

AGENDA

PLANNING & ZONING COMMISSION REGULAR MEETING TUESDAY, JUNE 6, 2023 - 3:30 PM MCALLEN CITY HALL, 1300 HOUSTON AVENUE CITY COMMISSION CHAMBERS, 3RD FLOOR

At any time during the course of this meeting, the Planning & Zoning Board may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code

CALL TO ORDER -

PLEDGE OF ALLEGIANCE -

INVOCATION -

1) MINUTES:

- a) Approval/Disapproval of the minutes for the May 16, 2023 meeting.

2) PUBLIC HEARING

a) CONDITIONAL USE PERMITS:

1. Request of Daniela V. Morales, on behalf of Getsemani Voluntad de Dios, for a Conditional Use Permit, for one year, for an institutional use (church), at Lot 1 Block 23, McAllen Addition Subdivision, Hidalgo County, Texas; 220 South 16th Street. **(CUP2023-0057)**
2. Request of Tony Garza on behalf of Jaime Gonzalez for a Conditional Use Permit, for life of use, and adoption of an ordinance, for a guest house at Lot 9 Block 2, Maple Addition Subdivision, Hidalgo County, Texas; 700 Laurel Avenue. **(CUP2023-0061)**
3. Request of Ramiro Armendavis, for a Conditional Use Permit, and adoption of an ordinance, for one year, for a Bar (Bourbon Street) at Lot 1, Palm Manor Subdivision, Hidalgo County, Texas; 4800 North 10th Street, Suite A **(CUP2023-0059).**
4. Request of Joe Hernandez (SLR Building Contractors LLC) on behalf of Cavazos Elementary School, for a Conditional Use Permit, for one year, for an Institutional Use (gym addition) at Lot 1, Southwest Elementary School Subdivision, Hidalgo County, Texas; 1501 Freddy Gonzalez Drive. **(CUP2023-0060)**

b) REZONING:

1. Rezone from I-1 (light industrial) District to I-2 (heavy industrial) District: 73.58 acres out of Lot 6 & Lot 5, Block 3, Rio Bravo Plantation Company's Subdivision, Hidalgo County, Texas; 4101 Idela Avenue. **(REZ2023-0022)**

2. Rezone from R-1 (single-family residential) District to R-3A (multi-family apartment residential) District: the north 74.00 feet of the south 230.75 feet of the west 184.10 feet of Lot 16, and the south 156.75 of the west 184.10 feet of Lot 16, Stewart's Addition, Hidalgo County, Texas; 808 Houston Avenue. **(REZ2023-0023)**
3. Rezone from R-1 (single-family residential) District to R-3T (multi-family townhouse residential) District: Lots 1, 2, 3, and 4, MFTWS LLC Subdivision, Hidalgo County, Texas; 501 East Yuma Avenue, 417 East Yuma Avenue, 409 East Yuma Avenue, 401 East Yuma Avenue. **(REZ2023-0020)**
4. Rezone from R-1 (single-family residential) District to R-3A (multi-family apartment residential) District: An 8.11 acre tract out of Lot 9, E.M. Card Survey No.1, Hidalgo County, Texas; 9228 North Bicentennial Boulevard. **(REZ2023-0021)**

3) SITE PLAN:

- a) Site plan approval for Lot 1A, TOYS-R-US Lot 1A Subdivision, Hidalgo County, Texas; 1101 Expressway 83. **(SPR2022-0061)**

4) CONSENT:

- a) Silver Oak Subdivision, 9229 North Bicentennial Boulevard, RD Silver Oak, LLC **(SUB2023-0049) (FINAL) JHE**
- b) Sister's Subdivision, 12200 Mile 7 Road, Sansire Silva & Patty Cash **(SUB2023-0038) (FINAL) SEA**
- c) Arellano Subdivision, 6416 South 11th Street, Eva Yolanda Castillo Ibarra **(SUB2023-0050) (FINAL) SEA**
- d) Mikada Subdivision, 5000 Pecan Boulevard, Mikada, LLC **(SUB2023-0042) (FINAL) JHE**

5) SUBDIVISIONS:

- a) Felix Subdivision, 3024 South 1st Street, Patricia Salazar **(SUB2022-0120) (REVISED PRELIMINARY) SEA**
- b) Casa Corsica Subdivision, 3700 North Ware Road, Graco Real Estate **(SUB2023-0048) (PRELIMINARY) KH**
- c) Plaza Las Fuentes Fortis Subdivision, 5800 North 10th Street, Fortis Land Holdings, LLC and El Pistalon, LLP **(SUB2022-0093) (REVISED PRELIMINARY) RDE**
- d) Pioneer Estates Subdivision, 9400 North Shary Road, Aldape Development, LLC **(SUB2023-0040) (FINAL) MAS**

ADJOURNMENT:

IF ANY ACCOMMODATIONS FOR A DISABILITY ARE REQUIRED, PLEASE NOTIFY THE PLANNING DEPARTMENT (681-1250) 72 HOURS BEFORE THE MEETING DATE. WITH REGARD TO ANY ITEM, THE PLANNING & ZONING COMMISSION MAY TAKE VARIOUS ACTIONS, INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR PARTICULAR ACTION AT A FUTURE DATE.

STATE OF TEXAS
COUNTY OF HIDALGO
CITY OF McAllen

The McAllen Planning and Zoning Commission convened in a Regular Meeting on Tuesday May 16, 2023, at 3:31p.m. in the McAllen City Hall, 3rd Floor Commission Chambers Room, 1300 Houston Avenue, McAllen, Texas.

Present:	Michael Fallek Gabriel Kamel Marco Suarez Erica De la Garza Aaron Rivera	Chairperson Vice Chairperson Member Member Member
Absent:	Jose Saldana Emilio Santos Jr.	Member Member
Staff Present:	Evaristo Garcia Edgar Garcia Luis Mora Jose Humberto De la Garza Omar Sotelo Rodrigo Sanchez Kaveh Forghanparast Katia Sanchez Eduardo Garza Jessica Puga Jacob Salazar Magda Ramirez	Assistant City Attorney III Planning Director Deputy Director Development Coordinator Senior Planner Senior Planner Planner III Planner II Planner I Planner I Planner Technician I Administrative Assistant

CALL TO ORDER – Chairperson Mr. Michael Fallek

PLEDGE OF ALLEGIANCE

INVOCATION- Mr. Marco Suarez

1) MINUTES:

- a) Approval/disapproval of the minutes for the May 2, 2023 meeting.

The minutes for the regular meeting held on May 2, 2023 was approved as submitted by Mr. Marco Suarez. Seconding the motion was Mr. Aaron Rivera which carried unanimously with 5 members present and voting.

2) PUBLIC HEARING:

a) **CONDITIONAL USE PERMITS:**

- 1) Request of Roberto L. Garcia for a Conditional Use Permit, for life of the use, and adoption of an ordinance, for a guest house at Lot 6, Gardenia Terrace No.4 Subdivision, Hidalgo County, Texas; 6512 North 16th Street. **(CUP2023-0054)**

Mr. Eduardo Garza stated that the subject property is located along the east side of North 16th Street approximately 226 feet north of Martin Avenue. The property is zoned R-1 (single-family residential) District and has a Lot size of 7,480 square feet. The applicant is proposing to construct a guest house as an accessory use. A guest house is permitted in an R-1 (single-family residential) District with a Conditional Use Permit (CUP). The adjacent zoning is R-1 (single-family residential) District in all directions. Surrounding land uses are single-family residences.

The plat for Gardenia Terrace No. 4 Subdivision was recorded on May 17, 1976. According to Hidalgo County Appraisal District records, the existing residence was built in 1987. The applicant is proposing to demolish an existing storage building in order to build the guest house at the same location. The application for a Conditional Use Permit for a guest house was submitted on April 18, 2023.

The proposed one-story guest house would have an approximate size of 314 square feet. According to the submitted site plan, the proposed guest house will include one bedroom, one bathroom, and a kitchen area.

The guest house is being proposed for use by visiting relatives. A guest house is permitted within an R-1 District with an approved Conditional Use Permit and in compliance with all other requirements.

The Fire Department is still pending an inspection. The guest house must meet the requirements in Section 138-118(a)(5) of the Zoning Ordinance as follows:

- 1) Only one guest house shall be permitted on the property;
- 2) The proposed use shall comply with setback requirements. The proposed structure's setbacks are in compliance as shown on the submitted site plan;
- 3) The proposed use shall be connected to the same utilities as the primary residence;
- 4) Lot size must be a minimum 8,000 square feet. According to the Hidalgo County Appraisal District, the Lot size is 7,480 square feet;
- 5) Separate driveways or garages for the proposed use shall not be permitted. The applicant is not proposing an independent driveway for the proposed guesthouse;
- 6) The proposed use shall not be rented;
- 7) The permit shall be revoked if money is ever paid for rent or utility expenses are shared with the proposed use.

If approval is granted for this request, the applicant must still comply with all other Zoning Ordinance and Building Code requirements that will be requested during the building permit process.

Staff did not receive any phone calls, letters, or emails in opposition to this request.

Staff recommends disapproval of the request based on noncompliance with requirement listed above as #4 (minimum lot size) and Section 138-118(a)(5)(d) of the Zoning Ordinance.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Mr. Marco Suarez moved to disapprove with favorable recommendation. Ms. Erica De la Garza seconded the motion, which was disapproved with favorable recommendation.

with five members present and voting.

- 2) Request of Eliab Lara, on behalf of New Life Family Church, for a Conditional Use Permit, for two years, and adoption of an ordinance, for an institutional use (church) at Lots 12,13, and 14, Nolana Terrace Subdivision, Hidalgo County, Texas; 2109 and 2117 Nolana Avenue. **(CUP2023-0055)**

- Chairperson Mr. Michael Fallek requested to abstain from this item.

Mr. Eduardo Garza stated that the subject property consists of 3 Lots that are located along the south side of Nolana Avenue, approximately 125 ft. west of North 21st Street and is zoned C-3 (general business) District.

New Life Family Church was granted a Conditional Use Permit (CUP), to coincide with a 5-year parking agreement, in March 2019. An approval for an amendment to the CUP in 2020 by the City Commission consisted of the use of a main sanctuary and an annex building for a youth auditorium. New Life Family Church is proposing to use the youth auditorium as an educational component, which will include university level coursework in partnership with Oral Roberts University. The educational component will be under the auspices of New Life Family Church. The change in use of the youth auditorium comprises an amending of the approved site plan for the Conditional Use Permit.

The adjacent zoning is C-3 District to the north, east, and west, and R-3A (multi-family residential apartments) District to the south. Surrounding land uses include commercial businesses, and multi-family residential. A church is allowed in a C-3 District with a conditional use permit and in compliance with requirements.

There is an existing 11,016 sq. ft. (as per appraisal district) building which has been operating as the main sanctuary for New Life Family Church. An annex building (3,393 sq. ft.) has been used as a classroom/youth auditorium and is proposed to be used for an educational facility. Present plans are for an initial enrollment of 15 students and upwards. The days and hours of the services of the church in the main sanctuary will be Sunday from 8:30 AM to 12:00 PM, as well as Thursday from 6:00 PM – 9:00 PM. The applicant stated that the church will also provide ministry meetings during the week, which will include bible studies, prayer meetings on Saturdays, and outreach activities.

The Fire Department has been in contact with the applicant; however, a Fire Inspection is still pending. Should the conditional use permit be approved, the applicant would be required to sign the certificate acknowledging and agreeing to the conditions of the permit. The church must comply with the Zoning Ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The business fronts Nolana Avenue.
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking, especially in residential areas. Based on the seating area, 100 parking spaces are required; 40 parking spaces are provided on site. Parking agreements have been

submitted for an additional 65 parking spaces with adjacent properties. Parking agreements were made on a 5-year term. Existing parking agreements will need to be renewed in 2024.

- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits.
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities.
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas.
- 6) The numbers of persons within the building shall be restricted to the existing seating capacity for the building.
- 7) Sides adjacent to commercially and residentially zone or used properties shall be screened by a 6 ft. opaque fence.

If approval is granted to this request, the applicant must still comply with all other Zoning Ordinance and Building Code requirements that will be requested during the building permit process.

Staff did not receive any phone calls, letters, or emails in opposition to this request.

Staff recommends approval of this request for two years as requested by the applicant, subject to compliance with requirements set forth in Section 138-118(a)(5) of the Zoning Ordinance, and all other Zoning Ordinance, Building Code, and Fire Safety Code requirements.

Vice Chairperson Mr. Gabriel Kamel asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Mr. Marco Suarez moved to approve. Mr. Aaron Rivera seconded the motion, which was approved with five members present and voting with one member abstaining.

- 3) Request of Mario A. Reyna on behalf of Riverside Development Services LLC and Esperanza Homes McAllen LLC, for a Conditional Use Permit, for life of the use, for a Planned Unit Development (PUD) at a 23.663 acres out of Lots 45 and 52, La Lomita Irrigation and Construction Company Subdivision, Hidalgo County, Texas; 8300 North Ware Road. **(CUP2023-0058)**

Ms. Katia Sanchez stated that the subject property is located on the east side of North Ware Road, approximately 1,250 ft. north of Auburn Avenue. The irregularly-shaped tract in question is described by metes and bound for a lot size of 26.663 acres and is being subdivided into two proposed subdivisions under the names of Campo de Sueños Phase II and Campo de Sueños Phase III. The property zoning is R-1 (single family residential) District. The adjacent zoning is A-O (agricultural-open space) District to the south, east and west, R-1 District to the north, and ETJ (Extra-Territorial Jurisdiction) to the west. Surrounding land use include single-family residential, Texas Ranch Apartments, baseball field, elementary school and vacant land. A Planned Unit Development is permitted in an R-1 District with a conditional use permit and in compliance with

Article IV Planned Developments of the Subdivision Ordinance.

The Planning and Zoning Commission Board voted to approve the proposed subdivisions in revised preliminary form subject to staff recommendations and variances with conditions noted on January 19, 2021. A variance request to the block length requirement at Campo de Sueños Phase II was approved by City Commission on February 22, 2021. Annexation and initial zoning to R-1 District for the portion of the tract that was outside City limits was approved by City Commission on May 24, 2021. The applicant applied for a variance request to allow a lot width less than 50 ft. for proposed Campo de Sueños Phase II subdivision and proposed Campo de Sueños Phase III subdivision; however, they withdrew the request in favor of a Planned Unit Development. At the City Commission meeting held on September 13, 2021, the Board voted to approve the request for life of the use with variances noted for the planned unit development.

The applicant is requesting for the Planned Unit Development currently on file to be amended reflecting the new plat conditions below. Currently, the property is vacant. The property is part of Campo de Sueños Phase II Subdivision and Campo de Sueños Phase III Subdivision, which consist of one hundred eighteen (118) lots, with one being a common area. The applicant is proposing to develop a Planned Unit Development, which will include single family residences and common areas.

Planned unit developments allow a variety of land uses that complement each other within the development and with existing land uses in the vicinity. Specific requirements for approval are specified in the Ordinance creating a Planned Unit Development for the subject property and summarized as the following:

1. **CONCEPTUAL SITE PLAN:** Development and use of the property must comply with the conditional use permit conceptual site plan.
2. **PERMITTED USES:** Permitted uses are uses permitted in the R-1 District for buildings designated as residential. The applicant is proposing single family residences and common areas.
3. **OFF-STREET PARKING AND LOADING:** Parking in compliance with Chapter 134 Article VI, which requires two parking spaces per unit, with one being located beyond the front yard setback. Must provide floor plan with garage to determine if in compliance.
4. **LANDSCAPING:** Each lot requires 10% landscaping in an R-1 zone. Based on the lot area of 1,030,760.28 sq. ft., 103,076 sq. ft. of landscaping is required. Also, 50% of the required front yard must be landscape, including the sideyard setback areas. A minimum of one tree is required. Must provide front landscaping area and trees to determine if in compliance. Some lots show driveway on one side of the sideyard setback, it is not in compliance.
5. **STREETS AND SETBACKS:** Additional 35 ft. right-of-way dedication required along Ware Road. Provide minimum of 50 ft. right-of-way and 40 ft. of pavement width for Duke Avenue. Provide minimum of 50 ft. right-of-way and 32 ft. of pavement for N. 33rd Lane. Setbacks are Front: Duke Avenue – 25 ft. or greater for easements, whichever is greater; Front: 20 ft. or greater for easements, Front: 25 ft. for Lots 84-

85, 93-103, & 143-147 or greater for easement; Rear: 10 ft. or greater or easements; Sides: 5 ft. or greater for easements; Corner: 10 ft. or greater for easements; and Garage: 18 ft. except where greater setback is required. An R-1 zone requires a front yard setback of 25 ft. on interior streets. The development is proposing less than 25 ft. of front yard setback along Duke Avenue 20 ft. of front setback along N. 33rd Lane. The development is proposing 25 ft. of front yard setback for certain lots (Lots 84-85, 93-103, & 143-147). Provide setback lines with building envelope on site plan A 5 ft. wide minimum sidewalk required on Ware Road and a 4 ft. wide minimum sidewalk required on N. 33rd Street and both sides of all interior street. Must provide sidewalk width dimension on site plan.

6. DRAINAGE: During the Campo de Sueños Phase II Subdivision and Campo de Sueños Phase III Subdivision process final drainage detention and design and drainage plan must be submitted and in accordance with City of McAllen Standard Design Guide.
7. ADDITIONAL PROVISIONS: Conditional Use Permit site plan controls if there is conflict with other City ordinances. A decision by the Planning Director may be reviewed by Planning and Zoning Commission for recommendation to Board of Commissioners for final determination. The Conditional Use Permit calls for mixed use and a minimum of five (5) acres. The development has 23.663 acres and is providing mixed uses, which include single family residences and common area.
8. Owner, Engineer and Surveyor certification and signature block needs to be shown on the PUD site plan. The site plan does not show the required acknowledgements.
9. A recorded subdivision plat and Planned Unit Development site plan is required prior to issuance of building permits. Therefore, Campo de Sueños Phase II Subdivision and Campo de Sueños Phase III Subdivision process must be completed, and recorded together with the site plan.

If subdivision layout changes, conditional use permit will need to be amended to resemble the approved Subdivision Plat.

Staff recommends approval of the Planned Unit Development request.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Mr. Marco Suarez moved to approve. Vice Chairperson, Mr. Gabriel Kamel seconded the motion, which was approved with five members present and voting.

b) REZONING:

- 1) Rezone from C-3L (light commercial) District to I-1 (light industrial) District: 2.00 acres (approx. 133 square feet) out of that portion of lot one hundred five (105), La Lomita Irrigation and Construction Company's Subdivision, Hidalgo County, Texas; 4420 North Ware Road. **(REZ2023-0017)**

Ms. Katia Sanchez stated that the property is located east of North Ware Road and south of Buddy Owens Boulevard. It is approximately 380 feet east of North Ware Road; it is a 2-acre portion of a larger tract (lot 105).

The applicant is requesting to rezone the property from C-3L (light commercial) District to I-1 (light industrial) District. The applicant is proposing to build a battery storage facility. A feasibility plan has not been submitted.

The subject property is zoned as C-3L District; there is C-3L District to the west. The property to the north is zoned as C-1 (office building) District and C-3 (general business) District. There is A-O (agricultural and open space) District property located to the east of the subject property, and to the south there is R-3A (apartment) District.

The tract is currently land used for agricultural purposes. Surrounding land uses include a commercial plaza with medical offices, a single-family residence, and a Boys and Girls Club facility.

The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Commercial, which is comparable to commercial use zoning districts. The proposed development does not follow the Foresight McAllen Comprehensive Plan.

The development trend for this area is commercial development. There is also multifamily apartment district to the south of the subject property. The proposed zoning does not follow the development trend.

The subject property was zoned A-O during comprehensive zoning on April 16, 1979. In 2016, there was a rezoning request to commercial district. There have been no other rezoning requests for the subject property since that time. A rezoning request at the southeast corner of Buddy Owens Boulevard and North Ware Road for C-2 (neighborhood commercial) District was approved in 2000. A property to the north along the south side of Buddy Owens Boulevard was rezoned to C-1 (office building) District in 2005 and was developed for offices.

The requested zoning does not conform to the Auto Urban Commercial land use designation as indicated on the Foresight McAllen Comprehensive Plan, nor does it follow the development trend of the surrounding area.

A recorded subdivision plat and approved site plan are required prior to building permit issuance. A masonry screen eight feet in height shall be required where a commercial, industrial or multifamily use has a side or rear property line in common with a single-family use or zone.

Staff has received one letter in opposition of the rezoning request. The citizen expressed concerns of the proposed rezoning and proposed use being an environmental and human health hazard. As per the citizen the "noise and light pollution associated with industrial activities can disrupt the peace and tranquility of residential neighborhoods..."

Staff recommends disapproval of the rezoning request since the requested zoning does not conform to the Auto Urban Commercial land use designation as indicated on the Foresight McAllen Comprehensive Plan, nor does it follow the development trend of the surrounding area.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was none.

Applicant Mr. Bryan Yarbrough, Head of Development for Stella Energy Solutions, elaborated on the project plan.

After a brief discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve. Mr. Marco Suarez seconded the motion, which was approved with five members present and voting.

- 2) Rezone from R-1 (single-family residential) District to C-1 (office building) District: Lot 12 and east half of Lot 13, Block 3, La Lomita Terrace Subdivision, Hidalgo County, Texas; 2401 Sycamore Avenue. **(REZ2023-0018)**

Ms. Katia Sanchez stated that the property is located at the southwest corner of Sycamore Avenue and North 24th Street. According to the Hidalgo County Appraisal District, the lot has 75 feet of frontage and 140 feet of depth, thus the total lot size is 10,500 square feet.

The applicant is requesting to rezone the property from an R-1 (single-family residential) District to C-1 (office building) District. The applicant is proposing to operate a commercial daycare from the current building located at the subject property. The applicant has submitted a floor plan of the proposed commercial daycare.

The subject property, lots to the north, east, and south of the subject property are zoned R-1. The properties to the east of the subject property are zoned C-3 (general business) District.

The property currently has a house and is used as a home daycare. Surrounding land uses include single-family residences, vacant land, and Young's snow cone stand.

The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Single Family, which is comparable to the R-1 District only. The proposed rezoning of the property does not follow the Foresight McAllen Comprehensive Plan.

The development trend for this block is single family residential. The proposed zoning does not follow the development trend for this block.

The property was zoned R-1 District during the comprehensive zoning in 1979. The subject property has not had any rezoning requests since 1979. There was a rezoning request from R-1 District to R-2 (duplex-fourplex) District that was disapproved within the same subdivision (Lot 11, Block 3, and La Lomita Terrace Subdivision).

The requested zoning does not conform to the Auto Urban Single Family land use designation as indicated on the Foresight McAllen Comprehensive Plan, nor does it follow the development trend of the block.

Should the property be rezoned to C-1 District, the permitted uses would be office buildings for professional, medical, and financial services. It would also allow for personal services such as barbershops, nursing homes, and commercial daycare.

The commercial development must comply with Zoning, buffer, landscaping, parking and maneuvering space requirements.

The Planning Department has not received any phone calls or emails in opposition nor in favor of the rezoning request.

Staff recommends disapproval of the rezoning request since the proposed zoning does not conform to the Auto Urban Single Family land use designation as indicated on the Foresight McAllen Comprehensive Plan, nor does it follow the development trend of the block.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was two:

Citizen Ms. Laura Diana Salazar who resides at 2400 Redwood Avenue stated her concerns are traffic and feels that there are enough businesses in the area already.

Citizen Ms. Noemi Cantu who resides at 2404 Redwood Avenue stated her concern is that if they rezone to commercial the taxes will increase for the property owners.

Applicant, Jose Guerrero, stated that they want to rezone the area so they can have the daycare open 24hours.

After a brief discussion, Mr. Marco Suarez moved to disapprove. Ms. Erica Del a Garza seconded the motion, which was disapproved with five members present and voting.

- 3) Rezone from C-3 (general business) District to R-1 (single-family residential) District: Lot 5, Rio Grande Securities Inc., Subdivision No 2, Hidalgo County, Texas; 905 B-C Avenue. **(REZ2023-0019)**

Ms. Katia Sanchez stated that the property is located along the south side of B-C Avenue, approximately 260 feet east of North 10th Street. The lot has 52 feet of frontage and 116.90 feet of depth as per the subdivision plat. The total lot size is 6,078.80 square feet.

The applicant is requesting to rezone the property from a C-3 (general business) District to R-1 (single-family residential) District. The applicant is proposing to construct a single-family residence on the lot. The applicant has submitted a site plan of the proposed residence.

The subject property is zoned C-3 District, and is surrounded by C-3 District in all directions. Two lots east of the subject property is zoned as R-1 District.

The property is currently vacant. Surrounding land uses include single-family residences, Fuzzion Dance & DJ service, and Suit Up Formal Wear.

The Foresight McAllen Comprehensive Plan designates the future land use for this property as Auto Urban Single Family, which is comparable to the R-1 District only. The proposed rezoning of the property does follow the Foresight McAllen Comprehensive Plan.

The development trend for this block is mixed commercial use and single-family residences.

The subject property was zoned to C-3 District during Comprehensive Zoning in 1979. There has been no other rezoning request for the subject property since then.

The requested zoning does conform to the Auto Urban Single Family land use designation as indicated on the Foresight McAllen Comprehensive Plan and does follow the development trend of single-family residences in the area to the east. The down zoning to R-1 District will preserve the existing single-family residential character of the area.

The permitted uses in the R-1 District are as follows: one single-family dwelling per lot, maids' quarters, portable buildings or storage buildings used as an accessory to the residential use and not for living quarters, and parking facilities that comply with conditions in section 138-118(a)(6), (b) and (c).

The Planning Department has not received any phone calls nor emails in opposition nor in favor of the rezoning request.

Staff recommends approval of the rezoning request since the proposed zoning conforms to the Auto Urban Single Family land use designation as indicated on the Foresight McAllen Comprehensive Plan and does follow the development trend of single-family residences in the area to the east.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve. Mr. Marco Suarez seconded the motion, which was approved with five members present and voting.

3) SITE PLAN:

- a) Site plan approval for Lot 1, Copperfield Estates Phase 1a, Hidalgo County, Texas; 4201 Pecan Boulevard. **(SPR2022-0053)**

Ms. Katia Sanchez stated that the property is located on the southwest corner of Pecan Boulevard and North 42nd Street. The property consists of 50,435.62 square feet of vacant land. The property is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the east and west across North 42nd Street, C-1 (office building) District to the north across Pecan Boulevard, and R-1 (single-family residential) District to the south. The surrounding land uses are office, commercial, and single-family residential uses.

The applicant is proposing to construct a one-story building that would include five suites. The proposed suits will include the following uses: oil change shop uses, retail uses, office uses, and restaurant uses.

Access to the site is from three curb cuts located along North 42nd Street. Based on 7,133 square feet for retail/oil change uses and 2,511 square feet of restaurant/office/retail uses, 54 parking spaces are required on site. Fifty-five parking spaces are proposed. Moreover, two of the proposed regular parking spaces must be accessible, with one for van accessibility with an 8-foot wide aisle. The applicant is meeting parking requirements for the new development. 5,044 square feet of landscaped area is required for the new development and 5,865 square feet is proposed. The tree

requirement is as follows: 17 two-and-a-half-inch-caliper trees, 9 four-inch caliper trees, 5 six-inch caliper trees, or 6 palm trees with 14 two-and-a-half-inch caliper trees. A minimum 10 feet wide landscaped strip is required along Pecan Boulevard and North 42nd Street. Fifty percent of the required green area for the new development must be visible from the street or front property line, and each parking space must be within 100 feet of a landscaped area with a tree. Finally, a 6-foot buffer is required around dumpsters/compactors if visible from the street. The applicant is meeting landscaping requirements for green area and trees. There is a 140-foot front yard setback, a 49-foot rear yard setback, and side setbacks must be in accordance to the zoning ordinance or greater for approved site plan or easements. No structures are permitted to be built over any easements. The new development will be complying with all required setbacks for the property. A 5-foot wide minimum sidewalk is required along Pecan Boulevard and a 4-foot wide minimum sidewalk is required along North 42nd Street.

The Building Permit Site Plan must comply with requirements noted on the Development Team Review sheet.

Staff recommends approval of the site plan subject to the conditions noted, Building Permit requirements, and the subdivision and zoning ordinances.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve site plan subject to conditions noted. Mr. Aaron Rivera seconded the motion, which was approved with five members present and voting.

- b) Site plan approval for Lot 1, T-Rey Subdivision, Hidalgo County, Texas; 3612 State Highway 107. **(SPR2022-0070)**

Ms. Katia Sanchez stated that the subject property is located north of State Highway 107. The property is 1,200 feet east of Ware Road, for a lot size of approximately 405,543.40 square feet. The surrounding land use is A-O (agricultural & open space) District, C-3 (general business) District to the southeast and R-1 (single-family residential) District to the southwest.

The applicant is proposing to construct a self-storage facility and a commercial plaza with retail and restaurant use.

Based on the 72,315 square feet of self-storage, 1,286.60 square feet of self-storage office, 14,975 square feet of commercial, and 7,348 square feet of restaurant, 125 parking spaces are required. There are 148 parking spaces provided on site as per the site plan. Five of the proposed parking spaces must be accessible, which must also be van accessible with an 8-foot wide aisle. Access to the site is from a proposed curb cut along State Highway 107. Required landscaping for the lot is 42,035.4 square feet of which 80,009.58 square feet are provided. The tree requirement is as follows: 66-2 ½" caliper trees, 33-4" caliper trees, 17-6" caliper trees, or 27-palm trees. A minimum 10-foot wide landscaped strip is required inside the property line along State Highway 107. Fifty percent of the landscaping must be visible from the street, and each parking space must be within 100 feet of a landscaped area with a tree, as required by ordinance. A 6-foot buffer is required around dumpsters/compactors if visible from the street. The setbacks are as follows: 75 feet or greater for approved site plan or easements from State Highway 107, side and rear setbacks are in accordance with the zoning ordinance, or greater for approved site plan or easements. No structures are permitted over setbacks nor easements.

The Building Permit Site Plan must comply with requirements noted on the Development Team Review sheet.

Staff recommends approval of the site plan subject to the conditions noted, Building Permit requirements, and the subdivision and zoning ordinances.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve site plan subject to conditions noted. Mr. Marco Suarez seconded the motion, which was approved with five members present and voting.

4) CONSENT:

- a) Fire Fighter Training Facility Subdivision, 10700 North La Lomita Road, City of McAllen **(SUB2023-0043) (FINAL) M&H**
- b) Fire Station No. 8 Subdivision, 14300 North Shary Road, City of McAllen **(SUB2023-0044) (FINAL) M&H**
- c) Turin Estates Phase I Subdivision, 5200 North Ware Road, Troyo Construction, LLC **(SUB2023-0045) (FINAL) QHA**

Being no discussion, Ms. Marco Suarez moved to approve subdivision in consent form for Item 4a-4c. Vice Chairperson Mr. Gabriel Kamel seconded the motion, which was approved with five members present and voting.

5) SUBDIVISIONS:

- a) The Villas on Freddy Phase II Subdivision, 1500 Freddy Gonzalez Road, The Villas on Freddy, LLC **(SUB2020-0039) (REVISED FINAL) M&H**

Mr. Kaveh Forghanparast stated that Freddy Gonzalez Road - 20 ft. ROW dedication, for 50 ft. from center line for 100 ft. ROW Paving: 65 ft. Curb & gutter: both sides. Must escrow monies if improvements are not constructed prior to recording. N. 15th Street (Private), Xavier Ave. (Private), Zurich Ave. (Private): 30 ft. ROW Paving 30 ft. Curb & gutter both sides. Variance request for 30 ft. ROW width, and 30 ft. paving back to back approved by City Commission on May 13, 2019. Fire Lanes and HOA enforcement of no parking on the streets per Fire Department requirements. Bicentennial Boulevard - Proposed 25 ft. additional ROW for 150.50-150.87 ft. total ROW. Engineer to clarify if improvements have been built and ROW has been acquired or dedicated. Paving: By the state Curb & gutter: Both sides. 800 ft. Block Length. Variance request to the 800 ft. block length requirement approved by City Commission at the May 13, 2019 meeting. Front: LOTS 20 SHALL BE 23 FEET (FRONTING SOUTH) LOTS 139-162 SHALL BE 10 FEET (FRONTING EAST) LOTS 163-192 SHALL BE 23 FEET (FRONTING EAST). Setbacks under plat note #3 must be revised as previously approved for TVOF II prior to recording. If any changes are proposed, variance might be required. Zoning Ordinance: Section 138-356. Rear: LOT 120 SHALL BE 10 FEET (NORTH) LOTS 139-162 SHALL BE 23 FEET (GARAGE WEST) LOTS 163-192 SHALL BE 10 FEET (GARAGE WEST). Plat note #3 to be revised as shown above prior to recording. Zoning Ordinance: Section 138-356. Interior sides: Lot 120 shall be 3 feet east side and 7 feet west side Lots 139-162 shall be 7 feet south side and 3 feet north side lots 163-192 shall be 3 feet north side

and 7 feet south side. Plat note #3 to be revised prior to recording. Engineer to clarify if setbacks will be modified prior to recording. Zoning Ordinance: Section 138-356. Side Corner: 5 FEET, OR GREATER FOR EASEMENTS. Garage: (Proposed) 20 ft. except where greater setback is required, greater setback applies. Originally 23 ft. Garage setback was proposed so vehicles don't overlap over the sidewalks. Based on The sidewalks plans submitted in 2019, the sidewalks were proposed to be built along the rear side of the lots, not at the front. The engineer is asking for 20 ft. garage setback to match The Villas on Freddy Phase I Subdivision, with a proposed note as shown above. Setbacks under plat note #3 must be revised as previously approved for TVOF II prior to recording. If any changes are proposed, variance might be required. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on Freddy Gonzalez Rd., Bicentennial Blvd. and both sides of all interior streets; however Engineer submitted a Walking Trails plan for the interior street which provides for sidewalks along the front of each unit. Sidewalks are located along some streets, while others are within common areas. Variance request for sidewalk requirement approved by City Commission on May 13, 2019 as per Walking Trails Plan for the interior streets, etc. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along Freddy Gonzalez Rd. and Bicentennial Blvd. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along Freddy Gonzalez Rd. and/or Bicentennial Blvd. Common Areas, Private Streets must be maintained by the lot owners and not the City of McAllen. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Minimum lot width and lot area - All lots must be minimum 20 ft. wide and corner lot must be minimum 24 ft. wide in R-3T district. Lots fronting public streets Compliance. Existing : R3T Proposed: R3T. Land dedication in lieu of fee* Land dedication in lieu of fee. Park Land Dedication Advisory Board approved a variance for land dedication in lieu of fees at the meeting held on September 19, 2019. City Commission approved the variance to waive fees due to 3.9 acres of green space allocation at the meeting of October 28, 2019. Park Fee of \$700 to be paid prior to recording. Land dedication in lieu of fee. Park Land Dedication Advisory Board approved a variance for land dedication in lieu of fees at the meeting held on September 19, 2019. City Commission approved the variance to waive fees due to 3.9 acres of green space allocation at the meeting of October 28, 2019. Pending review by the Parkland Dedication Advisory Board and CC. Land dedication in lieu of fee. Park Land Dedication Advisory Board approved a variance for land dedication in lieu of fees at the meeting held on September 19, 2019. City Commission approved the variance to waive fees due to 3.9 acres of green space allocation at the meeting of October 28, 2019. Trip Generation to determine if TIA is required, prior to final plat. Per Traffic Department Trip generation has been approved. Must comply with City's Access Management Policy. Gate detail must be submitted and approved, prior to recording. Previously approved, The Villas on Freddy II, is splitting into two new phases: The Villas on Freddy Phase II and Phase III. Must comply with overall Master Plan requirements. The Villas on Freddy Phase II was approved in Final form at the P&Z meeting of July 7, 2020 and a 6-month extension on September 21, 2021, and revised final form at the P&Z meeting of December 21, 2021. Setbacks will have to be shown on plat note #3 as previously approved for TVOF II prior to final. If any changes are proposed, variance might be required.

Staff recommends approval of the subdivision in revised final form, subject to the conditions noted.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve in revised final form. Mr. Marco Suarez seconded the motion, which was approved with five members present and voting.

- b) Replat of Sharyland Business Park Lot 17A Subdivision, 5201 Military Highway, Tierra Tech USA, Inc. **(SUB2023-0046) (PRELIMINARY) STIG**

Mr. Kaveh Forghanparast stated that Military Highway (F.M.1016): Dedication as needed for 75 feet from centerline for 150 feet total ROW. Paving: 65 ft. Curb & gutter: Both sides Revisions Needed: Current subdivision layout does not provide ROW details. Label existing ROW dedications, from centerline, total, etc. on both sides. Show ROW for Military Highway (F.M.1016) to establish ROW dedication requirements prior to final. Revise all street name references as shown above prior to final. Please provide how existing ROW was dedicated on plat prior to final. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are not constructed prior to recording. Monies must be escrowed if improvements are not constructed prior to recording. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. ROW: 20 ft. Paving: 16 ft. Alley/service drive easement required for commercial, industrial, and multi-family properties. Revisions Needed: Provide for alley or service drive easement on the plat prior to final. Alley or service drive easement cannot dead-end. Subdivision Ordinance: Section 134-106. Front: 75 feet. or greater per approved site plan. Revisions Needed: Revise plat note as shown above prior to final. Proposing: In accordance with zoning ordinance, or greater for easements or approved site plan, or in line with average setback, whichever is greater applies. If any plat restrictions are proposed to be changed from original plat, vacate and replat would be required. Zoning Ordinance: Section 138-356. Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Zoning Ordinance: Section 138-356. Sides: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Zoning Ordinance: Section 138-356. Corner: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on Military Highway (F.M. 1016) Revisions Needed: Include note as shown above prior to final. Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements, finalize prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. Required. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Revisions Needed: Include note as shown above prior to final. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Revisions Needed: Include note as shown above prior to final. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Must comply with City Access Management Policy. As per Traffic Department, As per McAllen Access Management Policy, spacing requirement along Military Hwy @ 55 mph is 425 ft. Site plan must be approved by Planning and Zoning Commission prior to Building Permit Issuance. Revisions Needed: Include note as shown above prior to final. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions Needed: Include note as shown above, prior to final. Note subject to change once subdivision requirements have been finalized. Finalize wording prior to final. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Lots fronting public streets. Subdivision

Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: I-1(Light Industrial) District Proposed: I-1(Light Industrial) District. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Must comply with City's Access Management Policy. If any plat restrictions are proposed to be changed from original plat, vacate and replat would be required. Any abandonments must be done by separate process, not by plat. Original Subdivision plat of Sharyland Business Park Lot 17A presents reference to abandoned ROW for Taylor Road, however submitted plat does not have reference, review and revise as applicable prior to final.

Staff recommends approval of the subdivision in preliminary form, subject to the conditions noted, drainage, and utilities approval.

Being no discussion, Mr. Marco Suarez moved to approve in preliminary form subject to conditions noted. Vice Chairperson Mr. Gabriel Kamel seconded the motion, which was approved with five members present and voting.

- c) La Floresta Phase III Subdivision, 9400 North Bicentennial Boulevard, Gauchos Investments, LLC **(SUB2023-0037) (PRELIMINARY) JHE**

Mr. Kaveh Forghanparast stated that N. Bicentennial Blvd.: Dedication as needed for 75ft. from centerline for 150 ft. Total ROW. Paving :65-105 ft. Curb & gutter Both Sides. Revisions Needed: Correct the name of the street from "N. Bicentennial Blvd." to "N. Bicentennial Blvd." prior to final. Show and label the centerline, existing ROW on both sides of the centerline, and total existing ROW, prior to final. Show the ROW dedication as required from centerline, ROW dedicated inside the subdivision boundary, and total ROW after the dedication, prior to final. Include document numbers on plat and provide any documents as applicable for staff review regarding the existing ROW for N. Bicentennial Blvd. prior to final. Verify alignment of existing N. Bicentennial Blvd to the north and south, prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. Hobbs Drive (South side of the Subdivision): proposed 60 ft. Paving: 40 ft. Curb & gutter: Both sides Revisions required: Clarify the offset of Hobbs Drive's centerline on the west and east side of Bicentennial Blvd. Street jogs with centerline offsets of less than 125 feet is not allowed. Coordinate with staff for names of the interior streets prior to final. The plat name proposes the subdivision to be private. Please add " (PRIVATE)" to the interior street names, if the subdivision will be private. Hobbs Drive requirements, including being public or private, will be finalized to accommodate access for future development for the south side property, prior to final. Gate details are required for private subdivisions prior to final. If an island is proposed, minimum 20 ft. paving face to face width and 10 ft. ROW back of curb will be required. ROW may need to be widened for gates and sidewalks on both sides. The submitted plat exceeds the 600 ft. maximum cul-de-sac length. Revise the plat to comply with the requirement prior to final; if a variance is requested and approved, paving width of the interior street would be 40 ft. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. COM Thoroughfare Plan. N. 16th Street: 50 ft. for single family development Paving: 32 ft. Curb & gutter: Both sides Revisions required: The submitted plat exceeds the 600 ft. maximum cul-de-sac length. Revise the plat to comply with the requirement prior to final; if a variance is requested and approved, paving width of the interior street would be 40 ft. Show the ROW diameter at the Cul-de-Sacs and provide a paving layout to show compliance with minimum 96 ft. paving face to face according to Fire Department requirement and 10 ft. ROW back of curb prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if

improvements are required prior to recording. N/S 40 ft. ROW on east side. Paving: TBD Curb & gutter: TBD. Revisions needed: Submit a copy of the document referenced on the plat for 40 ft. ROW (NOT OPEN) on the east side of the subdivision for staff review to determine street requirement and finalize ROW

and paving prior to final approval. ROW may not be within lots as currently shown. Any proposed abandonment must be done via separate instrument and referenced on the plat. The ROW requirement must be finalized prior to final approval. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. 900 ft. Block Length for R-3A & R-3C Zone Districts. Subdivision Ordinance: Section 134-118. 600 ft. Maximum Cul-de-Sac. The submitted plat exceeds the 600 ft. maximum cul-de-sac length. Revise the plat to comply with the requirement prior to final; if a variance is requested and approved, paving width of the interior street would be 40 ft. Show the ROW diameter at the Cul-de-Sacs and provide a paving layout to show compliance with minimum 96 ft. paving face to face according to Fire Department requirement and 10ft. ROW back of curb prior to final. Subdivision Ordinance: Section 134-105. Front: 25 ft. or greater for easements. Zoning Ordinance: Section 138-356. Rear: 10 ft. or greater for easements. Zoning Ordinance: Section 138-356. Interior Sides: 6 ft. or greater for easements. Zoning Ordinance: Section 138-356. Corner: 10 ft. or greater for easements. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required, greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on N. Bicentennial Boulevard, and both sides of all interior streets. Engineering Department may require 5 ft. sidewalk. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, and along North Bicentennial Boulevard. Revise plat note #10 as shown above prior to final. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Required, No curb cut, access, or lot frontage permitted along N. Bicentennial Boulevard. Must comply with City Access Management Policy. As per Traffic Department no accesses will be granted off of Bicentennial Blvd. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Add a plat note as shown above prior to final. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Change reference from Section 110-72 to Section 134-168 if the proposed subdivision will be private. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Submit a copy of the document referenced on the plat for 40 ft. ROW (NOT OPEN) on the east side of the subdivision for staff review. Clarify if it is a road ROW or belongs to another entity, and revise the plat or mention how the overlap would be resolved. Any proposed abandonment must be done via separate instrument and referenced on the plat. Zoning Ordinance: Section 138-356. Existing: R-1 Proposed: R-1. Zoning Ordinance: Article V. Land dedication in lieu of fee. Based on the application submitted on 4/21/2023, 24 single-family lots are proposed. As per Parks Department, a park fee of \$700 per dwelling unit is required prior to recording. Therefore, a park fee of \$16,800 (\$700 x 24) will be

required for this subdivision prior to recording. The park fee is subject to change if the number of dwelling units changes. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Based on the application submitted on 4/21/2023, 24 single-family lots are proposed. As per Parks Department, a park fee of \$700 per dwelling unit is required prior to recording. Therefore, a park fee of \$16,800 (\$700 x 24) will be required for this subdivision prior to recording. The park fee is subject to change if the number of dwelling units changes. As per Traffic Department, Trip Gen for a 25 single-family lot and a detention area is waived. Submit a copy of the document referenced on the plat for 40 ft. ROW (NOT OPEN) on the east side of the subdivision for staff review. Clarify if it is a road ROW or belongs to another entity, and revise the plat or mention how the overlap would be resolved. Any proposed abandonment must be done via separate instrument and referenced on the plat. Some of the Utility Easements shown on the survey, are not depicted on the plat. Clarify/show all easements on the plat as shown on the survey. If the easement is dedicated by another plat or document, please reference those. Utility easements dedicated by this plat should be distinguished on the plat or by a plat note. Show legal description of the properties on the south, west, and southwest side. Show and label N. Bicentennial Boulevard on the location map. Must comply with City's Access Management Policy. Staff recommends approval of the subdivision in preliminary form, subject to the conditions noted, drainage, and utilities approval.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve in preliminary form. Mr. Aaron Rivera seconded the motion, which was approved with five members present and voting.

d) Grace Haven Subdivision, 7100 7 Mile Line, Isidro Quintero **(SUB2023-0047)**
(PRELIMINARY) SEA

Mr. Kaveh Forghanparast stated that Mile Line: 5 ft. additional dedication for 40 ft. from centerline for 80 ft. total ROW Paving: 52 ft. Curb & gutter: Both Sides Revisions needed: Clarify if there are existing structures on the ROW dedication. The requirements will be finalized prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. COM N/S 1/4 Mile Street (west boundary): 35 ft. dedication for 70 ft. ROW Paving: 40 ft. Curb & gutter: Both Sides. Staff will review to finalize 1/4 mile collector requirement on west boundary lot line prior to final. ROW dedication must be finalized prior to final approval. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. ROW: 20 ft. Paving: 16 ft. A service drive or access easement for lots fronting a major collector road might be required and is under review by staff. Service drive or access easement must be finalized prior to final, if applicable. Subdivision Ordinance: Section 134-106. Front: 45 ft. or greater for easements or in line with existing structure, whichever is greater applies. Clarify/revise the plat note as shown above prior to final. Proposed: 40 ft. or greater for easements or in line with existing structure, whichever is greater. Zoning Ordinance: Section 138-356. Rear: 10 ft. or greater for easements. Zoning Ordinance: Section 138-356. Interior Sides: In accordance with the zoning ordinance, or greater for easements. Zoning Ordinance: Section 138-356. Corner: 10 ft. or greater for easements or line with existing structures, whichever is greater applies. Corner setback requirement will be finalized prior to final based on N/S 1/4 mile collector requirements on the west boundary. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required, greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on Mile 7 Road. Engineering Department may require 5 ft. If a collector road is required on the west

boundary, 4 ft. wide minimum sidewalk will be required on the collector road as well. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. Required 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses.

