.
 2. THE COARSE AGGREGATE SHOULD BE OPEN GRADED WITH A SIZE OF 4" TO 24" LESS THAN 50'.
 3. THE APPROACH TRANSITIONS SHOULD BE NO STEEPER THAN 6:1 AND CONSTRUCTED AS DIRECTED BY THE ENGINEER.
 4. THE CONSTRUCTION EXIT FOUNDATION COURSE SHALL BE FLEXIBLE BASE, BITUMINOUS CONCRETE, PORTLAND CEMENT CONCRETE OR OTHER MATERIAL AS APPROVED BY THE ENGINEER.
 5. THE CONSTRUCTION EXIT SHALL BE GRADED TO ALLOW DRAINAGE TO A SEDIMENT TRAPPING DEVICE.
 6. THE GUIDELINES SHOWN HEREON ARE SUGGESTIONS ONLY AND MAY BE MODIFIED BY THE ENGINEER.

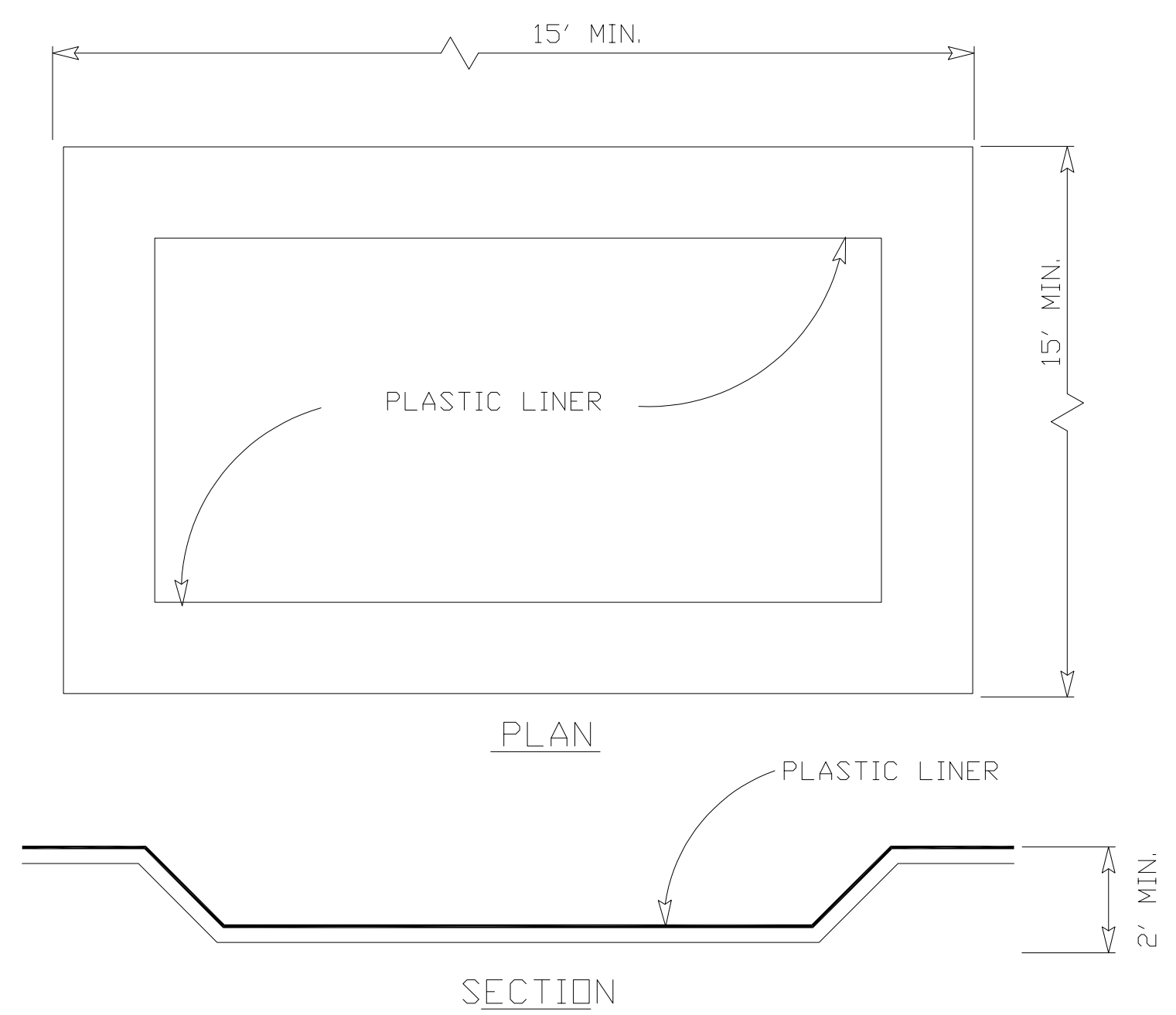
CONSTRUCTION INGRESS/EGRESS SEDIMENT CONTROL TYPE 1



PROFILE

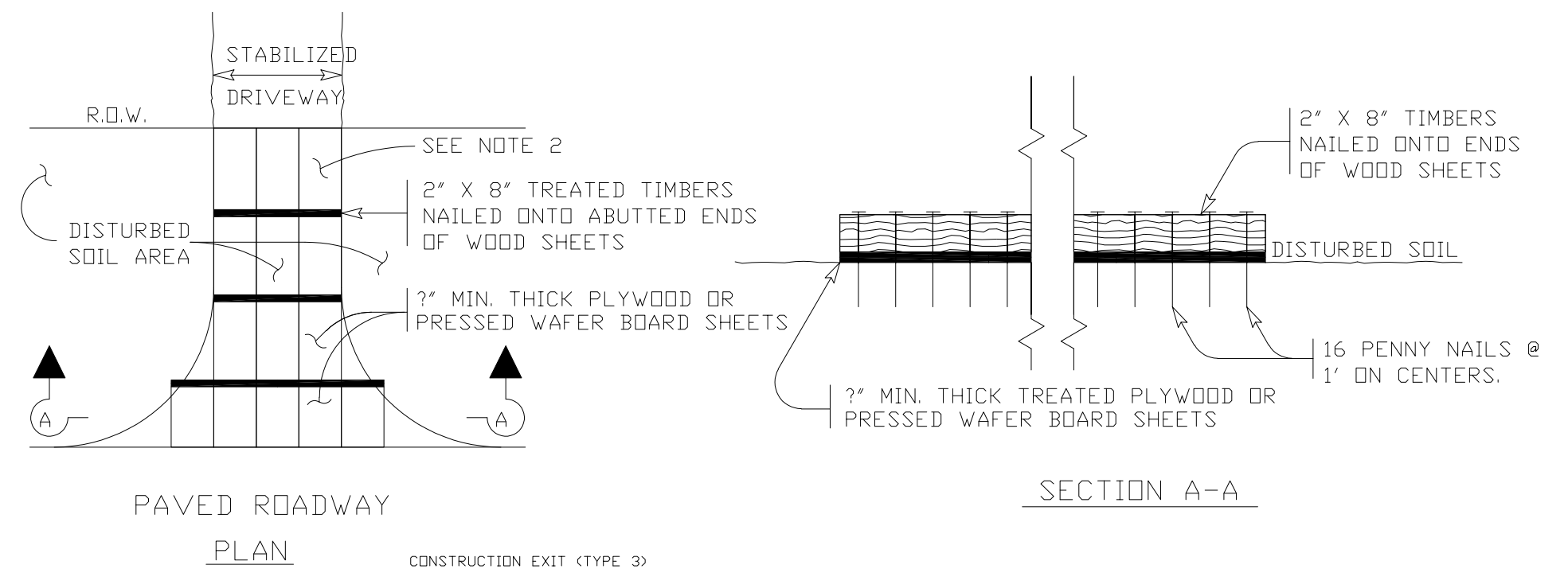
- NOTES:
1. THE LENGTH OF THE TYPE 2 CONSTRUCTION EXIT SHALL BE AS INDICATED ON THE PLANS, BUT NOT LESS THAN 50'.
 2. THE TREATED TIMBER PLANKS SHALL BE ATTACHED TO THE RAILROAD TIES WITH 6" MIN. LAG BOLTS. OTHER FASTENERS MAY BE USED AS APPROVED BY THE ENGINEER.
 3. THE TREATED TIMBER PLANKS SHALL BE #2 GRADE MIN. AND SHALL BE FREE FROM LARGE AND LOOSE KNOTS.
 4. THE APPROACH TRANSITIONS SHALL BE NO STEEPER THAN 6:1 AND CONSTRUCTED AS DIRECTED BY THE ENGINEER.
 5. THE CONSTRUCTION EXIT FOUNDATION COURSE SHALL BE FLEXIBLE BASE, BITUMINOUS CONCRETE, PORTLAND CEMENT CONCRETE OR OTHER MATERIAL AS APPROVED BY THE ENGINEER.
 6. THE CONSTRUCTION EXIT SHOULD BE GRADED TO ALLOW DRAINAGE TO A SEDIMENT TRAPPING DEVICE.
 7. THE GUIDELINES SHOWN HEREON ARE SUGGESTIONS ONLY AND MAY BE MODIFIED BY THE ENGINEER.

CONSTRUCTION INGRESS/EGRESS SEDIMENT CONTROL TYPE 2



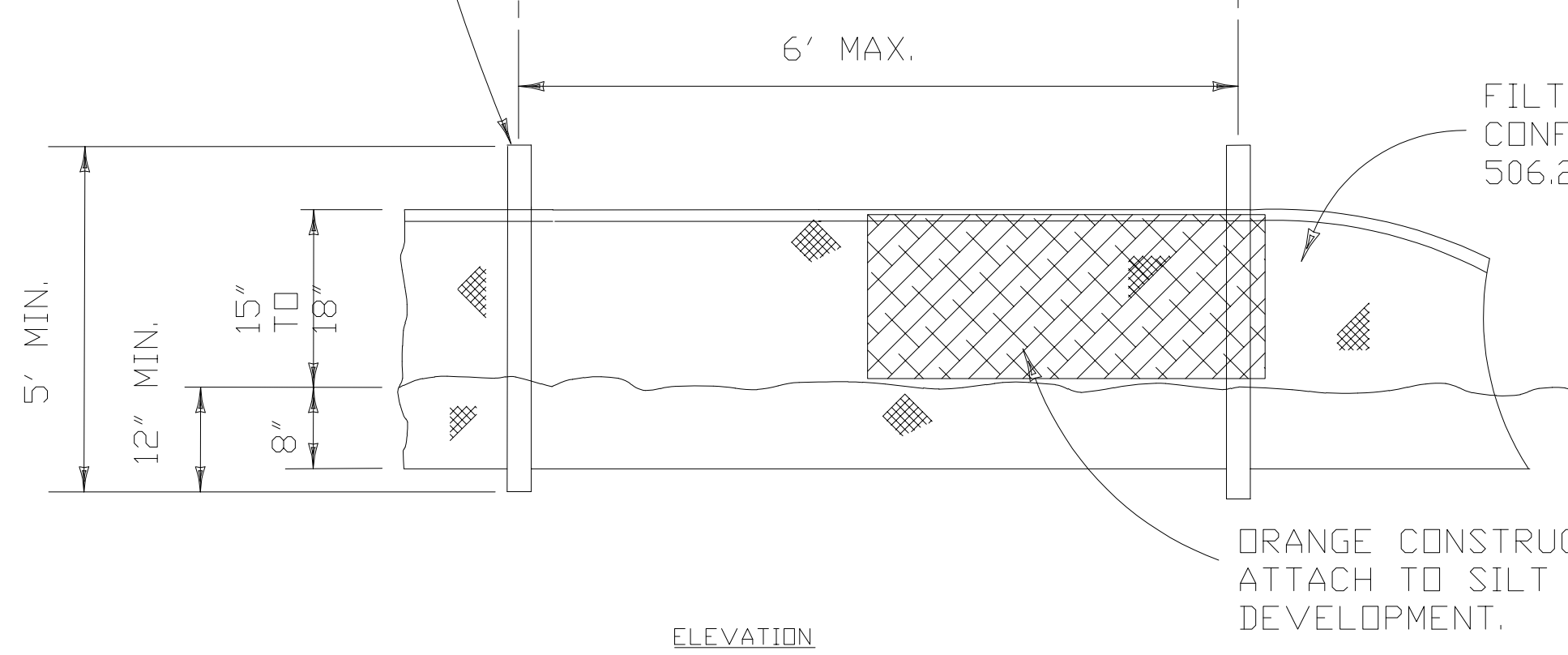
SECTION

CONCRETE WASHOUT DETAIL

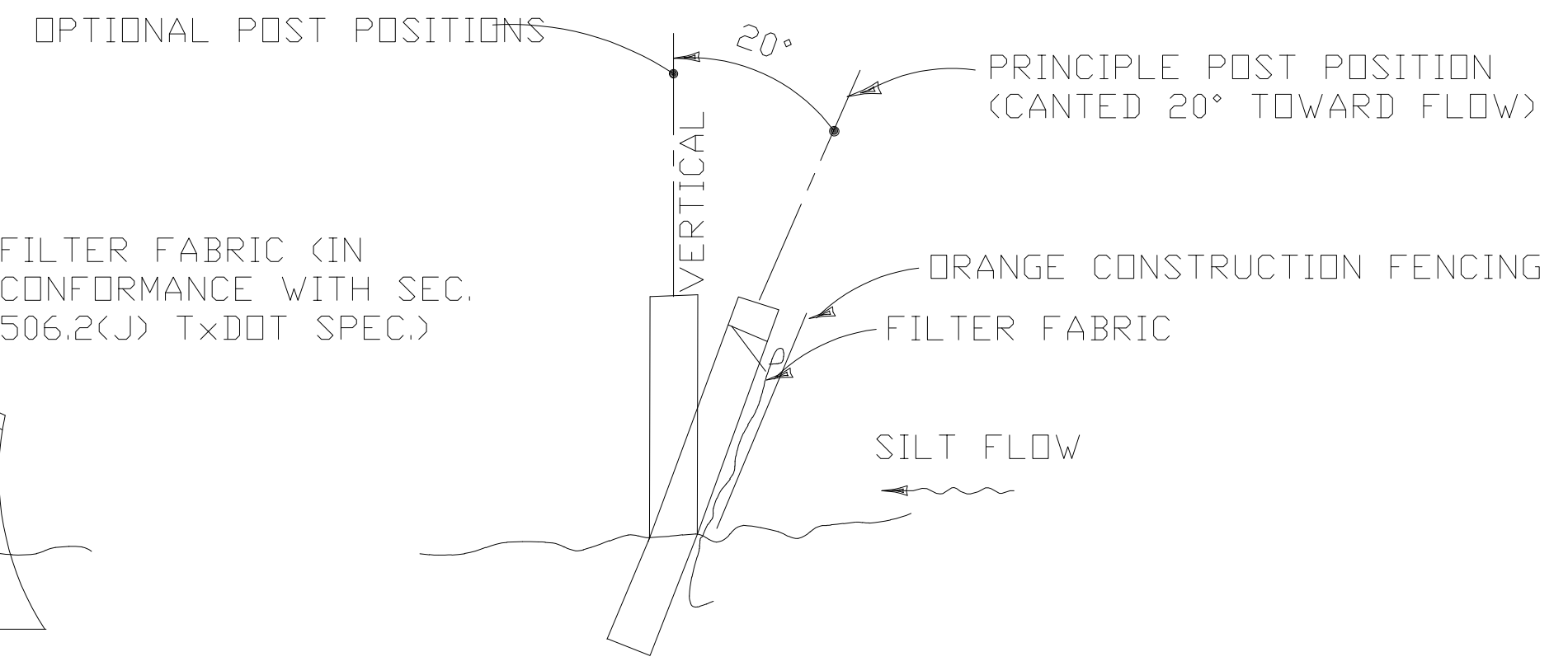


SECTION A-A

- POST OPTIONS:
 SOFT WOOD 3" DIA. MIN.
 WOOD 2" X 4"
 HARDWOOD 1-1/2" X 1-1/5"
 'T' OR 'L' STEEL, 1.3 LBS/FT. MIN.



ELEVATION



SECTION

SILT & CONSTRUCTION FENCE DETAIL

- NOTES:
1. THE LENGTH OF THE TYPE 3 CONSTRUCTION EXIT SHALL BE AS SHOWN ON THE PLANS, OR AS DIRECTED BY THE ENGINEER.
 2. THE TYPE 3 CONSTRUCTION EXIT MAY BE CONSTRUCTED FROM OPEN GRADED CRUSHED STONE WITH A SIZE OF TWO TO FOUR INCHES SPREAD A MIN OF 4" THICK TO THE LIMITS SHOWN ON THE PLANS.
 3. THE TREATED TIMBER PLANKS SHALL BE #2 GRADE MIN. AND SHOULD BE FREE FROM LARGE AND LOOSE KNOTS.
 4. THE GUIDELINES SHOWN HEREON ARE SUGGESTIONS ONLY AND MAY BE MODIFIED BY THE ENGINEER.

CONSTRUCTION INGRESS/EGRESS SEDIMENT CONTROL TYPE 3

PROJECT NAME:
 MY HOME CROSSING DREAMS SUBDIVISION

ADDRESS:
 S 29TH STREET McALLEN, TEXAS

CLIENT INFORMATION:
 MY HOME, LLC

MAS ENGINEERING LLC.
 CONSULTING ENGINEERING
 FIRM NO. F-15499

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 McALLEN, TEXAS. 78501

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SHEET NAME: SW3P DETAILS		
REVISION: 5	BY: JB	APPROVED BY: MAS
DATE OF PREPARATION: 05-08-2026		
PROJECT No.	SHEET No. C-6.1	



Reviewed On: 6/11/2026

SUBDIVISION NAME: MY HOME CROSSING DREAMS	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>South 28th Street: Existing R.O.W needs to be labeled for South 28th Street to establish dedication for 25 ft. from centerline for 50 ft. R.O.W. Paving 32 ft. Curb & gutter both sides -remove the "40.00 ft." ROW below the street name. The ROW Varies. - Add "dedicated by this plat" below the dedication given "5ft" **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Required
<p>South 29th Street: Dedicate 50 ft from centerline for a 100 ft. of total R.O.W. Paving 65 ft. Curb & gutter both sides - Label "total" "existing" on plat. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Required
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length _____ **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 900 ft. Block Length for R-3 Zone Districts _____ **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 600 ft. Maximum Cul-de-Sac _____ **Subdivision Ordinance: Section 134-105</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEYS	
ROW: 20ft. Paving 16ft. *Alley/service drive easement required for commercial/multifamily properties. -If service drive is proposed a plat note stating "A minimum 24 ft. private service drive will be established as part of the site plan and must be maintained by the lot owners and not the City of McAllen", prior to final. **Subdivision Ordinance: Section 134-106	Required
SETBACKS	
Front: 20 ft. or greater for easements, or approved site plan, whichever is greater. Revision needed: - Please revise plat note as shown above. **Zoning Ordinance: Section 138-356 Rear: 10 ft. or greater for easements. **Zoning Ordinance: Section 138-356 Sides: 5 ft. or greater for easements, whichever is greater. **Zoning Ordinance: Section 138-356 ** Corner: 10 ft. or greater for easements. **Zoning Ordinance: Section 138-356 * Garage 18 ft. except where greater setbacks required, greater setbacks applies. -Add plat note as stated above **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Required
	Applied
	Applied
	NA
	Required
	Applied
SIDEWALKS	
* 4 ft. wide minimum sidewalk required on South 29th Street and South 28th Street. -revise plat note as stated above. - A variance request to not provide a sidewalk on South 28th street was not submitted, therefore, sidewalk required. -The subdivision does not have interior streets. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements.	Required
	Non-compliance
	Required
NOTES	
* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	Applied
	NA

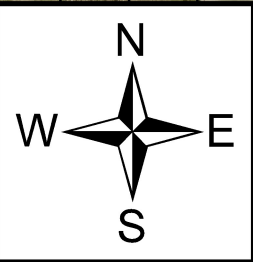
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p>	<p>Applied</p>
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	<p>Applied</p>
<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	<p>Required</p>
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	<p>Required</p>
<p>LOT REQUIREMENTS</p>	
<p>* Lots fronting public streets _____ **Subdivision Ordinance: Section 134-1</p>	<p>Applied</p>
<p>* Minimum lot width and lot area _____ **Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>ZONING/CUP</p>	
<p>Existing: R-3 Proposed R-3 ***Zoning Ordinance: Article V</p>	<p>Applied</p>
<p>* Rezoning Needed Before Final Approval - A rezoning application was submitted and was heard at the Planning and Zoning Commission Board on May 12, 2025, and was approved for an R-3 District.</p>	<p>Applied</p>
<p>PARKS</p>	
<p>Pending review by the Parkland Dedication Advisory Board and CC. Park Fee of \$700 per lot/dwelling (19) unit to be paid prior to recording (13,300) or as per Parks Department. -if the number of units changes, the park fee will be adjusted.</p>	<p>Required</p>
<p>Pending review by the Parkland Dedication Advisory Board and CC. Park Fee of \$700 per lot/dwelling (19) unit to be paid prior to recording (13,300) or as per Parks Department. -if the number of units changes, the park fee will be adjusted.</p>	<p>Required</p>
<p>Pending review by the Parkland Dedication Advisory Board and CC. Park Fee of \$700 per lot/dwelling (19) unit to be paid prior to recording (13,300) or as per Parks Department. -if the number of units changes, the park fee will be adjusted.</p>	<p>Required</p>
<p>TRAFFIC</p>	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. - TG HONORED, LESS UNITS FROM APPROVED 22 UNITS TO 19 UNITS</p>	<p>Applied</p>
<p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	<p>Applied</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

COMMENTS	
Comments: *Must comply with City's Access Management Policy. - Please confirm if the subdivision will have an HOA.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO MPU APPROVAL.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



No. 3
48 47 46
ASH AVE.

LOCATION

U. S. HWY 83

**PROPOSED MY HOME
CROSSING DREAMS
SUBDIVISION**

GENTRY SUBDIVISION

ALTAMIRA SUBDIVISION

UBDIVISION

BLK. 1

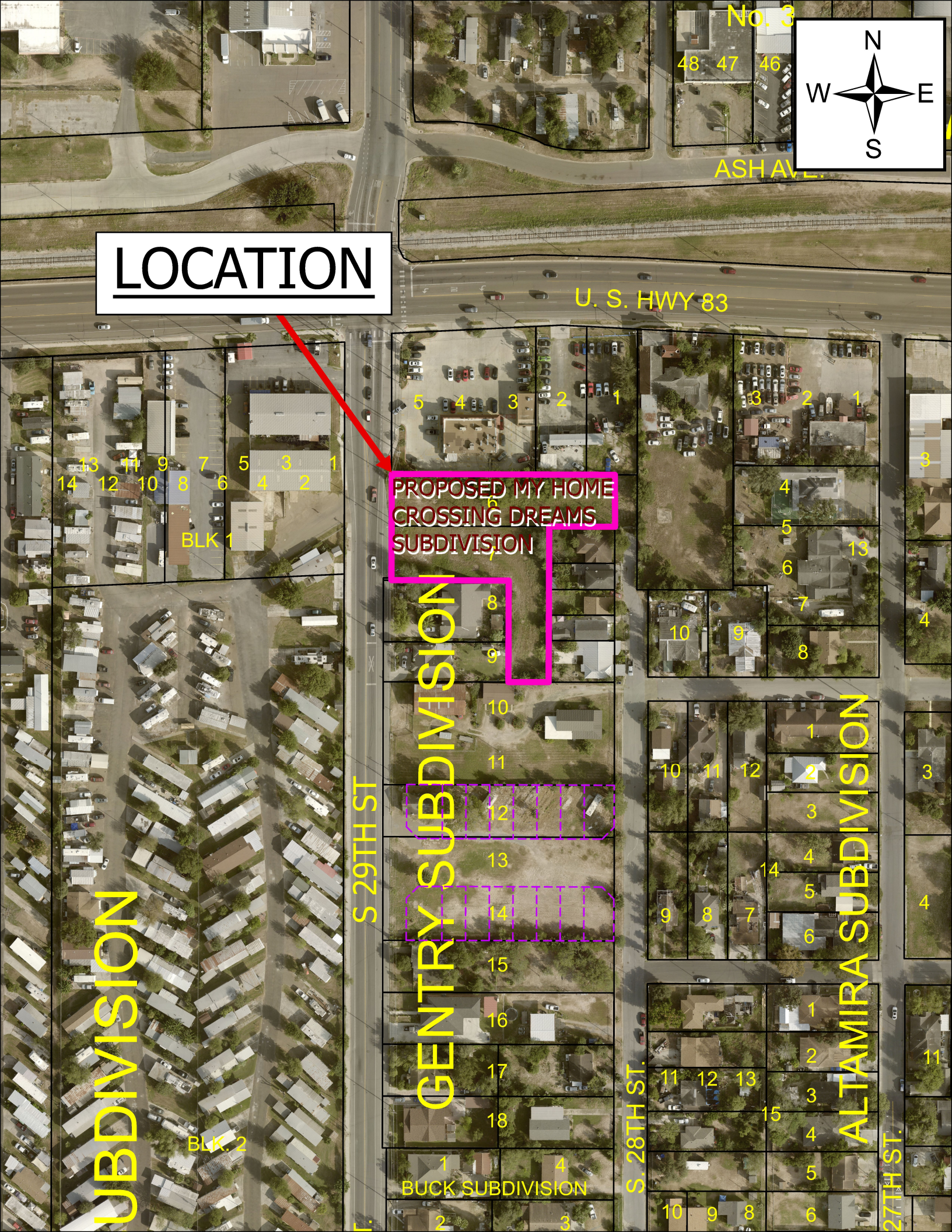
BLK. 2

BUCK SUBDIVISION

S 29TH ST

S. 28TH ST.

27TH ST.

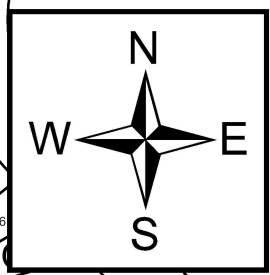


CITY OF McALLEN

Planning & Zoning Commission Meeting

Subdivision Name	<i>Aqualina at Tres Lagos Phase V Subdivision</i>
Owner Name	<i>Rhodes Development, Inc.</i>
Engineering Firm	<i>Melden & Hunt, Inc</i>
Existing Zoning	<i>R-1 Single Family Residential</i>
Proposed Zoning	<i>R-1 Single Family Residential</i>
Number of Lots	<i>50</i>

City of McAllen Planning Department



AQUALINA AT TRES LAGOS

PHASE III
SUBDIVISION

AQUALINA AT TRES LAGOS
PHASE II SUBDIVISION

AQUALINA AT TRES LAGOS
PHASE I SUBDIVISION

**PROPOSED
AQUALINA AT
TRES LAGOS
PHASE V
SUBDIVISION**

AQUALINA AT TRES LAGOS
PHASE IV SUBDIVISION

AQUALINA AT TRES LAGOS
SUBDIVISION
PHASE I

LOCATION

N STEWART RD

RUSSELL RD

SUBDIVISION MAP OF AQUALINA AT TRES LAGOS PHASE V SUBDIVISION

METES AND BOUNDS DESCRIPTION:

A TRACT OF LAND CONTAINING 20.873 ACRES SITUATED IN THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS SAID 20.873 ACRES OUT OF SECTION 227, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY ACCORDING TO THE PATENT ISSUED BY THE STATE OF TEXAS, RECORDED IN VOLUME 4, PAGES 142-143, HIDALGO COUNTY DEED RECORDS, SAID 20.873 ACRES WERE CONVEYED TO RHODES DEVELOPMENT INC. BY VIRTUE OF A SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 3207085, HIDALGO COUNTY OFFICIAL RECORDS, SAID 20.873 ACRES BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A NO. 4 REBAR FOUND AT THE SOUTHEAST CORNER OF SAID SECTION 227;

THENCE, N 61° 48' 45" W A DISTANCE OF 4,340.57 FEET TO A NO. 4 REBAR SET AT THE POINT OF BEGINNING AND THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;

1. THENCE, S 11° 00' 00" W A DISTANCE OF 115.38 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
2. THENCE, S 09° 30' 00" E A DISTANCE OF 193.58 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
3. THENCE, S 03° 09' 53" E A DISTANCE OF 326.15 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
4. THENCE, S 19° 30' 00" W A DISTANCE OF 111.67 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
5. THENCE, S 51° 24' 11" W A DISTANCE OF 126.17 FEET TO A NO. 4 REBAR SET FOR THE SOUTHEAST CORNER OF THIS TRACT;
6. THENCE, N 90° 00' 00" W A DISTANCE OF 298.78 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
7. THENCE, N 09° 30' 00" W A DISTANCE OF 266.96 FEET TO A NO. 4 REBAR SER FOR AN INSIDE CORNER OF THIS TRACT;
8. THENCE, IN A NORTHWESTERLY DIRECTION ALONG A CURVE TO THE RIGHT WITH A CENTRAL ANGLE OF 003° 27' 42", A RADIUS OF 620.00 FEET, AN ARC LENGTH OF 37.45 FEET, A TANGENT OF 18.73 FEET, AND A CHORD THAT BEARS N 07° 46' 09" W A DISTANCE OF 37.45 FEET, TO A NO. 4 REBAR SET AT AN INSIDE CORNER OF THIS TRACT;
9. THENCE, N 82° 00' 00" W A DISTANCE OF 580.61 FEET TO A NO. 4 REBAR SET FOR THE SOUTHWEST CORNER OF THIS TRACT;
10. THENCE, N 08° 56' 31" E A DISTANCE OF 952.84 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER OF THIS TRACT;
11. THENCE, S 81° 00' 00" E A DISTANCE OF 331.48 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
12. THENCE, S 46° 14' 40" E A DISTANCE OF 632.94 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
13. THENCE, S 79° 00' 00" E A DISTANCE OF 99.98 FEET TO THE POINT OF BEGINNING AND CONTAINING 20.873 ACRES OF LAND, MORE OR LESS.

BEING A SUBDIVISION OF 20.873 ACRES SITUATED IN THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, BEING OUT OF SECTION 227, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 4, PAGES 142-143, HIDALGO COUNTY DEED RECORDS

I, CARLOS LIMA, HEREBY CONDITIONALLY CERTIFY THAT POTABLE WATER SERVICE IS AVAILABLE FOR THE AQUALINA AT TRES LAGOS PHASE V SUBDIVISION LOCATED AT CITY OF McALLEN IN HIDALGO COUNTY, TEXAS, SUBJECT TO THE SUBDIVISION'S POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DEVELOPER'S DESIGN ENGINEER, ALL APPLICABLE RULES AND REGULATIONS OF SHARYLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE, AND FEDERAL AGENCIES.

DEVELOPER AND ITS DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER SYSTEM IS CONSTRUCTED WITHIN THE DESIGNATED SHARYLAND WATER SUPPLY CORPORATION EXCLUSIVE EASEMENT.

CARLOS LIMA
GENERAL MANAGER
SHARYLAND WATER SUPPLY CORPORATION

DATE

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN

DATE

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION

DATE

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE

THIS PLAT IS HEREBY APPROVED BY UNITED IRRIGATION DISTRICT ON THIS THE ____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHTS OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

ATTEST: _____
PRESIDENT SECRETARY

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS AQUALINA AT TRES LAGOS PHASE V, SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SANITARY SEWER LINES, STORM SEWERS, FIRE HYDRANTS, PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED THEREON SHOWN OR NOT SHOWN AND REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREON OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

RHODES DEVELOPMENT, INC.

DATE

NICK RHODES, PRESIDENT
200 S. 10TH ST., STE. 1700
McALLEN, TEXAS 78501
HIDALGO COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED NICK RHODES KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20____.

NOTARY PUBLIC, STATE OF, TEXAS
MY COMMISSION EXPIRES:

TRES LAGOS PUBLIC IMPROVEMENT DISTRICT HEREBY CERTIFIES AND APPROVES THIS PLAT AND ACCEPTS RESPONSIBILITIES AND NOTES INDICATED HEREIN.

NICK RHODES
CHAIRMAN OF PUBLIC IMPROVEMENT DISTRICT
200 S. 10TH ST., STE. 1700
McALLEN, TEXAS 78501
HIDALGO COUNTY, TEXAS

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

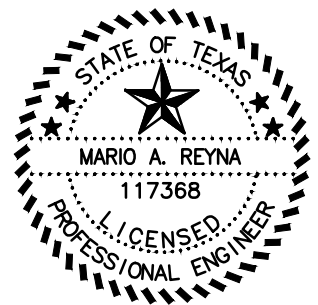
I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

DATED THIS THE ____ DAY OF _____, 20____.

