

AGENDA

PLANNING & ZONING COMMISSION REGULAR MEETING TUESDAY, MARCH 18, 2025 - 3:30 PM MCALLEN DEVELOPMENT CENTER, 311 NORTH 15TH STREET EXECUTIVE CONFERENCE ROOM #3

At any time during the course of this meeting, the Planning & Zoning Board may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code

CALL TO ORDER -

PLEDGE OF ALLEGIANCE -

INVOCATION -

1) MINUTES:

- a) Approval of the minutes for the December 17, 2024 meeting.

2) PUBLIC HEARING

a) CONDITIONAL USE PERMITS:

1. Request of Edward Liscano on behalf of Cosme Liscano Jr. and Maria A. Liscano, for a Conditional Use Permit, for life of the use, and adoption of an ordinance, for a Single Family Dwelling on a commercial lot at the North ½ of Lot 11, Block 40, McAllen Addition Subdivision, Hidalgo County, Texas; 415 South Bicentennial Boulevard. **(CUP2025-0015)**
2. Request of Sharon B. Flores on behalf of St. John's Episcopal Church & School, for a Conditional Use Permit, and adoption of an ordinance, for life of the use, for an Institutional Use (Church school) at Lot 9, Block 1, Morningside Addition Subdivision, Hidalgo County, Texas; 2601 North 8th Street. **(CUP2025-0006)(TABLED ON 3/4/2025)**

b) REZONING:

1. Tract I: Rezone from R-1 (Single-Family Residential - O.C.) District to R-3 (High Density Residential- UDC) District: a 0.167 acre tract of land out of the north 2 ½ acres of the north 10 acres of the south 20 acres of Lot 1, Block 17, Steele and Pershing Subdivision, Hidalgo County, Texas; 1021 East Augusta Avenue. **(REZ2025-0006)**

Tract II: Rezone from R-1 (Single-Family Residential) District to R-3 (High Density Residential) District: a 0.334 acre tract of land out of the north 2 ½ acres of the north 10 acres of the south 20 acres of Lot 1, Block 17, Steele and Pershing Subdivision, Hidalgo County, Texas; 1009 East Augusta Avenue. **(REZ2025-0006)**

2. Rezone from R-1 (Single-Family Residential-OC) District to R-1 (Low Density Residential-UDC) District: the north 9.95 acres out of Lot 348, John H. Shary Subdivision, Hidalgo County, Texas; 5517 North Bentsen Road. **(REZ2025-0007)**
3. Rezone from R-3C (Multifamily Residential Condominium) District to R-2 (Medium Density Residential) District: 5.565 acres (gross) out of Lot 47, McAllen First Suburban Citrus Groves Subdivision, Hidalgo County, Texas; 4313 Colbath Avenue. **(REZ2025-0002)(TABLED ON 2/18/2025)(WITHDRAWN)**

c) SUBDIVISION:

1. Pecan Heights Subdivision, 100 East Pecan Boulevard, Terraform Development, LLC **(SUB2024-0108) (FINAL) M2E**
2. STC West 30 Acres Subdivision, 1101 N. Ware Rd., STC Facilities Planning & Construction **(SUB2025-0003) (FINAL) PCE**

3) CONSENT:

- a) 29th Subdivision, 8516 N. 29th Street, Real Estate Team Holdings LP **(SUB2025-0032) (FINAL) M&H**
- b) Vacate Plat of Jackson Meadows, Lot 67C – 67W Subdivision and Replat of Jackson Meadows Storage Lots Subdivision, 2700 South Jackson Road, Esponjas Development, LTD **(SUB2024-0137) (FINAL) M2E**

4) SUBDIVISIONS:

- a) Villas at Tres Lagos Phase I Subdivision, 5300 Tres Lagos Boulevard, Rhodes Development, Inc **(SUB2025-0006) (FINAL)(TABLED SINCE 2/18/25) M&H**
- b) Surprise Subdivision, 408 South 9th Street, Ron & Estela Surprise **(SUB2024-0101) (REVISED PRELIMINARY) SEA**
- c) AAA Apartments Subdivision, 5900 5 Mile Line Road, Anissa Izel Sanchez **(SUB2025-0004) (FINAL) REG**
- d) Sharyland Business Park – Project Circle Subdivision, 4800 Tanya Avenue, Van Trust Real Estate, LLC **(SUB2025-0031) (PRELIMINARY) KHA**
- e) Valdez Estate Subdivision, 3309 N. Bentsen Road, Katty Valdez **(SUB2025-0030) (PRELIMINARY) BIG**
- f) Christian's Manor Subdivision, 2420 Jordan Avenue, Community Hope Projects, Inc. **(SUB2025-0028) (PRELIMINARY) S2E**
- g) Kerria Center Subdivision, 3700 North 23rd Street, Jim & Mary Kay Moffitt Family, Ltd. **(SUB2025-0029) (PRELIMINARY) SPEC**
- h) Balboa Acres West Half of Lot 9, Block 28, 3411 Elmira Ave., Karina Sanchez **(SUB2025-0025) (PRELIMINARY)**

- i) Balboa Acres East Half of Lot 9, Block 28, 3409 Elmira Ave., Karina Sanchez **(SUB2025-0026) (PRELIMINARY)**
- j) Balboa Acres West Half of Lot 10, Block 28, 3405 Elmira Ave., Karina Sanchez **(SUB2025-0027) (PRELIMINARY)**
- k) Balboa Acres East Half of Lot 10, Block 28, 3401 Elmira Ave., Karina Sanchez **(SUB2025-0024) (PRELIMINARY)**
- l) Northwood Trails Block II & Block III Subdivision, 3300 Freddy Gonzalez Drive, Red Rock Real Estate Development Group, Ltd. **(SUB2022-0092)(PRELIMINARY 6 MONTH EXTENSION) QHA**

5) DISCUSSION:

ADJOURNMENT:

IF ANY ACCOMMODATIONS FOR A DISABILITY ARE REQUIRED, PLEASE NOTIFY THE PLANNING DEPARTMENT (681-1250) 72 HOURS BEFORE THE MEETING DATE. WITH REGARD TO ANY ITEM, THE PLANNING & ZONING COMMISSION MAY TAKE VARIOUS ACTIONS, INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR PARTICULAR ACTION AT A FUTURE DATE.

STATE OF TEXAS
COUNTY OF HIDALGO
CITY OF McALLEN

The McAllen Planning and Zoning Commission convened in a Regular Meeting on Tuesday, December 17, 2024 at 3:30p.m.at the McAllen City Hall, 3rd Floor Commission Chambers Room,1300 Houston Avenue, McAllen, Texas.

Present:	Michael Fallek Gabriel Kamel Jose Saldana Emilio Santos Jr Jesse Ozuna	Chairperson Vice Chairperson Member Member Member
Absent:	Marco Suarez Reza Badiozzamani	Member Member
Staff Present:	Martin Canales Michelle Rivera Edgar Garcia Luis Mora Omar Sotelo Rodrigo Sanchez Kaveh Forghanparast Eduardo Garza Julio Constantino Hilda Tovar Adriana Solis Edson Lara Samantha Trevino Noah Del Bosque Even Gonzalez Eduardo Mendoza Magda Ramirez	Assistant City Attorney III Assistant City Manager Planning Director Deputy Director Development Coordinator Senior Planner Planner III Planner III Planner III Planner II Planner II Planner II Planner I Planner Technician I Development Engineer Director of Engineering Administrative Assistant

CALL TO ORDER – Chairperson Mr. Michael Fallek

PLEDGE OF ALLEGIANCE

INVOCATION-. Mr. Jesse Ozuna

1) MINUTES:

a) Approval of minutes for the October 8, 2024 meeting.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel motioned to approve minutes. Mr. Jose Saldana second the motion with four members present and voting.

2) PUBLIC HEARING:

a) **CONDITIONAL USE PERMITS:**

- 1) Request of James Glover on behalf of Jose & Maritza Escandon, for a Conditional Use Permit, for life of use , for a Guest House at the North 444.2 feet, South 1,038.4 feet, of Lot 418, John H. Shary Subdivision, Hidalgo County, Texas; 8109 North Bentsen Road.(CUP2024-0136)

Mr. Edson Lara stated that the property is located on the west side of North Bentsen Road, and approximately 573 feet north of Auburn Avenue. The property is zone A-O (Agricultural & Open Spaces) District. There is an A-O District to the north and east of the property, R-1 (Single Family Residential) District to the south, adjacent to the west of the property there is a vacant lot that is not annexed to the City of McAllen. Surrounding land uses include agricultural and residential. A Guesthouse is permitted in an A-O District with a Conditional Use Permit and in compliance with requirements.

This is the initial application for a Conditional Use Permit for a Guesthouse at this location. An application for Subdivision/Agriculture exemption was submitted on July 31st of 2023, and was approved on September 1st of 2023.

The applicant is proposing to use an existing single family dwelling as a guesthouse. A secondary structure is being proposed in the property for use as the primary residence of the property owners. Planning Department received a residential permit to build a new residential home (RES2024-09178) on 10/21/2024 for this lot. There is also an existing barn at this property.

Fire Department conducted their inspections and have approved for the CUP process to continue. The establishment must also meet the requirements set forth in Section 138-118(5) of the Zoning Ordinance and specific requirements as follows:

- 1) Only one Guesthouse allowed per lot;
- 2) The proposed use shall comply with setback requirements. The proposed structure's setbacks are in compliance;
- 3) The proposed use shall be connected to the same utilities as the primary residence;
- 4) Lot size must be a minimum 8,000 square feet. According to the Hidalgo County Appraisal District, the lot size is 535,788 square feet;
- 5) Separate driveways or garages for the proposed use shall not be permitted. Applicant is not proposing an independent driveway for the proposed guesthouse;
- 6) The proposed use shall not be rented;
- 7) The permit shall be revoked if money is ever paid for rent or utility expenses are shared with the proposed use.

There have been no phone calls, emails, or letters in opposition to the Conditional Use Permit request.

Staff recommends approval of the request, for life of the use, subject to compliance with requirements from Section 138-118(a)(5) of the Zoning Ordinance, Building and Fire Department requirements.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve for life of the use, subject to compliance with requirements from Section 138-118(a)(5) of the Zoning Ordinance, Building and Fire Department requirements. Mr. Jose Saldana second the motion with four members present and voting.

- 2) Request of Melisa Medina (Sevilla Events, LLC) on behalf of Trenton Palms LLC, for a Conditional Use Permit and an adoption of an ordinance, for one year, for an Event Center (Sevilla Events LLC) at Lot 1, Trenton View Subdivision, Hidalgo County, Texas; 7007 North 10th Street. **(CUP2024-0139)**

Mr. Edson Lara stated that the property is located on the west side of North 10th Street and is zoned C-3 (general business) District. Adjacent to the properties are zoned C-3 District to the North and South, A-O(Agricultural & Open Spaces) District, R-3A (Multifamily Apartments) District, R-3C (Multifamily Condominiums) District, and R-3T (Multifamily Townhouses) District to the east. Surrounding land uses includes Rayburn Elementary School, Robin Park adjacent to the west, Multifamily Residences, and general commercial uses. An event center is permitted in a C-3 District with a Conditional Use Permit and in compliance with requirements.

This is the initial application for a Conditional Use Permit for an event center at this location. The current application for the event center was submitted November 13, 2024 for one year.

The applicant is proposing to operate an event center from an existing building of approximately a 7,766 square feet in area. Currently, there are several multi-tenant commercial buildings in the same subdivision (Trenton View Subdivision) near the proposed event center. The building where the event center is proposed was previously operating as a Pediatric Rehabilitation Center. The proposed hours of operation for the Event Center are from 11 a.m. to 12:00 a.m. Monday through Sunday.

Fire Department conducted their inspections and have approved for the CUP process to continue. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

- 8) The property line of the lot of any of the abovementioned businesses must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. There are several apartment complexes and an elementary school to the east of the establishment;
- 9) The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The establishment is located on North 10th Street, and does not generate traffic into residential areas;
- 10)The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. The multi-tenant building is a mix of commercial businesses; there are approximately 187 parking spaces on site. The event center requires 18 parking spaces.
- 11)The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties;

- 12) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
- 13) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and
- 14) The above mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

There have been no phone calls, emails, or letters of opposition to the Conditional Use Permit request.

At the Planning and Zoning Commission meeting of December 17, 2024, no one appeared in opposition to the Conditional Use Permit (CUP) request. The Board unanimously voted to disapprove with a favorable recommendation. There were five Board members present and voting.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to disapprove the conditional use permit with favorable recommendation. Mr. Jose Saldana second the motion with five members present and voting.

** Board Member Mr. Emilio Santos Jr. joined the meeting at 3:37p.m. His vote began with item #2a3.

- 3) Request of Javier A. Zuazua on behalf of IDC Properties, LP., for a Conditional Use Permit, for one year, for an Institutional Use (Vocational School) at Lot 1, Industrial Distribution Center Subdivision, Hidalgo County, Texas; 223 North McColl Road. **(CUP2024-0141)**

Ms. Adriana Solis stated that the subject property is located on the northwest corner of East Cedar Avenue and North McColl Road. The subject property is zoned I-1 (Light Industrial) District. The adjacent zoning is I-1 District in all directions except to the east across North McColl Road the property is zoned C-4 (Commercial Industrial) District. Surrounding land uses include Don Pepe's restaurant, several office and commercial uses. An institutional use is permitted in the I-1 District, subject to compliance with Conditional Use Permit requirements.

The applicant has submitted an application for a Conditional Use Permit for a proposed vocational school on November 19, 2024. This is the initial request for an institutional use by this applicant at this location.

The applicant is proposing to operate a vocational school to teach students to test, calibrate, and repair mechanical and electronic devices. The proposed days and hours of operation are three days a week, Friday, Saturday and Sundays between the hours of 9:00 A.M. and 5:00 P.M. The submitted floor plan shows the establishment consists of 2,100 square feet and is comprised of two classrooms, one with a warehouse, two restrooms, and an office. Based on the type of use, 12 parking spaces are required and over 75 parking spaces are provided as part of the commercial plaza parking area.

The Fire Department has conducted their inspection and found it to be in compliance. The proposed use must meet the requirements set forth in Section 138-118 of the Zoning Ordinance and the following specific requirements:

- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial. The property has access to East Cedar Avenue and North McColl Road.
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking especially in residential areas. The required parking is to be provided as part of a shared parking area for this commercial plaza.
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges, or reorientation of entrances and exits;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the building shall be restricted to those allowed by the Fire Marshal and Building Official at the time of permit issuance;
- 7) Sides adjacent to a residentially zoned or used property shall be screened by a 6 ft. opaque fence;

Staff did not receive any phone calls, emails, or letters in opposition to this request.

Staff recommends approval of the request, for one year, subject to compliance with requirements in Sections 138-118, 400 of the Zoning Ordinance, Building Code and Fire Department requirements.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Vice Chairperson, Mr. Gabriel Kamel moved to approve for one year, subject to compliance with requirements in Sections 138-118, 400 of the Zoning Ordinance, Building Code and Fire Department requirements. Mr. Jose Saldana second the motion with five members present and voting.

- 4) Request of Ashwin George on behalf of Galvan Gonzalo Beltran, for a Conditional Use Permit, for one year, and adoption of an ordinance, for a Bar and Social Club at 83 Citrus Plaza Condominium Suite 170 Subdivision, Hidalgo County, Texas; 4037 Expressway 83. **(CUP2024-0142)**

Ms. Adriana Solis stated that the property is located along the north side of Colbath Road, south of U.S. Expressway 83. The subject property is zoned C-3 (General Business) District. The adjacent zoning is C-3 District in all directions, except R-1 (Single Family Residential) District along the south side of Colbath Road. Surrounding land uses include Turbo Bicycles, Lucky 4, Express 83 Nails, Be Fit Nutrition, True Fit Athletic Clubs, and other commercial uses. A social club is permitted in a C-3 District with a Conditional

Use Permit.

A request for a social club at this location was approved by the City Commission on November 28, 2023. The Conditional Use Permit to was approved for a social club that includes a smoking section inside of the establishment.

The applicant is requesting to continue operating the social club with a designate area for smoking in the cigar room only. The area should remain enclosed and have one point of entry through a set of doors, therefore it will not be an open-concept layout within the bar.

Based on the square footage of the establishment, 57 parking spaces are required. As per the submitted site plan there are 274 parking spaces provided as common parking.

A Conditional Use Permit is required for a bar/social club. The Health and Fire Departments inspected the property and allowed the CUP process to continue. The applicant must comply with all their requirements. The establishment must also meet the requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of the lot of any of the abovementioned business must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The property is within 400 feet of residential uses.
- 2) The abovementioned business must be as close as possible to a major arterial, and shall not allow the traffic generated by such businesses onto residential streets, or allow such traffic to exit into and disrupt residential areas. The establishment has access to U.S. Expressway 83 and Colbath Road.
- 3) The abovementioned business must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. Based on the square footage, 57 parking spaces are required. There are 274 common parking spaces provided as common parking. Based on area utilized, the proposed facility complies with parking. Parking spaces must comply with Section 138-400 of the Ordinance and must be clearly striped and pavement surface shall be maintained free of litter, debris, loose gravel, cracks and potholes;
- 4) The abovementioned business must do everything possible to prevent the unauthorized parking by the patrons of such businesses on adjacent business or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances;
- 5) The abovementioned business should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility of as much as possible of the site from a public street;
- 6) The abovementioned business must make provisions to keep litter to a minimum, and to keep it

from blowing onto adjacent streets and properties;

- 7) The abovementioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Director of Planning. This number cannot exceed the number provided for in existing city ordinances.

Staff has not received any letters, calls, or emails, in opposition to the request.

Should the Conditional Use Permit be approved by the Board, the applicant will be subject to compliance with the Building and Fire departments requirements.

Staff is recommending disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(a)(4) of the Zoning Ordinance.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to disapprove the conditional use permit with favorable recommendation. Mr. Jose Saldana second the motion with five members present and voting.

- 5) Request of Melden and Hunt Inc., on behalf of Synergy a Real Estate Alliance LLC., for a Conditional Use Permit, for life of the use, and adoption of an ordinance, for Planned Unit Development (Taylor Villas) at a 12.51 acre tract of land out of Lot 167, John H. Shary Subdivision, Hidalgo County, Texas; 2021 South Taylor Road. **(CUP2024-0132)(TABLED)**

Chairperson Mr. Michael Fallek asked if item was going to be untabled. Staff stated yes. Jose Ozuna motioned to remove from table. Mr. Jose Saldana second the motion with five members present and voting.

Ms. Hilda Tovar stated that the property is located at the northeast corner of South Taylor Road and Uvalde Avenue. The tract has a lot size of 12.51 gross acres and is currently vacant with street improvements in place. The property is zoned R-2 (duplex-fourplex residential) District. The adjacent zoning is R-3T (multi-family townhouse residential) District to the north, and R-1 (single-family residential) District to the east and south. The area to the west, across South Taylor Road, is outside of McAllen's city limits. A Planned Unit Development (PUD) is permitted in an R-2 District with a Conditional Use Permit and in compliance with Article IV for Planned Developments of the Subdivision Ordinance.

The tract of land was annexed into the city and initially zoned R-2 District on September 22, 2015. A rezoning request to R-3A District for the subject property was submitted on October 10, 2022 and the Planning and Zoning Commission recommended disapproval of the request at the meeting of November 16, 2022. After being advised by the Planning and Zoning Commission to consider the PUD process, the applicant withdrew his request before it could be considered by the City Commission.

An application for a proposed subdivision was submitted on April 28, 2015 for a 42-lot duplex-fourplex development under the name "Taylor Villas" and was approved in preliminary form at the Planning and

Zoning Commission meeting of September 1, 2015. A variance to the R.O.W. was approved by the Planning and Zoning Commission at 50 feet instead of 60 feet with 40 feet of pavement width and 10 feet of sidewalk and utility easements on both sides. Improvements were made on the subject property that appear to comply with its original zoning designation and subdivision proposal.

The original proposed subdivision was approved in revised final form at the Planning and Zoning Commission meeting of July 18, 2017; however, the subdivision was never recorded. Since the property changed ownership before the plat was recorded, a new subdivision application was submitted on December 28, 2022. The subdivision plat received approval in preliminary form at the Planning and Zoning Commission meeting of January 17, 2023. The PUD was approved at the City Commission meeting of June 24th, 2024.

The applicant is proposing to use the existing 12.51 gross acres of vacant land to establish a PUD for a multi-family apartment development. The subdivision for this PUD is proposed as a private/gated subdivision. The PUD will have 40 lots, 84 apartment buildings, and 168 living units in total.

PUDs allow a variety of land uses that complement each other within the development and with existing land uses in the vicinity. Specific requirements for the approval of PUDs are set forth on Article IV for Planned Developments of the Subdivision Ordinance, and are summarized as the following:

1. CONCEPTUAL SITE PLAN: Development and use of the property must comply with the conditional use permit conceptual site plan.
2. PERMITTED USES: Proposed uses are uses permitted in the R-3A (multi-family apartment residential) District for detached buildings designated as apartments.
3. OFF-STREET PARKING AND LOADING: Parking in compliance with Chapter 134 Article VII, Section 138-395 (1) (b.). Triplex, fourplex, apartment/condominium buildings with five or more units: Two parking spaces for each two or more bedrooms living unit. Based on the 168 living units, 334 total parking spaces are proposed, with 4 parking spaces for Lot 26, 8 parking spaces required for Lots 1-13, 15, 20, 16-18, 21-24, 19, 25, 27-39, 24 parking spaces required for Lot 14 and 10 parking spaces for Lot 40. The overall site plan is complying with parking requirements.
4. LANDSCAPING: A minimum of ten percent of the area of any lot or parcel shall be devoted to landscape material and comply with the intent and purpose of this article and 50 percent of such landscaped area for nonresidential lots shall be visible from the street fronting the developed property. Landscape areas located within the street and alley rights-of-way shall not be credited towards meeting the minimum landscape area requirement. However, right-of-way areas shall be landscaped. Landscape areas associated with drainage detention facilities located on the lot or parcel may be credited towards the landscape area requirement. A minimum of 50 percent of the area within the required front yard of any residential parcel shall be devoted to landscape material.
 - a. Landscape (sod/green area) square footage requirement per Lot:
 - i. **Lots 4-12**: 866
 - ii. **Lots 16-18 & 21-24**: 897
 - iii. **Lots 27-38**: 850
 - iv. **Lot 1**: 866, **Lots 2, 3**: 898, **Lot 13**: 865, **Lot 14**: 2,657, **Lot 15, 20**: 874, **Lot 19**: 897, **Lot 25**: 874, **Lot 26**: 531, **Lot 39**: 850, **Lot 40**: 1,087.

As per Section 110-51 (1), when the required area being landscaped is from one to 2,000 square feet a minimum of one tree for every 200 square feet of landscape area shall be required.

b. Tree requirements per Lot (2.5", 4", and 6" caliper size):

- i. All lots will require a minimum of 5 trees at 2.5" caliper size, except for Lot 42 which will require 6 trees at 2.5" caliper size.
- ii. 3 trees at 4" caliper size can also be provided for all lots, or one tree at 6" caliper size, except for Lot 14 which will require 3 trees at 6" caliper size.

5. STREETS AND SETBACKS: Final setbacks and right-of-way dedication will be addressed and determined through the subdivision review process.
6. DRAINAGE: Addressed through subdivision process. Final drainage detention and design and the drainage plan must be submitted and in accordance with City of McAllen Standard Design Guide.
7. ADDITIONAL PROVISIONS: Conditional Use Permit site plan controls if there is conflict with other City ordinances. A decision by the Planning Director may be reviewed by the Planning and Zoning Commission for recommendation to the City Commission Board for final determination. The Conditional Use Permit calls for mixed use and a minimum of five (5) acres. The development has 12.51 acres and is proposing a single use.

The PUD is being approved with a dumpster layout plan as shown on the site plan. Single container pads are being proposed with details shown on the site plan.

8. Owner, Engineer and Surveyor certification and signature block needs to be shown on the PUD site plan. Submitted site plan meets requirements.
9. A recorded subdivision plat and PUD site plan is required prior to issuance of building permits. The subdivision review process must be completed, and the subdivision plat must be recorded together with the PUD site plan.

Three different elevation plan types will be recorded along with the PUD site plan that will reflect three different lot groups (i.e., Lots 1-16, Lots 17-27, and Lots 29-42).

If the subdivision or building layout changes, the Conditional Use Permit will need to be amended to resemble the approved Subdivision Plat. The PUD must comply with all City department requirements, including but not limited to, the Building Permit & Inspections Department, Planning Department, Utility Department, Engineering Department, Fire Department, and the Environmental and Health Code Compliance Department. Finally, if this request is granted approval, all proposed structures and improvements on the recorded Subdivision Plat and PUD site plan will be required during the building permitting process.

Staff did not receive any phone calls, emails, or letters in opposition to this request.

Staff recommends approval of the amendment to the Planned Unit Development as presented, for life of the use, subject to all aforementioned conditions.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve of the amendment to the Planned Unit Development as presented, for life of the use, subject to all aforementioned conditions Vice Chairperson, Mr. Gabriel Kamel second the motion with four members present and voting.

b) REZONING:

- 1) Rezone from A-O (agricultural and open space) District to R-1 (single family residential) District: 9.67 acres tract of land more or less, out of Lot 53, La Lomita Irrigation & Construction Company Subdivision, Hidalgo County, Texas; 8017 North Ware Road. **(REZ2024-0060)**

Ms. Hilda Tovar stated that the subject property is located along the west side of North Ware Road, approximately 430 feet north of Auburn Avenue. The property is zoned A-O (agricultural and open space) District.

The applicant is requesting to rezone the property to R-1 (single family residential) District. The property is being used as agricultural and a feasibility plan has not been submitted yet.

The adjacent properties are zoned A-O (agricultural and open space) District in all direction, except R-1 (single family residential) District and C-3 (general business) District to the east across Ware Road.

The property is currently being used as agricultural. Surrounding uses include single family residences, commercial uses, and vacant land.