- Clarify/revise plat note #7 as shown above prior to final. Proposed: 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along South Bentsen Road. If a N/S collector street is required, the buffer requirement will be finalized prior to final. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Required No curb cut, access, or lot frontage permitted along. Plat note requirement will be finalized if the quarter mile collector is required, prior to final. Must comply with City Access Management Policy. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: R-1 Proposed: R-1. Zoning Ordinance: Article V. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording As per the application submitted on 5/5/2023, the subdivision is proposed to have one single family lot; therefore a park fee of \$700 must be paid prior to recording as per Parks Department. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. license agreement will be required if there are existing improvement on the ROW dedication. A plat note might be required to address the status of existing structure on the subject property. The existing structure seem to be non-conforming. Communicate with staff, if applicable. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in preliminary form, subject to the conditions noted, drainage, and utilities approval.

Being no discussion, Mr. Marco Suarez moved to approve in preliminary form subject to conditions noted. Mr. Aaron Rivera seconded the motion, which was approved with five members present and voting.

ADJOURNMENT:

There being no further business to come before the Planning & Zoning Commission, Vice Chairperson Mr. Gabriel Kamel adjourned the meeting at 4:08p.m. with Mr. Marco Suarez seconding the motion and with five members present and voting.

Chairperson Michael Fallek

ATTEST: _____
Magda Ramirez, Administrative Assistant

Memo

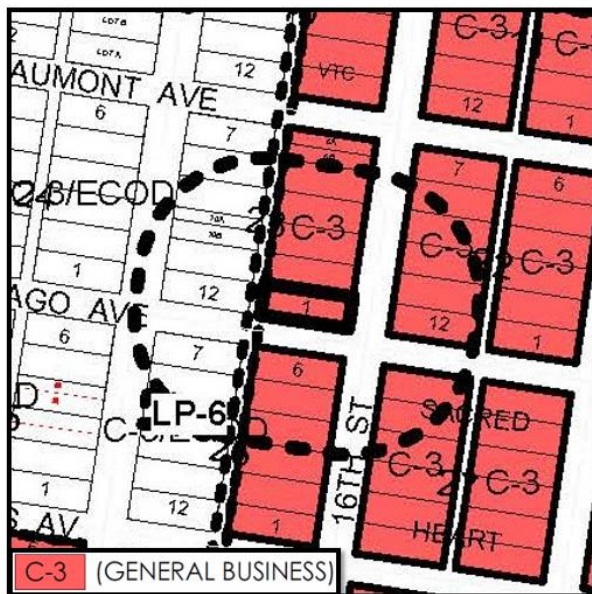
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: May 30, 2023

SUBJECT: REQUEST OF DANIELA V. MORALES, ON BEHALF OF GETSEMANI VOLUNTAD DE DIOS, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR AN INSTITUTIONAL USE (CHURCH), AT LOT 1, BLOCK 23, MCALLEN ADDITION SUBDIVISION, HIDALGO COUNTY, TEXAS; 220 SOUTH 16TH STREET. (CUP2023-0057)

BRIEF DESCRIPTION: The subject property is located on the northwest corner of Chicago Avenue and South 16th Street. It is zoned C-3 (general business) District. The adjacent zoning is C-3 District in all directions. An institutional use is permitted in a C-3 District with a conditional use permit and in compliance with requirements. Surrounding land uses include commercial businesses.



REQUEST/ANALYSIS: The applicant is proposing to operate a church from an existing 2,000 square foot building. The proposed hours of operation are Sunday 10 AM - 1 PM and Friday prayer meeting from 6 PM - 8 PM. Based on the 40 proposed seats, 10 parking spaces are required; the applicant is showing 10 parking spaces on the site plan which are provided at the rear of the property. The adjacent property (that shares common ownership) has authorized the use of 5 additional parking spaces with access from the alley.

The Fire Department conducted the necessary inspection and has approved for the CUP process to continue. Should the conditional use permit be approved, the applicant would be

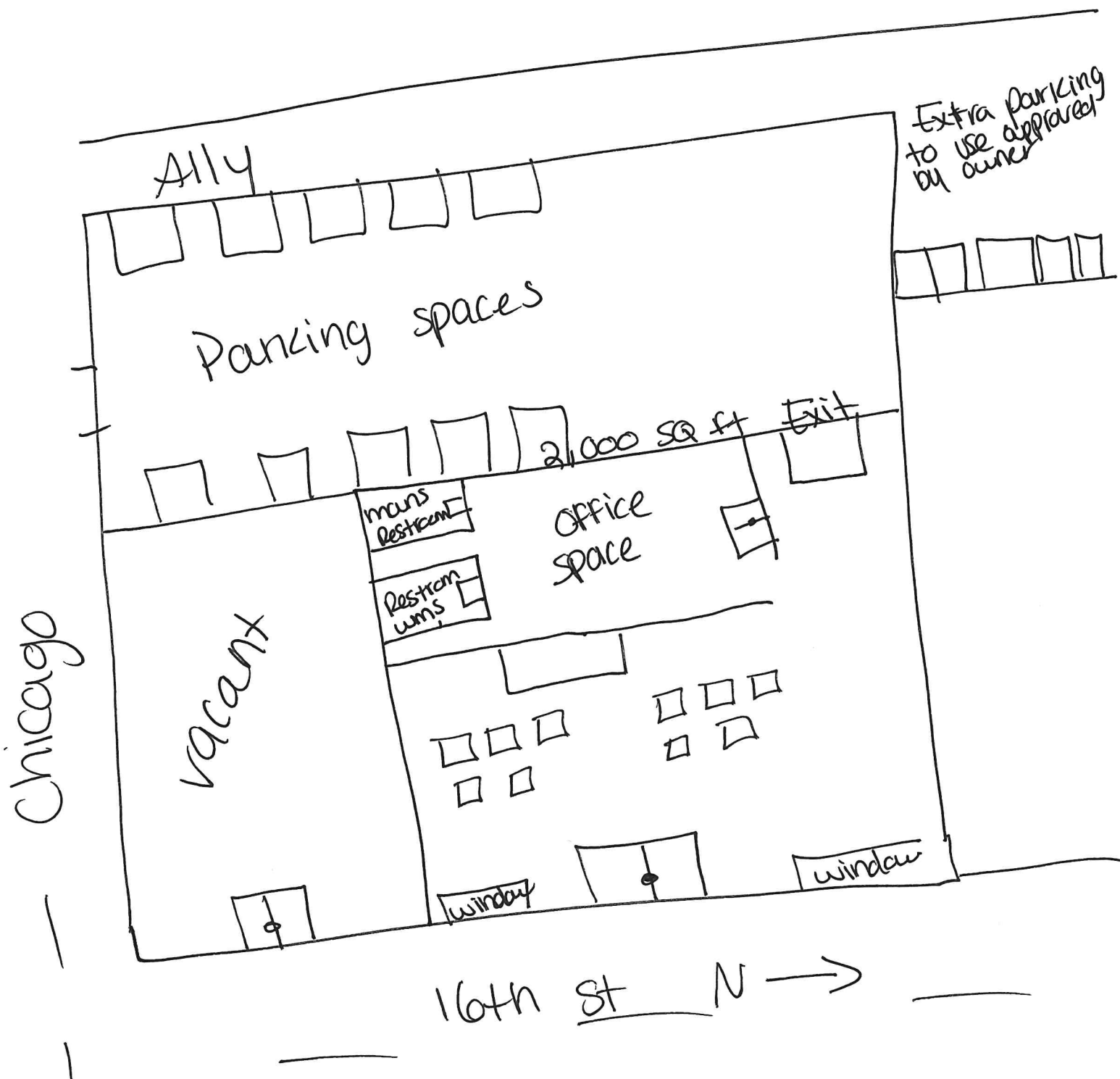
required to sign the application acknowledging and agreeing to all conditions noted of the permit. The proposed use must also comply with the zoning ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The property fronts South 16th Street and Chicago Avenue.
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking especially in residential areas. Based on the proposed 40 seats, 10 parking spots are required; the applicant is showing 10 parking spaces on the site plan which are provided at the rear of the property. The adjacent property (that shares common ownership) has authorized the use of 5 additional parking spaces with access from the alley.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges, or reorientation of entrances and exits;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the building shall be restricted to those allowed by the Fire Marshal and Building Official at the time of permit issuance;
- 7) Sides adjacent to a residentially zoned or used property shall be screened by a 6 ft. opaque fence.

Staff did not receive any phone calls, letters, or emails in opposition to this request.

RECOMMENDATION: Staff recommends approval of the request, for one year, subject to compliance with requirements in Section 138-118 of the Zoning Ordinance, Building Permits, and Fire Department requirements.


Site Plan
"Gretsemani Voluntad de Dios"
Hours of operation
Sunday : 10 Am
Friday : ~~7~~pm (prayer meeting)
6pm - 8pm
Attendees (40) including children






220

**NOTICE
INSTITUTIONAL
USE
FOR
THIS PROPERTY
CUP2023-0057**

 CITY OF MCALLEN PLANNING DEPT.
956-681-1250
WWW.MCALLEN.NET



PLUS 3

Memo

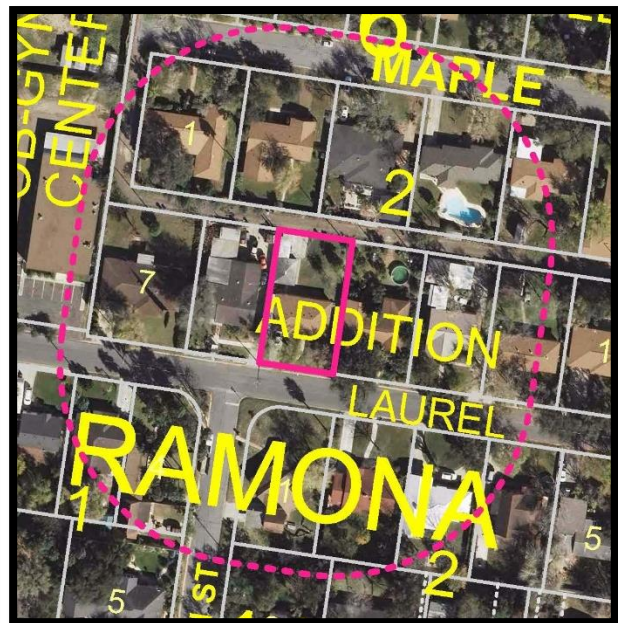
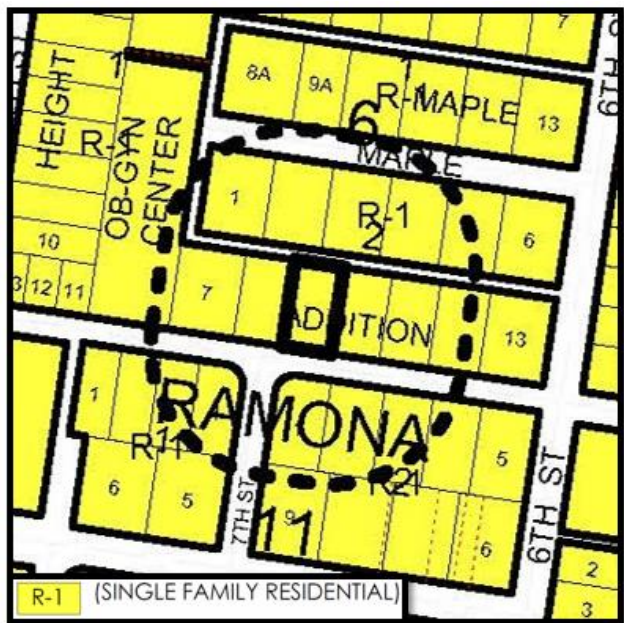
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: May 30, 2023

SUBJECT: REQUEST OF TONY GARZA ON BEHALF OF JAIME GONZALEZ FOR A CONDITIONAL USE PERMIT, FOR LIFE OF USE, AND ADOPTION OF AN ORDINANCE, FOR A GUEST HOUSE AT LOT 9, BLOCK 2, MAPLE ADDITION SUBDIVISION, HIDALGO COUNTY, TEXAS; 700 LAUREL AVENUE. (CUP2023-0061)

BRIEF DESCRIPTION: The subject property is located along the north side of Laurel Avenue approximately 340 feet west of North 6th Street. The property is zone R-1 (single family residential) District and has a Lot size of 9,937.5 square feet. The applicant is proposing to construct a guest house as an accessory use. A guest house is permitted in an R-1 (single-family residential) District with a Conditional Use Permit (CUP). The adjacent zoning is R-1 (single-family residential) District in all directions. Surrounding land uses are single-family residences.



REQUEST/ANALYSIS: The plat for Maple Addition Subdivision was recorded on July 13, 1949. According to Hidalgo County Appraisal District records, the existing residence was built in 1970. The applicant is proposing to demolish an existing accessory building and carport in order to build the guest house. The application for a Conditional Use Permit for a guest house was submitted on April 18, 2023.

The proposed two-story guest house will have an approximate size of 1,248 square feet. According to the submitted site plan, the proposed guest house will include a garage, one bedroom, one bathroom, a living room, and a kitchen area. There is an existing carport and driveway at the rear of the property. There is an existing driveway that will be repaved for use with the garage. The proposed garage will be used to store the property owner's classic Cadillac.

The proposed guest house is for temporary stays by visiting relatives. A guest house is permitted within an R-1 District with an approved Conditional Use Permit and in compliance with all other requirements.

The guest house must meet the requirements in Section 138-118(a)(5) of the Zoning Ordinance as follows:

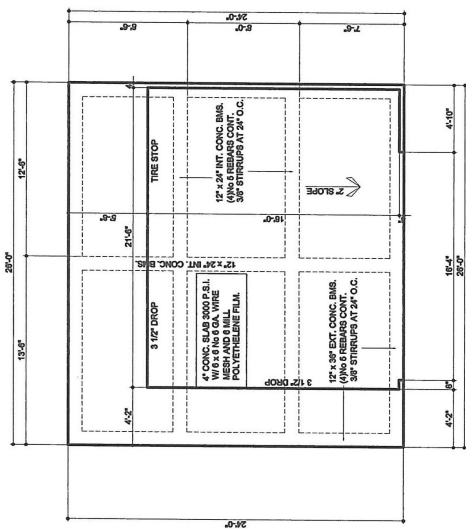
- 1) Only one guest house shall be permitted on the property;
- 2) The proposed use shall comply with setback requirements. The proposed structure's setbacks are in compliance as shown on the submitted site plan;
- 3) The proposed use shall be connected to the same utilities as the primary residence;
- 4) Lot size must be a minimum 8,000 square feet. According to the Hidalgo County Appraisal District, the Lot size is 9,937.5 square feet;
- 5) Separate driveways or garages for the proposed use shall not be permitted. The applicant is proposing a separate garage for the proposed guesthouse;
- 6) The proposed use shall not be rented;
- 7) The permit shall be revoked if money is ever paid for rent or utility expenses are shared with the proposed use.

If approval is granted for this request, the applicant must still comply with all other Zoning Ordinance and Building Code requirements.

Staff did not receive any phone calls, letters, or emails in opposition to this request.

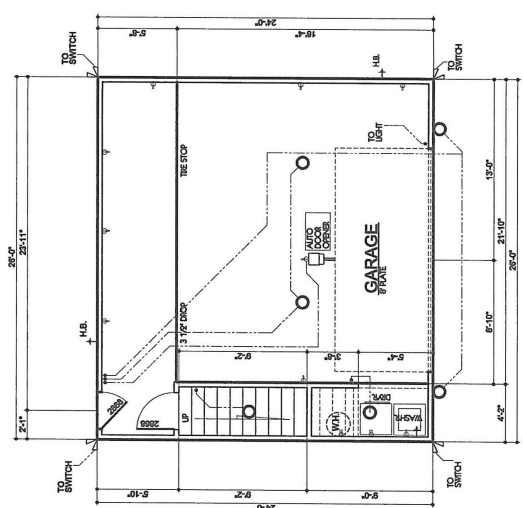
RECOMMENDATION: Staff recommends disapproval of the request based on noncompliance with requirement listed above as # 5 (separate driveway or garage) and Section 138-118(a)(5)(e) of the Zoning Ordinance.

FRONT ELEVATION

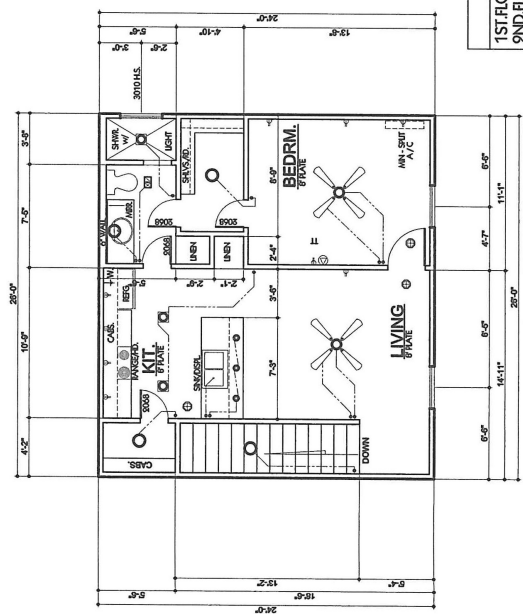


FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

NOTE / EXTERIOR CONC. BEAMS TO HAVE MINIMUM OF 12" INTO UNDISTURBED SOIL



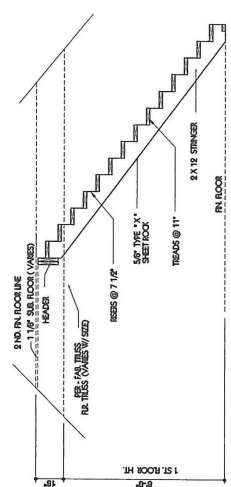
1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

SYMBOLS	
	EXHAUST VENT
	CEILING FAN
	TV
	TELEPHONE OUTLET
	LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	220 VOLT DUP. RECEPTACLE OUTLET
	110 VOLT RECEPTACLE OUTLET
	SWITCH
	SMOKE DETECTOR

AREA
1ST.FLOOR___ 624.0FT
2ND.FLOOR___ 624.0FT
TOTAL___ 1248.0FT



STAIRWAY DETAIL





NOTICE
GUEST HOUSE
FOR
THIS PROPERTY
CUP2023-0061

618

Planning Department

Memo

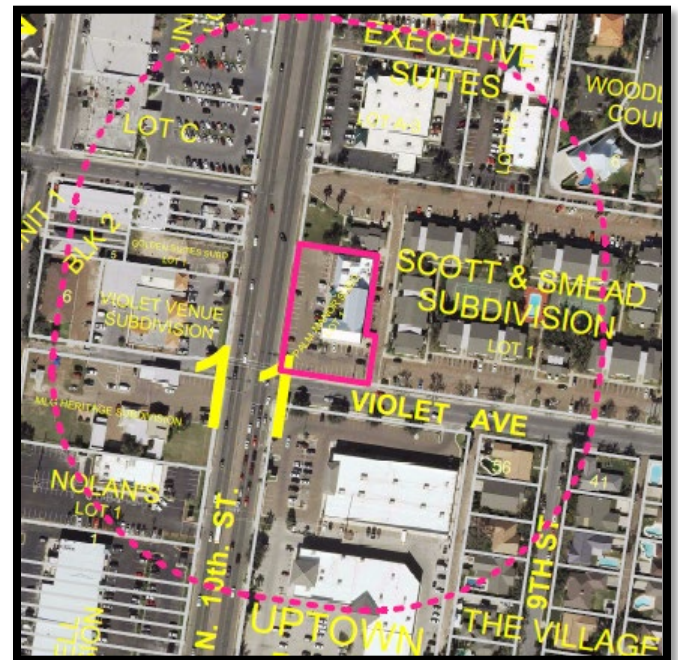
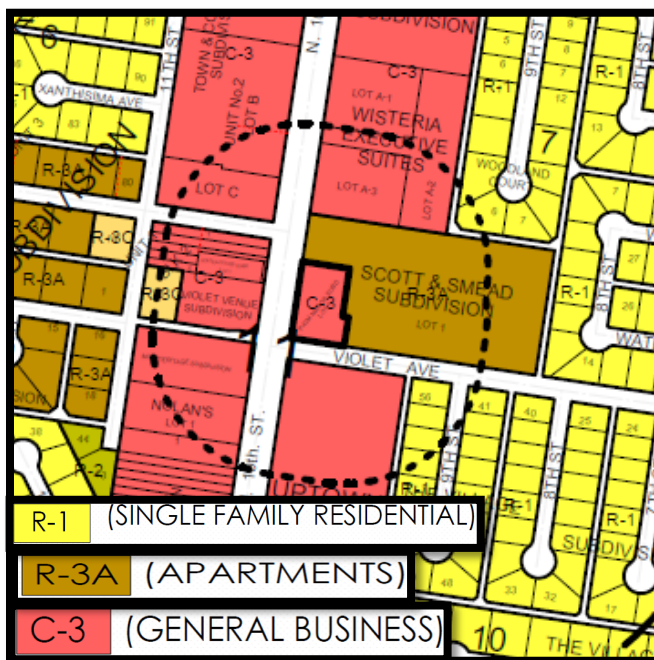
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: May 24, 2023

SUBJECT: REQUEST OF RAMIRO ARMENDARIZ, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE, FOR A BAR (BOURBON STREET) AT LOT 1, PALM MANOR SUBDIVISION, HIDALGO COUNTY, TEXAS; 4800 NORTH 10TH STREET, SUITE A (CUP2023-0059)

DESCRIPTION: The property is located at the northeast corner of North 10th Street and Violet Avenue and is zoned C-3 (general business) District. The adjacent zoning is R-3A (multifamily residential apartments) District to the North and East, and C-3 (general business) District to the South and West across North 10th Street. A bar business is allowed in a C-3 zone with a Conditional Use Permit and in compliance with requirements.



HISTORY: This is the initial application for a Conditional Use Permit with a variance to the distance requirement for a bar business being at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property. It is within 400 feet of a residential zone and use.

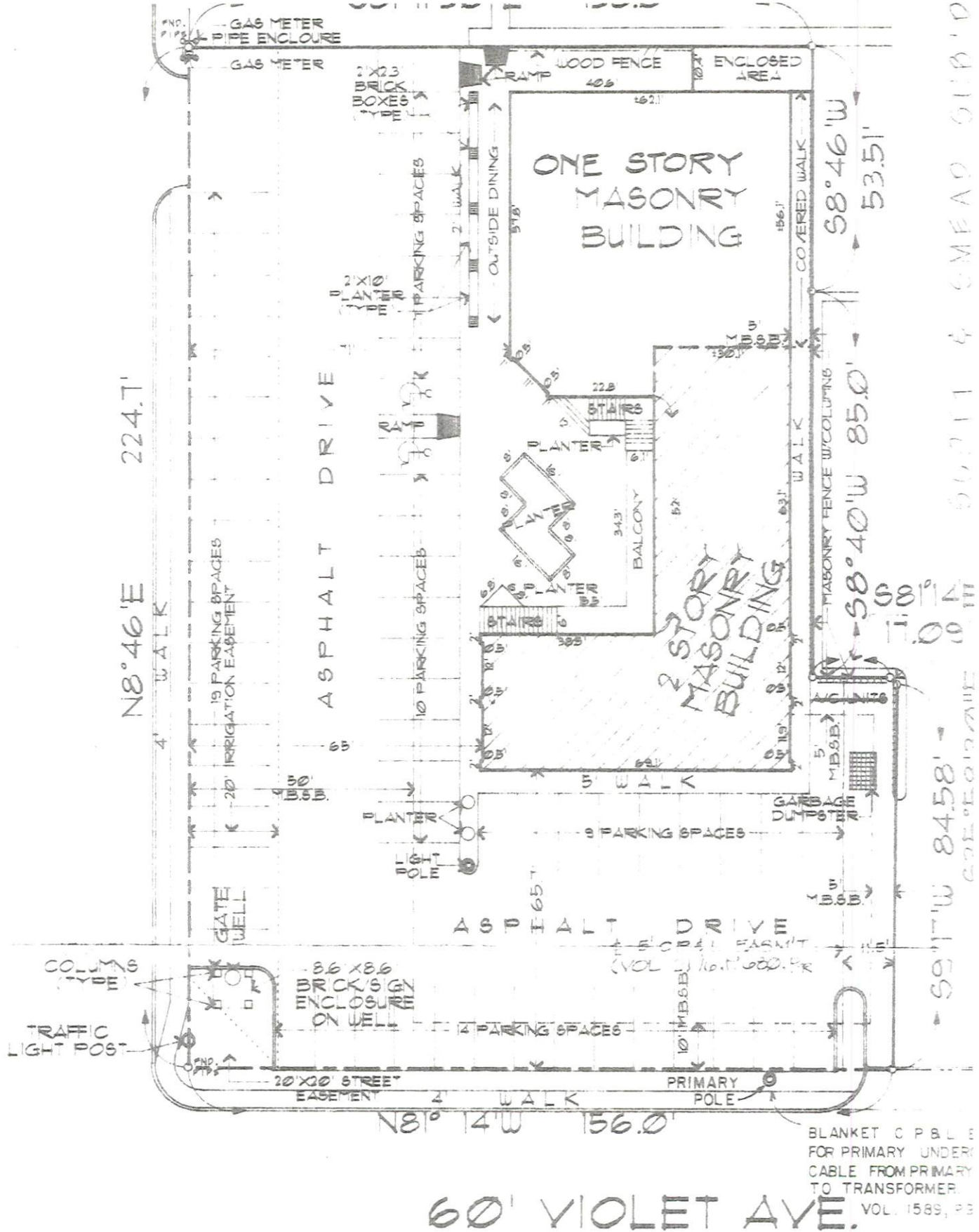
ANALYSIS: The applicant is proposing to operate a bar under the name Bourbon Street from the approximately 3,127 square foot building. The proposed hours of operation are from 11 a.m. to 2 a.m. Monday through Sunday. The proposed Suite (Suite A) is part of a retail center plaza on North 10th street.

The Fire Department based on initial inspection determined the CUP process may be allowed to continue. The Health Department inspected the bar and determined the property to be in compliance. The Planning Department has received no complaints regarding the proposed use. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

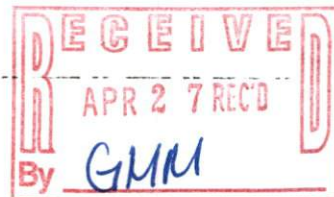
- 1) The property line of the lot of any of the abovementioned business must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The establishment is within 400 ft. of a residential zone/use to the east;
- 2) The abovementioned business must be as close as possible to a major arterial, and shall not allow the traffic generated by such business onto residential streets, or allow such traffic to exit into and disrupt residential areas. The establishment has direct access to North 10th Street; on Violet Avenue, both commercial streets.
- 3) The abovementioned business must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. The plaza has shared parking for all suites.
- 4) The abovementioned business must do everything possible to prevent the unauthorized parking by the patrons of such businesses on adjacent business or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances.
- 5) The abovementioned business should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility of as much as possible of the site from a public street.
- 6) The abovementioned business must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties.
- 7) The abovementioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Director of Planning. This number cannot exceed the number provided for in existing city ordinances.

RECOMMENDATION: Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(4) of the Zoning Ordinance.

00' 10th. STREET (S. H. # 336)



60' VIOLET AVE.

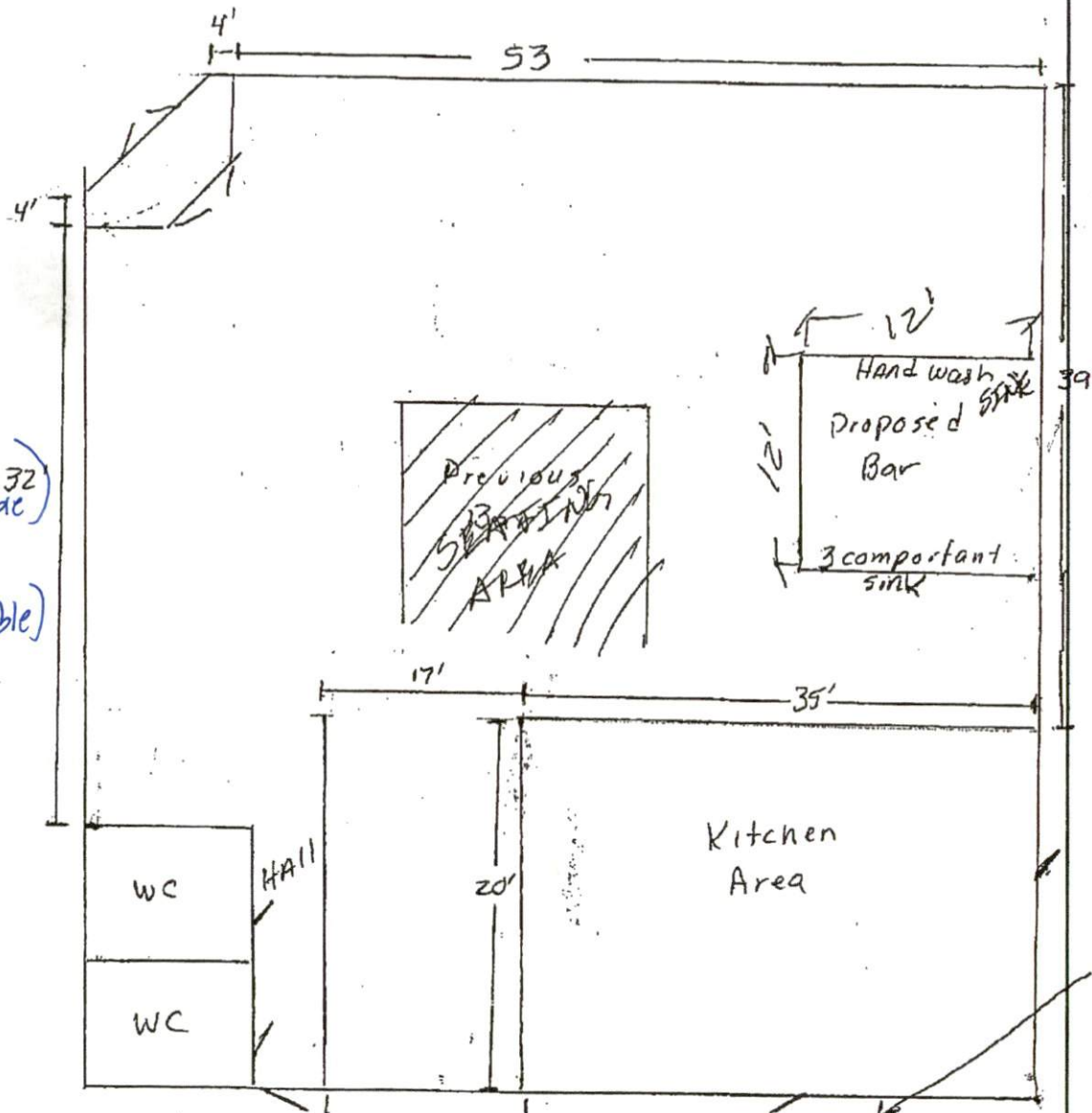


N. BLDG. 86' BACK
K REQUIRED ALONG

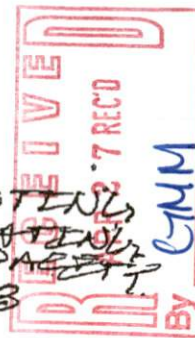
Bourbon St
grill + cantina
4800 N. 10th St A
McAllen TX 78504

17-4 TOPS (table)

5-2 TOPS (table)



EXISTING
SEATING
CAPACITY
238





BOURBON ST. EST. 2015 McALLEN, TEXAS



4800



ERILL
- BUILDERS

ge Turtle
gifts decor

NOTICE
BAR
FOR
THIS PROPERTY
CUP2023-0059

Memo

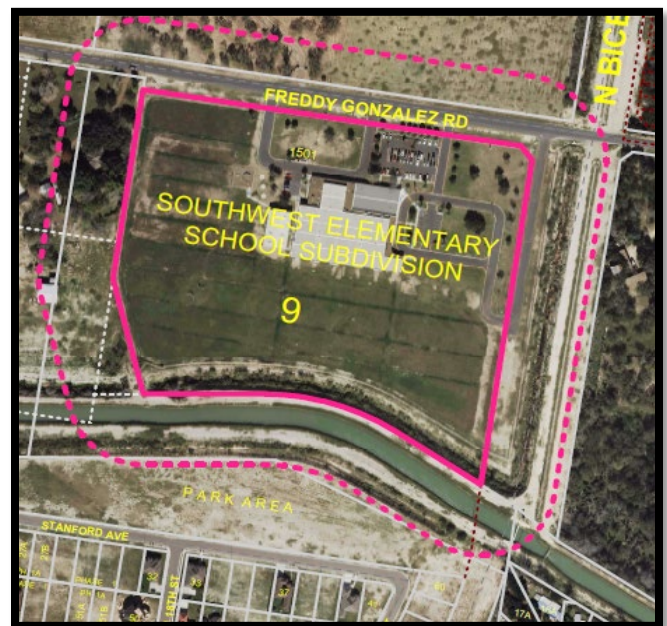
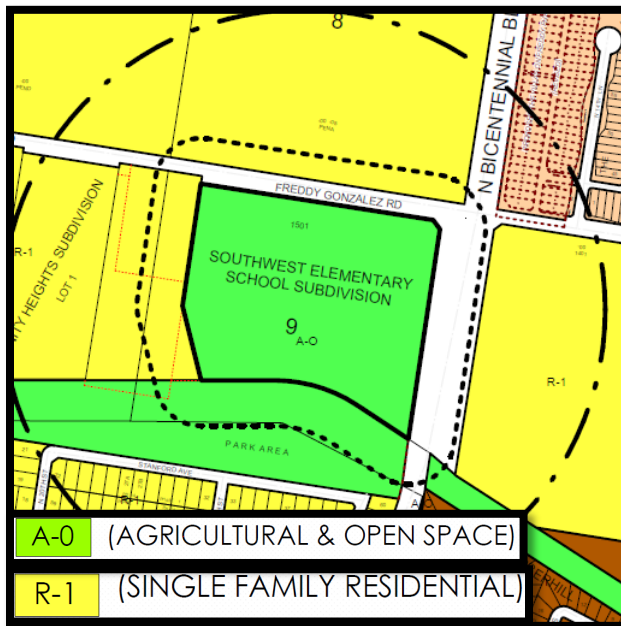
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: May 24, 2023

SUBJECT: REQUEST OF JOE HERNANDEZ (SLR BUILDING CONTRACTORS LLC), ON BEHALF OF CAVAZOS ELEMENTARY SCHOOL, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, FOR AN INSTITUTIONAL USE (GYM ADDITION) AT LOT 1, SOUTHWEST ELEMENTARY SCHOOL SUBDIVISION, HIDALGO COUNTY, TEXAS, 1501 FREDDY GONZALEZ DRIVE. (CUP2023-0060)

BRIEF DESCRIPTION: The property is located at the southwest corner of Freddy Gonzalez Drive and North Bicentennial Boulevard. The subject property is zoned A-O (agricultural and open space) District. The adjacent zoning is R-1 district to the north, east and west. There is A-O District to the south. A school is permitted in the A-O district with a Conditional Use Permit and in compliance with requirements.



HISTORY: The original Conditional Use Permit for an Institutional Use for a school was submitted and approved in 1996. The application to amend the Conditional Use Permit request was submitted April 28, 2023 and is for one year.

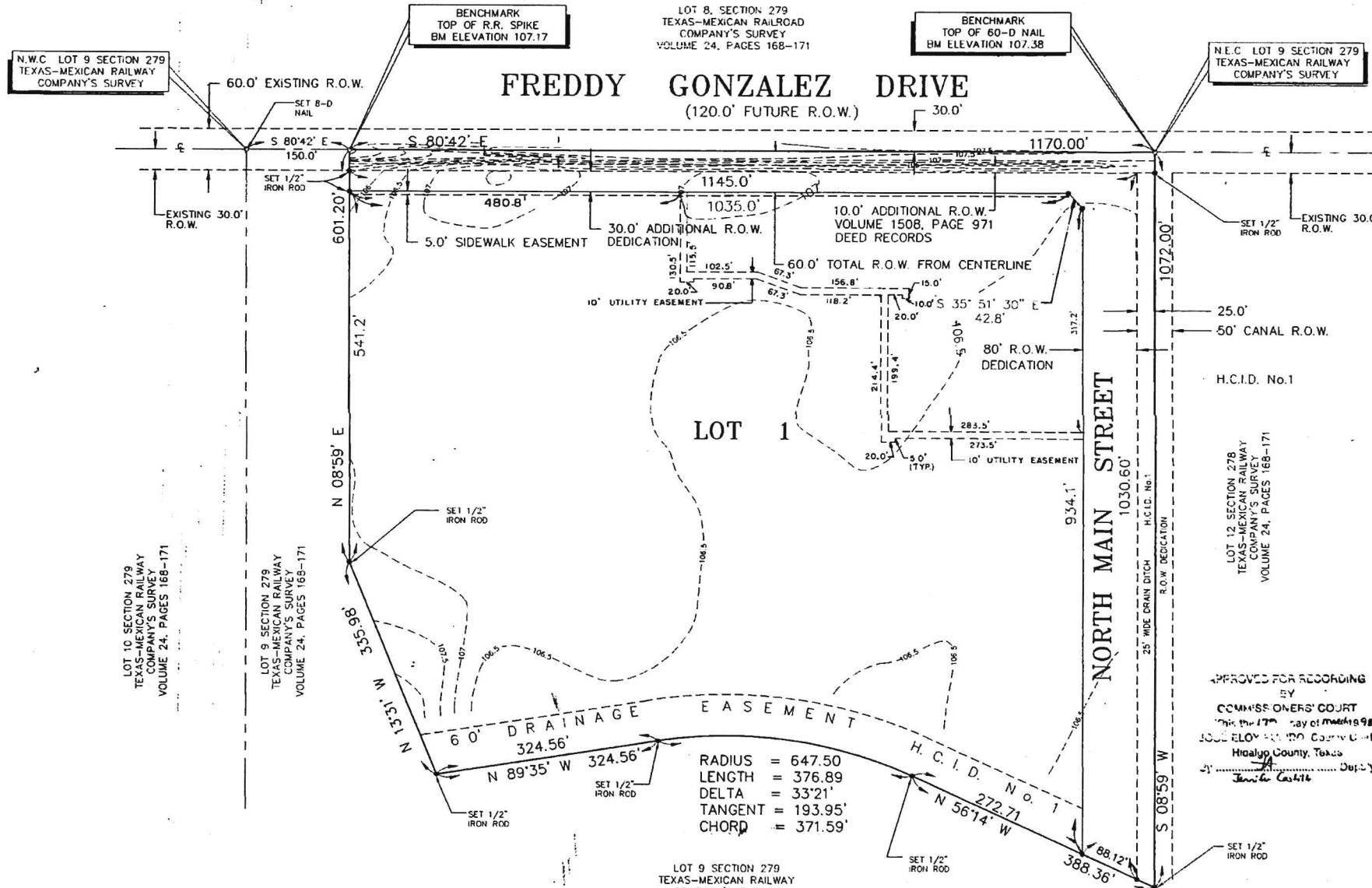
SUMMARY/ANALYSIS: The applicant is proposing to construct an addition and make improvements to the existing gymnasium at Cavazos Elementary School. The proposed addition is approximately 1,530 square feet and will consist of two restrooms and an office.

Parking remains compliant with requirements.

The Fire Department has completed their inspection and have determined the CUP process may continue. Should the conditional use permit be approved, the applicant would be required to sign the application acknowledging and agreeing to all conditions noted on the permit. The proposed use must also comply with the zoning ordinance and specific requirements as follows:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The property fronts Freddy Gonzalez Drive.
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of parking along street, especially in residential areas. The parking must be clear of potholes and be properly striped per city requirements.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the main building shall be determined by the Building Inspections Department and shall maintain the existing seating capacity for the main sanctuary; and
- 7) Sides adjacent to commercially and residentially zoned or use property shall be screened by a 6 ft. opaque fence.

RECOMMENDATION: Staff recommends approval of the request, for one year, subject to compliance with requirements in Section 138-118 (as applicable) and Section 138-400 of the Zoning Ordinance, and Building Code and Fire Department requirements.



- NOTES:
- FLOOD ZONE DESIGNATION: ZONE "C"
COMMUNITY-PANEL NO. 480334 0325 C
MAP REVISED: NOVEMBER 16, 1982
 - MINIMUM FINISHED FLOOR ELEVATION 18-INCHES
ABOVE ϕ OF ROAD.
 - MINIMUM BUILDING SETBACK LINES:
FREDDY GONZALEZ DRIVE 60.0' OR GREATER-APPROVED SITE PLAN
NORTH MAIN STREET 50.0' OR GREATER-APPROVED SITE PLAN
SIDE AS PER ZONING ORDINANCE OR GREATER
FOR APPROVED SITE PLAN OR EASEMENT
REAR AS PER ZONING ORDINANCE OR GREATER
FOR APPROVED SITE PLAN OR EASEMENT
 - A SIX (6) FOOT BUFFER IS REQUIRED BETWEEN COMMERCIAL
AND RESIDENTIAL USES.
 - LOT OWNERS ARE SUBJECT TO PAYING THEIR PRO-RATA
SHARE FOR REQUIRED FUTURE IMPROVEMENTS WHEN BY THE
CITY OF McALLEN.
 - 4' SIDEWALK REQUIRED ON FREDDY GONZALEZ DRIVE AND
NORTH MAIN STREET.
 - SUBJECT TO INTERLOCAL AGREEMENT BETWEEN CITY OF McALLEN AND
EDINBURG CONSOLIDATED INDEPENDENT SCHOOL DISTRICT
EXECUTED ON JULY 22, 1996 FOR NORTH MAIN STREET PAVING,
CURB AND GUTTER, AND SIDEWALK AND FOR FREDDY GONZALEZ DRIVE AND GUTTER.
 - SITE PLAN MUST BE APPROVED BY PLANNING AND
ZONING COMMISSION PRIOR TO ISSUANCE OF BUILDING PERMITS.
 - 80 FT OF RIGHT-OF-WAY IS BEING DEDICATED
BY THIS PLAT AS NOTED AND INDICATED ABOVE.

SOUTHWEST ELEMENTARY SCHOOL SUBDIVISION

A 24.11 ACRE TRACT OF LAND OUT OF LOT 9, SECTION 279, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS, AS PER MAP RECORDED IN VOLUME 24, PAGE 168, DEED RECORDS OF HIDALGO COUNTY, TEXAS.

CHECKED FOR DEEDS BY: *[Signature]*
3/10/98

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 1
DATED THIS 30th DAY OF September 1997.

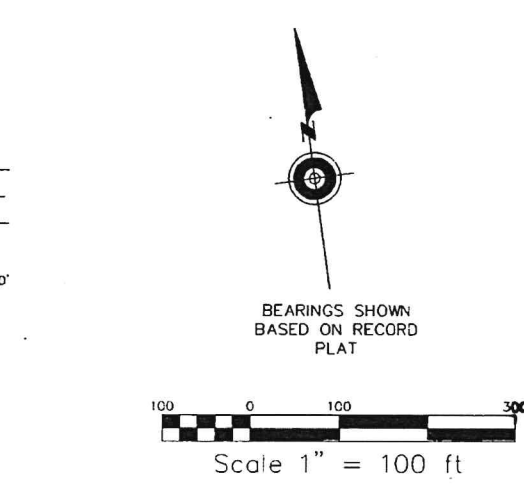
ATTEST: *[Signature]* PRESIDENT
[Signature] SECRETARY

APPROVED FOR RECORDING
HIDALGO CO. PLANNING DEPT.
BY: *[Signature]*
DATE: 3-17-98

APPROVED:
[Signature]
Hidalgo County ROW DEPT.

APPROVED:
[Signature]
Hidalgo County and HCCO #1

Recorded In Volume 33 Page 62
of the map records of Hidalgo
County, Texas
McAllen and Hunt, Inc.



METES AND BOUNDS

BEING A 24.11 ACRE TRACT OF LAND OUT OF LOT 9, SECTION 279, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS, AS PER MAP RECORDED IN VOLUME 24, PAGES 170-171, DEED RECORDS OF HIDALGO COUNTY, TEXAS, SAID 24.11 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 60-D NAIL SET AT THE NORTHEAST CORNER OF LOT 9 FOR THE NORTHEAST CORNER OF THIS TRACT OF LAND;

THENCE SOUTH 08°59' WEST, WITH THE EAST LINE OF SAID LOT 9, AT 30.00 FEET PASS A HALF (1/2) INCH IRON ROD SET AT THE SOUTH R.O.W. OF FREDDY GONZALEZ DRIVE, AT 1072.00 FEET IN ALL TO A HALF (1/2) INCH IRON ROD SET FOR THE SOUTHEAST CORNER OF THIS TRACT OF LAND;

THENCE NORTH 56°14' WEST, 388.36 FEET TO A HALF (1/2) INCH IRON ROD SET FOR A POINT OF CURVATURE;

THENCE WITH A CURVE TO THE LEFT HAVING A RADIUS OF 647.50 FEET, A CENTRAL ANGLE OF 33°21', AN ARC DISTANCE OF 376.89 FEET TO A HALF (1/2) INCH IRON ROD SET FOR A POINT OF TANGENCY;

THENCE NORTH 89°35' WEST, 324.56 FEET TO A HALF (1/2) INCH IRON ROD SET FOR THE SOUTHWEST CORNER OF THIS TRACT OF LAND;

THENCE NORTH 13°31' WEST, 335.98 FEET TO A HALF (1/2) INCH IRON ROD SET FOR A CORNER OF THIS TRACT OF LAND;

THENCE NORTH 08°59' EAST, AT 571.20 FEET TO A HALF (1/2) INCH IRON ROD SET AT THE SOUTH R.O.W. OF SAID FREDDY GONZALEZ DRIVE, AT 601.20 FEET IN ALL TO A RAILROAD SPIKE FOUND ON THE NORTH LINE OF SAID LOT 9 FOR THE NORTHWEST CORNER OF THIS TRACT OF LAND;

THENCE SOUTH 80°42' EAST, WITH THE NORTH LINE OF SAID LOT 9, A DISTANCE OF 1170.00 FEET TO THE PLACE OF BEGINNING, CONTAINING 24.11 ACRES, MORE OR LESS.