MARIO A. REYNA, PROFESSIONAL ENGINEER No. 117368
STATE OF TEXAS

DATE PREPARED: 11/07/2025
ENGINEERING JOB # 25198.00

MELDEN & HUNT, INC.
TEXAS REGISTRATION F-1435

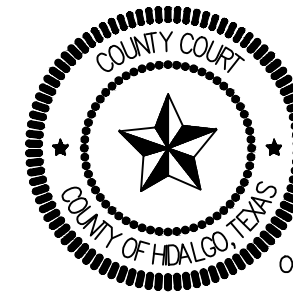


THE STATE OF TEXAS §
COUNTY OF HIDALGO §

I, THE UNDERSIGNED, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND BY ME OR UNDER MY SUPERVISION.

DATED THIS THE ____ DAY OF _____, 20____.

ROBERTO N. TAMEZ, REGISTERED PROFESSIONAL LAND SURVEYOR No. 6238
STATE OF TEXAS
DATE SURVEYED: 03/19/2026
T- PG
SURVEYING JOB No. 25198.00



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

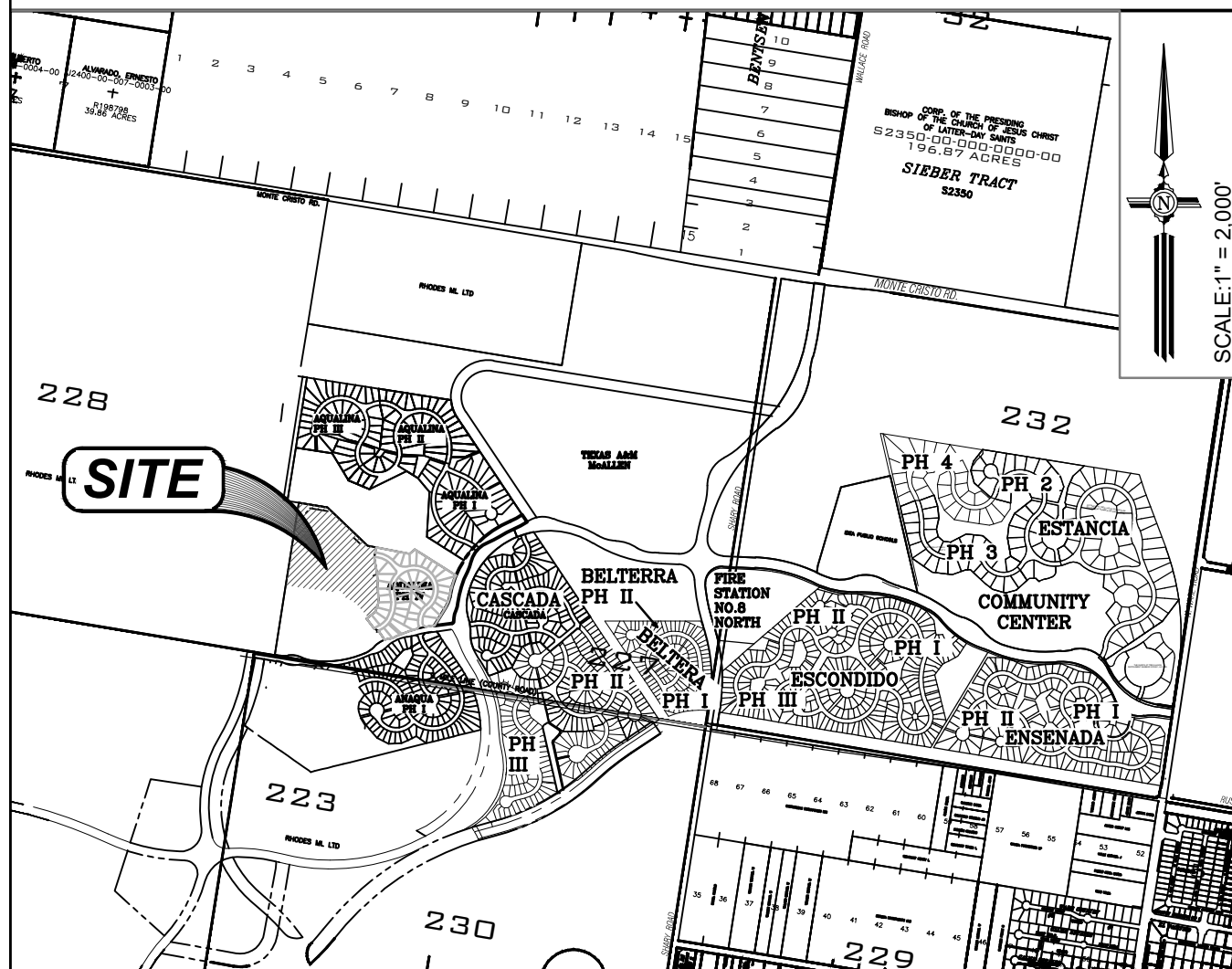
ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

SHEET 1 OF 2 SHEETS

LOCATION MAP



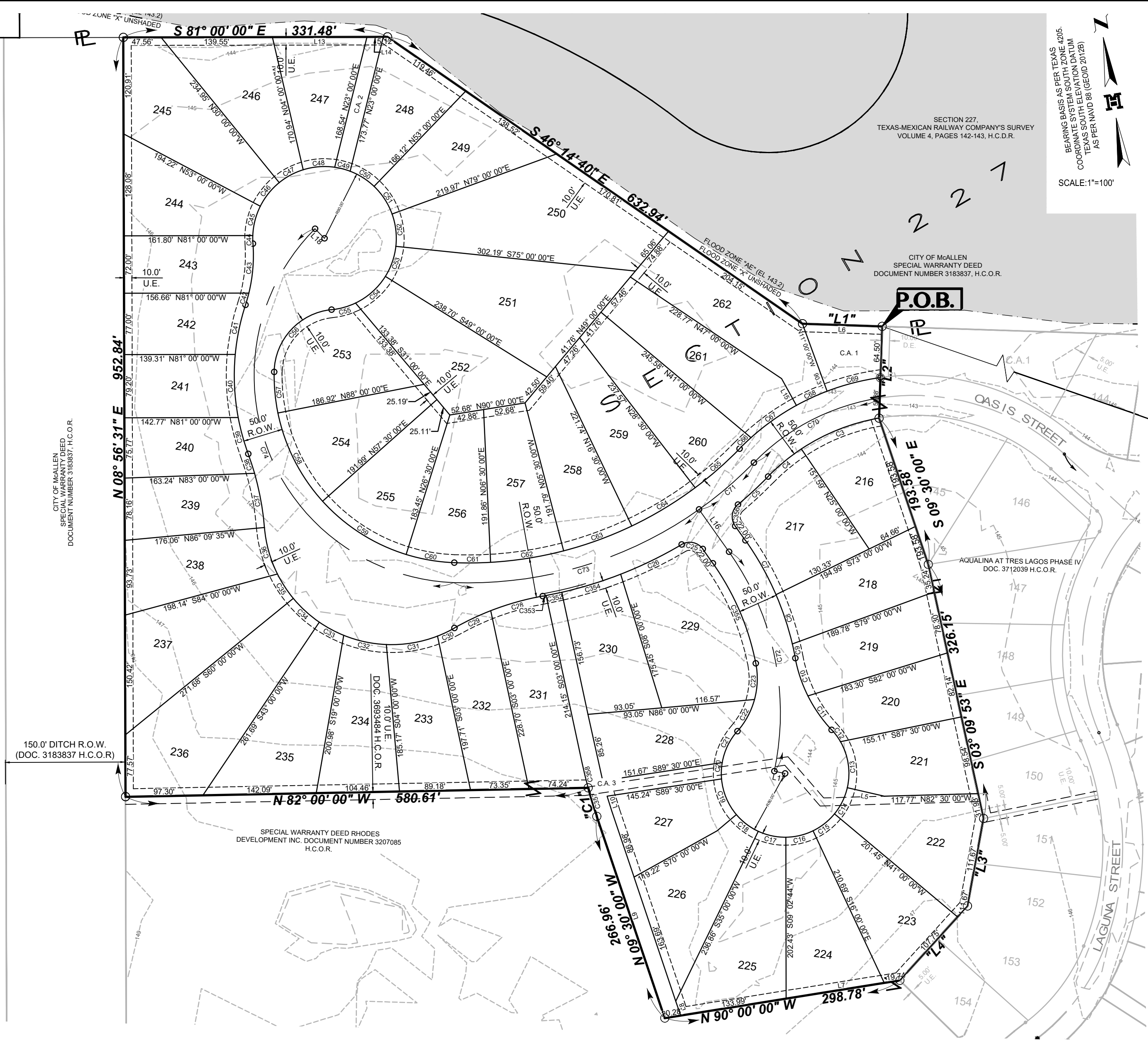
M MELDEN & HUNT, INC.
CONSULTANTS • ENGINEERS • SURVEYORS

115 W. McINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com

PRINCIPAL CONTACTS	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	NICK RHODES, MANAGER	200 S.10TH ST., SUITE 1700	McALLEN, TX 78501		
ENGINEER:	MARIO A. REYNA	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
SURVEYOR:	ROBERTO N. TAMEZ	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839

SUBDIVISION MAP OF AQUALINA AT TRES LAGOS PHASE V SUBDIVISION

BEING A SUBDIVISION OF 20.873 ACRES SITUATED IN THE CITY OF
McALLEN, HIDALGO COUNTY, TEXAS, BEING OUT OF SECTION 227,
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY ACCORDING TO THE
PLAT OR MAP THEREOF RECORDED IN VOLUME 4, PAGES 142-143,
HIDALGO COUNTY DEED RECORDS





City of McAllen
SUBDIVISION PLAT REVIEW

Reviewed On: 6/11/2026

SUBDIVISION NAME: AQUALINA AT TRES LAGOS PHASE V	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>Stewart Road: Dedication 80 ft. R.O.W Paving: 52 ft. Curb & gutter: both sides Stewart Road west of this location Revisions Required: - Show Stewart Road on plat. - Please provide the special warranty deed document. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Required
<p>Interior Streets: Dedication of 50 ft. ROW Paving: 32 ft. Curb & gutter: both sides - Street names will be established prior to recording. - Access to subdivision will be from phase IV of Aqualina. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Required
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>_____ Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length _____ **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 900 ft. Block Length for R-3 Zone Districts _____ **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac: - Cul-de-sac street length does not apply provided that the development uses the "coving method" and emergency access walk/drives are provided, per agreement. - as per Fire department, paving must be 96 ft. in diameter face to face. -Clarify if any islands may be proposed which will affect paving requirements. **Subdivision Ordinance: Section 134-105</p>	Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEYS	
ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106	NA
SETBACKS	
Front: 20 ft. or greater for easements - The proposed subdivision complies with minimum setback requirements, as per agreement. **Zoning Ordinance: Section 138-356	Applied
Rear- 11 ft. or greater for easements **Zoning Ordinance: Section 138-356	Applied
Sides: 5 ft. or greater for easements. - The proposed subdivision complies with minimum setback requirements, as per agreement. **Zoning Ordinance: Section 138-356	Applied
Side Corner: 10 ft. or greater for easements. **Zoning Ordinance: Section 138-356	Applied
Garage: 18 ft, except where greater setback is required, greater setbacks applies. Revisions required: - Please correct spelling from "grater" to "greater" **Zoning Ordinance: Section 138-356	Required
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 4 ft. wide minimum sidewalk required along N. Stewart Road. Revisions required: -Plat note #15 mentions Russell Road and Tres Lagos, please revise. -Other sidewalks will not apply provided a sidewalk having at least an adequate width for pedestrians and bike traffic is provided in a plan that is sealed by the registered engineer designing the unit development, per agreement. **Subdivision Ordinance: Section 134-120	Required
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses along N. Stewart Road. Revisions Required: - Plat note #8 references Russell Road and Tres Lagos Blvd, please revise and correct. **Landscaping Ordinance: Section 110-46	Required
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied

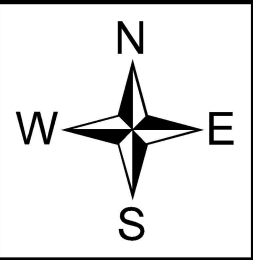
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

NOTES	
<p>* No curb cut, access, or lot frontage permitted along N. Stewart Road. Revision Required: - Plat note #12 references roads that do not pertain to this phase, please correct and revise -The subdivision will be having access from Aqualina Phase IV. **Must comply with City Access Management Policy</p> <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p> <p>* Common Areas, any private drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions required: -Add plat note as stated above.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Public Improvement District (PID) or Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	Required
	NA
	Required
	Applied
	Required
	Required
LOT REQUIREMENTS	
<p>* Lots fronting public streets: **Subdivision Ordinance: Section 134-1</p> <p>* Minimum lot width and lot area _____ **Zoning Ordinance: Section 138-356</p>	Compliance
	Applied
ZONING/CUP	
<p>Existing: R-1 (Single-Family Residential) (OC) Proposed: R-1 (Single-Family Residential) (OC) ***Zoning Ordinance: Article V</p> <p>* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V</p>	Applied
	Applied
PARKS	
<p>* Land dedication in lieu of fee. -Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, in this case Park fees do not apply because Park land dedication exceeds City's requirements as of 10/30/2014, as per agreement.</p> <p>Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. -Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, in this case Park fees do not apply because Park land dedication exceeds City's requirements as of 10/30/2014, as per agreement.</p>	Applied
	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>Pending review by the Parkland Dedication Advisory Board and CC. -Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, in this case Park fees do not apply because Park land dedication exceeds City's requirements as of 10/30/2014, as per agreement.</p>	<p>Applied</p>
<p>TRAFFIC</p>	
<p>As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. - Okay for final subject to TIA Approval.</p>	<p>Required</p>
<p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	<p>Required</p>
<p>COMMENTS</p>	
<p>Please revise plat note #8,15 and 21, they reference streets that do not pertain to this phase. - Need to Label the Centerline & Total R.O.W. on N. Stewart Road and show on plat. -Provide the special warranty deed documents -How would common area no. 3 service as emergency access point. - P&Z for new layout on 04/21/2026. - Need to provide a new master layout for phase V and IV *Must comply with City's Access Management Policy.</p>	<p>Applied</p>
<p>RECOMMENDATION</p>	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO TIA APPROVAL AND MPU BOARD APPROVAL.</p>	<p>Applied</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



AQUALINA AT TRES LAGOS
PHASE III
SUBDIVISION

AQUALINA AT TRES LAGOS
PHASE II SUBDIVISION

AQUALINA AT TRES LAGOS
PHASE I SUBDIVISION

AQUALINA AT TRES LAGOS
PHASE IV SUBDIVISION

AQUALINA AT TRES LAGOS
SUBDIVISION
PHASE I

LOCATION

**PROPOSED
AQUALINA AT
TRES LAGOS
PHASE V
SUBDIVISION**

N STEWART RD

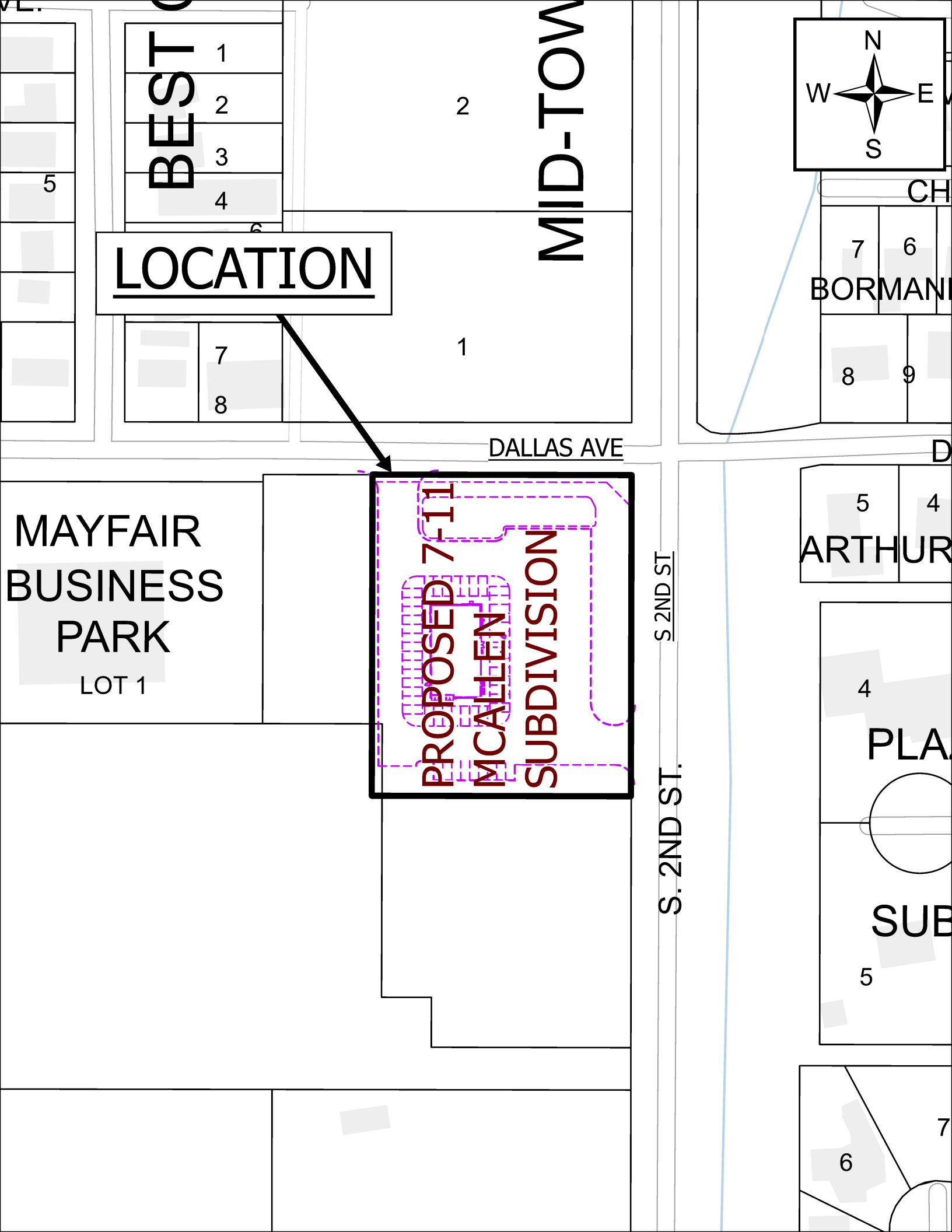
RUSSELL RD

CITY OF McALLEN

Planning & Zoning Commission Meeting

Subdivision Name	<i>7-11 McAllen</i>
Owner Name	<i>MMJG South Texas, LLC</i>
Engineering Firm	<i>Melden & Hunt Inc,</i>
Existing Zoning	<i>C-2 Regional Commercial</i>
Proposed Zoning	<i>C-2 Regional Commercial</i>
Number of Lots	<i>1</i>

City of McAllen Planning Department



LOCATION

**PROPOSED 7-11
MCALLEN
SUBDIVISION**

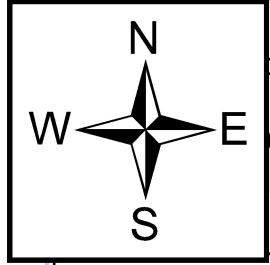
**MAYFAIR
BUSINESS
PARK**
LOT 1

BEST

MID-TOWN

DALLAS AVE

S. 2ND ST. S. 2ND ST.



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TBPELS Firm # F-1435
TBPELS # 10096900

MELDEN & HUNT INC.

CONSULTANTS • ENGINEERS • SURVEYORS
MARIO A. REYNA • ALLAN F. BOOE • ROBERTO N. TAMEZ • RUBEN JAMES DE JESUS • MICHAEL HERNANDEZ

April 3, 2026

City of McAllen Planning Dept.
Attn: Omar Sotelo, Planning Director
311 N. 15th St.
McAllen, TX 78501

Re: 7-11 McALLEN SUBDIVISION – Variance Request to City of McAllen

Dear Mr. Sotelo:

On behalf of the developer, we respectfully request a variance for the following items.

1. **S. 2ND STREET ROW DEDICATION:**

Requirement: 60 ft. from centerline for 120 ft. total ROW

Proposal: The developer is requesting to not dedicate any additional ROW for S. 2nd Street and maintain the uniformity of the ROW in this area. All properties developed on S. 2nd Street have an existing 80 ft. ROW. N.A.R

The existing road section is currently 61.2 ft. of pavement with 4 driving lanes and 1 turn lane.

There is an existing 20 ft. Gas Pipeline Easement along S. 2nd Street that would prevent any improvements in this area without relocating the exiting gas line that runs parallel to this ROW.

Your consideration on this matter is greatly appreciated. If you have any questions or comments, please contact our office. Thank you.

Respectfully,

Mario A. Reyna, P.E.
President
Melden & Hunt, Inc.



SUBDIVISION MAP OF 7-11 McALLEN SUBDIVISION

BEING A SUBDIVISION OF 1.928 ACRES
OUT OF LOT 8, SECTION 8,
HIDALGO CANAL COMPANY'S SUBDIVISION
VOLUME Q, PAGES 175-177, H.C.D.R.
CITY OF McALLEN,
HIDALGO COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE 7-11 McALLEN SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE, IN FEE SIMPLE, THE RIGHT-OF-WAY AREA SHOWN HEREON TO THE CITY OF McALLEN.

MMGJ SOUTH TEXAS LLC
A TEXAS LIMITED LIABILITY COMPANY

TERRY GOTTBERG, PRESIDENT
401 W DALLAS AVE.
McALLEN TX US 78501-2777

DATE: _____

METES AND BOUNDS DESCRIPTION:

A TRACT OF LAND CONTAINING 1.928 ACRES SITUATED IN THE CITY OF McALLEN, COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF LOT 8, SECTION 8, HIDALGO CANAL COMPANY'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME Q, PAGES 175-177, HIDALGO COUNTY DEED RECORDS, WHICH SAID 1.928 ACRES OUT OF A CERTAIN TRACT CONVEYED TO MMGJ SOUTH TEXAS LLC BY VIRTUE OF A DEED OF CONVEYANCE AND ASSIGNMENT AND BILL OF SALE RECORDED UNDER DOCUMENT NUMBER 2812871, HIDALGO COUNTY OFFICIAL RECORDS, SAID 1.928 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A NAIL SET AT THE NORTHEAST CORNER OF SAID LOT 8, SECTION 8, FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT:

1. THENCE, S 08° 37' 56" W ALONG THE EAST LINE OF SAID LOT 8, SECTION 8 AND THE WEST RIGHT-OF-WAY LINE OF S. 2ND STREET, A DISTANCE OF 323.00 FEET TO A NO. 4 REBAR SET FOR THE SOUTHEAST CORNER OF THIS TRACT;
2. THENCE, N 81° 22' 04" W A DISTANCE OF 250.00 FEET PASS THE EAST LINE OF SAID CERTAIN TRACT CONVEYED TO MMGJ SOUTH TEXAS LLC, CONTINUING A TOTAL DISTANCE OF 260.00 FEET TO A NO. 4 REBAR SET, FOR THE SOUTHWEST CORNER OF THIS TRACT;
3. THENCE, N 08° 37' 56" E A DISTANCE OF 73.00 FEET PASS THE NORTH LINE OF SAID TRACT CONVEYED TO MMGJ SOUTH TEXAS LLC, CONTINUING A TOTAL DISTANCE OF 323.00 FEET, TO A NO. 4 REBAR SET, FROM WHICH A NO. 4 REBAR FOUND BEARS N 81° 22' 04" W A DISTANCE OF 767.00 FEET, FOR THE NORTHWEST CORNER OF THIS TRACT;
4. THENCE, S 81° 22' 04" E ALONG THE NORTH LINE OF SAID LOT 8, SECTION 8 AND THE SOUTH RIGHT-OF-WAY LINE OF DALLAS AVENUE, A DISTANCE OF 260.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.928 ACRES OF LAND, MORE OR LESS.

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION _____ DATE _____

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN _____ DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

DATED THIS THE _____ DAY OF _____, 20____.

MARIO A. REYNA, PROFESSIONAL ENGINEER No. 117388
STATE OF TEXAS

DATE PREPARED: 06/07/2024

ENGINEERING JOB # 25121.00

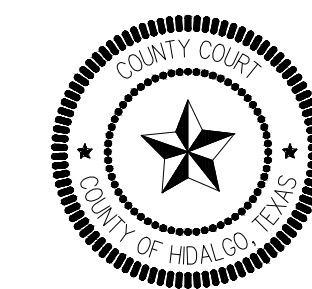
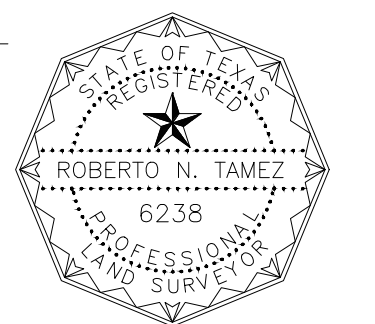


STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PRESENTED PLAT AND DESCRIPTION OF 7-11 McALLEN SUBDIVISION, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON 4/26/2024, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

ROBERTO N. TAMEZ, # 6238
REGISTERED PROFESSIONAL LAND SURVEYOR
DATE SURVEYED: 08-05-2025
REVISED DATE: 08/07/2025

T-XXX, PG. XXX
SURVEY JOB NO. 25121.02

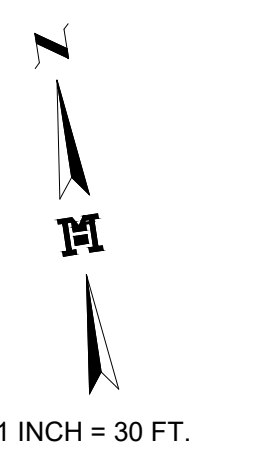
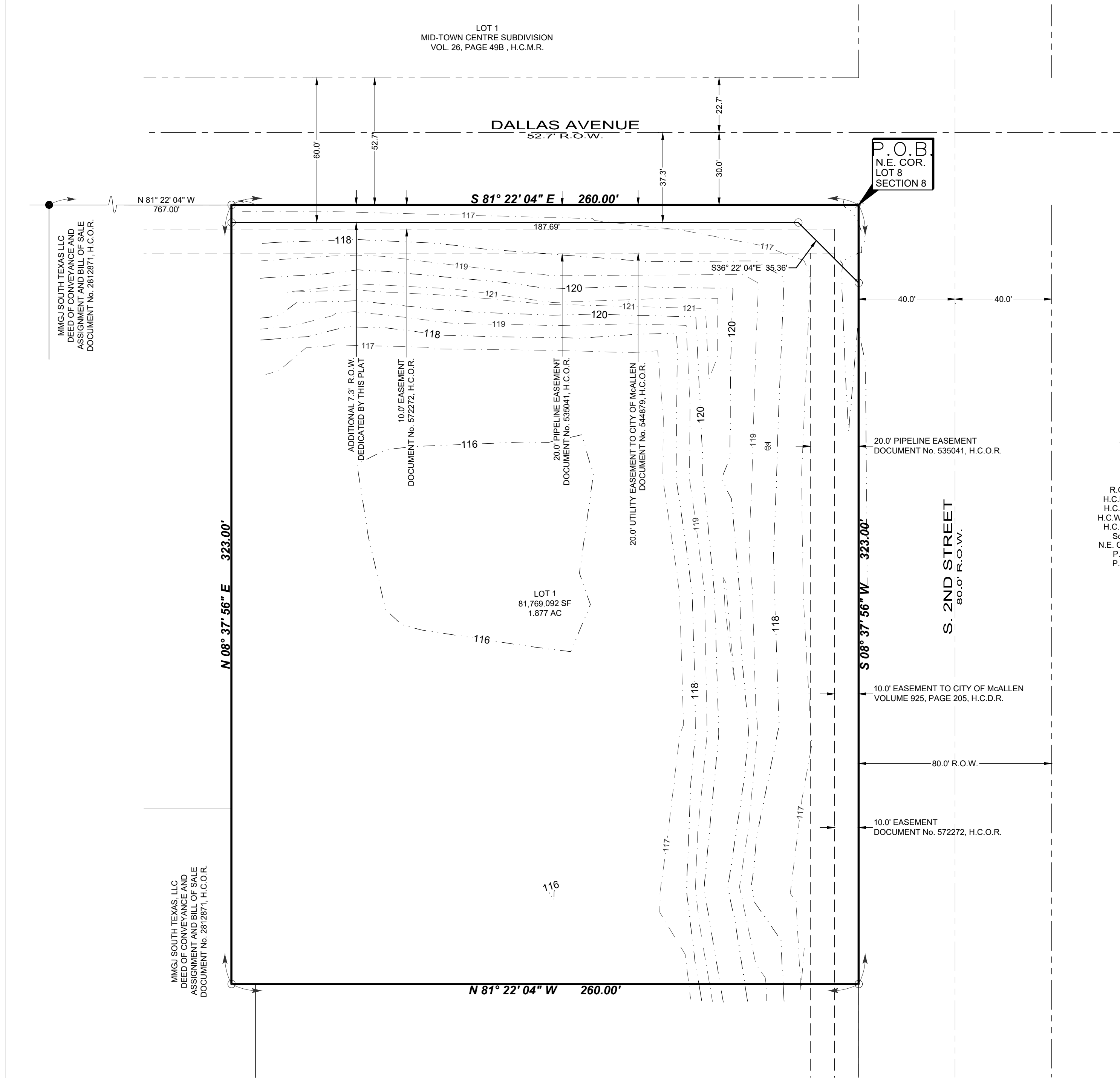


FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.,
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY



- LEGEND**
- FOUND NO. 4 REBAR
 - SET NO. 4 REBAR
 - ⊙ FOUND NAIL
 - ⊕ SET SQUARE CUT
 - R.O.W. - RIGHT OF WAY
 - H.C.M.R. - HIDALGO COUNTY MAP RECORDS
 - H.C.D.R. - HIDALGO COUNTY DEED RECORDS
 - H.C.W.I.D. - HIDALGO COUNTY WATER IMPROVEMENT DISTRICT
 - H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
 - Sq. Ft. - SQUARE FEET
 - N.E. COR. - NORTHEAST CORNER
 - P.O.B. - POINT OF BEGINNING
 - P.O.C. - POINT OF COMMENCING

GENERAL NOTES :

1. THIS SUBDIVISION IS IN FLOOD ZONE "B" AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE(1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. COMMUNITY-PANEL NUMBER: 480043.0010 C-MAP REVISED: NOVEMBER 02, 1982.
2. MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE THE FRONT TOP OF CURB MEASURED FROM THE CENTER OF THE LOT.
3. MINIMUM SETBACK:
 - FRONT: (DALLAS AVENUE & S. 2ND STREET) IN ACCORDANCE WITH ZONING ORDINANCE OR THE APPROVED SITE PLAN, IF APPLICABLE, ANY APPROVED SITE PLAN SETBACKS WILL CONTROL.
 - REAR: IN ACCORDANCE WITH ZONING ORDINANCE OR THE APPROVED SITE PLAN, IF APPLICABLE, ANY APPROVED SITE PLAN SETBACKS WILL CONTROL.
 - SIDES: IN ACCORDANCE WITH ZONING ORDINANCE OR THE APPROVED SITE PLAN, IF APPLICABLE, ANY APPROVED SITE PLAN SETBACKS WILL CONTROL.
4. CITY OF McALLEN BENCHMARK: SQUARE CUT ON LOCATED ON THE SOUTHEAST CORNER OF LOT 1 APPROXIMATELY 752 FT. EAST OF INTERSECTION OF 2ND STREET AND US EXPRESSWAY 83. GEODETIC G.P.S. TEXAS STATE PLANE GRID COORDINATE SYSTEM, NAD 83 TEXAS SOUTH 4205 ELEVATION PER NAVD 88 (GEOID 2003) N=16595955.632, E=1075393.507, ELEV=117.34
5. REQUIRED DETENTION FOR STORM SEWER RUNOFF PER THE APPROVED DRAINAGE REPORT SHALL BE 13,852 CUBIC FEET (0.318 AC-FT). STORM WATER RUNOFF GENERATED FROM DEVELOPMENT SHALL BE DETAINED ON-SITE BY EACH LOT AS APPROVED BY CITY OF McALLEN.
6. AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF McALLEN ENGINEERING DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT FOR ALL NEW BUILDING.
7. NO STRUCTURES PERMITTED TO BE BUILT OVER EASEMENTS.
8. 4 FT. WIDE MINIMUM SIDEWALK REQUIRED ALONG DALLAS AVENUE AND S 2ND STREET.
9. A MINIMUM 24' PRIVATE SERVICE DRIVE EASEMENT TO BE ESTABLISHED AS PART OF THE SITE PLAN REVIEW AND IT WILL BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.
10. 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES, EXCEPT AS OTHERWISE APPROVED BY THE CITY OF McALLEN BASED ON THE ISSUANCE OF BUILDING PERMIT.
11. 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONES/USES, EXCEPT AS OTHERWISE APPROVED BY THE CITY OF McALLEN BASED ON THE ISSUANCE OF BUILDING PERMIT.



M MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS
115 W. MCINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com

DRAWN BY:	EM	DATE:	09-23-2025
REVISION:		DATE:	
SURVEYED, CHECKED		DATE:	
FINAL CHECK		DATE:	

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER: MMGJ SOUTH TEXAS LLC	401 W DALLAS AVE	McALLEN TX US 78501		
ENGINEER: MARIO A. REYNA, P.E.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
SURVEYOR: ROBERTO N. TAMEZ, R.P.L.S.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/11/2026

SUBDIVISION NAME: 7-11 MCALLEN

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

<p>S. 2nd Street: 20 ft. dedication required for 60 ft. from centerline for Total of 120 ft. R.O.W. Paving : 65 ft. Curb & gutter: both sides -Please add labels as required: EXISTING, TOTAL, CENTERLINE (CL), PROPOSED, etc. prior to final. -Provide a Copy of any existing R.O.W. documents and easements for staff review prior to final. -All R.O.W. requirements must be addressed prior to final. *Disclaimer: Abandonment of easements cannot be done by plat, must be done by a separate instrument/document. *Any Variance process requested must be finalized prior to final. -A variance request was submitted and will be heard at the planning and zoning meeting of June 16, 2026 to not dedicate ROW. CC will be heard on July 14, 2026. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>Dallas Avenue: dedication as needed for 30 ft. for 60 ft. total R.O.W. (dedication needed ~7.3 ft.) Paving: 40 ft. Curb & gutter: Both sides Revisions needed: -Please add labels as required: EXISTING, TOTAL, CENTERLINE (CL), PROPOSED, etc. prior to final. -The existing R.O.W. is shown as 52.7 ft. Please reference the document number on the plat and provide a copy for staff review, prior to final. -Show the existing R.O.W. on both sides of centerline prior to final. -Label the dimensions for the proposed Corner clip located on the North-East portion of the plat. -Provide copy of documents for any R.O.W. & easements shown on the plat prior to final. *Disclaimer: Abandonment of easements cannot be done by plat, must be done by a separate instrument/document. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan * 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118 * 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118 * 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	NA
	NA
	NA
	NA
ALLEYS	
<p>R.O.W.: 20 ft. Paving: 16 ft. - ALLEY required for commercial properties. - If a private service drive easement is proposed, minimum 24 ft. paved width is required and cannot be dead-end. Maintenance of such service drive is by the property owner and not the City of McAllen **Subdivision Ordinance: Section 134-106</p>	Non-compliance
SETBACKS	
<p>* Front: (Dallas Ave. & S. 2nd Street) In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater applies. Revisions Needed: - Proposing 15 feet. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Rear: In accordance with the Zoning Ordinance or greater for approved site plan or easements, whichever is greater applies. Revisions Needed: Proposing 5 feet. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Sides: In accordance with the Zoning Ordinance or greater for approved site plan or easements, whichever is greater applies. Revisions Needed: Proposing 0 feet. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Corner: See reference to Front above. **Zoning Ordinance: Section 138-356"</p>	NA
<p>* Garage: Commercial Development **Zoning Ordinance: Section 138-356</p>	NA
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Required
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on Dallas Avenue & S. 2nd Street. - May increase to 5 ft. as per Engineering, prior to final. Proposed as Plat note #8. **Subdivision Ordinance: Section 134-120</p>	Required
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. - Needs to add plat note. **Landscaping Ordinance: Section 110-46 	Non-compliance
<ul style="list-style-type: none"> * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. - Needs to add plat note. **Landscaping Ordinance: Section 110-46 	Non-compliance
<ul style="list-style-type: none"> *Perimeter buffers must be built at time of Subdivision Improvements. 	Required
NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted. **Must comply with City Access Management Policy 	NA
<ul style="list-style-type: none"> * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. 	Required
<ul style="list-style-type: none"> * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. - Shown as plat note #9 	Applied
<ul style="list-style-type: none"> * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. 	Required
<ul style="list-style-type: none"> * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	NA
<ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	NA
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets **Subdivision Ordinance: Section 134-1 	Compliance
<ul style="list-style-type: none"> * Minimum lot width and lot area. **Please verify Lot Width and Lot Area and make sure it matches what is stated on the Survey. **Zoning Ordinance: Section 138-356 	Applied
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: C-3 (General Business District) Proposed: C-2 (Regional Commercial District) - If proposing to rezone to C-2 (Regional Commercial District) must submit rezoning application. ***Zoning Ordinance: Article V 	Required
<ul style="list-style-type: none"> * If planning to change Zoning, Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V 	TBD

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

PARKS	
* Land dedication in lieu of fee. -Submitted application proposes commercial development. As per Parks Dept. park fees do not apply to commercial subdivision, unless changed.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording -Submitted application proposes commercial development. As per Parks Dept. park fees do not apply to commercial subdivision, unless changed.	NA
* Pending review by the City Management's Office. -Submitted application proposes commercial development. As per Parks Dept. park fees do not apply to commercial subdivision, unless changed.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.	Required
* Traffic Impact Analysis (TIA) required prior to final plat.	TBD
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> -Need to provide copies of documents for any R.O.W./easement shown on the plat for staff review prior to final/recording. - You can remove the City Secretary signature block as it is not required in our process. - Pending plat notes to be shown on the plat: <ol style="list-style-type: none"> 1. Buffer/Masonry wall plat notes. 2. Corrected Setback notes., etc. etc. - Verify Owner's Signature block as the wording differs from City of McAllen requirements, signature blocks must comply with Section 134-61 of the subdivision ordinance, revise prior to final. - There appears to be a Corner Cut, please verify with staff prior to final. -Make sure to add the legal descriptions of properties surrounding the subdivision, this includes for the properties on the West R.O.W. of S. 2nd Street AND on directly South of the Subdivision. - If any variance request is submitted, it must be finalized prior to final. - HCID#2 Signature block is presented on the Plat. - Need to determine if alley/service drive is being proposed. <p>*Disclaimer: Any abandonment must be done by a separate instrument/documents, cannot be done by plat. *Must comply with City's Access Management Policy.</p>	Non-compliance
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, DRAINAGE AND UTILITY APPROVAL AND DISAPPROVAL OF THE VARIANCE REQUEST.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



LOCATION

BEST

MID-TOW

**CH
BORMAN**

DALLAS AVE

**MAYFAIR
BUSINESS
PARK
LOT 1**

**PROPOSED 7-11
MCALLEN
SUBDIVISION**

S 2ND ST

ARTHUR

S. 2ND ST.

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SUB

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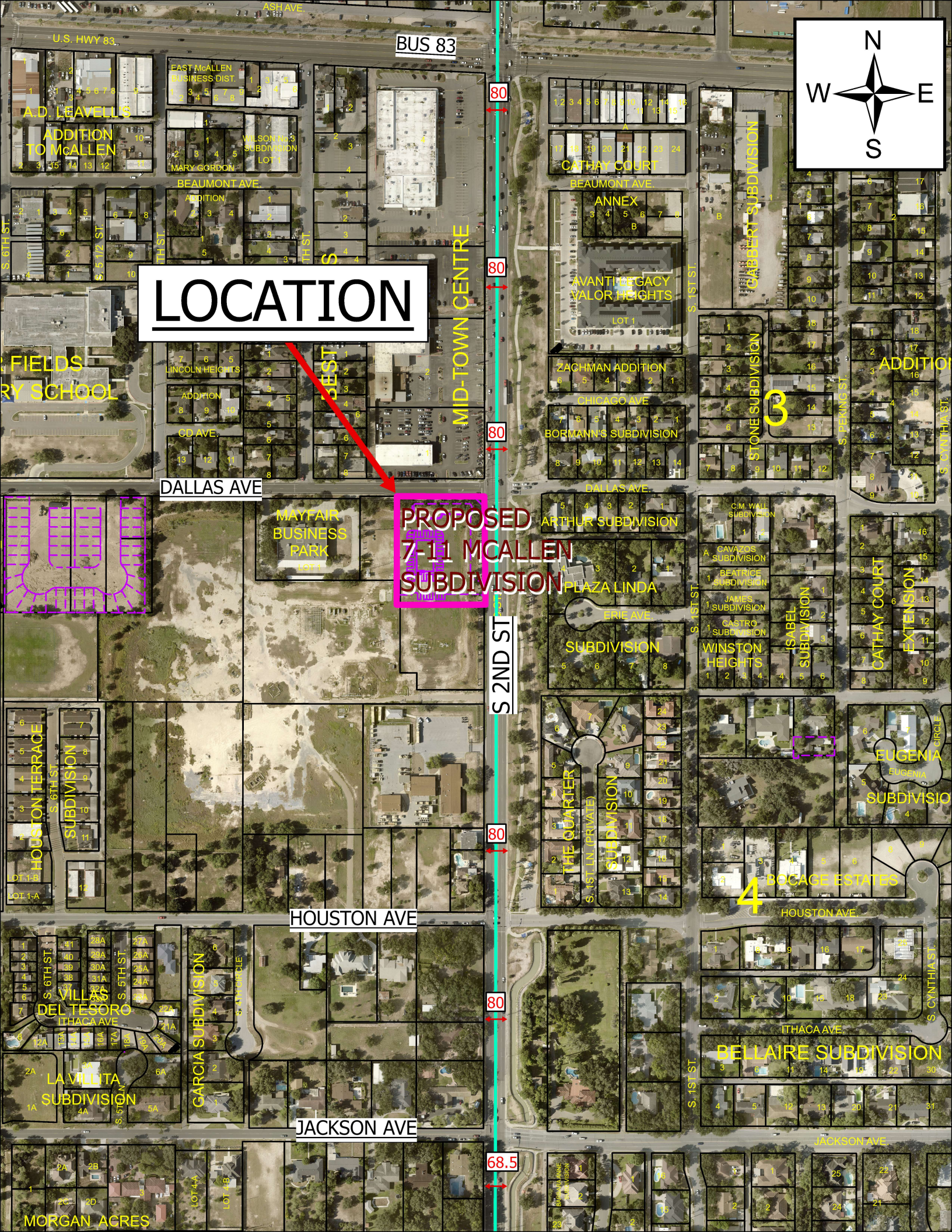
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LOCATION



**PROPOSED
7-11 McALLEN
SUBDIVISION**



CITY OF McALLEN

Planning & Zoning Commission Meeting

Subdivision Name	<i>The Villas at Jonquil</i>
Owner Name	<i>Esteban Flores</i>
Engineering Firm	<i>Barrera Infrastructure Group</i>
Existing Zoning	<i>R-1 Single Family Residential</i>
Proposed Zoning	<i>R-1 Single Family Residential</i>
Number of Lots	<i>4</i>

City of McAllen Planning Department



City of McAllen
Planning Department
REASON FOR APPEAL

1-Cul-de-Sac
 Variance Request

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are not an eligible standing for a variance. Please submit for consideration and review any combination of the following: (If necessary, please use an additional page to complete responses)

**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

The subject property is a small 4-lot infill residential subdivision located on a terminal local street with no planned future extension. Due to the limited scale of the development and the configuration of the tract, strict application of the 58 ft. cul-de-sac radius requirement would create unnecessary design constraints without providing a proportional public benefit.

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

Requested Variance is necessary to allow the property to be reasonably developed in a manner consistent with surrounding residential uses while maintainng functional lot layouts, utilities, drainage, sidewalks and access improvements. The proposed 50 ft. radius Cul-de-sac adequately serves the intended low density residential use of the subdivision.

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

The proposed Cul-de-sac design will continue to provide safe vehicular circulation and adequate emergency access for this 4-lot residential development, which will generate very limited traffic volume.

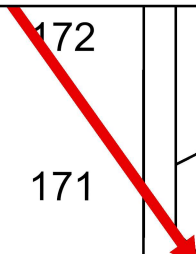
The request is minor in nature, and the subdivision will continue to provide adequate public infrastructure, utility easements, drainage and access without negetively impacting surrounding properties or public safety.

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

Approval of the requested variance will not impair or interfere with the orderly subdivisonn or future developments of adjacent properties because Ionquil Avenue functions as a terminal local street with no planned future extension. The request is site specific, limited in scope, and consistent with the overall intent of the subdivision regulations while accomodating the practical constraints of the property.



LOCATION



**PROPOSED THE
VILLAS AT
JONQUIL
SUBDIVISION**

N. 6TH ST.

N 4TH ST

LARKSPUR AVE.

DAFFODIL

GARDENS No. 10

KERRIA AVE.

JONQUIL AVE

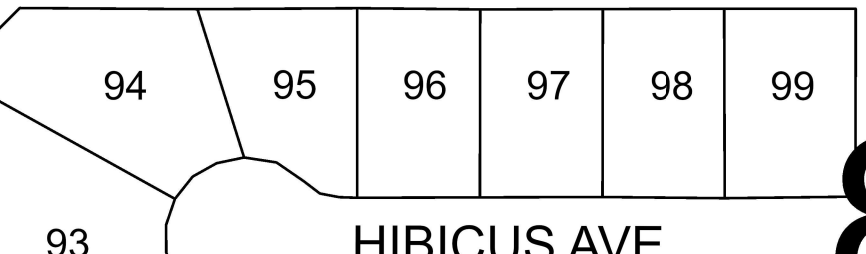
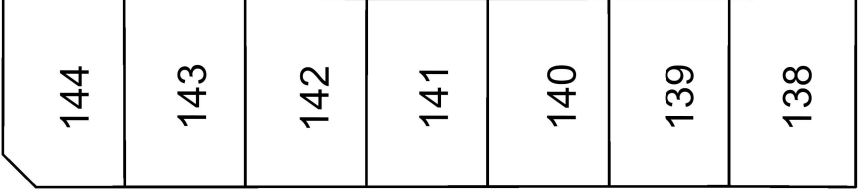
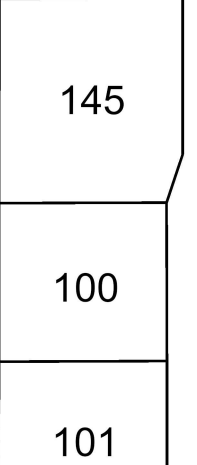
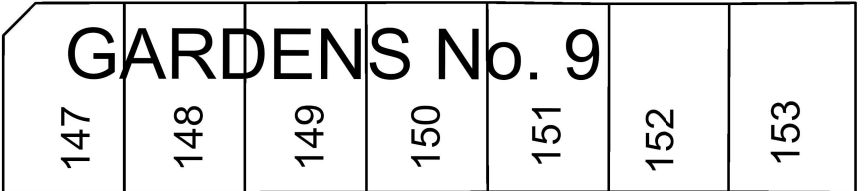
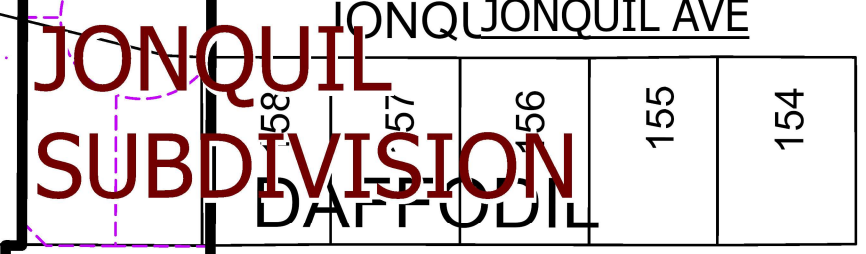
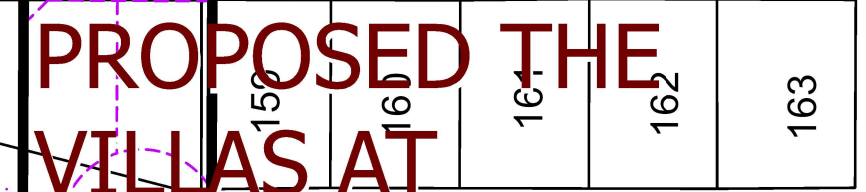
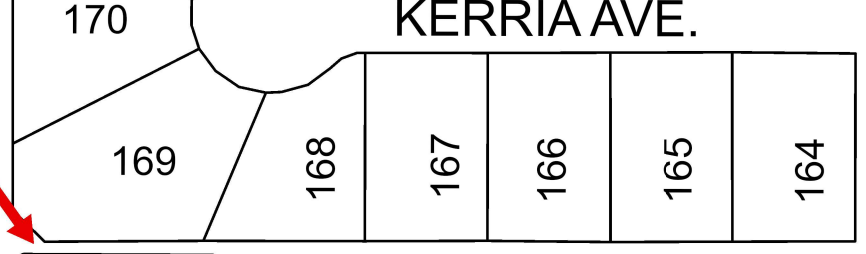
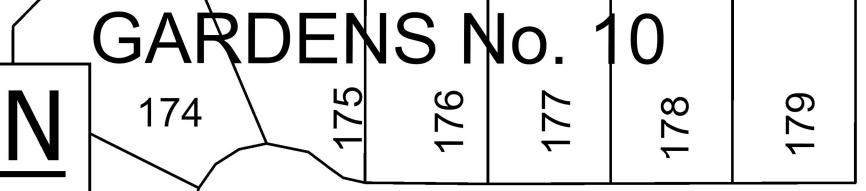
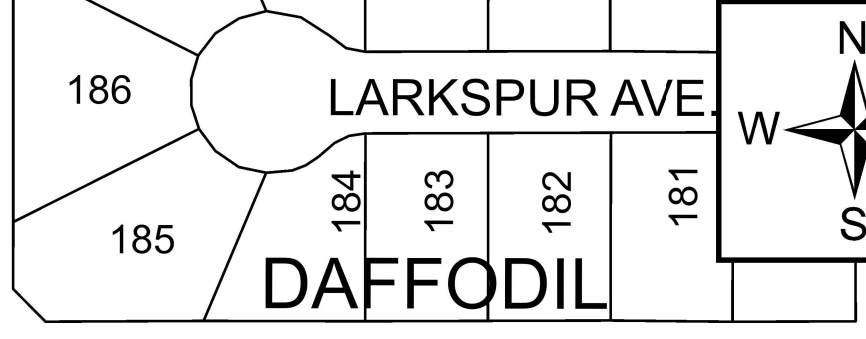
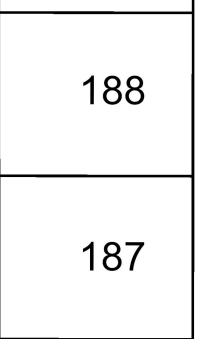
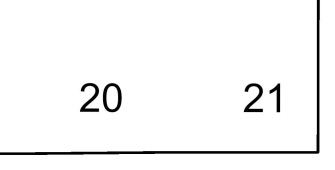
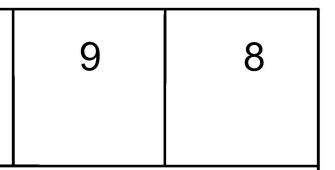
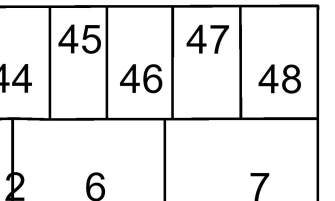
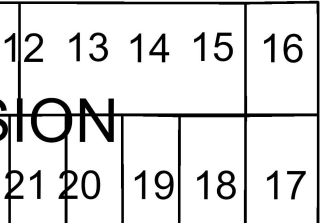
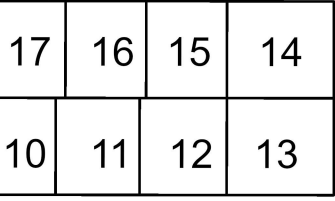
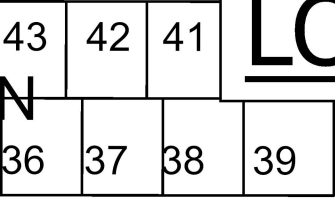
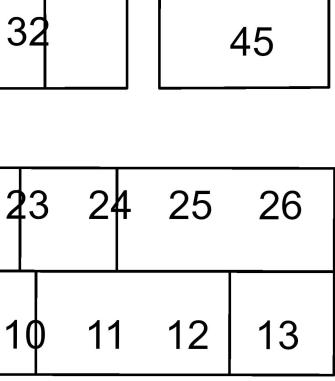
GARDENS No. 9

IRIS AVE.

HIBICUS AVE.

JONQUIL HEIGHTS LOT 1A

LOT 1 ANAYA SUBDIVISION



PLAT OF THE VILLAS AT JONQUIL

McALLEN, TEXAS

A 0.817-OF AN ACRE TRACT OF LAND, OUT OF LOT 9, WAYNE COURTS SUBDIVISION, ADDITION TO THE CITY OF McALLEN, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 6, PAGE 25, MAP RECORDS, HIDALGO COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF HIDALGO

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE VILLAS AT JONQUIL SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSE THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

EFFECTIVE BUSINESS BROKERS LLC
BY:
2212 PRIMROSE AVE.
McALLEN, TX 78504

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR HIDALGO COUNTY, TEXAS
EXPIRATION DATE: _____

STATE OF TEXAS
CITY OF McALLEN

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAN CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN _____ DATE _____

STATE OF TEXAS
CITY OF McALLEN

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAN CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR _____ DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, HOMERO L. GUTIERREZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF McALLEN, TEXAS.

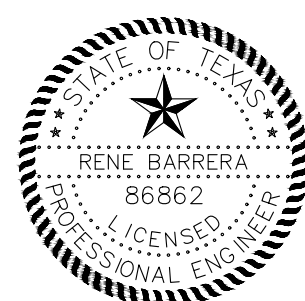
HOMERO L. GUTIERREZ, R.P.L.S. _____ DATE _____
REGISTERED PROFESSIONAL LAND SURVEYOR No. 2791

STATE OF TEXAS
COUNTY OF HIDALGO

I, RENE BARRERA, P.E., A LICENSED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, LICENSE NUMBER TX. 86862, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

For Review Only
4-7-26

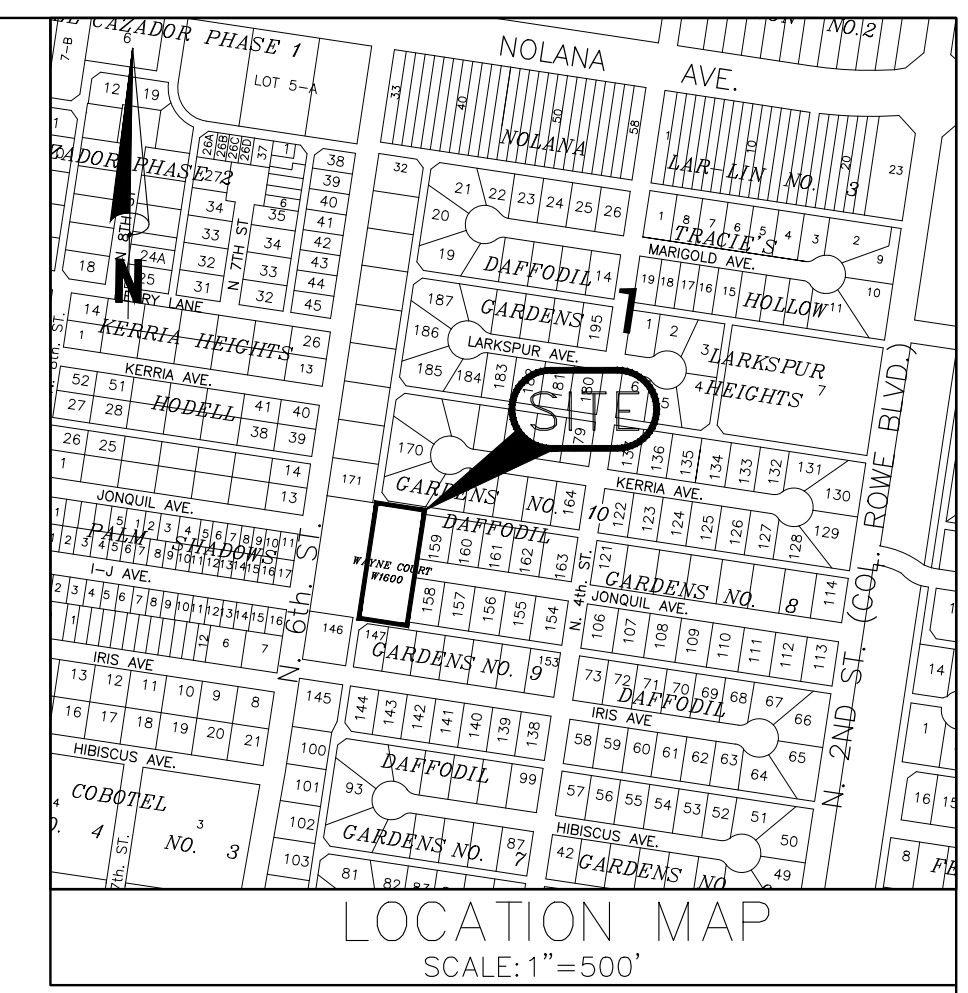
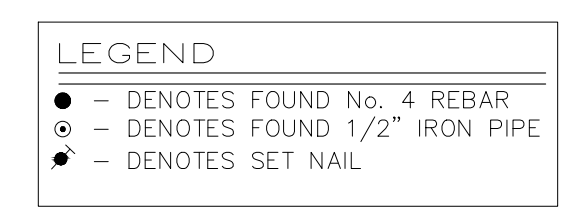
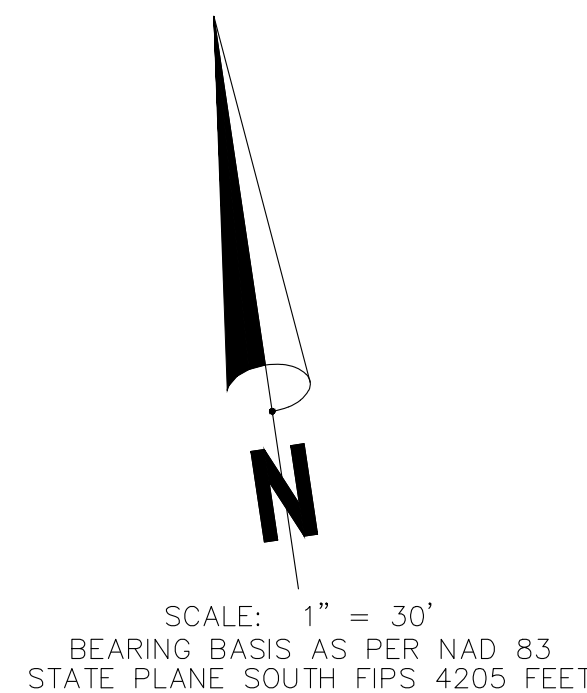
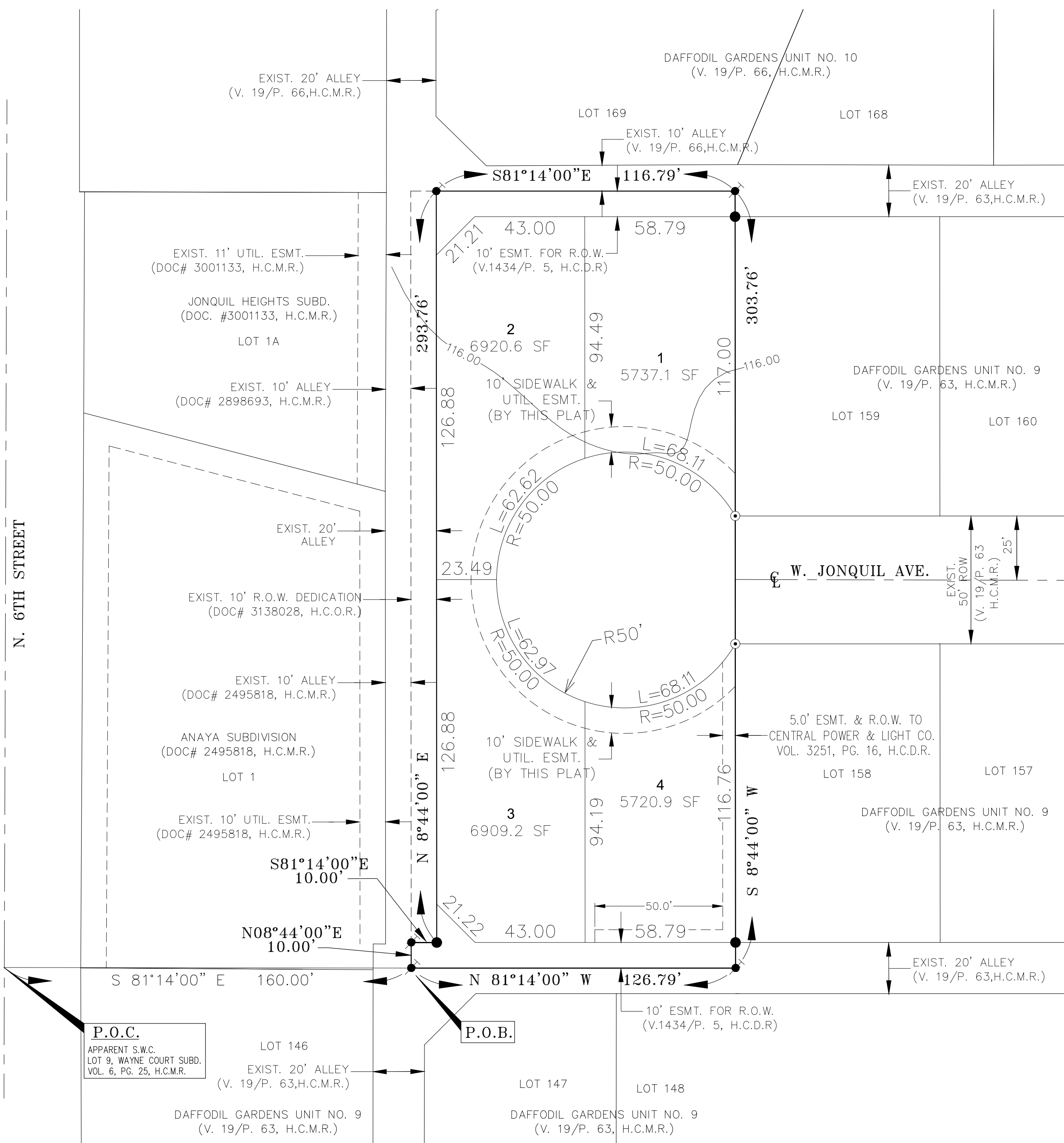
RENE BARRERA, P.E.
LICENSED PROFESSIONAL ENGINEER No. 86862



HIDALGO COUNTY DRAINAGE DISTRICT No. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT No. 1

RAUL E. SESIN, P.E., C.F.M. _____ DATE _____
GENERAL MANAGER



METES AND BOUNDS DESCRIPTION

A 0.817-OF AN ACRE TRACT OF LAND, MORE OR LESS, BEING PART OF A 1.63 ACRE TRACT OF LAND (VOLUME 2195, PAGE 529, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS), OUT OF LOT 9, WAYNE COURTS SUBDIVISION, ADDITION TO THE CITY OF McALLEN, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 6, PAGE 25, MAP RECORDS, HIDALGO COUNTY, TEXAS, REFERENCES TO WHICH ARE HERE MADE FOR ALL PURPOSE, LOCATED AT THE WEST END OF WEST JONQUIL AVENUE APPROXIMATELY 160 FEET EAST OF NORTH 6TH STREET, IS DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