The Envision McAllen Future Land Use Plan designates the future land use for this property as Mixed-Use Nodes. Duplex, Townhomes, Triplex/Quadplex, small multifamily, large multifamily, and mixed-use neighborhood scale retail and mixed-use urban Community Scale are the most appropriate developments for this type of use. This includes diverse housing options and promotes walkability.

The development trend of this area of North Ware is a mix of commercial, agricultural, and residential uses.

During the comprehensive zoning of 1979 the subject property was not part of the Extra-Territorial Jurisdiction (ETJ) and therefore there was not a zoning designation for it.

The property was annexed into the City of McAllen in December 1989 with an initial zoning to A-O (agricultural and open space) District.

A rezoning application was submitted on November 15th, 2024.

The requested zoning does not conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan. However, it is compatible with the surrounding zoning districts and development trend along North Ware Road.

A subdivision and site plan review will be required prior to building permit issuance for any future developments in the property. Any future developments must also comply with the permitted and conditional uses of the designated zoning district.

Staff has not received any phone calls, emails, or letters in opposition to the initial zoning request.

Staff recommends approval of the rezoning request to R-1 (single family residential) District, since it aligns with the existing uses and development trend for this area.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was none.

Being no discussion, Mr. Jose Saldana moved to approve the rezoning request to R-1 (single family residential) District, since it aligns with the existing uses and development trend for this area. Mr. Jesse Ozuna second the motion with five members present and voting.

- 2) Rezone from R-1 (Single Family Residential) District to R-3T (Multifamily Residential Townhomes) District: 3.312 Acres, Out of Lot 10, Block 1, C.E. Hammond Subdivision, Hidalgo County, Texas; 2121 Trenton Road. **(REZ2024-0063)**

Ms. Adriana Solis stated that the subject property is located along the north side of Robin Avenue, approximately 790 feet south of Trenton Road. The property is zoned R-1 (Single Family Residential) District.

The applicant is requesting to rezone the property to R-3T (Townhomes) District. The property is currently vacant, a feasibility plan has not been submitted yet.

The adjacent properties are zoned A-O (Agricultural And Open Space) District and C-3L (Light Commercial) District to the north, R-3A (Multifamily Residential Apartments) District to the west, and R-1 District to the south and east.

The property is currently vacant. Surrounding uses include single family, commercial uses, and vacant land.

The Envision McAllen Future Land Use Plan designates the future land use for this property as Complete Communities. Mixed-Use Urban, Neighborhood Scale and Mixed-Use Urban, Community Scale are the most appropriate developments for this type of use. This includes diverse housing options and promotes walkability.

The development trend of this area of Trenton Road is a mix of commercial, agricultural, and residential uses.

The property was annexed into the City of McAllen in May 1982. A rezoning application was submitted on November 20th, 2024.

The requested zoning does conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan. It is also compatible with the surrounding zoning districts and development trend.

A subdivision and site plan review may be required prior to building permit issuance for any future developments in the property. Any future developments must also comply with the permitted and conditional uses of the designated zoning district.

Staff did receive a phone call in opposition to the rezoning request due to privacy concerns, such as the height of the proposed townhomes.

Staff recommends approval of the rezoning request to R-3T (Townhomes) District.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was one.

Citizen Ms. Kelly Smith (2200 Robin Avenue) stated her concerns are privacy from having balcony's. Ms. Smith stated that the properties will lose value.

After a lengthy discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve the request to R-3T (Townhomes) District. Vice Chairperson Mr. Jose Saldana second the motion with five members present and voting.

** Case # 2b3 & 2b4 were requested to be read and voted together.

- 3)** Rezone from R-3A (multifamily residential apartments) District to R-3T (multifamily residential townhouses) District: 3.062 acres out of Section 232, Texas Mexican Railway Company's Survey, (proposed Villas at Tres Lagos Phase I-A Subdivision), Hidalgo County, Texas; 5300 Tres Lagos Boulevard (Tract 1). **(REZ2024-0064)**

Ms. Samantha Trevino stated that the irregular shaped property is located along the north side of Tres Lagos Boulevard. The vacant tract is comprised of 3.062 acres.

The applicant is proposing to rezone the property from R-3A (multifamily residential apartments) District to R-3T (multifamily residential town house) District in order to build townhomes. Preliminary plat approval was on August 7, 2024.

The adjacent properties are zoned R-3T (multifamily residential townhouse) District to the north and east, C-4 (commercial industrial) District to the south, and R-3A (multifamily residential apartments) District to the West.

The property is currently vacant land that is part of the proposed Villas at Tres Lagos Subdivision. Surrounding land uses include Texas A&M University, Idea Academy, single-family dwellings and vacant land.

The Envision McAllen Future Land Use Plan designates the future land use for this property as Mixed Density Complete Neighborhoods. This allows for a wide variety of housing choices that put residential units in close proximity to goods services, and civic activities, which reduces the dependency on cars, promotes community interaction, and creates a walkable environment.

The development trend along this area of Tres Lagos Boulevard is institutional use, and single family residential. The property was annexed into the city and initially zoned R-1 (single family residential) District in 2014. A rezoning request to C-4 (commercial industrial) District was approved in 2015. The property was rezoned to R-3A District in July 2020, but no development occurred.

The requested zoning conforms to the Future Land Use Plan designation of Mixed Density Complete Neighborhoods. The proposed development will be in proximity to compatible uses, a public charter school, and a University. Such institutional uses are often located within residential neighborhoods.

Staff has not received and phone calls, emails, or letters in opposition of the rezoning request.

Staff recommends approval of the rezoning request to R-3T District.

- 4) Rezone from C-4 (commercial industrial) District to R-3T (multifamily residential townhouses) District: 1.399 acres out of Section 232, Texas-Mexican Railway Company's Survey, (proposed Villas at Tres Lagos Phase I-A Subdivision), Hidalgo County, Texas; 5300 Tres Lagos Boulevard (Tract 2). **(REZ2024-0065)**

The irregular shaped property is located along the north side of Tres Lagos Boulevard. The vacant tract is comprised of 3.062 acres.

The applicant is proposing to rezone the property from R-3A (multifamily residential apartments) District to R-3T (multifamily residential town house) District in order to build townhomes.

The adjacent properties are zoned R-3T (multifamily residential townhouse) District to the north and east, C-4 (commercial industrial) District to the south, and R-3A (multifamily residential apartments) District to the West.

The property is currently vacant land that is part of the proposed Villas at Tres Lagos Subdivision. Surrounding land uses include Texas A&M University, Idea Academy, single-family dwellings and vacant land.

The Envision McAllen Future Land Use Plan designates the future land use for this property as Mixed Density Complete Neighborhoods. This allows for a wide variety of housing choices that put residential units in close proximity to goods services, and civic activities, which reduces the dependency on cars, promotes community interaction, and creates a walkable environment.

The development trend along this area of Tres Lagos Boulevard is institutional use, and single family residential. The property was annexed into the city and initially zoned R-1 (single family residential) District in 2014. A rezoning request to C-4 (commercial industrial) District was approved in 2015.

The requested zoning conforms to the Future Land Use Plan designation of Mixed Density Complete Neighborhoods. The proposed development will be in proximity to compatible uses, a public charter school, and a University. Such institutional uses are often located within residential neighborhoods.

Staff has not received and phone calls, emails, or letters in opposition of the rezoning request.

Staff recommends approval of the rezoning request to R-3T District.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was none.

Being no discussion, Mr. Jesse Ozuna moved to approve the rezoning request to R-3T District for both item #'s 2b3 & 2b4. Vice Chairperson Mr. Gabriel Kamel second the motion with five members present

3) SITE PLAN

- a) Site plan approval for LOT 37, IGOA Business Campus Phase 1 Subdivision, Hidalgo County, Texas; 1325 East Nolana Avenue. **(SPR2024-0038)**

Ms. Hilda Tovar stated that the subject property is located on the north side of East Nolana Avenue, 120 feet west from North M Street. The subject property is zoned C-3 (general business) District. Adjacent properties are zoned C-3 (general business) District in all directions. Surrounding land uses include vacant land, commercial, and office uses.

The applicant is proposing to build a 16,600 square-foot building to operate a medical office building.

Access:

Access to the site is from Nolana Avenue. No access from alley is proposed.

Parking Requirements:

Based on 16,600 square-foot that will be used for a medical office building, 51 parking spaces are required for the site. 62 parking spaces are proposed. Moreover, 3 of the proposed regular parking spaces must be accessible for van accessibility with an 8-foot-wide aisle. The applicant is meeting parking requirements for the new development.

Landscape Requirements:

4,706 square feet of green area is required for the new development. The tree requirement is as follows: 16 two-and-a half-inch-caliper trees, 8 four-inch caliper trees, 4 six-inch caliper trees, or 4 palm trees. A minimum 10 feet wide landscaped strip is required inside the front property line along East Nolana Avenue. Fifty percent of the required green area for the new development must be visible from the street or front property line, and each parking space must be within 100 feet of a landscaped area with a tree. A 6-foot buffer is required around dumpsters/compactors if visible from the street. Finally, an 8-foot masonry wall is required between commercial and residential zone/use. The applicant is meeting landscaping requirements for green area and trees.

Other Planning Requirements:

There is a 94-foot front yard setback along East Nolana Avenue or greater for approved site plan or easements (15 feet utility easement), a 98-foot front yard setback is being proposed. The rear setback is in accordance with the Zoning Ordinance (minimum 5 feet) or greater for approved site plan or easements (12 feet access easement). A 93-foot rear yard setback is being proposed. The sides setbacks are in accordance with the Zoning Ordinance or greater for approved site plan or easements. The Zoning Ordinance requires the side yard setbacks from all lot lines to be one foot back for each two feet in height including corner lots or, if not adjacent to residential uses, may provide a firewall in accordance with Building Code requirements in lieu of a setback. A 50-foot side yard setback on the west side is being proposed and a 0-foot side yard setback on the east side is being proposed with a firewall in accordance with Building Code requirements. No structures are permitted to be built over any easements. The new development will be complying with all required setbacks for the property.

A 4-foot-wide minimum sidewalk is required along East Nolana Avenue.

The Building Permit Site Plan must comply with requirements noted on the Development Team Review

Staff recommends approval of the site plan subject to the conditions noted, Building Permit requirements and the subdivision and zoning ordinances.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve the site plan request. Mr. Jose Saldana second the motion which was approved with five members present and voting.

4) CONSENT:

- a) Barton Subdivision, 8501 North Main Street, Antonio Esparza **(SUB2024-0109) (FINAL) TUE**

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve consent item. Mr. Jose Saldana seconded the motion, which was approved with five members present and voting.

5) SUBDIVISIONS:

- a) 29th Subdivision, 8516 North 29th Street, Real Estate Team Holdings LP **(SUB2024-0097) (REVISED PRELIMINARY) M&H**

Mr. Eduardo Garza stated that the property located on North 29th Street: Dedication as needed for 50 ft. from centerline for 100 ft. total ROW Paving : 65 ft. Curb & gutter: Both Sides. Provide document numbers on plat regarding any existing dedication or acquisitions as applicable prior to final as well as documents for staff review. Dedication requirements to be established once ROW details regarding existing dedications are provided, finalize prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. COM Thoroughfare Plan. Frontera Road: Minimum 30 ft. ROW dedication for 60 ft. total ROW Paving: 40 ft. Curb & gutter: both sides. Label ROW after accounting for dedication as total ROW, prior to final. Provide document numbers on plat regarding any existing dedication or acquisitions as applicable prior to final as well as documents for staff review. Dedication requirements to be established once ROW details regarding existing dedications are provided, finalize prior to final. Engineer submitted a variance request on November 12, 2024, requesting to only dedicate 20 ft. instead of the required 30 ft. for 50 ft. total ROW, but the engineer has stated that 40 ft. of paving would remain and a 10 ft. sidewalk and utility easement will be provided along the north side of Frontera Road. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. North 27th Street: 50 ft. ROW Paving: 32 ft. Curb & gutter: both sides. Provide for North 27th Street to provide connectivity to the N/S. Engineer submitted a variance request on November 12, 2024, requesting to not extend North 27th Street as the 1/4 collector road wouldn't connect to thoroughfare roads. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. 900 ft. Block Length for R-3 Zone Districts. Engineer submitted a variance request on November 12, 2024, requesting a block length of 1169 ft. on the north side instead of the required 900 ft. Subdivision Ordinance: Section 134-118. ROW: 20 ft. Paving: 16 ft. Must provide for 8 x 8 ft dumpster easements and comply with Public Works requirements. Alley/service drive easement required for commercial/multi-family properties. Subdivision Ordinance: Section 134-106. Front: 10 ft. or greater for easements. Setback requirements to be established once clarification by the engineer is provided if setbacks starts from property line or service drive. Zoning Ordinance: Section 138-356. Rear: In accordance with the Zoning Ordinance or

easements, whichever is greater applies. Setback requirements to be established once clarification by the engineer is provided if setbacks starts from property line or service drive. Zoning Ordinance: Section 138-356. Sides: In accordance with the Zoning Ordinance or greater for easements, whichever is greater applies. Setback requirements to be established once clarification is provided by the engineer if setbacks starts from property line or service drive. Zoning Ordinance: Section 138-356. Corner: 10 feet or greater for easements. Revise corner setback as shown above, prior to final. Zoning Ordinance: Section 138-356. Garage: 18 feet except where greater setback is required; greater setback applies. Garage setback wording to be finalized, prior to final. Setback requirements to be established once clarification is provided by the engineer if setbacks starts from property line or service drive. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on North 29th Street, Frontera Road, and both sides of North 27th Street. Sidewalk may increase to 5 ft. as per Engineering Department. Include a plat note as applicable as shown above, wording to be finalized prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along North 29th Street. Revise plat note #6 as shown above, prior to final. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along North 29th Street and Frontera Road except Lot 32 only. Maneuvering space may need to be provided on lot and not inclusive of Frontera Road. Plat note wording to be finalized, prior to final. Must comply with City Access Management Policy. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development. Zoning Ordinance: Section 138-210. Common Areas, detention areas, private service drive, gate areas etc. must be maintained by the lot owners and not the City of McAllen. Revise plat note #10 as shown above, prior to final. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 110-72 applies if public subdivision is proposed. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Section 110-72 applies if public subdivision is proposed. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. Once plat is revised to show North 27th Street, detention area must be a minimum 25 ft. width and front an interior street. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Once plat is revised to show North 27th Street, detention area must be a minimum 25 ft. width and front an interior street. Corner lots should be at least four feet wider than the minimum lot size in residential zones. Provide preliminary site plan for multi-family lots to verify compliance with landscaping and buildable lot requirements. Zoning Ordinance: Section 138-356. Existing: R-3 Proposed: R-3T. A rezoning application was submitted on August 21, 2024. City Commission approved the rezoning request from R-1 to R-3T on October 28, 2024. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. A rezoning application was submitted on August 21, 2024. City Commission approved the rezoning request from R-1 to R-3T on October 28, 2024. Zoning Ordinance: Article V. Land dedication in lieu of fee. As per plat submitted on August 29th, 2024 a total of 41 lots proposed park fees total to \$28,700 (\$700 X 41 per lot/dwelling unit) payable prior to plat recording. If the number of lots/dwelling units changes fees will be adjusted accordingly. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per plat submitted on August 29th, 2024 a

total of 41 lots proposed park fees total to \$28,700 (\$700 X 41 per lot/dwelling unit) payable prior to plat recording. If the number of lots/dwelling units changes fees will be adjusted accordingly. Pending review by the City Manager's Office. As per plat submitted on August 29th, 2024 a total of 41 lots proposed park fees total to \$28,700 (\$700 X 41 per lot/dwelling unit) payable prior to plat recording. If the number of lots/dwelling units changes fees will be adjusted accordingly. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Any abandonments must be done by separate document before final, and be referenced on plat. Provide a site plat for lots 31 and 32 to establish if buildable lots, prior to final. Please submit copy of 50 ft. gas easement document for staff review prior to final. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in revised preliminary form subject to the conditions noted, drainage, and utility approval and disapproval of variance request numbers 1, 2, and 4.

Representative of applicant Mr. Beto De La Garza(1209 Nyssa Avenue), discussed surrounding undeveloped properties and the reasoning for the variance requests.

After a lengthy discussion between engineers and applicant, Mr. Gabriel Kamel moved to approve in revised preliminary form subject to the conditions noted, drainage, and utility approval and disapproval of variance request numbers 1, 2, and 4. Mr. Jose Saldana seconded the motion, which was approved with five members present and voting.

b) FYN Subdivision, 10600 North Bentsen Road, Jose Francisco Hernandez and Elva N. Hernandez (SUB2024-0129) (PRELIMINARY) SEA

Mr. Eduardo Garza stated that the property located on North Bentsen Road: 30 ft. ROW dedication required for 50 ft. from centerline for 100 ft. total ROW Paving: 65 ft. Curb & gutter: both sides. Label centerline. Label additional ROW as additional ROW dedicated by this plat. Provide document number for existing ROW and provide a copy to staff for review, prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. Front: 50 ft. or in line with average setback of existing structures, or easements, whichever is greater. TBD Based on easements as may be required by the County; to be established prior to final. Zoning Ordinance: Section 138-356. Rear: TBD based on easements as may be required by the County; to be established prior to final. Zoning Ordinance: Section 138-356. Sides: TBD based on easements as may be required by the County; to be established prior to final. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required; greater setback applies. Include a plat note as shown above, prior to final. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on North Bentsen Road. Revise plat note as shown above, prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Revise plat note as shown above, prior to final. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along. Must comply with City Access Management Policy. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width

and lot area. Zoning Ordinance: Section 138-356. Existing: ETJ Proposed: ETJ. If annexation is proposed, process must be finalized prior to final along with initial zoning process. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. If annexation is proposed, process must be finalized prior to final along with initial zoning process. Zoning Ordinance: Article V. As per Traffic Department, Trip Generation for a 1-Lot Single Family Subdivision is waived. No TIA is required. Any abandonments must be done by separate process not by plat, prior to final. Ownership map will be needed to ensure no landlocked properties exist. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in preliminary form subject to the conditions noted, drainage, and utility approval.

Being no discussion, Mr. Gabriel Kamel moved to approve subdivision in preliminary form subject to the conditions noted, drainage, and utility approval. Mr. Jose Saldana seconded the motion, which was approved with five members present and voting.

c) Haven Hill Subdivision, 8017 North Ware Road, Fortis Land Company, LLC (SUB2024-0127)(PRELIMINARY) RDE

Mr. Julio Constantino stated that the property located on North Ware Rd. (F.M. 2220) : Dedication as needed for 75 ft. from centerline for 150 ft. Total R.O.W. Paving: By the State Curb & gutter: By the State Revisions Needed: Revise the Street name as shown above wherever applicable, prior to final. Need to label the Total R.O.W., Existing R.O.W., etc. after accounting for any dedication. Use applicable arrow annotations to show this. Need to label the width and dimensions of the TxDOT parcel acquisition to finalize R.O.W. dedication. Need to label the Centerline (C.L.) of the road to determine the applicable R.O.W. dedication requirements, label these dimensions from Centerline, prior to final. Include all applicable document numbers for R.O.W., easements, etc. on the plat and provide copies of these documents for staff review prior to final. City of McAllen through fare plan designates N. Ware Rd. as a High-Speed arterial with 150ft. of R.O.W. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Auburn Avenue (Mile 5 North): 60 ft. from centerline for 120 ft. ROW Paving: 65 ft. Curb & gutter: Both sides. Revise the Street name as shown above wherever applicable, prior to final. Need to label the Total R.O.W., Existing R.O.W., etc. after accounting for any dedication. Use applicable arrow annotations to show this. Need to label the Centerline (C.L.) of the road to determine the applicable R.O.W. dedication requirements, label these dimensions from Centerline, prior to final. Include all applicable document numbers for R.O.W., easements, etc. on the plat and provide copies of these documents for staff review prior to final. Disclaimer: R.O.W. varies on Auburn Ave. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Internal Streets: 50 ft. ROW Paving: 32 ft. Curb & gutter: Both sides. Revisions Needed: Street names will need to be assigned prior to final approval. Disclaimer: Plat submitted on November 25, 2024 has the following streets labeled as streets A,B,C. Interior streets along lot 41 and South to Auburn Ave. only provide for 40 ft. of R.O.W. Revise plat to comply with minimum 50 ft. R.O.W. On Street B, separate the Cul-De-Sac from the South boundary line. Staff Reviewing requirement for N/S collector street. Revise plat as required to comply with requirement. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. N/S 1/4 Mile Collector Street (West-Boundary) - Dedication as needed for 60 ft. of R.O.W. Paving: 40 ft. Curb & gutter: Both Sides. Staff reviewing requirement for N/S Collector Streets. Revise plat as required to comply with requirement. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. E/W 1/4 Mile Collector Street (North-Boundary). Dedication as needed for 60 ft. of R.O.W. Paving: 40 ft. Curb & gutter: Both Sides. Staff reviewing requirement for E/W Collector Street. Revise plat as required to comply with requirement. Subdivision Ordinance: Section 134-105. Monies must be escrowed if

improvements are required prior to final. 1,200 ft. Block Length. No stub-out streets provided to comply with the maximum block length requirements. Subdivision Ordinance: Section 134-118. 900 ft. Block Length for R-3 Zone Districts. 600 ft. Maximum Cul-de-Sac Revisions Needed: On Street B, separate Cul-De-Sac from the South Boundary line. Staff reviewing Cul-De-Sac street as shown on plat submitted on November 25, 2024. If Cul-De-Sac exceeds the 600 ft. Maximum length, must revise plat to comply with maximum length allowed. If it exceeds the 600 ft. Maximum length and a variance is submitted, it will be subject to 40ft. of paving. Subdivision Ordinance: Section 134-105. Front: 25 ft. or greater for easements, whichever is greater applies. Revisions needed: Include note as shown above prior to final. Zoning Ordinance: Section 138-356. Rear: 10 ft. or greater for easements, whichever is greater applies. Revisions needed: Include note as shown above prior to final. Zoning Ordinance: Section 138-356. Interior Sides: 6 ft. or greater for easements, whichever is greater applies. Revisions needed: Include note as shown above prior to final. Zoning Ordinance: Section 138-356. Side Corner: 10 ft. or greater for easements, whichever is greater applies. Revisions needed: Include note as shown above prior to final. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required; greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on N. Ware Rd., Auburn Ave., & both sides of all interior streets. Also, both sides of Collector Streets as applicable. Revisions Needed: Revise plat note #11 as shown above once finalized, prior to final. Sidewalk requirement may increase to 5 ft. as per Engineering Department prior to final. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. Required. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along N. Ware Rd. Revisions needed: Revise plat note # 14 as shown above once finalized, prior to final. Other buffers may be required to comply with collector street requirements, prior to final. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along N. Ware Rd. Revisions needed: Revise plat note #12 as shown above once finalized, prior to final. Other streets may be included in restricting curb cuts once Collector Streets are abandoned, prior to final. Must comply with City Access Management Policy. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Section 110-72 applies if public subdivision is proposed. Section 134-168 applies if private subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Revisions needed: All interior lots must be minimum 50 ft. wide except for corner lots. Corner lots need to be minimum 54 ft. wide. Revise plat to be in compliance with width requirements. Zoning Ordinance: Section 138-356. Existing: AO (Agricultural and Open Space District) Proposed: R-1 (Single-Family Residential District). Application for Zoning Change (REZ2024-0060) was submitted on November 15, 2024 and will be presented at the December 17, 2024 Planning & Zoning meeting. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Application for Zoning Change (REZ2024-0060) was submitted on November 15, 2024 and will be presented at the December 17, 2024 Planning & Zoning meeting. Zoning Ordinance: Article V. Land dedication in lieu of fee. Based on the application

submitted on 11/25/2024, 45 single-family residential lots are proposed. A park fee of \$700 per dwelling unit (\$31,500 total) is required prior to recording. The park fee is subject to change if the number of dwelling units changes. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Based on the application submitted on 11/25/2024, 45 single-family residential lots are proposed. A park fee of \$700 per dwelling unit (\$31,500 total) is required prior to recording. The park fee is subject to change if the number of dwelling units changes. Pending review by the Parkland Dedication Advisory Board and CC. Based on the application submitted on 11/25/2024, 45 single-family residential lots are proposed. A park fee of \$700 per dwelling unit (\$31,500 total) is required prior to recording. The park fee is subject to change if the number of dwelling units changes. As per Traffic Department, Trip Generation is required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Subdivision Name on the application is specified as "Haven Hill Subdivision" however, the engineer's title block on the right side refers to the project name as "Haven Hills Subdivision." Need to verify that the subdivision name is consistent throughout all applications, reports, paperwork, etc. On the Owner's acknowledgement signature block, the wording being used is the one used for 'Private' Subdivisions, please make sure the wording required for 'Public' Subdivisions. On the Owner's acknowledgement wording, there is a misspelling of the word alleys, it currently says "Allys." On the Vicinity Map, make sure that the North Arrow is clearly visible, perhaps move it more to the left side of the vicinity map to help with its clarity. Plat notes refer to various lot #'s that are above the # of lots presented on the plat. (e.g. Plat note #3 mentions lots 74,75,115,etc.) On the plat, provide the legal description of the properties located directly North of Auburn Ave. Disclaimer: Any abandonment of easements must be done by a separate instrument/document, cannot be abandoned by plat, must be done prior to final. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in preliminary form, subject to the conditions noted, drainage & utilities approval.