STATE OF TEXAS
COUNTY OF HIDALGO

WE, EDINBURG CONSOLIDATED INDEPENDENT SCHOOL DISTRICT, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS SOUTHWEST ELEMENTARY SCHOOL SUBDIVISION, SUBDIVISION TO THE COUNTY OF HIDALGO, TEXAS AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED.

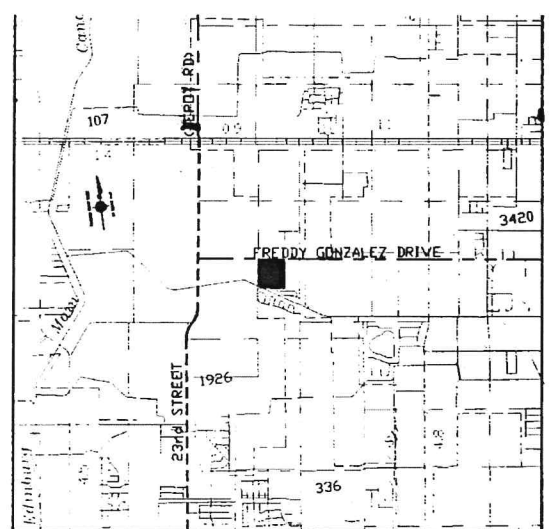
JOSE "ROSIE" LONGORIA
PRESIDENT - BOARD OF TRUSTEES

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOSE "ROSIE" LONGORIA, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 4th DAY OF February 19 97

GERALDINE Y. PRADO
NOTARY PUBLIC
State of Texas
Comm. Exp. 11-17-97



LOCATION MAP

664030

Filed for Record in:
Hidalgo County, Texas
by Jose Elzy Pulido
County Clerk

Doc. No. 664030
Total Fees \$1.00
Receipt Number - 140039
Bva Cruz By:

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN
CITY OF McALLEN
PLANNING AND ZONING COMMISSION

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

ATTESTED BY:

[Signature]
SECRETARY
CITY OF McALLEN

[Signature]
MAYOR
CITY OF McALLEN

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, ARTURO GARCIA, JR., A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

ARTURO GARCIA, JR.
REGISTERED PROFESSIONAL ENGINEER
69356
2/4/97

STATE OF TEXAS
COUNTY OF HIDALGO

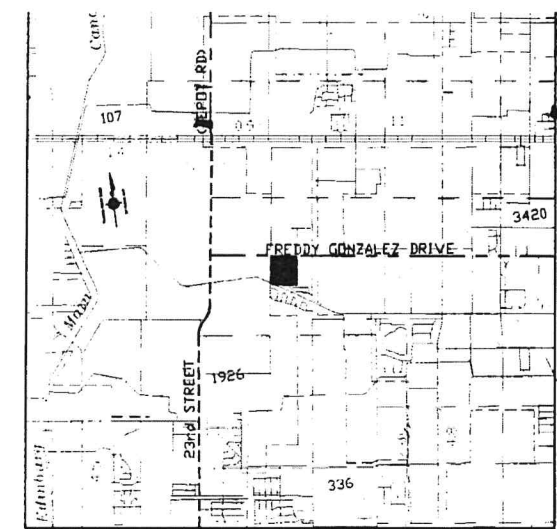
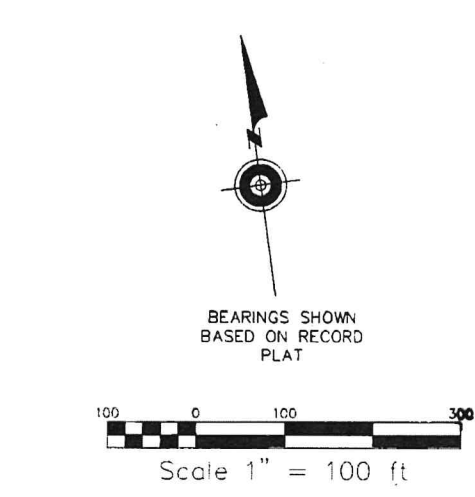
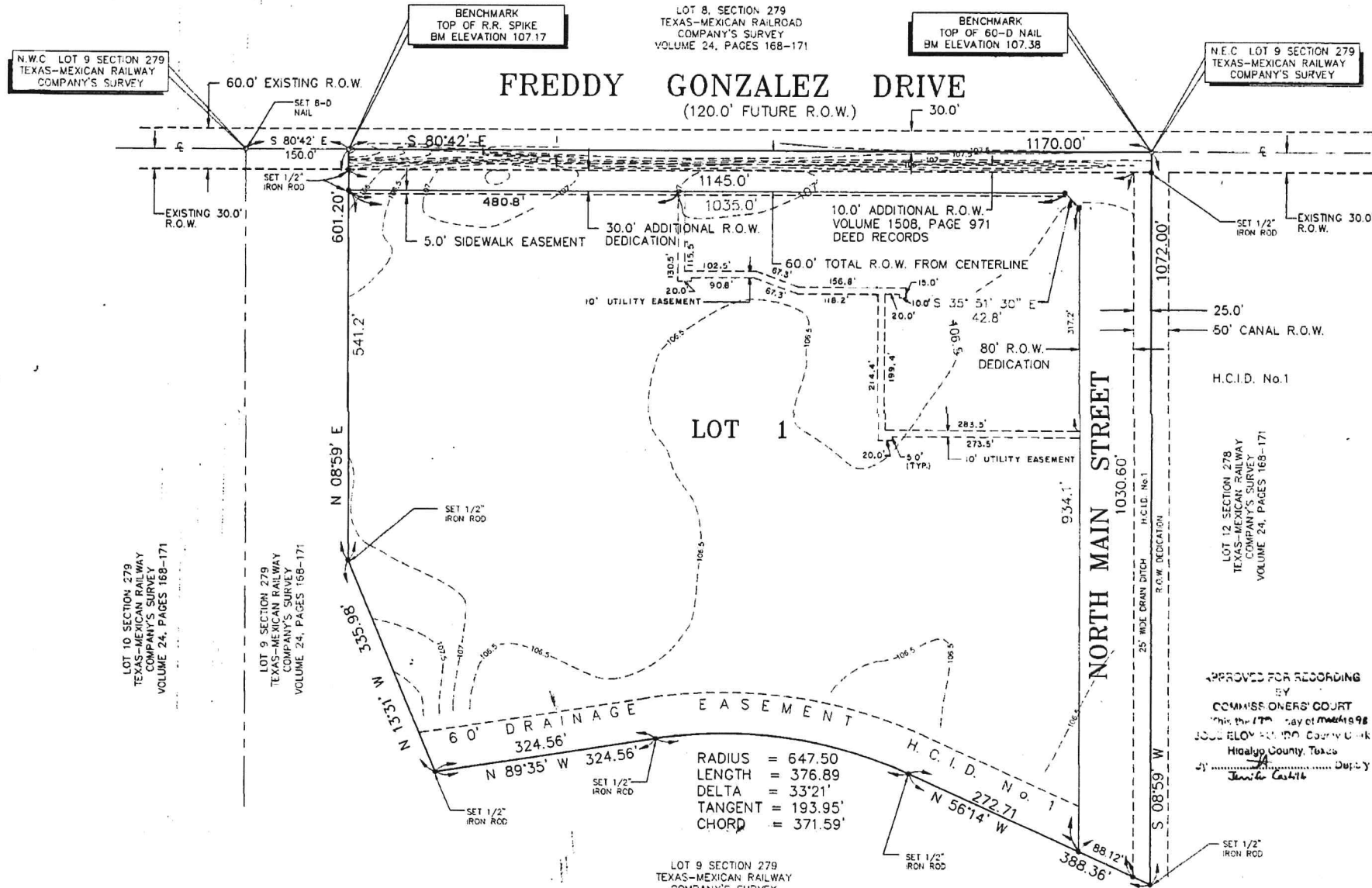
I, THE UNDERSIGNED, PABLO SOTO, JR., A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

PABLO SOTO, JR.
REGISTERED PROFESSIONAL LAND SURVEYOR
4541
2/4/97

DRAWN: D.C.				SOUTHWEST ELEMENTARY SCHOOL SUBDIVISION				J.E. SAENZ & ASSOCIATES, INC.			
DESIGN: R.B.				FOR EDINBURG C.I.S.D.				P.O. BOX 3293			
CHECKED: P.S.J.				EDINBURG, TEXAS				TEL. (210) 383-2984			
P.M.: J.E.S.								FAX (210) 383-8162			
SCALE: 1" = 100'											
DATE: 03/04/1998											

VOL 33PG62

PROJECT NO.
SUD95000



METES AND BOUNDS

BEING A 24.11 ACRE TRACT OF LAND OUT OF LOT 9, SECTION 279, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS, AS PER MAP RECORDED IN VOLUME 24, PAGES 168-171, DEED RECORDS OF HIDALGO COUNTY, TEXAS, SAID 24.11 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 60-D NAIL SET AT THE NORTHEAST CORNER OF LOT 9 FOR THE NORTHEAST CORNER OF THIS TRACT OF LAND;

THENCE SOUTH 08°59' WEST, WITH THE EAST LINE OF SAID LOT 9, AT 30.00 FEET PASS A HALF (1/2) INCH IRON ROD SET AT THE SOUTH R.O.W. OF FREDDY GONZALEZ DRIVE, AT 1072.00 FEET IN ALL TO A HALF (1/2) INCH IRON ROD SET FOR THE SOUTHEAST CORNER OF THIS TRACT OF LAND;

THENCE NORTH 56°14' WEST, 388.36 FEET TO A HALF (1/2) INCH IRON ROD SET FOR A POINT OF CURVATURE;

THENCE WITH A CURVE TO THE LEFT HAVING A RADIUS OF 647.50 FEET, A CENTRAL ANGLE OF 33°21', AN ARC DISTANCE OF 376.89 FEET TO A HALF (1/2) INCH IRON ROD SET FOR A POINT OF TANGENCY;

THENCE NORTH 89°35' WEST, 324.56 FEET TO A HALF (1/2) INCH IRON ROD SET FOR THE SOUTHWEST CORNER OF THIS TRACT OF LAND;

THENCE NORTH 13°31' WEST, 335.98 FEET TO A HALF (1/2) INCH IRON ROD SET FOR A CORNER OF THIS TRACT OF LAND;

THENCE NORTH 08°59' EAST, AT 571.20 FEET TO A HALF (1/2) INCH IRON ROD SET AT THE SOUTH R.O.W. OF SAID FREDDY GONZALEZ DRIVE, AT 601.20 FEET IN ALL TO A RAILROAD SPIKE FOUND ON THE NORTH LINE OF SAID LOT 9 FOR THE NORTHWEST CORNER OF THIS TRACT OF LAND;

THENCE SOUTH 80°42' EAST, WITH THE NORTH LINE OF SAID LOT 9, A DISTANCE OF 1170.00 FEET TO THE PLACE OF BEGINNING, CONTAINING 24.11 ACRES, MORE OR LESS.

STATE OF TEXAS
COUNTY OF HIDALGO

WE, EDINBURG CONSOLIDATED INDEPENDENT SCHOOL DISTRICT, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS SOUTHWEST ELEMENTARY SCHOOL SUBDIVISION, SUBDIVISION TO THE COUNTY OF HIDALGO, TEXAS AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED.

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOSE "ROSIE" LONGORIA, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE 4th DAY OF February 19 97

STATE OF TEXAS
COUNTY OF HIDALGO

NOTARY PUBLIC
COUNTY OF HIDALGO

LOCATION MAP

664030

Filed for Record in
Hidalgo County, Texas
By Jose Elia Pulido
County Clerk

As a
Map - Large

Document Number: 664030
Total Fees: \$1.00
Receipt Number: 140039
Bva Cruz By:

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN
CITY OF McALLEN
PLANNING AND ZONING COMMISSION

I, THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

ATTESTED BY:

Secretary
CITY OF McALLEN

Mayor
CITY OF McALLEN

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, ARTURO GARCIA, JR., A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

ARTURO GARCIA, JR.
REGISTERED PROFESSIONAL ENGINEER
69356

I, THE UNDERSIGNED, PABLO SOTO, JR., A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

PABLO SOTO, JR.
REGISTERED PROFESSIONAL LAND SURVEYOR
4541

- NOTES:**
- FLOOD ZONE DESIGNATION: ZONE "C" COMMUNITY-PANEL NO. 480334 0325 C MAP REVISED: NOVEMBER 16, 1982
 - MINIMUM FINISHED FLOOR ELEVATION 18-INCHES ABOVE G. OF ROAD.
 - MINIMUM BUILDING SETBACK LINES:
FREDDY GONZALEZ DRIVE 60.0' OR GREATER-APPROVED SITE PLAN
NORTH MAIN STREET 50.0' OR GREATER-APPROVED SITE PLAN
SIDE AS PER ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN OR EASEMENT
REAR AS PER ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN OR EASEMENT
 - A SIX (6) FOOT BUFFER IS REQUIRED BETWEEN COMMERCIAL AND RESIDENTIAL USES.
 - LOT OWNERS ARE SUBJECT TO PAYING THEIR PRO-RATA SHARE FOR REQUIRED FUTURE IMPROVEMENTS WHEN BY THE CITY OF McALLEN.
 - 4' SIDEWALK REQUIRED ON FREDDY GONZALEZ DRIVE AND NORTH MAIN STREET.
 - SUBJECT TO INTERLOCAL AGREEMENT BETWEEN CITY OF McALLEN AND EDINBURG CONSOLIDATED INDEPENDENT SCHOOL DISTRICT EXECUTED ON JULY 22, 1996 FOR NORTH MAIN STREET PAVING, CURB AND GUTTER, AND SIDEWALK AND FOR FREDDY GONZALEZ CURB AND GUTTER.
 - SITE PLAN MUST BE APPROVED BY PLANNING AND ZONING COMMISSION PRIOR TO ISSUANCE OF BUILDING PERMITS.
 - 80 FT. OF RIGHT-OF-WAY IS BEING DEDICATED BY THIS PLAT AS NOTED AND INDICATED ABOVE.

SOUTHWEST ELEMENTARY SCHOOL SUBDIVISION

A 24.11 ACRE TRACT OF LAND OUT OF LOT 9, SECTION 279, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS, AS PER MAP RECORDED IN VOLUME 24, PAGE 168, DEED RECORDS OF HIDALGO COUNTY, TEXAS.

10. DRAINAGE DETENTION OF 1.07 AC./FT. IS REQUIRED FOR THIS SUBDIVISION (46850 CU./FT. PER LOT).

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 DATED THIS 30th DAY OF February 1997.

ATTEST: *William G. Le* PRESIDENT
Mark Meyer SECRETARY

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON HCD #1 RIGHT-OF-WAY WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE HCD #1.

APPROVED FOR RECORDING
HIDALGO CO. PLANNING DEPT.
BY: *David Soren*
DATE: 3-17-98

APPROVED:
Jose Elia Pulido
Hidalgo County ROW DEPT.

APPROVED:
Jose Elia Pulido
Hidalgo County and HCD #1

Recorded in Volume 33 Page 62
of the map records of Hidalgo County, Texas
Heldren and Hunt, Inc.

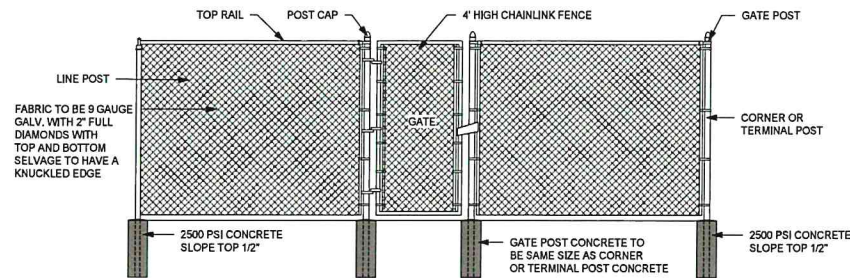
DRAWN:	D.C.
DESIGN:	R.B.
CHECKED:	P.S.J.
PM:	J.E.S.
SCALE:	1" = 100'
DATE:	03/04/1998

SOUTHWEST ELEMENTARY SCHOOL SUBDIVISION
FOR EDINBURG C.I.S.D.
EDINBURG, TEXAS

J.E. SAENZ & ASSOCIATES, INC.
P.O. BOX 3293
EDINBURG, TEXAS 78540
TEL. (210) 383-2984
FAX (210) 383-8162

PROJECT NO.
SUD95000

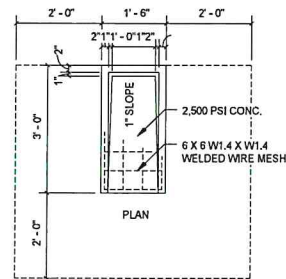
VOL. 33P662



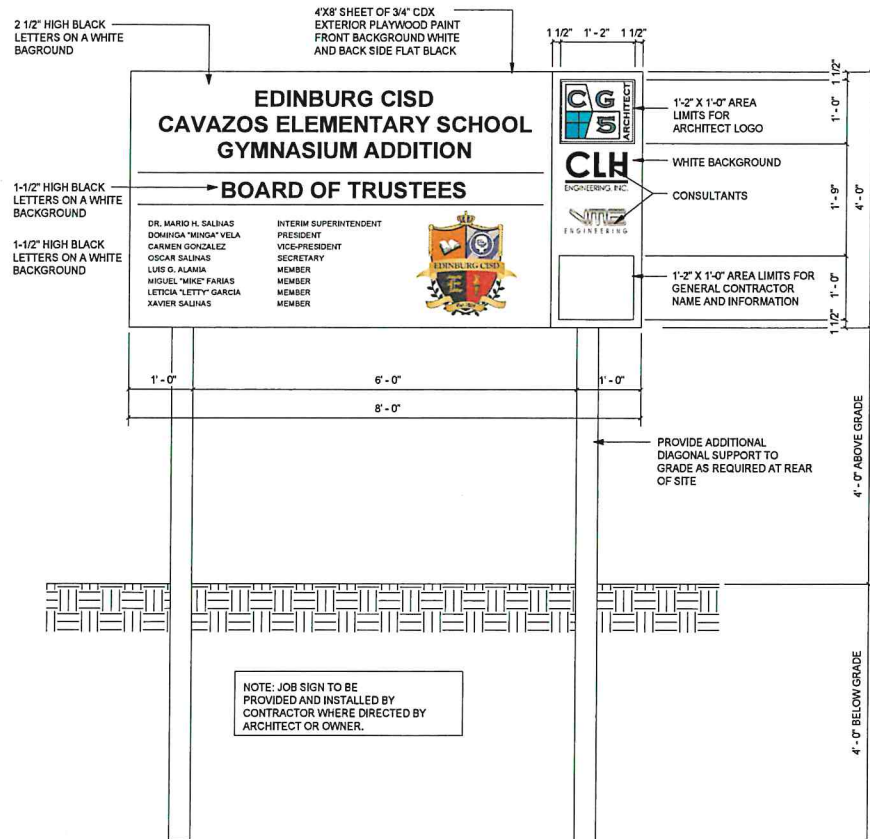
POST USE	FABRIC HT.	POST O.D.
TERMINAL OR CORNER	72" OR LESS	2.375"
TERMINAL OR CORNER	GATE 72" OR LESS WIDE	2.875"
	GATE 6 FT. TO 13 FT. WIDE	4.00"
	GATE 13 FT. TO 16 FT. WIDE	6.625"
	GATE OVER 16 FT. WIDE	8.625"
TOPE RAIL		1.66"
LINE POST	72" OR LESS	1.90"
LINE POST	MORE THAN 72"	2.375"

POST SCHEDULE: IF THE SPECS DIFFER FROM THIS SCHEDULE THE SPECS GOVERN

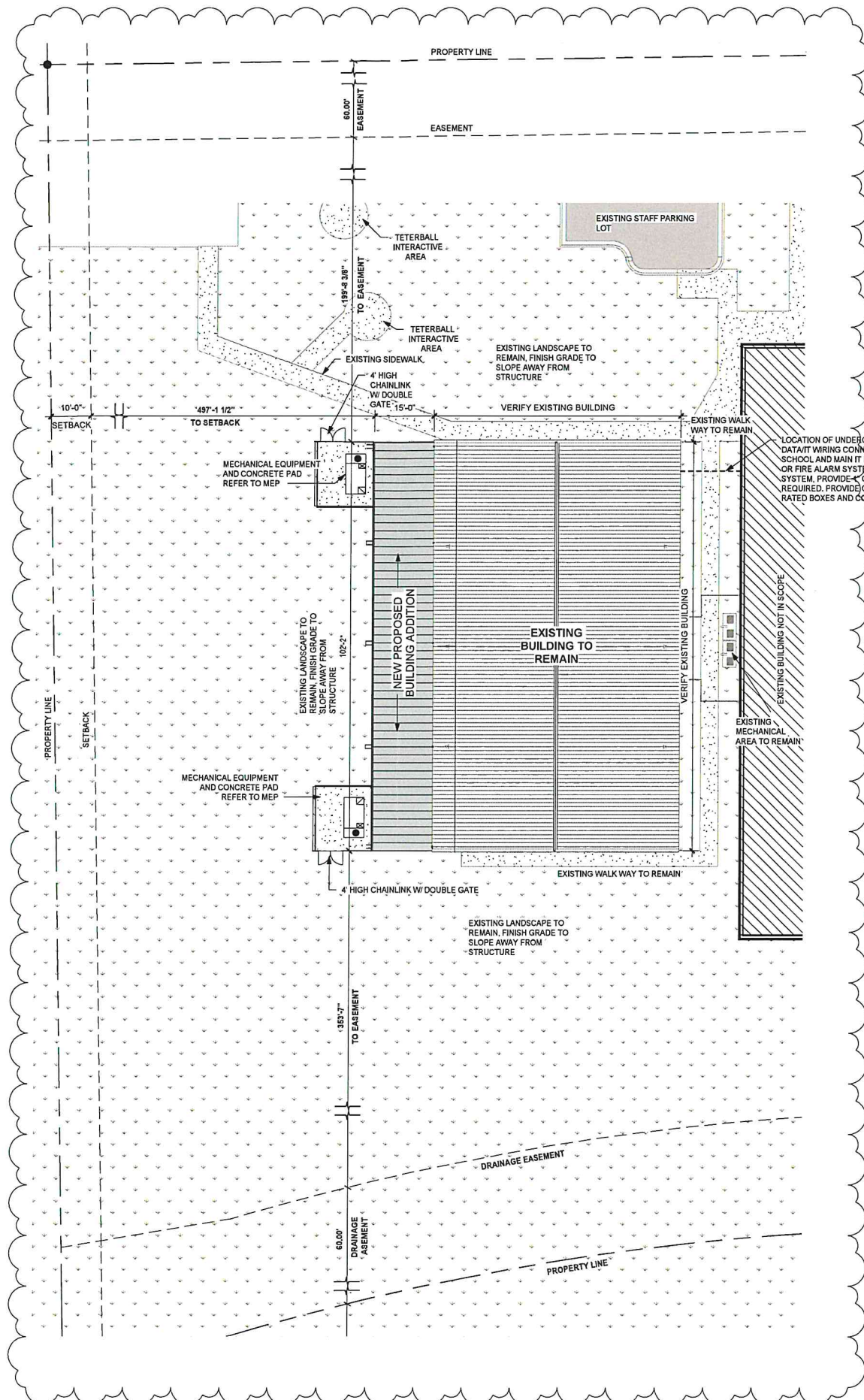
3 FENCE DETAIL
1/2" = 1'-0"



4 SPLASH BLOCK DETAIL
1/2" = 1'-0"



5 JOB SIGN DETAIL
3/4" = 1'-0"



1 PARTIAL ENLARGED SITE PLAN
1/16" = 1'-0"

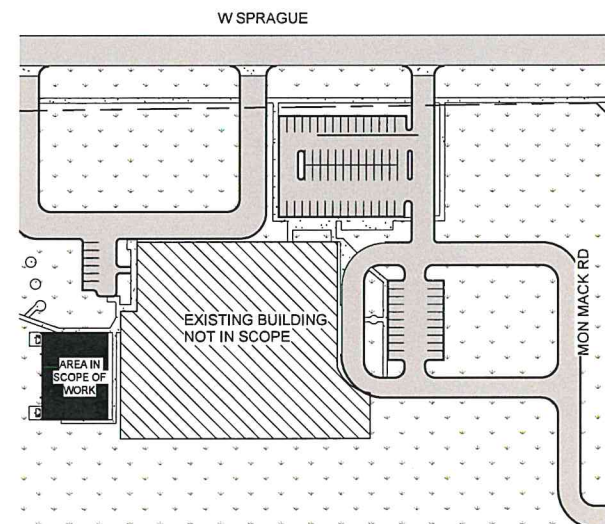
SITE GENERAL NOTES:

1. PROVIDE ALL SIDEWALKS FOR EGRESS AS PART OF BASE BID, (IF APPLICABLE)
2. CONTRACTOR TO CONTACT AND COORDINATE WITH ANY AND ALL LOCAL UTILITY PROVIDERS PROVIDING SERVICE TO THE BUILDING SITE AND ADJACENT PROPERTIES BEFORE CONSTRUCTION AND PRIOR TO INTERRUPTING SERVICE.
3. ALL CONSTRUCTION AND MATERIALS FOR DRAINAGE, GRADING AND PAVING TO BE IN ACCORDANCE WITH "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION".
4. CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL FOR CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR PAYING ANY FEES FOR PERMITS AS REQUIRED FOR CONSTRUCTION.
6. CONTRACTOR TO SET CONTROL GRADES AT 25' INTERVALS ALONG ALL PAVING FLOW LINES.
7. CONTRACTOR TO PROVIDE JOB SIGN WITH PROJECT TITLE, CITY LOGO, OWNER INFORMATION INCLUDING SUPERINTENDENT, AND SCHOOL BOARD MEMBERS, ALSO DESIGN TEAM INFORMATION AND CONTRACTOR INFORMATION.

TYPICAL ADA NOTES

1. ALL SIDEWALKS AND COVERED WALKWAYS SHALL HAVE 1:50 MAXIMUM CROSS SLOPE. SIDEWALKS OR COVERED WALKWAYS THAT MUST HAVE SLOPES GREATER THAN 1:20 SHALL HAVE HANDRAILS ON BOTH SIDES. HANDRAILS SHALL BE 34" TO TOP A.F.F. THERE SHALL BE NO ABRUPT CHANGE IN ELEVATION ALONG ACCESSIBLE ROUTES AT SIDEWALKS AND COVERED WALKWAYS.
2. CURB RAMP SLOPE SHALL BE 1:20 MAXIMUM WITH 1:10 FLARED SIDES AND SHALL BE TEXTURED, PAINT WITH A LIGHT REFLECTIVE PAINT. PARALLEL CURB RAMP SLOPE SHALL BE 1:12 MAXIMUM & TEXTURED, PAINT WITH A LIGHT REFLECTIVE PAINT. ALL CURB RAMP HAVE A LANDING AT TOP & BOTTOM. LANDINGS SHALL HAVE A 1:50 MAXIMUM SLOPE IN ANY DIRECTION.
3. STRIPED ACCESS AISLES AND ACCESSIBLE PARKING SHALL HAVE A MAXIMUM CROSS SLOPE IN ALL DIRECTIONS OF 1:50.
4. ALL GRADING SHALL BE DONE TO DRAIN WATER AWAY FROM BUILDINGS.
5. ALL EXTERIOR ALCOVES SHALL HAVE A 1:50 MAXIMUM SLOPE AND SHALL HAVE NO DROPS AT DOORS NOR AT CONNECTION SIDEWALKS.
6. REFER TO CIVIL DRAWINGS, IF APPLICABLE, CONTRACTOR IS RESPONSIBLE FOR CONTRACT ARCHITECT IN CASE OF DISCREPANCIES AND COORDINATING WITH CIVIL ENGINEER PRIOR TO PROCEEDING.
7. ALL EXTERIOR DOORS SHALL HAVE A LEVEL AREA IN FRONT OF THE DOOR WITH A 1:50 MAXIMUM SLOPE IN ALL DIRECTIONS. THE AREA SHALL BE A MINIMUM OF 5 FT. IN THE DIRECTIONS OF TRAVEL BY THE WIDTH OF THE SIDEWALK.

KEY PLAN



TEXAS ARCHITECT
FIRM No: BR4247
WWW.CG5ARCHITECT.COM

SEAL:



**EDINBURG CISD
CAVAZOS
ELEMENTARY
SCHOOL
GYMNASIUM
ADDITIONS/
IMPROVMENTS**

1501 FREDDY
GONZALEZ DR,
MCALLEN, TX
78504

CLIENT:
EDINBURG CISD

REVISION:
CITY COMMENTS 4-27-2023

PROJECT #: 22-030101
DRAWN BY: MG
CHECKED BY: CG III
DATE: OCTOBER 17, 2022

**ENLARGED
NEW SITE
PLAN**

A1.0

NOTICE
INSTITUTIONAL
USE
FOR
THIS PROPERTY
CUP2023-0060



Planning Department

Memo

TO: Planning and Zoning Commission

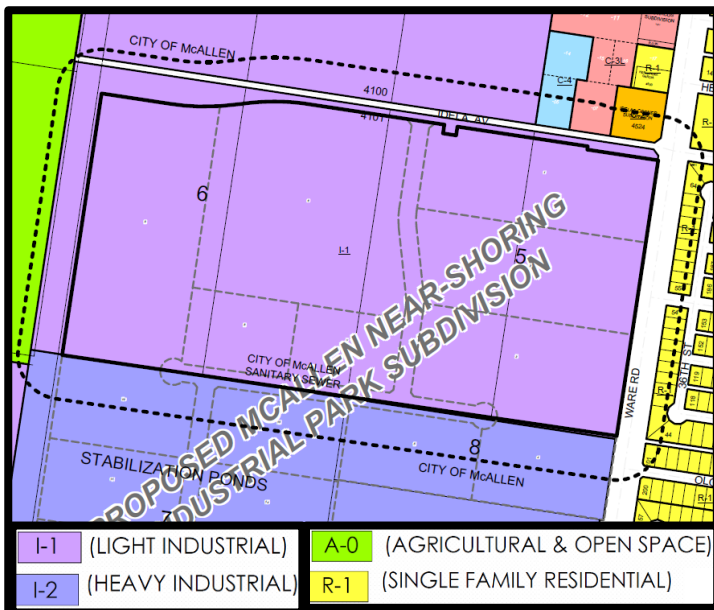
FROM: Planning Staff

DATE: May 9, 2023

SUBJECT: REZONE FROM I-1 (LIGHT INDUSTRIAL) DISTRICT TO I-2 (HEAVY INDUSTRIAL) DISTRICT: 73.58 ACRES OUT OF LOT 6 & LOT 5, BLOCK 3, RIO BRAVO PLANTATION COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS; 4101 IDELA AVENUE. (REZ2023-0022)

LOCATION: The subject property is located on the southwest corner of South Ware Road and Idela Avenue. The property is part of a larger tract of land, which also fronts the north side of Sarah Avenue. The property being rezoned has a depth of 2,535 feet at its highest point and 1,275 feet of width at its highest point for a total lot size of 73.58 acres.

PROPOSAL: The applicant is requesting to rezone the property to I-1 (light industrial) District, in order to develop the tract of land for an (I-2) industrial park. A feasibility plan has not been submitted.



ADJACENT ZONING: The subject property is part of a larger tract of land which is zoned both I-1 District and I-2 (heavy industrial) District to the south. The adjacent zoning is A-O (agricultural and open space) District to the west, I-1 District, C-4 (commercial industrial) District, C-3L (light commercial) District, and C-2 (neighborhood commercial) District to the north across Idela Avenue, R-1 (single-family residential) District to the east across South Ware Road, and I-2 District to the south.

LAND USE: The subject property is currently vacant. Surrounding land uses include an Idea Public School, City of McAllen's South Wastewater Treatment Plant, industrial, commercial, and single family residential uses.

COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as industrial, which is comparable to the C-4, I-1, and I-2 Districts.

DEVELOPMENT TRENDS: The development trend for this area along South Ware Road is a mix of industrial, commercial, and residential uses.

HISTORY: The property was initially zoned I-1 (light industrial) District at the City Commission meeting of March 23, 1992, and has remained I-1 District ever since. An application for a proposed subdivision under the name "McAllen Near-Shoring Industrial Park" was submitted in April 17, 2023 and is underway.

ANALYSIS: The requested zoning conforms to the Industrial land use designation as indicated on the Foresight McAllen Comprehensive Plan. The rezoning trend along South Ware Road also includes industrial districts and uses.

A recorded subdivision plat and approved site plan are required prior to building permit issuance. Compliance with off-street parking, landscaping, and various building and fire codes are required as part of the building permitting process.

Staff did not receive any phone calls, letters, or emails in opposition to this request.

RECOMMENDATION: Staff recommends approval of the rezoning request to I-2 (heavy industrial) District since it conforms to the Industrial land use designation as indicated on the Foresight McAllen Comprehensive Plan.

R.O.W. Surveying Services, L.L.C.

900 South Stewart Rd., Suite 13
Mission, Texas 78572

Metes and Bounds Description

For a 76.82 Acre Tract of Land

Being a 73.58 acre tract of land out Lot 6 & Lot 5, Block 3, Rio Bravo Plantation Company's Subdivision, as recorded in Volume "W", Page 197, of the Deed Records, Hidalgo County, Texas, out of a 117.72 acre tract of conveyed to 140 WARE ROAD, LLC by a "Special Warranty Deed with Vendor's Lien" dated March 1, 2023, recorded on April 03, 2023, as shown in; said 73.58 acre tract of land being more particularly described by metes and bounds as follows:

Beginning at point on the West line of a called 6.401 acre tract of land, conveyed to the State of Texas, dated October 8, 1998, as described in Document No. 716837, of the Official Records, Hidalgo County, Texas, also being in the common line of said Lot 5 & Lot 8, and being the **Point of Beginning** of this herein described 73.58-acre tract of land;

Thence, North $81^{\circ}25'32''$ West, a distance of 2,535.00 feet to a point for 1/2-inch iron rod found for the common corner of said Lot 6 & Lot 7, and also being the southwest corner of this herein described tract of land;

Thence, North $08^{\circ}34'28''$ East, a distance of 1,198.00 feet, with the west line of said Lot 6, to a 5/8-inch iron rod with a yellow plastic cap stamped 'ROWSS PROP COR' found for the Northwest corner of this herein described tract of land;

Thence, South $81^{\circ}25'32''$ East, a distance of 315.01 feet into said Lot 6 to a 5/8-inch iron rod with a yellow plastic cap stamped 'ROWSS PROP COR' found for a point of curvature for a curve to the left;

Thence, along a curve to the left, with a central angle of $17^{\circ}01'21''$, a radius of 1080.04 feet, an arc length of 320.88 feet, and a chord that bears South $89^{\circ}56'13''$ East a distance of 319.70 feet to a 5/8-inch iron rod with a yellow plastic cap stamped 'ROWSS PROP COR' found for a point reverse curvature;

Thence, along a curve to the Right, with a central angle of $17^{\circ}01'21''$, a radius of 1020.04 feet, an arc length of 303.05 feet, and a chord that bears South $89^{\circ}56'13''$ East a distance of 301.94 feet to a 5/8-inch iron rod with a yellow plastic cap stamped 'ROWSS PROP COR' found for a point of tangency;

Thence, South $81^{\circ}25'32''$ East, a distance of 624.38 feet, to a 5/8-inch iron rod with a yellow plastic cap stamped 'ROWSS PROP COR' found for an exterior corner of this herein described tract of land;

Thence, South $08^{\circ}34'28''$ West, a distance of 40.00 feet to a 5/8-inch iron rod with a yellow plastic cap stamped 'ROWSS PROP COR' found for an interior corner of this herein described tract of land;

Thence, South 81° 25' 32" East, a distance of 60.00 feet to a 5/8-inch iron rod with a yellow plastic cap stamped 'ROWSS PROP COR' found for an interior corner of this herein described tract of land;

Thence, North 08° 34' 28" East, a distance of 40.00 feet to a 5/8-inch iron rod with a yellow plastic cap stamped 'ROWSS PROP COR' found for an exterior corner of this herein described tract of land;

Thence, South 81° 25' 32" East, a distance of 595.80 feet to a 5/8-inch iron rod with a yellow plastic cap stamped 'ROWSS PROP COR' found for an exterior corner of this herein described tract of land;

Thence, South 08° 34' 28" West, a distance of 15.00 feet to a 5/8-inch iron rod with a yellow plastic cap stamped 'ROWSS PROP COR' found for an interior corner of this herein described tract of land;

Thence, South 81° 25' 32" East, a distance of 325.02 feet to a 1/2-inch iron rod found for the interior corner of said 6.401 acre tract of land, for the Northeast corner of this herein described tract of land;

Thence, South 08° 34' 28" West, a distance of 1,275.00 feet along west line of said 6.401-acre tract of land to the **Point of Beginning**, containing a computed area of 73.58 acres of land.

Bearings and Distances referenced to the Texas Coordinate System, South Zone, North American Datum of 1983 (4205).

A survey plat accompanies this herein metes and bounds description.

Surveyed on the ground November 11, 2022.



Victor H. Trevino

Registered Professional Land Surveyor No. 6968

5/2/23

Date



This document was prepared under 22 TAC §663.21, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared

NOTICE
REZONING
FOR
THIS PROPERTY
REZ2023-0022

/// CITY OF MCALLEN PLANNING DEPT.
800-541-1234
WWW.MCALLEN.NET



Planning Department

Memo

TO: Planning and Zoning Commission

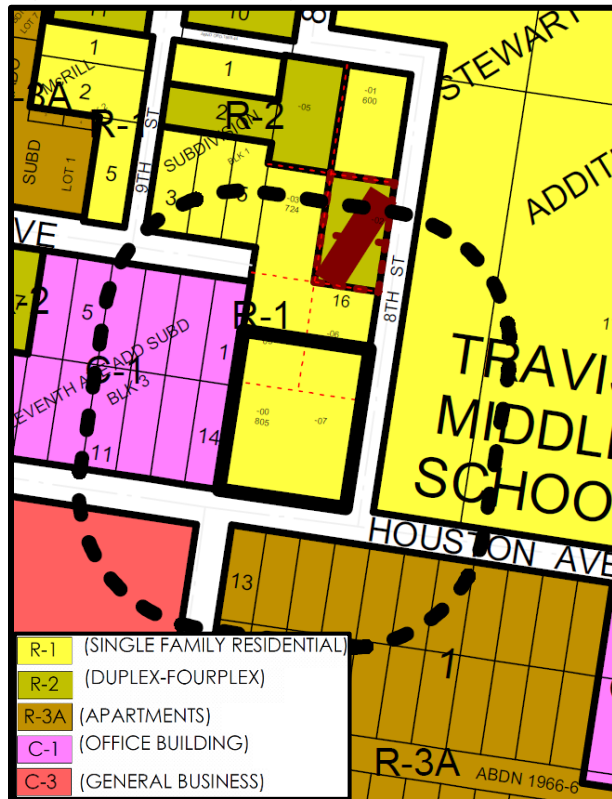
FROM: Planning Staff

DATE: May 24, 2023

SUBJECT: REZONE FROM R-1 (SINGLE-FAMILY RESIDENTIAL) DISTRICT TO R-3A (MULTI-FAMILY APARTMENT RESIDENTIAL) DISTRICT: THE NORTH 74.00 FEET OF THE SOUTH 230.75 FEET OF THE WEST 184.10 FEET OF LOT 16, AND THE SOUTH 156.75 OF THE WEST 184.10 FEET OF LOT 16, STEWART'S ADDITION, HIDALGO COUNTY, TEXAS; 808 HOUSTON AVENUE. (REZ2023-0023)

LOCATION: The subject properties are located on the northwest corner of Houston Avenue and South 8th Street. The tracts being rezoned have a total depth (from Houston Avenue) of 230.75 feet and 184.10 feet of width for a total lot size of 42,481.07 square feet.

PROPOSAL: The applicant is requesting to rezone the property to R-3A (multi-family apartment residential) District in order to develop the tract of land for a mixed multi-family development that would include duplexes through fourplexes. A single-family residence is also proposed to the north of the subject properties. A site plan for the proposed development was submitted along with this rezoning request.



ADJACENT ZONING: The adjacent zoning is C-1 (office building) District to the west, R-1 (single-family residential) and R-2 (duplex-fourplex residential) District to the north, R-1 District to the east across South 8th Street, and R-3A (multi-family apartment residential) District to the south across Houston Avenue.

LAND USE: The subject property is currently vacant. Surrounding land uses include Grand Terrace Rehabilitation and Healthcare, Travis Middle School, Jackson Square Apartments, single-family residential uses, and vacant land.

COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as auto urban single family, which is comparable to R-1 (single-family residential) District.

DEVELOPMENT TRENDS: The development trend for this area along Houston Avenue is commercial with a mix of single and multi-family residential uses.

HISTORY: The property was zoned R-1 (single-family residential) District during McAllen's Comprehensive Zoning of 1979. A rezoning request to C-3 (general business) District was submitted on February 23, 2011 and was disapproved by City Commission on April 11, 2011 due to concerns over traffic and surrounding residential uses. This rezoning request was submitted on May 3, 2023.

ANALYSIS: The requested zoning does not conform to the auto urban single-family land use designation as indicated on the Foresight McAllen Comprehensive Plan. However, the rezoning and development trends along South 8th Street and Houston Avenue include multi-family zones and uses.

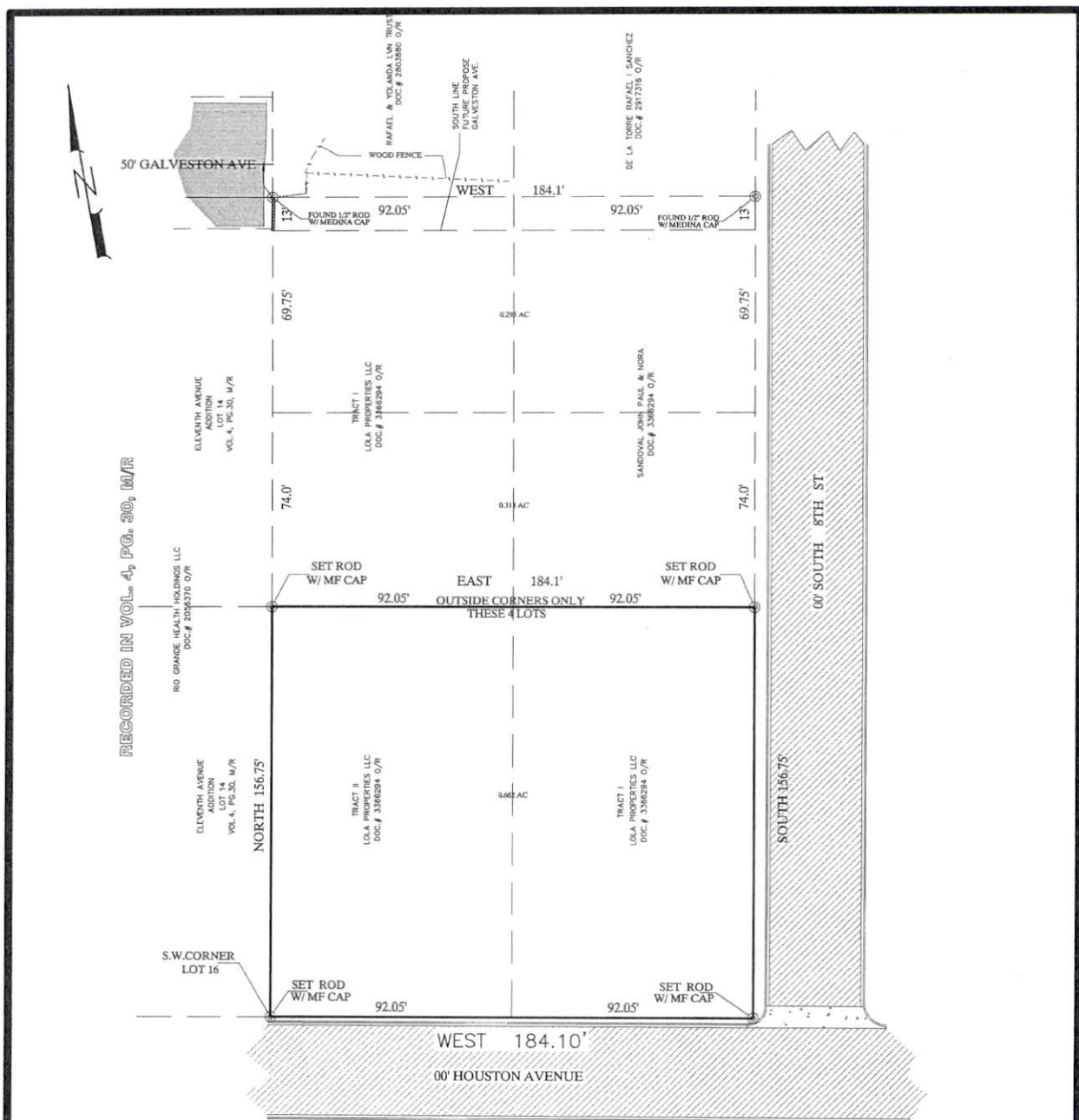
The proposed apartment development would have access through South 8th Street. According to the Traffic Department, any proposed access through Houston Avenue will require a variance approval from the Traffic Commission Board. Access through South 8th Street may cause traffic congestion due to the existing width of the main road.

The proposed lot will have approximately 0.975 acres (42,471 square feet). Based on the maximum density per gross acres in the R-3A District: 42-one bedroom units, 34-two bedroom units, and 28-three bedroom units will be allowed. Seven thousand square feet represents the minimum lot area for any R-3 multifamily residential district use, exclusive of townhouse. Max allowable density per acre will be defined on site plan approval, once a final subdivision plat is recorded.

A recorded subdivision plat and approved site plan are required prior to building permit issuance. Compliance with off-street parking, landscaping, and various building and fire codes are required as part of the building permit process.

Staff did not receive any phone calls, letters, or emails in opposition to this request.

RECOMMENDATION: Staff recommends disapproval of the rezoning request to R-3A (multi-family apartment residential) District since it does not conform to the land use designation under the Foresight McAllen Comprehensive Plan, and the proposal may create traffic issues along South 8th Street.