THE POINT OF COMMENCEMENT (P.O.C.) BEING A POINT OF REFERENCE ON THE APPARENT EXISTING 60-FOOT RIGHT-OF-WAY CENTERLINE OF SAID NORTH 6TH STREET FOR THE APPARENT SOUTHWEST CORNER OF SAID LOT 9; THENCE, S 81°14'00" E, WITH THE APPARENT SOUTH LOT LINE OF SAID LOT 9, A DISTANCE OF 30.00 FEET PAST A POINT ON THE APPARENT EXISTING EAST RIGHT-OF-WAY LINE OF SAID NORTH 6TH STREET CONTINUING FOR A TOTAL DISTANCE OF 160.00 FEET TO A SET NAIL ON THE EXISTING ASPHALT PAVEMENT FOR THE APPARENT SOUTHEAST CORNER OF THE ANAYA SUBDIVISION (DOCUMENT NO. 2495818, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS) AND THE APPARENT SOUTHWEST CORNER OF SAID 0.817-OF AN ACRE TRACT, AND ALSO BEING THE POINT OF BEGINNING (P.O.B.) OF SAID 0.817-OF AN ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, N 08°44'00" E, WITH THE APPARENT EXISTING WEST LINE OF AN EXISTING 10-FOOT ALLEY EASEMENT (VOLUME 1434, PAGE 5, DEED RECORDS, HIDALGO COUNTY, TEXAS) AND THE SOUTHERNMOST WEST LOT LINE OF SAID 0.817-OF AN ACRE TRACT, A DISTANCE OF 10.00 FEET TO A SET NAIL ON THE EXISTING ASPHALT PAVEMENT FOR THE APPARENT SOUTHERNMOST NORTHWEST CORNER OF SAID 0.817-OF AN ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, S 81°14'00" E, WITH THE APPARENT SOUTHERNMOST NORTH LOT LINE OF SAID 0.817-OF AN ACRE TRACT, A DISTANCE OF 10.00 TO A NO. 4 REBAR FOUND FOR AN APPARENT INTERNAL CORNER OF SAID 0.817-OF AN ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, N 08°44'00" E, WITH THE APPARENT EXISTING EAST LINE OF AN EXISTING 10-FOOT ALLEY RIGHT-OF-WAY DEDICATION (DOCUMENT NO. 3138028, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS), AND THE NORTHERNMOST WEST LOT LINE OF SAID 0.817-OF AN ACRE TRACT, A DISTANCE OF 293.76 FEET TO A SET NAIL ON THE EXISTING ASPHALT PAVEMENT FOR THE APPARENT NORTHERNMOST NORTHWEST CORNER OF SAID 0.817-OF AN ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, S 81°14'00" E, WITH THE APPARENT EXISTING NORTH LINE OF AN EXISTING 10-FOOT ALLEY EASEMENT (VOLUME 1434, PAGE 5, DEED RECORDS, HIDALGO COUNTY, TEXAS), AND NORTH LOT LINE OF SAID 163 ACRE TRACT AND OF SAID 0.817-OF AN ACRE TRACT, A DISTANCE OF 116.79 FEET TO A SET NAIL ON THE EXISTING ASPHALT PAVEMENT FOR THE APPARENT NORTHEAST CORNER OF SAID 0.817-OF AN ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, S 08°44'00" W, WITH THE APPARENT EAST LOT LINE OF SAID 0.817-OF AN ACRE TRACT, A DISTANCE OF 10.00 FEET PAST A NO. 4 REBAR FOUND ON THE APPARENT EXISTING SOUTH LINE OF SAID EXISTING 10-FOOT ALLEY EASEMENT, THENCE FOR ANOTHER DISTANCE OF 283.76 FEET PAST A NO. 4 REBAR FOUND ON THE APPARENT EXISTING NORTH LINE OF SAID EXISTING 10-FOOT ALLEY EASEMENT (VOLUME 1434, PAGE 5), CONTINUING WITH THE EAST LOT LINE OF SAID 0.817-OF AN ACRE TRACT FOR A TOTAL DISTANCE OF 303.76 FEET TO A SET NAIL ON THE EXISTING ASPHALT PAVEMENT ON THE APPARENT SOUTH LINE OF SAID EXISTING 10-FOOT ALLEY EASEMENT FOR THE SOUTHEAST CORNER OF SAID 0.817-OF AN ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, N 81°14'00" W, WITH THE SAID SOUTH LINE OF SAID EXISTING 10-FOOT ALLEY EASEMENT, BEING THE APPARENT CENTERLINE OF AN EXISTING 20-FOOT ALLEY EASEMENT, AND THE APPARENT SOUTH LOT LINE OF SAID 0.817-OF AN ACRE TRACT, A DISTANCE OF 126.79 FEET TO THE SAID SET NAIL ON THE EXISTING ASPHALT PAVEMENT FOR THE SOUTHWEST CORNER OF SAID 0.817-OF AN ACRE TRACT OF LAND HEREIN DESCRIBED, AND ALSO BEING THE POINT OF BEGINNING (P.O.B.), CONTAINING A GROSS OF 0.817 OF AN ACRE OF LAND, OF WHICH 0.056 OF AN ACRE LIES IN EXISTING ALLEY RIGHT-OF-WAY EASEMENT DEDICATED TO THE CITY OF McALLEN, FOR A NET OF 0.761 OF AN ACRE, MORE OR LESS.

GENERAL PLAT NOTES:

- MINIMUM SETBACK LINES:
FRONT - 25 FT. OR GREATER FOR EASEMENTS
GARAGE - 18 FT. EXCEPT WHERE GREATER SETBACK IS REQUIRED, GREATER SETBACK APPLIES
SIDE - IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS
REAR - 10 FT. OR GREATER FOR EASEMENTS
***ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN
- FLOOD ZONED DESIGNATION: ZONE "B"
COMMUNITY PANEL NO. 480343-0005 C
MAP REVISED: NOV. 2, 1982
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB AS MEASURED AT FRONT AND CENTER OF LOT.
- THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 3470 C.F. OF STORM RUNOFF. EACH LOT WILL BE REQUIRED TO DETAIN 868 C.F. OF STORM WATER.
- AN ENGINEERED DETENTION PLAN APPROVED BY CITY'S ENGINEERING DEPT IS REQUIRED PRIOR TO APPLICATION FOR BUILDING PERMIT.
- SITE PLAN APPROVAL REQUIRED BY PLANNING AND ZONING COMMISSION IF THE PROPERTY DEVELOPS FOR COMMERCIAL USE.
- UNLESS OTHERWISE NOTED ON THIS PLAT, THE LOTS ARE MONUMENTED BY 1/2 INCH WIDE BY 18" LONG IRON RODS.
- BENCHMARK: MC66 - WEST SIDE N.10TH STREET AT CARWASH; ELEVATION = 117.475 (NAVD 88)
- A 6-FOOT OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL, AND COMMERCIAL, OR INDUSTRIAL ZONES/USES.
- AN 8-FOOT MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- A 4 FT. WIDE MINIMUM SIDEWALK REQUIRED ON BOTH SIDES OF JONQUIL AVENUE.
- ELEVATIONS BASED ON NAVD88 (GEOID 18) RTK WITH NTRIP FIXED SOLUTION

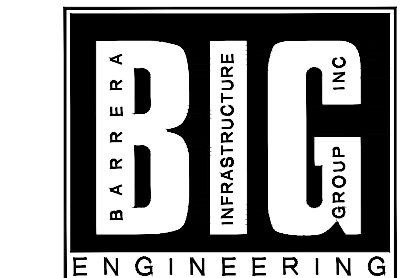
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PRINCIPAL CONTACTS:		FIRM REG. NO. 6435	
NAME	ADDRESS	CITY & ZIP	PHONE
OWNER: EFFECTIVE BUSINESS BROKERS LLC	2212 PRIMROSE AVE., STE. B	McALLEN, TX 78504	
ENGINEER: RENE BARRERA, P.E.	3525 W. FREDDY GONZALEZ AVE.	EDINBURG, TX 78539	956-687-3355
SURVEYOR: HOMERO L. GUTIERREZ	P.O. BOX 548	McALLEN, TX 78505	

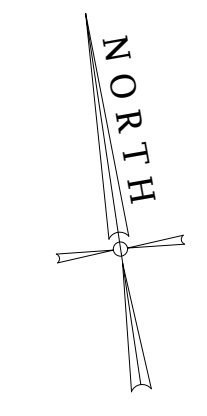
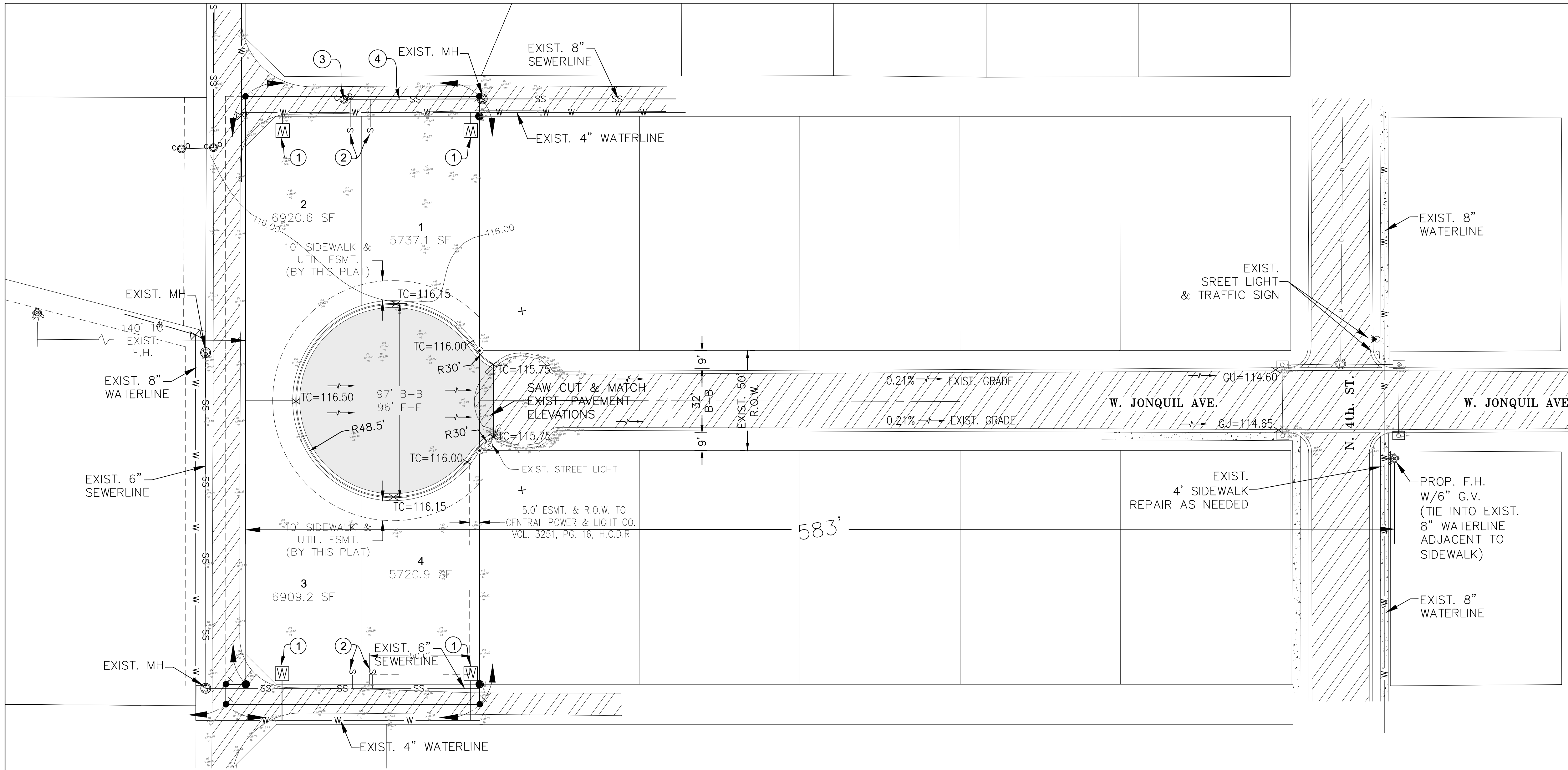


FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY



3525 W. FREDDY GONZALEZ AVE.
SUITE 182
EDINBURG, TX 78539
TEL: 956-687-3355
FAX: 956-992-8801
TEXAS FIRM NO. 6435



SCALE: 1"=30'

- CONSTRUCTION NOTES:**
- INSTALL 3/4" PVC WATER SERVICE LINE W/ 3/4" METER
 - INSTALL 4" PVC (SDR26) SANITARY SEWER SERVICE LINE
 - INSTALL 8" PVC CLEANOUT
 - EXTEND 70 LF 8" PVC SAN. SEWER LINE (SDR26) @ 0.335%

BARRERA
INFRASTRUCTURE
GROUP
ENGINEERING
CONSULTING CIVIL ENGINEERS

3525 W. FREDDY GONZALEZ
 SUITE B2
 EDINBURG, TEXAS 78539
 T: 956.687.3355
 F: 956.992.8801
 FIRM. NO. 6435

Sheet Title: **OVERALL UTILITY LAYOUT**

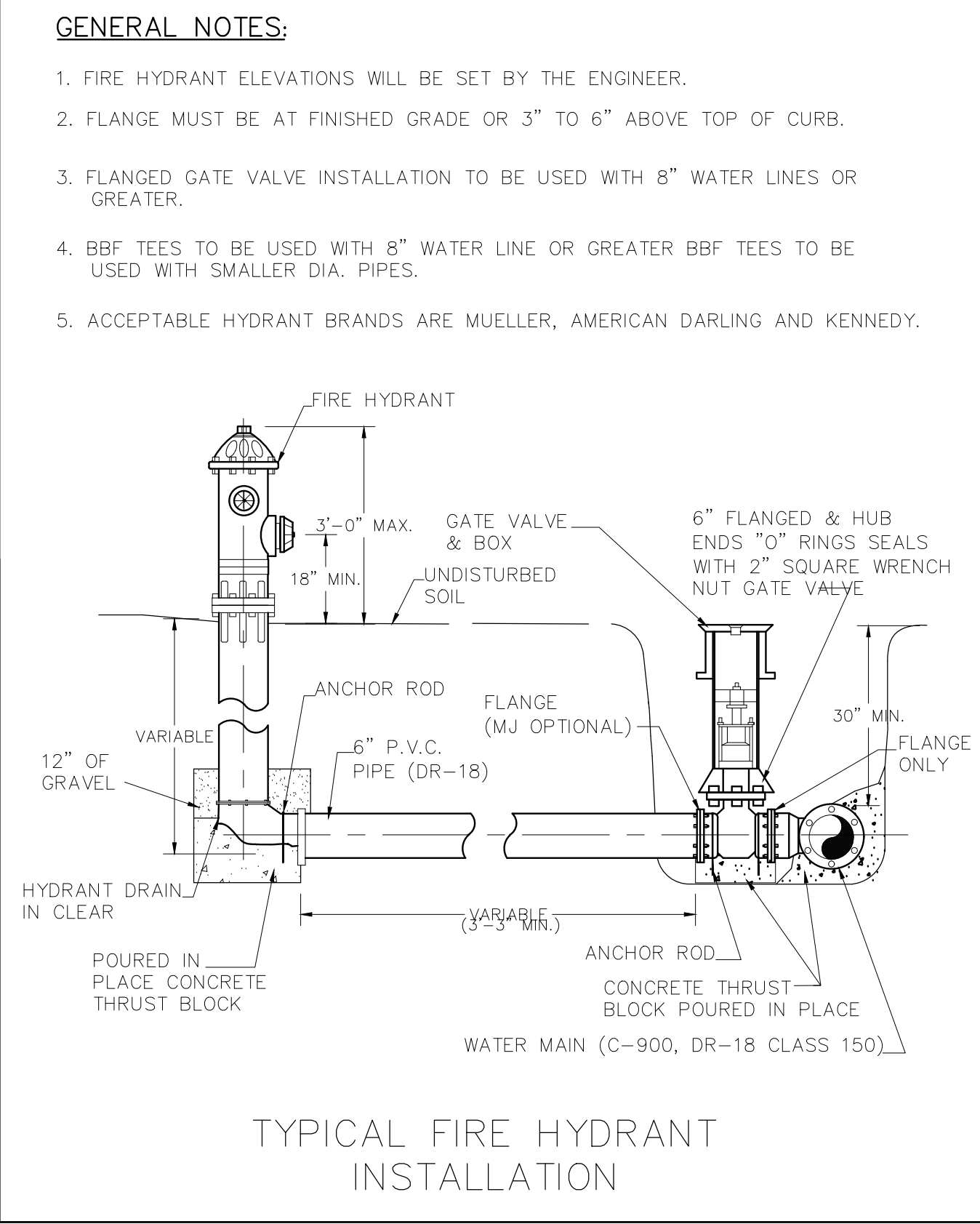
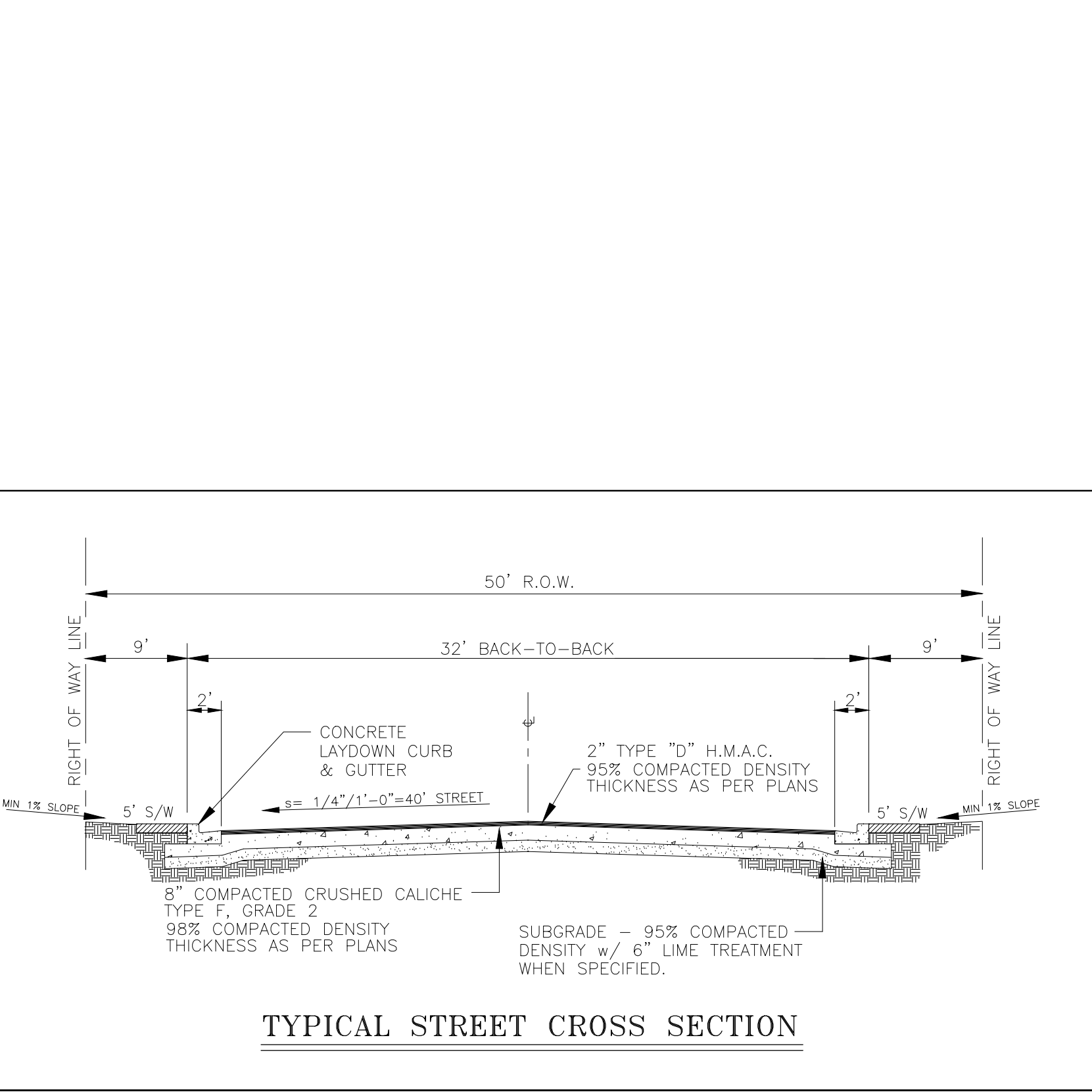
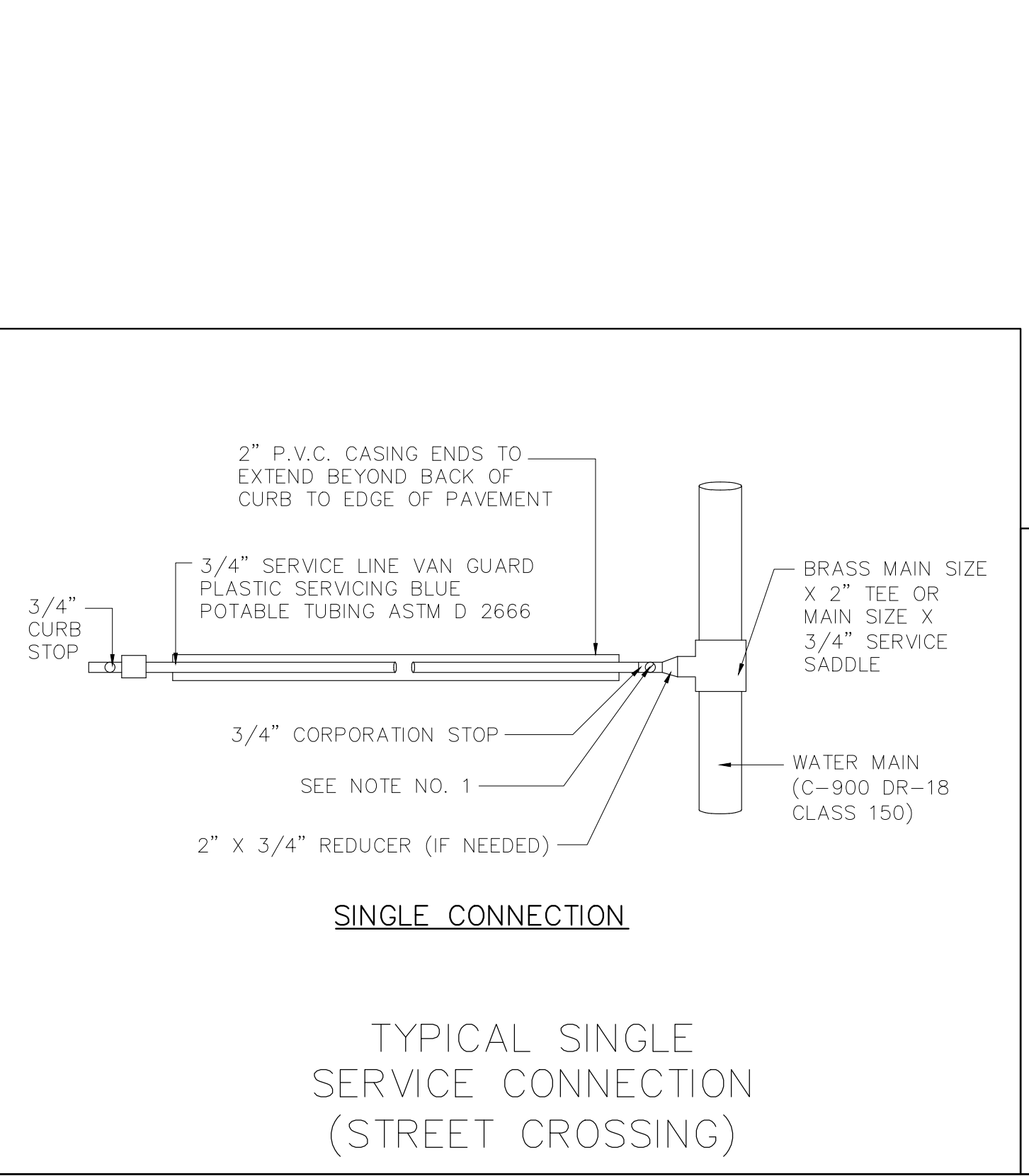
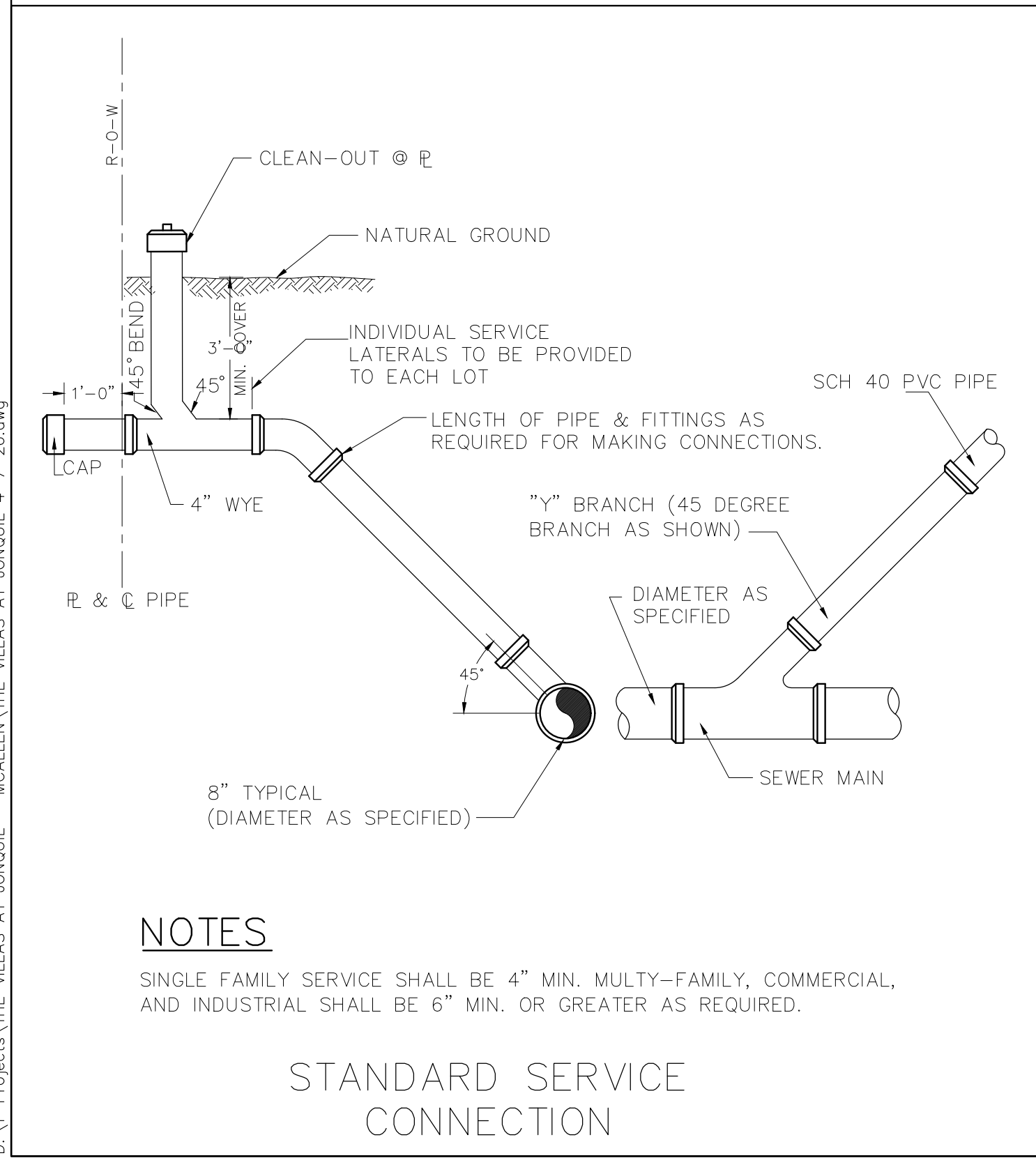
Project Title: **THE VILLAS AT JONQUIL
 MCALLEN, TEXAS**

Rev. 4-7-26

Rene Borrera
 Licensed Professional Engineer # 86862

Date:	
Scale:	1"=30'
Designed By:	R.B.
Drawn By:	E.S.
Checked By:	R.B.
Project No.:	

Sheet of





Reviewed On: 6/8/2026

SUBDIVISION NAME: THE VILLAS AT JONQUIL	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>Jonquil Avenue: Dedication as needed for 50 ft. total ROW Paving: 32 ft. Curb & gutter: both sides Revisions needed: -Revise the cul-de-sac design on Jonquil Avenue to comply with the originally requested standard. The initial review required a 58 ft. radius to accommodate 96 ft. of paving (face-to-face) as required by the Fire Department; however, the revised plat continues to reflect a 50 ft. radius. Please update the cul-de-sac to meet the 58 ft. radius requirement. If choosing to maintain the 50 ft. radius, a variance request shall be submitted and will be required for review and approval prior to final.</p> <p>-Revise the street name on the plat to remove the "W." designation and reflect the correct labeling as "Jonquil Avenue" prior to final. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac -Revise the cul-de-sac design to comply with the originally requested standard. The initial review required a 58 ft. radius to accommodate 96 ft. of paving (face-to-face) as required by the Fire Department; however, the revised plat continues to reflect a 50 ft. radius. Please update the cul-de-sac to meet the 58 ft. radius requirement. If choosing to maintain the 50 ft. radius, a variance request shall be submitted and will be required for review and approval prior to final. -Variance request regarding cul-de-sac radius to be heard by P&Z on June 16, 2026. **Subdivision Ordinance: Section 134-105</p>	Non-compliance
ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106</p>	Compliance
SETBACKS	
<p>* Front: 25 ft. or greater for easements **Zoning Ordinance: Section 138-356</p>	Compliance

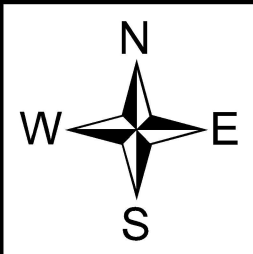
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Rear: 10 ft. or greater for easements. **Zoning Ordinance: Section 138-356</p>	<p>Compliance</p>
<p>* Sides: In accordance with the Zoning Ordinance or greater for easements. **Zoning Ordinance: Section 138-356</p>	<p>Compliance</p>
<p>* Corner _____ **Zoning Ordinance: Section 138-356</p>	<p>NA</p>
<p>* Garage: 18 ft. except where greater setback is required, greater setback applies. **Zoning Ordinance: Section 138-356</p>	<p>Compliance</p>
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN - Remove the above verbiage from the setback note. Although it is applied, it is not a required plat note.</p>	<p>Required</p>
<p>SIDEWALKS</p>	
<p>* 4 ft. wide minimum sidewalk required on both sides of Jonquil Avenue. **Subdivision Ordinance: Section 134-120</p>	<p>Compliance</p>
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	<p>Applied</p>
<p>BUFFERS</p>	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46</p>	<p>Applied</p>
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46</p>	<p>Applied</p>
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	<p>Applied</p>
<p>NOTES</p>	
<p>**Must comply with City Access Management Policy</p>	<p>Applied</p>
<p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance. - Site plan review doesn't apply to single-family developments.</p>	<p>NA</p>
<p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p>	<p>NA</p>
<p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	<p>NA</p>
<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 110-72 of the Subdivision Ordinance, including but not limited to common areas and its private streets. -Application is reflecting public subdivision **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	<p>Applied</p>
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. -Application reflects public subdivision **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	<p>Applied</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOT REQUIREMENTS		
* Lots fronting public streets **Subdivision Ordinance: Section 134-1		Applied
* Minimum lot width and lot area **Zoning Ordinance: Section 138-356		Applied
ZONING/CUP		
* Existing: R-1 Proposed: R-1 ***Zoning Ordinance: Article V		Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V		NA
PARKS		
* Land dedication in lieu of fee.		NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. - The submitted application proposes 4 single-family lots. A park fee of \$2,800 (4 x \$700) must be paid prior to recording. If the number of dwelling units changes, the park fee will be adjusted accordingly.		Required
* Pending review by the City Manager's Office.		NA
TRAFFIC		
* As per Traffic Department, Trip Generation is waived for 4-Lot single family houses.		Applied
* Traffic Impact Analysis (TIA) required prior to final plat.		NA
COMMENTS		
Comments: -Any variances requested must be finalized prior to final and will establish additional requirements as needed prior to finalizing the plat. - Provide a Cul-de-Sac and finalize the ROW requirements prior to final. *Must comply with City's Access Management Policy. *Any abandonment must be done by a separate process, not by plat.		Non-compliance
RECOMMENDATION		
Recommendation: Staff recommends approval of the subdivision in Revised Preliminary Form subject to the conditions noted, drainage approval and approval of the variance request.		Applied

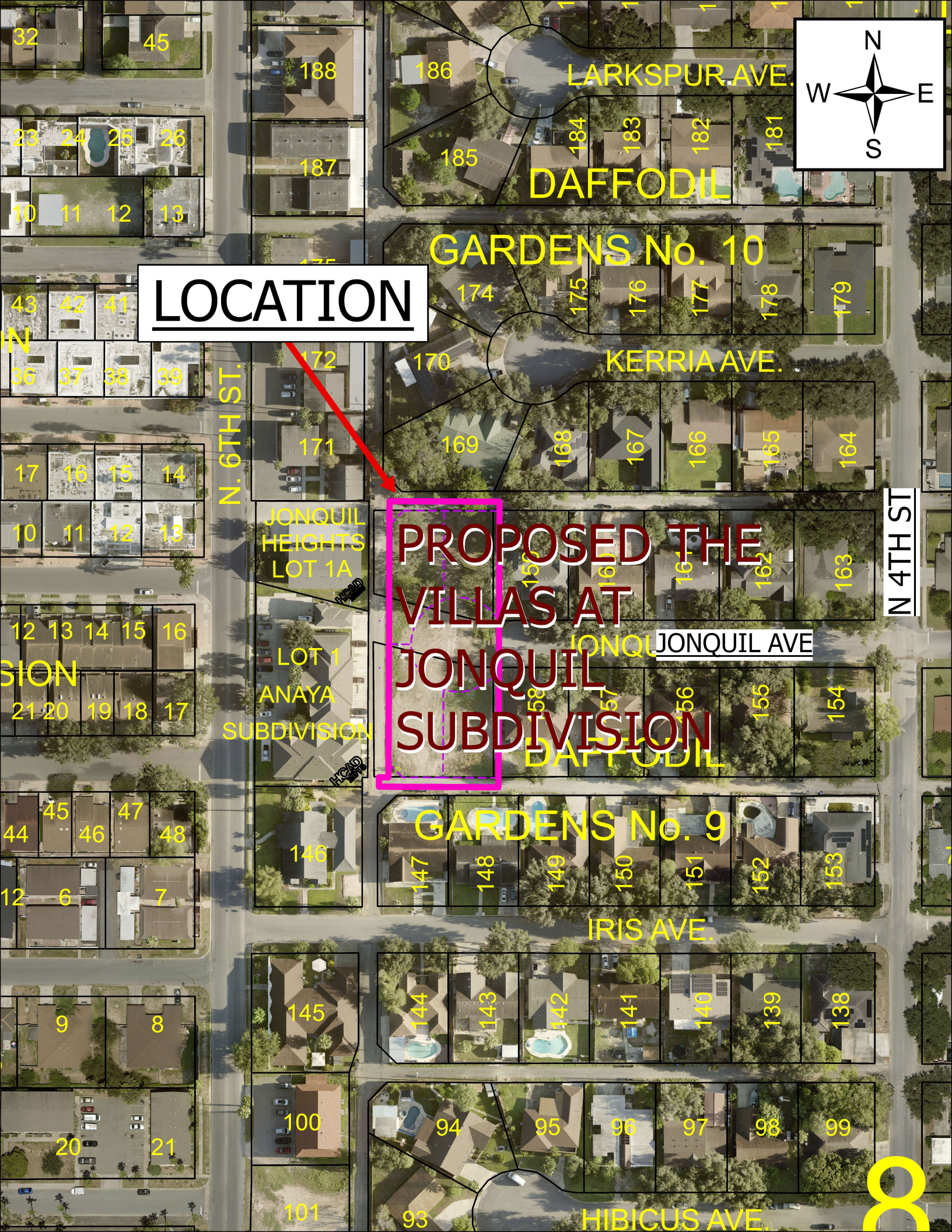
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



LOCATION



**PROPOSED THE
VILLAS AT
JONQUIL
SUBDIVISION**



CITY OF McALLEN

Planning & Zoning Commission Meeting

Subdivision Name	<i>Hidden Groves</i>
Owner Name	<i>Millennial Bear Farms LLC</i>
Engineering Firm	<i>Melden & Hunt, Inc.</i>
Existing Zoning	<i>R-1 Single Family Residential</i>
Proposed Zoning	<i>R-1 Single Family Residential</i>
Number of Lots	<i>25</i>

City of McAllen Planning Department



TBPELS Firm # F-1435
TBPELS # 10096900

MELDEN & HUNT INC.