Being no discussion, Mr. Gabriel Kamel moved to approve in preliminary form, subject to the conditions noted, drainage, and utilities approval. Mr. Jose Saldana seconded the motion, which was approved with five members present and voting.

d) Hidden Grove Estates Subdivision, 8601 North 2nd Street, J&D Produce Inc. (SUB2024-0131)(PRELIMINARY) M&H

Mr. Julio Constantino stated that the property located on N. 2nd Street (N. Col Rowe Blvd.): 60 ft. ROW required from centerline for 120 ft. total R.O.W. Paving: min. 65 ft. Curb & gutter: both sides Revisions needed: Dedicating 55 ft. R.O.W. from centerline instead of the required 60 ft. R.O.W. Please clarify with staff. Please provide staff with copy of existing R.O.W. documents for staff review prior to final. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are not built prior to recording. Interior street: 50 ft. R.O.W. Paving: 40ft. Curb & gutter: both sides. 40 ft. of pavement would be required. If variance is requested for Cul-De-Sac street exceeding the 600 ft. length, it would be subject to that 40 ft. of pavement. Revisions needed: R.O.W. for gate area needs to be increased to 65 ft. to accommodate all gate and related improvements. Knuckle to be provided on the internal street. Need to label the Center Line (C.L.) of internal street. Show the R.O.W. diameter at the Cul-De-Sacs and provide a paving layout for staff review prior to final. Need to provide Gate Details for staff review prior to final. Street name will be established prior to final. Finalize street name requirement prior to final. Disclaimer: H.C.I.D. No. 2 easement falls on top of the internal street. Abandonment cannot be done by plat, must be done by a separate document. Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan. Monies must be escrowed if improvements are not built prior to recording. 1,200 ft. Block Length. Subdivision Ordinance: Section 134-118. 600 ft. Maximum Cul-de-Sac. Provide Cul-De-Sac details prior to final. Provide Cul-De-Sac

Radius width and length on the plat. Subdivision layout does not appear to comply with the 600 ft. Cul-De-Sac block length requirement, please revise accordingly prior to final. If no changes please submit a variance request for 600 ft. maximum block length requirement. If variance is requested for Cul-De-Sac street exceeding the 600 ft. length, if variance is approved it would be subject to that 40 ft. of pavement. Subdivision Ordinance: Section 134-105. Front: 25 ft. or greater for easements, whichever is greater applies. Revisions needed: Include note as shown above prior to final. Zoning Ordinance: Section 138-356". Rear: 10 ft. or greater for easements, whichever is greater applies. Revisions needed: Include note as shown above prior to final. Zoning Ordinance: Section 138-356. Interior Sides: 6 ft. or greater for easements, whichever is greater applies. Revisions needed: Include note as shown above prior to final. Zoning Ordinance: Section 138-356. Side corner: 10 ft. or greater for easements, whichever is greater applies. Revisions needed: Include note as shown above prior to final. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where a greater setback is required; greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on the west side of N. 2nd Street (Col. Rowe Blvd.) and both sides of all interior streets. Revisions needed: Revise plat #6 as shown above prior to final. Sidewalk requirement may increase to 5 ft. as per Engineering Department prior to final. Subdivision Ordinance: Section 134-120". Perimeter sidewalks must be built or money escrowed if not built at this time. ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along N. 2nd Street. Revisions Needed: Revise plat note # 7, include note as shown above with wording to be finalized prior to final. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along N. 2nd Street. Revisions Needed: Revise note #10 as shown above prior to final. As per Traffic Department, "No curb cuts will be allowed along N. 2nd street for any individual lots..." Contact traffic department for more details. Must comply with City Access Management Policy. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions needed: Revise plat note #9 as shown above, note subject to change once subdivision requirements have been finalized. Finalize wording for note prior to final. For Lot 9/Common Area A, please clearly label the lot as lots may only one have one letter/number, revise the lot name prior to final. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Revisions Needed: Add a plat note as shown above prior to final. Section 134-168 applies if private subdivision is proposed. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Revisions needed: HOA covenants would need to be submitted for staff review. Need to add a plat note with a space to cross-reference the recorded HOA document number. Section 134-168 applies if private subdivision is proposed. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Lot dedication min. 25 frontage on street. Zoning Ordinance: Section 138-356. Existing: R-1 (Single-Family Residential District) Proposed: R-1 (Single-Family Residential District). Zoning Ordinance: Article V. As per plat submitted on December 5, 2024, plat depicts 8 residential lots, a request to pay park fees in lieu of land dedication for the Hidden Grove Estates Subdivision has been submitted and will be reviewed by City Manager's Office. This request includes paying half of the park fees prior to recording and the other half prior to building permit issuance. Half of the park fees (\$2,800) are based on the \$350 per 8 proposed dwelling units, which is needed prior to recording, and \$350 per 8 dwelling units must be paid prior to building permit issuance. If the number of dwelling units increases, additional park fees will

apply. Revisions Needed: Need to provide a plat note to reflect the approved park fee variance needed, prior to final/recording. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per plat submitted on December 5, 2024, plat depicts 8 residential lots, a request to pay park fees in lieu of land dedication for the Hidden Grove Estates Subdivision has been submitted and will be reviewed by City Manager's Office. This request includes paying half of the park fees prior to recording and the other half prior to building permit issuance. Half of the park fees (\$2,800) are based on the \$350 per 8 proposed dwelling units, which is needed prior to recording, and \$350 per 8 dwelling units must be paid prior to building permit issuance. If the number of dwelling units increases, additional park fees will apply. Revisions Needed: Need to provide a plat note to reflect the approved park fee variance needed, prior to final/recording. Pending review by the City Manager's Office. As per plat submitted on December 5, 2024, plat depicts 8 residential lots, a request to pay park fees in lieu of land dedication for the Hidden Grove Estates Subdivision has been submitted and will be reviewed by City Manager's Office. This request includes paying half of the park fees prior to recording and the other half prior to building permit issuance. Half of the park fees (\$2,800) are based on the \$350 per 8 proposed dwelling units, which is needed prior to recording, and \$350 per 8 dwelling units must be paid prior to building permit issuance. If the number of dwelling units increases, additional park fees will apply. Revisions Needed: Need to provide a plat note to reflect the approved park fee variance needed, prior to final/recording. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Trip Generation has been approved, no TIA required. Verify that the Metes & Bounds provided on the application match the bearings and distances labeled on the plat and plat boundary. There are three distinct P.O.B. being shown on the plat, please clarify this so that it matches what was provided on the survey. Contour lines on the plat are missing the elevations. Application refers to subdivision name as "Hidden Grove Estates Subdivision" need to make sure that this subdivision title is reflected as such on all pertaining signature lines, reports, paperwork, etc. Owner signature refers to the wording used for public subdivisions, but as per application and the plat shown, this subdivision will be for a private subdivision. Please clarify the wording to match for private subdivisions. Disclaimer: Subdivision is labeled on the application as a private & gated subdivision. Need to provide gate details for staff review prior to final. Disclaimer: Additional R.O.W. may be required at the gate area to ensure gate standard requirements. If owner is under an LLC, the most recent Secretary of State (SOS) Documents would need to be provided to verify the owner's signature. If there are multiple owners on the LLC, owner's authorization letters would be required for each owner. Need to correct the Planning & Zoning Commission chairman's Signature Block with correct wording, as it should read; Chairman, Planning & Zoning Commission date. Disclaimer: Please verify, on the surveyor's signature line, there is a small misspelling on the surveyor's seal, it currently says "Registered". Please clarify with staff on the pertaining 30.0' Irrigation Easement claimed by the H.C.I.D. No. 2. Any abandonments must be done by a separate instrument/document, cannot be abandoned by plat. Ownership map of the surrounding properties needs to be provided for staff review prior to final, to ensure that no landlocked properties exist. Needs to provide for a knuckle on the interior street by lot 8. Please clarify with staff to determine how Lot 3 will be developed. Disclaimer: Subdivision was previously processed as the Proposed Eagle's Nest Subdivision and was withdrawn by the Engineer on April 21, 2023. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in preliminary form, subject to the conditions noted, drainage & utilities approval.

Being no discussion, Mr. Jose Saldana moved to approve in preliminary form, subject to the conditions noted, drainage, and utilities approval. Mr. Emilio Santos Jr. seconded the motion, which was approved with five members present and voting.

e) Los Encinos on Taylor Subdivision, 3324 North Taylor Road, Jorge Guerra (SUB2024-0130)(PRELIMINARY) BRE

Mr. Kaveh Forghanparast stated that the property located on N. Taylor Rd: 40 ft. ROW dedication needed from centerline for 80 ft. Total ROW Paving: 52 ft. Curb & gutter: Both Sides Revisions Needed: Revise the street name label from "Taylor Road" to "N. Taylor Road" prior to final. Provide a copy of the referenced documents for the existing ROW for staff review prior to final. After documents received, staff will review 10 ft. additional ROW dedication needed as shown above prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. N. 47th/N. 48th Street (N/S Quarter Mile Collector) (east subdivision boundary): Dedication as needed for 60 ft. total ROW Paving: 40 ft. Curb & gutter: both sides Revisions needed: Dedicate the required ROW dedication as shown above for a N/S quarter mile collector prior to final. Clarify if the N/S interior street on the east side of the subdivision is proposed to be the required quarter mile collector prior to final. The subdivision is proposed to be private; however, the quarter mile collector could not be private. finalize the ROW requirement prior to final. Submit an ownership map for the properties in vicinity on the north and east side. Staff will review to see if the alignment of the N/S interior street would be accepted as the required quarter mile collector prior to final. Any realignment must be finalized prior to final. Clarify and resolve the overlap of 15 ft. UID Exclusive easement on the ROW dedication prior to final. ROW dedication may not overlap an easement to an irrigation easement. A temporary turn around on the south side of the N/S interior street may be required by Fire and/or Public Works Department and must be finalized prior to final. Staff will finalize the name of the streets prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. COM Thoroughfare Plan. E/W Quarter Mile Collector (north subdivision boundary): Dedication as needed for 60 ft. total ROW. Paving: 40 ft. Curb & gutter: both sides Revisions needed: Dedicate the required ROW dedication as shown above for a E/W quarter mile collector prior to final. Clarify if the E/W interior street on the north side of the subdivision is proposed to be the required quarter mile collector prior to final. The subdivision is proposed to be private; however, the quarter mile collector could not be private. finalize the ROW requirement prior to final. Staff will review to see if the alignment of the E/W interior street would be accepted as the required quarter mile collector prior to final. Any realignment must be finalized prior to final. Staff will finalize the name of the streets prior to final. Show the range of the ROW, if there is a range and submit gate details to finalize the ROW requirements prior to final. Show Thompson Drive Centerline and the distance between that centerline and the proposed street centerline prior to final. Street jogs with centerline offsets of less than 125 feet shall be avoided. Staff will review the proposed curvature proposed on Lots 15, 16, 47, and 48. The curvature may need to be modified and/or extended to more lots on the west, prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. Interior Streets: 60 ft. ROW dedication Paving: 40 ft. Curb & gutter: both sides. Revisions needed: The interior street on the south side shows only 40 ft. of ROW. If the street is proposed to be private, 60 ft. dedication will be needed prior to final. Name of the interior streets will be finalized by staff prior to final. If the streets are private, "(Private Street)" must be written under the name of the streets prior to final. Show the range of the ROW, if there is a range and submit gate details to finalize the ROW requirements prior to final. Show Centerline of the streets on the west side of N. Taylor Road and the distance between that centerline and the proposed E/W streets prior to final. Street jogs with centerline offsets of less than 125 feet shall be avoided. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. 1,200 ft. Block Length. Revise the subdivision layout to comply with the block range requirement prior to final. Subdivision Ordinance: Section 134-118. 900 ft. Block Length for R-3C and R-3T Zone Districts. Subdivision Ordinance: Section 134-118. ROW: 20 ft. Paving: 16 ft. Revise the layout to provide alleys for trash collection prior

to final. Alley/service drive easement required for commercial properties. Subdivision Ordinance: Section 134-106. Front: 20 ft. or greater for easements or approved site plan, whichever is greater applies. Clarify/revise the setback note as shown above prior to final. Proposing: 25 ft. or greater for easements or site plan. Zoning Ordinance: Section 138-356. Rear: 10 ft. or greater for easements or approved site plan, whichever is greater applies. Revise the setback note as shown above prior to final. Proposing: 10 ft. or greater for easements or site plan. Zoning Ordinance: Section 138-356. Sides: In accordance with the zoning ordinance or greater for easements or approved site plan, whichever is greater applies. Clarify/revise the setback note as shown above prior to final. Proposing: 6 ft. or greater for easements or site plan. Zoning Ordinance: Section 138-356. Corner: 10 ft. or greater for easements or approved site plan, whichever is greater applies. Revise the setback note as shown above prior to final. Proposing: 10 ft. or greater for easements or site plan. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required, greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on N. Taylor Road, N. 47th/N. 48th Street, both sides of all interior streets, and any other street as applicable. Finalize the ROW requirements to finalize the plat notes #7 and #8 prior to final. Sidewalk requirement may increase to 5 ft. as per Engineering Department. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, along N. Taylor Road, and other streets as applicable. Finalize the ROW requirements to finalize the plat note prior to final. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Add a plat note as shown above prior to final. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along N Taylor Road and other streets as applicable. Finalize the ROW requirements to finalize the plat note prior to final. Must comply with City Access Management Policy. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners/HOA and not the City of McAllen. Add a plat note as shown above prior to final. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. A plat note to cross reference HOA will be required prior to final. Draft HOA document must be submitted for staff review prior to recording. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. A plat note to cross reference the HOA will be required prior to final. Draft HOA document must be submitted for staff review prior to recording. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public/private streets. If the subdivision is private, "(Private Street)" label will be required under the name of the streets prior to final; however, quarter mile collectors cannot be private. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: R-3A Proposed: R-3A. Zoning Ordinance: Article V. Land dedication in lieu of fee. Based on the submitted application, 61 lots and 250 dwelling units are proposed. Clarify how many units on each lot is proposed prior to final. Based on 250 dwelling units 3.975? acres of park land dedication will be needed prior to recording. If paying a park fee in lieu of land dedication is proposed, a variance letter addressing the Planning Director must be submitted and reviewed by the City Manager's Office. If the variance is approved, \$175,000 (250 x \$700) must be paid prior to recording. Park Fee of \$700 per

lot/dwelling unit to be paid prior to recording. Based on the submitted application, 61 lots and 250 dwelling units are proposed. Clarify how many units on each lot is proposed prior to final. Based on 250 dwelling units 3.975 acres of park land dedication will be needed prior to recording. If paying a park fee in lieu of land dedication is proposed, a variance letter addressing the Planning Director must be submitted and reviewed by the City Manager's Office. If the variance is approved, \$175,000 (250 x \$700) must be paid prior to recording. Pending review by City Manager's Office. Based on the submitted application, 61 lots and 250 dwelling units are proposed. Clarify how many units on each lot is proposed prior to final. Based on 250 dwelling units 3.975 /acres of park land dedication will be needed prior to recording. If paying a park fee in lieu of land dedication is proposed, a variance letter addressing the Planning Director must be submitted and reviewed by the City Manager's Office. If the variance is approved, \$175,000 (250 x \$700) must be paid prior to recording. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. The submitted application fee is incorrect. The subdivision consists of 62 multifamily lots. An application fee of \$1,850 (\$300 base fee + \$25 per lot) is required and \$800 has been paid. Remaining balance of \$1,050 must be paid to continue the review process. The submitted application proposes the subdivision to be private. Add "(Private Subdivision)" under the name of the subdivision in smaller font and "(Private Street)" under the name of the private Streets prior to final; however, quarter mile collectors cannot be private and must be public. Clarify if the easements shown on the plat are existing or by a separate instrument. If they have been dedicated by a separate instrument, add the document number on the plat prior to final. A plat note to reference that "all easements are dedicated by this plat unless stated otherwise" can be added in lieu of adding "by this plat" at the end of all easements dedicated by this plat. Clarify if the 15 ft. UID Exclusive easement is existing or dedicated by this plat. If it is by a separate instrument, add the document number on the plat prior to final. Clarify and resolve the overlap of 15 ft. UID Exclusive easement on the ROW dedication prior to final. Any abandonment must be done by a separate instrument, not by plat. Clarify if the 30 ft. Irrigation and utility easement shown on the south side of the subdivision extends to this subdivision or not prior to final. Based on the submitted application, 61 lots and 250 dwelling units are proposed. Clarify how many units on each lot is proposed prior to final. Legal Description of all adjacent lots on all sides, including the properties on the west side of N. Taylor Road, is needed prior to final. Clarify the dashed line shown on the west side of Lot 33 prior to final. Submit gate details prior to final. Additional ROW (65 ft.) may be needed to fit all gate details prior to final. Clarify if no easements are proposed on the east side of Lot 16, north side of Lot 17, south side of Lot "A", etc. prior to final. Show and label how many fee of easement is proposed on the south side of Lot 20 and north side of Lot "A" prior to final. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in preliminary form, subject to the conditions noted, drainage, and utilities approval.

Being no discussion, Mr. Gabriel Kamel moved to approve in preliminary form, subject to the conditions noted, drainage, and utilities approval. Mr. Jose Saldana seconded the motion, which was approved with five members present and voting.

ADJOURNMENT:

There being no further business to come before the Planning & Zoning Commission, Mr. Jesse Ozuna adjourned the meeting at 4:20p.m. with Mr. Jose Saldana seconding the motion with five members present and voting.

Michael Fallek, CHAIRPERSON

ATTEST:

Magda Ramirez, ADMINISTRATIVE ASSISTANT

Memo

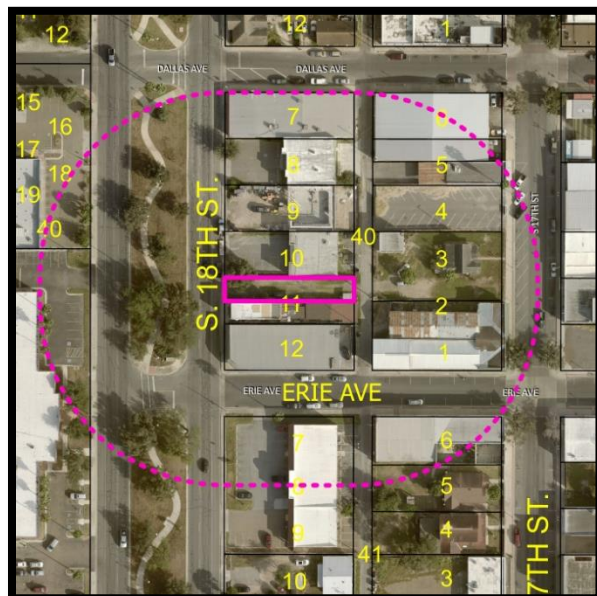
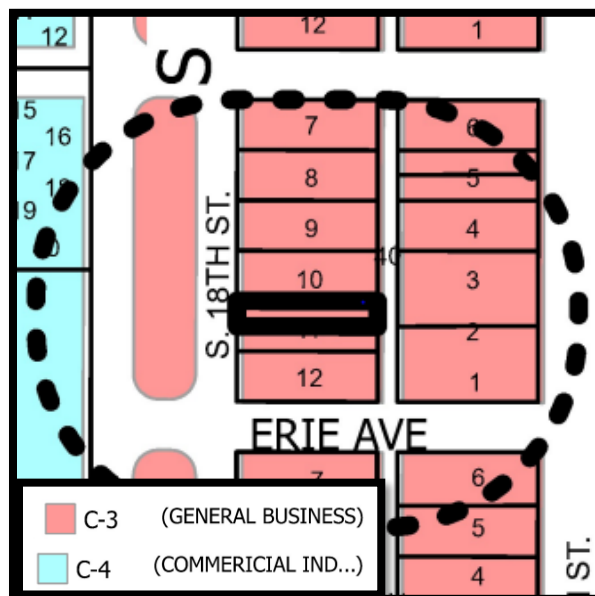
TO: Planning and Zoning Commission

FROM: Planning Staff

DATE: March 17, 2025

SUBJECT: Request of Edward Liscano on behalf of Cosme Liscano Jr. and Maria A. Liscano, for a Conditional Use Permit, for life of the use, and adoption of an ordinance, for a Single Family Dwelling on a commercial lot at the North ½ of Lot 11, Block 40, McAllen Addition Subdivision, Hidalgo County, Texas; 415 South Bicentennial Boulevard. (CUP2025-0015)

BRIEF DESCRIPTION: The property is located along east side of South Bicentennial Boulevard. The subject property is zoned C-3 (General Business- Old Code) District. The adjacent zoning is C-3 District in all directions. Surrounding land uses include commercial and offices uses within the downtown area. A single-family dwelling is allowed within a C-3 (Old Code) District with a Conditional Use Permit (CUP) and in compliance with requirements.



HISTORY: A Certificate of Compliance was issued to the property owner on February 11, 2025. An application for a CUP for a single-family dwelling within a C-3 District was submitted on February 14, 2025.

SUMMARY/ANALYSIS: The applicant is proposing to construct a new two-story single-

family home.

As per the current ordinance, a Conditional Use Permit is required for a single-family dwelling on a commercially zoned property and must be in compliance with R-1 (Single-family Residential – Old Code) District requirements. The Health Department has indicated the CUP process may continue. The establishment must comply with requirements set forth in Section 138-176 of the Zoning Ordinance (Old Code) and specific requirements as follows:

- 1) To provide sufficient space in appropriate locations for residential development to meet the present and future housing needs of the city, with allowance for a diversity of sites.
- 2) To protect residential areas against pollution, environmental hazards and other objectionable influences.
- 3) To protect residential areas, as far as possible, against heavy and through traffic.
- 4) To protect residential areas against congestion, as far as possible, by managing the density of population in and around them; by providing for off-street parking spaces; and by providing open areas for rest and recreation and to break the monotony of continuous building bulk, thus providing a more desirable environment for urban living.
- 5) To provide for privacy and access of light and air to windows, as far as possible, through controls over the spacing and height of buildings and other structures.
- 6) To promote the most desirable use of land and direction of building development not in conflict with the adopted policies of the city; to promote stability of residential development; to protect the character of the district; to conserve the value of land and buildings; and to protect the city's tax base.
- 7) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;

If future residential additions are proposed for the property an amendment may be required. However as of July 2025, no CUP for single family-dwelling within a commercial district will be required due to adoption of the City of McAllen Unified Development Code (UDC). Any changes thereafter may require variances or it will be a nonconforming use

Staff has not received any phone calls, emails, or letters in opposition to the request.

RECOMMENDATION: Staff recommends disapproval of the request for life of the use since it does follow to the development trend (commercial) along South Bicentennial Boulevard.

SITE PLAN

SCALE: 1" = 20'

LEGEND

P-B PROPERTY LINE TO BACK OF CURB
H.C.D.R. HIDALGO COUNTY DEED RECORDS
H.C.O.R. HIDALGO COUNTY OFFICIAL RECORDS
H.C.M.R. HIDALGO COUNTY MAP RECORDS

LOT 10, BLOCK 40
ORIGINAL TOWNSITE
OF McALLEN
VOL. "Q", PG. 318, H. C. D. R.

GREEN AREAS

ADJOINER:
OWNER: AMERICAN DIVISIONS
PROPERTY I.D. NO.: 228909
MCALLEN ADDITION
LOT 10, BLK. 40

LOT SQ. FOOTAGE: 3500.0 SQ. FT.
TOTAL GREEN AREA PROVIDED: 2,214.0 SQ. FT.
TOTAL GREEN AREA FRONT PROVIDED: 275.0 SQ. FT.

WARRANTY DEED WITH VENDOR'S LIEN
DOCUMENT NO. 3048520, H.C.D.R.

SOUTH LINE OF LOT 10, BLOCK 40
NORTH LINE OF LOT 11, BLOCK 40

140.00'

25.0' FRONT
SETBACK
8.6' P-B
EAST

33.5'
PROPOSED
CONCRETE
DRIVEWAY
(350.0 SQ.FT.)

52.0'
PROPOSED TWO STORY
RESIDENTIAL BUILDING
(25.0' MAX. HEIGHT)
(ADDRESS: 415 S. BICENTENNIAL BLVD.)

25.0'
(THE NORTH HALF OF LOT 11)

N.1/2 OF LOT 11
3,500.00 SQ.FT.
0.08 ACRES

LOT 11, BLOCK 40

SOUTH
25.00'

WEST

PROPOSED
2 1/2" CALIPER TREE
(2 TOTAL)

3.5'

ADJOINER:
OWNER: COSMO LISCANO, JR.
PROPERTY I.D. NO.: 228911
MCALLEN ADDITION
S. 1/2 LOT 11, BLK. 40
DEED

25.0'
(THE SOUTH HALF OF LOT 11)

DOCUMENT NO. 1006934, H.C.D.R.

SOUTH LINE OF LOT 11, BLOCK 40
NORTH LINE OF LOT 12, BLOCK 40

140.00'

ADJOINER:

OWNER: H&L SOUTHERN BORDER RAGS INC
PROPERTY I.D. NO.: 228912
MCALLEN ADDITION
LOT 12, BLK. 40
WARRANTY DEED
DOCUMENT NO. 1551423, H.C.D.R.

LOT 12, BLOCK 40

ORIGINAL TOWNSITE
OF McALLEN
VOL. "Q", PG. 318, H. C. D. R.

LOT 3, BLOCK 40

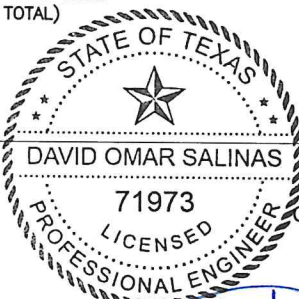
ORIGINAL
TOWNSITE
OF McALLEN
VOL. "Q", PG. 318,
H. C. D. R.

LOT 2, BLOCK 40

ORIGINAL
TOWNSITE
OF McALLEN
VOL. "Q", PG. 318,
H. C. D. R.