MAP
OF
A 0.662 ACRE OF LAND
BEING THE SOUTH 156.75' FT OF
WEST 184.1 FEET OF LOT 16
STEWARTS ADDITION
TO THE CITY OF MCALLEN
HIDALGO COUNTY, TEXAS
RECORDED IN VOL. 4, PG. 642, D/R

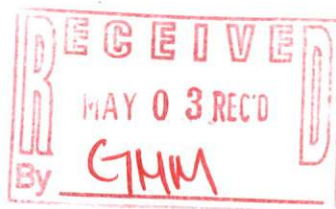
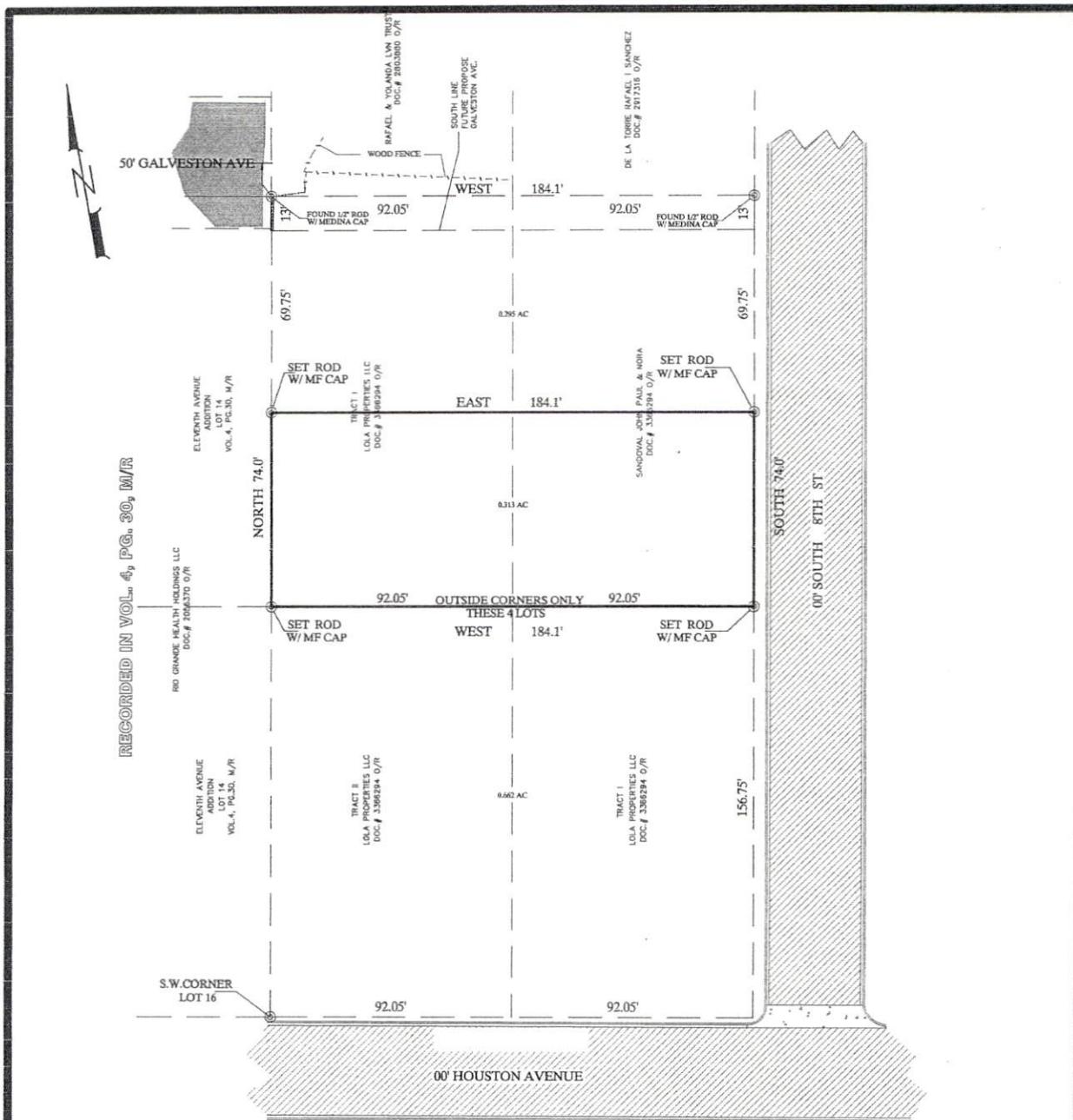
I, MICHAEL FABIAN, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE FOREGOING MAP IS A REPRESENTATION OF SURVEY MADE ON THE GROUND UNDER MY SUPERVISION AND THAT THERE ARE NO VISIBLE AND APPARENT EASEMENTS, DISCREPANCIES, CONFLICTS, OR SHORTAGES IN AREA OR BOUNDARY LINES, OR ANY ENCROACHMENTS OR OVERLAPPING OF IMPROVEMENTS EXCEPT AS SHOWN ON THIS PLAT. THIS PROPERTY FALLS IN ZONE "B" OF THE FLOOD INSURANCE RATE MAPS.

Michael Fabian
MICHAEL FABIAN
REGISTERED PROFESSIONAL LAND SURVEYOR
MCALLEN, TEXAS
4893



PREPARED BY MICHAEL FABIAN SURVEYING, INC. 1203 E. HACKBERRY AVE. MCALLEN, TEXAS 78501		
TEL (956) 830-1432	FAX (956) 887-4860	
MICHAEL FABIAN REGISTERED PROFESSIONAL LAND SURVEYOR		
W.O.# 03980A	CRD : SM	PRINT SIZE: LEDGER
SCALE: 1"= 40'	DATE: 10/15/2021	
EMAIL ADDRESS: SURVEY @ MFABIANSURVEYING.COM FIRM # 10193965		

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I, MICHAEL FABIAN, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE FOREGOING MAP IS A REPRESENTATION OF SURVEY MADE ON THE GROUND UNDER MY SUPERVISION AND THAT THERE ARE NO VISIBLE AND APPARENT EASEMENTS, DISCREPANCIES, CONFLICTS, OR SHORTAGES IN AREA OR BOUNDARY LINES, OR ANY ENCROACHMENTS OR OVERLAPPING OF IMPROVEMENTS EXCEPT AS SHOWN ON THIS PLAT. THIS PROPERTY FALLS IN ZONE "B" OF THE FLOOD INSURANCE RATE MAPS.

Michael Fabian
MICHAEL FABIAN
REGISTERED PROFESSIONAL LAND SURVEYOR
MCALLEN, TEXAS
4893



MAP
OF
A 0.313 ACRE OF LAND
BEING THE NORTH 74.0 LOT OF
THE SOUTH 230.75 FT OF THE
WEST 184.1 FEET OF LOT 16,
STEWARTS ADDITION
TO THE CITY OF MCALLEN
HIDALGO COUNTY, TEXAS
RECORDED IN VOL. 4, PG. 642, D/R

PREPARED BY
MICHAEL FABIAN SURVEYING, INC.
1203 E. HACKBERRY AVE.
MCALLEN, TEXAS 78501
TEL (956) 630-1432 FAX (956) 687-4660

MICHAEL FABIAN
REGISTERED PROFESSIONAL
LAND SURVEYOR

W.O.# 03980A CRD : SM PRINT SIZE: LEDGER
SCALE: 1" = 40' DATE: 10/15/2021

EMAIL ADDRESS: SURVEY @ MFABIANSURVEYING.COM
FIRM # 10193965

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AND PARTS OF THE PROFESSIONAL LAND SURVEYING PRACTICES ACT ENACTED UNDER
ARTICLE 2022 C, CHAPTER 202, TEXAS STATUTES.

March 14, 2023

DESCRIPTION OF THE SOUTH 156.75 FEET OF THE WEST 184.1 FEET, OF LOT 16, STEWART'S ADDITION TO THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, RECORDED IN VOLUME 4, PAGE 642, DEED RECORDS.

BEGINNING at an iron rod found at the Southwest corner of Lot 16, for the Southwest corner of the following described tract of land, said point located on the North line of Houston Avenue, said point also being on the East line of Lot 15;

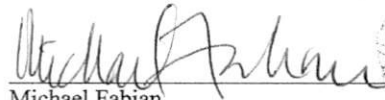
THENCE, with the West line of Lot 16 and East line of Lot 15, NORTH, 156.75 feet to a point, for the Northwest corner hereof;

THENCE, parallel to the South line of Lot 16, EAST, 184.10 feet to a point on the West line of South 8th Street, for the Northeast corner hereof;

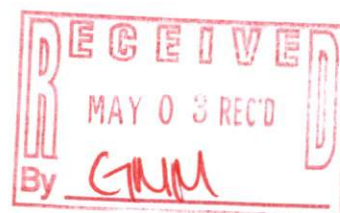
THENCE, with the East line of the West 184.10 feet of Lot 16 and the West line of South 8th Street, SOUTH, 156.75 feet to a point at the intersection, with the South line of Lot 16, for the Southeast corner hereof, said point located on the North line of Houston Avenue;

THENCE, with the South line of Lot 16 and North line of Houston Avenue, West, 184.10 feet the POINT OF BEGINNING. Containing 0.662 acres of land more or less.

MICHEAL FABIAN SURVEYING, INC.



Michael Fabian
Registered Professional Land Surveyor
No. 4893
Firm # 10193965



March 14, 2023

DESCRIPTION OF THE NORTH 74.0 FEET OF THE SOUTH 230.75 FEET OF THE
WEST 184.1 FEET OF LOT 16, STEWART'S ADDITION TO THE CITY OF
MCALLEN, HIDALGO COUNTY, TEXAS, RECORDED IN VOLUME 4, PAGE 642,
DEED RECORDS.

BEGINNING at an iron w/MF cap set on the West line of Lot 16, NORTH,
156.75, from the Southwest corner of Lot 16, for the Southwest corner of the following
described tract of land, said point also being the East line of Lot 15;

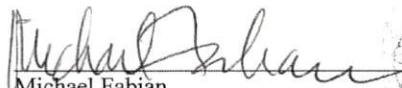
THENCE, with the West line of Lot 16 and East line of Lot 15, NORTH, 74.0
feet to an iron rod w/MF cap set, for the Northwest corner hereof;

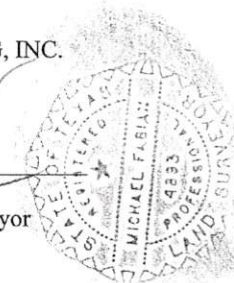
THENCE, parallel to the South line of Lot 16, EAST, 184.10 feet to an iron rod
w/MF cap set on the West line of South 8th Street, for the Northeast corner hereof;

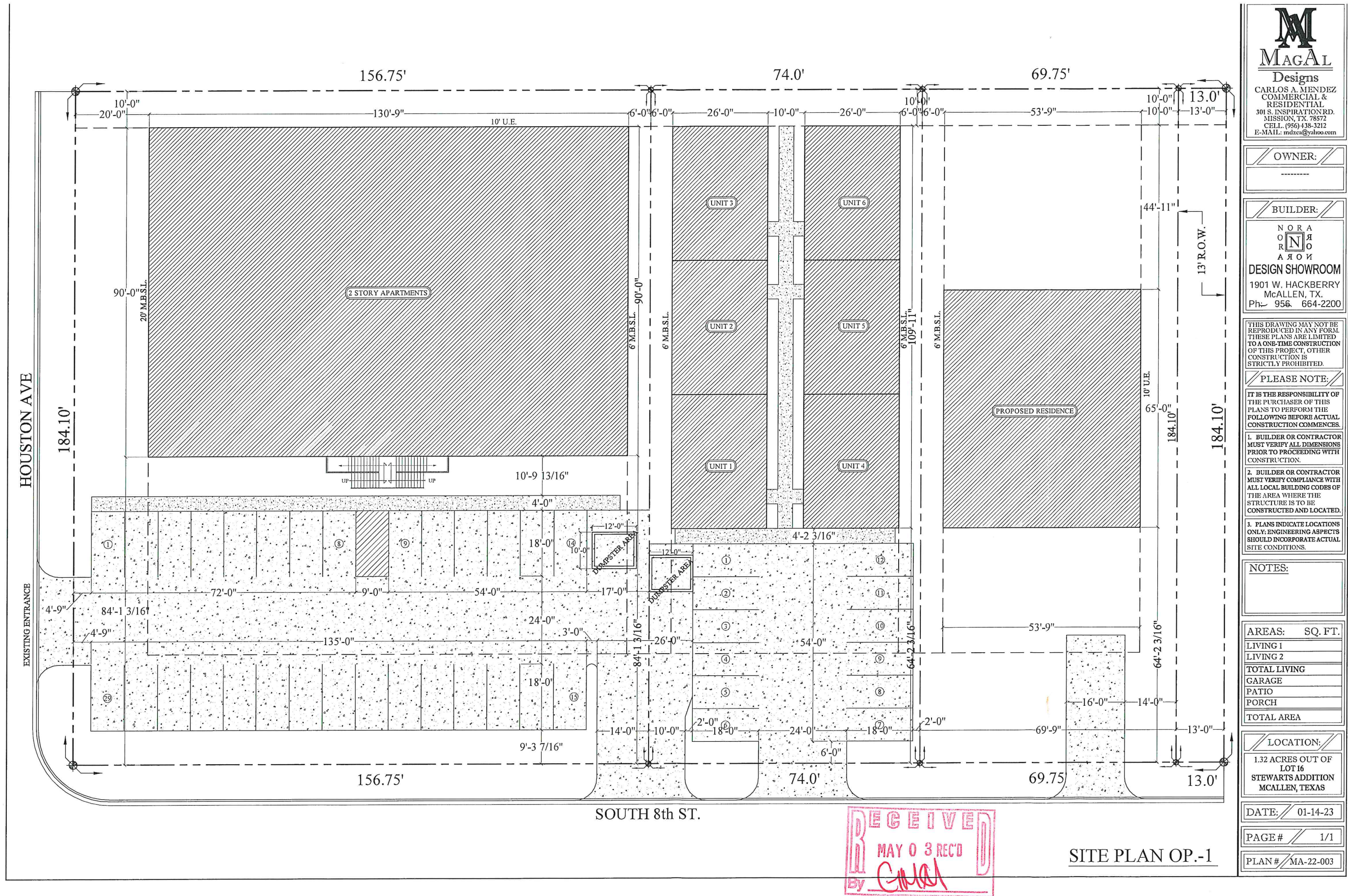
THENCE, with the East line of the West 184.10 feet of Lot 16 and the West line
of South 8th Street, SOUTH, 74.0 feet to an iron rod w/MF cap set, for the Southeast
corner hereof;

THENCE, with the North line of the South 156.75 feet of Lot 16, WEST 184.10
feet the POINT OF BEGINNING. Containing 0.313 acres of land more or less.

MICHEAL FABIAN SURVEYING, INC.


Michael Fabian
Registered Professional Land Surveyor
No. 4893
Firm # 10193965





MAGAL
Designs
CARLOS A. MENDEZ
COMMERCIAL &
RESIDENTIAL
301 S. INSPIRATION RD.
MISSION, TX. 78572
CELL. (956) 438-3212
E-MAIL: mdzca@yahoo.com

OWNER:

BUILDER:

NORA
DESIGN SHOWROOM
1901 W. HACKBERRY
MCALLEN, TX.
Ph: 956. 664-2200

THIS DRAWING MAY NOT BE
REPRODUCED IN ANY FORM.
THESE PLANS ARE LIMITED
TO A ONE-TIME CONSTRUCTION
OF THIS PROJECT. OTHER
CONSTRUCTION IS
STRICTLY PROHIBITED.

PLEASE NOTE:

IT IS THE RESPONSIBILITY OF
THE PURCHASER OF THIS
PLANS TO PERFORM THE
FOLLOWING BEFORE ACTUAL
CONSTRUCTION COMMENCES.

1. BUILDER OR CONTRACTOR
MUST VERIFY ALL DIMENSIONS
PRIOR TO PROCEEDING WITH
CONSTRUCTION.

2. BUILDER OR CONTRACTOR
MUST VERIFY COMPLIANCE WITH
ALL LOCAL BUILDING CODES OF
THE AREA WHERE THE
STRUCTURE IS TO BE
CONSTRUCTED AND LOCATED.

3. PLANS INDICATE LOCATIONS
ONLY. ENGINEERING ASPECTS
SHOULD INCORPORATE ACTUAL
SITE CONDITIONS.

NOTES:



PRIVATE
PROPERTY

NOTICE
REZONING
FOR
THIS PROPERTY
REZ2023-0023
CITY OF MALLARD PLANNING DEPT.
MALLARD, IOWA
WWW.MALLARD.IOWA

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

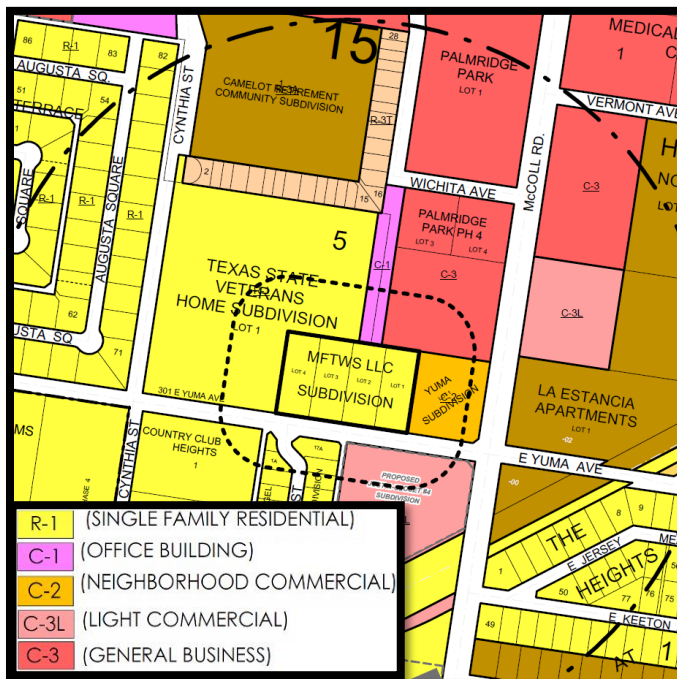
DATE: May 18, 2023

SUBJECT: Rezone from R-1 (single-family residential) District to R-3T (multi-family townhouse residential) District: Lots 1, 2, 3, and 4, MFTWS LLC Subdivision, Hidalgo County, Texas; 501 East Yuma Avenue, 417 East Yuma Avenue, 409 East Yuma Avenue, 401 East Yuma Avenue. (REZ2023-0020)

LOCATION: The properties (lots 1, 2, 3, and 4) are located along the north side of East Yuma Avenue, west of McColl Road. The lots have 120.50 feet of frontage and 300 feet of depth as per the subdivision plat.

PROPOSAL: The applicant is requesting to rezone the properties from R-1 (single-family residential) District to R-3T (multi-family townhouse residential) District. The applicant is proposing to construct townhomes.

ADJACENT ZONING: The subject property is zoned R-1 District, and is zoned R-1 to the north and south. Properties to the north are zoned C-1 (office building) District and C-3 (general business) District. There is C-2 (neighborhood commercial) District to the east, and C-3L (light commercial) District to the south.



LAND USE: The properties are currently vacant. Surrounding land uses include single-family residences, Alfredo Gonzalez Texas State Veterans Home, and Just-A-Closet Self Storage.

COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for these properties as Suburban Commercial, which is comparable to the C-1 District, C-2 District, and C-3L District. The proposed rezoning of the property does not follow the Foresight McAllen Comprehensive Plan.

DEVELOPMENT TRENDS: The development trend for this block are mixed light commercial use and single-family residences.

HISTORY: The properties were zoned R-1 District upon annexation into the city on November 1995. On June 11, 2001, City Commission approved a rezoning request to C-1 District for lot 1 and lot 2; however, the lots were never developed for commercial use. On January 11, 2021, City Commission approved a rezoning request to R-1 District for lot 1 and lot 2; however, the lots remained vacant.

ANALYSIS: The requested zoning does not conform to the Suburban Commercial land use designation as indicated on the Foresight McAllen Comprehensive Plan; however, the request constitutes a downzoning that is similar with the surrounding residential land use to the south.

The permitted uses within the proposed zoning district are all uses listed as permitted uses in the R-2 duplex-fourplex residential district, townhouse buildings with five or more attached townhouses, and storage buildings not used for living quarters and accessory to the residential use.

To the east of South McColl Road, a proposed "Garden Rose Subdivision" is currently zoned as R-3T District. The surrounding properties to the east of South McColl Road are zoned for multi-family residential such as R-3C (condominium residential) District and R-3A (apartment residential) District.

Staff has not received any phone calls nor emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request since based on the future land use designation; the rezoning request constitutes a downzoning that is similar with the surrounding residential land use to the south.

SHEET NO.

01-01

FLOOR PLAN

SCALE TO FIT

DATE: 04/14/2023

TOWN HOMES YUMA

TOTAL TOWN HOMES: 28
PARKING PER TOWN HOME: 1
VISITOR PARKING SPACES: 61

THIS DRAWING IS THE PROPERTY OF LRS. IT IS UNLAWFUL TO REUSE THIS DRAWING ON ANY OTHER PROJECT OR IN ANY OTHER WAY. REPRODUCE ANY OR ALL PARTS OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF LRS.

COMPLETION DRAWING

DRAWN BY:

CHECKED BY:

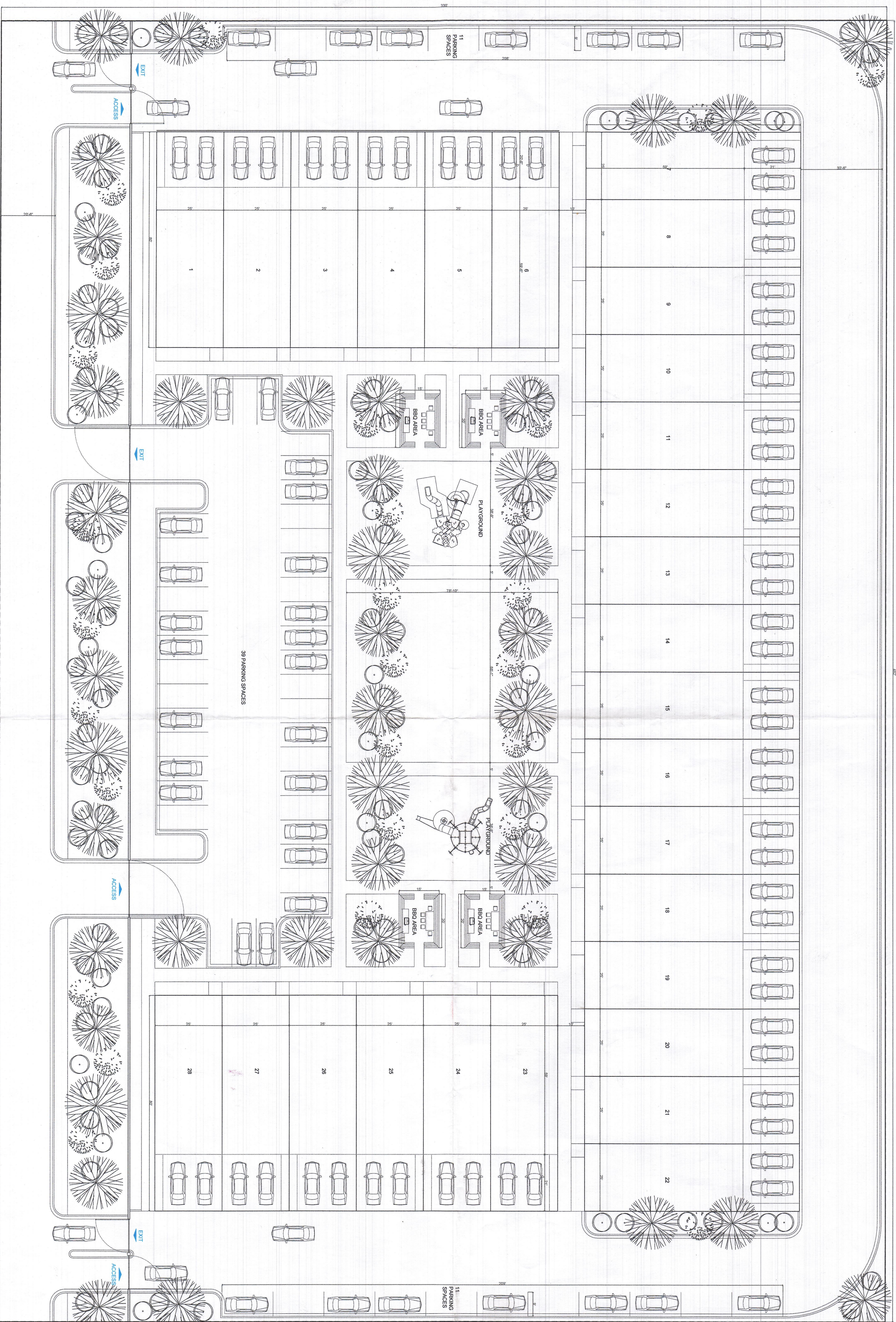
APPROVED BY:

REVISIONS:

LOPEZ RESENDEZ STUDIO

609 PECAN BLVD. McALLEN TX. 78501
PHONE: (956) 683 0649
luisi@lopezresendez.com / luis@casalabdesign.com
www.lopezresendez.com / www.casalabdesign.com

LRS





Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: May 25, 2023

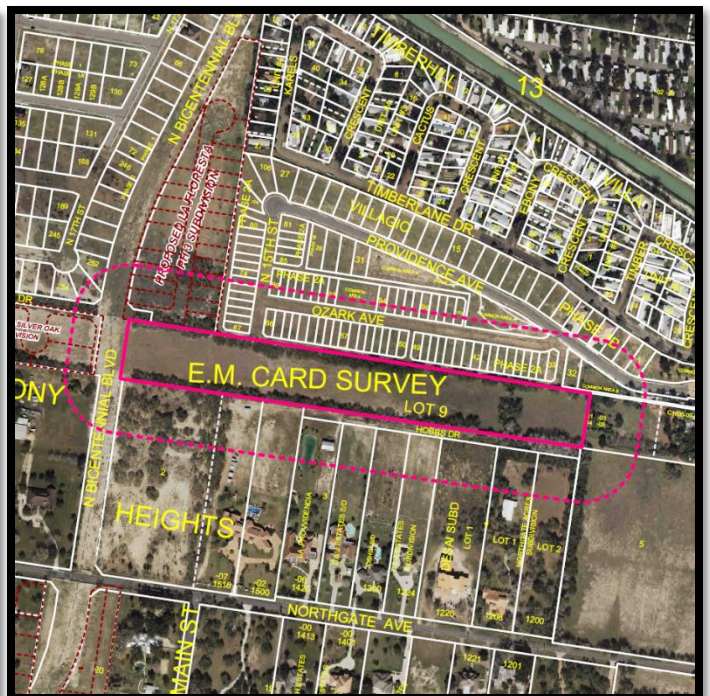
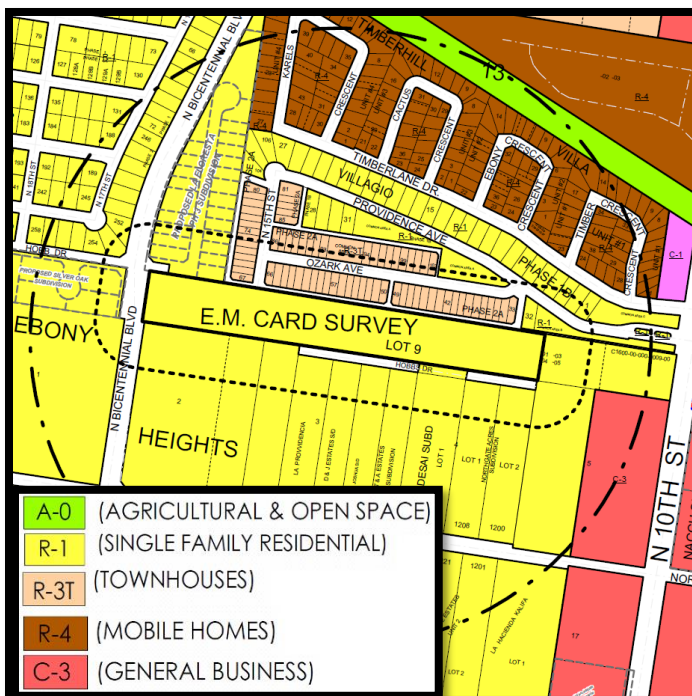
SUBJECT: Rezone from R-1 (single-family residential) District to R-3A (multi-family apartment residential) District: An 8.11 acre tract out of Lot 9, E.M. Card Survey No.1, Hidalgo County, Texas; 9228 North Bicentennial Boulevard. (REZ2023-0021)

APPLICANT HAS REQUESTED ITEM TO BE TABLED.

LOCATION: The subject property is located east of North Bicentennial Boulevard, approximately 740 feet north of Northgate Avenue. The lot has 215.70 feet of frontage and 1,382.05 feet of depth as per the submitted survey.

PROPOSAL: The applicant is requesting to rezone the property from R-1 (single-family residential) District to R-3A (multi-family apartment residential) District. A feasibility plan has been submitted to the Planning Department, the applicant is proposing to construct multifamily residences in a proposed 20-lot subdivision.

ADJACENT ZONING: The subject property is zoned R-1 District, and is zoned R-1 in all directions. There is R-3T (townhouse residential) District to the north.



LAND USE: The property is currently vacant. Surrounding land uses include townhomes and

single-family residences.

COMPREHENSIVE PLAN: The Foresight McAllen Comprehensive Plan designates the future land use for this property as Suburban Residential, which is comparable to R-1 District. The proposed rezoning of the property does not follow the Foresight McAllen Comprehensive Plan.

DEVELOPMENT TRENDS: The development trend for this section along North Bicentennial Road is primarily single-family residential use. Directly to the south of the subject property, there are single-family residences. There are townhomes to the north of the subject property.

HISTORY: The property was initially zoned R-1 District upon annexation on August 05, 1985. There have been no rezoning requests since then.

The adjacent property to the east was zoned from A-O (agricultural-open space) District to R-1 District in 2015 during the City initiated rezoning project in 2015.

ANALYSIS: The requested zoning does not conform to the Suburban Residential land use designation as indicated on the Foresight McAllen Comprehensive Plan. The development trend for this section along North Bicentennial Road is primarily single-family land use. The proposed rezoning request is not compatible with the surrounding zoning and development trend in this area. To the north and west of the subject property, there are upcoming single-family residential developments that are currently undergoing subdivision process.

Bicentennial Boulevard is designated as a hi-speed arterial with 150 feet of right-of way and is currently constructed with four travel lanes.

The permitted uses within the proposed zoning district are all uses listed as permitted uses in the R-2 duplex-fourplex residential district, apartment buildings with five or more units, and storage buildings not used for living quarters and accessory to the residential use. Approval of the rezoning request will allow multi-family residential development of the vacant lot.

The proposed development is approximately 8.11 acres (353,271.6 square feet), based on the maximum density per gross acres in the R-3 multifamily residential district: 353-one bedroom units, 282-two bedroom units, and 235-three bedroom units will be allowed. Seven thousand square feet represents the minimum lot area for any R-3 multifamily residential district, exclusive of townhouse. Max allowable density per acre will be defined on site plan approval, once a final subdivision plat is recorded.

A recorded subdivision plat and approved site plan are required prior to building permit issuance. A masonry screen eight feet in height shall be required where a commercial, industrial or multifamily use has a side or rear property line in common with a single-family use or zone. Required parkland dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat.

RECOMMENDATION: Staff recommends disapproval of the rezoning request since it does not follow the development trend for this section along North Bicentennial Road, and since there is potential for up to 353 units with only one exit on Bicentennial Boulevard.

Memo

TO: Planning and Zoning Commission

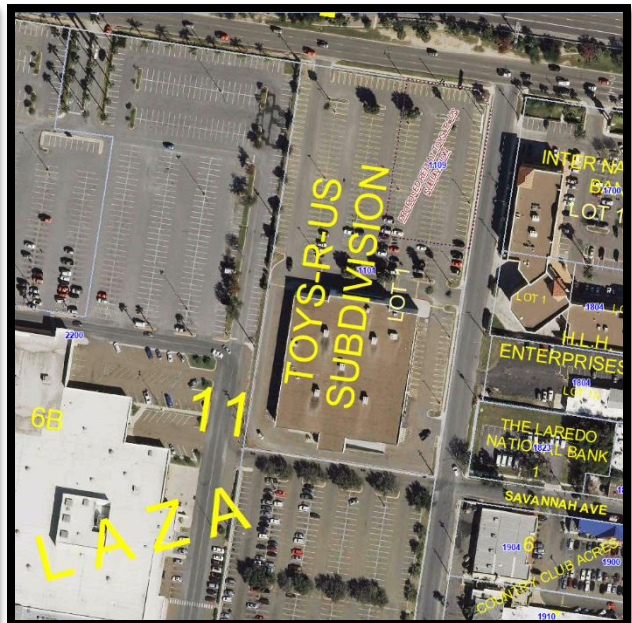
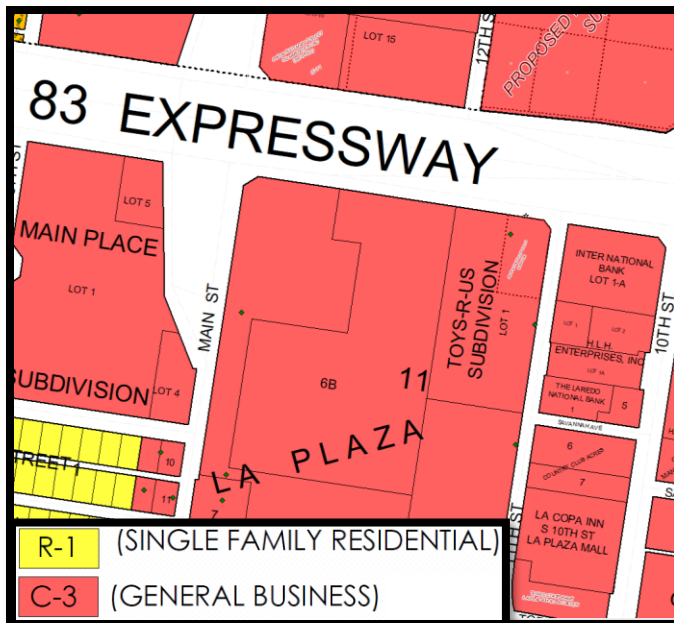
FROM: Planning Staff

DATE: May 30, 2023

SUBJECT: SITE PLAN APPROVAL FOR LOT 1A, TOYS-R-US LOT 1A SUBDIVISION, HIDALGO COUNTY, TEXAS; 1101 EXPRESSWAY 83. (SPR2022-0061)

LOCATION: The subject property is located on the south side of Expressway 83, west of South 11th Street. The property is 33,767.20 square feet (0.775 acre). The surrounding land use is C-3 (general business) District in all directions, the tract is also zoned C-3 District. Surrounding land uses include as follows: Floor & Décor, Starbucks, Men's Warehouse, and UBS.

PROPOSAL: The applicant is proposing to construct and operate a coffee shop (Dutch Bros. Coffee).



ANALYSIS: Based on the 950 square footage of the proposed coffee shop, 10 parking spaces are required. There are 22 parking spaces provided on site as per the site plan. One of the proposed parking spaces must be accessible, which must also be van accessible with an 8-foot wide aisle. Access to the site is from a proposed access from South 11th Street. Required landscaping for the lot is 3,376.72 square feet of which 6,649 square feet of landscaping is being provided. The tree requirement is as follows: 12- 2 ½" caliper trees, 7-4" caliper trees, 4-6" caliper trees, or 6 palm trees. A minimum 10-foot wide landscaped strip is required inside the property line along US Expressway 83 (Frontage Road) and South 11th Street. Fifty percent of the landscaping must be visible from the street, and each parking space must be within 100 feet of a landscaped area with a tree, as required by ordinance. A 6-foot buffer is required around dumpsters/compactors if visible

from the street. The setbacks are as follows: from US Expressway 83/ South 11th Street as shown on plat (75' from US Expressway 83 and 30' from South 11th Street), Rear setback is in accordance with the zoning ordinance or greater for easements or approved site plan whichever is greater applies, Side setbacks is in accordance with the zoning ordinance or greater for easement or approved site plan whichever is greater applies.

The Building Permit Site Plan must comply with requirements noted on the Development Team Review Sheet. Site plan approval by the Planning and Zoning Commission is required prior to building permit issuance.

RECOMMENDATION: Staff recommends approval of the site plan subject to the conditions noted, Building Permit requirements and the subdivision and zoning ordinances.

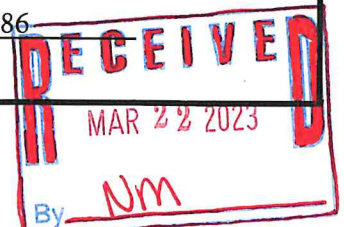
Revisions:

City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Silver Oak Subdivision</u>	
	Location <u>Southwest corner Hobbs Avenue and Bicentennial Blvd.</u>	
	City Address or Block Number <u>9229 N BICENTENNIAL BLVD</u>	
	Number of Lots <u>5</u> Gross Acres <u>2.92</u> Net Acres <u>2.84</u> ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R-1</u> Proposed Zoning <u>R-1</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____ Single Family	
	Existing Land Use <u>Open</u> Proposed Land Use <u>Residential</u> Irrigation District # <u>3</u>	
	Replat <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Commercial _____ Residential _____	
	Agricultural Exemption <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Estimated Rollback Tax Due <u>1071.72</u>	
	Parcel # _____ Tax Dept. Review <u>ag</u>	
	Water CCN <input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____	
Legal Description <u>2.92 acres of land out of Lot Number Nine (9) of the E.M. Card Survey Number One (1) Subdivision as recorded in Volume 8, Page 1 Hidalgo County Map Records, Hidalgo County, Texas.</u>		
Owner	Name <u>Cameron Family Trust</u> Phone _____	
	Address <u>9301 N 10th Street</u> E-mail _____	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u>	
Developer	Name <u>RD Silver Oak, LLC</u> Phone <u>(956) 451-6390</u>	
	Address <u>P.O. Box 6105</u> E-mail <u>jason@wtcementers.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78502</u>	
	Contact Person <u>Jason E. Garza, President</u>	
Engineer	Name <u>Javier Hinojosa Engineering</u> Phone <u>(956) 668-1588</u>	
	Address <u>416 E. Dove Avenue</u> E-mail <u>javier@javierhinojosaeng.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u>	
	Contact Person <u>Javier Hinojosa, P.E.</u>	
Surveyor	Name <u>Rios Surveying, LLC</u> Phone <u>(956) 361-9179</u>	
	Address <u>221 S. Williams Road</u> E-mail <u>rios_surveying@sbcglobal.net</u>	
	City <u>San Benito</u> State <u>TX</u> Zip <u>78586</u>	
	Contact Person: <u>Francisco Rios, R.P.L.S.</u>	



Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in PDF format. No scanned documents

*Please submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature

Date

Print Name Javier Hinojosa, P.E.

Owner ☐

Authorized Agent ☒

The Planning Department is now accepting DocuSign signatures on application

LOCATION

**PROPOSED SILVER OAK
SUBDIVISION**

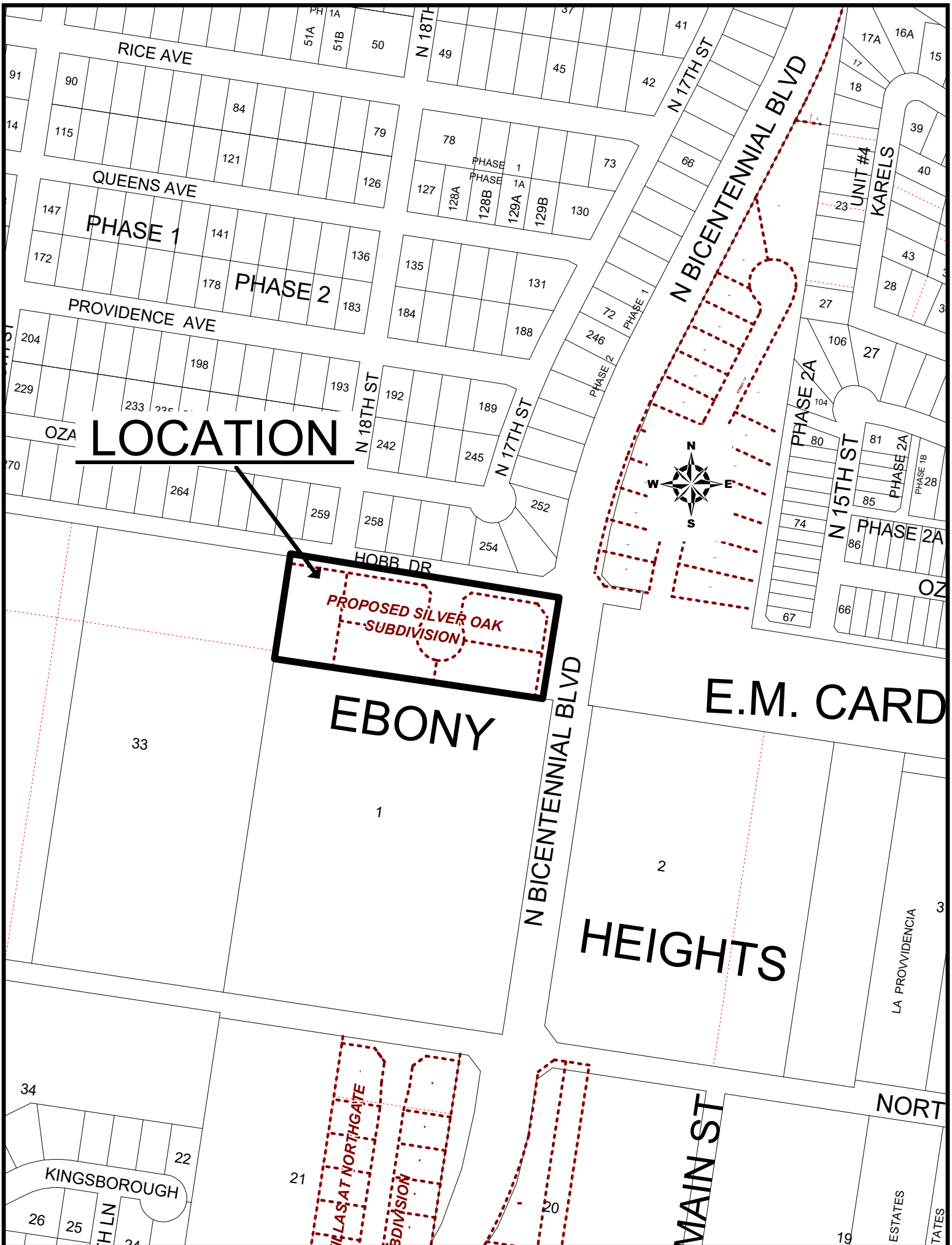
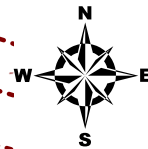
EBONY

HEIGHTS

E.M. CARD

MAIN ST

NORT





City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/1/2023

SUBDIVISION NAME: SILVER OAKS SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

N. Bicentennial Blvd.: Dedication as needed for 75ft. from centerline for 150 ft. Total ROW.
Paving :65-105 ft. Curb & gutter Both Sides.

Revisions Needed:

- Revise street name as shown above were applicable, prior to recording.
- Verify alignment of existing N. Bicentennial Blvd to the North and South prior to recording.
- Label existing ROW dedications, from centerline, total, etc., prior to recording.
- *City of McAllen thoroughfare plan designates N. Bicentennial Blvd, as a Hi-Speed arterial with 150 ft. of ROW. Current subdivision layout does not comply with required ROW dedication requirements. Engineer submitted a variance request to allow existing 100 ft. ROW with no additional dedication. At the Planning and Zoning Commission meeting of May 2nd,2023 the board approved the subdivision in revised preliminary form and recommend dedication as needed for 60 ft. from Centerline for 120 ft. Total ROW for N. Bicentennial Blvd as indicated by staff and at the City Commission meeting of May 22nd the request was approved as recommended by the Planning and Zoning Commission and staff.

***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

***Monies must be escrowed if improvements are not constructed prior to recording.

Hobbs Drive: Dedication as needed for 40 ft. from centerline for 80 ft. total ROW.

Paving: 52 ft. Curb & gutter: Both Sides

Revisions Needed:

- Clarify centerline for Hobbs Drive, prior to recording.
- Include document numbers on plat and provide any documents as applicable regarding any existing ROW dedications for Hobbs Drive, prior to recording.
- *City of McAllen thoroughfare plan designates Hobbs Drive, as a collector with 80ft. of ROW. Current subdivision layout does not comply with required ROW dedication requirements. Engineer submitted a variance request to allow a 20 ft. dedication instead of the required 40 ft. from centerline for 60 ft. total ROW for Hobbs Drive. At the Planning and Zoning Commission meeting of May 2nd,2023 the board approved the subdivision in revised preliminary form and recommend approval for the variance request for Hobbs Drive, and at the City Commission meeting of May 22nd the request was approved as recommended by the Planning and Zoning Commission and staff.