CONSULTANTS • ENGINEERS • SURVEYORS

MARIO A. REYNA • ALLAN F. BOOE • ROBERTO N. TAMEZ • RUBEN JAMES DE JESUS • MICHAEL HERNANDEZ

May 15, 2026

City of McAllen Planning Dept.
Attn: Omar Sotelo, Planning Director
311 N. 15th St.
McAllen, TX 78501

Re: Hidden Groves Estates Subdivision-- Variance Request to City of McAllen

Dear Mr. Sotelo:

On behalf of the developer, J&D Produce, Inc., and in reference to Hidden Groves Subdivision, we respectfully request a variance to the following items:

1. ROW for internal street:

Requirement: 50 ft. ROW

Proposal: 24 ft. ROW alley with 20 ft. of pavement width.

The developer is proposing to use a 24 ft. alley for the E-W road instead of the required 50 ft. ROW. No homes will be facing this road, the homes will be facing the N-S streets. No parking will be allowed on this alley.

The approval of this variance will help to keep the lot widths above 55 ft. This would allow for more efficient designs and bigger house footprints.

2. Sidewalk on both sides of all intern streets:

Requirement: Sidewalk on both sides of all internal streets

Proposal: No sidewalks on the east side of N. 2nd Lane and proposed alley

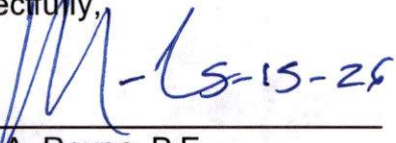
The developer is proposing to install a 5 ft. sidewalk on both sides of all internal streets except the east side of N. 2nd Lane and the proposed alley along the north boundary.

This is being requested due to no lots being proposed on the east side of N. 2nd Lane nor fronting the proposed alley. All homes will have a sidewalk connection along their frontage.

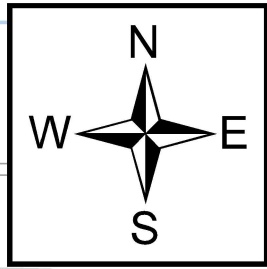


Your consideration on this matter is greatly appreciated. If you have any questions or comments, please contact our office. Thank you.

Respectfully,

A handwritten signature in blue ink, consisting of a large, stylized 'M' followed by the date '15-15-26'.

Mario A. Reyna, P.E.
President



11

HOBBS RD.

HOBBS RD

12

LOCATION

LOT 1
CAROLINA
SUBDIVISION

3

NORTHGATE LN.

14

13

11

LOT 1
EBONY CENTER
SUBDIVISION
LOT 2

GROVES

PROPOSED HIDDEN
ESTATES SUBDIVISION

LIMAS
SUBDIVISION
LOT 1

THE ESTATES
AT ORANGEWOOD NORTH
SUBDIVISION

N 2ND ST

3

FRONTERA RD

FRONTERA

ORANGEWOOD NORTH
SUBDIVISION

SUBDIVISION

EMORY AVE.

VIA CANTERA

SUBDIVISION

8

4

PLAT OF HIDDEN GROVE ESTATES SUBDIVISION (PRIVATE)

PLAT SHOWING
5.492 ACRES OUT OF LOTS 11 AND 12, EBONY HEIGHTS CITRUS GROVES UNIT NO. ONE,
VOLUME 5, PAGE 39, H.C.M.R. CITY OF MCALLEN HIDALGO COUNTY, TEXAS

METES AND BOUNDS DESCRIPTION:

A TRACT OF LAND CONTAINING 5.492 ACRES SITUATED IN THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF LOTS 11 AND 12, EBONY HEIGHTS CITRUS GROVES UNIT NO. ONE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 5, PAGE 39, HIDALGO COUNTY MAP RECORDS, WHICH SAID 5.492 ACRES WERE CONVEYED TO MILLENNIAL BEAR FARMS, LLC, BY VIRTUE OF SPECIAL WARRANTY DEED WITH VENDOR'S LIEN RECORDED UNDER DOCUMENT NUMBER 3067851 AND DOCUMENT NUMBER 3067864, HIDALGO COUNTY OFFICIAL RECORDS, SAID 5.492 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A NO. 4 REBAR FOUND [NORTHING: 16627392.866, EASTING: 1079315.627] AT THE NORTHWEST CORNER OF LOT 4, THE ESTATES AT ORANGEWOOD NORTH, ACCORDING TO THE PLAT THEREOF RECORDED IN INSTRUMENT NUMBER 2705403, HIDALGO COUNTY MAP RECORDS, FOR THE SOUTHWEST CORNER OF THIS TRACT;

1. THENCE, N 08° 35' 30" E ALONG THE EAST LINE OF LOT 5 OF SAID THE ESTATES AT ORANGEWOOD NORTH, AT A DISTANCE OF 75.85 FEET PASS A NO. 4 REBAR FOUND AT THE NORTHEAST CORNER OF SAID LOT 5, CONTINUING A TOTAL DISTANCE OF 573.42 FEET TO A NO. 4 REBAR SET, FROM WHICH A NO. 5 REBAR FOUND BEARS N 81° 24' 30" E A DISTANCE OF 0.80 FEET, FOR THE NORTHWEST CORNER OF THIS TRACT;
2. THENCE, S 81° 24' 30" E A DISTANCE OF 381.15 FEET TO A NO. 4 REBAR SET, FOR THE NORTHEAST CORNER OF THIS TRACT;
3. THENCE, S 08° 35' 30" W AT A DISTANCE OF 229.00 FEET PASS A NO. 4 REBAR FOUND IN LINE, CONTINUING A TOTAL DISTANCE OF 484.70 FEET TO A NO. 4 REBAR FOUND, FOR AN INSIDE CORNER OF THIS TRACT;
4. THENCE, S 81° 24' 30" E AT A DISTANCE OF 208.10 FEET PASS A NO. 4 REBAR SET ON THE EXISTING WEST RIGHT-OF-WAY LINE OF N. COLONEL ROWE BLVD.-N. 2ND STREET, AND BEING THE NORTHWEST CORNER OF A SAVE & EXCEPT TRACT CONVEYED TO THE CITY OF MCALLEN BY VIRTUE OF A WARRANTY DEED RECORDED IN INSTRUMENT NUMBER 1598590, HIDALGO COUNTY OFFICIAL RECORDS, AT A DISTANCE OF 233.10 FEET PASS A NO. 4 REBAR SET AT THE NORTHEAST CORNER OF SAID SAVE & EXCEPT TRACT, CONTINUING A TOTAL DISTANCE OF 258.10 FEET TO A NAIL SET ON THE EAST LINE OF SAID LOT 11 AND BEING WITHIN THE EXISTING RIGHT-OF-WAY OF N. COLONEL ROWE BLVD.-N. 2ND STREET, FOR AN OUTSIDE CORNER OF THIS TRACT;
5. THENCE, S 08° 35' 30" W ALONG THE EAST LINE OF SAID LOT 11 AND BEING WITHIN THE EXISTING RIGHT-OF-WAY OF N. COLONEL ROWE BLVD.-N. 2ND STREET, A DISTANCE OF 88.73 FEET TO A NAIL SET FOR THE SOUTHEAST CORNER OF THIS TRACT;
6. THENCE, N 81° 24' 30" W AT A DISTANCE OF 25.00 FEET PASS A NO. 4 REBAR SET AT THE SOUTHEAST CORNER OF SAID SAVE & EXCEPT TRACT AND THE NORTHEAST CORNER OF SAID THE ESTATES AT ORANGEWOOD NORTH FROM WHICH A NO. 5 REBAR FOUND BEARS N 22° 56' 42" W A DISTANCE OF 0.32 FEET, AT A DISTANCE OF 50.00 FEET PASS A NO. 4 REBAR SET ON THE EXISTING WEST RIGHT-OF-WAY LINE OF N. COLONEL ROWE BLVD.-N. 2ND STREET, AND ON THE SOUTHWEST CORNER OF SAID SAVE & EXCEPT TRACT, CONTINUING A TOTAL DISTANCE OF 639.25 FEET TO THE POINT OF BEGINNING, AND CONTAINING 5.543 ACRES OF LAND, OF WHICH 0.051 OF ONE ACRE LIES WITHIN SAID SAVE AND EXCEPT TRACT, LEAVING THE 5.492 ACRES HEREIN DESCRIBED, OF WHICH 0.051 OF ONE ACRE LIES WITHIN THE PREVIOUS EXISTING RIGHT-OF-WAY OF N. COLONEL ROWE BLVD.-N. 2ND STREET, LEAVING AN EXISTING NET OF 5.441 ACRES OF LAND, MORE OR LESS.

SAVE AND EXCEPT: TRACT 1
A TRACT OF LAND CONTAINING 0.051 OF ONE ACRE SITUATED IN THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF LOT 11, EBONY HEIGHTS CITRUS GROVES UNIT NO. ONE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 5, PAGE 39, HIDALGO COUNTY MAP RECORDS, WHICH SAID 0.051 OF ONE ACRE OUT OF A CERTAIN TRACT CONVEYED TO THE CITY OF MCALLEN BY VIRTUE OF A WARRANTY DEED RECORDED IN INSTRUMENT NUMBER 1598590, HIDALGO COUNTY OFFICIAL RECORDS, SAID 0.051 OF ONE ACRE ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A NO. 4 REBAR FOUND [NORTHING: 16627392.866, EASTING: 1079315.627] AT THE NORTHWEST CORNER OF LOT 4, THE ESTATES AT ORANGEWOOD NORTH, ACCORDING TO THE PLAT THEREOF RECORDED IN INSTRUMENT NUMBER 2705403, HIDALGO COUNTY MAP RECORDS;

THENCE, S 81° 24' 30" E AT A DISTANCE OF 248.65 FEET PASS THE EAST LINE OF LOT 12 AND THE WEST LINE OF LOT 11 OF SAID EBONY HEIGHTS CITRUS GROVES UNIT NO. ONE, CONTINUING A TOTAL DISTANCE OF 589.25 FEET FOR THE SOUTHWEST CORNER OF THIS TRACT;

1. THENCE, N 08° 35' 30" E ALONG THE EXISTING WEST RIGHT-OF-WAY LINE OF N. COLONEL ROWE BLVD.-2ND STREET, A DISTANCE OF 88.73 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER OF THIS TRACT;
2. THENCE, S 81° 24' 30" E A DISTANCE OF 25.00 FEET TO A NO. 4 REBAR SET FOR THE NORTHEAST CORNER OF THIS TRACT;
3. THENCE, S 08° 35' 30" W A DISTANCE OF 88.73 FEET TO A NO. 4 REBAR SET, FROM WHICH A NO. 5 REBAR BEARS N 22° 56' 42" W A DISTANCE OF 0.32 FEET, FOR THE SOUTHEAST CORNER OF THIS TRACT
4. THENCE, N 81° 24' 30" W ALONG THE NORTH LINE OF SAID THE ESTATES AT ORANGEWOOD NORTH, A DISTANCE OF 25.00 FEET TO THE POINT OF BEGINNING, AND CONTAINING 0.051 OF ONE ACRE OF LAND, MORE OR LESS.

SAVE AND EXCEPT: TRACT 2
A TRACT OF LAND CONTAINING 0.131 OF ONE ACRE SITUATED IN THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF LOT 11, EBONY HEIGHTS CITRUS GROVES UNIT NO. ONE, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 5, PAGE 39, HIDALGO COUNTY MAP RECORDS, WHICH SAID 0.131 OF ONE ACRE OUT OF A CERTAIN TRACT CONVEYED TO THE CITY OF MCALLEN BY VIRTUE OF A WARRANTY DEED RECORDED IN DOCUMENT NUMBER 1598590, HIDALGO COUNTY OFFICIAL RECORDS, SAID 0.131 OF ONE ACRE ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

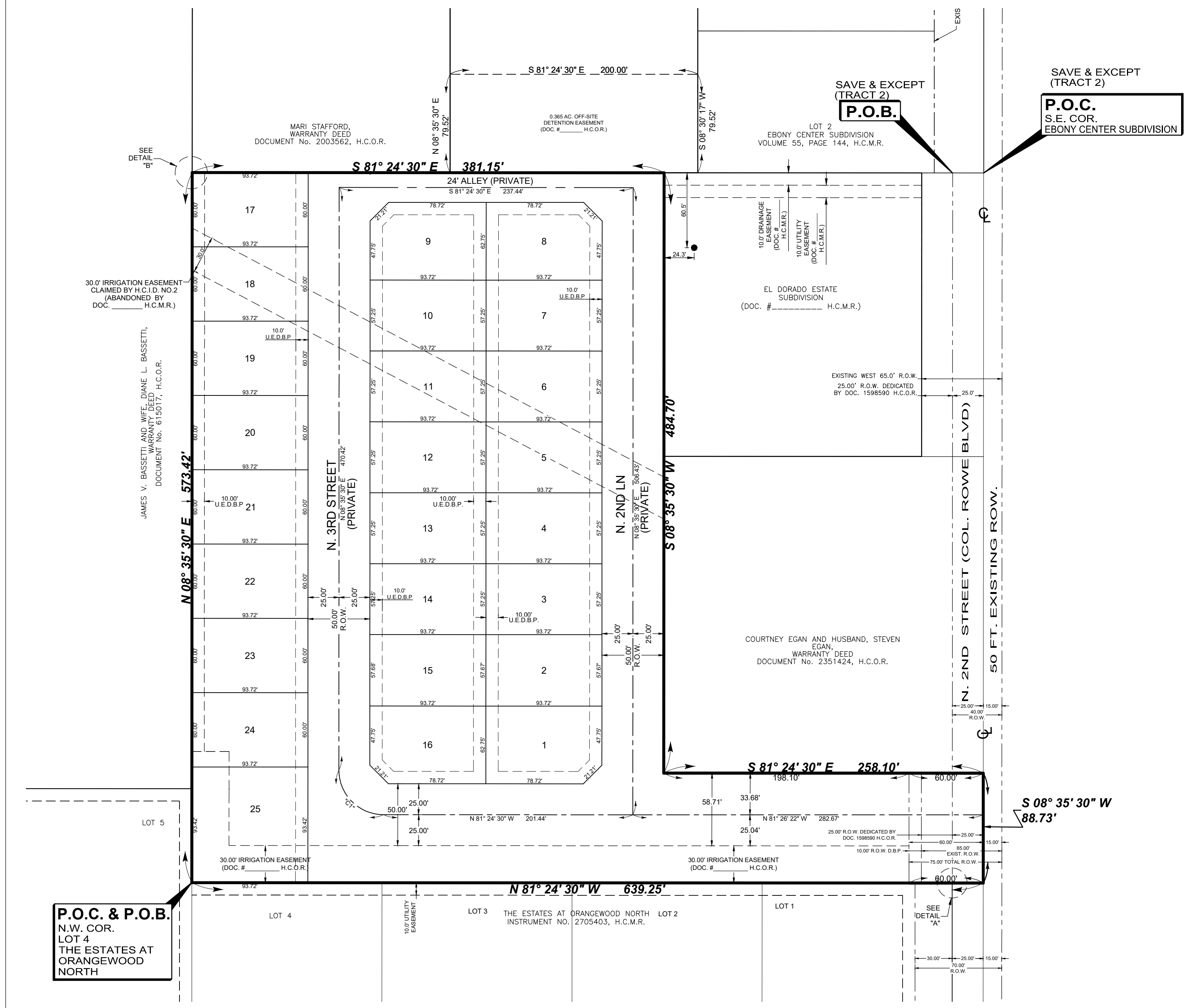
COMMENCING AT A NAIL SET AT THE SOUTHEAST CORNER OF EBONY CENTER SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 55, PAGE 144, HIDALGO COUNTY MAP RECORDS;

THENCE, N 81° 24' 30" W A DISTANCE OF 25.00 FEET TO A NO. 4 REBAR FOUND, FOR THE NORTHEAST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

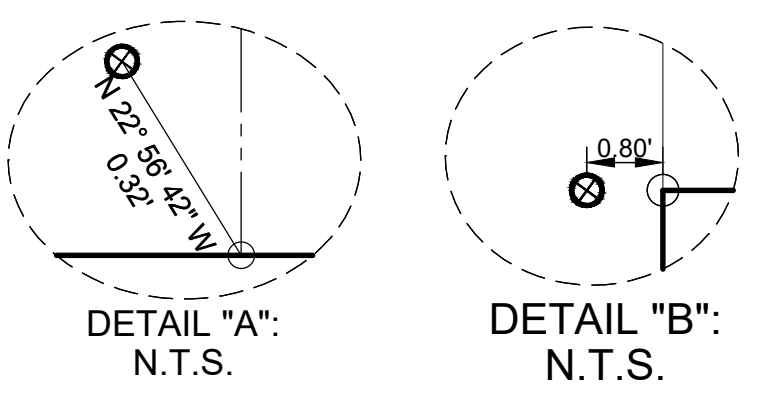
1. THENCE, S 08° 35' 30" W A DISTANCE OF 229.00 FEET TO A NO. 4 REBAR SET FROM WHICH A NO. 4 REBAR FOUND BEARS N 65° 35' 57" W A DISTANCE OF 0.93 FEET, FOR THE SOUTHEAST CORNER OF THIS TRACT;
2. THENCE, N 81° 24' 30" W A DISTANCE OF 25.00 FEET TO A NO. 4 REBAR SET FOR THE SOUTHWEST CORNER OF THIS TRACT;
3. THENCE, N 08° 35' 30" E ALONG THE EXISTING WEST RIGHT-OF-WAY LINE OF N. COLONEL ROWE BLVD.-2ND STREET, A DISTANCE OF 229.00 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER OF THIS TRACT;
4. THENCE, S 81° 24' 30" E ALONG THE SOUTH LINE OF SAID EBONY CENTER SUBDIVISION, AT A DISTANCE OF 9.65 FEET PASS A NO. 4 REBAR FOUND, CONTINUING A TOTAL DISTANCE OF 25.00 FEET TO THE POINT OF BEGINNING, AND CONTAINING 0.131 OF ONE ACRE OF LAND, MORE OR LESS.

GENERAL NOTES:

1. THIS SUBDIVISION IS PARTIALLY IN FLOOD ZONE "AH" AND MOSTLY IN ZONE "X" (SHADED).
ZONE "AH" - AREAS OF 100-YEAR SHALLOW FLOODING WHERE DEPTHS ARE BETWEEN ONE (1) AND THREE (3) FEET; BASE FLOOD ELEVATION HAS BEEN DETERMINED TO BE 107, BUT NO FLOOD HAZARD FACTORS ARE DETERMINED. (NO BUILDING PERMITTED WITHIN ZONE "AH")
ZONE "X" (SHADED) AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREA PROTECTED BY LEVEES FROM 100-YEAR FLOOD.
COMMUNITY-PANEL NUMBER: 480334 0325 D MAP REVISED: JUNE 6, 2000 REVISED TO REFLECT LOMR: MAY 17, 2001. (FINISH FLOOR 24" ABOVE TOP OF CURB AT CENTER OF LOT.)
2. MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF MCALLEN ZONING CODE:
FRONT: 25 FEET OR GREATER FOR EASEMENTS
REAR: 10 FEET OR GREATER FOR EASEMENTS.
SIDES: 6 FEET OR GREATER FOR EASEMENTS.
CORNER: 10 FEET OR GREATER FOR EASEMENTS.
GARAGE: 18 FEET EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES.
3. REQUIRED DETENTION FOR STORM SEWER RUNOFF PER THE APPROVED DRAINAGE REPORT SHALL BE 21,320 CF. (0.489 AC.-FT.) DETENTION WILL BE PROVIDED ON SITE WITHIN DETENTION AREA AS APPROVED BY THE CITY OF MCALLEN.
4. CITY OF MCALLEN BENCHMARK: "MC50.1" FROM THE CITY OF MCALLEN G.P.S. REFERENCE MARKS LIST PREPARED BY ARANDA & ASSOCIATE ON SEPTEMBER 09, 2002. BEING LOCATED ON THE WEST SIDE OF 10TH ST. BETWEEN TRENTON AND FULLERTON ROAD. 30" ALUM. PIPE WITH A 3 1/2" BRASS MONUMENT CAP ON TOP AT ELEVATION = 106.511 (NAVD88).
TEMPORARY BENCHMARK: FOUND C.P.S. IN POWER POLE LOCATED 545 FEET EAST AND NORTH 213' OF THE NORTHEAST CORNER OF THIS SUBDIVISION. GEODETIC G.P.S. TEXAS STATE PLANE GRID COORDINATE SYSTEM NAD 83 TEXAS SOUTH 4205 ELEVATION PER NAVD 99 (GEOID 2003) N=16627167.194 E=1079903.436 ELEV.=108.58
5. NO BUILDING ALLOWED OVER ANY EASEMENT.
6. 4 FT. WIDE SIDEWALK REQUIRED ALONG N. 2ND STREET (N. COL. ROWE BLVD), BOTH SIDE OF N.3RD STREET AND NORTH SIDE OF INCARNATE WORD AVENUE.
7. 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, OR INDUSTRIAL ZONES/USES AND ALONG NORTH 2ND STREET.
8. 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
9. COMMON AREAS MUST BE MAINTAINED BY LOT OWNERS AND NOT THE CITY OF MCALLEN.
10. NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG N. 2ND STREET.
11. 25x25' CLIP FOR SITE OBSTRUCTION EASEMENT IS REQUIRED AT ALL STREET INTERSECTIONS.



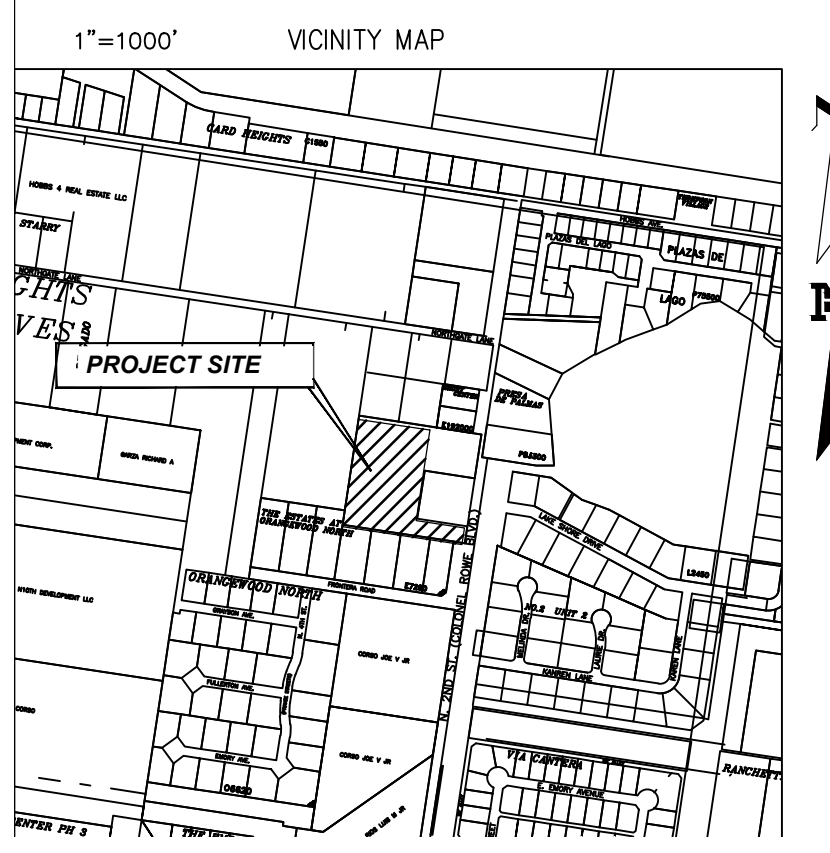
P.O.C. & P.O.B.
N.W. COR.
LOT 4
THE ESTATES AT
ORANGEWOOD
NORTH



LOT AREAS			LOT AREAS		
Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area
1	5768.43	0.132	14	5365.47	0.123
2	5405.30	0.124	15	5405.30	0.124
3	5365.47	0.123	16	5768.43	0.132
4	5365.47	0.123	17	5623.20	0.129
5	5365.47	0.123	18	5623.20	0.129
6	5365.47	0.123	19	5623.20	0.129
7	5365.47	0.123	20	5623.20	0.129
8	5768.43	0.132	21	5623.20	0.129
9	5768.43	0.132	22	5623.20	0.129
10	5365.47	0.123	23	5623.20	0.129
11	5365.47	0.123	24	5623.20	0.129
12	5365.47	0.123	25	8755.79	0.201
13	5365.47	0.123			

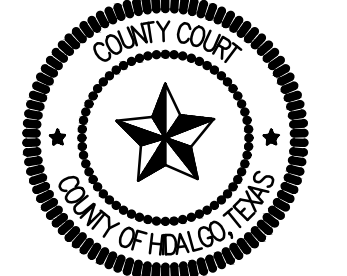
Curve Table					
Curve #	Delta	Radius	Length	Tangent	Chord Length
"C1"	090° 00' 00"	36.00'	56.55'	36.00'	50.91'

- ### LEGEND
- FOUND NO. 4 REBAR
 - FOUND NO. 5 REBAR
 - SET NO. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT, INC
 - ⊙ SET NAIL
 - AA - EDGE OF ASPHALT TO EDGE OF ASPHALT R.O.W. - RIGHT OF WAY
 - H.C.M.R. - HIDALGO COUNTY MAP RECORDS
 - H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
 - H.C.I.D. - HIDALGO COUNTY IRRIGATION DISTRICT
 - N.W. COR. - NORTHWEST CORNER
 - P.O.B. - POINT OF BEGINNING
 - P.O.C. - POINT OF COMMENCING
 - CL - CENTER LINE
 - U.E. - UTILITY EASEMENT
 - D.E. - DRAINAGE EASEMENT
 - D.B.P. - DEDICATED BY PLAT
 - N.T.S. - NOT TO SCALE
 - C.A. - COMMON AREA



DRAWN BY: L.H. DATE: 05/15/2026
 REVISED BY: DATE: _____
 SURVEYED, CHECKED: DATE: _____
 FINAL CHECK: DATE: _____

PRINCIPAL CONTACTS ADDRESS PHONE/FAX
 OWNER: MILLENNIAL BEAR FARM, LLC, C/O JAMES V. BASSETTI 281 N. HIGHWAY, HIDALGO COUNTY, TX 7310
 ENGINEER: MARIO A. REYNA P.E. 115 W. MCINTYRE, EDINBURG, TX 78541 (956) 381-0981 / (956) 381-1839
 SURVEYOR: ROBERTO N. TAMEZ R.P.L.S. 115 W. MCINTYRE, EDINBURG, TX 78541 (956) 381-0981 / (956) 381-1839



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
 INSTRUMENT NUMBER _____
 OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
 BY: _____ DEPUTY