JOB NUMBER: P-25-26289
DATE: FEBRUARY 13, 2025

David O. Salinas, P.E., R.P.L.S.
Licensed Professional Engineer
Texas Engineer License No. 71973
Texas Land Surveyor License No. 5782



SEA
SALINAS ENGINEERING & ASSOCIATES
(F-6675) (10065700)
CONSULTING ENGINEERS & SURVEYORS
2221 DAFFODIL - McALLEN, TEXAS 78501
(956) 682-9081 (956) 686-1489 (FAX)
TBPLS 12100 PARK 35 CIRCLE BLDG. A, SUITE 156, MC-230, AUSTIN, TEXAS 78753 (512) 239-5263

DALLAS

422	418	414	410	406	402
1				6	1609 1605 1601

HL91

421	419	417	413	409	405
12					7

9

3

ERIE

HL7H

422	418	414	410	406	402
1					6

0

421	417	413	409	405	401
12					7

4

HL81



Memo

TO: Planning and Zoning Commission

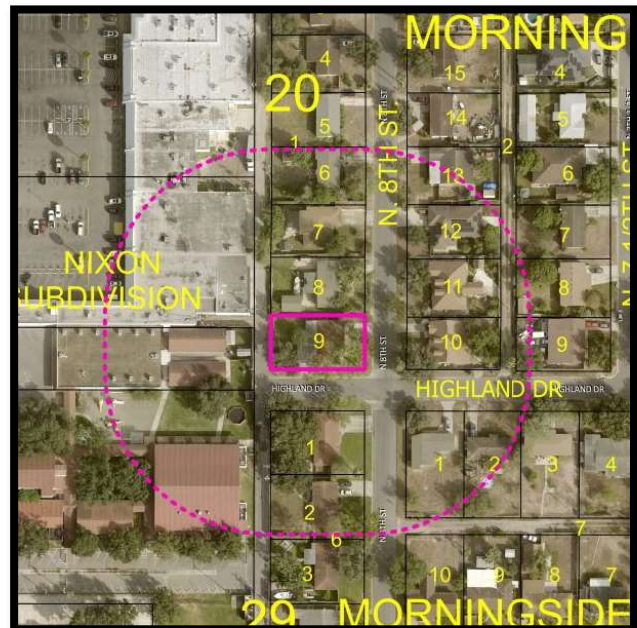
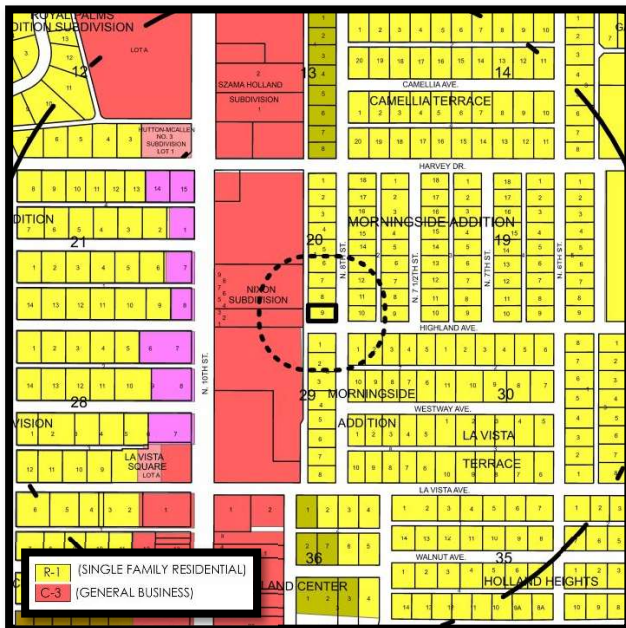
FROM: Planning Staff

DATE: March 10, 2025

SUBJECT: REQUEST OF SHARON B. FLORES ON BEHALF OF ST. JOHN'S EPISCOPAL CHURCH & SCHOOL, FOR A CONDITIONAL USE PERMIT, AND ADOPTION OF AN ORDINANCE, FOR LIFE OF THE USE, FOR AN INSTITUTIONAL USE (CHURCH SCHOOL) AT LOT 9, BLOCK 1, MORNINGSIDES ADDITION SUBDIVISION, HIDALGO COUNTY, TEXAS; 2601 NORTH 8TH STREET. (CUP2025-0006)

BRIEF DESCRIPTION:

The property is located on the west side of North 8th Street and it is zoned R-1 (single family residential-O.C.) District. The adjacent zoning is C-3 (general business-O.C.) District to the west and R-1 (single family residential-O.C.) District in all the other directions. Surrounding land uses include church, offices, retail stores, apartments, and single-family residences.



HISTORY:

St. John's Episcopal Church to the west of the property has an existing Conditional Use Permit for an institutional use that was approved by City Commission on June 23, 1997. There is an existing Conditional Use Permit for properties owned by the church located at Lot 1 and Lot 2, Block 6, Morningside Subdivision for a school/daycare; which was approved by City Commission on January 8, 1987 for life of the use. A Conditional Use Permit for property located Lot 3, Block 6, Morningside Subdivision for youth gathering and meetings for the church was approved by City Commission

on November 24, 2014. St. John's Episcopal Church has now acquired the subject property and is proposing to use the existing building for a daycare school. The subject property will have its own Conditional Use Permit; therefore, the existing Conditional Use Permits of the Church will not be affected.

REQUEST/ANALYSIS:

The applicant is proposing to use the property for a daycare school from the existing 1,354 sq. ft. one story building on site. An institutional use is allowed in a R-1 District-O.C. with a Conditional Use Permit. The one-story building will consist of a crib room, play area, food prep area and an office. Based on four parking spaces for up to 400 square feet of floor area plus one parking space for each additional 400 square feet of floor area, 7 parking spaces are required for the proposed day care school. Parking will be provided from the church parking lot which is located on the west side of the alley.

The Health Department and Fire Department have inspected the establishment and found the place to be in compliance to continue the CUP process. The proposed use must also meet the requirements set forth in Section 138-118 of the Zoning Ordinance and specific requirements as follows:

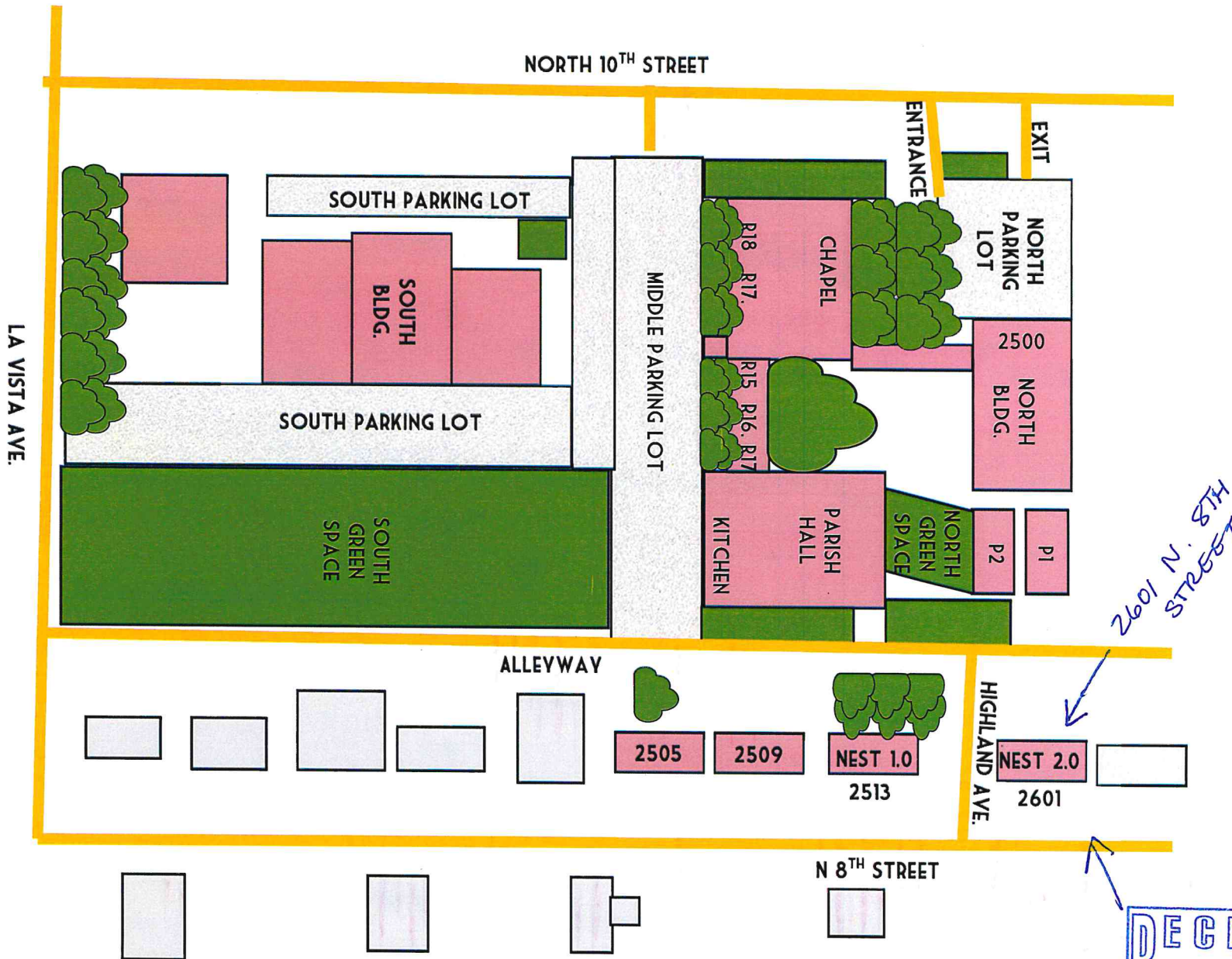
- 1) The proposed use shall not generate traffic onto residential size streets or disrupt residential areas, and shall be as close as possible to a major arterial; The property has access to North 8th Street and Highland Drive;
- 2) The proposed use shall comply with the McAllen Off-Street Parking Ordinance and make provisions to prevent the use of street parking, especially in residential areas; 7 parking spaces are required for the proposed day care school. Parking will be provided from the church parking lot which is located on the west side of the alley;
- 3) The proposed use shall prevent the unauthorized parking of its patrons on adjacent businesses or residences by providing fences, hedges or reorientation of entrances and exits. The school must comply with the circulation pattern approved by the Traffic Operations Department;
- 4) The proposed use shall provide sufficient lighting to eliminate dark areas, perimeter fencing, and an orientation of the building to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- 5) Provisions shall be made to prevent litter from blowing onto adjacent streets and residential areas;
- 6) The number of persons within the building shall be restricted to those allowed by the Fire Marshal and Building Official at the time of permit issuance;
- 7) Sides adjacent to residentially zoned or used properties shall be screened by a 6 ft. opaque fence.

Any future changes or additions to the site will require amended of the Conditional Use Permit.

Staff has not received any oppositions to the conditional use permit request.

RECOMMENDATION:

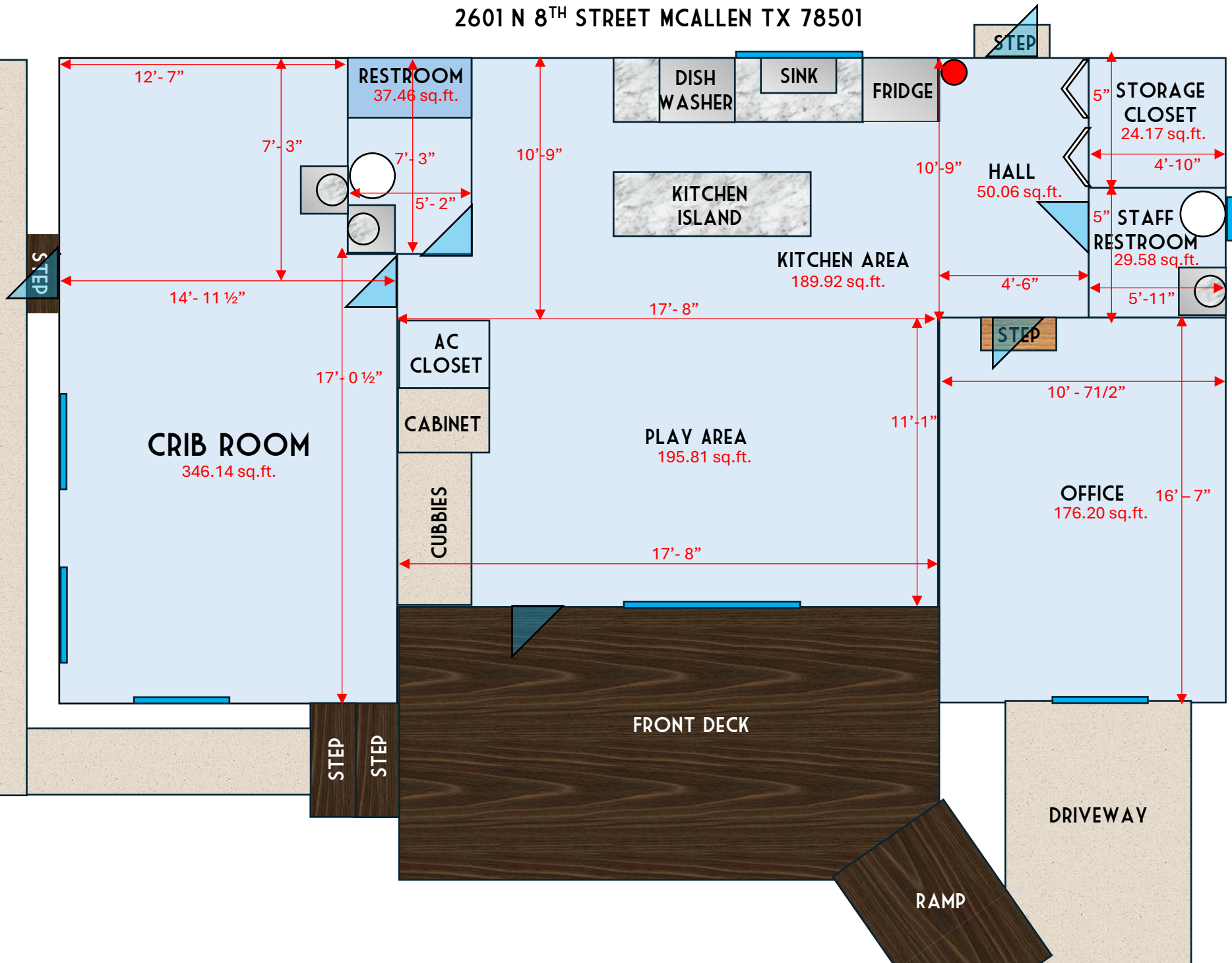
Staff recommends approval of the request, for life of the use, subject to Section 138-118 of the Zoning Ordinance, Building Permit, and Fire Department requirements.



RECEIVED
JAN 30 2025
By OC

THE NEST 2.0

2601 N 8TH STREET MCALLEN TX 78501







2601

NOTICE
INSTITUTIONAL
USE
OF
THIS PROPERTY
CUP2025-0006

Planning Department

Memo

TO: Planning and Zoning Commission

FROM: Planning Staff

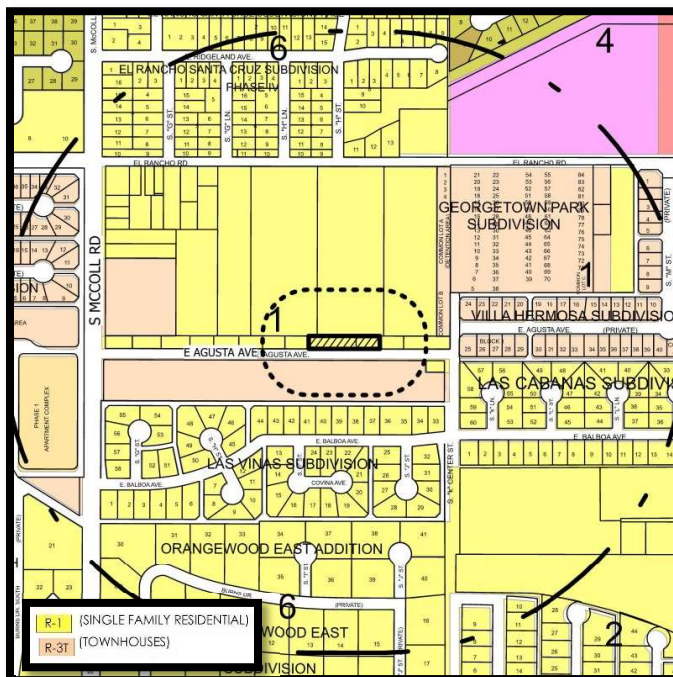
DATE: March 10, 2025

SUBJECT: TRACT I: REZONE FROM R-1 (SINGLE-FAMILY RESIDENTIAL-O.C.) DISTRICT TO R-3 (HIGH DENSITY RESIDENTIAL-U.D.C) DISTRICT: A 0.167 ACRE TRACT OF LAND OUT OF THE NORTH 2 ½ ACRES OF THE NORTH 10 ACRES OF THE SOUTH 20 ACRES OF LOT 1, BLOCK 17, STEELE AND PERSHING SUBDIVISION, HIDALGO COUNTY, TEXAS; 1021 EAST AUGUSTA AVENUE. (REZ2025-0006)

TRACT II: REZONE FROM R-1 (SINGLE-FAMILY RESIDENTIAL-O.C.) DISTRICT TO R-3 (HIGH DENSITY RESIDENTIAL-U.D.C.) DISTRICT: A 0.334 ACRE TRACT OF LAND OUT OF THE NORTH 2 ½ ACRES OF THE NORTH 10 ACRES OF THE SOUTH 20 ACRES OF LOT 1, BLOCK 17, STEELE AND PERSHING SUBDIVISION, HIDALGO COUNTY, TEXAS; 1009 EAST AUGUSTA AVENUE. (REZ2025-0006)

LOCATION: The subject property is located along the north side of Augusta Avenue. The property is zoned R-1 (Single Family Residential-O.C.) District.

PROPOSAL: The applicant is requesting to rezone the property to R-3 (High Density Residential-U.D.C) District for a multifamily residential development, if the rezoning is applicable. A feasibility plan not been submitted.



ADJACENT ZONING: The adjacent zoning is R-1 (Single Family Residential-O.C.) District in all directions except to the south across East Augusta Avenue which is R-3T (Multifamily Residential Townhouses-O.C.) District.

LAND USE: The property currently is currently vacant. Surrounding uses include vacant land, single family residential dwellings and townhouse residential uses.

FUTURE LAND USE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for this property as Complete Communities. Single-family homes make up the majority of the land use category although townhomes are to be encouraged to create diversity in housing choices.

DEVELOPMENT TRENDS: The development trend of this area along the north side of Augusta Avenue is single family residential uses and multifamily residential uses on the south side.

HISTORY: The application for this rezoning request was submitted February 17, 2025.

ANALYSIS: The requested zoning conforms to the future land use designation as shown on the Envision McAllen Future Land Use Plan, residential uses. It is also compatible with the existing higher density residential development along the south side of Augusta Avenue.

A recorded subdivision plat and site plan approval will be required prior to building permit issuance for any future developments on the subject property. Any future developments must also comply with building permit and conditional use requirements (if applicable) of the zoning district in which it is located.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends disapproval of the rezoning request to R-3 (High Density Residential-U.D.C) District. Alternatively, staff recommends approval for R-1 (Low Density Residential-U.D.C) District.

Carrizales Land Surveying, LLC

Texas Registered Surveying Firm

TBPELS Firm No:10194417

METES AND BOUNDS DESCRIPTION A 0.167 ACRE TRACT

A 0.167 ACRE [7,282.10] TRACT OF LAND BEING OUT OF THE NORTH 2 1/2 ACRES OF THE NORTH 10 ACRES OF THE SOUTH 20 ACRES OF LOT 1, BLOCK 17, STEELE AND PERSHING SUBDIVISION, OF PORCIONES 66 AND 67, HIDALGO COUNTY, TEXAS, RECORDED IN VOLUME 8, PAGE 114, MAP RECORDS OF HIDALGO COUNTY, TEXAS, SAID 0.167 ACRE TRACT BEING THE CALLED 0.17 ACRE TRACT CONVEYED TO MARLENE AND ERICK HERNANDEZ BY VIRTURE OF WARRANTY DEED DATED JULY 22, 2024, AND RECORDED IN DOCUMENT 3567667 , OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS (ORHCT), SAID 0.167 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING at a calculated point on McColl Road, for the Northwest corner of said Lot 1, Block 17, Steele and Pershing Subdivision, Thence, South 08 degrees 51 minutes 15 seconds West, with the West line of said Lot 1, a distance of 754.55 feet to a calculated point for the Northwest corner of before mentioned 2 1/2 acre tract; Thence, South 81 degrees 08 minutes 45 seconds East, with the North line of said 2 1/2 acre tract, 1131.40 feet to a half (1/2)-inch iron rod with pink cap stamped "CLS RPLS 6388" set [N:16586447.261, E:1077712.0107] for the Northwest corner of said 0.17 acre tract of land and **POINT OF BEGINNING**

THENCE, South 81 degrees 08 minutes 45 seconds East along the North line of said 0.17 acre tract, a distance of 103.0 feet to an iron pipe found for the Northeast corner of this tract of land;

THENCE, South 8 degrees 51 minutes 15 seconds West, along the east line of said 0.17 acre tract, at a distance of 50.70 feet pass a half (1/2)-inch iron rod with pink cap stamped "CLS RPLS 6388" set at the north right of way line of E. Augusta Ave. continuing a total distance of 70.70 feet to a calculated point on the South line of said 2 1/2 acre tract for the Southeast corner of said 0.167 acre tract and of this tract of land;

THENCE, North 81 degrees 08 minutes 45 seconds West, along the south line of said 0.17 acre tract, a distance of 103.0 feet to a calculated point for the Southwest corner of said 0.17 tract, and of this tract of land;

THENCE, North 8 Degrees 51 minutes 15 seconds East, along the west line of said 0.17 acre tract, at a distance of 20.0 feet pass a half (1/2)-inch iron rod with pink cap stamped "CLS RPLS 6388" set on the north right of way line of said E. Augusta Ave. continuing a total distance of 70.70 feet to the **POINT OF BEGINNING**, containing 0.167 acres [7,282.10] of land, more or less.

All coordinates, bearings, and distances noted within this metes and bounds description are in U.S. Survey Feet and reference the Texas State Plane Coordinate System South Zone 4205 and in grid coordinates.

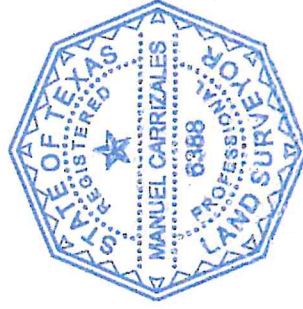
A survey plat of even date accompanies this metes and bounds description.

mlc 11-27-2024

Manuel Carrizales Date

Registered Professional Land Surveyor

Texas Registration Number 6388



Carrizales Land Surveying, LLC

Texas Registered Surveying Firm

TBPELS Firm No:10194417

METES AND BOUNDS DESCRIPTION

A 0.334 ACRE TRACT

A 0.334 ACRE [14,564.20] TRACT OF LAND BEING OUT OF THE NORTH 2 1/2 ACRES OF THE NORTH 10 ACRES OF THE SOUTH 20 ACRES OF LOT 1, BLOCK 17, STEELE AND PERSHING SUBDIVISION, OF PORCIONES 66 AND 67, HIDALGO COUNTY, TEXAS, RECORDED IN VOLUME 8, PAGE 114, MAP RECORDS OF HIDALGO COUNTY, TEXAS, SAID 0.334 ACRE TRACT BEING COMPRISED OF TWO CALLED 0.17 ACRE TRACTS AS CONVEYED TO MARIA CANDELARIA QUIJADA BY VIRTUE OF WARRANTY DEED RECORDED IN DOCUMENTS 678824 AND 678825, RESPECTIVELY, DEED RECORDS OF HIDALGO COUNTY, TEXAS (DRHCT), SAID 0.334 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING at a calculated point on McColl Road, for the Northwest corner of said Lot 1, Block 17, Steele and Pershing Subdivision, Thence, South 08 degrees 51 minutes 15 seconds West, (Record ~ South 08 degrees 46 minutes 00 seconds West), along the West line of said Lot 1, a distance of 754.55 feet to a calculated point for the Northwest corner of said 2 1/2 acre tract, Thence, South 81 degrees 08 minutes 45 seconds East, (Record ~ South 81 degrees 14 minutes 00 seconds East), along the North line of said 2 1/2 acre tract, a distance of 925.40 feet to a calculated point [N:16586478.9682, E:1077508.4675] for the Northwest corner of said 0.17 acre tract of land and **POINT OF BEGINNING**

THENCE, South 81 degrees 08 minutes 45 seconds East along the North line of said 2-1/2 acre tract of land and of said 0.17 acre tract, a distance of 206.00 feet to a half (1/2)-inch iron rod with pink cap stamped "CLS RPLS 6388" found for the Northeast corner of this tract of land;

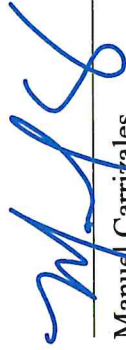
THENCE, South 08 degrees 51 minutes 15 seconds West, (Record ~ South 08 degrees 46 minutes 00 seconds West), within and across said 2-1/2 acre tract of land and along the east line of said 0.17 acre tract of land, at a distance of 50.70 feet pass a half (1/2)-inch iron rod with pink cap stamped "CLS RPLS 6388" found on the north right of way line of E. Augusta Ave. continuing a total distance of 70.70 feet to a calculated point on the South line of said 2-1/2 acre tract for the Southeast corner of said 0.17 acre tract and of this tract of land;

THENCE, North 81 degrees 08 minutes 45 seconds West, (Record ~ North 81 degrees 14 minutes 00 seconds West), along the south line of said 2 1/2 acre tract of land and of said 0.17 acre tract of land, a distance of 206.00 feet to a calculated point for the Southwest corner of said 0.17 tract, and of this tract of land;

THENCE, North 08 Degrees 51 minutes 15 seconds East, (Record ~ 08 degrees 46 minutes 00 seconds East), within and across said 2-1/2 acre tract of land and along the west line of said 0.17 acre tract of land, at a distance of 20.0 feet pass a half (1/2)-inch iron rod with pink cap stamped "CLS RPLS 6388" set on the north right of way line of said E. Augusta Ave. continuing a total distance of 70.70 feet to the **POINT OF BEGINNING**, containing 0.334 acres [14,564.20] of land, more or less.