***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

***Monies must be escrowed if improvements are not constructed prior to recording.

Required

Required

<p>Interior Street: Dedication as needed for 50 ft. total ROW. Paving: 32 ft. Curb & gutter: Both Sides Revisions Needed: -Revise "Street A" to "North 17th Street" ,prior to recording. - As per plat submitted on April 6th,2023 subdivision proposed to be private, gate details are required. -Submit gate details, gate details must be removed from plat and submitted by separate exhibit, ROW and paving are subject to increase for gate areas, ROW and details for gate areas must be finalized prior to NTP/recording. *Plat proposes 70 ft. of total ROW dedication. **As per paving layout submitted on April 6th, 2023 boulevard/ island proposed, 20 ft. face to face of paving on both sides required. ***As per Fire Department requirements, 96 ft. of paving face-to face required, and 10 ft. of ROW back of curb around Cul-de-Sac required, as per plat submitted on April 6th,2023 60 ft. total radius of ROW presented along Cul-de-Sac. ****Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ****Monies must be escrowed if improvements are not constructed prior to recording.</p>	Required
<p>Paving _____ Curb & gutter _____ ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are not constructed prior to recording.</p>	NA
<p>* 1,200 ft. Block Length. **Subdivision Ordinance: Section 134-118</p>	Compliance
<p>* 900 ft. Block Length for R-3 Zone Districts. **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac. **As per Fire Department requirements, 96 ft. of paving face-to face required, and 10 ft. of ROW back of curb around Cul-de-Sac required, as per plat submitted on April 6th,2023 60 ft. total radius of ROW presented along Cul-de-Sac. ***Subdivision Ordinance: Section 134-105</p>	Applied
ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106</p>	NA
SETBACKS	
<p>* Front :Lot 1: 45 FEET OR GREATER FOR EASEMENTS. Lots 2-5: 25 FEET OR GREATER FOR EASEMENTS. Revisions needed: Revise front setback note as shown above, prior to recording.(Include reference for Lots 2-5) **Zoning Ordinance: Section 138-356 * Rear:10 FEET OR GREATER FOR EASEMENTS. **Zoning Ordinance: Section 138-356 * Sides:6 FEET OR GREATER FOR EASEMENTS **Zoning Ordinance: Section 138-356 * Corner :10 FEET OR GREATER FOR EASEMENTS. **Zoning Ordinance: Section 138-356 * Garage: 18 ft. except where greater setback is required, greater setback applies. **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	<p>Required</p> <p>Applied</p> <p>Applied</p> <p>Applied</p> <p>Applied</p> <p>Applied</p>

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on along N. Bicentennial Blvd, Hobbs Drive, and both sides of all interior streets.</p> <p>Revisions Needed:</p> <p>-Finalize note wording prior to recording,</p> <p>**Proposing: A 4 foot wide minimum sidewalk required on both sides of al interior streets. A 4 foot wide sidewalk required along the south side of Hobbs Avenue and west side of Bicentennial Bldr.</p> <p>**Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements, finalize prior to recording.</p> <p>***Subdivision Ordinance: Section 134-120</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	<p>Required</p> <p>Required</p>
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along Hobbs Drive and N. Bicentennial Blvd.</p> <p>**Landscaping Ordinance: Section 110-46</p> <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.</p> <p>**Landscaping Ordinance: Section 110-46</p> <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Applied
	Applied
	Required
NOTES	
<p>* Proposing: No curb cut, access, or lot frontage permitted along Hobbs Drive for Lots 2 and 5.No curb cut, access, or lot frontage permitted along N. Bicentennial Blvd. for lots 4 and 5.</p> <p>**Must comply with City Access Management Policy</p> <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p> <p>*Proposing: Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners/ Silver Oak Subdivision H.O.A and not the City of McAllen.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</p> <p>**Section 134-168 applies if private subdivision is proposed.</p> <p>***Section 110-72 applies if public subdivision is proposed.</p> <p>****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</p> <p>**Homeowner's Association Covenants must be submitted for staff review, prior to recording.</p> <p>***Section 134-168 applies if private subdivision is proposed.</p> <p>****Section 110-72 applies if public subdivision is proposed.</p> <p>*****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p>	Applied
	NA
	Applied
	NA
	Required
	Required

LOT REQUIREMENTS	
* Lots fronting public streets. **Subdivision Ordinance: Section 134-1	Compliance
* Minimum lot width and lot area. **Zoning Ordinance: Section 138-356	Compliance
ZONING/CUP	
* Existing: R-1 (Single-Family) Residential Proposed: R-1 (Single-Family) Residential ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA
PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$3,500 (\$700 X 5 lot/dwelling unit) to be paid prior to recording. Fees are payable prior to recording and can go up or down; as they are dependent on the amount of lots/dwelling units. Must comply with Parkland dedication ordinance requirements prior to recording.	Required
* Pending review by the City Manager's Office.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation will be waived for 5 lot single family residential subdivision.	Completed
* Traffic Impact Analysis (TIA) required prior to final plat. *** As per Traffic Department, Trip Generation will be waived for 5 lot single family residential subdivision.	NA
COMMENTS	
Comments: *Must comply with City's Access Management Policy. *Any abandonments must be done by separate process, not by plat. *HOA's need to be reviewed and will be recorded simultaneously with the subdivision. *As per plat submitted on April 6th, 2023 subdivision proposed to be private. *At the Planning and Zoning Commission meeting of April 4th, 2023 the subdivision was approved in preliminary form subject to the conditions noted, drainage, and Utilities approvals. * At the Planning and Zoning Commission meeting of May 2nd, 2023 the board approved the subdivision in revised preliminary form and recommend approval for the variance request for Hobbs Drive, and recommendation of dedication as needed for 60 ft. from Centerline for 120 ft. Total ROW for N. Bicentennial Blvd as indicated by staff and at the City Commission meeting of May 22nd the request was approved as recommended by the Planning and Zoning Commission and staff. *Submit gate details and ROW are subject to increase for gate areas, finalize prior to recording.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



LOCATION



PROPOSED SILVER OAK
SUBDIVISION

EBONY

E.M. CAFE

HEIGHTS

KINGSBOROUGH

MAIN ST

SUB2021-0102



City of McAllen
Planning Department
APPLICATION FOR

SUBDIVISION PLAT REVIEW

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project Description	Subdivision Name <u>SISTER'S SUBD.</u> Location <u>+/- 385' EAST OF INSPIRATION RD. ALONG N. SIDE</u> City Address or Block Number <u>12200 MILE 7 RD</u> Number of lots <u>23</u> Gross acres <u>6.90</u> Net acres <u>6.30</u> Existing Zoning <u>N/A</u> Proposed <u>RES.</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____ Existing Land Use <u>HOME</u> Proposed Land Use <u>RES.</u> Irrigation District # <u>UNITED I.D.</u> Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>1500⁰⁰</u> Parcel No. <u>318883</u> Tax Dept. Review <u>W0100-00-049-0001-04</u> Legal Description <u>6.90 GROSS AC. O/O LOT 49-1, WEST ADDITION TO SHARPLAND, D.C.T.</u>
Owner	Name <u>PATTY CASH: SAN SIRE SILVA</u> Phone _____ Address <u>5224 N. TRAFER ROAD</u> City <u>MISSION</u> State <u>TX</u> Zip <u>78573</u> E-mail <u>CASH PATTY @ YAHOO.COM ; SCASAPEDA 9207 @ YAHOO.COM</u>
Developer	Name <u>SHIRAZ AS OWNER</u> Phone _____ Address _____ City _____ State _____ Zip _____ Contact Person _____ E-mail _____
Engineer	Name <u>DAVID O. SALINAS</u> Phone <u>682-9081</u> Address <u>2221 DAFFODIL AVE.</u> City <u>MISSION</u> State <u>TX</u> Zip <u>78501</u> Contact Person <u>DAVID</u> E-mail <u>dsalinas @ salinasengineering.com</u>
Surveyor	Name <u>SHIRAZ AS OWNER</u> Phone _____ Address _____ City _____ State _____ Zip _____

ENTERED

SEP 10 2021

Initial: DM

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ☒ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ☒ Title Report
- ☒ 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies
- ☒ 2 Location Maps
- ☒ 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- ☒ 6 Folded blueline prints of the proposed plat
- ☒ 2 Warranty Deeds (Identifying owner on application)
- ☒ Autocad 2005 DWG file and PDF of plat
- ☒ Letter of Authorization from the owner, if applicable
- ☒ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ☒ Metes and bounds
- ☒ Lots numbered with dimensions and area of irregular lots noted
- ☒ Surrounding platted lots and/or lot lines for unplatted tracts
- ☒ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ☒ North arrow, scale and vicinity map
- ☒ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 1/2" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature [Signature] for Date 9/10/21

Print Name David D. O'Neil Sullivan

Owner ☐

Authorized Agent ☒

ENTERED

SEP 10 2021

Initial: DM

LOCATION

57

INSPIRATION ROAD (12)

~~PROPOSED SISTER'S
SUBDIVISION~~



MILE 7 RD

INSPIRATION POINT

SUBDIVISION

INSPIRATION POINT
SUBDIVISION

12
PROPOSED
ESTATES



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/2/2023

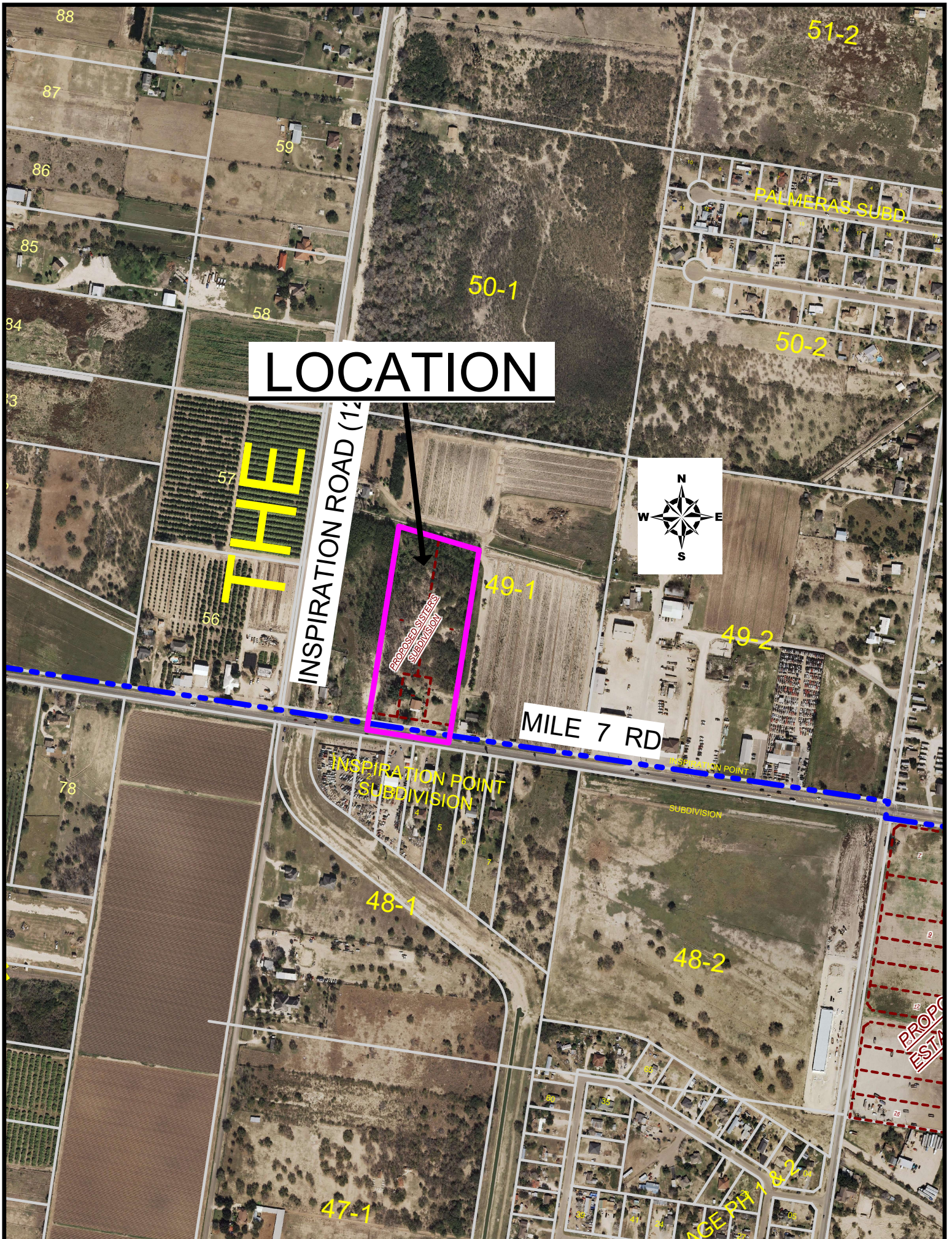
SUBDIVISION NAME: SISTERS SUBDIVISION	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
SH 107 - Mile 7 North Road (FM 681): 75 ft. ROW from centerline for 150 ft. total ROW Paving: by the state Curb & gutter: by the state Revisions Needed: -Please clarify ROW width dimension along the east boundary referenced by Document No. 2287869 as dimension shown on plat differs, finalize ROW requirements prior to recording. --Label existing ROW dedications, from centerline, total, existing, etc. on both sides, just past the SE corner of plat boundary as transition occurs, prior to recording. ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are not constructed prior to recording.	Required
Paving _____ Curb & gutter _____ ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are not constructed prior to recording.	NA
* 1,200 ft. Block Length. **Subdivision Ordinance: Section 134-118	Compliance
* 900 ft. Block Length for R-3 Zone Districts. **Subdivision Ordinance: Section 134-118	NA
* 600 ft. Maximum Cul-de-Sac. **Subdivision Ordinance: Section 134-105	NA
ALLEYS	
ROW: 20 ft. Paving: 16 *Alley/service drive easement required for commercial properties *Application indicates proposed use is residential **Subdivision Ordinance: Section 134-106	NA
SETBACKS	
* Front: Proposing 75 ft. or in average with the average setbacks of existing structures, or easement, whichever is greater. Pending Items: -Clarify proposed setback and ensure compliance with minimum setback requirements for City and County, finalize wording prior to recording. **Zoning Ordinance: Section 138-356	Required
* Rear: Proposing: 15 ft. or greater for easement **15 ft. Utility Easement presented along the northern plat boundary. ***Zoning Ordinance: Sec.138-356	Applied
* Interior sides: 6 ft. or greater for easements **Zoning Ordinance: Sec.138-356	Applied
* Corner: Interior Lots **Zoning Ordinance: Section 138-356	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

* Garage: 18 ft. except where greater setback is required; greater setback applies. Revisions Needed: -Include note as shown above prior to recording. ***Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Required
	Required
SIDEWALKS	
* 4 ft. wide minimum sidewalk required on SH 107 (Mile 7 North Road). Revision Needed: Revise note#15 as shown above, prior to recording. **Sidewalk requirements may increase to 5 ft. prior to final per Engineering Department requirements, finalize prior to recording. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Revisions Needed: -Revise plat note #20 as shown above prior to recording. ** Landscaping Ordinance: Sec.110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Revisions needed: -On plat note #20, please remove wording "As per City of McAllen Subdivision requirements," rest of note is ok., finalize prior to recording. **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements.	Required
	Required
	Required
NOTES	
Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. * Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. *Section 110-72 applies if public subdivision is proposed. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168	Applied
	NA
	Applied
	NA
	Applied

<ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Homeowner's Association Covenants must be submitted for staff review, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. *****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168 	NA
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets. **Subdivision Ordinance: Section 134-1 	Compliance
<ul style="list-style-type: none"> * Minimum lot width and lot area. **Zoning Ordinance: Section 138-356 	Compliance
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: ETJ (Residential) Proposed: ETJ (Residential) ***Zoning Ordinance: Article V 	Applied
<ul style="list-style-type: none"> * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V 	NA
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. 	NA
<ul style="list-style-type: none"> * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. **Subdivision is currently in the ETJ, if annexed prior to recording x 3 lots = \$2,100 will be due prior to recording 	Applied
<ul style="list-style-type: none"> * Pending review by the City Manager's Office. 	NA
TRAFFIC	
<ul style="list-style-type: none"> * As per Traffic Department, Trip Generation will be waived for 3 lot single family residential homes. 	Completed
<ul style="list-style-type: none"> * Traffic Impact Analysis (TIA) required prior to final plat. ** As per Traffic Department, Trip Generation will be waived for 3 lot single family residential homes. 	NA
COMMENTS	
<ul style="list-style-type: none"> Comments: *Must comply with City's Access Management Policy. 	Applied
RECOMMENDATION	
<ul style="list-style-type: none"> Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO CONDITIONS NOTED. 	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



SUB2021-0100



City of McAllen
Planning Department
APPLICATION FOR

SUBDIVISION PLAT REVIEW

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project Description	Subdivision Name <u>ARELLANO SUBD.</u> Location <u>NWC S. 10TH ST. - CAMINO CENTRAL (S. 11TH ST.)</u> City Address or Block Number <u>6416 S. 11TH ST.</u> Number of lots <u>1</u> Gross acres <u>0.32</u> Net acres <u>0.32</u> Existing Zoning <u>C-3</u> Proposed <u>R-1</u> Rezoning Applied For <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Date _____ Existing Land Use <u>OPEN</u> Proposed Land Use <u>RES.</u> Irrigation District # <u>3</u> Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due <u>1,500⁰⁰</u> Parcel No. <u>542637/269757</u> Tax Dept. Review <u>R2300-01-000-0028-01</u> Legal Description <u>0.32 AC. o/p LOT 6, BIK. 4, 1210ALGO</u> <u>CANAL CO'S SUBD. 12-CT.</u>
Owner	Name <u>EVA YOLANDA CASTILLO</u> ^{IRAPPA} Phone <u>956-599-8467</u> Address <u>2110 HAPPY STREET</u> City <u>MISSION</u> State <u>TX</u> Zip <u>78573</u> E-mail <u>EVA101293CASTILLO@OUTLOOK.ES</u>
Developer	Name <u>SAME AS OWNER</u> Phone _____ Address _____ City _____ State _____ Zip _____ Contact Person _____ E-mail _____
Engineer	Name <u>DINO D OMB SALINAS</u> Phone <u>682-9081</u> Address <u>2221 DAFFODIL AVE.</u> City <u>McALLEN</u> State <u>TX</u> Zip <u>78501</u> Contact Person <u>DINO D</u> E-mail <u>dsalinas@salinasengineering.com</u>
Surveyor	Name <u>SAME AS OWNER</u> Phone _____ Address _____ City _____ State _____ Zip _____

ENTERED

SEP 10 2021

Initial: DM

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- ☒ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- ☒ Title Report
- ☒ 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies
- ☒ 2 Location Maps
- ☒ 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- ☒ 6 Folded blue-line prints of the proposed plat
- ☒ 2 Warranty Deeds (Identifying owner on application)
- ☒ Autocad 2005 DWG file and PDF of plat
- ☒ Letter of Authorization from the owner, if applicable
- ☒ N/A Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ☒ Metes and bounds
- ☒ Lots numbered with dimensions and area of irregular lots noted
- ☒ Surrounding platted lots and/or lot lines for unplatted tracts
- ☒ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ☒ North arrow, scale and vicinity map
- ☒ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blue-line copies prints and 8 1/2" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 9/8/21

Print Name EVA YOLANDA CASTILLO IBARRA

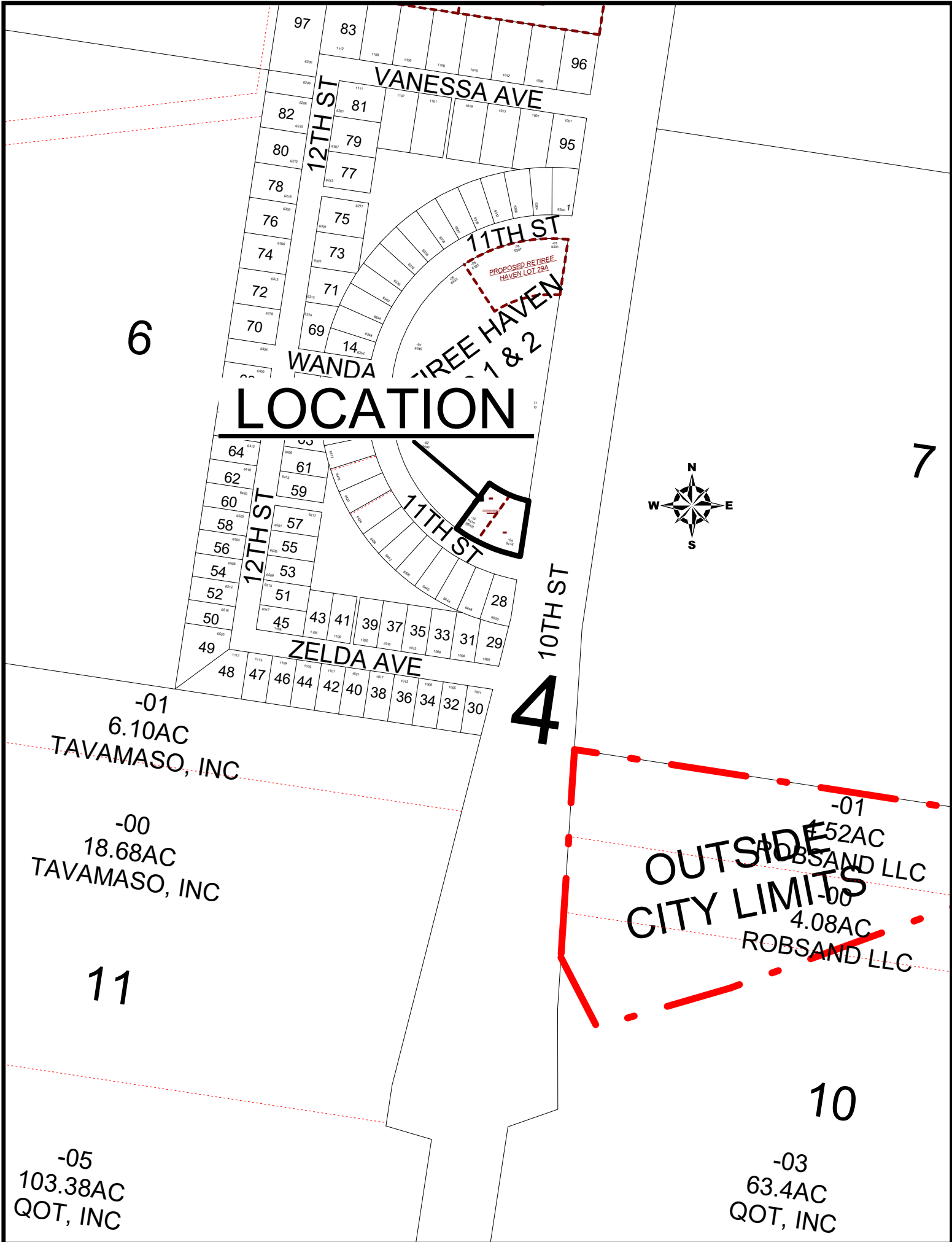
ENTERED

Owner ☒

Authorized Agent ☐

SEP 10 2021
10/19

Initial: N/A



LOCATION

OUTSIDE
CITY LIMITS

-03
63.4AC
QOT, INC

-00
18.68AC
TAVAMASO, INC

-01
4.52AC
ROBSAND LLC
-00
4.08AC
ROBSAND LLC

-01
6.10AC
TAVAMASO, INC

-05
103.38AC
QOT, INC



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/1/2023

SUBDIVISION NAME: ARELLANO SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

South 11th Circle: 50 ft. ROW

Paving: 32 ft. Curb & gutter: Both sides

**Monies must be escrowed if improvements are not built prior to recording.

****Subdivision Ordinance: Section 134-105

South 10th Street: 20.75 ft. of additional ROW dedication required for 75 ft. from centerline for 150 ft. total ROW

Paving: By the state Curb & gutter: By the State

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

**Monies must be escrowed if improvements are not built prior to recording.

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

* 1,200 ft. Block Length

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac

**Subdivision Ordinance: Section 134-105

Applied

Applied

Applied

Applied

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial properties

* Plat note 11: "Minimum 24 ft. wide service drive easement for city services will be provided as part of the site plan review for the commercial lots."

** Rezoning from R-1 to C-3 (general business) District for the west portion of the lot was approved by City Commission on November 14, 2022.

**Subdivision Ordinance: Section 134-106

Applied

SETBACKS

* Front: In accordance with Zoning Ordinance or greater for easements or approved site plan or inline with average setbacks of existing building.

**Zoning Ordinance: Section 138-356

*Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan.

**Zoning Ordinance: Section 138-356

* Interior Sides: In accordance with Zoning Ordinance or greater for easements or approved site plan.

****Zoning Ordinance: Section 138-356

Applied

Applied

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Corner: In accordance with the Zoning Ordinance or greater for easements or approved site plan. Revisions needed: ****Zoning Ordinance: Section 138-356</p> <p>* Garage: 18 ft. except where greater setback is required; greater setback applies. Garage setback applies to residential lots only. **Zoning Ordinance: Section 138-356</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN ** Rezoning from R-1 to C-3 (general business) District for the west portion of the lot was approved by City Commission on November 14, 2022.</p>	Applied
	NA
	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on South 11th Street and 5 ft. sidewalk required on South 10th Street. ***Sidewalk requirements subject to increase from 4 ft. to 5 ft. as per Engineering Department prior to final. ****Subdivision Ordinance: Section 134-120</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Applied
	Required
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46</p> <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46</p> <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Applied
	Applied
	Required
NOTES	
<p>* If accesses are modified along S10th St, an approved variance to Access Management Policy is required as per Traffic Department. **Must comply with City Access Management Policy</p> <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p> <p>* Common Areas, any private drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	Applied
	Applied
	Applied
	Applied
	NA
	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing: C-3 Proposed: C-3 **Rezoning back to C-3 (general commercial) district for a portion of the west side of the property by metes and bound was approved by City Commission on November 14, 2022. ***Rezoning to R-1 (single family) district for Lot 1 was presented before the City Commission on September 27, 2021; however, metes and bounds of the subdivision plat did not reflect the submittal of the approved rezoning. ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval **Rezoning back to C-3 (general commercial) district for a portion of the west side of the property by metes and bound was approved by City Commission on November 14, 2022. ***Rezoning to R-1 (single family) district for Lot 1 was presented before the City Commission on September 27, 2021; however, metes and bounds of the subdivision plat did not reflect the submittal of the approved rezoning. ***Zoning Ordinance: Article V	Compliance
PARKS	
* Land dedication in lieu of fee. Park fees do not apply to commercial developments.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Park fees do not apply to commercial developments.	NA
* Pending review by the Parkland Dedication Advisory Board and CC. Park fees do not apply to commercial developments.	NA
TRAFFIC	
* As per Traffic Department's comment on 05/25/2023: TG approved, no TIA required.	Applied
* Traffic Impact Analysis (TIA) required prior to final plat. Based on Traffic Department's comment on 05/25/2023: TG approved, no TIA required.	NA
COMMENTS	
Comments: - Show the legal description of the adjacent properties on all sides, including east side of S 10th St on the plat prior to recording. - Reference the document number for S. 10th Street existing ROW on the plat prior to recording. - Revise the location map, zoom in and center the site location prior to recording. *Subdivision approved in Preliminary form at the Special P&Z meeting of October 12, 2021 **Must comply with City's Access Management Policy	Required
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO CONDITIONS NOTED, AND UTILITIES DEPARTMENT REQUIREMENTS.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOCATION

VANESSA AVE

12TH ST

11TH ST

WANDA

THREE HAVEN
1 & 2

11TH ST

12TH ST

ZELDA AVE

10TH ST



OUTSIDE
CITY LIMITS

6

7

4

11

10

LOT 1

LOT 2

PROPOSED RETIREE
HAVEN LOT 28A

Sub 2023-0014



City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Mikada Subdivision</u>	
	Location <u>400' East of Taylor Road along the north side of F.M. 495, Pecan Blvd.</u>	
	City Address or Block Number <u>5000 Pecan Blvd.</u>	
	Number of Lots <u>1</u> Gross Acres <u>2.0</u> Net Acres <u>1.63</u> ETJ <input type="checkbox"/> Yes <input type="checkbox"/> No	
	Existing Zoning <u>C-3</u> Proposed Zoning <u>C-3</u> Rezoning Applied for <input type="checkbox"/> Yes <input type="checkbox"/> No Date _____	
	Existing Land Use <u>Open</u> Proposed Land Use <u>Retail</u> Irrigation District # <u>UID</u>	
	Replat <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Commercial _____ Residential _____	
	Agricultural Exemption <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Estimated Rollback Tax Due <u>0</u>	
	Parcel # <u>52950-00000-0257-47</u> Tax Dept. Review <u>[Signature]</u>	
	Water CCN <input type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC <u>Other</u> _____	
Legal Description <u>2.00 Acre tract of land out of Lot 257, John H. Shary Subdivision</u>		
Owner	Name <u>Mikada, LLC</u> Phone <u>(956) 687-9421</u>	
	Address <u>400 W. Nolana, Ste. H2</u> E-mail <u>miguel@chaninengineering.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u>	
Developer	Name <u>Mikada, LLC</u> Phone <u>(956) 687-9421</u>	
	Address <u>400 W. Nolana, Ste. H2</u> E-mail <u>miguel@chaninengineering.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u>	
	Contact Person <u>Jose Chanin, Mgr.</u>	
Engineer	Name <u>Javier Hinojosa Engineering</u> Phone <u>(956) 668-1588</u>	
	Address <u>416 E. Dove Ave.</u> E-mail <u>javier@javierhinojosaeng.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u>	
	Contact Person <u>Javier Hinojosa</u>	
Surveyor	Name <u>Rio Delta Surveying</u> Phone <u>956-380-5154</u>	
	Address <u>34596 F.M. 88</u> E-mail <u>mario@riodeltasurveying.com</u>	
	City <u>Monte Alto</u> State <u>TX</u> Zip <u>78538</u>	
	Contact Person <u>Jose Mario Gonzalez, R.P.L.S.</u>	

ENTERED

FEB 08 2023

RECEIVED

By Natalie Moreno at 9:52 am, Feb 08, 2023

Initial: NM

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in PDF format. No scanned documents

*Please submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

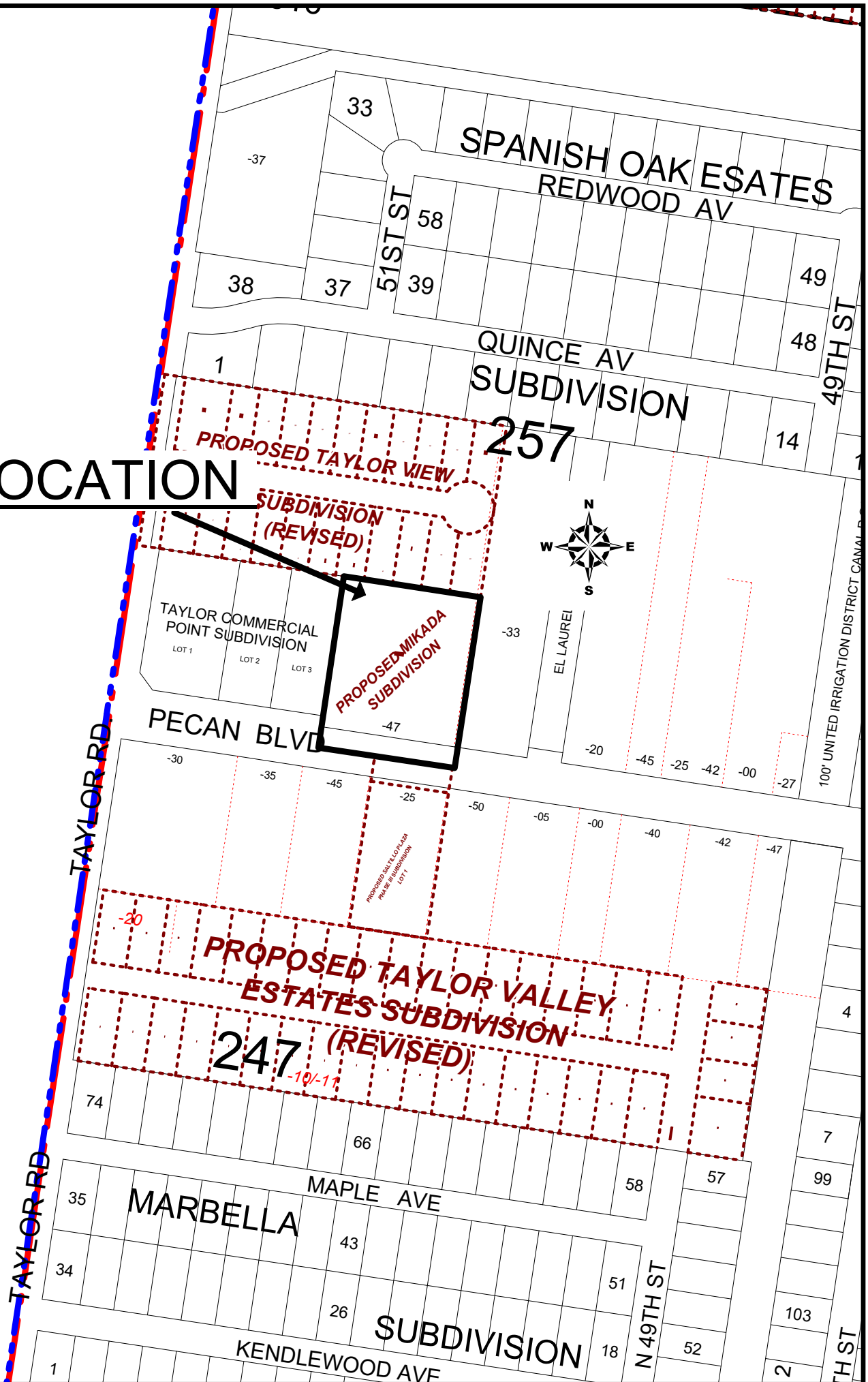
Signature  Date 1-30-23

Print Name Jose Chanin, Manager

Owner ☒ Authorized Agent ☐

The Planning Department is now accepting DocuSign signatures on application

LOCATION



A 2.00 ACRE TRACT OF LAND BEING OUT OF LOT
257, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY,
TEXAS, AS RECORDED IN VOLUME 1, PAGE 17, OF THE
MAP RECORDS, HIDALGO COUNTY, TEXAS

A 2.00 ACRE TRACT OF LAND BEING OUT OF LOT
257, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY,
TEXAS, AS RECORDED IN VOLUME 1, PAGE 17, OF THE
MAP RECORDS, HIDALGO COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS MIKADA SUBDIVISION, AN ADDITION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HEREIN, HEREBY DEDICATED TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, SEWER LINES, WATER COURSES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL OF THE CITY OF MCALLEN, ALL THE SAME, FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

OWNER: MIKADA. L.L.C.
ADDRESS: 400 W. NOLANA, STE. N2
CITY: McALLEN, TX. 78504
BY: JOSE CHANIN, MANAGER

DATE: _____

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY THE
OWNER PERSONALLY APPEARED KNOWN TO ME TO BE
THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING
INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME
PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE
CAPACITY THEREIN STATED. ALL GIVEN UNDER MY HAND AND SEAL OF
OFFICE

THIS THE _____ DAY OF _____, 2023 A.D.

NOTARY PUBLIC FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES ON: _____

I, THE UNDERSIGNED MAYOR OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN _____ DATE _____

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, JAVIER HINOJOSA, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

JAVIER HINOJOSA, P.E.
REGISTERED PROFESSIONAL ENGINEER NO. 74808

STATE OF TEXAS
COUNTY OF HIDALGO

I, JOSE MARIO GONZALEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

JOSE MARIO GONZALEZ, R.P.L.S. DATE
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5571
RIO DELTA SURVEYING
34593 F.M. 88
MONTE ALTO, TEXAS 78538
TEL. (956) 380-5154 DATE SURVEYED NOVEMBER 28, 2018
TBPELS FIRM No. 10013900

GENERAL NOTES

3. THIS FLOOD DESIGNATION FOR THIS PROPERTY IS ZONE "C" WITH AREAS "AREAS OF MINIMAL FLOODING" AS PER F.E.M.A.'s FLOOD INSURANCE RATE MAP PANEL No.: 480343 0005 C DATED NOVEMBER 02, 1982.
2. MINIMUM PERMISSIBLE FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB AT MID POINT OF THE LOT.
3. MINIMUM BUILDING SETBACK LINES SHALL BE AS FOLLOWS:
FRONT:60' FEET, OR IN ACCORDANCE WITH ZONING ORDINANCE, OR IN LINE WITH EXISTING STRUCTURES, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER.
REAR:IN ACCORDANCE WITH ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER.
SIDE:IN ACCORDANCE WITH ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN WHICHEVER IS GREATER.
4. NO STRUCTURES PERMITTED OVER ANY EASEMENTS.
5. A TOTAL OF 0.309 acre feet (13,448 CUBIC FEET) OF STORM WATER DETENTION IS REQUIRED FOR THIS SUBDIVISION. THIS DETENTION WILL BE PROVIDED WITHIN DETENTION AREAS ON THE SITE PLAN APPROVED BY THE CITY OF McALLEN ENGINEERING DEPARTMENT PRIOR TO APPLICATION FOR A BUILDING PERMIT.
6. BENCHMARK: TOP OF STORM DRAIN MANHOLE LOCATED AT THE SOUTH WEST CORNER OF THIS SUBDIVISION ELEVATION =122.84 REFERENCE (MCG9 ELEVATION = 123.59) TYPE OF MARK: 30" ALUMINUM PIPE WITH A 3 1/4" BRASS MONUMENT CAP ON TOP LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF TAYLOR ROAD AND PECAN AVE. (F.M.945).
7. A 5 FOOT WIDE MINIMUM SIDEWALK REQUIRED ON THE NORTH SIDE OF PECAN BOULEVARD (F.M. 495).
8. SET 1/2" Ø IRON ROD WITH A PLASTIC CAP ON ALL LOT CORNERS UNLESS OTHERWISE NOTED.
9. 6 FOOT OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES.
10. 8 FOOT MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
11. ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO UNITED IRRIGATION DISTRICT AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR USE WITHOUT EXPRESS APPROVAL.
12. NO UTILITY COMPANY OR OTHER PERSON IS ALLOWED TO CROSS ABOVE OR BELOW GROUND ANY DISTRICT EASEMENT OR RIGHT OF WAY WITH LINES, POLES, OPEN DITCHES OR OTHER USE WITHOUT FIRST OBTAINING A CROSSING PERMIT FROM THE DISTRICT.
13. NO PERMANENT STRUCTURE, (EXAMPLE, FENCES OR DRIVEWAY OF ANY CONSTRUCTION) WILL BE ALLOWED TO BE CONSTRUCTED OR EXIST ON ANY DISTRICT EASEMENT OR RIGHT OF WAY WITHOUT WRITTEN APPROVAL BY THE DISTRICT. ANY UNAUTHORIZED STRUCTURE IN THE EASEMENT AREA IS SUBJECT TO REMOVAL.
14. THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAILED VOLUME SHOWN ON THIS PLAT IF IT DETERMINED, AT THE DEVELOPMENT PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN THAT STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.

METES AND BOUNDS

A 2.00 ACRE TRACT OF LAND BEING OUT OF LOT 257, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS, AS RECORDED IN VOLUME 1, PAGE 17, OF THE MAP RECORDS, HIDALGO COUNTY, TEXAS, SAID 2.00 ACRE TRACT OF LAND IS BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID LOT 257, WITHIN THE RIGHT OF WAY OF PECAN BOULEVARD, AS RECORDED IN VOLUME 1, PAGE 17, OF THE MAP RECORDS, HIDALGO COUNTY, TEXAS AND WITHIN THE RIGHT OF WAY OF N. TAYLOR ROAD, THENCE, S 81°30'28" E, WITH THE SOUTH LINE OF SAID LOT 257 AND WITHIN THE RIGHT OF WAY OF SAID PECAN BOULEVARD, A DISTANCE OF 396.00'; FOR THE SOUTHWEST CORNER OF THIS TRACT OF LAND AND THE POINT OF BEGINNING:

THENCE N 08°29'31" E, AT A DISTANCE OF 40.00' TO PASS A 1/2" IRON ROD FOUND, ON THE EXISTING NORTH RIGHT OF WAY LINE OF SAID PECAN BOULEVARD AND THE SOUTHEAST CORNER OF TAYLOR COMMERCIAL POINT SUBDIVISION, AS RECORDED IN DOCUMENT NO. 2145109, OF THE MAP RECORDS, HIDALGO COUNTY, TEXAS, CONTINUING A TOTAL DISTANCE OF 330.47' TO A 1/2" IRON ROD FOUND ON THE NORTHEAST CORNER OF SAID TAYLOR COMMERCIAL POINT SUBDIVISION, AND THE SOUTH LINE OF A TRACT OF LAND CONVEYED TO DC & GG INVESTMENTS LLC, AS RECORDED IN DOCUMENT NO. 2610225, OF THE OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, FOR THE NORTHWEST CORNER OF THIS TRACT OF LAND;

THENCE S 81°21'37" E, WITH THE SOUTH LINE OF SAID DC & GG INVESTMENTS LLC TRACT OF LAND, A DISTANCE OF 263.20' TO A 1/2" IRON ROD FOUND WITH YELLOW CAP ON THE SOUTHEAST CORNER OF SAID DC & GG INVESTMENTS LLC TRACT OF LAND, AND THE WEST LINE OF A TRACT OF LAND CONVEYED TO PABLO VILLAREAL INCORPORATED, A TEXAS CORPORATION, AS RECORDED IN VOLUME 2374, PAGE 522, OF THE DEED RECORDS, HIDALGO COUNTY, TEXAS. FOR THE NORTHEAST CORNER OF THIS TRACT OF LAND:

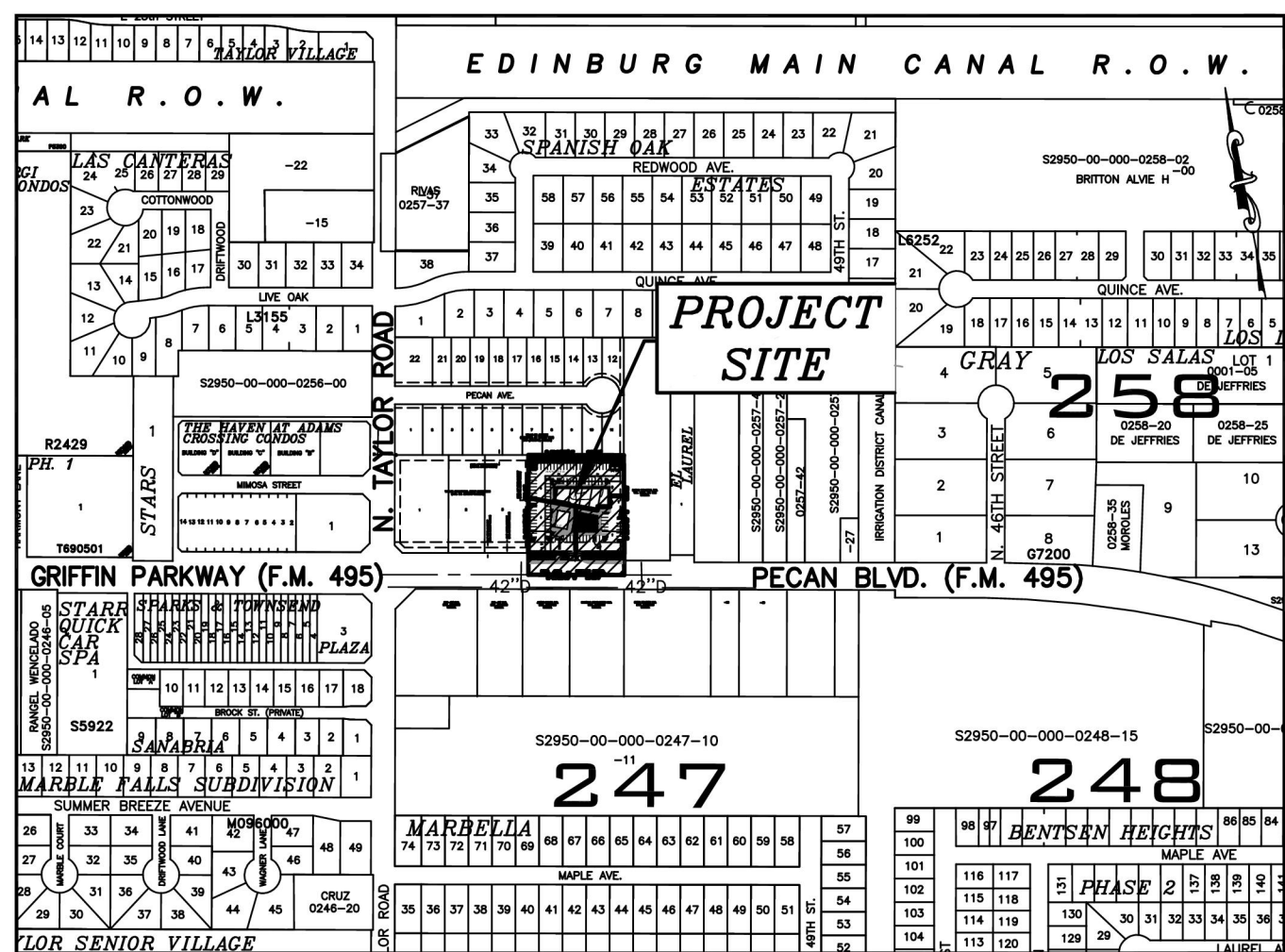
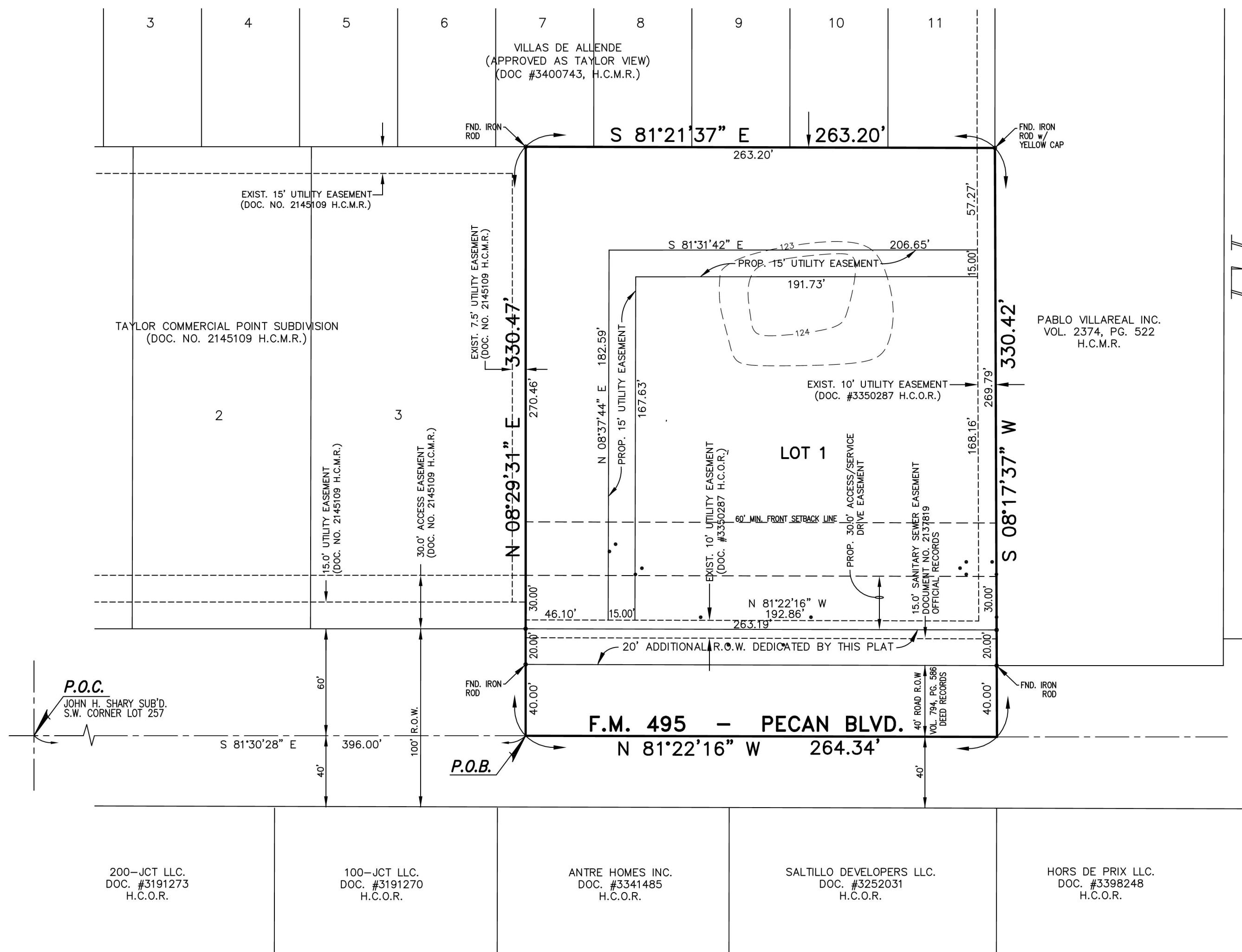
THENCE S 08°17'37" W, WITH THE WEST LINE OF SAID PABLO VILLAREAL INCORPORATED TRACT OF LAND, AT A DISTANCE OF 290.42' PASS AN IRON PIPE FOUND ON EXISTING NORTH RIGHT OF WAY LINE OF PECAN BOULEVARD, CONTINUING A TOTAL DISTANCE OF 330.42' TO THE SOUTH LINE OF SAID LOT 257 WITHIN THE RIGHT OF WAY OF SAID PECAN BOULEVARD, FOR THE SOUTHEAST CORNER OF THIS TRACT OF LAND;

THENCE N 81°22'16" W, WITH THE SOUTH LINE OF SAID LOT 257, AND WITHIN THE RIGHT OF WAY OF SAID PECAN BOULEVARD, A DISTANCE OF 264.34' TO THE POINT OF BEGINNING, CONTAINING 2.00 ACRES OF LAND MORE OR LESS.