Reviewed On: 6/10/2026

SUBDIVISION NAME: HIDDEN GROVE ESTATES SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>N. 2nd Street (N. Col Rowe Blvd.): 60 ft. ROW required from centerline for 120 ft. total R.O.W. Paving: min. 65 ft. Curb & gutter: both sides Revisions needed: - The engineer submitted a variance request for the ROW dedication. A 55 ft from centerline. This variance will be heard at the planning and zoning board on November 4, 2025. - The variance request was withdrawn and will be giving staff the required ROW. - Please provide staff with copy of existing R.O.W. documents for staff review prior to final. **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan **Monies must be escrowed if improvements are not built prior to recording.</p>	Required
<p>Interior street: 50 ft. R.O.W. Paving: *40ft. Curb & gutter: both sides Revisions needed: - R.O.W. for gate area needs to be increased to 65 ft. to accommodate all gate and related improvements. - Need to provide Gate Details for staff review prior to final. - Street name will be established prior to final. Finalize street name requirement prior to final **Disclaimer: H.C.I.D. No. 2 easement falls on top of the internal street. - The engineer submitted a variance request to the ROW gate entrances. 58.73 ROW with a 20 ft paving face to face on each side and 4 ft side walk along the north side only. HCID #2 does not allow public improvements on ROW, email was sent to the engineer. - Variance got approved on 11.24.25. **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan **Monies must be escrowed if improvements are not built prior to recording.</p>	Required
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118</p>	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* 600 ft. Maximum Cul-de-Sac. - Subdivision layout does not appear to comply with the 600 ft. Cul-De-Sac block length requirement, please revise accordingly prior to final. If no changes please submit a variance request for 600 ft. maximum block length requirement. - If variance is requested for Cul-De-Sac street exceeding the 600 ft. length, if variance is approved it would be subject to that 40 ft. of pavement. the variance was approved on 11.24.25. - The current layout submitted on 06/05/2026 does not show a cul-de-sac. **Subdivision Ordinance: Section 134-105</p>	<p>NA</p>
<p>ALLEYS</p>	
<p>ROW: 20 ft. Paving: 16 ft. *Disclaimer: As of plat submitted on December 5, 2024, Alleys are not being proposed. - The submitted plat shows a 24 ft alley on the north portion of the property. The variance to provide an alley, lieu of an internal street will be heard at the planning and zoning on June 16, 2026 and CC ON 07/13/2026 *Alley/service drive easement required for commercial properties. **Subdivision Ordinance: Section 134-106"</p>	<p>Non-compliance</p>
<p>SETBACKS</p>	
<p>* Front: 25 ft. or greater for easements *Zoning Ordinance: Section 138-356" * Rear: 10 ft. or greater for easements **Zoning Ordinance: Section 138-356 Sides: 6 ft. or greater for easements. *Zoning Ordinance: Section 138-356 * Side corner: 10 ft. or greater for easements, whichever is greater applies. Revisions needed: - Include note as shown above prior to final. **Zoning Ordinance: Section 138-356 Garage: 18 ft. except where a greater setback is required; greater setback applies. *Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	<p>Applied</p>
	<p>Applied</p>
	<p>Applied</p>
	<p>Applied</p>
	<p>Applied</p>
	<p>Applied</p>
<p>SIDEWALKS</p>	
<p>4 ft. wide minimum sidewalk required on the west side of N. 2nd Street (Col. Rowe Blvd.) and both sides of all interior streets. Revisions needed: -Plat references incarnate word and North 3rd street, please make correction, prior to recording. - a Variance request was submitted to not provide sidewalks on the east side of the property. The variance will be heard at the planning and zoning meeting of June 16, 2026. ***Sidewalk requirement may increase to 5 ft. as per Engineering Department prior to final. **Subdivision Ordinance: Section 134-120" * Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	<p>Non-compliance</p>
	<p>Required</p>
<p>BUFFERS</p>	
<p>6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along N. 2nd Street. Revisions Needed: *Landscaping Ordinance: Section 110-46.</p>	<p>Applied</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements.</p>	Applied
NOTES	Required
<p>* No curb cut, access, or lot frontage permitted along N. 2nd Street. **As per Traffic Department, "No curb cuts will be allowed along N. 2nd street for any individual lots..." Contact traffic department for more details. **Must comply with City Access Management Policy. * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Revisions Needed: - Add a plat note as shown above prior to final. **Section 134-168 applies if private subdivision is proposed. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Revisions needed: - HOA covenants would need to be submitted for staff review. - Need to add a plat note with a space to cross-reference the recorded HOA document number. **Section 134-168 applies if private subdivision is proposed. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	TBD
	NA
	Applied
	NA
	Required
	Required
LOT REQUIREMENTS	
<p>* Lots fronting public streets **Subdivision Ordinance: Section 134-1</p>	Applied
<p>* Minimum lot width and lot area. Lot dedication min. 25 frontage on street. **Zoning Ordinance: Section 138-356</p>	Required
ZONING/CUP	
<p>* Existing: R-1 (Single-Family Residential District) Proposed: R-1 (Single-Family Residential District) ***Zoning Ordinance: Article V</p>	Applied
<p>* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V</p>	NA

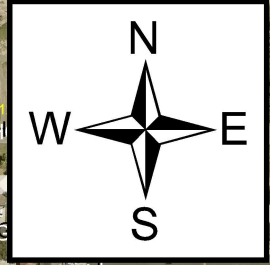
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

PARKS	
<p>25 residential lots.25X700 =17, 500 -The variance request was denied for 8 residential lots to pay half at building permit. full park fees must be paid, prior to recording. - lots have increased to 25 lots.</p>	Required
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. - plat depicts 25 residential lots.25X700 =17, 500 -The variance request was denied for 8 residential lots to pay half at building permit. full park fees must be paid, prior to recording. - lots have increased to 25 lots.</p>	Required
<p>* Pending review by the City Manager's Office. As per plat submitted on December 5, 2024, plat depicts 8 residential lots, a request to pay park fees in lieu of land dedication for the Hidden Grove Estates Subdivision has been submitted and will be reviewed by City Manager's Office. This request includes paying half of the park fees prior to recording and the other half prior to building permit issuance. Half of the park fees (\$2,800) are based on the \$350 per 8 proposed dwelling units, which is needed prior to recording, and \$350 per 8 dwelling units must be paid prior to building permit issuance . If the number of dwelling units increases, additional park fees will apply. -The variance request was denied, Full Park fees must be paid, prior to recording. - lots have increased to 25 lots as per June 5, 2026. -As per plat submitted on December 5, 2024, plat depicts 25 residential lots.25X700 =17, 500 -The variance request was denied for 8 residential lots to pay half at building permit. full park fees must be paid, prior to recording.</p>	Required
TRAFFIC	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. - Trip Generation has been approved, no TIA required.</p>	Applied
<p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	NA
COMMENTS	
<p>Comments: - the engineer submitted a variance to 3 requests. This variance will be heard at the planning and zoning commission board on 11.4.25. the requests are 1. 58.73 ROW with 20ft of paving and 4 ft sidewalk on the north side only. 3. cul-de-sac requirement exceeding. - Verify that the Metes & Bounds provided on the application match the bearings and distances labeled on the plat and plat boundary. - Contour lines on the plat are missing the elevations. - Application refers to subdivision name as "Hidden Grove Estates Subdivision" need to make sure that this subdivision title is reflected as such on all pertaining signature lines, reports, paperwork,etc. *If there are multiple owners on the LLC, owner's authorization letters would be required for each owner. - Any abandonments must be done by a separate instrument/document, cannot be abandoned by plat. - Ownership map of the surrounding properties needs to be provided for staff review prior to final, to ensure that no landlocked properties exist. - Disclaimer: Subdivision was previously processed as the Proposed Eagle's Nest Subdivision and was withdrawn by the Engineer on April 21, 2023. *Must comply with City's Access Management Policy.</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM, SUBJECT TO CONDITIONS NOTED, DRAINAGE AND UTILITY APPROVAL AND DISAPPROVAL OF REQUEST #1 (ALLEY) AND APPROVAL OF REQUEST #2 (SIDEWALK).	Applied

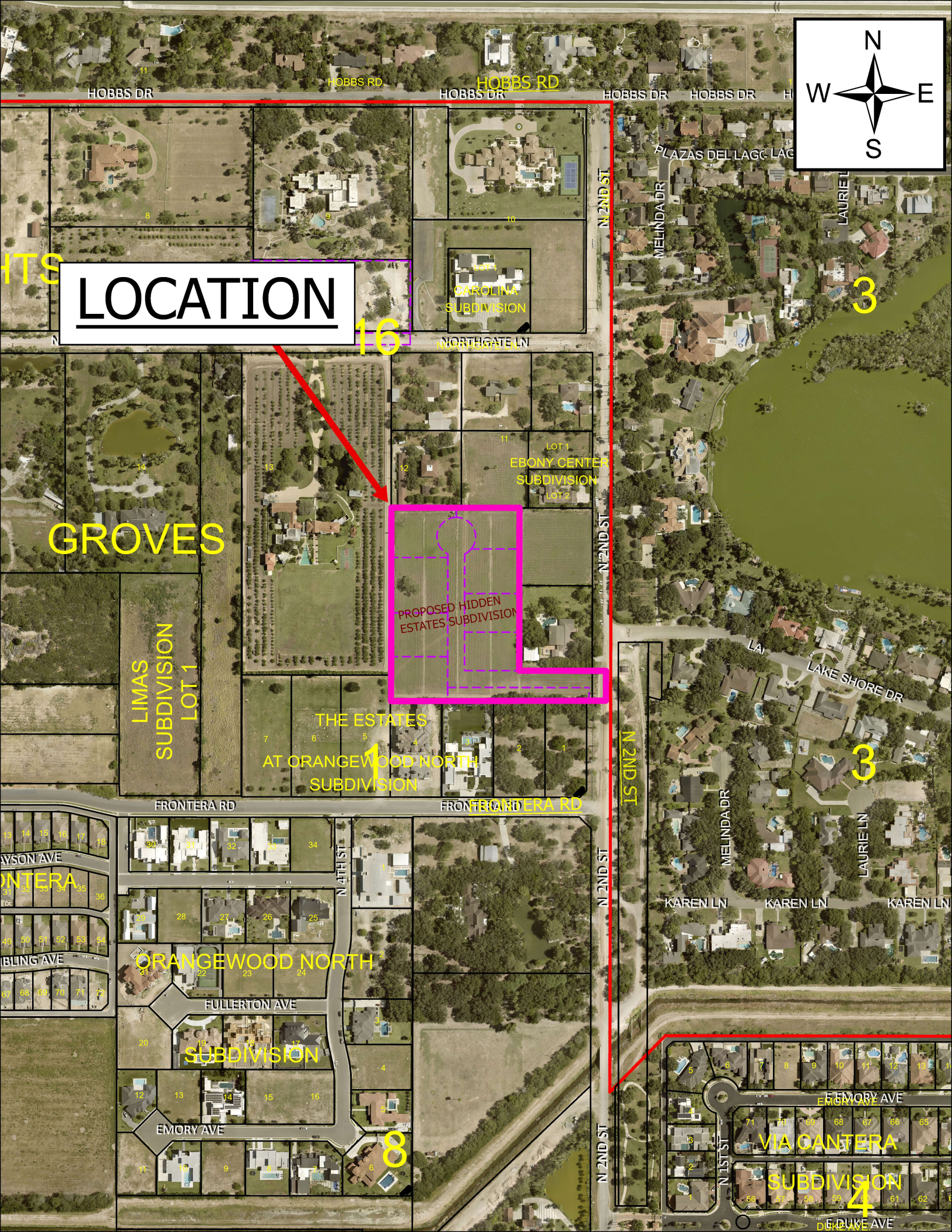
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



LOCATION

GROVES

PROPOSED HIDDEN
ESTATES SUBDIVISION



16

3

1

3

8

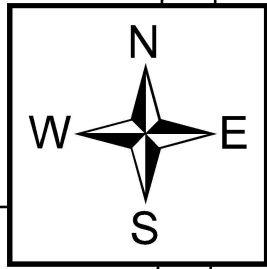
4

CITY OF McALLEN

Planning & Zoning Commission Meeting

Subdivision Name	<i>Star Subdivision</i>
Owner Name	<i>Star Clothing, LLC</i>
Engineering Firm	<i>R.E Garcia & Associates</i>
Existing Zoning	<i>C-4 (Commercial Industrial)</i>
Proposed Zoning	<i>C-4 (Commercial Industrial)</i>
Number of Lots	<i>1</i>

City of McAllen Planning Department



22

LOCATION

4

5

**PROPOSED
STAR SUBDIVISION**

S MCCOLL RD

E DICKER RD

3

2

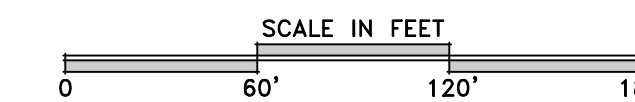
23

REVISION NOTES				
NO.	SHEET	REVISION	DATE	APPROVED

PLAT OF STAR SUBDIVISION

A 3.00 ACRE TRACT OF LAND BEING A PORTION OF LOT 5, BLOCK 22, STEELE AND PERSHING SUBDIVISION, AS RECORDED IN VOLUME 8, PAGE 115, DEED RECORDS, HIDALGO COUNTY, TEXAS, ALSO BEING THAT CERTAIN TRACT DESCRIBED IN GENERAL WARRANTY DEED RECORDED IN DOCUMENT #3579902, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS

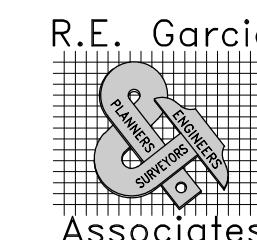
DATE: MAY 8, 2026



SCALE: 1" = 60'

PREPARED BY:

R. E. GARCIA & ASSOCIATES
ENGINEERS, SURVEYORS, PLANNERS

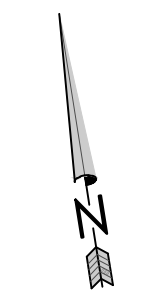


JOB NO.: 2026-046
DRAWN BY: E.S.

116 NORTH 12TH AVE
EDINBURG, TEXAS 78541 (956) 381-1061
EMAIL: REGAASSOC@AOL.COM

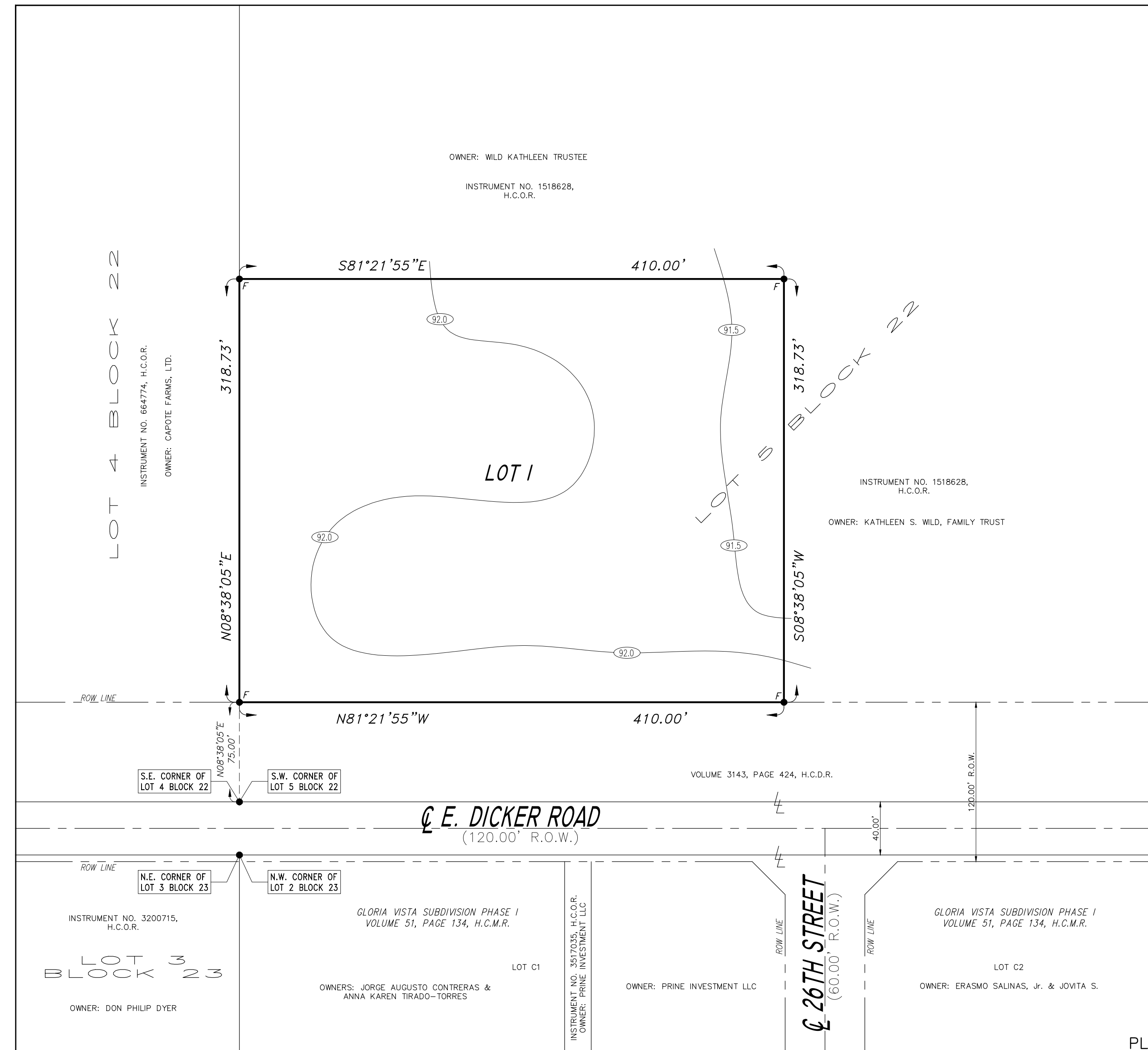
LEGEND:

- F - FOUND 1/2" IRON ROD
- LOT LINE
- (92.0) - GROUND ELEVATION



SCALE: 1" = 60'

BEARINGS BASED ON RECORD BEARINGS OF
HIDALGO COUNTY SURVEYOR (10015300)
RECORDED IN INSTRUMENT NO. 273783, H.C.O.R.



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

STATE OF TEXAS
COUNTY OF HIDALGO
APPROVAL BY HIDALGO COUNTY IRRIGATION DISTRICT NO. 2
THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 ON THIS THE _____ DAY OF _____, 2026.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATIONS, TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 RIGHTS-OF-WAY OR EASEMENTS. A PERMIT IS REQUIRED FOR ANY UTILITY SERVICE CROSSING A H.C.I.D. No. 2 RIGHTS OF WAY, EASEMENT OR FACILITY.

ATTEST:
PRESIDENT _____ DATE _____ SECRETARY _____ DATE _____

APPROVAL BY HIDALGO COUNTY DRAINAGE DISTRICT NO. 1:
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE PLAN FOR THIS SUBDIVISION COMPANY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

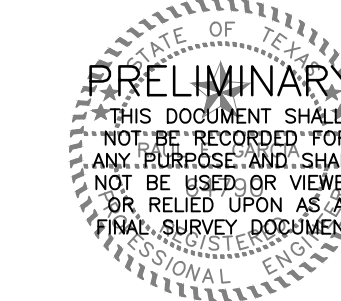
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M. _____ DATE _____
GENERAL MANAGER

THE STATE OF TEXAS
COUNTY OF HIDALGO
I, **RAUL E. GARCIA**, REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF EDINBURG, TEXAS.

REGISTERED PROFESSIONAL LAND SURVEYOR #4204

THE STATE OF TEXAS
COUNTY OF HIDALGO
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.



REGISTERED PROFESSIONAL ENGINEER #64790

THE STATE OF TEXAS
COUNTY OF HIDALGO
I, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS SUBDIVISION PLAT AND DESIGNATED HEREIN AS THE **STAR SUBDIVISION** TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

STAR CLOTHING, LLC.
ROGELIO NOVA, OWNER
8109 S. 23rd STREET, SUITE B
McALLEN, TEXAS 78503

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY APPEARED **ROGELIO NOVA**, KNOWN TO ME TO BE THE PERSONS WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE _____ DAY OF _____, 20____.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC IN AND FOR HIDALGO COUNTY, TEXAS

CITY OF McALLEN
MAYOR CERTIFICATION
I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN _____ DATE _____

CITY SECRETARY _____ DATE _____

CITY OF McALLEN CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE §212.009(C) & §212.0115(B)
I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION _____ DATE _____

PLAT NOTES & RESTRICTIONS:

- FLOOD ZONE STATEMENT:
FLOOD ZONE DESIGNATION: ZONE "B"
ZONE "B" IS DEFINED AS AREA DETERMINED TO BE BETWEEN THE LIMITS OF THE 100-YEAR AND 500-YEAR FLOOD PLAIN; COMMUNITY-PANEL NO. 480334 0500 B
EFFECTIVE DATE: JANUARY 02, 1981

THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS FOR HIDALGO COUNTY, TEXAS AND THE LOCAL FLOOD PLAIN ADMINISTRATOR IDENTIFIES NO OTHER AREA WITHIN THE PROPOSED SUBDIVISION TO BE WITHIN THE 100-YEAR FLOOD PLAIN CONSTRUCTION OF RESIDENTIAL HOUSING WITHIN ANY AREA OF THE SUBDIVISION THAT IS IN THE 100-YEAR FLOOD PLAIN IS PROHIBITED UNLESS THE HOUSING QUALIFIES FOR INSURANCE UNDER THE NATIONAL FLOOD INSURANCE ACT OF 1968. (42 U.S.C. SECTIONS 4001 THROUGH 4127).
- SETBACKS:
FRONT: 50 FEET OR EASEMENT WHICHEVER IS GREATER.
REAR: 15 FEET OR EASEMENT WHICHEVER IS GREATER.
SIDE: 15 FEET OR EASEMENT WHICHEVER IS GREATER
- MINIMUM FINISH FLOOR NOTE: MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE THE TOP OF CURB ON THE CENTER OF LOT OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS; AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.
- BENCHMARK NOTE:
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF **25,237 CUBIC-FEET (0.58 ACRE-FEET)** OF STORM WATER RUNOFF.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS, TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF McALLEN ENGINEERING DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT. GRADING MUST COMPLY WITH MASTER DRAINAGE PLAN.
- SITE PLAN MUST BE APPROVED BY THE PLANNING & ZONING COMMISSION PRIOR TO THE ISSUANCE OF BUILDING PERMIT.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE DEVELOPMENT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.

METES AND BOUNDS DESCRIPTION

A 3.00 ACRE TRACT OF LAND BEING A PORTION OF LOT 5, BLOCK 22, STEELE AND PERSHING SUBDIVISION, AS RECORDED IN VOLUME 8, PAGE 115, DEED RECORDS, HIDALGO COUNTY, TEXAS, ALSO BEING THAT CERTAIN TRACT DESCRIBED IN GENERAL WARRANTY DEED RECORDED IN DOCUMENT #3579902, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, AND BEING MORE FULLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

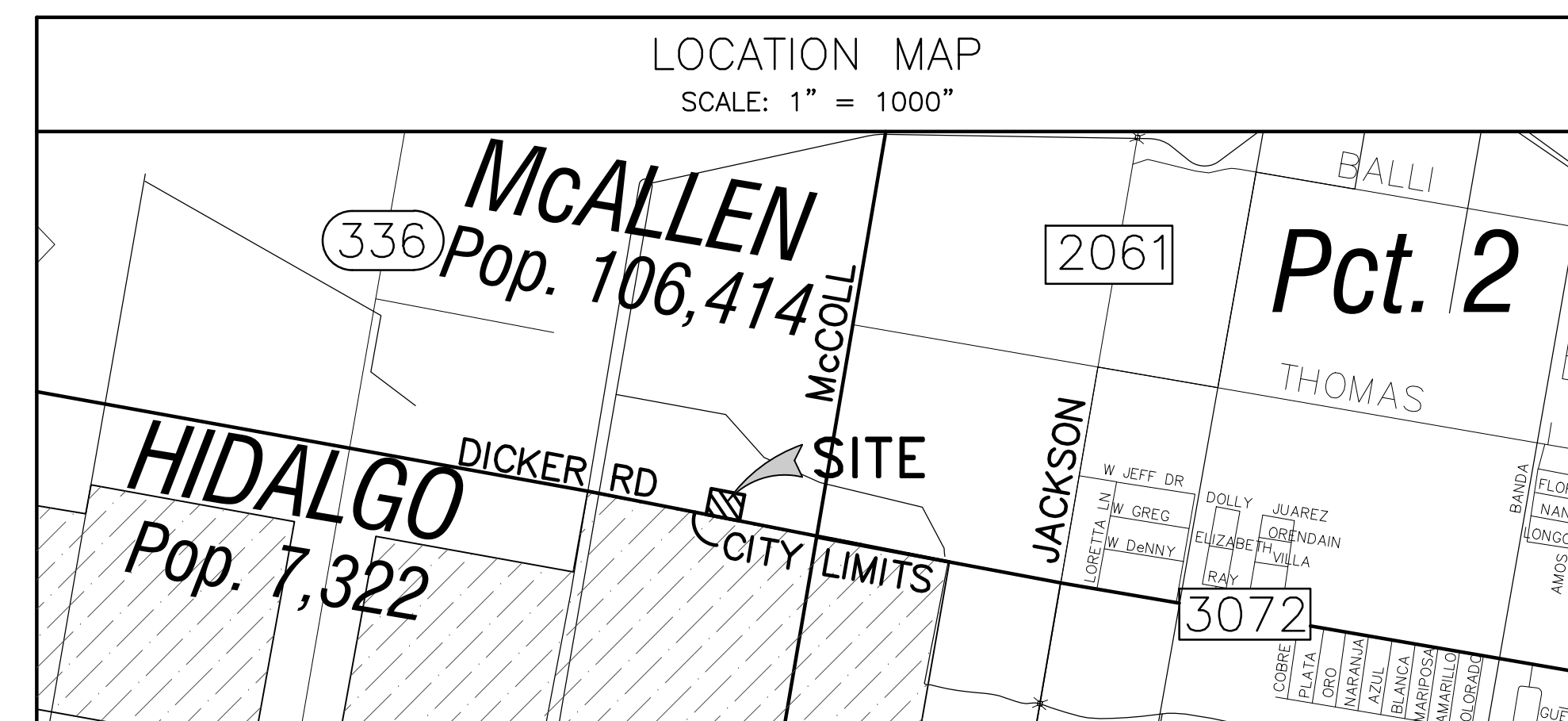
BEGINNING AT A FOUND ONE-HALF INCH IRON ROD ON THE POINT OF INTERSECTION OF THE WEST LINE OF SAID LOT 5, BLOCK 22, AND THE NORTH RIGHT-OF-WAY LINE OF DICKER ROAD AS ESTABLISHED BY RIGHT-OF-WAY EASEMENT RECORDED IN VOLUME 3143, PAGE 423, DEED RECORDS, HIDALGO COUNTY, TEXAS, FOR THE SOUTHWEST CORNER OF HEREIN DESCRIBED TRACT. SAID POINT BEARS N 08°38' 05" E 75.00 FEET FROM THE SOUTHWEST CORNER OF SAID LOT 5, BLOCK 22.

THENCE N 08°38' 05" E 318.73 FEET ALONG SAID WEST LINE OF LOT 5, BLOCK 22, TO A FOUND ONE-HALF INCH IRON ROD FOR THE NORTHWEST CORNER OF HEREIN DESCRIBED TRACT.

THENCE S 81°21' 55" E 410.00 FEET PARALLEL TO THE SOUTH LINE OF SAID LOT 5, BLOCK 22, TO A FOUND ONE-HALF INCH IRON ROD FOR THE NORTHEAST CORNER OF HEREIN DESCRIBED TRACT.

THENCE S 08°38' 05" W 318.73 FEET PARALLEL TO THE WEST LINE OF SAID LOT 5, BLOCK 22, TO A FOUND ONE-HALF INCH IRON ROD ON THE NORTH RIGHT-OF-WAY LINE OF SAID DICKER ROAD AS ESTABLISHED BY RIGHT-OF-WAY EASEMENT RECORDED IN VOLUME 3143, PAGE 423, DEED RECORDS, HIDALGO COUNTY, TEXAS, FOR THE SOUTHWEST CORNER OF HEREIN DESCRIBED TRACT.

THENCE N 81°21' 55" W 410.00 FEET ALONG SAID NORTH RIGHT-OF-WAY LINE OF SAID DICKER ROAD AS ESTABLISHED BY RIGHT-OF-WAY EASEMENT RECORDED IN VOLUME 3143, PAGE 423, DEED RECORDS, HIDALGO COUNTY, TEXAS, BEING PARALLEL TO THE SOUTH LINE OF SAID LOT 5, BLOCK 22, TO THE POINT OF BEGINNING AND CONTAINING 3.00 ACRES OF LAND, MORE OR LESS.



PRINCIPAL CONTACTS:			
NAME:	ADDRESS:	CITY, STATE & ZIP:	PHONE NUMBER:
STAR CLOTHING, LLC.	8019 S. 23rd ST., SUITE B	McALLEN, TX 78503	(956) 252-7780
ENGINEER: RAUL E. GARCIA	116 N. 12TH	EDINBURG, TX 78539	(956) 381-1061
SURVEYOR: RAUL E. GARCIA	116 N. 12TH	EDINBURG, TX 78539	(956) 381-1061



Reviewed On: 6/10/2026

SUBDIVISION NAME: STAR SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
E. Dicker Road (F.M 3072): Dedication of 60 ft. for a total of 120 ft. ROW Paving: 65 ft. to 85 ft. Curb & gutter: both sides Revision required: -Need to Label the Centerline & Total R.O.W. after accounting for dedication. -Needs to provide document numbers for staff review prior to final if ROW is existing. - Show existing R.O.W. on Dedication on both sides of centerline and total R.O.W. to determine any ROW dedication required. - Please label "total" "existing" etc. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Non-compliance
N/S Collector Street (west boundary): 60 ft. total ROW. Paving: 40 ft. Curb & gutter: both sides - Just for reference, there is a Drainage ditch on the north side of property, approx. 60 ft. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Non-compliance
Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Applied
Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Applied
Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Applied
* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118	Applied
* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118	Applied
* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft. -Engineer must clarify if alley or service drive will be provided, prior to final. Alley or service drive cannot dead-end. - If service drive is proposed a plat note stating "A minimum 24 ft. private service drive will be established as part of the site plan and must be maintained by the lot owners and not the City of McAllen", prior to final. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106</p>	Non-compliance
SETBACKS	
<p>Front: In accordance with the zoning ordinance or greater for easements, whichever greater applies. (Proposing): 50 ft. or easements whichever greater. Revisions required: if proposing 50 ft, please indicate it as shown below. - 50 ft. or greater for easements, whichever greater applies. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Rear: In accordance with the zoning ordinance or greater for easements. (Proposing): 15 ft or easement whichever is greater. -If proposing 15 ft, please indicate it as shown below. -15 ft. or greater for easements, whichever greater applies. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>Sides: In accordance with the zoning ordinance or greater for easements, whichever greater applies. - Add plat note as shown above, prior to final. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>Corner: In accordance with the zoning ordinance or greater for easements, whichever greater applies. - Add plat note as stated above, prior to final. **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Garage **Zoning Ordinance: Section 138-356</p>	NA
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on E. Dicker Road and N/S Collector Street (west boundary). - Add plat note about sidewalks, prior to final. **Subdivision Ordinance: Section 134-120</p>	Non-compliance
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Applied
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. - Add plat note as stated above, prior to final. **Landscaping Ordinance: Section 110-46</p>	Non-compliance

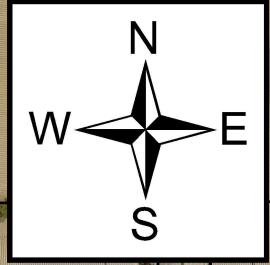
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. - Add plat note as stated above, prior to final. **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements.</p>	<p>Non-compliance</p>
<p>NOTES</p>	<p>Applied</p>
<p>* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. - Remove plat note #8, therefore not needed on plat. * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. - Add plat note as stated above, prior to final. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	<p>Applied</p> <p>NA</p> <p>Non-compliance</p> <p>Applied</p> <p>NA</p> <p>NA</p>
<p>LOT REQUIREMENTS</p>	
<p>* Lots fronting public streets -The subdivision is facing E. Dicker Road. **Subdivision Ordinance: Section 134-1 * Minimum lot width and lot area **Zoning Ordinance: Section 138-356</p>	<p>Applied</p> <p>Applied</p>
<p>ZONING/CUP</p>	
<p>* Existing: C-4 (Commercial Industrial) Proposed: C-4 (Commercial Industrial) ***Zoning Ordinance: Article V * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V - property is under the new old code, if wanting the new UDC requirements, subdivision may need to go through a rezoning process.</p>	<p>Applied</p> <p>Non-compliance</p>
<p>PARKS</p>	
<p>* Land dedication in lieu of fee. * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording * Pending review by the Parkland Dedication Advisory Board and CC.</p>	<p>NA</p> <p>NA</p> <p>NA</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.	Non-compliance
* Traffic Impact Analysis (TIA) required prior to final plat.	Required
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> - Remove plat note #8, requirement is not needed. - If service drive is proposed a plat note stating "A minimum 24 ft. private service drive will be established as part of the site plan and must be maintained by the lot owners and not the City of McAllen", prior to final. - Provide buffer notes on plat. <p>*Must comply with City's Access Management Policy.</p>	Applied
RECOMMENDATION	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, DRAGINAGE AND UTILITY APPROVAL.</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



22

LOCATION

4

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S MCCOLL RD

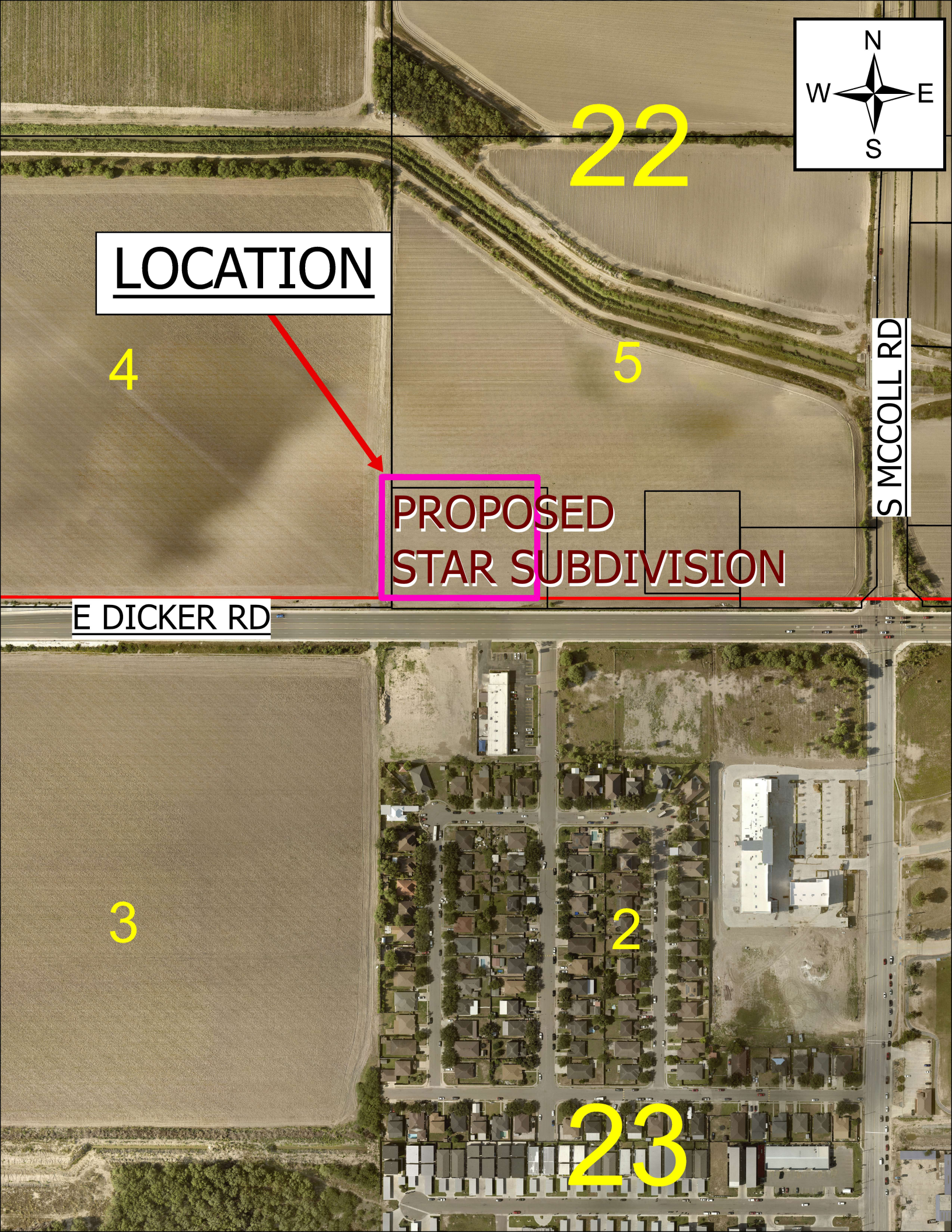
PROPOSED
STAR SUBDIVISION

E DICKER RD

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23



CITY OF McALLEN

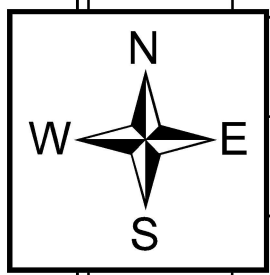
Planning & Zoning Commission Meeting

Subdivision Name	<i>Mcallen Temple Subdivision</i>
Owner Name	<i>Church of Jesus Christ of Latter-Day Saints</i>
Engineering Firm	<i>Mario Reyna, P.E.</i>
Existing Zoning	<i>R-1 (Single Family Residential)</i>
Proposed Zoning	<i>R-1 (Single Family Residential)</i>
Number of Lots	<i>2</i>

City of McAllen Planning Department

YELLOWHAMMER AVE.
30 31 32 33 34

2
1
9A 10A



17 16 15 14

XENPOS AVE.
13 1 12 13
24

WARBLER AVE.