All coordinates, bearings, and distances noted within this metes and bounds description are in U.S. Survey Feet and reference the Texas State Plane Coordinate System South Zone 4205 and in grid coordinates.

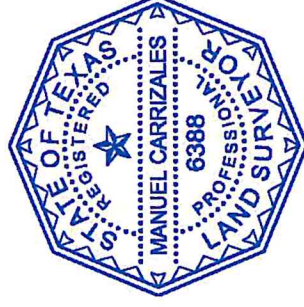
A survey plat of even date accompanies this metes and bounds description.



Manuel Carrizales
Registered Professional Land Surveyor
Texas Registration Number 6388

1-27-2025

Date



PLAT SHOWING:

A 0.167 ACRE [7282.10 SQ.FT.] TRACT OF LAND OUT OF THE NORTH 2 1/2 ACRES OF THE NORTH 10 ACRES OF THE SOUTH 20 ACRES OF LOT 1 BLOCK 17, STEELE AND PERSHING SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 08, PAGE 114, MAP RECORDS OF HIDALGO, TEXAS.

RECEIVED
FEB 17 2025
OC

Tract I

P.O.C.
NW CNR LOT 1

P.O.B.
N: 16586447.2610
E: 1077712.0107

ADJOINER: CITY OF MCALLEN
SWD: DOC NO. 2335308
O.R.H.C.T.

ADJOINER: MIGUEL ANGEL
& ANGELA MATA
WDL: DOC. NO. 3212411
O.R.H.C.T.

ADJOINER: MARIA CANDELARIA QUIJADA
WD: DOC NO. 678824
O.R.H.C.T.

0.167 ACRES
[7,282.10 SQ.FT.]
GRANTEE: MARLENE & ERICK HERNANDEZ
WD: DOC NO. 3567667

ADJOINER: RICHARD MARTINEZ ETAL
AFH: DOC NO. 1694755
O.R.H.C.T.

LEGEND

- BOUNDARY LINE
- RIGHT OF WAY LINE
- LOT LINE
- ADJOINER BOUNDARY LINE
- CHAINLINK FENCE
- CONCRETE CURB AND GUTTER
- FOUND 1" IRON PIPE OR AS NOTED
- FOUND 1/2" IRON ROD OR AS NOTED
- SET 1/2" IRON ROD W/PINK CAP STAMPED "CLS RPLS #6388"
- CALCULATED POINT
- POWER POLE
- FIRE HYDRANT
- TREE
- POB - POINT OF BEGINNING
- POC - POINT OF COMMENCEMENT
- NW - NORTHWEST
- CNR - CORNER
- WD - WARRANTY DEED
- SWD - SPECIAL WARRANTY DEED
- WDL - WARRANTY DEED W/VENDOR'S LIEN
- AFH - AFFIDAVIT OF HEIRSHIP
- R.O.W. - RIGHT OF WAY
- VOL - VOLUME
- PG - PAGE
- DOC - DOCUMENT
- O.R.H.C.T. - OFFICIAL RECORDS HIDALGO COUNTY TEXAS
- M.R.H.C.T. - MAP RECORDS HIDALGO COUNTY TEXAS
- () - RECORD CALL



0 10' 20'
SCALE: 1"=20'

BASIS OF BEARINGS:
TEXAS STATE PLANE
COORDINATE SYSTEM
SOUTH ZONE 4205
VERTICAL DATUM:
NORTH AMERICAN
VERTICAL DATUM 1988

BLOCK 17, LOT 1
STEELE AND PERSHING SUBDIVISION
VOL. 08, PG. 114,
M.R.H.C.T.

20' STRIP OF LAND SET ASIDE FOR
ROAD PURPOSES AS PER
WARRANTY DEED RECORDED IN
DOCUMENT NUMBER 3567667

(N08°46'00"E)
N08°51'15"E
20.00'

N81°08'45"W
(N81°14'00"W)

103.00'

E AGUSTA AVE [40.0' R.O.W.]


NOTES:

- SUBJECT PROPERTY APPEARS TO BE LOCATED IN ZONE "B" (MEDIUM SHADING) DESCRIBED AS "AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD", AS PER FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 4803430010C, DATED NOVEMBER 02, 1982.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS OR OTHER INSTRUMENTS NOT SHOWN THAT MAY AFFECT THIS PROPERTY.
 - ALL ADJOINER INFORMATION SHOWN HEREON AS PER HIDALGO COUNTY APPRAISAL DISTRICT RECORDS.
 - SURVEY VALID ONLY WITH ORIGINAL SEAL AND SIGNATURE.
 - A METES AND BOUNDS DESCRIPTION OF EVEN DATE HEREBY ACCOMPANIES THIS SURVEY PLAT.
- JOB NO. 24229

 Carrizales
Land
Surveying, LLC

Texas Registered Surveying Firm
TBPELS FIRM No: 10194417
4807 Gondola Avenue,
Edinburg, TX 78542
Office: 956-567-2167
www.cls.land

I, MANUEL CARRIZALES, REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION IN THE MONTH OF NOVEMBER, 2024 AND THAT THE NOTES SHOWN HEREON ARE TRUE AND CORRECT.

 11-27-2024
MANUEL CARRIZALES
R.P.L.S. #6388 DATE



P.O.C.
NW CNR LOT 1
BLOCK 17

McCOLL ROAD

754.55'
(S08°51'15"W)
(S08°46'00"W)

P.O.B.
N: 16586478.9682
E: 1077508.4675

(S81°14'00"E)
S81°08'45"E

PLAT SHOWING:
A 0.334 ACRE [14,564.20 SQ.FT.] TRACT OF LAND OUT OF THE NORTH 2 1/2 ACRES OF THE NORTH 10 ACRES OF THE SOUTH 20 ACRES OF LOT 1 BLOCK 17, STEELE AND PERSHING SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 08, PAGE 114, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

Tract II

ADJOINER: CITY OF MCALLEN
SWD: DOC NO. 2335308
O.R.H.C.T.

LEGEND

- BOUNDARY LINE
- RIGHT OF WAY LINE
- LOT LINE
- ADJOINER BOUNDARY LINE
- CHAINLINK FENCE
- CONCRETE CURB AND GUTTER
- FOUND 1" IRON PIPE OR AS NOTED
- FOUND 1/2" IRON ROD OR AS NOTED
- SET 1/2" IRON ROD W/PINK CAP STAMPED "CLS RPLS #6388"
- CALCULATED POINT
- POWER POLE
- TREE
- POB - POINT OF BEGINNING
- POC - POINT OF COMMENCEMENT
- NW - NORTHWEST
- CNR - CORNER
- WD - WARRANTY DEED
- SWD - SPECIAL WARRANTY DEED
- R.O.W. - RIGHT OF WAY
- VOL - VOLUME
- PG. - PAGE
- DOC. - DOCUMENT
- O.R.H.C.T. - OFFICIAL RECORDS HIDALGO COUNTY TEXAS
- M.R.H.C.T. - MAP RECORDS HIDALGO COUNTY TEXAS
- () - RECORD CALL

BLOCK 17, LOT 1, STEELE AND PERSHING SUBDIVISION VOL. 08, PG. 114, M.R.H.C.T.

0.17 AC.
ADJOINER: CRISLEDA OVIEDO
WDLE: INST. No. 2008-1902186
O.R.H.C.T.

(N08°46'00"E)
N08°51'15"E

N81°08'45"W
(N81°14'00"W)

0.17 AC.
GRANTEE: MARIA CANDELARIA QUIJADA
WD: DOC. No. 678825
D.R.H.C.T.

0.334 ACRES
[14,564.20 SQ.FT.]

0.17 AC.
GRANTEE: MARIA CANDELARIA QUIJADA
WD: DOC NO. 678824
D.R.H.C.T.

20' STRIP OF LAND SET ASIDE FOR
ROAD PURPOSES AS PER
WARRANTY DEED RECORDED IN
DOCUMENT NUMBER 3567667

0.167 AC.
ADJOINER: MARLENE & ERICK HERNANDEZ
WD: DOC NO. 3567667

E AGUSTA AVE [40.0' R.O.W.]



GRAPHIC SCALE IN FEET: 1"=20'
20' 10' 0' 20'

BASIS OF BEARINGS:
TEXAS STATE PLANE
COORDINATE SYSTEM
SOUTH ZONE 4205

NOTES:

- SUBJECT PROPERTY APPEARS TO BE LOCATED IN ZONE "B" (MEDIUM SHADING) DESCRIBED AS "AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD", AS PER FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 4803430010C, DATED NOVEMBER 02, 1982.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS OR OTHER INSTRUMENTS NOT SHOWN THAT MAY AFFECT THIS PROPERTY.
- ALL ADJOINER INFORMATION SHOWN HEREON AS PER HIDALGO COUNTY APPRAISAL DISTRICT RECORDS.
- SURVEY VALID ONLY WITH ORIGINAL SEAL AND SIGNATURE.
- A METES AND BOUNDS DESCRIPTION OF EVEN DATE HEREBY ACCOMPANIES THIS SURVEY PLAT.

JOB NO. 25008

SHEET 02 OF 02

Carrizales Land Surveying, LLC
Texas Registered Surveying Firm
TBPELS FIRM No: 10194417
4807 Gondola Avenue,
Edinburg, TX 78542
Office: 956-567-2167
www.cls.land

I, MANUEL CARRIZALES, REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION IN THE MONTH OF JANUARY, 2025 AND THAT THE NOTES SHOWN HEREON ARE TRUE AND CORRECT.

MANUEL CARRIZALES
R.P.L.S. #6388

DATE

1-27-2025



NOTICE
REZONING
FOR
THIS PROPERTY
REZ2025-0006

CITY OF HOUSTON PLANNING DEPT.
HOUSTON, TEXAS
WWW.CITYOFHOUSTON.ORG

Memo

TO: Planning and Zoning Commission

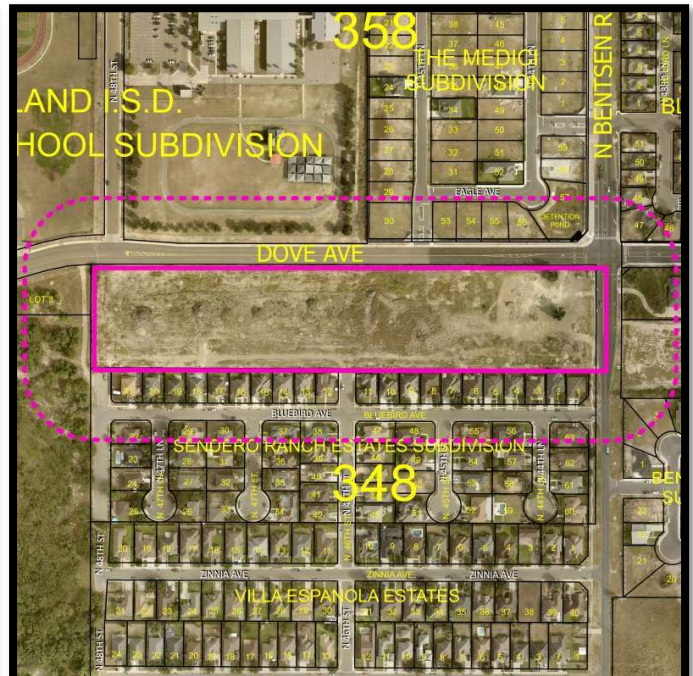
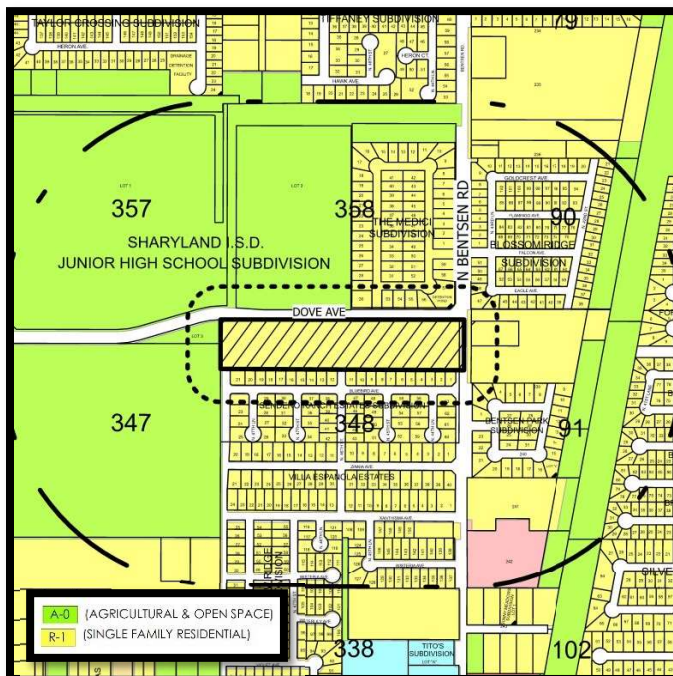
FROM: Planning Staff

DATE: March 10, 2025

SUBJECT: REZONE FROM R-1 (SINGLE-FAMILY RESIDENTIAL-O.C.) DISTRICT TO R-1 (LOW DENSITY RESIDENTIAL-U.D.C.) DISTRICT: THE NORTH 9.95 ACRES OUT OF LOT 348, JOHN H. SHARY SUBDIVISION, HIDALGO COUNTY, TEXAS; 5517 NORTH BENTSEN ROAD. (REZ2025-0007)

LOCATION: The subject property is located along the southwest corner of Dove Avenue and North Bentsen. The property is zoned R-1 (Single Family Residential-O.C.) District.

PROPOSAL: The applicant is requesting to rezone the property to R-1 (Low Density Residential-U.D.C.) District in order to develop a single family residential subdivision. A subdivision plat by the name of Dove Meadows was submitted for this location and is under review.



ADJACENT ZONING: The adjacent zoning is R-1 (Single Family Residential-O.C.) District in all directions except to the north and west where there is A-0 (Agricultural and Open Space-O.C.) District.

LAND USE: The property is currently vacant. Surrounding uses include single family residential dwellings and a junior high school (Sharyland North Junior High School).

FUTURE LAND USE PLAN: The Envision McAllen Future Land Use Plan designates the future land use for this property as Complete Communities. Single-family homes make up the majority of the land use category.

DEVELOPMENT TRENDS: The development trend of this area along Dove Avenue and North Bentsen Road is single family residential.

HISTORY: A rezoning request to R-1 (Single Family Residential-**O.C.**) for this property was approved on August 22nd, 2022.

The application for this rezoning request was submitted February 19, 2025.

ANALYSIS: The requested zoning conforms to the future land use designation as shown on the Envision McAllen Future Land Use Plan.

A recorded subdivision plat and site plan approval will be required prior to building permit issuance for any future developments on the subject property. Any future developments must also comply with building permit and conditional use requirements (if applicable) of the zoning district in which it is located.

Staff has not received any phone calls, letters, or emails in opposition to the rezoning request.

RECOMMENDATION: Staff recommends approval of the rezoning request to R-1 (Low Density Residential-U.D.C.) District.

Revision 1
METES AND BOUNDS DESCRIPTION
9.95 ACRES OF LAND OUT OF LOT 348
JOHN H. SHARY SUBDIVISION
HIDALGO COUNTY, TEXAS



Job No. 220212
9.95 acres of land
Sheet No.: 1 of 2

A tract of land containing 9.95 acres of land, situated in Hidalgo County, Texas, being part or portion of **Lot 348, JOHN H. SHARY SUBDIVISION**, Hidalgo County, Texas, map reference: Volume 1, Page 17, Map Records, Hidalgo County, Texas, said 9.95 acres being all those tracts of land deeded to Osama B. Nahas, recorded in Document Number 1651186 and Document Number 1966667, Deed Records, Hidalgo County, Texas, and said 9.95 acres of land also being more particularly as follows;

BEGINNING on the northeast corner of said Lot 348, within Bentsen Road right-of-way, for the northeast corner of this tract;

THENCE S 08° 34' 47" W, along the East line of said Lot 348 within said Bentsen Road right-of-way, a distance e of 295.72 (296.12) feet to the northeast corner of Sendero Ranch Estates, map reference: Volume 50, Page 121, Map Records, Hidalgo County, Texas, for the southeast corner of this tract;

THENCE N 81° 20' 31" W, along the North line of said Sendero Ranch Estates, at a distance of 20.00 feet pass the West right-of-way line of said Bentsen Road and continuing a total distance of 1471.00 feet, to a ½" iron rod with a plastic cap stamped "CVQ LS" set on the northwest corner of said Sendero Ranch Subdivision and the West line of said Lot 348, for the southwest corner of this tract;

THENCE N 08° 34' 47" E, along the West line of said Lot 348, a distance of 293.71 (296.12) feet to an iron pipe found on the South right-of-way line of Dove Avenue, for the northwest corner hereof;

THENCE S 81° 25' 13" E, along the North line of said Lot 348 and South right-of-way line of said Dove Avenue at a distance of 1126.78 feet pass a ½" iron rod found, and continuing a total distance of 1471.00 feet to the **POINT OF BEGINNING**, containing 9.95 acres of land, more or less.

Bearing basis as per TEXAS STATE PLANE COORDINATES SYSTEM NAD 1983, South Zone.

THE ABOVE DESCRIPTION WAS SURVEYED ON THE GROUND UNDER MY DIRECTION ON MARCH 9, 2022.


Carlos Vasquez, R.P.L.S. No. 4608

CVQ Land Surveyors, LLC

T.B.P.E.L.S. Firm No. 10119600



NOTICE
REZONING
FOR
THIS PROPERTY
REZ2025-0007



CASE#

REZ2025-0002

**HAS BEEN
WITHDRAWN**



City of McAllen

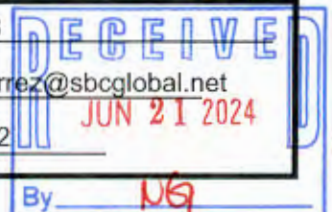
Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

SUB2024-0071

Project Information	Subdivision Name	<u>Pecan Heights Subdivision</u>		
	Legal Description	<u>Being 1.515 acres, more or less, being out of Lot 2, Hamilton Place, an addition to the City of McAllen, Hidalgo County, Texas as per map or plat thereof recorded in Volume 31, Page 152, MRHC, Tx</u>		
	Location	<u>East side of 1st Street approx. 320 feet South of Pecan Avenue.</u>		
	City Address or Block Number	<u>100 East Pecan Boulevard</u>		
	Total No. of Lots	<u>14</u>	Total Dwelling Units	<u>14</u>
	Gross Acres	<u>1.515</u>	Net Acres	<u>1.515</u>
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input type="checkbox"/> No			
	For Fee Purposes: <input type="checkbox"/> Commercial (<u> </u> Acres) / <input checked="" type="checkbox"/> Residential (<u>14</u> Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No			
	(F.L.E.)			
	Existing Zoning <u>R-3T</u> Proposed Zoning <u>R-3T</u> Applied for Rezoning <input type="checkbox"/> No / <input type="checkbox"/> Yes: Date <u> </u>			
Existing Land Use <u> </u> Vacant <u> </u> Proposed Land Use <u>Residential</u>				
Irrigation District # <u>2</u> Water CCN: <input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other <u> </u>				
Agricultural Exemption: <input type="checkbox"/> Yes / <input type="checkbox"/> No Parcel # <u>563152</u>				
Estimated Rollback Tax Due <u> </u> Tax Dept. Review <u>M.R. 6/21/24</u>				
Owner	Name	<u>Terraform Development LLC</u>		
	Address	<u>4900 W Expwy 83, Suite 113</u>		
	City	<u>McAllen</u>	State	<u>TX</u> Zip <u>78501</u>
Developer	Name	<u>Terraform Development LLC</u>		
	Address	<u>4900 W Expwy 83, Suite 113</u>		
	City	<u>McAllen</u>	State	<u>TX</u> Zip <u>78501</u>
	Contact Person	<u>Abiel de la Torre</u>		
Engineer	Name	<u>M2 Engineering, PLLC</u>		
	Address	<u>1810 E Griffin Parkway</u>		
	City	<u>Mission</u>	State	<u>TX</u> Zip <u>78572</u>
	Contact Person	<u>Fernando L. Estevan</u>		
Surveyor	Name	<u>Homero L Gutierrez</u>		
	Address	<u>Homero L Gutierrez</u>		
	City	<u>Mission</u>	State	<u>TX</u> Zip <u>78572</u>



Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL


PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

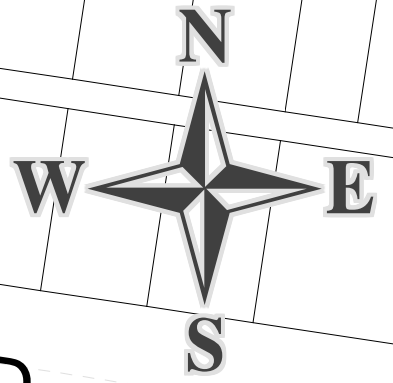
Signature  Date 6/21/24

Print Name Fernando L. Estevan, EIT, CFM

Owner ☐

Authorized Agent ☒

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion



LOCATION

PECAN BLVD

1ST ST



**PROPOSED PECAN
HEIGHTS SUBDIVISION**

**PROPOSED CAVADONGA
SUBDIVISION**

LOT 1

NYSSA AVE

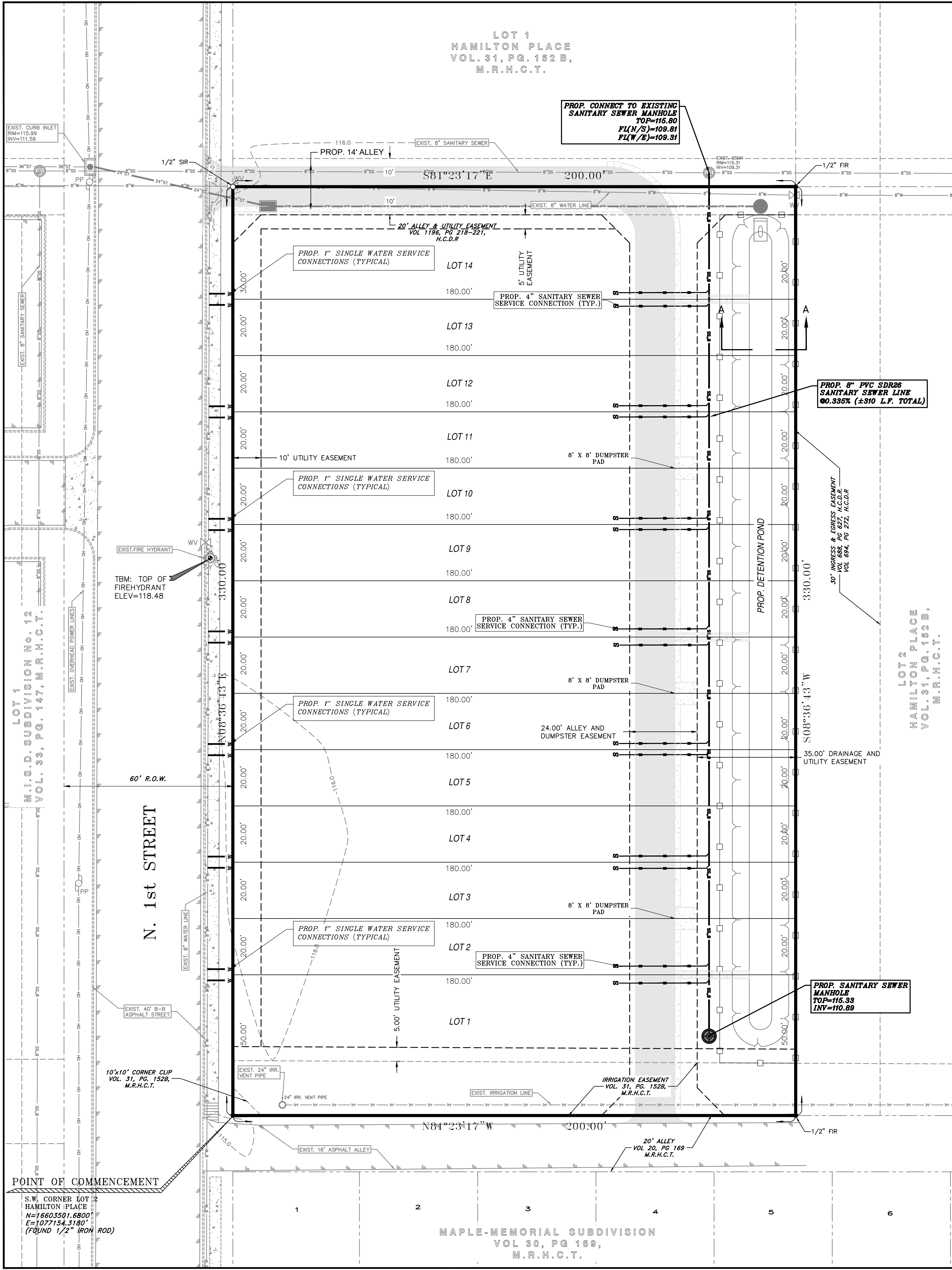
1ST ST

MAPLE AVE

NG ST

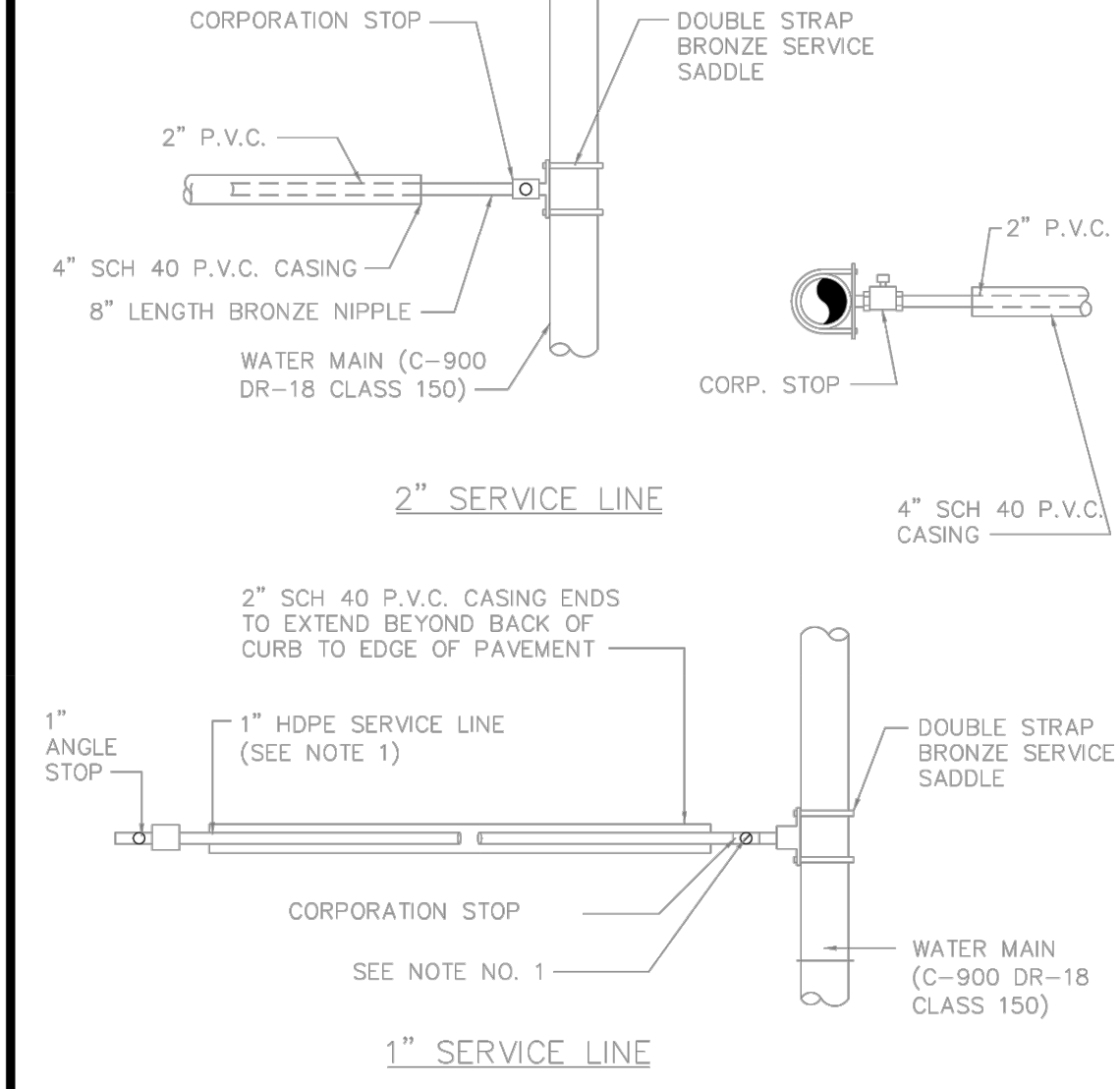
THIA ST

S:\v2 engineering\server\5 projects\Hidalgo\McAllen\p-169 1st street townhomes\02-dwg design files\01-civil\Sheets\02_P169-Plat-Utilities.dwg Jan 06,2025 - 10:09AM Fernando



SCALE 1" = 20'
BEARING BASIS - TEXAS STATE
PLANE COORDINATE SYSTEM,
TEXAS SOUTH ZONE 4205
(NAD 83, NAVD 88, GEOID 12B)

- NOTES:
- SERVICE LINES GREATER THAN 1" REQUIRE P.V.C. SCHEDULE 40 PIPE.
 - 1" SERVICE LINES SHALL BE SDR-9, HDPE, ASTM D-2737
 - 2" SERVICES REQUIRE BOTH CORP. STOP AND CAST IRON VALVE.
 - ONE SERVICE REQUIRED FOR EACH LOT.
 - 2" ANGLE STOPS REQUIRED FOR 2" SERVICES AT METER LOCATION.
 - A U-BRANCH FITTING REQUIRED FOR 1" SERVICES AT METER LOCATION.