FILE FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY _____



LOCATION MAP
SCALE: 1" = 1000'

DATE OF PREPARATION: NOVEMBER, 2022

DRAWN BY: P.GONZALEZ

JAVIER HINOJOSA ENGINEERING
CONSULTING ENGINEERS
416 E. DOVE AVENUE McALLEN, TEXAS 78504
PHONE (956) 668-1588
javier@javierhinojosaeng.com
TBPELS FIRM NUMBER F-1295

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.21(1)(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE _____

PRINCIPAL CONTACTS:

NAME	ADDRESS	CITY & ZIP	PHONE #
OWNER: MIKADA, L.L.C.	400 W. NOLANA, STE. H2	McAlLEN, TX 78504	
ENGINEER: JAVIER HINOJOSA	416 E. DOME AVENUE	McAlLEN, TX 78504	(956) 668-1588
SURVEYOR: JOSE MARIO GONZALEZ	34593 F.M. 88	MONTE ALTO, TX 78538	(956) 380-5154



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/1/2023

SUBDIVISION NAME: MIKADA SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Pecan Boulevard: Dedication as needed for 60 ft. from centerline for 120 ft. total ROW.

Paving: By State Curb & gutter: By State

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Applied

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Applied

* 1,200 ft. Block Length

**Subdivision Ordinance: Section 134-118

Applied

* 900 ft. Block Length for R-3 Zone Districts

**Subdivision Ordinance: Section 134-118

NA

* 600 ft. Maximum Cul-de-Sac

**Subdivision Ordinance: Section 134-105

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

30 ft. access/service drive easement is provided along front of the property.

Revisions required:

- Please remove any reference as "Prop." and indicate if the access easement is dedicated by this plat or separate document number, prior to recording.

- Please indicate temporary paved turnaround as needed until extended, prior to recording.

*Alley/service drive easement required for commercial properties.

**Subdivision Ordinance: Section 134-106

Required

SETBACKS

*Front: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater applies.

Revisions Needed:

-Revise plat note as shown above or clarify proposed setback note, prior to recording.

-Proposed: 60 feet or in accordance with Zoning Ordinance, or in line with existing structures, or greater for easements or approved site plan, whichever is greater.

**Zoning Ordinance: Section 138-356

Required

*Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.

**Zoning Ordinance: Section 138-356

Applied

* Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.

**Zoning Ordinance: Section 138-356

Applied

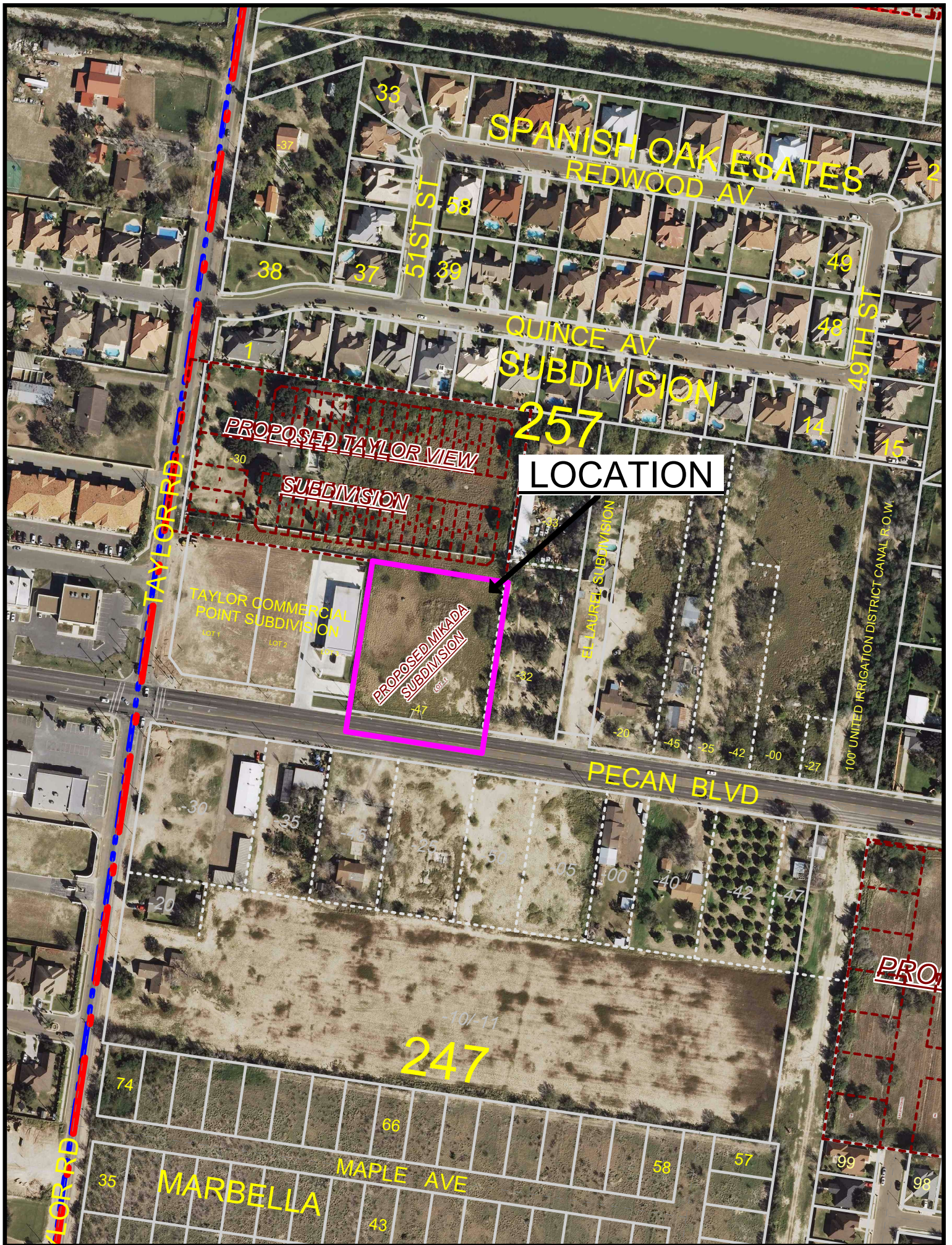
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

Corner setback **Zoning Ordinance: Section 138-356 Proposed Garage: 18 feet except where greater setback is required, greater setback applies. **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	NA
	NA
	Applied
SIDEWALKS	
4 ft. wide minimum sidewalk required along Pecan Boulevard (F.M. 495). Sidewalk may increase to 5 ft. as per Engineering. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time.	Applied
	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements.	Applied
	Applied
	Required
NOTES	
**Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Revisions needed: -Add note as shown above, prior to final. * Common Areas, any private access/service drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions needed: -Add note as shown above, prior to recording. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Applied
	Applied
	Required
	Applied
	NA
	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing: C-3 Proposed: C-3 ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA
PARKS	
* Land dedication in lieu of fee. As per the application, proposed land use is retail. Commercial developments do not apply to Parks.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording As per the application, proposed land use is retail. Commercial developments do not apply to Parks.	NA
* Pending review by the Parkland Dedication Advisory Board and CC. As per the application, proposed land use is retail. Commercial developments do not apply to Parks.	NA
TRAFFIC	
* As per Traffic Department, TG approved, Previous TIA honored with previous conditions a. Provide a 30 ft. Access easement along the frontage of Pecan Boulevard on plat	Applied
* Traffic Impact Analysis (TIA): As per Traffic Department, TG approved, Previous TIA honored with previous conditions a. Provide a 30 ft. Access easement along the frontage of Pecan Boulevard on plat	Applied
COMMENTS	
Comments: -Please address all comments for the first Mylar review. -Please revise the lot dimensions after the ROW dedication before recording. The addition of the lot dimensions after ROW dedication and 60 ft. ROW does not match the original lot dimensions. -Please clarify why the lot frontage after ROW dedication is different from the lot frontage before ROW dedication prior to recording. -Please change the wording for easements from "Prop." to "BY THIS PLAT" or add a plat note stating that all easements are dedicated by this plat unless otherwise stated. -Please use a dash line for the proposed 15 ft. utility easement. -The legal description of the adjacent lots on all sides, including the south sides of Pecan Boulevard, is needed on the plat. -Please provide a copy of the referenced documents on the plat for staff review prior to recording. *Must comply with City's Access Management Policy.	Required
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO CONDITIONS NOTED.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



Sub 2022-0120



City of McAllen
Planning Department
**APPLICATION FOR
SUBDIVISION PLAT REVIEW**

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project Description	<p>Subdivision Name <u>FELIX SUBD.</u></p> <p>Location <u>600' NORTH OF EL RANCHO ROAD ALONG WEST SIDE</u></p> <p>City Address or Block Number <u>3024 S. 1ST ST.</u> <u>OF S. 1ST ST.</u></p> <p>Number of lots <u>1</u> Gross acres <u>0.16</u> Net acres <u>0.16</u></p> <p>Existing Zoning _____ Proposed <u>R-1</u> Rezoning Applied For <input type="checkbox"/> Yes <input type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>OPEN</u> Proposed Land Use <u>RES.</u> Irrigation District # <u>2</u></p> <p>Residential Replat Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due <u>1500⁰⁰</u></p> <p>Parcel No. _____ Tax Dept. Review _____</p> <p>Legal Description <u>0.16 AC o/o ZAPATA SUBD. (ABANDONED ROAD ROW)</u></p>
Owner	<p>Name <u>PATRICIA SALAZAR</u> Phone <u>(818) 617-5721</u></p> <p>Address <u>13652 1/2 DROWFIELD AVE.</u></p> <p>City <u>SYLMAR</u> State <u>CA</u> Zip <u>91342-1488</u></p> <p>E-mail _____</p>
Developer	<p>Name <u>SAME AS OWNER</u> Phone _____</p> <p>Address _____</p> <p>City _____ State _____ Zip _____</p> <p>Contact Person _____</p> <p>E-mail _____</p>
Engineer	<p>Name <u>DAVID SALINAS</u> Phone <u>956-662-9081</u></p> <p>Address <u>2221 DAFFODIL AVE.</u></p> <p>City <u>MCALLEN</u> State <u>TX</u> Zip <u>78501</u></p> <p>Contact Person <u>DAVID</u></p> <p>E-mail <u>dsalinas@salinasengineering.com</u></p>
Surveyor	<p>Name <u>SAME AS OWNER</u> Phone _____</p> <p>Address _____</p> <p>City _____ State _____ Zip _____</p>

ENTERED

OCT 12 2022

Initial: NM

LG.

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- _____ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- _____ Title Report
- _____ 8 ½" by 11" Original Sealed Survey showing existing structures/ easements or 3 blueline copies
- _____ 2 Location Maps
- _____ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- _____ 6 Folded blueline prints of the proposed plat
- _____ 2 Warranty Deeds (Identifying owner on application)
- _____ Autocad 2005 DWG file and PDF of plat
- _____ Letter of Authorization from the owner, if applicable
- _____ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 10/6/22

Print Name David D O'Neil Salinas

Owner ☐

Authorized Agent ☒

VAR 2023-0012



City of McAllen

311 North 15th Street
McAllen, TX 78501
P. O. Box 220

Planning Department

VARIANCE TO SUBDIVISION PROCESS APPLICATION

McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project	<p>Legal Description <u>False! Subdivision</u> <u>0.16 AC. BEING AN ABANDONED 50.0'</u> <u>STRIP OF LAND O/O ZAPATA SUBD., MENARD</u></p> <p>Street Address <u>NOT YET ASSIGNED</u></p> <p>Number of lots <u>1</u> Gross acres <u>0.16</u></p> <p>Existing Zoning <u>R-1</u> Existing Land Use <u>OPEN</u></p> <p><input checked="" type="checkbox"/> Current Survey and Metes and Bounds (if the legal description of the tract is a portion of a lot) is required</p>
Applicant	<p>Name <u>PATRICIA SALAZAR</u> Phone <u>818-617-5721</u></p> <p>Address <u>13652 1/2 DROWFIELD AVE.</u> E-mail _____</p> <p>City <u>SYLMAR</u> State <u>CA</u> Zip <u>91342</u></p>
Owner	<p>Name <u>SAME AS APPLICANT</u> Phone _____</p> <p>Address _____ E-mail _____</p> <p>City _____ State _____ Zip _____</p>
Authorization	<p>To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated?</p> <p><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.</p> <p>Signature <u>[Signature]</u> Date <u>5/5/23</u></p> <p>Print Name <u>DAVID SALINAS, P.E.</u> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Authorized Agent</p>
Office	<p>*FOR OFFICE USE ONLY*</p> <p>APPLICATION FILING FEE: <input type="checkbox"/> \$250.00</p> <p>Accepted by <u>ICF</u> Payment received by _____ Date _____</p> <p>Rev 06/21</p> <p style="text-align: right;">ENTERED MAY 09 2023</p> <p style="text-align: right;">Name: <u>NM</u></p>



City of McAllen
Planning Department
REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: (If necessary, please use an additional page to complete responses)

**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

FORMER CITY STREET ABANDONED BY CITY
AND PURCHASED BY PATRICIA SALAZAR.

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

FORMER CITY STREET NOW ABANDONED WAS
NOT IMPROVED IN ACCORDANCE W/ CITY CODES.
ZAPATA SUBD. WAS PLATTED IN 1947 AND PLAT
DOES NOT MEET CURRENT CITY SUBD. STDS.
AND/OR REQUIREMENTS.

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

FORMER CITY STREET IS SURROUNDED BY 51 LOTS
THAT DO NOT HAVE OR MEET CURRENT CITY
RULES.

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

FORMER CITY STREET IS THE (WAS) SOLE REMAINING
OPEN TRACT OF LAND W/IN THIS SUBD. THERE
ARE NO UNDEVELOPED OR UN-IMPROVED LOTS
W/IN THIS SUBD.

VARIANCE REQUESTS

Sidewalks and Additional Street ROW

May 09, 2023

Proposed Lot 1, Felis Subdivision is a proposed single family home subdivision located about midway within Zapata Subdivision, McAllen, Hidalgo County. Zapata Subdivision was originally recorded in 1947 and consists of 51 residential lots, and, one 50' foot east/west street ROW that was never opened, named or improved. This subdivider purchased from the City this street ROW and is now platting that tract for the construction of one single family home. Zapata Subdivision does not have sidewalks and the existing street ROW (S. 1st. Street) consists of 30.0 feet of right-of-way. All lots within Zapata Subdivision have been improved with residential construction on 30' of street right-of-way. The only "vacant" tract within this subdivision was the previously owned "city street" now owned by the subdivider.

The Subdivision is requesting the following variances:

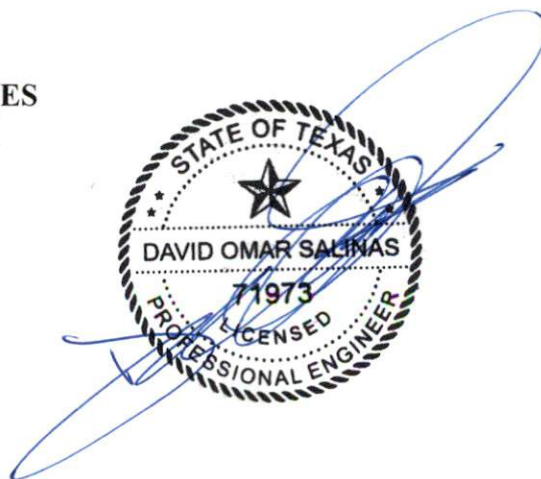
1. Not to provide sidewalks. This subdivision does not have any sidewalks either along S. 1st. Street or Ridge Road;
2. Not to provide any additional street ROW. This 1947 plat was platted with 30 feet of street ROW. The adjacent owner to the east along the long frontage of S. 1st. Street is the golf course. The only logical place to acquire additional ROW for a new ROW of 50.0 feet would be along the entire east side. It is unclear if there is sufficient room along the east side to acquire the additional 20.0 feet of ROW for a total of 50.0 feet without acquiring the additional ROW from the golf course.

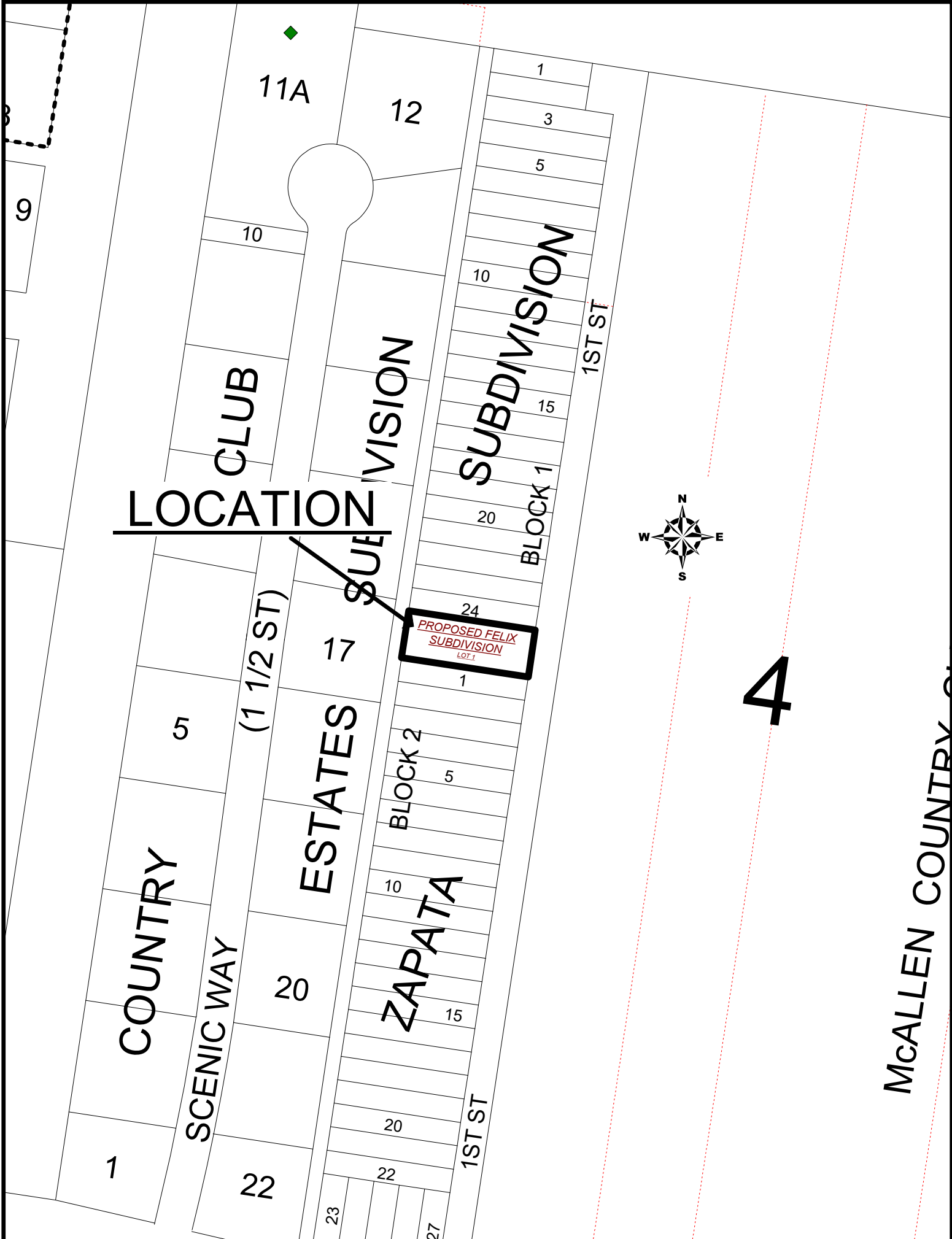
Please advise if you have any questions. Thank you.

David Omar Salinas, P.E.
Plat Engineer

SALINAS ENGINEERING & ASSOCIATES
2221 Daffodil Ave., McAllen, Texas, 78501
(956) 682-9081
dsalinas@salinasengineering.com

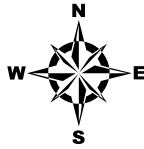
n:\subdivisionplats\haciendaloscantu\variancerequest.001.050923





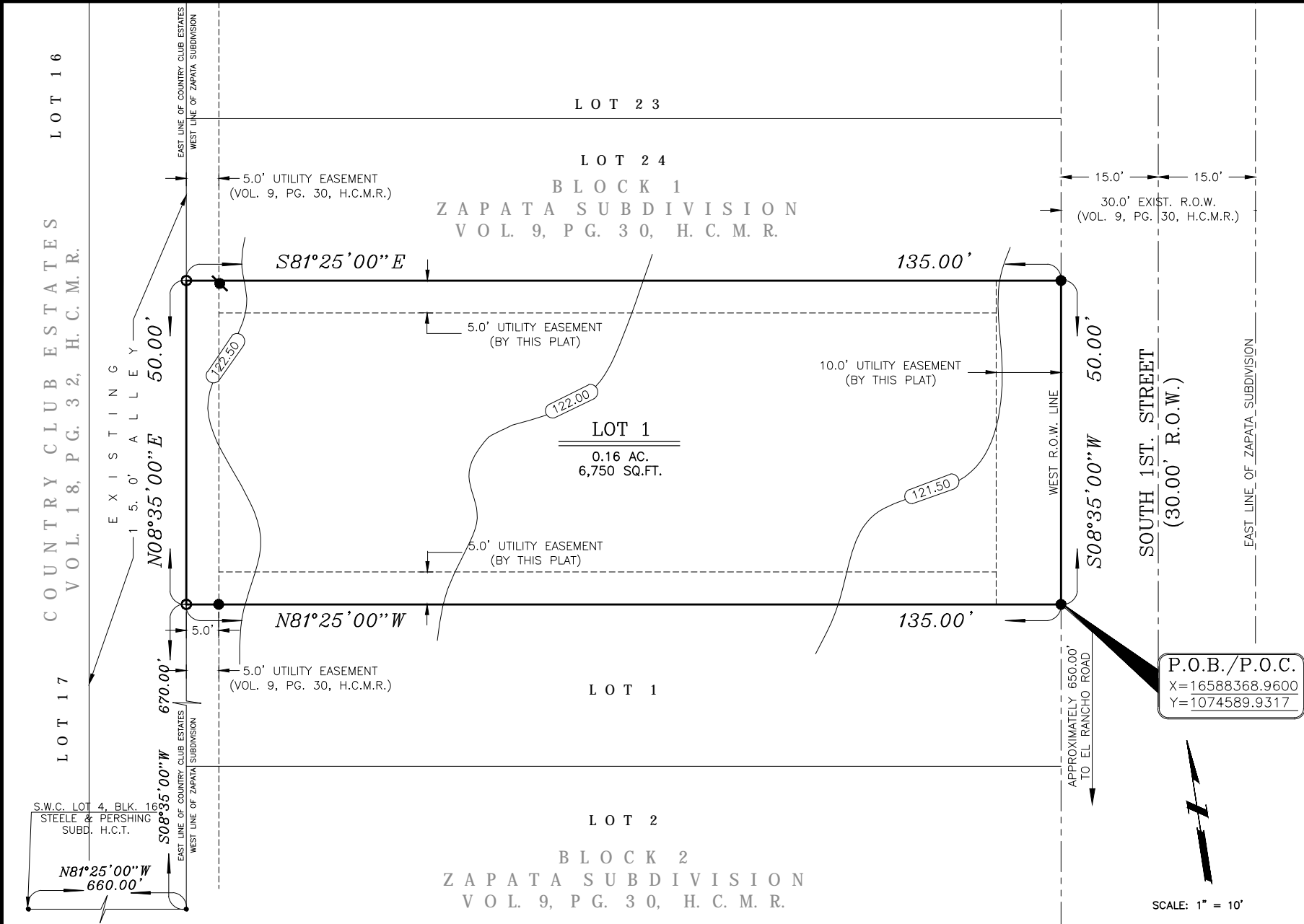
LOCATION

PROPOSED FELIX
SUBDIVISION
LOT 1



4

McALLEN COUNTRY



STATE OF TEXAS
COUNTY OF HIDALGO

WE, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS FELIX SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAMES ARE SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

OWNER: PATRICIA SALAZAR
13652 1/2 DRONFIELD AVE.
SYLMAR, CALIFORNIA. 91342-1488

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED PATRICIA SALAZAR, KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY
OF _____, 2023.

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS
MY COMMISSION EXPIRES. _____

STATE OF TEXAS
CITY OF McALLEN

I, THE UNDERSIGNED, MAYOR OF THE CITY McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR _____ DATE _____

STATE OF TEXAS
CITY OF McALLEN

I, THE UNDERSIGNED CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN,
PLANNING AND ZONING COMMISSION

DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, DAVID OMAR SALINAS, P.E., A REGISTERED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, REGISTRATION NUMBER TX. 71973, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

DAVID OMAR SALINAS, P.E.
REG. PROFESSIONAL ENGINEER #71973

DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, DAVID O. SALINAS, THE UNDERSIGNED A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

DAVID O. SALINAS, R.P.L.S.
REG. PROFESSIONAL LAND SURVEYOR #5782

DATE _____

APPROVED BY DRAINAGE DISTRICT:

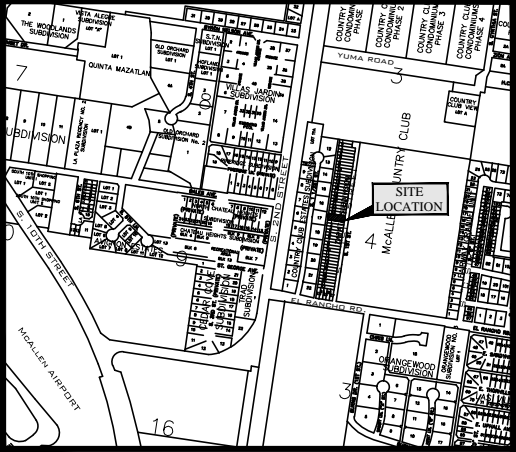
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE _____

DISCLAIMER: THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW BY THE CITY OF McALLEN ONLY & BY NO OTHERS UNDER THE AUTHORITY OF DAVID OMAR SALINAS, P.E., TX REG. NO. 71973 ON APRIL 17, 2023. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.



LOCATION MAP

SCALE : 1" = 1000'

METES AND BOUNDS DESCRIPTION

BEING A RECTANGULARLY SHAPED 0.16 ACRE (OR 6,750.0 SQ. FT.) TRACT OF LAND, MORE OR LESS, CONSISTING OF ALL OF THAT CERTAIN 50.0 FOOT STRIP OF UN-NAMED UN-OPEN STREET LOCATED BETWEEN LOTS 1, BLOCK 2 AND LOT 24, BLOCK 1, ZAPATA SUBDIVISION, McALLEN, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 09, PAGE 30, MAP RECORDS OF HIDALGO COUNTY, TEXAS; SAID 0.16ACRE TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A ½ INCH DIAMETER IRON ROD FOUND ON THE NORTHEAST CORNER OF SAID LOT 1, BLOCK 2, LOCATED ON INTERSECTION WITH THE EAST LINE OF SAID 50.0 FOOT STRIP AND THE WEST RIGHT-OF-WAY LINE OF SOUTH 1ST. STREET FOR THE SOUTHEAST CORNER AND **POINT OF BEGINNING** OF THIS HEREIN DESCRIBED TRACT;

(1) THENCE, NORTH 81 DEGREES 25 MINUTES WEST, COINCIDENT WITH THE NORTH LINE OF SAID LOT 1, BLOCK 2 AND THE SOUTH LINE OF SAID UN-NAMED UN-OPENED STREET, A DISTANCE OF 135.0 FEET TO A ½ INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" SET ON INTERSECTION WITH THE EAST LINE OF THAT CERTAIN 15.0 FOOT ALLEY FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;

(2) THENCE, NORTH 08 DEGREES 35 MINUTES EAST, WITH THE NORTERLY PROJECTION OF THE WEST LINE OF SAID LOT 1, BLOCK 2 SAME BEING THE EAST RIGHT-OF-WAY LINE OF SAID ALLEY, A DISTANCE OF 50.0 FEET TO A ½ INCH DIAMETER IRON ROD WITH YELLOW CAP MARKED "SEA 5782" SET ON THE SOUTHWEST CORNER OF SAID LOT 24, BLOCK 1 FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;

(3) THENCE, SOUTH 81 DEGREES 25 MINUTES EAST, COINCIDENT WITH THE SOUTH LINE OF SAID LOT 24, BLOCK 1 AND THE NORTH LINE OF SAID UN-NAMED UN-OPENED STREET, A DISTANCE OF 135.0 FEET TO A ½ INCH DIAMETER IRON PIPE FOUND ON THE SOUTHEAST CORNER OF SAID LOT 1, BLOCK 24 LOCATED ON INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF SAID SOUTH 1ST. STREET FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;

(4) THENCE, SOUTH 08 DEGREES 35 MINUTES WEST, WITH THE SOUTHERLY PROJECTION OF THE EAST LINE OF SAID LOT 24, BLOCK 1 SAME BEING THE WEST RIGHT-OF-WAY LINE OF SAID SOUTH 1ST. STREET, A DISTANCE OF 50.0 FEET TO THE **POINT OF BEGINNING**, CONTAINING 0.16 ACRES OF LAND, MORE OR LESS.

GENERAL PLAT NOTES:

- MINIMUM SETBACK LINES = FRONT: 25.0 FT. OR GREATER FOR EASEMENTS OR OR IN LINE WITH EXISTING STRUCTURES, WHICHEVER IS GREATER.
SIDE: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS.
REAR: 10.0 FT. OR GREATER FOR EASEMENTS.
GARAGE: 18.0 FT. EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES.
- LANDS CONTAINED WITHIN THIS SUBDIVISION LIE IN ZONE "C" (UNSHADED) ACCORDING TO THE FIRM (FLOOD INSURANCE RATE MAP) DATED NOV. 2, 1982, COMMUNITY PANEL NO. 480343 0010 C. ZONE "X" (UNSHADED) DEFINED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN.
- MINIMUM FINISHED FLOOR ELEVATION ON ALL NEW CONSTRUCTION SHALL BE A MINIMUM OF 18.0 INCHES ABOVE THE TOP OF THE ROAD AS MEASURED FROM THE CENTER OF THE LOT ALONG NORTH ROUTH ROAD
- MINIMUM 4 FT. WIDE SIDEWALK IS REQUIRED ALONG S. 1ST STREET.
- THIS SUBDIVISION PLAT SHALL BE REQUIRED TO DETAIN A TOTAL OF 359.95 CUBIC FEET, OR, 0.008 ACRE-FEET OF DRAINAGE RUNOFF VOLUME.
- THE CONSTRUCTION OF ANY STRUCTURES ON OR WITHIN ANY UTILITY EASEMENTS SHALL BE PROHIBITED.

PRINCIPAL CONTACTS

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER: PATRICIA SALAZAR	13652 1/2 DRONFIELD AVE.	SYLMAR, CALIFORNIA 91342-1488	(818) 617-5721	NONE
ENGINEER: DAVID O. SALINAS	2221 DAFFODIL AVE.	McALLEN, TEXAS 78501	(956) 682-9081	(956) 686-1489
SURVEYOR: DAVID O. SALINAS	2221 DAFFODIL AVE.	McALLEN, TEXAS 78501	(956) 682-9081	(956) 686-1489

STATE OF TEXAS
HIDALGO COUNTY IRRIGATION DISTRICT No. 2
THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 ON THIS, THE _____ DAY OF _____, 2023.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 RIGHTS OF WAY OR EASEMENTS.

ATTEST: _____
PRESIDENT SECRETARY

FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUARDADO JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____

OF MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

FELIX SUBDIVISION

PREPARED BY: SALINAS ENGINEERING & ASSOC.
DATE OF PREPARATION: APRIL 17, 2023
JOB NUMBER: SP-22-25907

OWNER: PATRICIA SALAZAR
13652 1/2 DRONFIELD AVE.
SYLMAR, CALIFORNIA. 91342-1488

SEA
SALINAS ENGINEERING & ASSOC.
(F-6675) (TBPLS-10065700)
CONSULTING ENGINEERS & SURVEYORS
2221 DAFFODIL AVE. McALLEN, TEXAS 78501
(956) 682-9081 (956) 686-1489 (FAX)
TBPLS 12100 PARK 35 CIRCLE BLDG. A, SUITE 156, MC-230, AUSTIN, TEXAS 78753 (512) 239-5263



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/2/2023

SUBDIVISION NAME: FELIX SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

South 1st Street: Dedication as needed for 25 ft. from centerline for 50 ft. Total ROW.(Existing 30 ft. total ROW)

Paving: 32 ft. (Existing Approximately 18.3 ft.) Curb & gutter: Both Sides

*Engineer submitted a variance application on May 5, 2023, to maintain the existing 30 ft. ROW and existing paving of approximately 18.3 ft., and not require sidewalk on S. 1st Street. As per the submitted survey there is an existing ROW of 30 ft. and approximately 18.3 ft. of paving with no curb and gutter or sidewalk. The subdivision is scheduled to be heard in revised preliminary form by the Planning and Zoning Commission on June 6, 2023, subject to the conditions noted, and clarification of the Board on the variance request. The variance request is scheduled to be heard by the City Commission on June 12, 2023.

Revisions needed:

-Please label centerline on plat prior to final.
requirements was submitted on

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

**Monies must be escrowed if improvements are not constructed prior to recording.

* 1,200 ft. Block Length.

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts.

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac .

**Subdivision Ordinance: Section 134-105

Non-compliance

Applied

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial and multi-family properties.

**Subdivision Ordinance: Section 134-106

NA

SETBACKS

* Front: 25 ft. or greater for easements or inline with average setback of existing structures, whichever is greater applies.

**Zoning Ordinance: Section 138-356

* Rear:10 ft. or greater for easements.

**Zoning Ordinance: Section 138-356

* Sides:6 ft. or greater for easements.

Revisions needed:

-Revise note as shown above or clarify prior to final.

*Proposing Sides: In accordance with the Zoning Ordinance, or greater for easements.

**Zoning Ordinance: Section 138-356

* Corner: 10 ft. or greater for easements.

**Zoning Ordinance: Section 138-356

Applied

Applied

Non-compliance

Applied

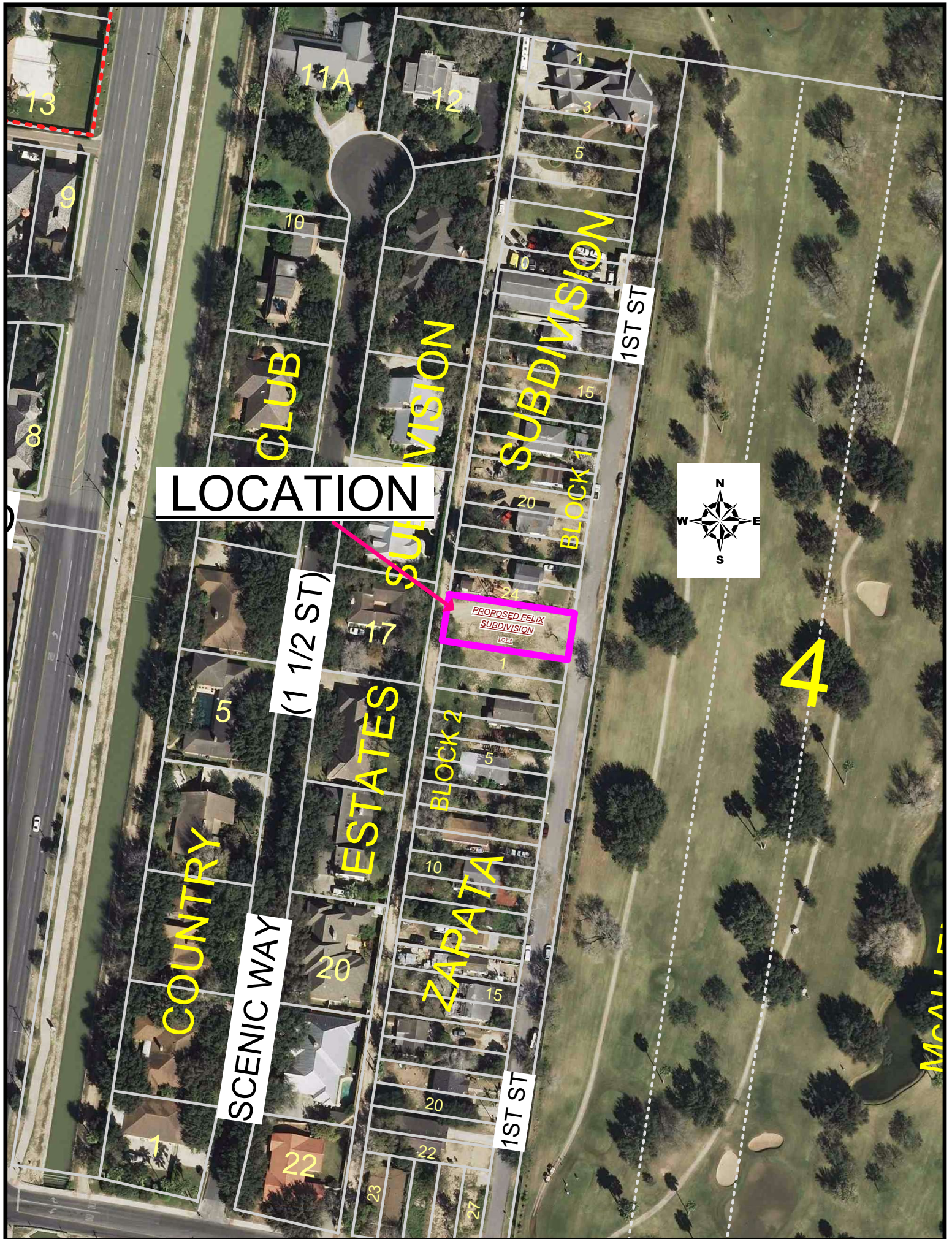
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

* Garage: 18 ft., except where greater setback is required, greater setback applies. **Zoning Ordinance: Section 138-356	Applied
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 4 ft. wide minimum sidewalk required along S. 1st Street. *Engineer submitted a variance application on May 5, 2023, to maintain the existing 30 ft. ROW and existing paving of approximately 18.3 ft., and not require sidewalk on S. 1st Street. As per the submitted survey there is an existing ROW of 30 ft. and approximately 18.3 ft. of paving with no curb and gutter or sidewalk. The subdivision is scheduled to be heard in revised preliminary form by the Planning and Zoning Commission on June 6, 2023, subject to the conditions noted, and clarification of the Board on the variance request. The variance request is scheduled to be heard by the City Commission on June 12, 2023. ** If the variance to sidewalk requirement is approved by the City Commission, the sidewalk note must be removed from the plat prior to final. ** If the variance to sidewalk requirement is disapproved by the City Commission, Sidewalk requirements may increase to 5 ft. as per the Engineering Department requirements. ***Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time.	Non-compliance
	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
NOTES	
*Must comply with City Access Management Policy	Applied
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	NA
* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.	Applied
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. ***Section 110-72 applies if public subdivision is proposed. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Homeowner's Association Covenants must be submitted for staff review, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. *****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168 	NA
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets. **Subdivision Ordinance: Section 134-1 	Applied
<ul style="list-style-type: none"> * Minimum lot width and lot area. **Zoning Ordinance: Section 138-356 	Applied
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: R-1 (Single-Family) Residential Proposed: R-1 (Single-Family) Residential ***Zoning Ordinance: Article V 	Applied
<ul style="list-style-type: none"> * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V 	NA
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. 	NA
<ul style="list-style-type: none"> * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, In accordance with McAllen's Park Land Dedication and Park Development Fees Ordinance, Park fees apply at a rate of \$700 per dwelling unit and payable prior to plat recording. If it's only one single family home then the fee is \$700. 	Required
<ul style="list-style-type: none"> * Pending review by the City Manager's Office. 	NA
TRAFFIC	
<ul style="list-style-type: none"> * As per Traffic Department, Trip Generation for 1 lot subdivision will be waived. 	Applied
<ul style="list-style-type: none"> * Traffic Impact Analysis (TIA) required prior to final plat. ** As per Traffic Department, Trip Generation for 1 lot subdivision will be waived. 	NA
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> -Please add the legal description of the adjacent property on the east side of S. 1st Street prior to final. -S.1st Street name on the location map is not legible. Please use a more zoomed in location map, and add the north arrow prior to recording. *Must comply with City's Access Management Policy. 	Required
RECOMMENDATION	
STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, AND CLARIFICATION OF THE BOARD'S RECOMMENDATION ON THE VARIANCE REQUESTS.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



LOCATION

(1 1/2 ST)

PROPOSED FELIX
SUBDIVISION
LOT 1



4

SUB 2023-0048



City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Casa Corsica Subdivision</u>	
	Location <u>McAllen, TX</u>	
	City Address or Block Number <u>3700 N. WARE RD</u>	
	Number of Lots <u>6</u> Gross Acres <u>9.073 Ac.</u> Net Acres <u>9.073 Ac.</u> ETJ <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
	Existing Zoning <u>C-3</u> Proposed Zoning <u>C-3</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____	
	Existing Land Use <u>Agriculture</u> Proposed Land Use <u>Commercial</u> Irrigation District # _____	
	Replat <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Commercial <input checked="" type="checkbox"/> Residential _____	
	Agricultural Exemption <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Estimated Rollback Tax Due <u>26,893.03</u>	
	Parcel # <u>1444188</u> Tax Dept. Review <u>MP</u>	
	Water CCN <input type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____	
Legal Description <u>LA LOMITA (HOIT) 9.073AC AN IRR TR S799.55'-N849.82' EXC AN IRR TR E184.70'-N289.06' LOT 117 7.866 AC NET</u>		
Owner	Name <u>Christian A. McClendon - Graco Real Estate, Authorized Agent For: SB MCALLEN, LTD. and 34TH AND SONCY #2, LTD.</u> Phone <u>806-745-9718</u>	
	Address <u>5307 W. Loop 289, Suite 302</u> E-mail <u>Christy@gracorealestate.com</u>	
	City <u>Lubbock</u> State <u>TX</u> Zip <u>79414</u>	
Developer	Name <u>Graco Real Estate</u> Phone <u>806-745-9718</u>	
	Address <u>5307 W. Loop 289, Suite 302</u> E-mail <u>Tyler@gracorealestate.com</u>	
	City <u>Lubbock</u> State <u>TX</u> Zip <u>79414</u>	
	Contact Person <u>Tyler Parr</u>	
Engineer	Name <u>Kimley-Horn</u> Phone <u>972-471-9403</u>	
	Address <u>2600 N. Central Expressway, Suite 400</u> E-mail <u>Caleb.Jones@kimley-horn.com</u>	
	City <u>Richardson</u> State <u>TX</u> Zip <u>75080</u>	
	Contact Person <u>Caleb Jones</u>	
Surveyor	Name <u>John G. Mosier</u> Phone <u>210-541-9166</u>	
	Address <u>10101 Reunion Place, Suite 400</u> E-mail <u>Greg.Mosier@kimley-horn.com</u>	
	City <u>San Antonio</u> State <u>TX</u> Zip <u>78216</u>	

ENTERED

KF

MAY 11 2023

Name: MM

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in PDF format. No scanned documents

*Please submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature Christian A. McClendon Date 4/17/2023

Print Name Christian A. McClendon

Owner ☐ Authorized Agent ☐

The Planning Department is now accepting DocuSign signatures on application

LOCATION

COVENANT CHRISTIAN SUBD
PH2
LOT 1

PRIMROSE AVE

PROPOSED JUST
SUBDIVISION
-02

PRIMROSE AV

-01 LA

PUERTA DEL SOL ESTATES
ORCHID AVE
SUBDIVISION

MCALLEN
TOWNE
CENTER
SUBDIVISION

M.I.S.D. SUBD NO 14
LOT 1

LOMITA

PROPOSED PARKE A
SUBDIVISION



NOLANA AVE

PROPOSED CASA CORSI
SUBDIVISION

WARE ROAD

KERRIA AVE

PALM

ESTATES

38TH ST

JONQUIL AV

IRIS AVE

HIBISCUS AVE

FIRE-CHECK
2
SUBD. PHASE I

GARDENIA AVE

JONQUIL AVE

PONDEROSA

GERANIUM AVE

PHASE 6

GARDENIA AVE

PONDEROSA

FERN AVE

PARK

117

SUBDIVISION

PHASE 5

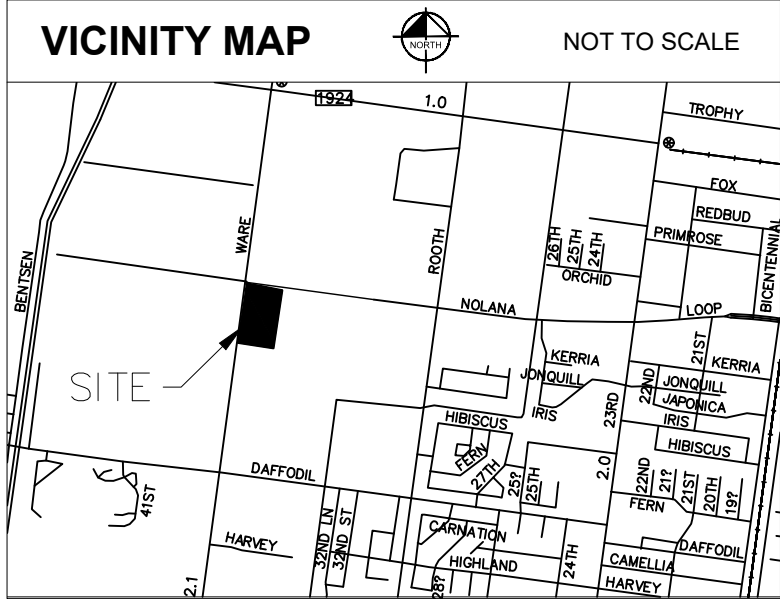
PONDEROSA

KERRIA AVE

PHASE 2

PONDEROSA

MCAULIFFE EL
SCHOOL M
NO. 7 LO
123



**A METES AND BOUNDS
DESCRIPTION OF
A 9.073 ACRE TRACT**

BEING a 9.073 acre (395,210 square feet) tract of land situated in the Jose De La Cerda Survey No. 61, Abstract No. 29 and the Francisco Guajardo Survey No. 62, Abstract No. 35, City of McAllen, Hidalgo County, Texas; being a portion of Lot 117 of La Lomita Irrigation & Construction Co. Subdivision, plat of which is recorded in Volume 24, page 67-69 of the Deed Records of Hidalgo County, same being a portion of that certain 9.073 acre tract described in instrument to SB McAllen, LTD, recorded in Document No. 2022-3356741 of the Official Public Records of Hidalgo County; and of that certain 1.207 acre tract described in instrument to 34th and Soncy No. 2, LTD, recorded in Document No. 2022-3356751 of the Official Public Records of Hidalgo County; and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with cap stamped "FNM" found on the southerly line of Nolana Loop (variable width public right-of-way), same being the southerly line of that certain 0.97 acre tract described in the Special Warranty Deed to the City of McAllen in Document 1996-553386 of the Official Public Records of Hidalgo County, and marking the northwest corner of a called 2.70 acres, described as Tract 2 in the Contribution Special Warranty Deed to Ponderosa Investors, LTD in Document No. 2021-3208223 of the Official Public Records of Hidalgo County, for the northeast corner of the herein described tract;

THENCE, South 08°34'53" West, 799.55 feet along the westerly line of the said 2.70 acre Tract 2, and the west line of Ponderosa Park Subdivision, Phase 5, plat of which is recorded in Volume 34, Page 31 of the Map Records of Hidalgo County, to a 1/2-inch iron rod found marking the southwest corner of Lot 29 of said Phase 5;

THENCE, North 81°24'04" West, 490.46 feet along the northerly line of Ponderosa Park Subdivision, Phase 6, plat of which is recorded in Volume 37, Page 66 of the Map Records of Hidalgo County to a 1/2-inch iron rod with orange plastic cap found on the easterly line of Ware Road (F.M. 2220 - 120 foot wide public right-of-way), marking the northwest corner of Lot 8 of said Phase 6;

THENCE, North 08°31'46" East, 744.61 feet along the easterly right-of-way line of said Ware Road to a 1/2-inch iron rod with a yellow plastic cap found for corner;

THENCE, along a cutback corner at the intersection with the southerly right-of-way line of Nolana Loop (variable width public right-of-way) and easterly right-of-way line of said Ware Road, the following two (2) courses and distances:

1. North 53°31'35" East, 70.71 feet to a 1/2-inch iron rod with a yellow plastic cap found for corner;
2. North 08°26'11" East, 20.50 feet to a 1/2-inch iron rod found for corner;

THENCE, along the southerly right-of-way line of said Nolana Loop the following two (2) courses and distances:

1. South 81°07'05" East, 128.32 feet to a 1/2-inch iron rod found for corner;
2. South 78°36'34" East, 300.32 feet to a 1/2-inch iron rod found for corner;
3. South 79°50'43" East, 12.98 feet to the **POINT OF BEGINNING** and containing 9.073 acres of land in Hidalgo County, Texas. The basis of this description is the Texas State Plane Coordinate System, South Zone (FIPS 4205) (NAD'83). All distances are on the Grid and shown in U.S. Survey Feet. This description was generated on 3/7/2023 at 9:00 PM, based on geometry in the drawing file K:\SNA_Survey\064587306-McAllen Nolana and Ware Rd\DWG\Plats\Casa Corsica Plat.dwg, in the office of Kimley-Horn and Associates in San Antonio, Texas.