12 13
11 14
10 15
9 16
23
22
21

LOCATION

**SUNRIDGE
SUBDIVISION**

N. 5TH ST.

44 43

5 16
17
18 19

**TRENTON VILLAGE
SUBDIVISION**

9 8
6 7
5 17
40 19

16

PROPOSED

**MCALLEN TEMPLE
SUBDIVISION**

**TEMPLE
SUBDIVISION**

UMAR AVE.

LOT 1
N 2ND ST

31 32 33

23 1
24 2
25 3
26 4
27 5
28 6
29
30

TRENTON RD
37 38 39 40 41 42 43 44 45 46 47 48
ROYAL OAK

TOUCAN AVE.
36 35 34 33 32 31 30 29 28 49
ESTATES

SUBDIVISION

(COL. ROWE BLVD)

RE-PLAT OF MCALLEN TEMPLE SUBDIVISION

BEING 10.359 ACRES BEING
ALL OF LOT 1
MCALLEN TEMPLE SUBDIVISION
INSTRUMENT No. 3409043, H.C.M.R.
CITY OF MCALLEN,
HIDALGO COUNTY, TEXAS

STATE OF UTAH
COUNTY OF _____

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS RE-PLAT OF McALLEN TEMPLE SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS _____ DATE _____
A UTAH CORPORATION SOLE
MICHAEL JAY THOMSON - DIRECTOR
50 EAST NORTH TEMPLE STREET, 12TH FLOOR
SALT LAKE CITY, UTAH 84150

THE STATE OF UTAH
COUNTY OF _____

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED MICHAEL JAY THOMSON, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION HEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC, STATE OF _____

STATE OF TEXAS
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

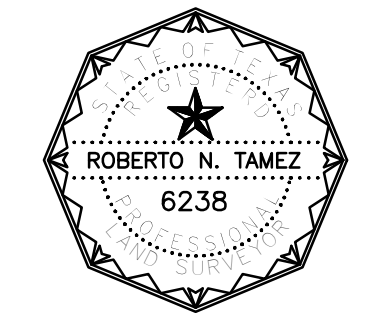
MARIO A. REYNA, P.E. # 117368
DATE PREPARED: 08-29-2022
ENGINEERING JOB No. 20038.00



STATE OF TEXAS
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE HEREIN PRESENTED PLAT AND DESCRIPTION OF MCALLEN TEMPLE SUBDIVISION, WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON 10-31-19, AND THAT IT IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

ROBERTO N. TAMEZ, R.P.L.S. # 6238
DATE SURVEYED: 10-31-19
T-1063, PAGE 78
SURVEY JOB No. 19169.02

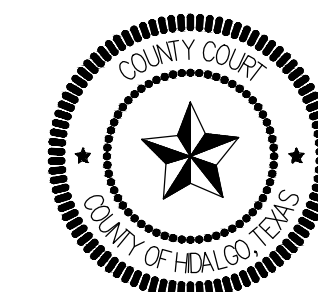


I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION _____ DATE _____



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

GENERAL NOTES :

- THE SITE LIES IN ZONE "B" AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD, OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE(1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE, OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD.
COMMUNITY-PANEL NUMBER: 480334 0425 C
MAP REVISED: NOVEMBER 16, 1982
- MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE THE FRONT TOP OF CURB MEASURED FROM THE CENTER OF THE LOT.
- FRONT: TRENTON ROAD- 60 FT. OR GREATER FOR APPROVED SITE PLAN OR EASEMENT.
N. 2ND STREET- 60 FT. OR GREATER FOR APPROVED SITE PLAN OR EASEMENT.
REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.
SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.
CORNER: SEE FRONT SETBACKS.
- CITY OF MCALLEN BENCHMARK: "GARCIJA"
LOCATED 1,443 FEET EAST OF THE TRENTON ROAD AND 2ND STREET INTERSECTION ALONG THE SOUTH R.O.W. OF TRENTON ROAD.
NORTHING:16622271.898 EASTING:1080595.783 ELEV=107.677
- REQUIRED STORM SEWER RUNOFF DETENTION FOR THIS SUBDIVISION AS PER THE APPROVED DRAINAGE REPORT: 85,010 C.F. (1.952 AC. FT.) TO BE PROVIDED WITHIN DESIGNATED DETENTION AREAS.
REQUIRED DETENTION FOR STORM SEWER RUNOFF PER THE APPROVED DRAINAGE REPORT SHALL BE 85,010 CUBIC FEET. STORM WATER RUNOFF GENERATED FROM DEVELOPMENT SHALL BE DETAINED ON-SITE VIA A DETENTION POND WITH A CAPACITY OF 112,843 CUBIC FEET. WATER WILL THEN DISCHARGE THROUGH AN 8" BLEEDER LINE INTO AN EXISTING CURB INLET LOCATED ON THE NORTH SIDE OF THE PROPERTY ALONG THE TRENTON ROAD R.O.W.
- AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF MCALLEN ENGINEERING DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.
- NO BUILDING ALLOWED OVER ANY EASEMENT.
- 4 FT. WIDE MINIMUM SIDEWALK REQUIRED ALONG NORTH 2ND STREET AND TRENTON ROAD.
- 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES.
- 8' MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- COMMON AREAS AND SERVICE DRIVE EASEMENTS MUST BE MAINTAINED BY LOT OWNERS AND NOT THE CITY OF MCALLEN.
- 25.0'X25.0' SITE OBSTRUCTION EASEMENT NEEDED AT ALL STREET INTERSECTIONS.

METES AND BOUNDS DESCRIPTION:

A TRACT OF LAND CONTAINING 10.615 ACRES SITUATED IN THE CITY OF MCALLEN, COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF LOT 16, SECTION 13, HIDALGO CANAL COMPANY SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME "Q", PAGE 177, HIDALGO COUNTY DEED RECORDS, SAID 10.615 ACRES BEING A PART OR PORTION OUT OF A LARGER TRACT OF LAND CONVEYED TO THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS BY VIRTUE OF A SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 3076101, HIDALGO COUNTY DEED RECORDS, SAID 10.615 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 16;

THENCE, N 08° 38' 32" E ALONG THE EAST LOT LINE OF SAID LOT 16, A DISTANCE OF 109.27 FEET;

THENCE, N 81° 21' 28" W A DISTANCE OF 70.00 FEET TO A NO. 4 REBAR SET ON THE EXISTING WEST RIGHT-OF-WAY LINE OF NORTH 2ND STREET, FOR THE NORTHERNMOST SOUTHEAST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

- THENCE, S 53° 38' 12" W A DISTANCE OF 38.34 FEET TO A NO. 4 REBAR SET FOR THE SOUTHERNMOST SOUTHEAST CORNER OF THIS TRACT;
- THENCE, IN A NORTHWESTERLY DIRECTION ALONG THE NORTH RIGHT-OF-WAY LINE OF TRENTON ROAD AND A CURVE TO THE RIGHT, WITH A CENTRAL ANGLE OF 003° 28' 38", A RADIUS OF 10,480.00 FEET, AN ARC LENGTH OF 638.02 FEET, A TANGENT OF 318.11 FEET, AND A CHORD THAT BEARS N 94° 37' 11" W A DISTANCE OF 635.92 FEET, TO A NO. 4 REBAR SET, FOR THE SOUTHWEST CORNER OF THIS TRACT;
- THENCE, N 08° 38' 32" E A DISTANCE OF 714.80 FEET TO A NO. 4 REBAR SET [N:16623306.960 E:1078616.953] FOR THE NORTHWEST CORNER OF THIS TRACT;
- THENCE, S 81° 21' 28" E A DISTANCE OF 682.00 FEET TO A NO. 4 REBAR FOUND FOR THE NORTHEAST CORNER OF THIS TRACT;
- THENCE, S 08° 38' 32" W A DISTANCE OF 651.50 FEET ALONG THE EXISTING WEST RIGHT-OF-WAY LINE OF N. 2ND STREET TO THE POINT OF BEGINNING AND CONTAINING 10.615 ACRES OF LAND, MORE OR LESS;

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY WATER IMPROVEMENT DISTRICT NO. 3 ON THIS THE _____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY WATER IMPROVEMENT DISTRICT NO. 3 RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT CONSTITUTE A CONVEYANCE, WAIVER OR ABANDONMENT OF ANY PROPERTY INTEREST HELD BY THE DISTRICT IN THE PROPERTY SHOWN ON THE PLAT; OR THE ACCEPTANCE OR APPROVAL OF THE ACCURACY OF ANY STATEMENT, DIMENSION OR DESCRIPTION SHOWN ON THE PLAT.

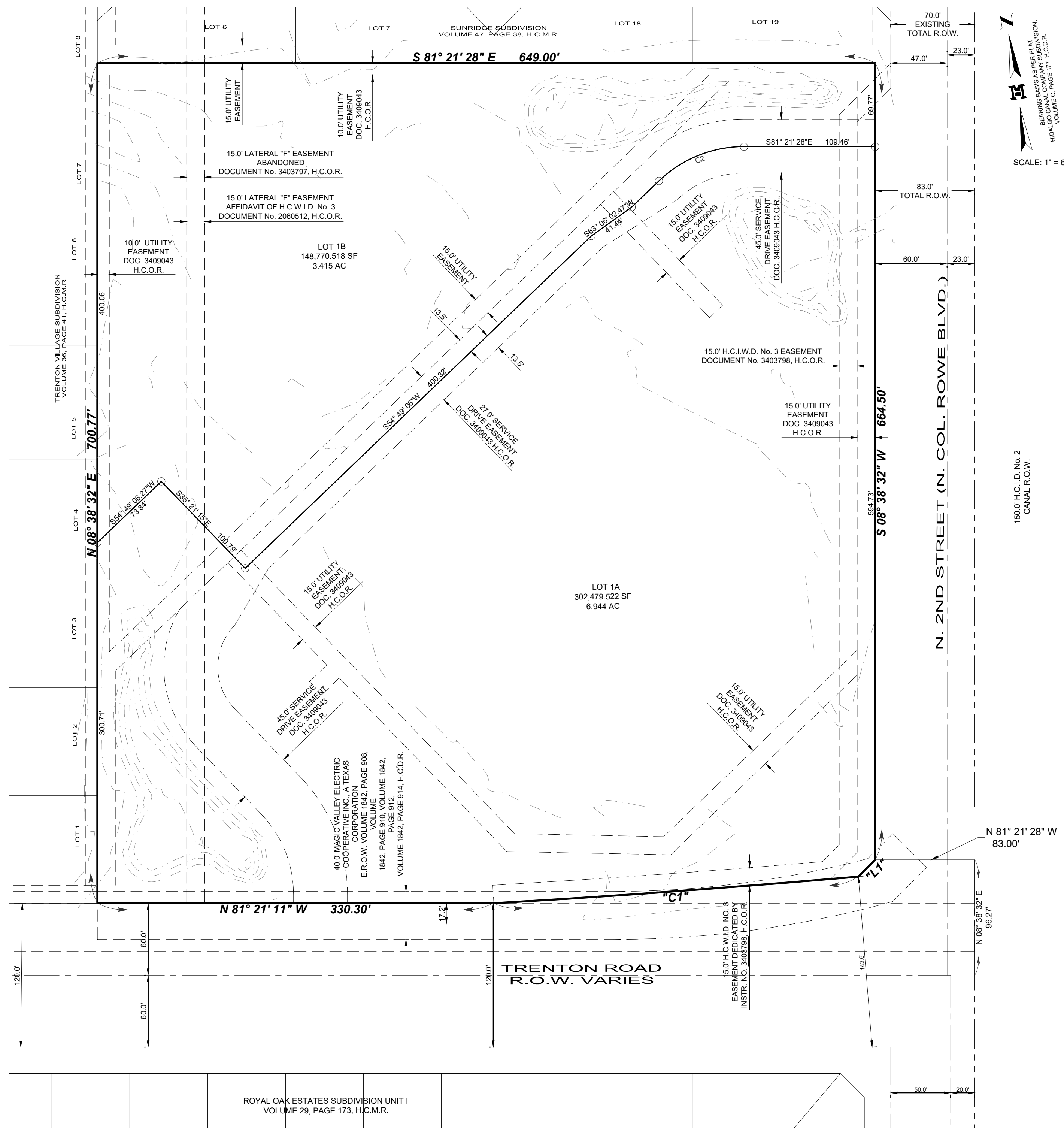
O.E. BRAND JR., PRESIDENT _____ MARK FREELAND, SECRETARY _____

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

RAUL E. SESIN, P.E., C.F.M. _____ DATE _____
GENERAL MANAGER



- ### LEGEND
- FOUND NO. 4 REBAR
 - SET NO. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
 - R.O.W. - RIGHT OF WAY
 - H.C.M.R. - HIDALGO COUNTY MAP RECORDS
 - H.C.D.R. - HIDALGO COUNTY DEED RECORDS
 - S.E. COR. - SOUTHEAST CORNER
 - H.R.O.W.E. - HIGHWAY RIGHT OF WAY EASEMENT
 - E.R.O.W. - EASEMENT AND RIGHT OF WAY
 - G.O.E. - GRANT OF EASEMENT
 - N.T.S. - NOT TO SCALE
 - P.O.B. - POINT OF BEGINNING
 - P.O.C. - POINT OF COMMENCING
 - IRR - IRRIGATION
 - CL - CENTERLINE

DRAWN BY: EM DATE 02-11-20
SURVEYED, CHECKED J.L.G. DATE 08-18-22
FINAL CHECK _____ DATE _____

MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS
115 W. MCINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
ESTABLISHED 1947 • www.meldenandhunt.com

Curve #	Delta	Radius	Length	Tangent	Chord Length	Chord Direction
"C1"	001° 40' 11"	10480.00	305.41'	152.72'	305.40'	N 80° 31' 25" W
C2	043° 49' 29"	102.50	78.40'	41.23'	78.50'	S 70° 49' 49" W

Line #	Direction	Length
"L1"	S 53° 38' 12" W	19.96'



City of McAllen
SUBDIVISION PLAT REVIEW

Reviewed On: 6/10/2026

SUBDIVISION NAME: MCALLEN TEMPLE SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
N. 2nd Street (N. Col. Rowe Blvd): Dedication of 60 ft. from centerline for 120 ft. total ROW. Paving: 65 ft. Curb & gutter: both sides - Show centerline, prior to final. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Applied
Trenton Road: Dedication of 60 ft. from centerline for 120 ft. total ROW Paving: 65 ft. Curb & gutter: both sides - Show centerline, prior to final. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Applied
Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Applied
Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Applied
Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Applied
* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118	Applied
* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118	Applied
* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105	Applied
ALLEYS	
ROW 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties. - There is a 24ft service drive easement on the plat submitted. **Subdivision Ordinance: Section 134-106	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SETBACKS	
Front: Trenton Road- 60 ft. or greater for approved site plan or easement. N. 2nd Street: 60 ft. or greater for approved site plan or easement. **Zoning Ordinance: Section 138-356 - Recorded plat notes remain effective. If any plat note is proposed to be removed or altered, a vacate and replat is required.	Applied
* Rear: In accordance with the zoning ordinance or greater for easements or approved site plan. **Zoning Ordinance: Section 138-356 - Recorded plat notes remain effective. If any plat note is proposed to be removed or altered, a vacate and replat is required.	Applied
Sides: In accordance with the zoning ordinance, or greater for easements or approved site plan. **Zoning Ordinance: Section 138-356 - Recorded plat notes remain effective. If any plat note is proposed to be removed or altered, a vacate and replat is required.	Applied
Corner: See front setbacks. **Zoning Ordinance: Section 138-356 - Recorded plat notes remain effective. If any plat note is proposed to be removed or altered, a vacate and replat is required.	Applied
* Garage _____ **Zoning Ordinance: Section 138-356	NA
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 4 ft. wide minimum sidewalk required on North 2nd Street and Trenton Road. **Subdivision Ordinance: Section 134-120	Applied
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
NOTES	
* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy	NA
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	NA
* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.	Applied
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	Applied

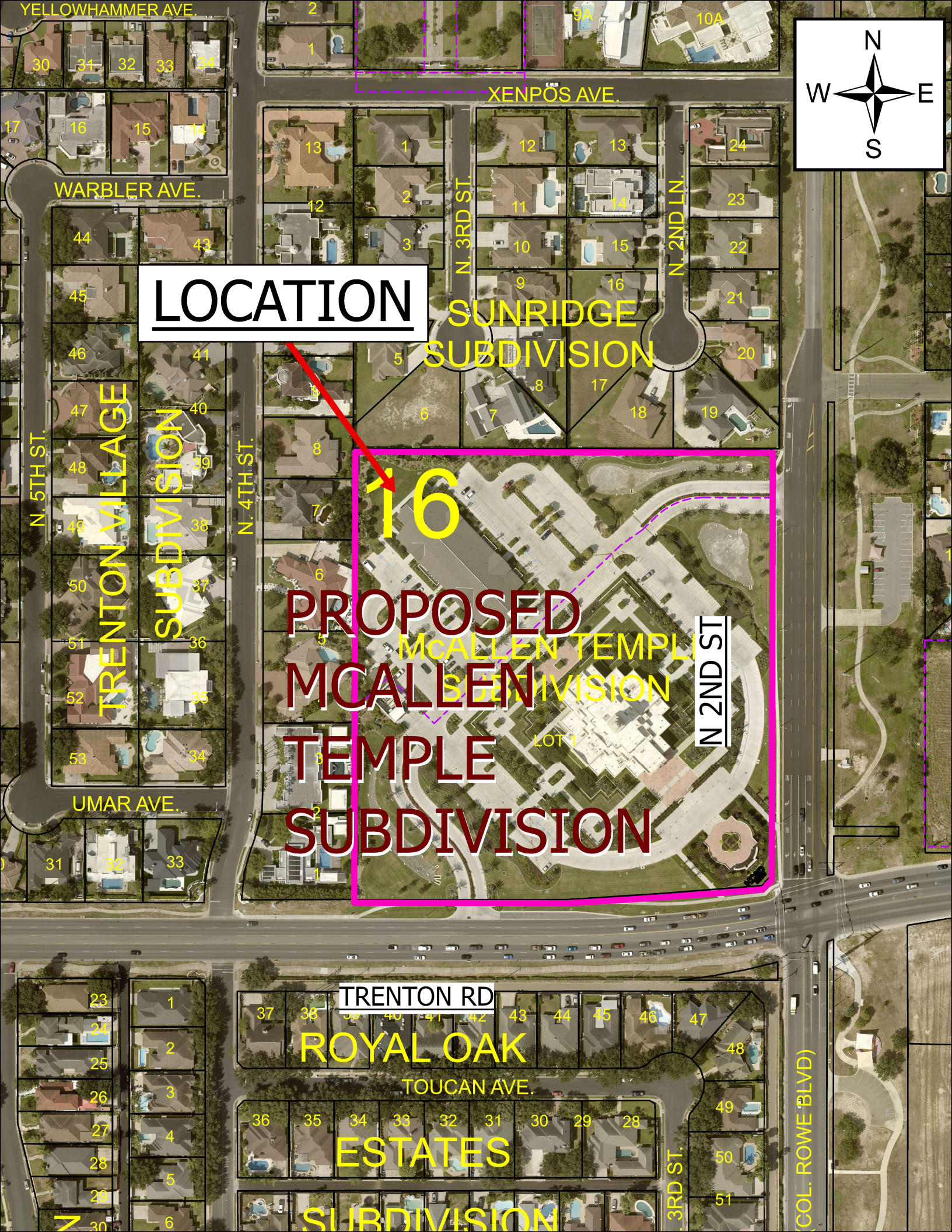
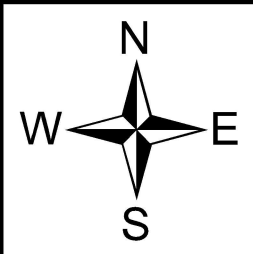
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	<p>NA</p>
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	<p>NA</p>
<p>LOT REQUIREMENTS</p>	
<p>* Lots fronting public streets **Subdivision Ordinance: Section 134-1</p>	<p>Applied</p>
<p>* Minimum lot width and lot area _____ **Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>ZONING/CUP</p>	
<p>Existing: R-1 (Single- Family Residential-OC) Proposed: R-1 (Single-Family Residential-OC) CUP for institutional use approved by P&Z on October 6, 2020, and approved by City Commission in November 9, 2020. - Any additional to any structure will trigger amending the CUP. ***Zoning Ordinance: Article V</p>	<p>Applied</p>
<p>* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V -CUP for institutional use approved by P&Z on October 6, 2020, and approved by City Commission in November 9, 2020. - Any additional to any structure will trigger amending the CUP.</p>	<p>Applied</p>
<p>PARKS</p>	
<p>* Land dedication in lieu of fee. - If the land use changes from institutional to residential, park fee will apply.</p>	<p>Applied</p>
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. - If the land use changes from institutional to residential, park fee will apply.</p>	<p>Applied</p>
<p>* Pending review by the Parkland Dedication Advisory Board and CC. - If the land use changes from institutional to residential, park fee will apply.</p>	<p>Applied</p>
<p>TRAFFIC</p>	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</p>	<p>TBD</p>
<p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	<p>TBD</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

COMMENTS	
Comments: -Recorded plat notes remain effective. If any plat note is proposed to be removed or altered, a vacate and replat is required. - Public hearing with legal notices to be mailed out will be required, prior to final. - Name of the subdivision should be "Subdivision plat of McAllen Temple Lot 1A and 1B Subdivision", prior to final. - Provide centerline on both N. 2nd and Trenton Road, prior to final. *Must comply with City's Access Management Policy.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO CONDITIONS NOTED, DRAINAGE AND UTILITY APPROVAL.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



LOCATION

**SUNRIDGE
SUBDIVISION**

**TRENTON VILLAGE
SUBDIVISION**

16
**PROPOSED
MCALEN TEMPLE
SUBDIVISION**

N 2ND ST

TRENTON RD

ROYAL OAK

ESTATES

SUBDIVISION

WARBLER AVE.

XENPOS AVE.

UMAR AVE.

TOUCAN AVE.

N. 5TH ST.

N. 4TH ST.

N. 3RD ST.

N. 2ND LN.

3RD ST.

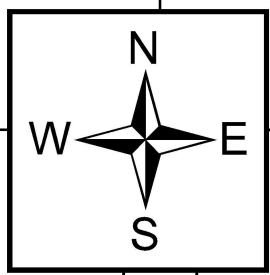
COL. ROWE BLVD)

CITY OF McALLEN

Planning & Zoning Commission Meeting

Subdivision Name	<i>Pecan Plaza Subdivision</i>
Owner Name	<i>CYMA Group, LLC.</i>
Engineering Firm	<i>Melden & Hunt</i>
Existing Zoning	<i>C-3 General Business</i>
Proposed Zoning	<i>C-3 General Business</i>
Number of Lots	<i>2</i>

City of McAllen Planning Department



REL SUBDIVISION
EL
LOT 1

LOCATION

4
3
2
1

N. 46TH ST.

PECAN BLVD

RED SQUARE
DENTAL AND
ORTHODONTICS PLAZA
SUBDIVISION
LOT 1

**PROPOSED
PECAN
PLAZA
SUBDIVISION**

N 48TH ST

SHARY

26 27 28
25 24 23

SUB

8 9 10

99 98 97 96

100
101
102

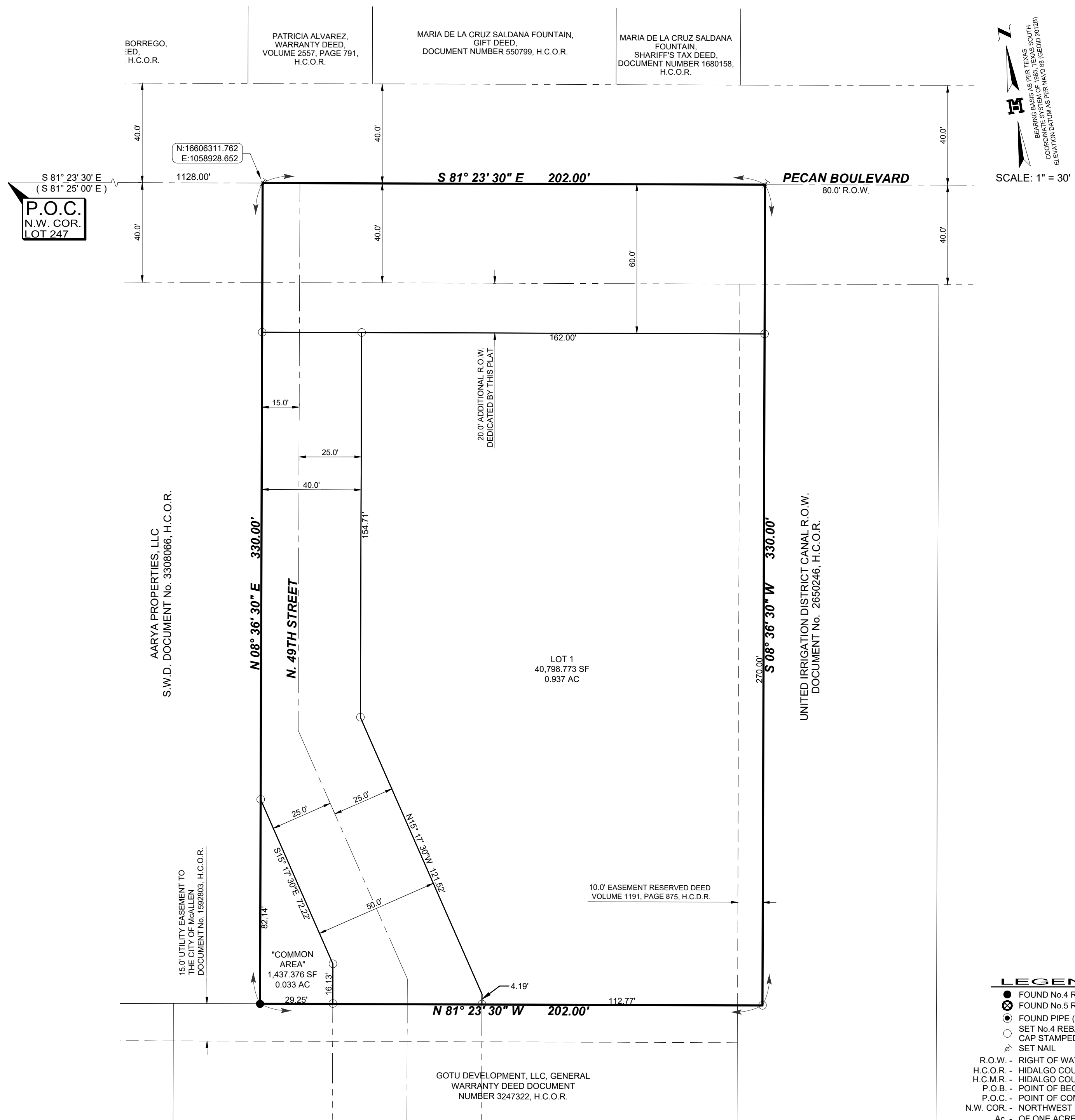
BENTSEN

116 117

247

5 64 63 62 61 60 59 58

57
56
55



GENERAL NOTES :

- THIS SUBDIVISION IS IN FLOOD ZONE "C" FLOOD ZONE "C" ARE AREAS OF MINIMAL FLOODING. COMMUNITY-PANEL NUMBER: 480343 0005 C MAP REVISED: NOVEMBER 02, 1982
- MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE THE FRONT TOP OF CURB MEASURED FROM THE CENTER OF THE LOT.
- MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF McALLEN ZONING CODE:
FRONT - IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS, OR IN LINE WITH EXISTING STRUCTURES WHICHEVER IS GREATER APPLIES.
REAR - IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES.
SIDES - IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER APPLIES.
- REQUIRED STORM SEWER RUNOFF DETENTION FOR THIS SUBDIVISION AS PER THE APPROVED DRAINAGE REPORT: _____ C.F. (____ AC.FT.) TO BE PROVIDED WITHIN GREEN AREAS OF THIS PLAT. THIS IS AN ESTIMATE ONLY AND DETAILED ANALYSIS MAY REVEAL DIFFERENT REQUIREMENTS.
- AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF McALLEN ENGINEERING DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.
- NO BUILDING ALLOWED OVER ANY EASEMENT.
- BENCHMARK INFORMATION:-
CITY OF McALLEN BENCHMARK: "MC 69" FROM THE CITY OF McALLEN G.P.S. REFERENCE MARKS LIST PREPARED BY GLICK & LINN ON OCTOBER 6, 1999, BEING LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF F.M. 495 AND TAYLOR ROAD, 30" ALUMINUM PIPE WITH A 3-1/4" BRASS MONUMENT CAP ON TOP AT ELEVATION = 123.59 (TEXAS SOUTH 4205) N=16605505.27474' E=1057905.50186 (HORIZONTAL DATUM: NAD 83) (VERTICAL DATUM: NAD 83)
- 5.00 FEET WIDE MINIMUM SIDEWALK REQUIRED ALONG PECAN BOULEVARD, (F.M. 495)
- 6.00 FEET OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES.
- 8.00 FEET MANSORY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- UNITED IRRIGATION DISTRICT NOTES:
• ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR OUTSIDE USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.
• NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY IRRIGATION DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM UNITED IRRIGATION DISTRICT.
• NO PERMANENT STRUCTURE, UTILITY POLE, HOLE, WALL, FENCE, DRIVEWAY, OR ROAD WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY IRRIGATION DISTRICT. ANY UNAUTHORIZED STRUCTURE WITHIN THE EASEMENT BOUNDARY IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE
• NO UTILITY COMPANY, PUBLIC ENTITY, PARTY OR PERSON IS ALLOWED TO CONNECT TO ANY DISTRICT FACILITY WITHOUT FIRST OBTAINING A PERMIT FROM UNITED IRRIGATION DISTRICT. ANY CONNECTION NOT AUTHORIZED BY THE DISTRICT IS SUBJECT TO IMMEDIATE REMOVAL AT VIOLATOR'S EXPENSE.
- UID BLANKET RESERVATION PER DOC. #1918-750467
- ALL EASEMENTS TO BE DEDICATED BY PLAT UNLESS STATED OTHERWISE.