SURVEYOR'S NOTES

1. ALL PROPERTY CORNERS ARE MONUMENTED WITH A 1/2-INCH IRON ROD WITH A PLASTIC CAP STAMPED "KHA" UNLESS OTHERWISE NOTED.
2. THE BEARINGS AND COORDINATES SHOWN HEREON ARE TEXAS STATE COORDINATE SYSTEM GRID, SOUTH ZONE (FIPS 4205) (NAD'83), AS DETERMINED BY THE GLOBAL POSITIONING SYSTEM (GPS) POST PROCESSING. THE UNIT OF LINEAR MEASUREMENT IS U.S. SURVEY FEET.

**STATE OF TEXAS
COUNTY OF BEXAR**

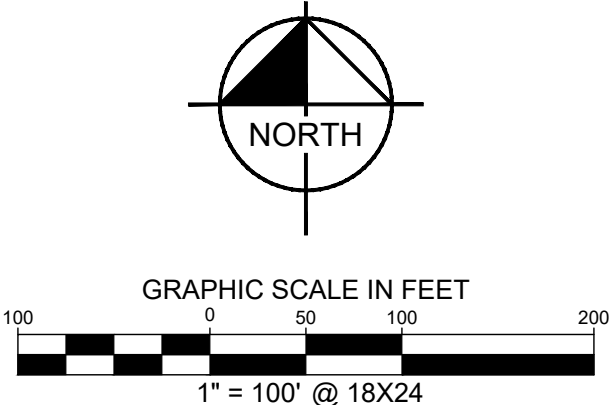
I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY KIMLEY-HORN & ASSOCIATES, INC.

JOHN G. MOSIER, REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6330

**STATE OF TEXAS
COUNTY OF DALLAS**

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE MCALLEN PLANNING COMMISSION.

JONATHAN KERBY, REGISTERED PROFESSIONAL ENGINEER NO. 127734



LEGEND

IRF	1/2" IRON ROD FOUND
IRFC	1/2" IRON ROD W/PLASTIC CAP FOUND
IRSC	1/2" IRON ROD W/PLASTIC CAP STAMPED "KHA" SET
P.O.B.	POINT OF BEGINNING
ROW	RIGHT-OF-WAY
VOL.	VOLUME
PG.	PAGE
DOC.	DOCUMENT
OPRHC	OFFICIAL PUBLIC RECORDS OF HIDALGO COUNTY, TEXAS
MRHC	MAP RECORDS OF HIDALGO COUNTY, TEXAS
---	EXISTING CONTOUR



SHEET 1 OF 1

LINE TABLE			LINE TABLE		
NO.	BEARING	LENGTH	NO.	BEARING	LENGTH
L1	N53°31'35"E	70.71'	L17	S08°34'53"W	15.00'
L2	N08°26'11"E	20.50'	L18	N82°51'37"W	185.00'
L3	S81°07'05"E	128.32'	L19	S08°31'37"W	260.60'
L4	S78°36'34"E	128.11'	L20	N81°28'15"W	2.00'
L5	S78°36'34"E	172.21'	L21	S08°31'46"W	504.23'
L6	S79°50'43"E	12.98'	L22	S81°24'07"E	186.24'
L7	S81°28'14"E	10.76'	L23	S08°34'53"W	15.00'
L8	S08°31'46"W	150.36'	L24	N81°24'04"W	201.22'
L9	S81°28'23"E	26.00'	L25	N08°31'46"E	519.21'
L10	N81°28'14"W	26.00'	L26	S81°28'15"E	2.00'
L11	S81°28'14"E	26.00'	L27	N08°31'36"E	260.24'
L12	S82°51'37"E	30.01'	L28	N82°51'37"W	116.39'
L13	S08°34'53"W	275.09'	L29	N80°04'29"W	139.84'
L14	S81°28'14"E	30.00'	L30	N53°31'35"E	20.71'
L15	N81°28'14"W	222.24'	L31	S80°04'29"E	125.19'
L16	N81°28'23"W	52.00'	L32	S82°51'37"E	316.41'

LOT TABLE		
LOT NO.	ACRES	SQ. FT.
LOT 1	1.899	82,740
LOT 2	1.179	51,353
LOT 3	1.467	63,882
LOT 4	0.983	42,807
LOT 5	2.365	103,008
LOT 6	1.034	45,055
OVERALL BOUNDARY	9.073	395,210
RIGHT-OF-WAY DEDICATION	0.146	6,364

SUBDIVISION PLAT ESTABLISHING
**CASA CORSICA
SUBDIVISION**

BEING A 9.073 ACRE TRACT OF LAND SITUATED IN THE JOSE DE LA CERDA SURVEY NO. 61, ABSTRACT NO. 29, AND THE FRANCISCO GUAJARDO SURVEY NO. 62, ABSTRACT NO. 35, CITY OF MCALLEN, HIDALGO COUNTY, TEXAS; CONTAINING 7.866 OF THAT CERTAIN 9.073 ACRE TRACT DESCRIBED IN INSTRUMENT TO SB MCALLEN, LTD, RECORDED IN DOCUMENT NO. 2022-3356741 OF THE OFFICIAL PUBLIC RECORDS OF HIDALGO COUNTY; AND ALL OF THAT CERTAIN 1.207 ACRE TRACT DESCRIBED IN INSTRUMENT TO 34TH AND SONCY NO. 2, LTD, RECORDED IN DOCUMENT NO. 2022-3356751 OF THE OFFICIAL PUBLIC RECORDS OF HIDALGO COUNTY, TEXAS.

Kimley»Horn

10101 REUNION PLACE, SUITE 400 FIRM # 10193973 TEL. NO. (210) 541-9166
SAN ANTONIO, TEXAS 78216 WWW.KIMLEY-HORN.COM

DRAWN BY	CHECKED BY	DATE PREPARED	PROJECT NO.
DJG	JGM	1/18/2023	068705128

**STATE OF TEXAS
COUNTY OF HIDALGO**

I, THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE CASA CORSICA SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

OWNER/DEVELOPER: CHRISTIAN A. MCCLENDON - GRACO REAL ESTATE
AUTHORIZED AGENT FOR
SB MCALLEN, LTD.
5307 W. LOOP 289, SUITE 302
LUBBOCK, TEXAS, 79414

**STATE OF TEXAS
COUNTY OF LUBBOCK**

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED CHRISTIAN A. MCCLENDON KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE
DATED THIS _____ DAY OF _____ A.D. 20____

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS

**STATE OF TEXAS
COUNTY OF HIDALGO**

I, THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE CASA CORSICA SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

OWNER/DEVELOPER: CHRISTIAN A. MCCLENDON - GRACO REAL ESTATE
AUTHORIZED AGENT FOR
34TH AND SONCY #2, LTD.
5307 W. LOOP 289, SUITE 302
LUBBOCK, TEXAS, 79414

**STATE OF TEXAS
COUNTY OF LUBBOCK**

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED CHRISTIAN A. MCCLENDON KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE
DATED THIS _____ DAY OF _____ A.D. 20____

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN _____ DATE _____

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION _____ DATE _____

FILED FOR RECORD IN HIDALGO COUNTY
ARTURO GUAJARDO, JR. HIDALGO COUNTY CLERK
ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY _____ DEPUTY

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THE SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

RAUL E. SESIN, P.E., C.F.M., GENERAL MANAGER,
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/2/2023

SUBDIVISION NAME: CASA CORSICA SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

N. Ware Road: Dedication as required for 60 ft. from centerline for 120 ft. total ROW
Paving: By the State Curb & gutter: By the State
Revisions needed:
- If 120 ft. ROW is existing please add "existing" to the label, prior to final.
- Show and label CL to establish the ROW requirement for this property, prior to final.
- Show and label the existing ROW on both sides of the centerline, prior to final.
- Reference the document number for the existing ROW from the centerline and provide a copy for staff review, prior to final.
- It's not clear where the boundary for "CALLED EXHIBIT E" ends. Please correct it prior to final.
- All ROW requirements must be addressed prior to final.
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan

Non-compliance

Nolana Avenue: Dedication as required for 60 ft. from centerline for 120 ft. total ROW
Paving: 65 ft. to 85 ft. Curb & gutter: Both sides
Revisions needed:
- Change the street label from "Nolana Loop" to "Nolana Avenue" prior to final.
- If 96 ft. is the existing ROW, add "existing" to the label, prior to final.
- Label the CL to establish the ROW requirement for the property, prior to final.
- Show and label the existing ROW on both sides of centerline, prior to final.
- Reference the document number for the existing ROW on the plat and provide a copy for staff review, prior to final.
- The boundaries of ROW labeled as "CALLED 0.52 ACRES" are not clear. Please correct it prior to final.
- The boundaries of ROW labeled as "CALLED EXHIBIT B" are not clear. Please correct it prior to final.
- Show the ROW from centerline and total ROW after the dedication at various points to show the range, prior to final.
- All ROW requirements must be addressed prior to final.
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan

Non-compliance

Paving _____ Curb & gutter _____
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan
* 1,200 ft. Block Length
**Subdivision Ordinance: Section 134-118
* 900 ft. Block Length for R-3 Zone Districts
**Subdivision Ordinance: Section 134-118
* 600 ft. Maximum Cul-de-Sac
**Subdivision Ordinance: Section 134-105

Applied

Applied

NA

NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft.</p> <ul style="list-style-type: none"> - Proposed: VARIABLE WIDTH ACCESS EASEMENT (TO BE RECORDED BY THIS PLAT) - Revise the label for the access easement to the following prior to final: PRIVATE ACCESS/SERVICE DRIVE EASEMENT (BY THIS PLAT) - Show the width of the access/service drive easement on variance points on the plat, prior to final. - Revise the access/service drive easement layout prior to final as the service drive must loop back and may not be dead-end. - Corner clip of 20 ft. by 20 ft. is needed for a service drive easement. - Access/service drive easement layout must be approved by Fire and Public Works Departments. <p>*Alley/service drive easement required for commercial properties. **Subdivision Ordinance: Section 134-106</p>	Non-compliance
SETBACKS	
<p>* Nolana Avenue/N. Ware Road: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater applies.</p> <ul style="list-style-type: none"> - Add a plat note as shown above, prior to final. <p>**Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Rear: In accordance with the Zoning Ordinance or greater for approved site plan or easements, whichever is greater applies.</p> <ul style="list-style-type: none"> - Add a plat note as shown above, prior to final. <p>**Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Interior Sides: In accordance with the Zoning Ordinance or greater for approved site plan or easements, whichever is greater applies.</p> <ul style="list-style-type: none"> - Add a plat note as shown above, prior to final. <p>**Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Corner: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater applies.</p> <ul style="list-style-type: none"> - Add a plat note as shown above, prior to final. <p>**Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Garage</p> <p>**Zoning Ordinance: Section 138-356</p>	NA
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on N. Ware Road and Nolana Avenue.</p> <ul style="list-style-type: none"> - Add a plat note as shown above prior to final. <p>** Sidewalk requirement might increase to 5 ft. as per the Engineering Department prior to final.</p> <p>**Subdivision Ordinance: Section 134-120</p>	Non-compliance
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Required
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses.</p> <ul style="list-style-type: none"> - Add a plat note as shown above prior to final. <p>**Landscaping Ordinance: Section 110-46</p>	Non-compliance

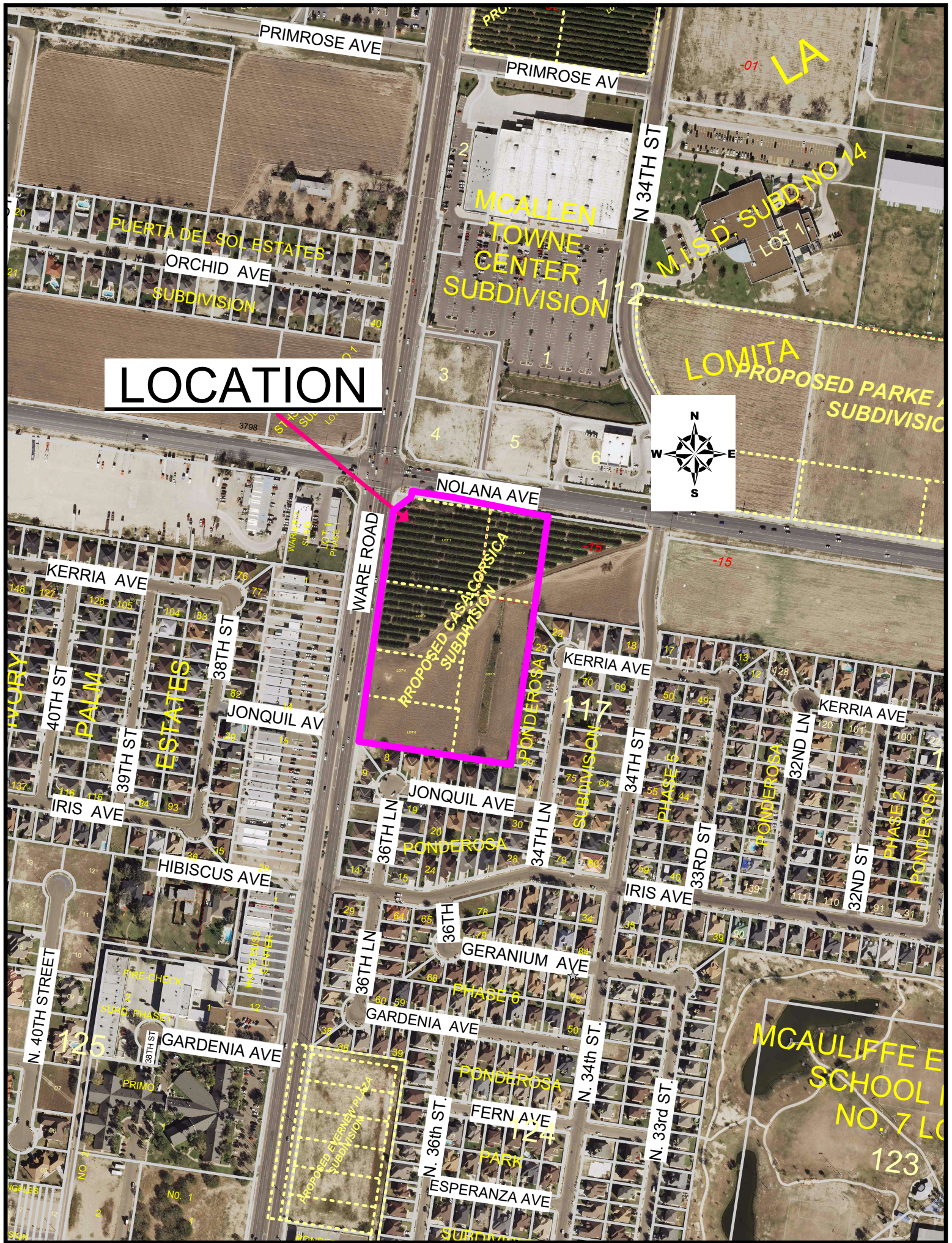
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. - Add a plat note as shown above prior to final. **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements. 	Non-compliance
	Required
NOTES	
<ul style="list-style-type: none"> **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. * Common Areas, any private/service drive easements, etc. must be maintained by the lot owners and not the City of McAllen. - Add a plat note as shown above prior to final. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	Applied
	Required
	Non-compliance
	Applied
	NA
	NA
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets - Revise the plat layout to provide street frontage for Lot 5, prior to final. **Subdivision Ordinance: Section 134-1 * Minimum lot width and lot area **Zoning Ordinance: Section 138-356 	Non-compliance
	Applied
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: C-3 Proposed: C-3 ***Zoning Ordinance: Article V * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V 	Applied
	NA
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. As per the subdivision application submitted on May 11, 2023, the development is proposed to be commercial. Parkland dedication does not apply to commercial developments. * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per the subdivision application submitted on May 11, 2023, the development is proposed to be commercial. Park fee does not apply to commercial developments. * Pending review by the City Manager's Office. 	NA
	NA
	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

TRAFFIC	
* As per Traffic Department, Trip Generation is under review to determine if TIA is required, prior to final plat.	TBD
* Traffic Impact Analysis (TIA) required prior to final plat.	TBD
COMMENTS	
Comments: - Add required plat notes to the plat prior to final. If a second sheet is needed to accommodate the plat notes, please provide it prior to final. - Revise the wording for the easements from "TO BE RECORDED BY THIS PLAT" to "BY THIS PLAT" prior to final. - Provide the legal description of the adjacent property to the east prior to final. *Must comply with City's Access Management Policy.	Non-compliance
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVAL.	Applied

LOCATION





City of McAllen
Planning Department
**APPLICATION FOR
SUBDIVISION PLAT REVIEW**

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

SUB2022-0093

Project Description

Subdivision Name FORTIS PLAZA LAS FUENTES
Location _____
City Address or Block Number 5700 N. 10th ST
Number of lots 1 Gross acres 1.45 Net acres N/A
Existing Zoning C-3 Proposed C-3 Rezoning Applied For ☐ Yes ☒ No Date _____
Existing Land Use VACANT Proposed Land Use COMMERCIAL Irrigation District # 3
Residential Replat Yes ☐ No ☒ Commercial Replat Yes ☒ No ☐ ETJ Yes ☐ No ☒
Agricultural Tax Exempt Yes ☐ No ☒ Estimated Rollback tax due \$
Parcel No. 726295 Tax Dept. Review MRB
Legal Description BLOCK 1 - BEING A 1.70 ACRES OUT OF LOT A1 AND LOT 1B, PLAZA LAS FUENTES, AS PER MAP RECORDED IN VOLUME 55, PG 105, MAP RECORDS OF HIDALGO COUNTY, TEXAS.
BLOCK 2 - BEING A 14.92 ACRES OUT OF LOT A1 AND LOT 1B, PLAZA LAS FUENTES, AS PER MAP RECORDED IN VOLUME 55, PG 105, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

Owner

Name FORTIS LAND HOLDINGS, LLC AND EL PISTALON LLP Phone (956) 682-4775
Address 5111 N. 10TH STREET #324
City McALLEN State TX Zip 78504
E-mail OMAR@OGBUILD.COM

Developer

Name FORTIS LAND HOLDINGS, LLC AND EL PISTALON LLP Phone (956) 682-4775
Address 5111 N. 10TH STREET #324
City McALLEN State TX Zip 78504
Contact Person OMAR GARCIA
E-mail FORTIS LAND HOLDINGS, LLC

Engineer

Name RIO DELTA ENGINEERING Phone (956) 380-5152
Address 921 S. 10TH AVENUE
City EDINBURG State TX Zip 78539
Contact Person IVAN GARCIA P.E., R.P.L.S.
E-mail RIODELTA2004@YAHOO.COM

Surveyor

Name RIO DELTA ENGINEERING Phone (956) 380-5152
Address 921 A. 10TH AVENUE
City EDINBURG State TX Zip 78539

ENTERED

AUG 15 2022

Initial: AM

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- _____ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- _____ Title Report
- _____ 8 ½" by 11" Original Sealed Survey showing existing structures/ easements or 3 blueline copies
- _____ 2 Location Maps
- _____ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- _____ 6 Folded blueline prints of the proposed plat
- _____ 2 Warranty Deeds (Identifying owner on application)
- _____ Autocad 2005 DWG file and PDF of plat
- _____ Letter of Authorization from the owner, if applicable
- _____ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature _____ Date 8/12/22

Print Name Ivan Garcia P.E., R.P.L.S.

Owner ☐

Authorized Agent ☒

VAR2023-0014



City of McAllen

Planning Department

VARIANCE TO SUBDIVISION PROCESS APPLICATION

 311 North 15th Street
 McAllen, TX 78501
 P. O. Box 220

 McAllen, TX 78505-0220
 (956) 681-1250
 (956) 681-1279 (fax)

Project	Legal Description <u>BEING A 1.45 ACRES OUT OF LOT 1A OF "LOT 1A & 1B, PLAZA LAS FUENTES", AS PER MAP RECORDED DOCUMENT #1905892, MAP RECORDS OF HIDALGO COUNTY, TEXAS.</u>
	Street Address _____ Number of lots <u>1</u> Gross acres <u>1.45 ACRES</u> Existing Zoning <u>C-3</u> Existing Land Use <u>VACANT</u> <input type="checkbox"/> Current Survey and Metes and Bounds (if the legal description of the tract is a portion of a lot) is required
Applicant	Name <u>RIO DELTA ENGINEERING</u> Phone <u>(956) 380-5152</u> Address <u>921 S. 10TH AVENUE</u> E-mail <u>RIODELTA2004@YAHOO.COM</u> City <u>EDINBURG</u> State <u>TX</u> Zip <u>78539</u>
Owner	Name <u>FORTIS LAND HOLDINGS LLC</u> Phone <u>(956) 682-4775</u> Address <u>5111 N. 10TH STREET #324</u> E-mail _____ City <u>McALLEN</u> State <u>TX</u> Zip <u>78504</u>
Authorization	To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization. Signature <u>[Signature]</u> Date <u>5/15/23</u> Print Name <u>Omze Garcia</u> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Authorized Agent
Office	*FOR OFFICE USE ONLY* APPLICATION FILING FEE: <input checked="" type="checkbox"/> \$250.00 Accepted by <u>KF</u> Payment received by _____ Date _____ Rev 06/21 MAY 16 2023 BY: <u>CW</u>



City of McAllen

Planning Department

REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: *(If necessary, please use an additional page to complete responses)*

**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

TRACT BEING SUBDIVIDED IS A REPLAT OF A PORTION OF A BIGGER TRACT AND PREVIOUSLY RECORDED SUBDIVISION, WHICH WAS MASTER PLANNED AND SET UP WITH SHARED COMMON ACCESS EASEMENTS FOR THE BENEFIT OF ALL TENANTS.

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

LEGAL ACCESS IS PROVIDED BY THE RECORDED COMMON ACCESS EASEMENT AND THE TRACT BEING SUBDIVIDED DOES NOT ADJOIN 10TH STREET OR DOVE AVENUE.

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

TRACT BEING REPLATED WILL BE USED FOR COMMERCIAL PURPOSES AND ALL ADJOINING TENANTS AND USES ARE COMMERCIAL AS WELL.

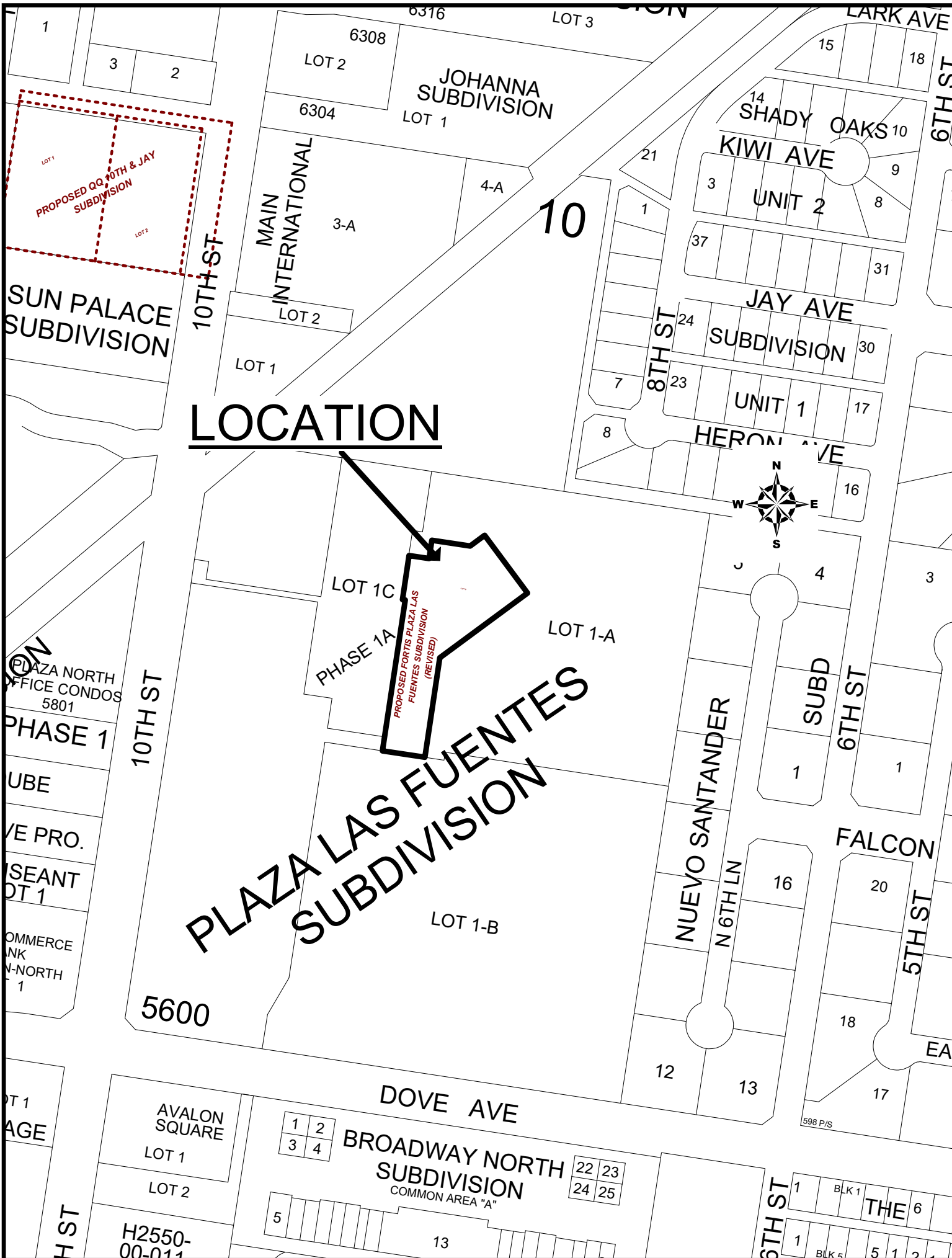
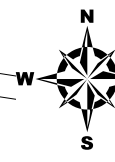
4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

LEGAL ACCESS IS PROVIDED BY THE RECORDED COMMON ACCESS EASEMENT TO ALL TENANTS AND THE VARIANCE IS TO BE ABLE TO CONTINUE USING THE SAME COMMON ACCESS EASEMENT AS ORIGINALLY INTENDED AS PER THE ORIGINAL MASTER PLAN.

LOCATION

PLAZA LAS FUENTES SUBDIVISION

PROPOSED FORTIS PLAZA LAS FUENTES SUBDIVISION (REVISED)



PLAZA LAS FUENTES FORTIS SUBDIVISION

BEING A 1.45 ACRES OUT OF LOT 1A OF "LOT 1A & 1B, PLAZA LAS FUENTES", AS PER MAP RECORDED DOCUMENT # 1905892, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

OWNER'S ACKNOWLEDGMENT STATE OF TEXAS COUNTY OF HIDALGO

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE PLAZA LAS FUENTES FORTIS SUBDIVISION, TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINE, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF MCALLEN, ALL THE SAME, FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

OMAR GARCIA, MANAGER
FORTIS LAND HOLDINGS, LLC
5111 N 10TH STREET #324
MCALLEN, TX 78504

DATE

STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED OMAR GARCIA KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF ____ 2023.

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS
MY COMMISSION EXPIRES ____-____-____

STATE OF TEXAS COUNTY OF HIDALGO PLANNING AND ZONING COMMISSION CHAIR CERTIFICATE

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

PLANNING AND ZONING COMMISSION CHAIRMAN

DATE

STATE OF TEXAS COUNTY OF HIDALGO MAYOR'S CERTIFICATE

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN

DATE

STATE OF TEXAS -- COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

IVAN GARCIA P.E., R.P.L.S.
REG. PROFESSIONAL ENGINEER NO. 115662

LIENHOLDER'S ACKNOWLEDGMENT STATE OF TEXAS COUNTY OF HIDALGO

I (WE), THE UNDERSIGNED, HOLDER(S) (OR DULY AUTHORIZED OFFICERS OF THE HOLDER(S)) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND THE DESIGNATED HEREIN AS THE PLAZA LAS FUENTES FORTIS SUBDIVISION OF THE CITY OF MCALLEN, TEXAS DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

VICTOR HADDAD
LONE STAR NATIONAL BANK
520 E. NOLANA AVE.,
MCALLEN, TEXAS 78504

STATE OF TEXAS COUNTY OF HIDALGO:

BEFORE ME THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED VICTOR HADDAD, AND PROVED TO ME THROUGH HIS TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVERS LICENSE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME, FIRST DULY SWORN AND DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF ____ 2023.

NOTARY PUBLIC IN THE STATE OF TEXAS
MY COMMISSION EXPIRES: ____

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE

PRINCIPAL CONTACTS:

NAME	ADDRESS	PHONE & FAX
OWNER(S): FORTIS LAND HOLDINGS, LLC	5111 N. 10TH STREET #324 MCALLEN, TX. 78504	
SURVEYOR: IVAN GARCIA P.E., R.P.L.S.	921 S. 10TH AVENUE EDINBURG, TX. 78539	(956) 380-5152 (956) 380-5083
ENGINEER: IVAN GARCIA P.E., R.P.L.S.	921 S. 10TH AVENUE EDINBURG, TX. 78539	(956) 380-5152 (956) 380-5083

GENERAL PLAT NOTES:

- MINIMUM PERMISSIBLE FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB IN FRONT OF THE CENTER-POINT OF THE LOT.
- MINIMUM BUILDING SETBACKS SHALL BE AS FOLLOWS:
FRONT (NORTH 10TH STREET): 60 FT. OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS, WHICHEVER IS GREATER APPLIES.
FRONT (DOVE AVENUE): 50 FT. OR GREATER FOR APPROVED SITE PLAN OR EASEMENTS, WHICHEVER IS GREATER APPLIES.
- REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.
- SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.
- THE SUBDIVISION IS IN ZONE "B", AREAS BETWEEN THE LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE FOOT OR WHERE THE CONSTRUCTION DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. MAP COMMUNITY PANELS NO.: 490343.0005 C. MAP REVISED: NOVEMBER 2, 1992.
- A DRAINAGE DETENTION OF 22.033 CF OR 0.51 ACRE FEET IS REQUIRED FOR LOT 1D. DETENTION SHALL COMPLY WITH MASTER DRAINAGE PLAN. THE CITY OF MCALLEN WILL NOT MAINTAIN DETENTION AREA.
- ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT, PRIOR TO ISSUANCE OF BUILDING PERMIT. GRADING MUST COMPLY WITH MASTER PLAN.
- EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, SHEDS, SHRUBS, TREES, AND OTHER PLANTINGS (EXCEPT LOW, GROUND COVER, GRASS OR FLOWERS) AND OTHER OBSTRUCTIONS TO THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- THE CITY OF MCALLEN TO HAVE A 25'X25' CORNER CLIP EASEMENT AT STREET INTERSECTIONS MEASURED FROM STREET CURB INTERSECTION.
- 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ALONG NORTH 10TH STREET AND DOVE AVENUE.
- CITY OF MCALLEN BENCHMARK (MC55-1) - LOCATED AT THE INSIDE ROBIN PARK. THE PARK IS BEHIND FINE GAS STATION THE MONUMENT IS 2 FEET WEST FROM A WOODEN POST AND 118 FEET NORTH FROM C. L. OF ROBIN AVENUE.
- 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES OR GREATER AS PER AGREEMENT.
- ALL UTILITY AND DRAINAGE EASEMENTS TO BE DEDICATED BY THIS PLAT, UNLESS STATED OTHERWISE.
- A MINIMUM 24 FT. PRIVATE SERVICE DRIVE EASEMENT WILL BE ESTABLISHED AS PART OF THE SITE PLAN AND WILL BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF MCALLEN.
- SITE PLAN MUST BE APPROVED BY THE PLANNING & ZONING COMMISSION PRIOR TO ISSUANCE OF BUILDING PERMIT.
- COMMON AREAS, 24' PRIVATE SERVICE DRIVE EASEMENT, ETC., MUST BE MAINTAINED BY THE LOT OWNER AND NOT THE CITY OF MCALLEN.
- A 25 FT. x 25 FT. SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS.



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT: _____ AM/PM

INSTRUMENT NUMBER _____

DATE: MARCH 21, 2023

PROJECT: SUB 22.032

REVISIONS: _____

PAGE NO. _____

BY: _____ DEPUTY

PLAT SHEET
PLAZA LAS FUENTES FORTIS SUBDIVISION
CITY OF MCALLEN
HIDALGO COUNTY, TEXAS

PROJECT :

ENGINEER:
IVAN GARCIA P.E., R.P.L.S.

SURVEYOR:
IVAN GARCIA P.E., R.P.L.S.

CHECKED:
IVAN GARCIA P.E., R.P.L.S.

DRAWN:
EDWIN PENA

SCALE:
AS SHOWN

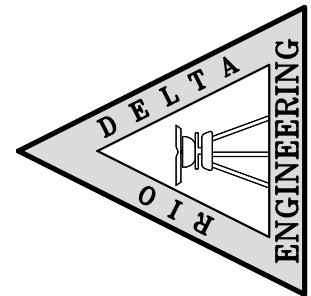
DATE: MARCH 21, 2023

PROJECT: SUB 22.032

REVISIONS: _____

PAGE NO. _____

SHT 2 OF 2



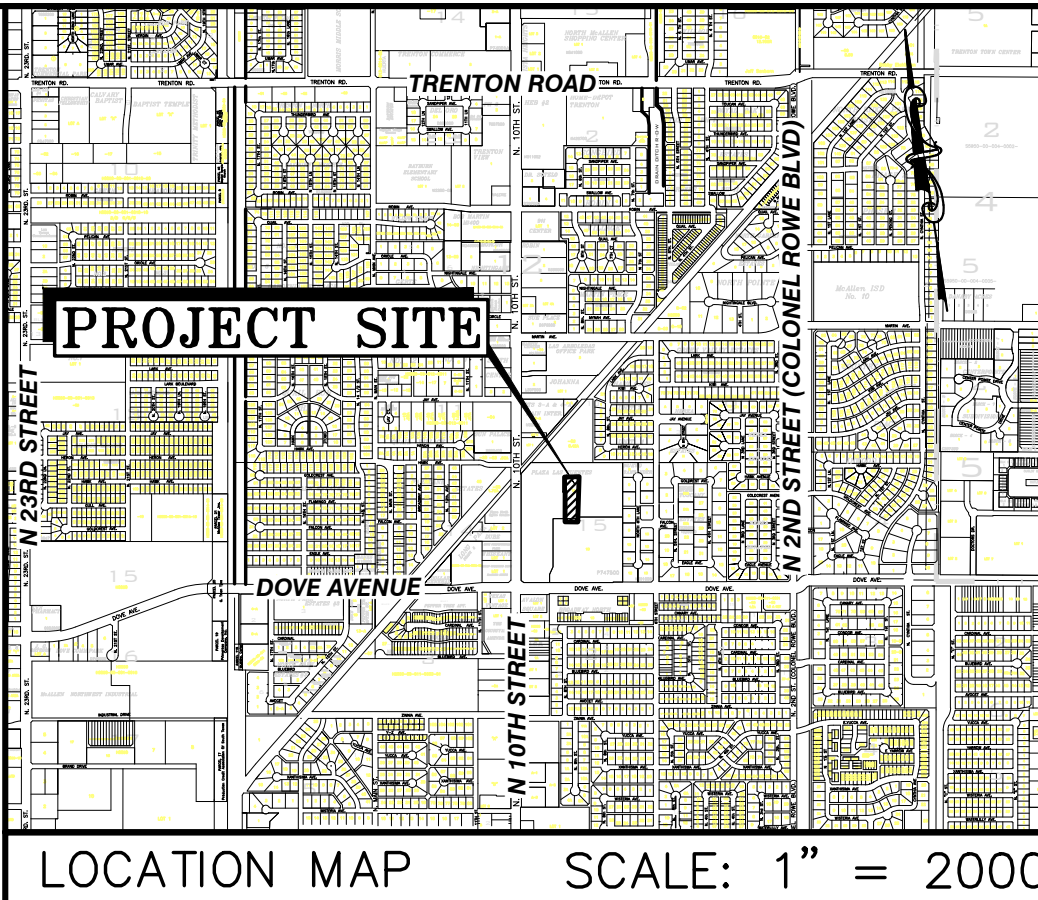
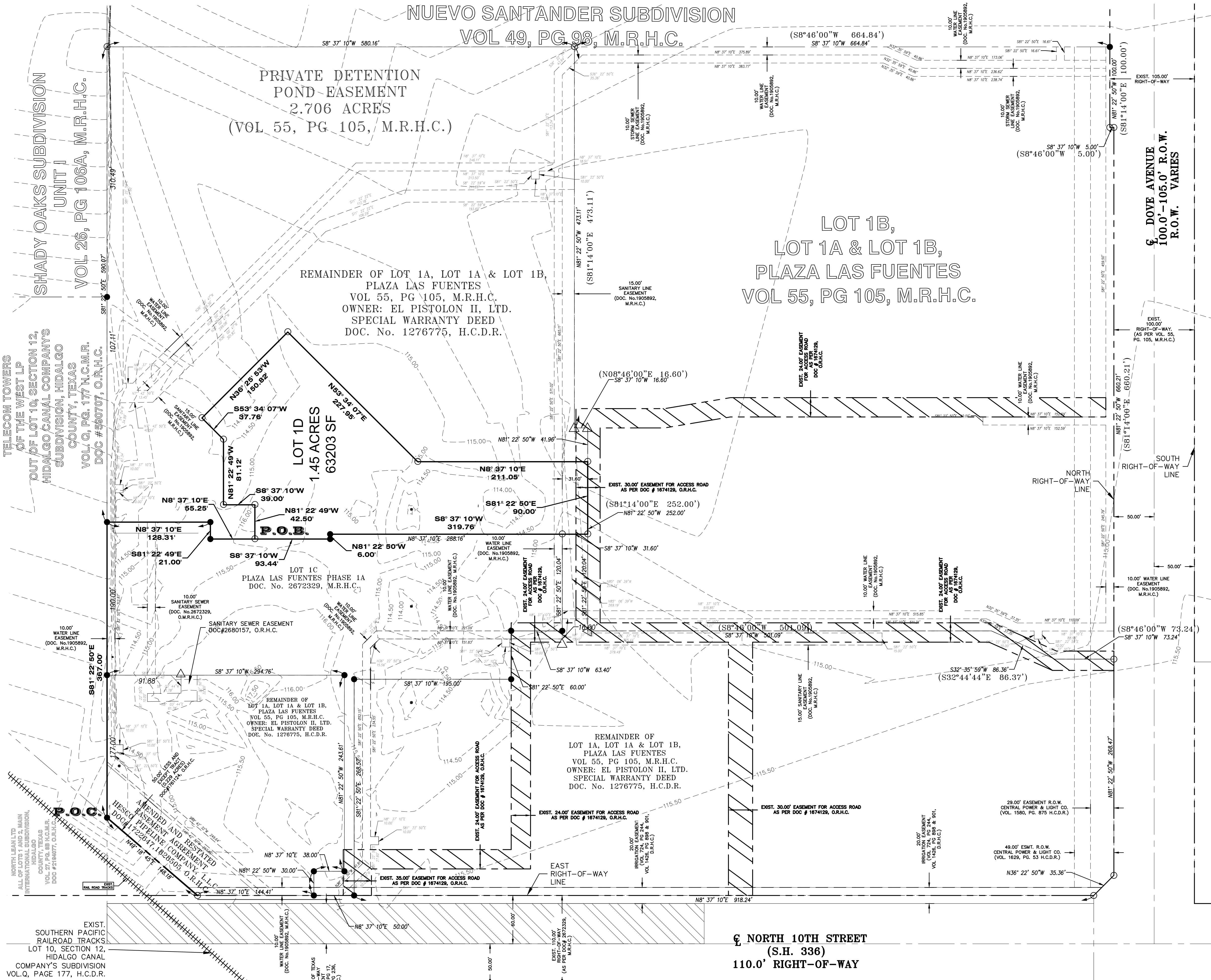
RIO DELTA ENGINEERING

FIRM REGISTRATION No. F-7628
SURVEY FIRM No. 10194027
921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083

ISSUED FOR:
FINAL

PLAZA LAS FUENTES FORTIS SUBDIVISION

BEING A 1.45 ACRES OUT OF LOT 1A OF "LOT 1A & 1B, PLAZA LAS FUENTES", AS PER MAP RECORDED DOCUMENT # 1905892, MAP RECORDS OF HIDALGO COUNTY, TEXAS.



SCALE: 1" = 60'
BEARING BASIS
TX STATE PLANE
COORDINATES NAD 83
TEXAS SOUTH ZONE (4205)
WESTERN DATA
SYSTEMS NETWORK

ABBREVIATION LEGEND	
R.O.W.	RIGHT-OF-WAY
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCING
N.W.C.	NORTHWEST CORNER
F.T.	FARM-TO-MARKET
U.E.	UTILITY EASEMENT
C.L.	CENTER LINE
L.O.	LOT LINE

LEGEND	
○	- CAPPED 1/2" IRON ROD SET
△	- COTTON-PICKER-SPINDLE SET
●	- IRON ROD FOUND
△	- COTTON-PICKER-SPINDLE SET
(XXXX)	- PLAT CALL VOL 55, PG 105, M.R.H.C.
XXXX	- MEASURED
P.O.B.	- POINT OF BEGINNING
P.O.C.	- POINT OF COMMENCING
x	- "x" IN CONCRETE

METES AND BOUNDS DESCRIPTION:

BEING A 1.45 ACRES TRACT OF LAND, MORE OR LESS, OUT OF LOT 1A OF "LOT 1A & 1B, PLAZA LAS FUENTES", AS PER THE MAP OR PLAT THEREOF RECORDED IN DOCUMENT NO. 1905892, MAP RECORDS OF HIDALGO COUNTY, TEXAS, AND SAID 1.45 ACRES TRACT IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 1/2 INCH IRON ROD FOUND ON THE MOST NORTHERLY NORTHWEST CORNER OF SAID LOT 1A:

THENCE S 81°22'50" E ALONG THE NORTH LINE OF SAID LOT 1A, PASSING AT 177.50 FEET A 1/2-INCH IRON ROD FOUND AT THE NORTHWEST CORNER OF LOT 1C OF PLAZA LAS FUENTES PHASE 1A, RECORDING IN DOCUMENT NO. 2672329, MAP RECORDS OF HIDALGO COUNTY, TEXAS, AND CONTINUING FOR A TOTAL DISTANCE OF 367.00 FEET TO A 1/2-INCH IRON ROD FOUND AT THE NORTHEAST CORNER OF THE SAID LOT 1C OF PLAZA LAS FUENTES PHASE 1A;

THENCE S 8°37'10" W ALONG THE EAST BOUNDARY LINE OF THE SAID LOT 1C OF PLAZA LAS FUENTES PHASE 1A, A DISTANCE OF 128.31 FEET TO A CORNER OF THE SAID LOT 1C OF PLAZA LAS FUENTES PHASE 1A;

THENCE S 8°37'10" W ALONG THE EAST BOUNDARY LINE OF THE SAID LOT 1C OF PLAZA LAS FUENTES PHASE 1A, A DISTANCE OF 55.25 FEET TO A CORNER OF THE SAID LOT 1C OF PLAZA LAS FUENTES PHASE 1A;

THENCE S 8°37'10" W ALONG THE EAST BOUNDARY LINE OF THE SAID LOT 1C OF PLAZA LAS FUENTES PHASE 1A, A DISTANCE OF 211.05 FEET TO A CALCULATED POINT, FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT AND THE POINT OF BEGINNING;

THENCE ACROSS THE SAID LOT 1A THE FOLLOWING COURSES:

THENCE S 8°37'10" E, A DISTANCE OF 42.50 FEET TO A CALCULATED POINT;

THENCE N 8°37'10" E, A DISTANCE OF 39.00 FEET TO A CALCULATED POINT;

THENCE S 8°37'10" E, A DISTANCE OF 81.12 FEET TO A CALCULATED POINT;

THENCE N 53°34'07" E, A DISTANCE OF 37.76 FEET TO A CALCULATED POINT;

THENCE S 36°25'53" E, A DISTANCE OF 150.82 FEET TO A CALCULATED POINT;

THENCE S 53°34'07" W, A DISTANCE OF 227.95 FEET TO A CALCULATED POINT;

THENCE S 8°37'10" W ACROSS THE SAID LOT 1A, TO A POINT ON THE SOUTH BOUNDARY LINE OF THE SAID LOT 1A, SAME BEING A POINT ON THE NORTH BOUNDARY LINE OF LOT 1B OF THE SAID LOT 1A & 1B, PLAZA LAS FUENTES, A DISTANCE OF 211.05 FEET TO A CALCULATED POINT, FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 8°37'10" W ALONG THE SOUTH BOUNDARY LINE OF THE SAID LOT 1A, SAME BEING ALONG THE NORTH BOUNDARY LINE OF SAID LOT 1B, A DISTANCE OF 90.00 FEET TO A CALCULATED POINT, FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 8°37'10" E IN PART ACROSS THE SAID LOT 1A, SAME BEING IN PART ALONG THE EAST BOUNDARY LINE OF THE SAID LOT 1C OF PLAZA LAS FUENTES PHASE 1A, A DISTANCE OF 319.76 FEET TO A CALCULATED POINT, A CORNER OF THE SAID LOT 1C OF PLAZA LAS FUENTES PHASE 1A, FOR A CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 8°37'10" E ALONG THE EAST BOUNDARY LINE OF THE SAID LOT 1C OF PLAZA LAS FUENTES PHASE 1A, A DISTANCE OF 6.00 FEET TO A CALCULATED POINT, A CORNER OF THE SAID LOT 1C OF PLAZA LAS FUENTES PHASE 1A, FOR A CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 8°37'10" E ALONG THE EAST BOUNDARY LINE OF THE SAID LOT 1C OF PLAZA LAS FUENTES PHASE 1A, A DISTANCE OF 93.44 FEET TO THE POINT OF BEGINNING, SAID TRACT CONTAINING 1.45 ACRES OF LAND MORE OR LESS.

STATE OF TEXAS - COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE, AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MCALLEN AND HIDALGO COUNTY, TEXAS.

IVAN GARCIA P.E., R.P.L.S. DATE: _____
REG. PROFESSIONAL LAND SURVEYOR No. 6499
SURVEY FIRM No. 10194027



ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

REVISIONS: _____

PAGE NO. _____

PRINCIPAL CONTACTS:					
NAME	ADDRESS	PHONE & FAX			
OWNER(S): FORTIS LAND HOLDINGS, LLC	5111 N. 10TH STREET #324	MCALLEN, TX. 78504			
SURVEYOR: IVAN GARCIA	P.E. R.P.L.S. 921 S. 10TH AVENUE	EDINBURG, TX. 78539	(956) 380-5152	(956) 380-5083	
ENGINEER: IVAN GARCIA	P.E. R.P.L.S. 921 S. 10TH AVENUE	EDINBURG, TX. 78539	(956) 380-5152	(956) 380-5083	

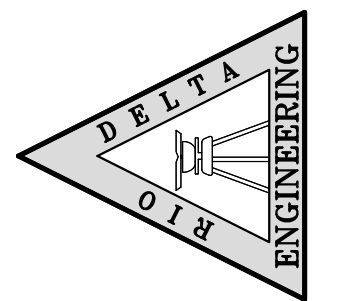
§ NORTH 10TH STREET
(S.H. 336)
110.0' RIGHT-OF-WAY

TEXAS COMMERCE BANK
MCALLEN-NORTH
LOT 1
VOL. 28, PG. 1768
H.C.M.R.

DUBE SUBDIVISION
LOT 1
VOL. 28, PG. 187B
DOC. # 2344217
O.R.H.C.

WHISENANT
SUBDIVISION
LOT 1
VOL. 28, PG. 187B
DOC. # 2344217
O.R.H.C.

RIO DELTA ENGINEERING
FIRM REGISTRATION No. F-7628
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921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083



ISSUED FOR:
FINAL

PLAT SHEET
PLAZA LAS FUENTES FORTIS SUBDIVISION
CITY OF MCALLEN
HIDALGO COUNTY, TEXAS

PROJECT: _____
ENGINEER: IVAN GARCIA P.E., R.P.L.S.
SURVEYOR: IVAN GARCIA P.E., R.P.L.S.
CHECKED: IVAN GARCIA P.E., R.P.L.S.
DRAWN: EDWIN PENA
SCALE: 1"=60'
DATE: MARCH 21, 2023
PROJECT: SUB 22 032
REVISIONS: _____
PAGE NO. **SHT 1**



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/1/2023

SUBDIVISION NAME: PLAZA LAS FUENTES FORTIS SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

N. 10th Street: 60 ft. ROW existing from centerline for 120 ft. ROW

Paving: by the state Curb & gutter: by the state

***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

***Monies must be escrowed if improvements are not constructed prior to recording.

Dove Avenue: Dedication required for 75 ft. ROW from centerline for 150 ft. ROW

Paving: 65 ft. Curb & gutter: both sides

*The Foresight Comprehensive Map calls Dove Avenue to be 75 ft. from centerline for 150 ft. total ROW

**Plat submitted demonstrates existing 100 ft. ROW with no additional dedication, Engineer submitted a variance request to allow existing 100 ft. ROW with no additional dedication and at the City Commission meeting of December 12, 2022, the board recommended approval of the variance request to ROW requirement for Dove Avenue.

***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

***Monies must be escrowed if improvements are not constructed prior to recording.

Paving _____ Curb & gutter _____

***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

***Monies must be escrowed if improvements are not constructed prior to recording.

* 1,200 ft. Block Length.

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts.

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac.

**Subdivision Ordinance: Section 134-105

Applied

Applied

NA

NA

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial properties

**Proposing Plat Note: "A minimum 24 ft. private service drive easement will be established as part of the site plan and will be maintained by the lot owners and not the City of McAllen.

**Subdivision Ordinance: Section 134-106

Applied

SETBACKS	
<p>* Front: North 10th Street: 60 ft. or greater for approved site plan, or easements, whichever is greater applies.</p> <p>Dove Avenue: 50 ft. or greater for approved site plan, or easements, whichever is greater applies.</p> <p>*Front setback note wording and requirements must be finalized prior to final. **Vacating of existing recorded plat will be required if any restrictions are removed/revised from existing plat. ***Zoning Ordinance: Section 138-356</p>	Required
<p>* Rear: In accordance with the Zoning Ordinance, or greater for easements or approved site plan **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Sides: In accordance with the Zoning Ordinance, or greater for easements or approved site plan **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Corner **Setbacks for North 10th Street and Dove Avenue as noted above. **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Garage: Commercial Development. **Zoning Ordinance: Section 138-356</p>	NA
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on North 10th Street and Dove Avenue. **Proposing: 5 ft. wide minimum sidewalk required on North 10th Street and Dove Avenue. ***Subdivision Ordinance: Section 134-120</p>	Applied
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Required
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses or greater as per agreement. **Vacating of existing recorded plat will be required if any restrictions are removed/revised from existing plat. **Landscaping Ordinance: Section 110-46</p>	Applied
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46</p>	Applied
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Required
NOTES	
<p>**Must comply with City Access Management Policy</p>	Applied
<p>* Site plan must be approved by the Planning & Zoning Commission prior to issuance of building permit. ***Vacating of existing recorded plat will be required if any restrictions are removed/revised from existing plat.</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Proposing: Common areas, 24 ft. private service drive easement, etc., must be maintained by the lot owners and not the City of McAllen.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</p> <p>**Section 110-72 applies if subdivision is proposed to be public.</p> <p>**Landscaping Ordinance: Section 110-72</p> <p>**Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</p> <p>**Homeowner's Association Covenants must be submitted for staff review, prior to recording.</p> <p>***Section 134-168 applies if private subdivision is proposed.</p> <p>****Section 110-72 applies if public subdivision is proposed.</p> <p>*****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p>	Applied
	Required
	NA
	NA
LOT REQUIREMENTS	
<p>* Lots fronting public streets</p> <p>Pending Items:</p> <p>-Current subdivision layout does not comply with lot frontage requirements as it does not front a public street, Engineer submitted a variance request on May 16th, 2023 requesting to allow frontage to a existing common access easement in lieu of a public street, the easement provides access to the overall development and connects to North 10th Street and Dove Avenue within the existing parking areas.</p> <p>-Provide a copy of referenced recorded document of existing easement for staff review, prior to final</p> <p>**Subdivision Ordinance: Section 134-1</p> <p>* Minimum lot width and lot area</p> <p>**Zoning Ordinance: Section 138-356</p>	Non-compliance
	Compliance
ZONING/CUP	
<p>* Existing: C-3 (General Business) District. Proposed: C-3 (General Business) District.</p> <p>***Zoning Ordinance: Article V</p> <p>* Rezoning Needed Before Final Approval</p> <p>***Zoning Ordinance: Article V</p>	Compliance
	NA
PARKS	
<p>* Land dedication in lieu of fee. As per application dated August 15, 2022 proposed land use is C-3 (General Business) District. Commercial developments do not apply to Parks.</p> <p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per application dated August 15, 2022 proposed land use is C-3 (General Business) District. Commercial developments do not apply to Parks.</p> <p>* Pending review by the City Manager's Office. As per application dated August 15, 2022 proposed land use is C-3 (General Business) District. Commercial developments do not apply to Parks.</p>	NA
	NA
	NA
TRAFFIC	
* As per Traffic Department, Trip Generation approved, TIA is waived.	Completed

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

* Traffic Impact Analysis (TIA) required prior to final plat. **As per Traffic Department, Trip Generation approved, TIA is waived.	NA
COMMENTS	
Comments/Revisions needed: *Must comply with City's Access Management Policy. *Name of subdivision on application must be revised to "Plaza Las Fuentes Fortis", prior to recording. *Vacating of existing recorded plat will be required if any restrictions are removed/revised from existing plat. *Subdivision was approved in Final form at the Planning and Zoning Commission meeting of November 16th, 2022, as a 2-lot subdivision.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM SUBJECT TO CONDITIONS NOTED, DRAINAGE AND UTILITIES APPROVALS AND CLARIFICATION OF THE REQUESTED VARIANCE..	Applied



S2950-00-000-0445-00

SUB2021-0066



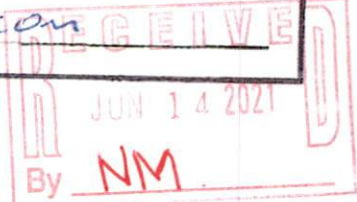
City of McAllen
Planning Department
APPLICATION FOR
SUBDIVISION PLAT REVIEW

1300 Houston Avenue
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project Description	Subdivision Name <u>Pioneer Estates Subdivision</u> Location <u>South east corner of N. Shary Rd and 6 Mile Line</u> City Address or Block Number <u>9400 N. SHARY RD</u> Number of lots <u>30</u> Gross acres <u>18.298</u> Net acres <u>17.408</u> Existing Zoning <u>R-1</u> Proposed <u>R-3A</u> Rezoning Applied For <input type="checkbox"/> Yes <input type="checkbox"/> No Date _____ Existing Land Use <u>Vacant</u> Proposed Land Use <u>Multi-Family</u> Irrigation District # <u>Unit 1</u> Residential Replat Yes <input type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Agricultural Tax Exemption Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Estimated Rollback tax due <u>unknown</u> Legal Description <u>Being 10.201 Acres out of lot 4-5 of John H. Shary Subdivision</u>
Owner	Name <u>JoAnn Schoenring Leibowitz</u> Phone <u>281-721-2350</u> (956) 802-4785 Address <u>P.O. Box 156</u> City <u>Temple McAllen</u> State <u>TX</u> Zip <u>76803</u> E-mail <u>phil@acresconstructiongroup.com</u>
Developer	Name <u>Aldape Development, LLC</u> Phone <u>(956) 802-4785</u> Address <u>4508 Tyler Ave</u> City <u>McAllen</u> State <u>Texas</u> Zip <u>78503</u> Contact Person <u>Javier Aldape / Gerardo Higuera</u> E-mail <u>acresconstruction@outlook.com</u> / <u>gerardo.acresconstruction@gmail.com</u>
Engineer	Name <u>Alas Engineering, LLC</u> Phone <u>(409) 537-1311</u> Address <u>3911 N 10th Street Suite H</u> City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u> Contact Person <u>Marib A. Salinas</u> E-mail <u>msalinas@salinasengineering.com</u>
Surveyor	Name <u>Salinas Engineering & Assoc</u> Phone _____ Address <u>2221 Daffodil Ave.</u> City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u> E-mail <u>dsalinas@salinasengineering.com</u>

ENTERED

APR 01 2022

Initial: MS

Proposed Plat Submittal

- \$225 Preliminary Review Fee and \$75 Final Approval Fee
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner, if applicable
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Minimum Developer's Requirements Submitted with Application

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature _____ Date 4/1/2022

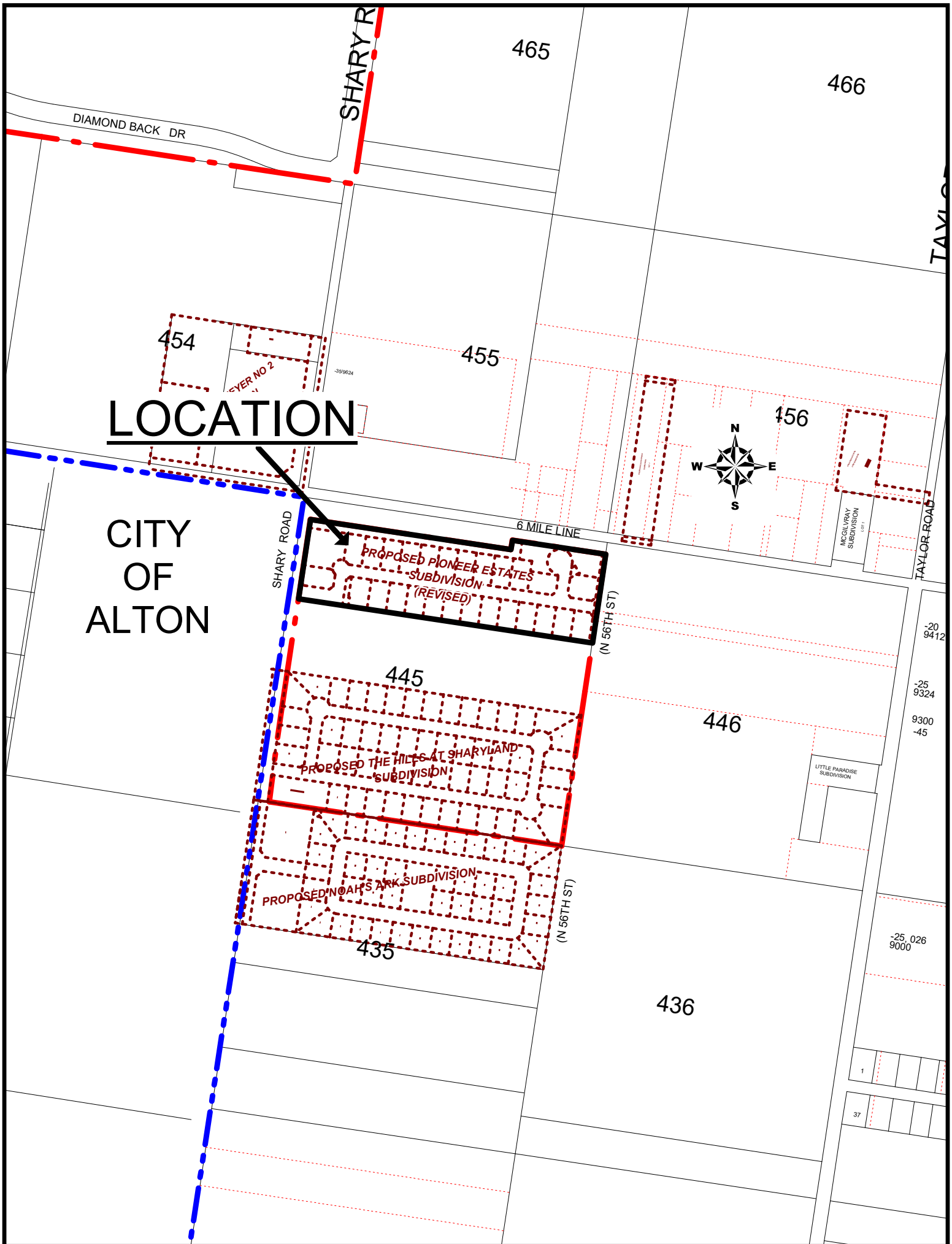
Print Name Javier Aldape

Owner ☐

Authorized Agent ☐

LOCATION

CITY
OF
ALTON



MAP
OF
PIONEER ESTATES SUBDIVISION
HIDALGO COUNTY, TEXAS

BEING 10.201 ACRES OUT LOT 445, JOHN H. SHARY SUBDIVISION, RECORDED IN VOLUME 1, PAGE 17, HIDALGO COUNTY, TEXAS, SAME BEING OUT OF A 53.034 ACRE TRACT DESCRIBED IN A SPECIAL WARRANTY DEED DATED SEPTEMBER 9, 2021 CONVEYED TO ALDAPE DEVELOPMENT, LLC, A TEXAS LIMITED LIABILITY COMPANY, RECORDED IN DOCUMENT No. 3261823, OFFICIAL PUBLIC RECORD HIDALGO COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF HIDALGO:
I, (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED AS THE PIONEER ESTATES SUBDIVISION TO THE CITY OF McALLEN, TEXAS AND WHOSE NAME(S) IS (ARE) SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATERLINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS, AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE), WILL CAUSE TO BE INSTALLED THEREON SHOWN OR NOT SHOWN IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

JAVIER ALDAPE,
4508 TYLER AVE.
McALLEN, TEXAS 78503

STATE OF TEXAS
COUNTY OF HIDALGO
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JAVIER ALDAPE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING THIS THE ____ DAY OF _____, 20____.

NOTARY PUBLIC

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF PIONEER ESTATES SUBDIVISION. WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON _____

HIDALGO COUNTY ASSISTANT CHIEF INSPECTOR

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHERE IN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

BY: RAUL SESIN, P.E., C.F.M., DISTRICT MANAGER

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. SALINAS, A LICENSED PROFESSIONAL ENGINEER, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

MARIO A. SALINAS
LICENSED PROFESSIONAL ENGINEER # 96611
3911 N. 10TH STREET, SUITE H
McALLEN, TEXAS 78501

DATE:

DATE OF PREPARATION 05-31-23

MAS ENGINEERING LLC.
CONSULTING ENGINEERING
FIRM NO. F-15499

3911 N. 10TH STREET, SUITE H
McALLEN, TEXAS. 78501
PH. (956) 537-1311
E-MAIL: MSALINAS6973@ATT.NET



SCALE 1"=100'

HIDALGO COUNTY GENERAL SUBDIVISION PLAT NOTES

- FLOOD ZONE STATEMENT:
THE TRACT LIES IN "ZONE X1" IS DEFINED AS AREAS WITH 500-YEAR FLOOD; AREAS OF 100 YEAR FLOOD WITH AN AVERAGE DEPTH OF LESS THAN ONE FOOT OR WITH DRAINAGE AREAS LESS THAN ONE SQUARE MILE; AN AREAS PROTECTED BY LEVEES FROM 100 YEAR FLOODS. IN ACCORDANCE WITH F.E.M.A.-F.I.R.M. MAP NO. 480334 0325 D, MAP REVISED JUNE 6, 2000.
- SETBACKS:
FRONT: 20 FT. OR GREATER FOR EASEMENT
REAR: IN ACCORDANCE WITH ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN, WHICHEVER IS GREATER
SIDE: 8 FT. OR GREATER FOR EASEMENT
CORNER: 10 FT. OR GREATER FOR EASEMENT
GARAGE: 18 FT. EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES
3. 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ALONG N. SHARY RD. AND 4 FT. WIDE MINIMUM SIDEWALK REQUIRED ON 56TH STREET, 6 MILE LINE AND BOTH SIDES OF ALL INTERIOR STREETS.
4. NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON THIS LOT. THIS MUST BE STIPULATED ON THE DEED AND CONTRACT FOR DEED. (ANY OTHER USE SHALL REQUIRE PLANNING DEPARTMENT, OFFICE OF ENVIRONMENTAL COMPLIANCE, HEALTH DEPARTMENT AND FIRE MARSHALL APPROVAL). APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPYING THE LOT.
5. MINIMUM FINISHED FLOOR ELEVATION SHALL BE 16" ABOVE THE CENTER LINE OF STREET OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.
6. CITY OF McALLEN BENCHMARK: MC 42 IS LOCATED AT THE NORTHWEST CORNER OF THE INTERSECTION OF GLASSCOCK ROAD AND 6 MILE LINE, THE MONUMENT IS 28 FEET WEST OF THE CENTERLINE OF GLASSCOCK ROAD AND 122 FEET NORTH OF THE CENTERLINE OF GLASSCOCK ROAD, ELEV. 149.58 FEET
7. IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 89,849 CUBIC-FEET 2.06 ACRE-FEET OF STORM WATER RUNOFF. DRAINAGE RETENTION IN ACCORDANCE WITH LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOW: (SEE SHEET No. 3 FOR STORM SEWER IMPROVEMENTS.)
8. NO FILL OR PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN ANY DRAINAGE SWALE EASEMENT. EACH DRAINAGE SWALE EASEMENT SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, PLANTINGS, AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATION OF THE DRAINAGE SWALE. THE LOT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SWALE.
9. NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
10. COMMON AREAS AND THE DRAINAGE DETENTION POND MUST BE MAINTAINED BY THE HOMEOWNER ASSOCIATION, LOT OWNER OR HIS ASSIGNS, NOT THE CITY OF McALLEN OR OTHER PUBLIC ENTITY.
11. DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNER, THEIR SUCCESSORS AND ASSIGNEES, AND NOT THE CITY OF McALLEN SHALL BE RESPONSIBLE FOR COMPLIANCE OF INSTALLATION AND MAINTENANCE AND OTHER REQUIREMENTS PER SECTION 134-168 OF THE SUBDIVISION ORDINANCE, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND ITS PRIVATE STREETS.
12. 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL AND INDUSTRIAL ZONES/USES, AND ALONG N. SHARY RD., 6 MILE LINE, AND NORTH 56TH STREET.
13. 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTIFAMILY RESIDENTIAL ZONE/USES.
14. NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG N. SHARY RD., 6 MILE LINE, AND N. 56TH STREET.
15. ALL SHARYLAND WATER SUPPLY CORPORATION EASEMENTS ARE EXCLUSIVE. NO OTHER USE OF EASEMENT IS PERMITTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF SHARYLAND WATER SUPPLY CORPORATION.
16. A FIRE SPRINKLER SYSTEM IS REQUIRED FOR ALL BUILDINGS.

I, SHERILYN DAHLBERG, HEREBY CONDITIONALLY CERTIFY THAT POTABLE WATER SERVICE IS AVAILABLE FOR THE PIONEER ESTATES SUBDIVISION, LOCATED AT SOUTH-EAST CORNER OF N. SHARY RD. AND 6 MILE LINE IN HIDALGO COUNTY, TEXAS, SUBJECT TO THE SUBDIVISION'S POTABLE WATER SYSTEM MEETING THE APPROVAL OF THE DEVELOPER'S DESIGN ENGINEER, ALL APPLICABLE RULES AND REGULATIONS OF SHARYLAND WATER SUPPLY CORPORATION, AND LOCAL, STATE, AND FEDERAL AGENCIES.

DEVELOPER AND ITS DESIGN ENGINEER SHALL BEAR FULL RESPONSIBILITY TO ENSURE THAT THE ABOVE REFERENCED POTABLE WATER SYSTEM IS CONSTRUCTED WITHIN THE DESIGNATED SHARYLAND WATER SUPPLY CORPORATION EXCLUSIVE EASEMENT.

CARLOS LIMA
GENERAL MANAGER
SHARYLAND WATER SUPPLY CORPORATION

UNITED IRRIGATION DISTRICT

THIS PLAT IS HEREBY APPROVED BY THE UNITED IRRIGATION DISTRICT ON THIS THE _____, DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON UNITED IRRIGATION DISTRICT RIGHT OF WAYS OR EASEMENTS. APPROVAL OF THIS PLAT DOES NOT RELEASE ANY RIGHTS THAT THE DISTRICT MAY HAVE WHETHER SHOWN OR NOT.

_____, DAY OF _____, 20____.
SECRETARY PRESIDENT

PRINCIPAL CONTACTS:

Name	Address	City & Zip	Phone
OWNER: JAVIER ALDAPE	4516 TYLER AVE.	McALLEN, TX	(956)802-4785
ENGINEER: MARIO A. SALINAS	3911 N. 10 th. St. SUITE H	McAllen, Tx. 78501	(956) 537-1311
SURVEYOR: DAVID O. SALINAS	2221 Daffodil Ave.	McAllen, Tx. 78501	(956) 682-9081

METES AND BOUNDS DESCRIPTION

BEING 10.201 ACRES OUT LOT 445, JOHN H. SHARY SUBDIVISION, RECORDED IN VOLUME 1, PAGE 17, HIDALGO COUNTY, TEXAS, SAME BEING OUT OF A 53.034 ACRE TRACT DESCRIBED IN A SPECIAL WARRANTY DEED DATED SEPTEMBER 9, 2021 CONVEYED TO ALDAPE DEVELOPMENT, LLC, A TEXAS LIMITED LIABILITY COMPANY, RECORDED IN DOCUMENT No. 3261823, OFFICIAL PUBLIC RECORD HIDALGO COUNTY, TEXAS, SAID 10.201 ACRES OF TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT MAG NAIL FOUND, THE NORTHWEST CORNER OF THE SAID LOT 445 SAME POINT ON THE CENTER LINE OF F.M. 494 (N SHARY ROAD); THENCE ALONG THE WEST LINE OF THE SAID LOT 445, SAME BEING THE CENTER LINE OF F.M. 494 (N SHARY ROAD), A DISTANCE OF 109.87 FEET TO A CALCULATED POINT ON THE WEST LINE OF THE SAID LOT 445, SAME BEING A POINT ON THE CENTER LINE OF F.M. 494 (N SHARY ROAD);

THENCE S81°26'05"E, ACROSS THE SAID LOT 445, PASSING AT A DISTANCE OF 30.00 FEET A 1½ INCH IRON ROD FOUND, CONTINUING FOR A TOTAL DISTANCE OF 60.00 FEET TO A CAPPED IRON ROD STAMPED "ROWSS" FOUND ON THE EAST RIGHT-OF-WAY LINE OF F.M. 494 (N SHARY ROAD), FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT AND THE POINT OF BEGINNING

THENCE, S81°26'05"E, ALONG THE SOUTH LINE OF A UNITED IRRIGATION DISTRICT CANAL RIGHT-OF-WAY, SAME BEING THE NORTH LINE OF THE SAID ALDAPE TRACT, A DISTANCE OF 859.96 FEET TO AN IRON ROD WITH A PINK CAP SET FOR AN INTERIOR CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N08°34'14"E ALONG THE EAST LINE OF A UNITED IRRIGATION DISTRICT CANAL RIGHT-OF-WAY, SAME BEING AN INTERIOR LINE OF THE SAID ALDAPE TRACT, A DISTANCE OF 40.00 FEET TO AN IRON ROD WITH A PINK CAP SET FOR AN INTERIOR CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE S81°26'05"E, ALONG THE SOUTH LINE OF A UNITED IRRIGATION DISTRICT CANAL RIGHT-OF-WAY, SAME BEING THE NORTH LINE OF THE SAID ALDAPE TRACT, A DISTANCE OF 399.95 FEET TO AN IRON ROD WITH A PINK CPA SET ON THE EAST LINE OF THE SAID LOT 445, SAME BEING THE NORTHEAST CORNER OF THE SAID ALDAPE TRACT, FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE S08°34'14"W, ALONG THE EAST LINE OF THE SAID LOT 445, SAME BEING THE EAST LINE OF THE SAID ALDAPE TRACT, A DISTANCE OF 380.00 FEET TO AN IRON ROD WITH A PINK CAP SET ON THE EAST LINE OF THE SAID LOT 445, FOR THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N81°26'01"W, ACROSS THE SAID LOT 445, A DISTANCE OF 1259.91 FEET TO AN IRON ROD WITH A PINK CAP SET ON THE EAST RIGHT-OF-WAY LINE OF F.M. 494 (N SHARY ROAD), FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N08°34'17"E, ALONG THE EAST RIGHT-OF-WAY LINE OF F.M. 494 (N SHARY ROAD), SAME BEING THE WEST LINE OF THE SAID ALDAPE TRACT, A DISTANCE OF 339.97 FEET TO THE POINT OF BEGINNING AND CONTAINING 10.201 ACRE OF LAND, MORE OR LESS.

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE 232.028 (a)
WE, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF PIONEER ESTATES SUBDIVISION, WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON _____

_____, DATE _____
HIDALGO COUNTY JUDGE

_____, DATE _____
HIDALGO COUNTY CLERK

FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, DAVID O. SALINAS, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARE FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE CITY OF McALLEN SUBDIVISION ORDINANCE AND ALL STATE STATUTES GOVERNING SURVEYS.

SALINAS ENGINEERING & ASSOCIATES
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5782
2221 Daffodil Ave.
McALLEN, TEXAS 78501

DATE

VICINITY MAP



SCALE 1"=750'





City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 6/2/2023

SUBDIVISION NAME: PIONEER ESTATES SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

North Shary Road: 30 ft. ROW dedication for 60 ft. from centerline for 120 ft. total ROW
Paving: By the state Curb & gutter: By the state

Revisions needed:

-Clarify 30 ft. additional ROW by this plat as it appears to be outside plat boundaries, finalize ROW requirements prior to recording

-Label ROW dedication, centerline, total ROW after dedication and ROW on both sides of centerline to verify if any additional ROW dedication is required prior to recording.

-Please show document wherein the existing 60 ft. ROW was dedicated prior to recording.

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

**Monies must be escrowed if improvements are not constructed prior to recording.

6 Mile Line: 50 ft. from centerline for 100 ft. total ROW

Paving: 65 ft. Curb & gutter: Both sides

Revisions needed:

-Please show document wherein the existing 40 ft. ROW was dedicated prior to recording.

*Clarify access from 6 Mile Line as plat boundary does not extend to ROW, and ownership is by United Irrigation District as per plat submitted on October 5th, 2022. As per plat submitted on May 31st, 2023, plat no longer exhibits frontage along 6 mile line.

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

**Monies must be escrowed if improvements are not constructed prior to recording.

North 56th Street (N/S Collector Road-east boundary line): 30 ft. dedication for 60 ft. total ROW.

Paving: 40 ft. Curb & gutter: Both sides

Revision Needed:

-Include street name labeling, prior to recording.

-Revise reference from "Right of Way dedicated to McAllen Public Utility by this plat" to "R.O.W dedicated by this plat", prior to recording.

*Engineer submitted a variance application on October 7, 2021 requesting to dedicate 15 ft. of ROW for North 56th Street. The Planning and Zoning Commission considered the subdivision in revised preliminary form at their meeting of April 5, 2022. Following discussion, the board unanimously voted to approve the subdivision in revised preliminary form, and recommended approval of the variance for 15 ft. ROW dedication for N. 56th Street. There were 6 members present and voting. At the City Commission meeting of April 25, 2022, the City of McAllen Board of Commissioners considered the request and was approved.

**Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan

**Monies must be escrowed if improvements are not constructed prior to recording.

Required

Required

Required

<p>Internal Streets: 60 ft. ROW Paving: 40 ft. Curb & gutter: Both sides Pending Items: -Revise street names as follows: -E/W street at entrance: Ozark Avenue -N/S Street west of Lot 1: North 59th Lane -E/W interior street: Princeton Avenue -N/S street at Cul-De-Sac: North 56th Lane -Finalize street names on plat prior to recording. -Engineer submitted a variance application on April 21st, 2023 requesting that the ROW be reduced from 60 ft. to 50 ft., the engineer has indicated that the 40 ft. paving width will remain. Development staff has reviewed the request and indicated that if approved that a 10 ft. U.E and Sidewalk Easement be dedicated along the front of the lots as applicable. -Submit gate details, ROW and paving at gate locations may increase to accommodate proposed improvements, finalize prior to NTP/recording. -As per Fire Department requirements, 96 ft. of paving face-to face required, and 10 ft. of ROW back of curb around Cul-de-Sac required, finalize Cul-De-Sac paving and ROW requirements prior to NTP/ Recording. **Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan **Monies must be escrowed if improvements are not constructed prior to recording.</p> <p>* 1,200 ft. Block Length. ***Subdivision Ordinance: Section 134-118</p> <p>* 900 ft. Block Length for R-3 Zone Districts. **Subdivision Ordinance: Section 134-118</p> <p>* 600 ft. Maximum Cul-de-Sac. *As per Fire Department requirements, 96 ft. of paving face-to face required, and 10 ft. of ROW back of curb around Cul-de-Sac required, finalize Cul-De-Sac paving and ROW requirements prior to NTP/ Recording. **Subdivision Ordinance: Section 134-105</p>	Required
	Compliance
	NA
	Required
ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties and multi-family properties. **Subdivision layout is being processed with public works centralized locations. ***As per public works,must build dumpster enclosure at the time the subdivision is built. Must comply with Chapter 90 of McAllen's Solid Waste Ordinance. ****Subdivision Ordinance: Section 134-106</p>	Applied
SETBACKS	
<p>* Front: Proposing 20 ft. or greater for easement. Pending Items: -Engineer submitted variance request on April 21st, 2023 to allow a 15 ft. front setback for unenclosed carports only. **If variance request for the front setback for unclosed carports is approved, front setback note wording must be finalized prior to recording. ***Zoning Ordinance: Section 138-356</p>	Required
<p>* Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. Revisions needed: -Revise note as shown above prior to recording. *Proposing Rear: In accordance with Zoning Ordinance or greater for easements or approved site plan, whichever is greater ****Zoning Ordinance: Section 138-356</p>	Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Interior sides: 6 ft. or greater for easements or approved site plan, whichever is greater applies. Revisions needed: -Revise note as shown above prior to recording. *Proposing: 6 ft. or greater for easement. ****Zoning Ordinance: Section 138-356</p> <p>* Corner: 10 ft. or greater for easements or approved site plan, whichever is greater applies. Revisions needed: -Revise note as shown above prior to recording. *Proposing Corner :10 feet or greater for easement. ****Zoning Ordinance: Section 138-356</p> <p>* Garage: 18 ft. except where greater setback is required; greater setback applies. **Zoning Ordinance: Section 138-356</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Required
	Required
	Applied
	Applied
SIDEWALKS	
<p>* 5 ft. wide minimum sidewalk required along North Shary Road and 4 ft. wide minimum sidewalk required on N. 56th Street and both sides of all interior streets. Revisions needed: -Revise plat note #3 as shown above prior to recording. **As per plat submitted on May 31st, 2023, plat no longer exhibits frontage along 6 mile line. ***Proposing: 5 ft. wide minimum sidewalk required along North Shary Road and 4 ft. wide minimum sidewalk required on N. 56th Street, 6 Mile Line and both sides of all interior streets. ***5 ft. sidewalks required along North Shary Road as per Engineering Department. ****Sidewalk requirements may increase to 5 ft. per Engineering Department requirements, finalize prior to recording. *****Subdivision Ordinance: Section 134-120</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Required
	Required
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, and along North Shary Road, and North 56th Street. Revisions needed: -Revise plat note #12 as shown above prior to recording. -Clarify if buffer is proposed along northern plat boundaries as it may trigger changes to note requirements, finalize note wording prior to recording. **Proposing: 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, and along North Shary Road, 6 Mile Line, and North 56th Street. **Landscaping Ordinance: Section 110-46</p> <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46</p> <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Required
	Applied
	Required

NOTES	
<p>* No curb cut, access, or lot frontage permitted along North Shary Road and North 56th Street. Revision needed: -Revise plat note #14 as shown above, prior to recording. **Proposing: No curb cut, access, or lot frontage permitted along North Shary Road, 6 Mile Line and North 56th Street. ***As per plat submitted on May 31st, 2023, plat no longer exhibits frontage along 6 mile line. ****Must comply with City Access Management Policy</p> <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance. **Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development. ***Zoning Ordinance: Section 138-210</p> <p>* Common Areas, drainage detention pond ,any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions Needed: -Revise plat note #10 as shown above prior to recording. **Proposing: Common areas and drainage detention pond must be maintained by the homeowner association lot owner or his assigns, not the City of McAllen or other public entity.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Revisions needed: **Section 110-72 applies if subdivision is proposed to be public. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Homeowner's Association Covenants must be submitted for staff review, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. *****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168</p>	Required
	Applied
	Required
	NA
	Applied
	Required
LOT REQUIREMENTS	
<p>* Lots fronting public streets. **Subdivision Ordinance: Section 134-1</p> <p>* Minimum lot width and lot area. **Zoning Ordinance: Section 138-356</p>	Compliance
	Compliance
ZONING/CUP	
<p>* Existing: R-3A(apartment residential) District Proposed: R-3A(apartment residential) District **Rezoning from R-1 (Single Family Residential) District to R-3A(apartment residential) District approved at City Commission meeting of November 28, 2022. ***Zoning Ordinance: Article V</p>	Compliance

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<ul style="list-style-type: none"> * Rezoning Needed Before Final Approval **Rezoning from R-1 (Single Family Residential) District to R-3A(apartment residential) District approved at City Commission meeting of November 28, 2022. ***Zoning Ordinance: Article V 	Completed
PARKS	
* Land dedication in lieu of fee. As per Parks Department, Park Department a waiver to McAllen's Park Land Dedication and Park Development Fees Ordinance was granted -- as part of the annexation process, Park fees were waived.	Applied
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Parks Department, Park Department a waiver to McAllen's Park Land Dedication and Park Development Fees Ordinance was granted -- as part of the annexation process, Park fees were waived.	Applied
* Pending review by City Management. As per Parks Department, Park Department a waiver to McAllen's Park Land Dedication and Park Development Fees Ordinance was granted -- as part of the annexation process, Park fees were waived.	Applied
TRAFFIC	
* As per Traffic Department, Trip Generation approved no TIA required.	Completed
* Traffic Impact Analysis (TIA) required prior to final plat. *** As per Traffic Department, Trip Generation approved no TIA required.	NA
COMMENTS	
Comments: <ul style="list-style-type: none"> -Must comply with City's Access Management Policy -Must comply with Fire Department requirements. -Label Drainage Area with a letter or number prior to recording. -Clarify access from 6 Mile Line as plat boundary does not extend to ROW, and ownership is by United Irrigation District as per plat submitted on October 5th,2022.As per plat submitted on May 31st, 2023, plat no longer exhibits frontage along 6 mile line. -Subdivision previously approved in Revised Preliminary form at the Planning and Zoning Commission meeting of April 5th, 2022 as a single family development, as per plat submitted on October 5th, 2022 multi-family subdivision now proposed. -Submit gate details, ROW and paving at gate locations may increase to accommodate proposed improvements, finalize prior to NTP/recording. 	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF SUBDIVISION IN FINAL FORM SUBJECT TO CONDITONS NOTED AND DRAINAGE APPROVALS AND CLARIFICATION OF THE REQUESTED VARIANCES.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

LOCATION



CITY
OF
ALTON

SHARY ROAD

DIAMOND BACK DR

465

466

454

455

456

6 MILE LINE

SHARY ROAD

(N 56TH ST)

(N 56TH ST)

436

TAYLOR ROAD



P	PRESENT
A	ABSENT
MC	MEETING CANCELLED
LQ	LACK OF QUORUM

2023 ATTENDANCE RECORD FOR PLANNING AND ZONING COMMISSION MEETINGS

[illegible]

2023 ATTENDANCE RECORD FOR PLANNING AND ZONING COMMISSION WORKSHOPS

[illegible]







PLANNING DEPARTMENT

311 N 15th Street McAllen, TX 78501
Phone: 956-681-1250 Fax: 956-681-1279



2023 CALENDAR

Meetings:

-  City Commission
-  Planning & Zoning Board
-  Public Utility Board
-  Zoning Board of Adjustment





HPC - Historic Preservation Council

Deadlines:





D- Zoning/CUP Application N - Public Notification

* **Holiday** - Office is closed





JANUARY 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
1	2 HOLIDAY	3	4	5 N-1/17& 1/18 D-2/7 & 2/8	6	7
8	9 	10 	11	12	13	14
15	16 A-2/7 & 2/8	17	18 N-2/7 & 2/8 D-2/21 & 2/22	19	20	21
22	23 	24 	25	26 HPC	27	28
29	30	31				





FEBRUARY 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1	2	3	4
5	6 A-2/21 & 2/22	7	8 N- 2/21& 2/22 D- 3/7 & 3/8	9	10	11
12	13 	14 			17	18
19	20 A-3/2 & 3/3	21	22 N-3/7 & 3/8 D-3/21 & 3/22	23 HPC	24	25
26	27 	28 				





MARCH 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1	2	3	4
5	6 A-3/15 & 3/16	7	8 N-3/15 & 3/16 D-4/4 & 4/5	9	10	11
12	13 	14 			17	18
19	20 A-4/4 & 4/5	21	22 N-4/4 & 4/5 D-4/18 & 4/19	23	24	25
26	27 	28 	29 HPC	30	31	





APRIL 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1
2	3 A-4/18 & 4/19	4	5 N-4/18 & 4/19 D-5/2 & 5/3	6	7 HOLIDAY	8
9	10 	11 	12	13	14	15
16	17 A- 5/2 & 5/3	18	19 N- 5/2 & 5/3 D-5/16 & 5/17	20	21	22
23	24 	25 	26	27 HPC	28	29

MAY 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
	1 A- 5/16 & 5/17	2	3 D: 6/6 & 6/7 N-5/16 & 5/17	4	5	6
1	8 	9 	10	11	12	13
8	15	16	17 D-6/20 & 6/21		19	20
15	22 	23 	24 N-6/6 & 6/7	25 HPC	26	27
28	29 HOLIDAY	30	31			





JUNE 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
				1	2	3
4	5 A-6/20 & 6/21	6	7 D-7/12 & 7/13 N-6/20 & 6/21	8	9	10
11	12 	13 	14	15	16	17
18	19	20	21 D-7/26 & 7/27	22	23	24
25	26 	27 	28 N-7/12 & 7/13	29 HPC	30	

Deadlines and Meeting Dates are subject to change at any time. Please contact the Planning Department at (956) 681-1250 if you have any questions.

2023 CALENDAR






Meetings:

-  City Commission
-  Public Utility Board
-  Planning & Zoning Board
-  Zoning Board of Adjustment
- HPC - Historic Pres Council







Deadlines:

- D- Zoning/CUP Application
- N - Public Notification
- * **Holiday** - Office is closed







JULY 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1
2	3	4 HOLIDAY	5	6	7	8
9	10  A-7/26 & 7/27	11 	12 N-7/26 & 7/27 D-8/8 & 8/9	13 	14	15
16	17	18	19	20	21	22
23	24  A-8/8 & 8/9	25 	26 N-8/8 & 8/9 D-8/22 & 8/23	27 HPC	28	29
30	31					







AUGUST 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1	2	3	4	5
6	7 A- 8/22 & 8/23	8 	9 N- 8/22 & 8/23 D-9/6 & 9/7	10	11	12
13	14 	15 	16	17	18	19
20	21 A- 9/6 & 9/7	22 	23 N- 9/6 & 9/7 D-9/19 & 9/20	24 HPC	25	26
27	28 	29 	30	31		








SEPTEMBER 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1	2
3	4 HOLIDAY	5	6 N-9/19 & 9/20 D-10/3 & 10/4	7 	8 A-9/19 & 9/20	9
10	11 	12 	13	14	15	16
17	18 A-10/3 & 10/4	19 	20 D-10/18 & 10/19 N-10/3 & 10/4	21	22	23
24	25 	26 	27	28 HPC	29	30





OCTOBER 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
1	2	3 	4 N-10/17 & 10/18 D-11/1 - 11/7	5	6	7
8	9 	10 	11	12	13	14
15	16 A-11/1 ZBA	17 	18 N- 11/1 ZBA D-11/15 & 11/21	19	20	21
22	23 	24 	25	26 HPC	27	28
29	30 A- 11/15 ZBA	31				

NOVEMBER 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1 N- 11/15 ZBA D-12/5 & 12/6	2	3	4
5	6 A-11/21 PZ	7 	8 N- 11/21 PZ	9	10	11
12	13 	14 	15  D-12/19 & 12/20	16	17	18
19	20 A-12/5&12/6	21 	22 N-12/5 & 12/6	23 HOLIDAY	24	25
26	27 	28 	29	30		

DECEMBER 2023

Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1	2
3	4	5 	6 HPC D-TBA N-12/19 & 12/20	7	8	9
10	11 	12 	13	14	15	16
17	18 A- TBA	19 	20 D- TBA N- TBA	21	22	23
24	25 HOLIDAY	26 HOLIDAY	27	28	29	30