METES AND BOUNDS DESCRIPTION:

A TRACT OF LAND CONTAINING 1.530 ACRES SITUATED IN THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF LOT 247, JOHN H. SHARY SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 17, HIDALGO COUNTY MAP RECORDS, SAID 1.530 ACRES WERE CONVEYED TO LANDMARK HOLDINGS GROUP LLC, A TEXAS LIMITED LIABILITY COMPANY, BY VIRTUE OF A SPECIAL WARRANTY DEED WITH VENDOR'S LIEN, RECORDED UNDER DOCUMENT NUMBER 3618523, HIDALGO COUNTY OFFICIAL RECORDS, SAID 1.530 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 247;

THENCE, S 81° 23' 30" E (S 81° 25' 00" E MAP CALL) ALONG THE NORTH LINE OF SAID LOT 247 AND WITHIN THE EXISTING RIGHT-OF-WAY OF PECAN BOULEVARD, A DISTANCE OF 202.00 FEET TO A NAIL SET (NORTHING: 16606311.762; EASTING: 1058926.652) FOR THE NORTHWEST CORNER AND POINT OF BEGINNING OF THIS HEREBIN DESCRIBED TRACT;

- THENCE, S 81° 23' 30" E (S 81° 25' 00" E MAP CALL) CONTINUING ALONG THE NORTH LINE OF SAID LOT 247 AND WITHIN THE EXISTING RIGHT-OF-WAY OF PECAN BOULEVARD, A DISTANCE OF 202.00 FEET TO A NAIL SET FOR THE NORTHEAST CORNER OF THIS TRACT;
- THENCE, S 08° 36' 30" W (S 08° 35' 00" W MAP CALL) AT A DISTANCE OF 40.00 FEET PASS A NO. 4 REBAR SET ON THE EXISTING SOUTH RIGHT-OF-WAY LINE OF PECAN BOULEVARD, CONTINUING A TOTAL DISTANCE OF 330.00 FEET TO A NO. 4 REBAR SET FOR THE SOUTHEAST CORNER OF THIS TRACT;
- THENCE, N 81° 23' 30" W (N 81° 25' 00" W MAP CALL) ALONG THE NORTH LINE OF A CERTAIN TRACT CONVEYED TO GOTU DEVELOPMENT LLC, BY VIRTUES OF A GENERAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 3247322, HIDALGO COUNTY OFFICIAL RECORDS, A DISTANCE OF 202.00 FEET TO A NO. 4 REBAR SET FOR THE SOUTHWEST CORNER OF THIS TRACT;
- THENCE, N 08° 36' 30" E (S 08° 35' 00" E) AT A DISTANCE OF 290.00 FEET PASS A NO. 4 REBAR FOUND ON THE EXISTING SOUTH RIGHT-OF-WAY LINE OF PECAN BOULEVARD, CONTINUING A TOTAL DISTANCE OF 330.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.530 ACRES, OR WHICH 0.185 OF ONE ACRE LIES WITHIN THE EXISTING RIGHT-OF-WAY OF PECAN BOULEVARD, LEAVING AN EXISTING NET OF 1.345 OF ONE ACRE MORE OR LESS.

- LEGEND**
- FOUND No. 4 REBAR
 - FOUND No. 5 REBAR
 - FOUND PIPE (SIZE AS NOTED)
 - SET No. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
 - SET NAIL
 - R.O.W. - RIGHT OF WAY
 - H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
 - H.C.M.R. - HIDALGO COUNTY MAP RECORDS
 - P.O.B. - POINT OF BEGINNING
 - P.O.C. - POINT OF COMMENCING
 - N.W. COR. - NORTHWEST CORNER
 - Ac. - OF ONE ACRE

STATE OF TEXAS §
COUNTY OF HIDALGO §

(I/WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE PECAN PLAZA SUBDIVISION, TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH (I/WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

CYMA GROUP, LLC, A TEXAS LIMITED LIABILITY COMPANY

CYNTHIA LANDIN, MANAGER _____ DATE _____
4900 W. EXPRESSWAY 83, STE. 170
McALLEN, TEXAS 78501

STATE OF TEXAS §
COUNTY OF HIDALGO §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CYNTHIA LANDIN KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE.

THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC, FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES: _____

STATE OF TEXAS §
COUNTY OF HIDALGO §

I, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

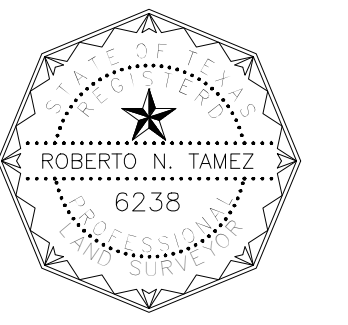
DATED THIS THE _____ DAY OF _____, 20____.



MARIO A. REYNA, LICENSED PROFESSIONAL ENGINEER NO. 117368
STATE OF TEXAS
DATE PREPARED: 06-01-2026
DATE REVISED: _____
ENGINEERING JOB NO. 26052.00

STATE OF TEXAS §
COUNTY OF HIDALGO §

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND BY ME OR UNDER MY SUPERVISION.



DATED THIS THE _____ DAY OF _____, 20____.

ROBERTO N. TAMEZ R.P.L.S. # 6238
STATE OF TEXAS
DATE SURVEYED: 04-01-2026
SURVEYING JOB NO. 26052.08

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT No. 1

RAUL E. SESIN, P.E., C.F.M. _____ DATE _____
GENERAL MANAGER



PLAT OF
PECAN PLAZA SUBDIVISION

BEING A SUBDIVISION OF 1.53 ACRES
OUT OF LOT 247,
JOHN H. SHARY SUBDIVISION,
VOLUME 1, PAGE 17, H.C.M.R.
CITY OF McALLEN,
HIDALGO COUNTY, TEXAS

DRAWN BY: EM _____ DATE 06/01/2026
REVISED BY: _____ DATE _____
SURVEYED, CHECKED _____ DATE _____
FINAL CHECK _____ DATE _____



CHAIRMAN, PLANNING AND ZONING COMMISSION _____ DATE _____

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN _____ DATE _____

ATTEST: _____ DATE _____
CITY SECRETARY



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.,
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
By: _____ DEPUTY



City of McAllen
SUBDIVISION PLAT REVIEW

Reviewed On: 6/9/2026

SUBDIVISION NAME: PECAN PLAZA SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>Pecan Blvd (F.M. 495): 60 ft. from centerline for a total of 120 ft. ROW Paving: 65 Curb & gutter: Both sides -Label the centerline and revise to show the total R.O.W., including any additional width being dedicated by this plat. - Provide annotations identifying "Total ROW, " "Existing ROW." **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>N. 49th Street: Dedication as required for 60 ft. ROW Paving: 40 ft. Curb & gutter: Both Sides - Need to Label the Centerline & Total R.O.W. after accounting for dedication. - Provide annotations identifying "Total ROW, " "Existing ROW." -Proposed Subdivision to the south Taylor Vallery Estates reflecting 60 ft. ROW for N. 49th Street. Marbella Subdivision is also reflecting 60 ft. ROW for N. 49th Street. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>* 1,200 ft. Block Length _____ **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105</p>	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEYS		
ROW: 60 ft Paving: 16 ft. *Alley/service drive easement required for commercial properties/ multi family -- Engineer must clarify if alley or service drive will be provided, prior to final. Alley or service drive cannot dead-end. - If service drive is proposed a plat note stating "A minimum 24 ft. private service drive will be established as part of the site plan and must be maintained by the lot owners and not the City of McAllen", prior to final. **Subdivision Ordinance: Section 134-106		Applied
SETBACKS		
* Front: In accordance with the Zoning Ordinance or greater for easements or in line with existing structures whichever greater applies. -Add plat note as shown above prior to final. **Zoning Ordinance: Section 138-356		Non-compliance
* Rear: In accordance with the Zoning Ordinance or greater for easements whichever greater applies. -Add plat note as shown above prior to final **Zoning Ordinance: Section 138-356		Non-compliance
* Sides: In accordance with the Zoning Ordinance or greater for easements whichever greater applies. -Add plat note as shown above prior to final **Zoning Ordinance: Section 138-356		Non-compliance
* Corner _____ **Zoning Ordinance: Section 138-356		NA
* Garage _____ **Zoning Ordinance: Section 138-356		NA
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN		Applied
SIDEWALKS		
* 4 ft. wide minimum sidewalk required on Pecan Blvd (F.M. 495) and both sides of interior streets. -Revis plat note #8 to reflect as shown above. **May increase to 5 ft. as per Engineering Department **Subdivision Ordinance: Section 134-120		Non-compliance
* Perimeter sidewalks must be built or money escrowed if not built at this time.		Applied
BUFFERS		
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses _____ **Landscaping Ordinance: Section 110-46		Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses _____ **Landscaping Ordinance: Section 110-46		Applied
*Perimeter buffers must be built at time of Subdivision Improvements.		Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

NOTES	
<p>* No curb cut, access, or lot frontage permitted along _____ **Must comply with City Access Management Policy</p> <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p> <p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. -Add plat note as shown above prior to final</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	TBD
	Applied
	Applied
	Non-compliance
	NA
LOT REQUIREMENTS	
<p>* Lots fronting public streets _____ **Subdivision Ordinance: Section 134-1</p> <p>* Minimum lot width and lot area _____ **Zoning Ordinance: Section 138-356</p>	Applied
	Applied
ZONING/CUP	
<p>* Existing: C-3 Proposed: C-3 ***Zoning Ordinance: Article V</p> <p>* Rezoning Needed Before Final Approval -Submitted application show proposed land use as commercial. Any changes would require rezoning prior to final. ***Zoning Ordinance: Article V</p>	Applied
	Applied
PARKS	
<p>* Land dedication in lieu of fee. -Commercial property does not apply</p> <p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording -Commercial property does not apply</p> <p>* Pending review by the Parkland Dedication Advisory Board and City Managers Office</p>	NA
	NA
	NA
TRAFFIC	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</p> <p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	Required
	TBD

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

COMMENTS	
Comments: *Must comply with City's Access Management Policy. -Any variances that may be requested must be finalized prior to final and will establish additional requirements as needed prior to finalizing the plat. -Any abandonment of easements must be done by a separate instrument/document, cannot be abandoned by plat. -The area currently labeled as "Common Area" shall be revised and identified as a platted lot (e.g., Lot A, Common Area). Please provide a specific designation for the lot and clarify its intended purpose.	Required
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



LOCATION



**PROPOSED
PECAN
PLAZA
SUBDIVISION**

PECAN BLVD

N 48TH ST

SHARY

SUB

BENTSEN

REL SUBDIVISION
EL
LOT 1

N. 46TH ST.

RED SQUARE
DENTAL AND
ORTHODONTICS PLAZA
SUBDIVISION
LOT 1

247

5 64 63 62 61 60 59 58
57
56
55
99
100
101
102
98 97 96
116 117

CITY OF McALLEN

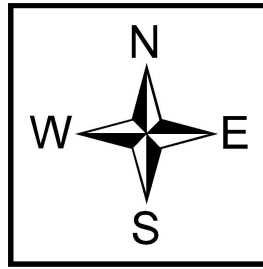
Planning & Zoning Commission Meeting

Subdivision Name	<i>Replat Central Market Subdivision lots 2 & 3</i>
Owner Name	<i>Menassa Inc.</i>
Engineering Firm	<i>Tiffany Woodward/ Bowman</i>
Existing Zoning	
Proposed Zoning	<i>R-3A Multifamily Residential Apartment</i>
Number of Lots	<i>1</i>

City of McAllen Planning Department

S 23RD ST

27



E STATION #6
SUBDIVISION
LOT 1

LOCATION

SARAH AVE

GONZALEZ FURNITURE
SUBDIVISION
1

SARAH AVE.

SOUTH 23RD
COMMERCIAL
PHASE 1

28

PROPOSED REPLAT
CENTRAL MARKET
SUBDIVISION

CENTRAL MARKET SUBDIVISION

1

2

3

TANYA AVE.

DINERO
SUBDIVISION
LOT 1

TANYA INDUSTRIAL PARK SUBDIVISION

12

11

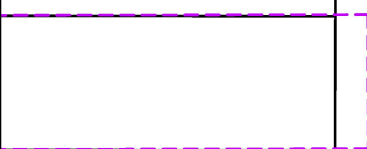
10

9

8

29

WAREHOUSE
KINGDOM
SUBDIVISION
PHASE II



LEGAL DESCRIPTION

STATE OF TEXAS
COUNTY OF HIDALGO

BEING all that tract of land located in Hidalgo County, Texas, being all of that called 6.0 acre tract of land described in a deed to Menassa, LLC as recorded in Instrument No. 2004-1358314 of the Official Public Records of Hidalgo County, Texas (O.P.R.H.C.T.) and being part of Lot 1 of the Central Market Subdivision as recorded in Volume 26, Page 162A of the Map Records of Hidalgo County, Texas (M.R.H.C.T.) and being further described as follows:

BEGINNING at a 5/8-inch iron rod with yellow cap found, having a coordinate of N: 116532016.04, E: 1166149.36, in the northeast Right-of-Way line of Tanya Avenue (60' Right-of-Way) and being southeast corner of said 6.0 acre tract, same being the southwest corner of a called 1.156 acre tract of land described in a deed to SKFM, Inc. as recorded in Instrument No. 2009-2013646 of said O.P.R.H.C.T., from which a 5/8-inch iron rod with yellow cap found bears South 81 degrees 17 minutes 45 seconds East, a distance of 155.20 feet for reference;

THENCE North 81 degrees 17 minutes 45 seconds West, 749.69 feet with the common line of said 6.0 acre tract and said Tanya Avenue northeast line of said Tanya Avenue, and part way with the southwest line of said Lot 1 to a Nail Found in said common line and the beginning of a curve to the right;

THENCE with said curve to the right, having a radius of 30.00 feet, an arc distance of 40.18 feet, a central angle of 76 degrees 44 minutes 17 seconds, and a chord that bears North 42 degrees 55 minutes 27 seconds West, a distance of 37.24 feet to a Y-iron rod found in the east right of way line of South 23rd Street (Variable Width Right-of-Way), same being the west line of said 6.0 acre tract and said Lot 1;

THENCE North 04 degrees 32 minutes 56 seconds, 280.14 feet with the west line of said 6.0 acre tract and said Lot 1, same being the east line of 449 South 23rd Street to a calculated point for the westerly northwest corner of said 6.0 acre tract and said Lot 1, same being the southwest corner of a called 5.05 acre tract of land as described in a deed to Jorge Luis Salinas as recorded in Instrument No. 2012-2270751 of said O.P.R.H.C.T., from which a 1/2-inch iron rod found bears North 75 degrees 53 minutes 40 seconds West, 0.58 feet for reference

THENCE with the common line of said 6.0 acre tract, said Lot 1 and said 5.05 acre tract, the following courses and distances:

South 81 degrees 17 minutes 45 seconds East, 80.00 feet to a 1/2-inch steel rod capped "BOWMAN" set for a common ell corner of said 6.0 acre tract, said Lot 1 and said 5.05 acre tract;

North 04 degrees 32 minutes 56 seconds West, 35.00 feet to a 1/2-inch steel rod capped "BOWMAN" set for a common ell corner of said 6.0 acre tract, said Lot 1 and said 5.05 acre tract;

THENCE South 81 degrees 17 minutes 45 seconds East, 749.69 feet with the northeast line of said 6.0 acre tract, said Lot 1 and part way with the southwest line of said 5.05 acre tract and of the remainder of a tract of land described as Tract 2 in a deed to Francisco A. and Marina Ramirez, Co-Trustees of the Ramirez Joint Revocable Trust as recorded in Instrument No. 2012-2270751 of said O.P.R.H.C.T., to a 1/2-inch steel rod capped "BOWMAN" set for the northeast corner of said 6.0 acre tract and said Lot 1, same being the northwest corner of said 1.156 acre tract;

THENCE South 08 degrees 42 minutes 15 seconds West, 325.00 feet with the common line of said 6.0 acre tract, said Lot 1 and said 1.156 acre tract to the POINT OF BEGINNING and containing 6.000 acre of land.

I, the undersigned, Chairman of the Planning and Zoning Commission of the City of McAllen hereby certify that this subdivision plat conforms to all requirements of the Subdivision Regulations of this City wherein my approval is required.

Chairman, Planning Commission

I, the undersigned, Mayor of the City of McAllen, hereby certify that this subdivision plat conforms to all requirements of the Subdivision Regulations of this City wherein my approval is required.

Mayor, City of McAllen

OWNER'S DEDICATION

STATE OF TEXAS
COUNTY OF HIDALGO

I, the undersigned, owner(s) of the land shown on this plat and designated herein as the REPLAT CENTRAL MARKET SUBDIVISION LOTS 2 & 3, to the City of McAllen, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public all streets, alleys, parks, watercourses, drains, easements, water lines, sewer lines, storm sewers, fire hydrants and public places which are installed or which I (we) will cause to be installed thereon, shown or not shown, if required otherwise to be installed or dedicated under the subdivision approval process of the City of McAllen, all the same for the purposes therein expressed, either on the plat hereof or on the official minutes of the applicable authorities of the City of McAllen.

MENASSA, INC., F/K/A MENASSA, LLC
KARLA ASSAD, President
5617 S. 23rd Street,
McAllen, Texas 78503

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared, Maria Rebeca Montalongo Almaraz, known to me to be the person whose name is subscribed to the foregoing instrument and she acknowledged to me that she executed the same for the purposes and considerations therein expressed.

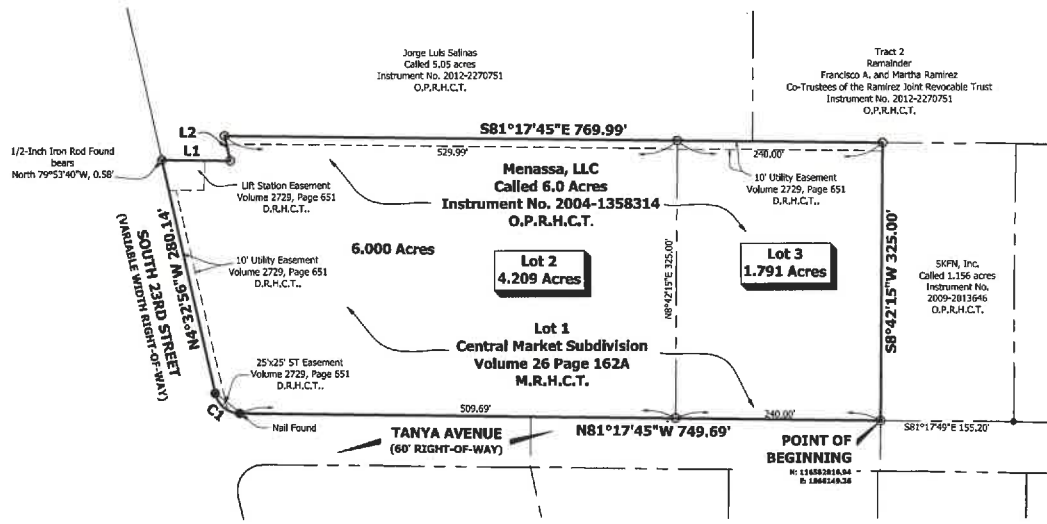
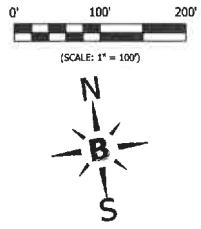
Given under my hand and seal of office this the ___ day of _____, 2026.

Notary Public in and for the State of Texas

My Commission Expires _____

Line Table with columns: Line #, Direction, Length. Rows: L1 (S81° 17' 45"E, 80.00), L2 (N04° 32' 56"W, 30.00)

CURVE TABLE with columns: CURVE #, RADIUS, LENGTH, CH. BRG., CH. DIST., DELTA. Row: C1 (30.00, 40.18, N42°55'27"W, 37.24, 76°44'17")



- NOTES: 1. Bearings, distances, and acreage are grid, NAD83 State Plane Coordinate System, Texas South Zone 4205. 2. This survey was prepared without the benefit of a current title report/commitment. There may be easements, restrictions, and/or covenants affecting this property, not shown hereon. 3. By graphic plotting only, the subject property shown hereon appears to be located in F.E.H.A. (Special Flood Hazard Area) Zone "X1" (Areas of 100-year shallow flooding where depths are between one (1) and three (3) feet. Average depths of inundation are shown, but no flood hazard factors are determined.) according to the Flood Insurance Rate Map Community Panel Number: 480334 0400 C having an effective date of November 16, 1982. This survey makes no guarantee as to the accuracy of said F.E.H.A. Flood Insurance Rate Map.

LEGEND

- 1/2-inch Steel Rod Capped "BOWMAN" Set
5/8-inch Iron Rod with Yellow Cap
1/2-inch Iron Rod Found (Unless Noted Otherwise)
Calculated Point
M.R.C.H.T. - Map Records of Hidalgo County, Texas
O.P.R.H.C.T. - Official Public Records of Hidalgo County, Texas

GENERAL NOTES:

- 1. Minimum building setbacks shall be 75 along 23rd Street and 30' along Tanya Avenue. Setbacks not shown on plat are as per zoning ordinance.
2. Lot 2 will be permitted only (one) curb cut along 23rd Street.
3. Minimum Finish Floor elevation shall be top of curb + 33", measuring from the center of the lot on Tanya Avenue.
4. The City of McAllen shall have a 25'x25' Easement at Street Intersections.

LIENHOLDER'S ACKNOWLEDGMENT

STATE OF TEXAS
COUNTY OF HIDALGO

I/We, the undersigned, holder(s) or duly authorized officers of the holder(s) of a security interest in the above described property, being the land shown on this plat and designated herein as the REPLAT CENTRAL MARKET SUBDIVISION LOTS 2 & 3, of the City of McAllen, Texas, do hereby consent to the subdivision of the property as provided for under the plat and do hereby provide that any foreclosure relating to the security interest on the above described property shall be subject to the platting of the property as provided for herein.

Security Interest Holder

Texas Regional Bank (f/k/a) Border Capital Bank

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared, Maria Rebeca Montalongo Almaraz, known to me to be the person whose name is subscribed to the foregoing instrument and she acknowledged to me that she executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this the ___ day of _____, 2026.

Notary Public in and for the State of Texas

My Commission Expires _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, Daniel Wayne Cogburn, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that this plat is true and correctly made from an actual survey made on the ground of the property legally described hereon, and that there are no apparent discrepancies, conflicts, overlapping of improvements, mobile utility lines or roads in place, except as shown on the accompanying plat, and that the corner monuments shown thereon were properly placed under my supervision in accordance with the subdivision regulations of the City of McAllen, Texas.

Daniel Wayne Cogburn
Registered Professional Land Surveyor No. 6894

STATE OF TEXAS
COUNTY OF HIDALGO

I, the undersigned, Tiffany Woodward, a Licensed Professional Engineer in the State of Texas, hereby certify that proper engineering consideration has been given to this plat.

Tiffany Woodward
Licensed Professional Engineer No. 153273

REPLAT CENTRAL MARKET SUBDIVISION LOTS 2 & 3 TO CITY OF McALLEN HIDALGO COUNTY, TEXAS. BEING A REPLAT OF LOT 1 OF THE CENTRAL MARKET SUBDIVISION TO HIDALGO COUNTY, TEXAS AS SHOWN ON THE PLAT RECORDED IN VOLUME 26, PAGE 162A OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS. BEING ALL OF THAT CALLED 6.0 ACRE TRACT OF LAND AS DESCRIBED IN A DEED TO MENASSA, LLC AS RECORDED IN INSTRUMENT NO. 2004-1358314 AS RECORDED IN THE OFFICIAL PUBLIC RECORDS OF HIDALGO COUNTY, TEXAS.

Table with 2 columns: Bowman Job No., Sheet 1 of 1, Property Address, McAllen, Texas 78503. Values: 211787, 1, South 23rd Street, McAllen, Texas 78503.





Reviewed On: 6/11/2026

SUBDIVISION NAME: REPLAT CENTRAL MARKET	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>S. 23rd ST (Spur 115): 75 ft. from centerline for a total of 150 ft. ROW. Paving: By State Curb & gutter: By State -Label the centerline and revise to show the total R.O.W., including any additional width being dedicated by this plat. - Needs to label any existing easements. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>Tanya Avenue: 30 ft. from centeline for a total of 60 ft. ROW Paving: 40 ft. Curb & gutter: both sides -Label the centerline and revise to show the total R.O.W., including any additional width being dedicated by this plat - Needs to label any existing easements. -Please clarify how Tanya Avenue was originally dedicated. Include the corresponding document number(s) on the plat and provide any related right-of-way dedication documents for staff review prior to final approval. **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Non-compliance
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	NA
<p>Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan</p>	Applied
<p>* 1,200 ft. Block Length _____ **Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 900 ft. Block Length for R-3 Zone Districts _____ **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac _____ **Subdivision Ordinance: Section 134-105</p>	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEYS	
<p>ROW: 20 ft. Paving: 16ft. -clarify if alley or service drive will be provided, prior to final. Alley or service drive cannot dead-end. - If service drive is proposed a plat note stating "A minimum 24 ft. private service drive will be established as part of the site plan and must be maintained by the lot owners and not the City of McAllen", prior to final. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106</p>	Non-compliance
SETBACKS	
<p>* Front: Minimum building setback shall be 75 ft. along 23rd street and 30 ft. along Tanya Avenue. Setbacks not shown on plat are as per Zoning Ordinance. -Setbacks are to reflect the existing plat notes recorded on the original plat of Central Market Subdivision. -Any changes to the original plat note will trigger a vacate & replat. **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Rear : Minimum building setback shall be 75 ft. along 23rd street and 30 ft. along Tanya Avenue. Setbacks not shown on plat are as per Zoning Ordinance. -Setbacks are to reflect the existing plat notes recorded on the original plat of Central Market Subdivision. -Any changes to the original plat note will trigger a vacate & replat. **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Sides: Minimum building setback shall be 75 ft. along 23rd street and 30 ft. along Tanya Avenue. Setbacks not shown on plat are as per Zoning Ordinance. -Setbacks are to reflect the existing plat notes recorded on the original plat of Central Market Subdivision. -Any changes to the original plat note will trigger a vacate & replat. **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Corner: Minimum building setback shall be 75 ft. along 23rd street and 30 ft. along Tanya Avenue. Setbacks not shown on plat are as per Zoning Ordinance. -Setbacks are to reflect the existing plat notes recorded on the original plat of Central Market Subdivision. -Any changes to the original plat note will trigger a vacate & replat. **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Garage _____ **Zoning Ordinance: Section 138-356</p>	NA
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on S. 23rd Street (Spur 115) and along Tanya Avenue. **May increase to 5 ft. as per Engineering Department **Subdivision Ordinance: Section 134-120</p>	Non-compliance
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Applied
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses - Add plat note as shown above prior to final **Landscaping Ordinance: Section 110-46</p>	Non-compliance

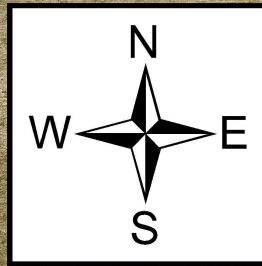
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<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses -Add plat note as shown above prior to final **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements.</p>	<p>Non-compliance</p>
	<p>Applied</p>
<p>NOTES</p>	
<p>* No curb cut, access, or lot frontage permitted along _____ **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. -Add plat note as shown above prior to final * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	<p>TBD</p>
	<p>Applied</p>
	<p>Applied</p>
	<p>Non-compliance</p>
	<p>NA</p>
	<p>NA</p>
<p>LOT REQUIREMENTS</p>	
<p>* Lots fronting public streets _____ **Subdivision Ordinance: Section 134-1</p>	<p>Applied</p>
<p>* Minimum lot width and lot area _____ **Zoning Ordinance: Section 138-356</p>	<p>Applied</p>
<p>ZONING/CUP</p>	
<p>* Existing: I-1 Proposed: I-1 ***Zoning Ordinance: Article V</p>	<p>Applied</p>
<p>* Rezoning Needed Before Final Approval -Any other proposed use will require rezoning ***Zoning Ordinance: Article V</p>	<p>Applied</p>
<p>PARKS</p>	
<p>* Land dedication in lieu of fee. -Industrial Zone does not apply</p>	<p>NA</p>
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording -Industrial Zone does not apply</p>	<p>NA</p>
<p>* Pending review by the Parkland Dedication Advisory Board and CC. -Industrial Zone does not apply</p>	<p>NA</p>

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TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.	Required
* Traffic Impact Analysis (TIA) required prior to final plat.	TBD
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> *Must comply with City’s Access Management Policy. -The plat shall be titled "Replat of Central Market Subdivision Lots 1A & 1B." Central Market Subdivision Lots 1A & 1B shall be in Bold Lettering. -Revise plat to reflect lots 1A & 1B - The current plat submittal shows the legal description within Lot 2. Please revise the plat to remove the legal description from the lot area, as its placement may imply the existence of a third lot. -Replat to reflect existing plat notes recorded on the original plat of Central Market Subdivision. -Replat will require a public hearing. -Any variances that may be requested must be finalized prior to final and will establish additional requirements as needed prior to finalizing the plat. -Any abandonment of easements must be done by a separate instrument/document, cannot be abandoned by plat. 	Non-compliance
RECOMMENDATION	
<p>Recommendation:</p> <p>Staff recommends approval of the subdivision in Preliminary Form subject to the conditions noted, drainage and utilities approval.</p>	Applied

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S 23RD ST

LOCATION

E STATION #6
SUBDIVISION
LOT 1

SARAH AVE

SARAH AVE

SOUTH 23RD
COMMERCIAL
PHASE 1

GONZALEZ FURNITURE
SUBDIVISION

PROPOSED REPLAT
CENTRAL MARKET
SUBDIVISION

28

CENTRAL MARKET SUBDIVISION

TANYA AVE

DINERO
SUBDIVISION
LOT 1

TANYA INDUSTRIAL PARK SUBDIVISION

12 11 10 9 8

29

WAREHOUSE
KINGDOM
SUBDIVISION
PHASE II