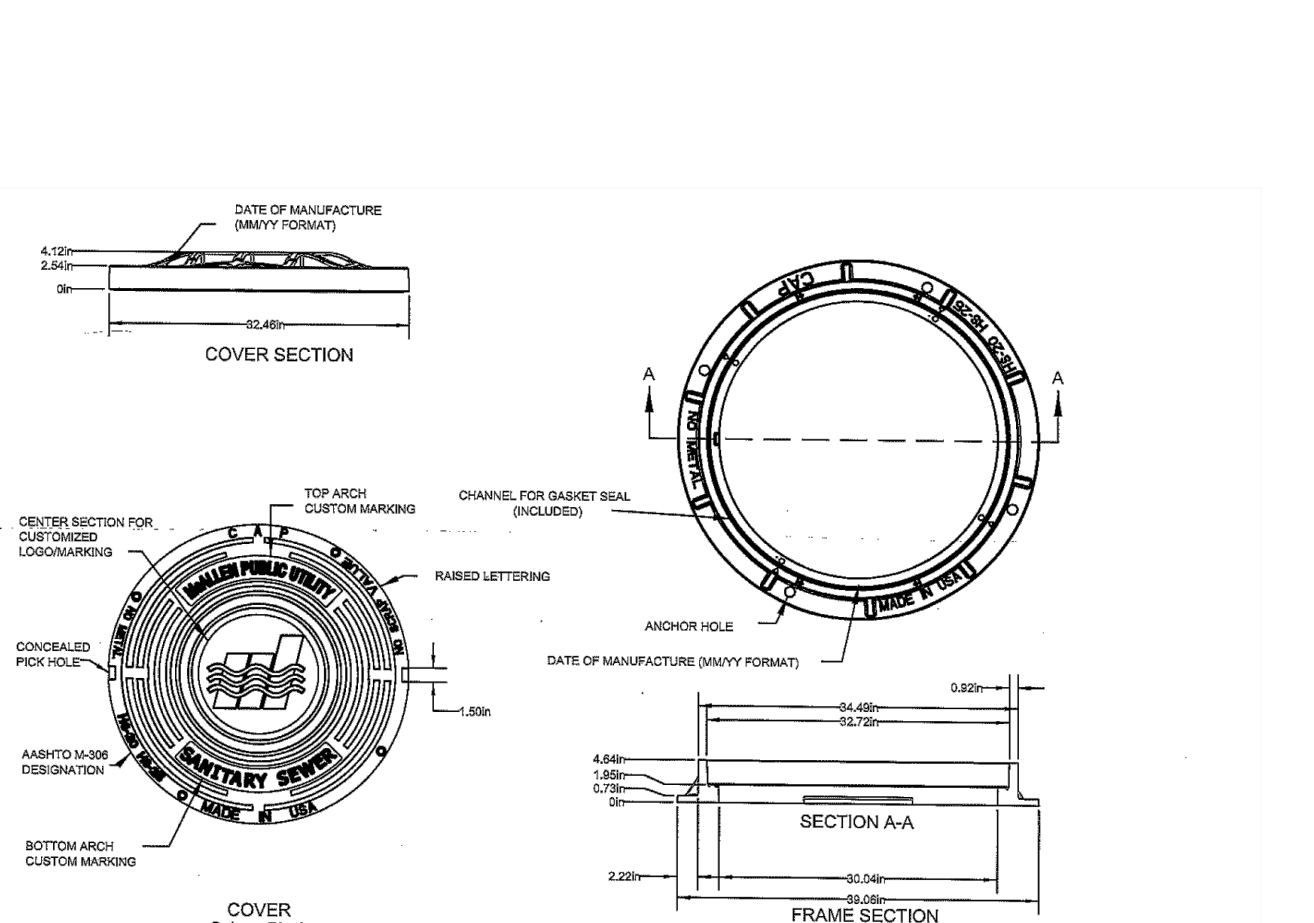
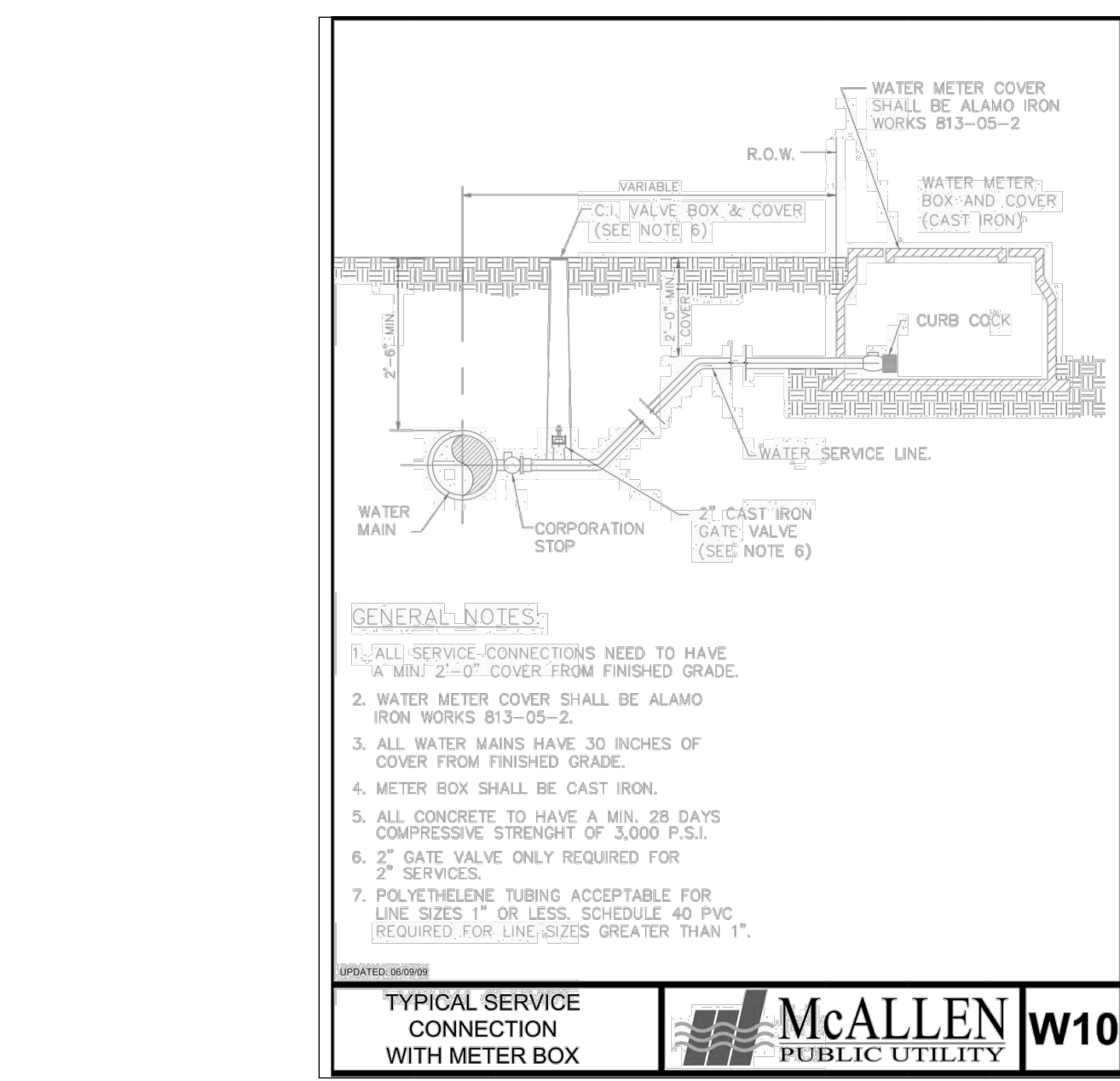
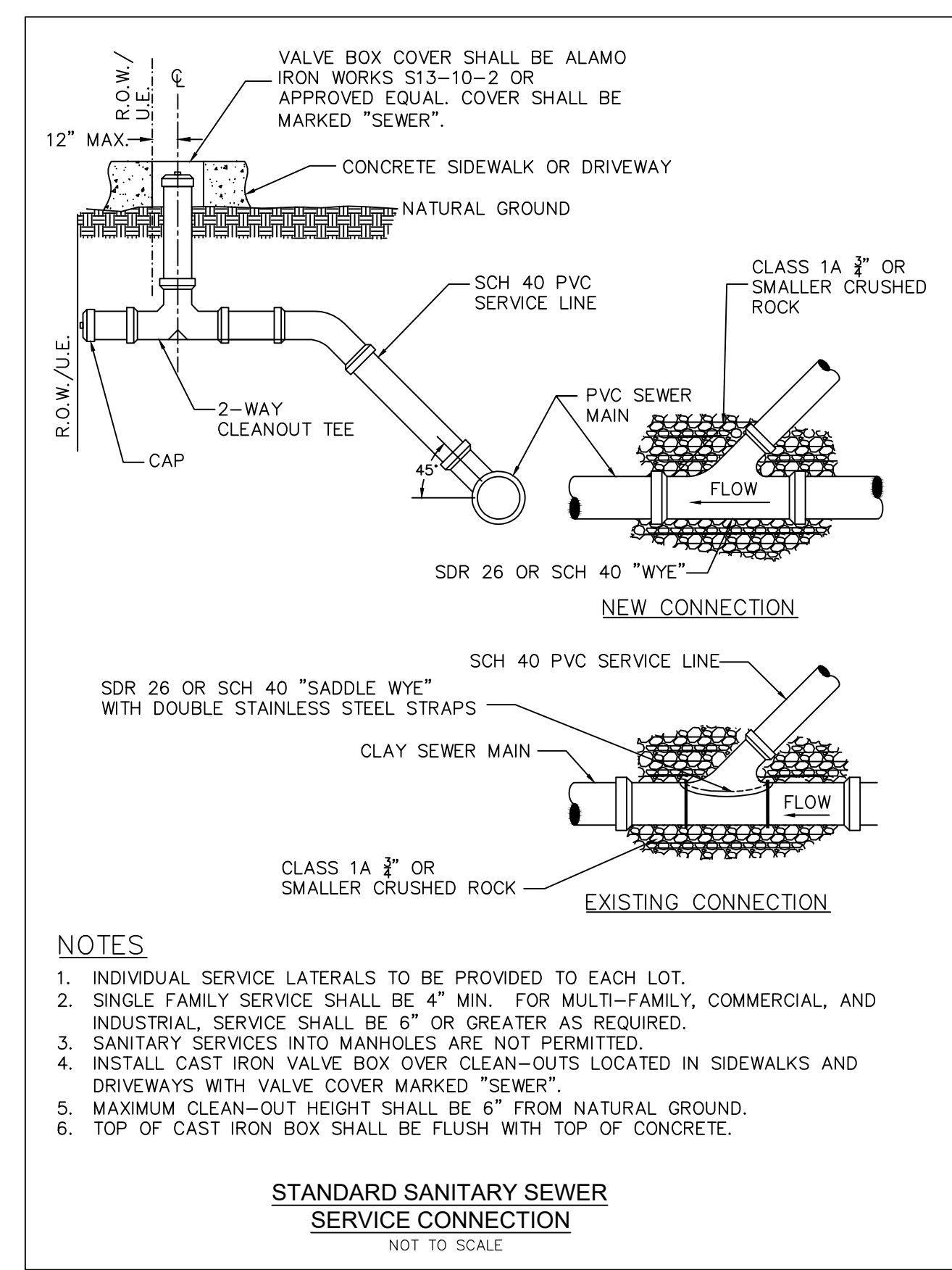


TYPICAL WATER SERVICE CONNECTION
McALLEN PUBLIC UTILITY
W12

LEGEND

- | | |
|----------------------------------|--------------------------------|
| ○ - SET 1/2 INCH IRON ROD | ■ - STORM TYPE C GRATED INLET |
| ● - FOUND 1/2 INCH IRON ROD | ■ - STORM TYPE CC GRATED INLET |
| ⦿ - SET NAIL / BENCHMARK | ⊙ - STORM DRAIN MANHOLE |
| ⦿ - FOUND 60-D NAIL | ⊙ - STORM DRAIN JUNCTION BOX |
| ▲ - FOUND CPS | ⊙ - STORM DRAIN HEADWALL |
| ⦿ - POWER POLE | ⊙ - SANITARY SEWER MANHOLE |
| ⦿ - GUY WIRE | ⊙ - SANITARY SEWER CLEANOUT |
| ⦿ - ELECTRICAL BOX | ⊙ - GAS MARKER |
| ⦿ - HIGH VOLTAGE UNDERGROUND BOX | ⦿ - SIGN |
| ⦿ - WATER MAIN BOX | ⦿ - STORM TYPE A INLET |
| ⦿ - WATER SERVICE | |
| ⦿ - WATER VALVE | — - EDGE OF ASPHALT |
| ⦿ - FLUSH VALVE | — - OVERHEAD POWER LINES |
| ⦿ - SPRINKLER MAIN BOX | — - WATER LINE |
| ⦿ - SPRINKLER HEAD | — - STORM LINE |
| ⦿ - IRRIGATION STAND PIPE | — - FENCE LINE |
| ⦿ - IRRIGATION GATE VALVE | — - GAS LINE |

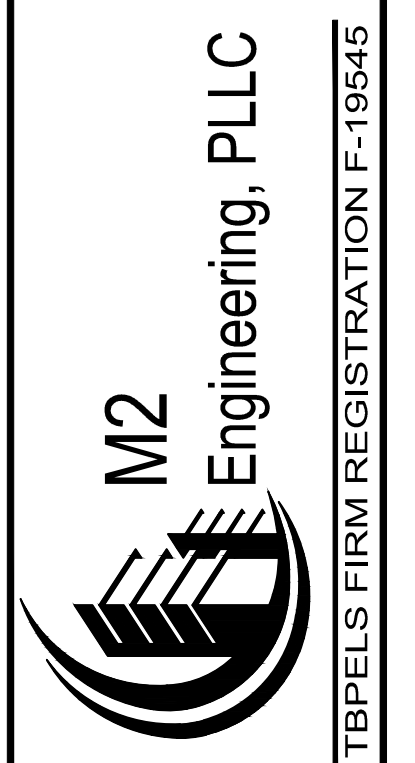
- UTILITY NOTES:
- EXISTING ABOVE GROUND UTILITIES AND TOPOGRAPHY HAVE BEEN PLOTTED BY DIRECT FIELD INFORMATION. UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM VARIOUS SOURCES AND LOCATORS. CONTRACTOR WILL BE REQUIRED TO ESTABLISH THEIR EXACT LOCATION, DEPTH, AND SIZE. THE CONTRACTOR IS ALSO RESPONSIBLE FOR THE REPLACEMENT OR REPAIR OF ALL CUT OR BROKEN WATER LINES, IRRIGATION LINES, FORCE MAINS, SPRINKLER SYSTEMS, GAS LINES, ELECTRICAL LINES, CABLES, ETC.
 - BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL CALL FOR UTILITY SPOTTING BY THE APPROPRIATE AGENCY AND VERIFY THE LOCATION OF THESE UTILITIES TO HIS SATISFACTION. (1-800-360-TESS).
 - REFER TO CITY OF EDINBURG WATER DISTRIBUTION STANDARD DETAILS FOR MORE INFORMATION REGARDING FLUSH VALVES, SERVICE CONNECTIONS AND WATER MAINS.
 - ALL WATER MAINS SHALL HAVE THRUST BLOCK IN ACCORDANCE WITH THE CITY OF McALLEN STANDARD DETAILS.
 - ALL DRIVEWAY CUT AND RESTORE OPERATIONS SHALL PROVIDE EQUIVALENT OR BETTER DRIVEWAY PAVEMENT SECTIONS.



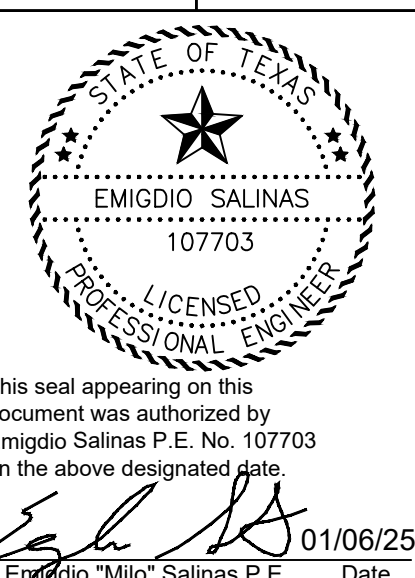
- NOTES:
- Composite material ring and cover shall be of compression molding, proof loading to HS-25 or better, and conform to AASHTO M 306.
 - Composite Access Products, L.P. is an approved manufacturer. Any alternate equal must be approved by McAllen Public Utility-Utility Engineering Department.

COMPOSITE SEWER MANHOLE
RING AND COVER DETAIL
N.T.S.

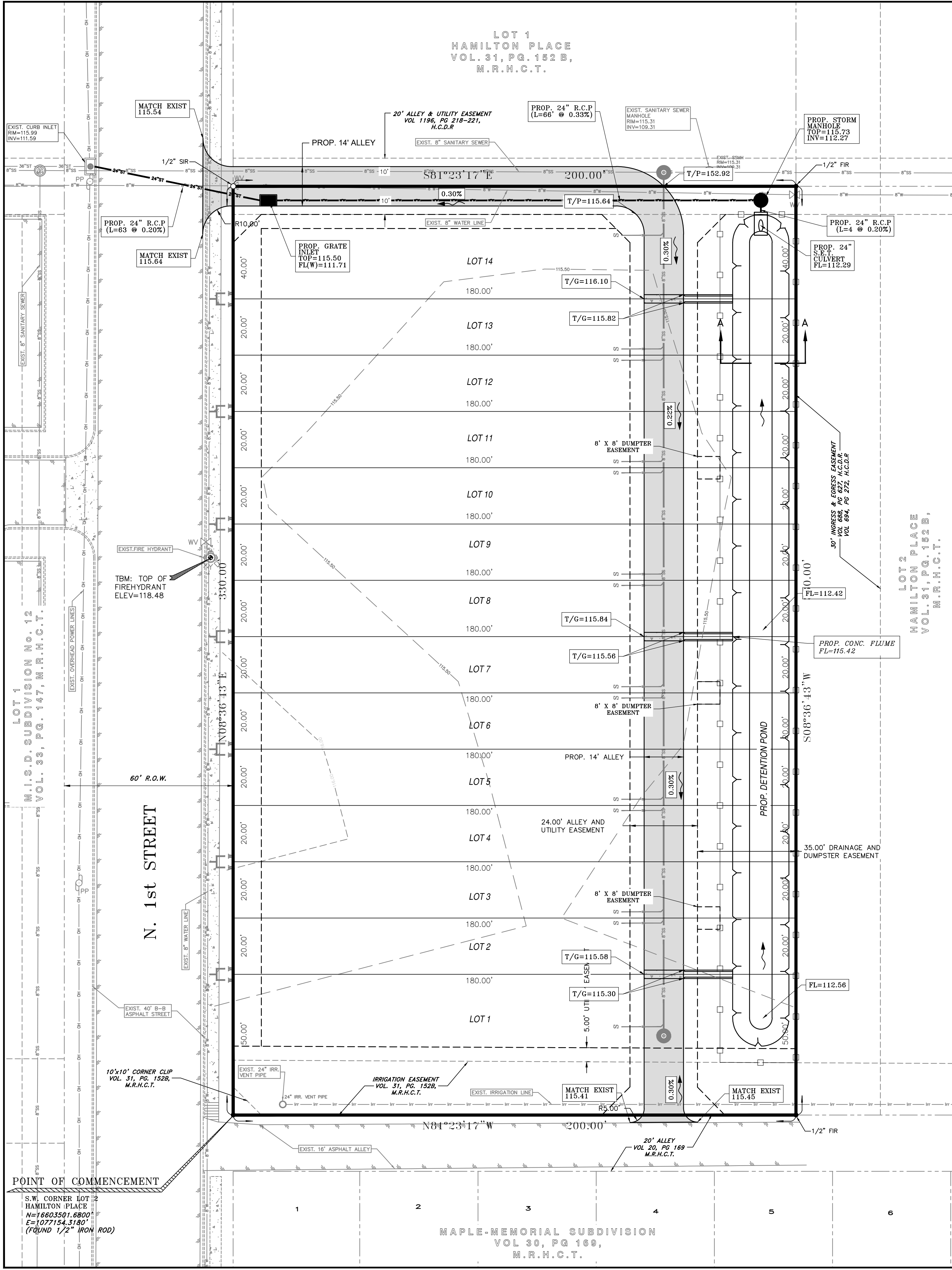
1810 E. GRIFFIN PARKWAY
MISSION, TX 78572
956.600.8628
www.m2engineers.com
FIRM REGISTRATION # F-19545



UTILITY PLAT
PECAN HEIGHTS SUBDIVISION
McALLEN, TEXAS

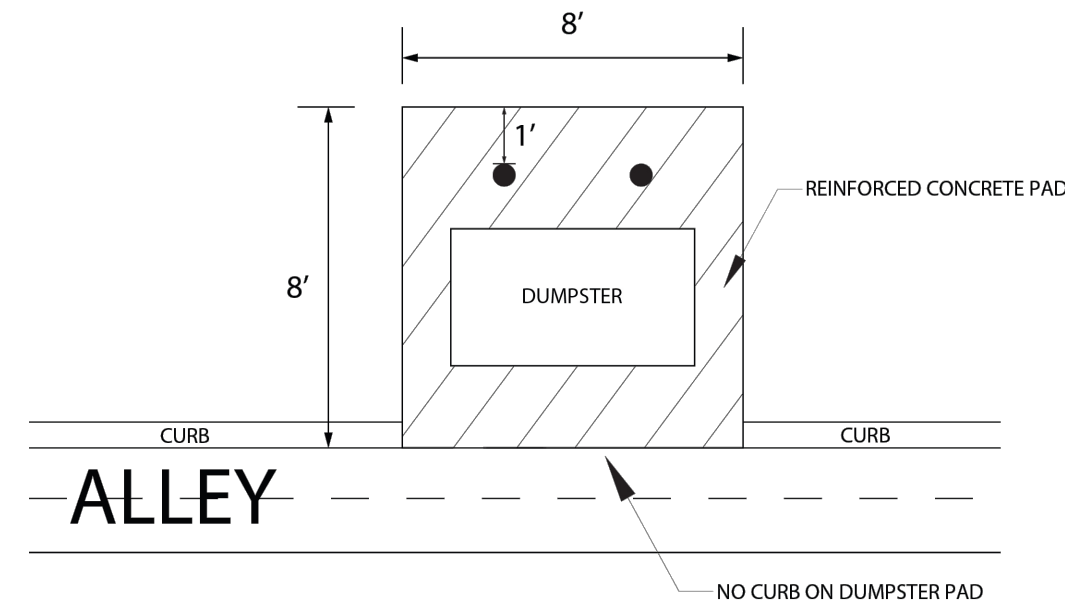


This seal appearing on this document was authorized by Emigdio Salinas P.E. No. 107703 on the above designated date.
Emigdio Salinas P.E. Date 01/06/25
SCALE: SCALE: 1" = 20'
DRAWN BY: CADTech4
CHECKED BY: MS
SURVEYED BY: HLG
SHEET:

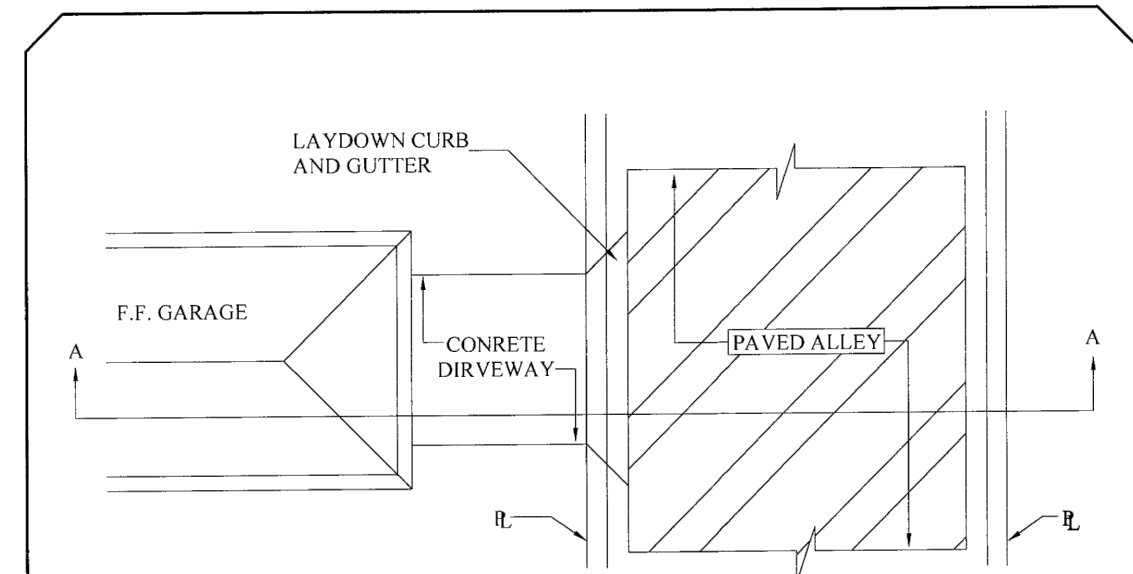


SCALE 1" = 20'

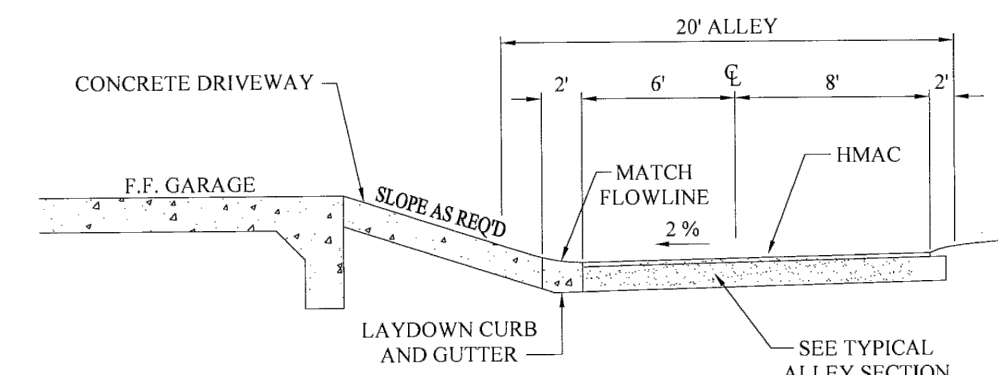
BEARING BASIS - TEXAS STATE
PLANE COORDINATE SYSTEM,
TEXAS SOUTH ZONE 4205
(NAD 83, NAVD 88, GEOID 12B)



SIDE-LOAD DUMPSTER PAD DETAIL
NOT TO SCALE



PLAN VIEW



SECTION A-A



TYPICAL ALLEY AND DRIVEWAY DETAIL

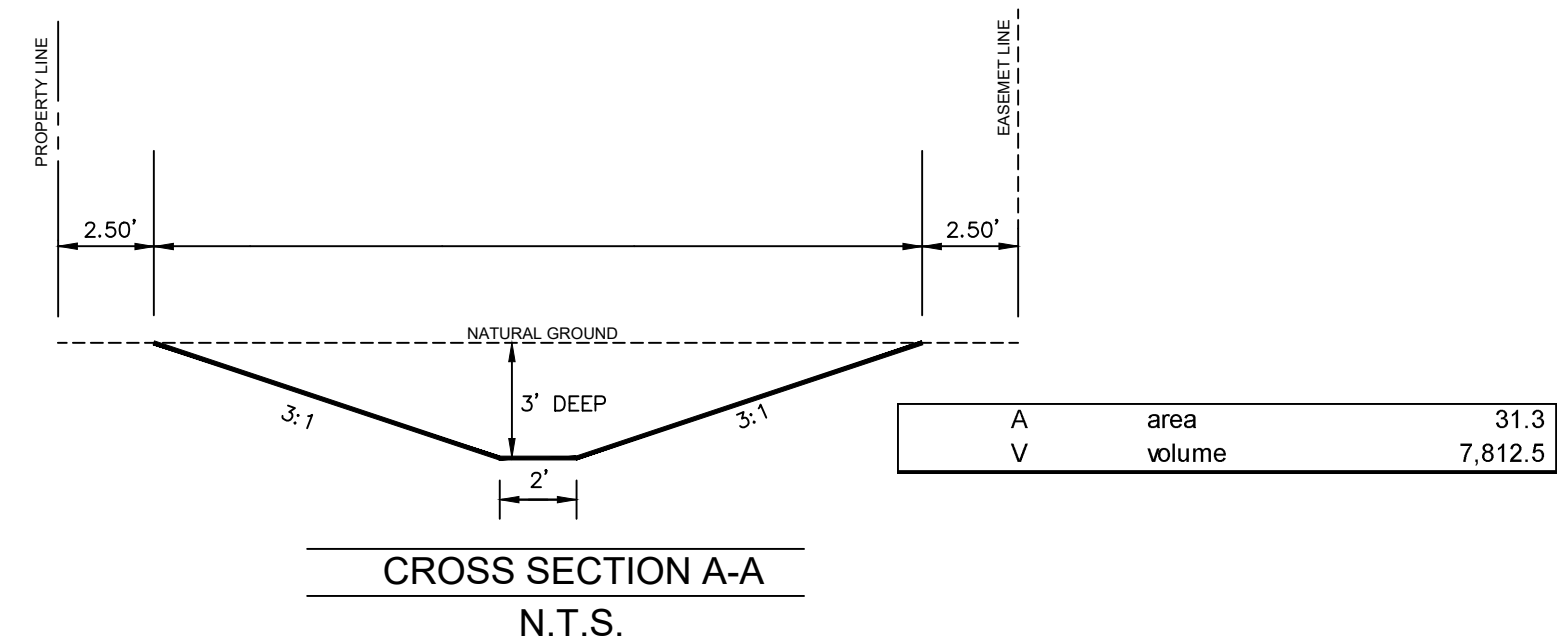
DETAIL 212
02/2009

LEGEND

- | | | | |
|---|------------------------------|-------|----------------------------|
| ○ | SET 1/2 INCH IRON ROD | — | STORM TYPE C GRATED INLET |
| ● | FOUND 1/2 INCH IRON ROD | — OH | STORM TYPE CC GRATED INLET |
| ⊗ | SET NAIL / BENCHMARK | — W | STORM DRAIN MANHOLE |
| ⊗ | FOUND 60-D NAIL | — U | STORM DRAIN JUNCTION BOX |
| ▲ | FOUND CPS | — | STORM DRAIN HEADWALL |
| ⊕ | POWER POLE | ⊗ | SANITARY SEWER MANHOLE |
| — | GUY WIRE | ⊗ | SANITARY SEWER CLEANOUT |
| ⊗ | ELECTRICAL BOX | ⊗ | GAS MARKER |
| ⊗ | HIGH VOLTAGE UNDERGROUND BOX | — | SIGN |
| ⊗ | WATER MAIN BOX | ⊗ | STORM TYPE A INLET |
| ⊗ | WATER SERVICE | | |
| ⊗ | WATER VALVE | — | EDGE OF ASPHALT |
| ⊗ | FIRE HYDRANT | — OH | OVERHEAD POWER LINES |
| ⊗ | FLUSH VALVE | — W | WATER LINE |
| ⊗ | SPRINKLER MAIN BOX | — U | STORM LINE |
| ⊗ | SPRINKLER HEAD | — X | FENCE LINE |
| ⊗ | IRRIGATION STAND PIPE | — Gas | GAS LINE |
| ⊗ | IRRIGATION GATE VALVE | | |

UTILITY NOTES:

5. EXISTING ABOVE GROUND UTILITIES AND TOPOGRAPHY HAVE BEEN PLOTTED BY DIRECT FIELD INFORMATION.
6. ANNOYING NOISES ARE NOT TO BE PLOTTED FROM VARIOUS SOURCES AND LOCATORS. CONTRACTOR WILL BE REQUIRED TO ESTABLISH THEIR EXACT LOCATION, AND SIZE. THE CONTRACTOR WILL ALSO BE REQUIRED TO LOCATE AND MARK OR REPAIR OF ALL CUT OR BROKEN WATER LINES.
7. ALL UTILITIES, FORGOTTEN OR UNKNOWN, SUCH AS GAS LINES, ELECTRICAL LINES, CABLES, ETC.
8. BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL CALL FOR UTILITY SPOTTING BY THE APPROPRIATE AGENCY TO LOCATE THE LOCATION OF ALL EXISTING UTILITIES TO HIS SATISFACTION. (1-800-BIG-TESS).
9. REFER TO CITY OF EDINBURGH WATER DISTRIBUTION STANDARD SPECIFICATIONS FOR MORE INFORMATION REGARDING FLUSH VALVES, SERVICE CONNECTIONS, AND WATER MAINS.
10. ALL WATER MAINS SHALL HAVE THROCK BLOCK IN ACCORDANCE WITH THE CITY OF MAALEN STANDARD DETAILS.
11. ALL DRIVEWAY CUT AND RESTORE OPERATIONS SHALL PROVIDE EQUIVALENT OR BETTER DRYWATER PAVEMENT.

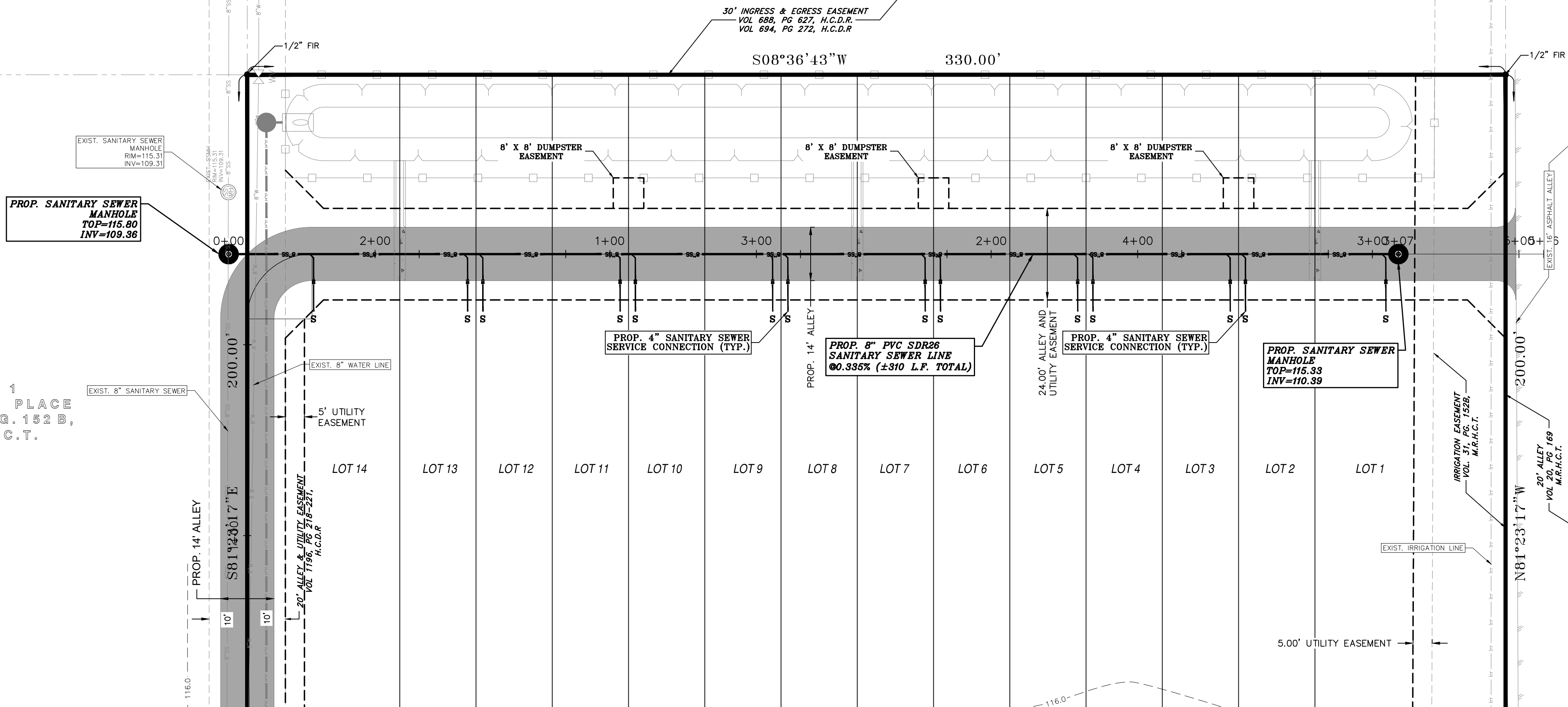


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LOT 1
HAMILTON PLACE
VOL. 31, PG. 152 B,
M.R.H.C.T.

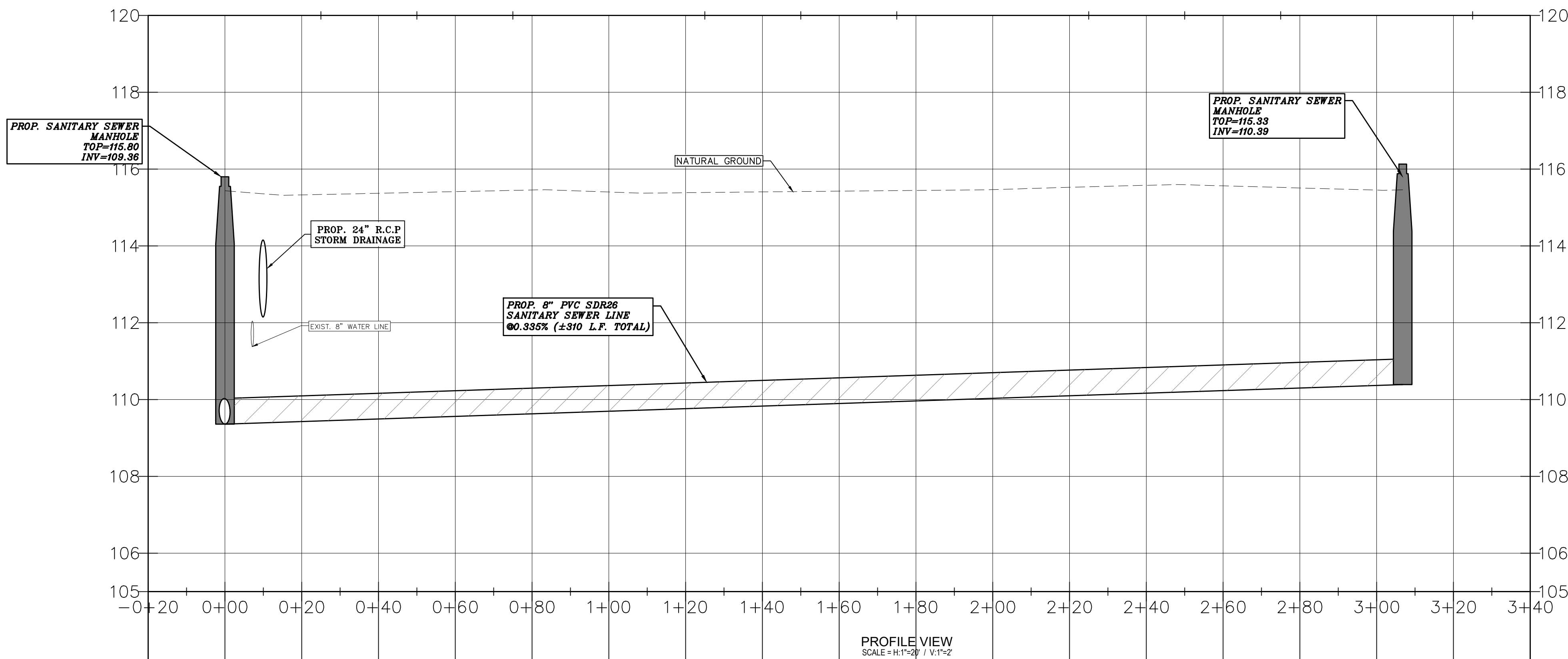
LOT 2
HAMILTON PLACE
VOL. 31, PG. 152 B,
M.R.H.C.T.

MAPLE-MEMORIAL SUBDIVISION
VOL. 30, PG. 169,
M.R.H.C.T.



LEGEND	
○	SET 1/2 INCH IRON ROD
●	FOUND 1/2 INCH IRON ROD
⊕	SET NAIL / BENCHMARK
⊗	FOUND 60-D NAIL
⊙	FOUND CPS
⬆	POWER POLE
⬆	CUY WIRE
⬆	ELECTRICAL BOX
⬆	HIGH VOLTAGE UNDERGROUND BOX
⬆	WATER MAIN BOX
⬆	WATER SERVICE
⬆	WATER VALVE
⬆	FIRE HYDRANT
⬆	FLUSH VALVE
⬆	SPRINKLER MAIN BOX
⬆	SPRINKLER HEAD
⬆	IRRIGATION STAND PIPE
⬆	IRRIGATION GATE VALVE
⬆	STORM TYPE C GRATED INLET
⬆	STORM TYPE CC GRATED INLET
⬆	STORM DRAIN MANHOLE
⬆	STORM DRAIN JUNCTION BOX
⬆	STORM DRAIN HEADWALL
⬆	SANITARY SEWER MANHOLE
⬆	SANITARY SEWER CLEANOUT
⬆	GAS MARKER
⬆	SIGN
⬆	STORM TYPE A INLET
⬆	EDGE OF ASPHALT
⬆	OVERHEAD POWER LINES
⬆	WATER LINE
⬆	STORM LINE
⬆	FENCE LINE
⬆	GAS LINE

SCALE 1" = 20'
BEARING BASIS - TEXAS STATE
PLANE COORDINATE SYSTEM,
TEXAS SOUTH ZONE 4205
(NAD 83, NAVD 88, GEOID 12B)



UTILITY PLAT

PECAN HEIGHTS SUBDIVISION
MCALLEN, TEXAS

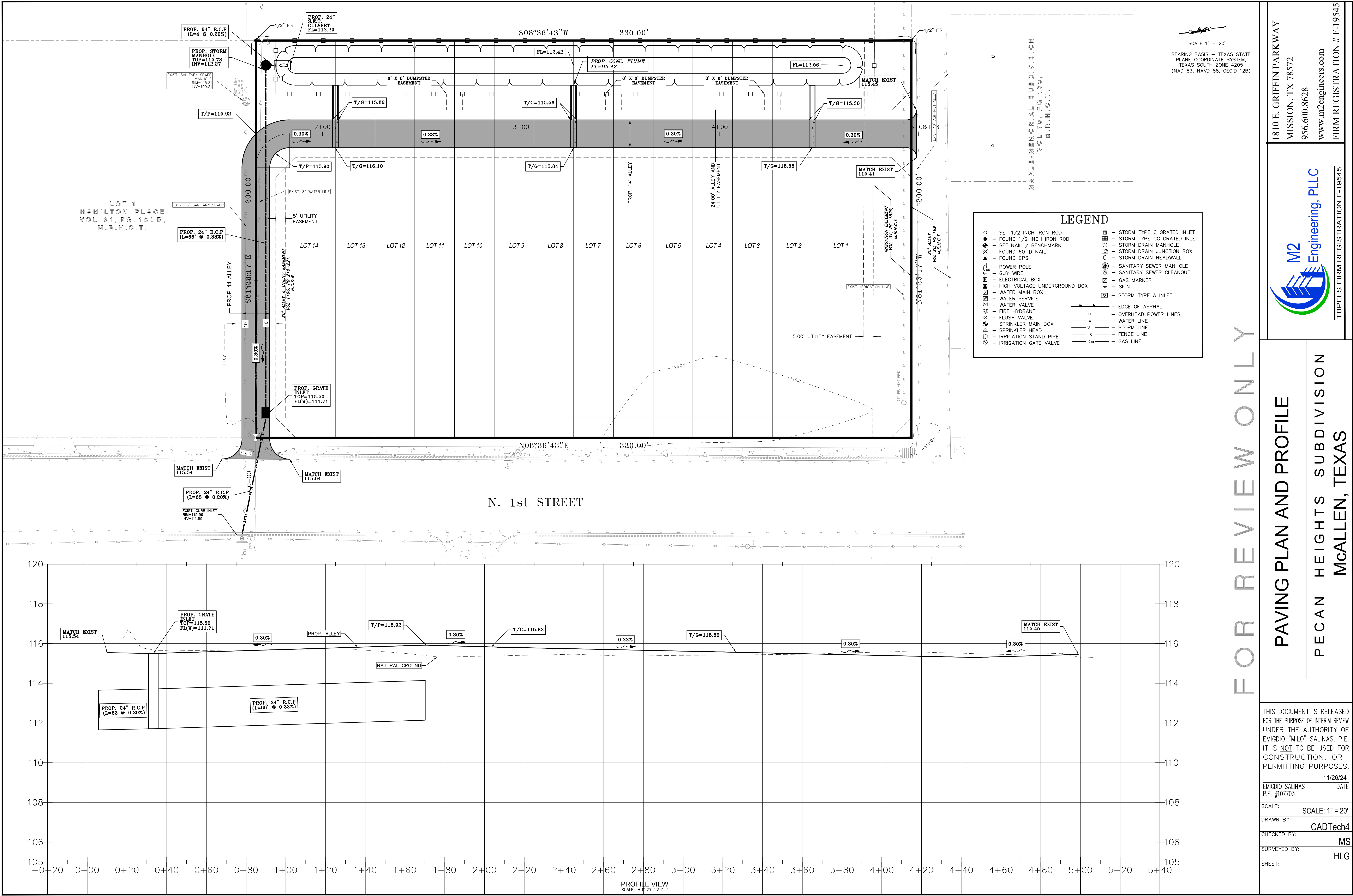
1810 E. GRIFFIN PARKWAY
MISSION, TX 78572
956.600.8628
www.m2engineers.com
FIRM REGISTRATION # F-19545



TBPELS FIRM REGISTRATION F-19545

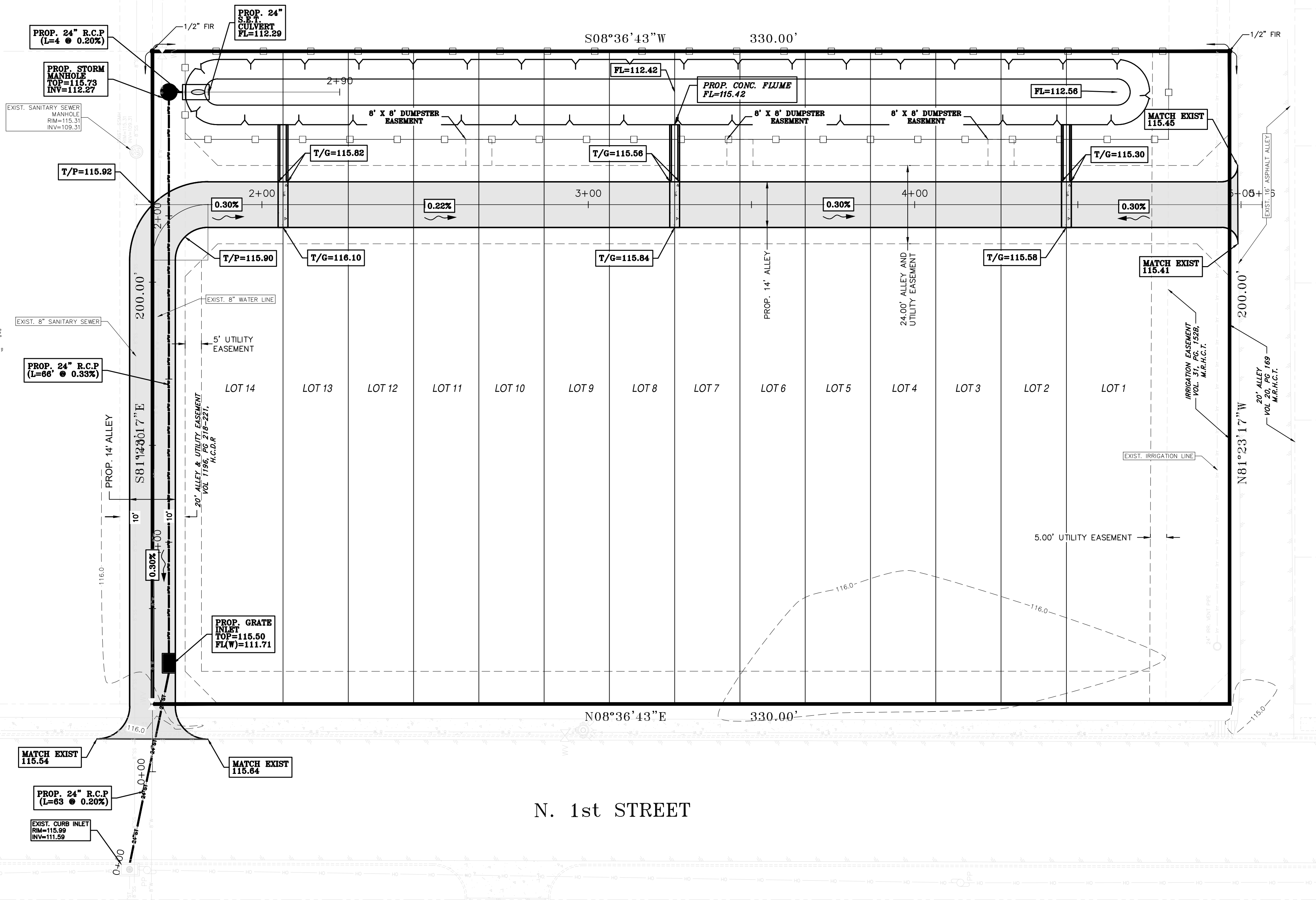
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11/26/24
EMIGDIO SALINAS DATE
P.E. #107703
SCALE: SCALE: 1" = 20'
DRAWN BY: CADTech4
CHECKED BY: MS
SURVEYED BY: HLG
SHEET:

S:\M2 Engineering (Server)\S Projects\Hidalgo\McAllen\169 1st Street Townhomes\02-DWG_Design Files\01-Civil\Sheets\04_P169-PECAN HEIGHTS PAVING PROFILE.dwg Nov 26,2024 - 7:59PM CAD TECH



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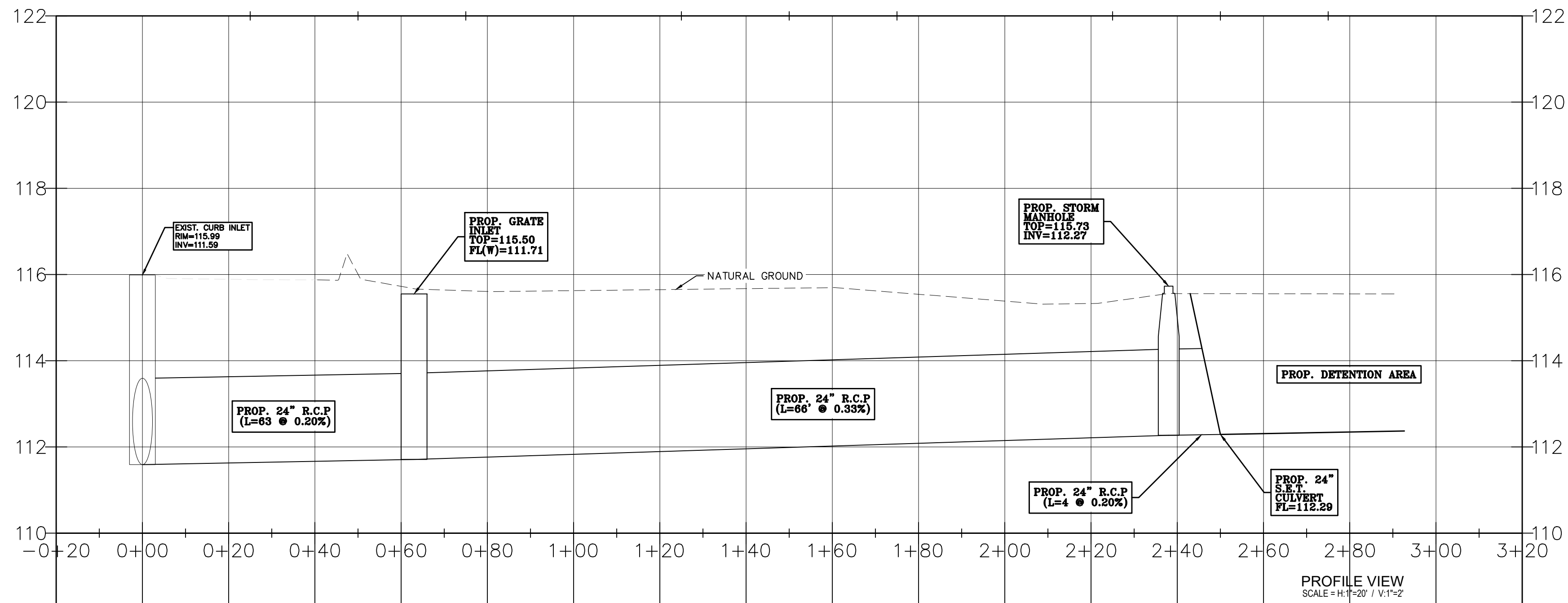
LOT 1
HAMILTON PLACE
VOL. 31, PG. 152B,
M.R.H.C.T.



LEGEND

○	SET 1/2 INCH IRON ROD	—	STORM TYPE C GRATED INLET
●	FOUND 1/2 INCH IRON ROD	—	STORM TYPE CC GRATED INLET
⊕	SET NAIL / BENCHMARK	⊕	STORM DRAIN MANHOLE
⊗	FOUND 60-D NAIL	⊗	STORM DRAIN JUNCTION BOX
▲	FOUND GPS	—	STORM DRAIN HEADWALL
⚡	POWER POLE	⊕	SANITARY SEWER MANHOLE
—	GUY WIRE	⊕	SANITARY SEWER CLEANOUT
⊕	ELECTRICAL BOX	⊗	GAS MARKER
⊕	HIGH VOLTAGE UNDERGROUND BOX	—	SIGN
⊕	WATER MAIN BOX	⊕	STORM TYPE A INLET
⊕	WATER SERVICE	—	EDGE OF ASPHALT
⊕	WATER VALVE	—	OVERHEAD POWER LINES
⊕	FIRE HYDRANT	—	WATER LINE
⊕	FLUSH VALVE	—	STORM LINE
⊕	SPRINKLER MAIN BOX	—	FENCE LINE
⊕	SPRINKLER HEAD	—	GAS LINE
⊕	IRRIGATION STAND PIPE		
⊕	IRRIGATION GATE VALVE		

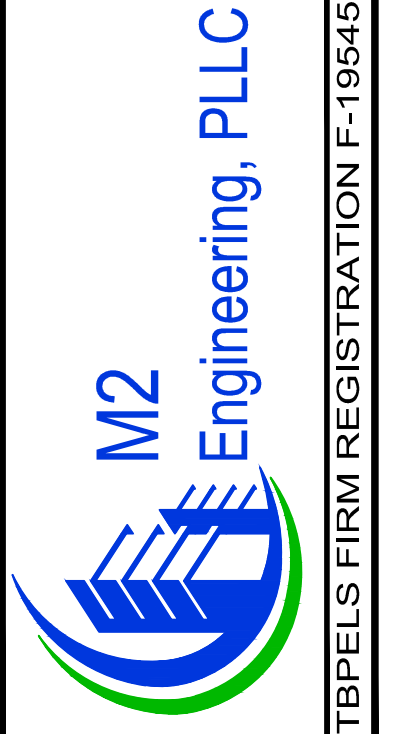
SCALE 1" = 20'
BEARING BASIS — TEXAS STATE
PLANE COORDINATE SYSTEM,
TEXAS SOUTH ZONE 4205
(NAD 83, NAVD 88, GEOID 12B)



DRAINAGE PROFILE

PECAN HEIGHTS SUBDIVISION
McALLEN, TEXAS

1810 E. GRIFFIN PARKWAY
MISSION, TX 78572
956.600.8628
www.m2engineers.com
FIRM REGISTRATION # F-19545



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12/06/24
EMIGDIO SALINAS
P.E. #107703

SCALE: SCALE: 1" = 20'

DRAWN BY: CADTech4

CHECKED BY: MS

SURVEYED BY: HLG

SHEET:

LEGEND

○	SET 1/2 INCH IRON ROD	■	STORM TYPE C GRATED INLET
●	FOUND 1/2 INCH IRON ROD	■	STORM TYPE CC GRATED INLET
⊙	SET NAIL / BENCHMARK	Ⓢ	STORM DRAIN MANHOLE
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—	GUY WIRE	Ⓢ	SANITARY SEWER CLEANOUT
■	ELECTRICAL BOX	⊗	GAS MARKER
■	HIGH VOLTAGE UNDERGROUND BOX	—	SIGN
■	WATER MAIN BOX	Ⓢ	STORM TYPE A INLET
■	WATER SERVICE		
■	WATER VALVE	—	EDGE OF ASPHALT
⊗	FIRE HYDRANT	—	OVERHEAD POWER LINES
⊗	FLUSH VALVE	—	WATER LINE
⊙	SPRINKLER MAIN BOX	—	ST
△	SPRINKLER HEAD	—	STORM LINE
⊙	IRRIGATION STAND PIPE	—	X
⊙	IRRIGATION GATE VALVE	—	FENCE LINE
		—	Gas
		—	GAS LINE

1. EXISTING ABOVE GROUND UTILITIES AND TOPOGRAPHY HAVE BEEN PLOTTED BY DIRECT FIELD INFORMATION.
UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM VARIOUS SOURCES AND LOCATORS; CONTRACTOR WILL BE REQUIRED TO VERIFY UNDER OTHER MEANS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OR REPAIR OF ALL CUT OR BROKEN WATER, GAS, SEWER, FIBER, FUEL, TELEPHONE SYSTEMS, GAS LINES, ELECTRICAL LINES, CABLES, ETC.
2. BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO UTILITY SPOTTING BY THE APPROPRIATE AGENCY AND TO OBTAIN THE LOCATION OF THESE UTILITIES TO HIS SATISFACTION (1-E800-DIG-TESS).
3. REFER TO CITY OF EDINBURG WATER DISTRIBUTION STANDARD DETAILS FOR MORE INFORMATION REGARDING FLUSH VALVES AND CONVECTION.
4. WATER MAINS SHALL HAVE THRUST BLOCK IN ACCORDANCE WITH THE CITY OF MCALLEN STANDARD DETAILS.
5. ALL DRIVEWAY CUT AND RESTORE OPERATIONS SHALL PROVIDE EQUIVALENT OR BETTER DRIVEWAY PAVEMENT SECTIONS.



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 3/14/2025

SUBDIVISION NAME: PECAN HEIGHTS SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

N. 1st St.: Existing 60.0ft R.O.W.
 Paving: 40.0ft Curb & gutter: Both Sides
 - Provide document number of the R.O.W. for staff review, prior to final/recording.
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to recording.
 **COM Thoroughfare Plan

Required

Paving _____ Curb & gutter _____
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

NA

* 1,200 ft. Block Length
 **Subdivision Ordinance: Section 134-118
 * 900 ft. Block Length for R-3T Zone Districts.
 **Subdivision Ordinance: Section 134-118
 * 600 ft. Maximum Cul-de-Sac.
 **Subdivision Ordinance: Section 134-105

NA

Compliance

NA

ALLEYS

R.O.W.: 20ft. Paving: 16ft.
 Revisions needed:
 - Label the proposed alley as "24 ft. private service drive easement" prior to final/recording as it is located on private property. The dumpster easement may not overlap the 24 ft. service drive easement.
 - Ensure that 20 ft. Alley & Utility Easement on the north side can be utilized by proposed subdivision as it appears that it is a private alley. Clarify and submit documents as applicable prior to recording. If the alley cannot be used, the layout may need to be revised which requires review by the development team and approval by the board.
 - 20 ft. alley & utility easement crosses the irrigation easement ensure there are no issues with the crossing. Clarify and submit documents as applicable prior to recording.
 - Dumpster Easements are labeled but have been removed from the latest plat. Add them to plat, as approved by Public Works, prior to final/recording. The easements comply with all development department requirements, including Public Works, prior to final/recording.
 *Alley/service drive easement required for commercial and multi-family properties.
 **Subdivision Ordinance: Section 134-106

Required

SETBACKS

Front: 10 ft. or greater for easements, whichever is greater applies.
 - Revise the plat note as shown above prior to final/recording.
 Revisions needed
 Proposing: 10 ft. or greater for easements, "which" is greater applies.
 **Setbacks are based on R-3T Zoning District.
 **Zoning Ordinance: Section 138-356
 * Rear: 10 ft. or greater for easements, whichever is greater applies.
 **Zoning Ordinance: Section 138-356

Required

Applied

<ul style="list-style-type: none"> * Sides: In accordance with the zoning ordinance or greater for easements, whichever is greater applies. **Zoning Ordinance: Section 138-356 	Applied
<ul style="list-style-type: none"> * Corner: 10 ft. or greater for easements, whichever is greater applies. **Zoning Ordinance: Section 138-356 	Applied
<ul style="list-style-type: none"> * Garage: 18 ft. except where greater setback is required, greater setback applies. **Zoning Ordinance: Section 138-356 	Applied
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
<ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on N. 1st Street **Sidewalk requirement may increase to 5 ft. per Engineering Department prior to final. ****Subdivision Ordinance: Section 134-120 	Applied
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46 	Applied
<ul style="list-style-type: none"> * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46 	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along North 1st Street. **Must comply with City Access Management Policy 	Applied
<ul style="list-style-type: none"> * Site plan must be approved by the Planning and Development Departments prior to building permit issuance for 5 or more attached dwelling units on each lot if applicable. **Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development. Review as applicable prior to final. ***Zoning Ordinance: Section 138-210. 	Applied
<ul style="list-style-type: none"> * Common Areas, gate areas, alley easements etc. must be maintained by the lot owners and not the City of McAllen. - Plat note subject to change once subdivision requirements have been finalized. Finalize wording for note prior to final. 	Applied
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
<ul style="list-style-type: none"> * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. ***Section 110-72 applies if public subdivision is proposed. ****Landscaping Ordinance: Section 110-72 *****Subdivision Ordinance: Section 134-168 	Required
<ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. - Homeowner's Association Covenants must be submitted for staff review, prior to recording. ***Section 134-168 applies if private subdivision is proposed. ****Section 110-72 applies if public subdivision is proposed. 	Required

<p>*****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p>	
LOT REQUIREMENTS	
<p>* Lots fronting public/private streets.</p> <p>**Subdivision Ordinance: Section 134-1</p>	Compliance
<p>* Minimum lot width and lot area. Lot dedication min. 20' frontage on street.</p> <p>**Zoning Ordinance: Section 138-356</p>	Compliance
ZONING/CUP	
<p>* Existing: R-3T (townhouse residential) Proposed: R-3T (townhouse residential)</p> <p>***Zoning Ordinance: Article V</p>	Applied
<p>* Rezoning Needed Before Final Approval</p> <p>***Zoning Ordinance: Article V</p>	NA
PARKS	
<p>* Land dedication in lieu of fee. Park Fee required at \$700 per lot/dwelling unit to be paid prior to recording.</p>	Applied
<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording.</p> <p>- A park fee of \$9,800 (\$700 x 14) must be paid prior to recording. If the number of dwelling units changes, the park fee will be adjusted accordingly.</p>	Required
<p>* Pending review by City Managers Office.</p>	NA
TRAFFIC	
<p>* As per Traffic Department, Trip Generation approved, no TIA required.</p>	Applied
<p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	NA
COMMENTS	
<p>Comments:</p> <p>- If the layout changes, it requires review by the development team and approval by the board, as applicable.</p> <p>- Review and revise any typos on the metes and bounds section of the plat, prior to recording, e.g. "Thence, Norih 81 degrees 23 minuies..."</p> <p>* At the Planning and Zoning Commission meeting of July 10, 2024 the board voted to approve the subdivision in preliminary form subject to the conditions noted, drainage and utility approvals.</p> <p>*Disclaimer: City of McAllen does not require the Irrigation district signature block, but if presented on the plat, signature will be required.</p> <p>*Must comply with City's Access Management Policy.</p> <p>*Any abandonments must be done by separate process, not by plat.</p> <p>**Any variances that may be requested must be finalized prior to final and will establish additional requirements as needed prior to finalizing the plat.</p>	Required
RECOMMENDATION	
<p>STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO THE CONDITIONS NOTED.</p>	Applied

LOCATION

PECAN BLVD



1ST ST

PROPOSED PECAN
HEIGHTS SUBDIVISION

PROPOSED CAVADONGA
SUBDIVISION
LOT 1

NYSSA AVE

1ST ST

MAPLE AVE

ING ST

NTIA ST



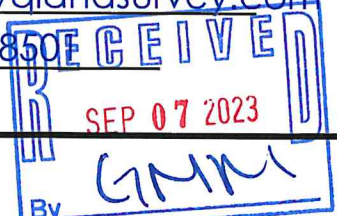
Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

SUB2023-0097

Project Information	Subdivision Name	<u>STC West 30 Acres Subdivision</u>		
	Location	<u>Pecan Blvd. and North Ware Rd.</u>		
	City Address or Block Numt	<u>1101 N. WARE RD</u>		
	Number of Lots	<u>1</u>	Gross Acres	<u>31.71</u> Net Acres <u>10/9/23</u> ETJ Yes <input checked="" type="checkbox"/> No <u>aw 9/1/23</u>
	Existing Zoning	<u>A-O</u>	Proposed Zoning	<u>C3</u> Rezoning Applied for <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date <u>aw 9/1/23</u>
	Existing Land Use	<u>N/A</u>	Proposed Land Use	<u>STC</u> Irrigation District # <u>1</u>
	Replat	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Commercial <input checked="" type="checkbox"/> Residential <u>aw 9/1/23</u>		
	Agricultural Exemption	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Estimated Rollback Tax Due	<u>50 ME</u>
	Parcel #	<u>Parcel #s: 185363, 294510, 294512</u>		
	Water CCN	<input checked="" type="checkbox"/> MPU <input type="checkbox"/> Sharyland Water SC Other _____		
Legal Description	<u>Lot 8, Block 2, C.E. Hammond Subdivision</u> <u>Lots 1, 2, 3 and 4, Mrs G.M. Terrell Subdivision</u>			
Owner	Name	<u>South Texas College (STC)</u> Phone <u>956-872-3737</u>		
	Address	<u>PO Box 9701</u> E-mail <u>rickdlg@southtexascollege.edu</u>		
	City	<u>McAllen</u>	State	<u>Texas</u> Zip <u>78501</u>
Developer	Name	<u>STC - Facilities Planning & Construction</u> Phone <u>956-872-3737</u>		
	Address	<u>PO Box 9701</u> E-mail <u>rickdlg@southtexascollege.edu</u>		
	City	<u>McAllen</u>	State	<u>Texas</u> Zip <u>78501</u>
	Contact Person	<u>Rick De la Garza, Assoc. AIA, Director</u>		
Engineer	Name	<u>Perez Consulting Engineers</u> Phone <u>956-631-4482</u>		
	Address	<u>808 Dallas Ave.</u> E-mail <u>dp@perezce.com / ah@perezce.com</u>		
	City	<u>McAllen</u>	State	<u>Texas</u> Zip <u>78501</u>
	Contact Person	<u>David Perez, P.E.</u>		
Surveyor	Name	<u>CVQ Land Surveyors</u> Phone <u>956-618-1551</u>		
	Address	<u>517 Beaumont Ave.</u> E-mail <u>cvq@cvqlandsurvey.com</u>		
	City	<u>McAllen</u>	State	<u>Texas</u> Zip <u>78501</u>



Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- \$225 Preliminary Review Fee and \$75 Final Approval Fee (Both fees can be combined in one payment)
- Title Report
- Survey
- Location Map
- Plat & Reduced P
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in PDF format. No scanned documents

*Please submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON

PLAT TO SHOW:

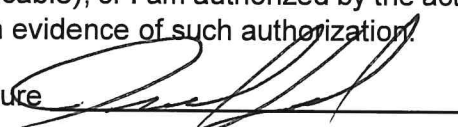
- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owners Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature



Date

AUG 28 2023

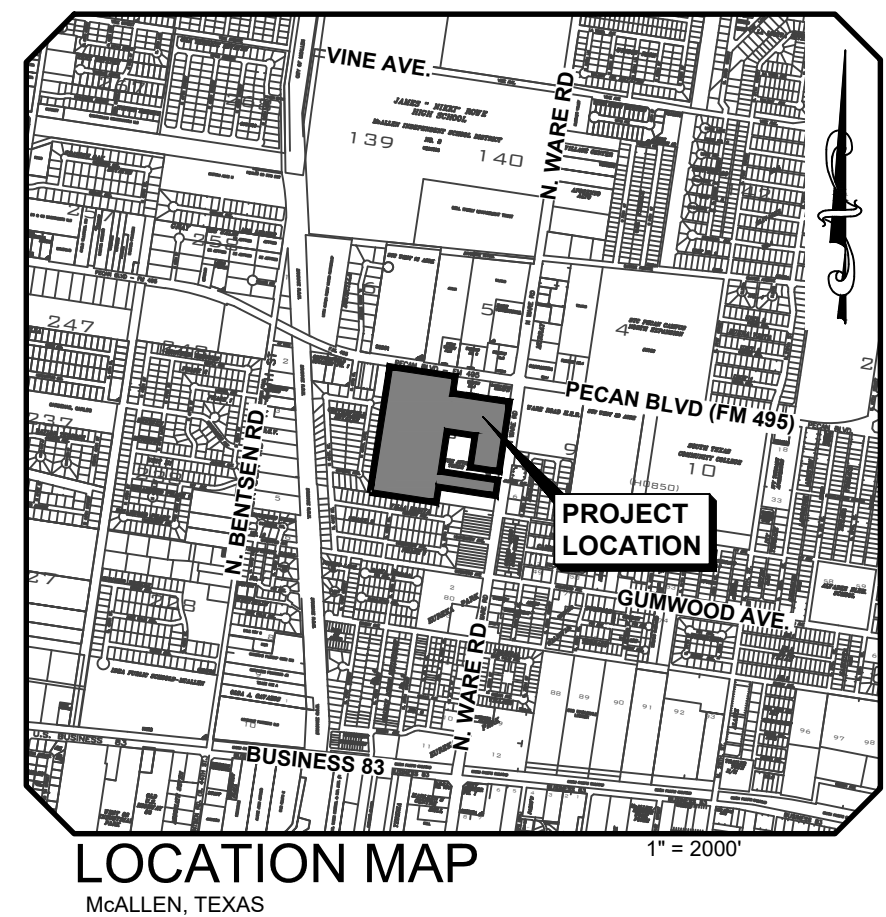
Print Name

Dr. Ricardo J. Solis, STC President

Owner ☐

Authorized Agent ☒

The Planning Department is now accepting DocuSign signatures on application



A TRACT OF LAND CONTAINING 31.71 ACRES OF LAND, MORE OR LESS, SITUATED IN HIDALGO COUNTY, TEXAS, BEING PART OR PORTION OF **LOT 8, BLOCK 2, C. E. HAMMONDS SUBDIVISION**, HIDALGO COUNTY, TEXAS, MAP REFERENCE: VOLUME 1, PAGE 8, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND PART OR PORTION OF **LOTS 1, 2, 3 AND 4, MRS. G.M. TERRELL SUBDIVISION**, HIDALGO COUNTY, TEXAS, MAP REFERENCE: VOLUME 5, PAGE 14, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND SAID 31.71 ACRES BEING THAT CERTAIN TRACT OF LAND DEEDED TO SOUTH TEXAS COLLEGE, RECORDED IN DOCUMENT NUMBER 2061989, AND DOCUMENT NUMBER 2046119, DEED RECORDS, HIDALGO COUNTY, TEXAS

SECRETARY

BY: _____ DEPUTY



Texas Registered Engineering Firm F-2158
808 Dallas Ave. McAllen, Texas 78501
(956) 631-4482 fax (956) 682-1545

DATE OF PREPARATION: JANUARY 7, 2025



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 3/13/2025

SUBDIVISION NAME: STC WEST 30 ACRES SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

N. Ware Road: Dedication for 60 ft. from centerline for total 120 ft. ROW
Paving: by the State Curb & gutter: by the State
Revisions needed:
- Show and label the ROW from centerline and total ROW after dedication prior to final/recording to verify any additional ROW dedication requirement prior to final/recording.
- Please use dashed line for ROW to avoid confusion with lot line prior to final/recording.
- Clarify/revise the E/W solid line on N. Ware Road ROW on the northwest side of IVY Ave. prior to final/recording.
- Clarify/remove the solid line from entrance of Jasmine Ave. prior final/recording.
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to recording.
**COM Thoroughfare Plan

Pecan Blvd.: Dedication for 60 ft. from centerline for total 120 ft. ROW
Paving: by the State Curb & gutter: by the State
Revisions needed:
- Label "Existing ROW" on both sides prior to final/recording.
- Show and label the ROW from centerline and total ROW after dedication prior to final/recording to verify any additional ROW dedication requirement prior to final/recording.
- There are multiple document referenced on the plat. Clarify what part of the ROW each document references and provide a copy for staff review prior to final/recording.
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to recording.
**COM Thoroughfare Plan

Paving _____ Curb & gutter _____
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan

* 1,200 ft. Block Length
** Staff reviewed and determined that a collector street does not apply to this property.
**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts
**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac
**Subdivision Ordinance: Section 134-105

Required

Required

Applied

Applied

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.
*Alley/service drive easement required for commercial properties
- Add the following plat note prior to final/recording: A minimum 24 ft. private service drive for city services will be established as part of site plan and must be maintained by the lot owner and not the City of McAllen.
**Subdivision Ordinance: Section 134-106

Required

SETBACKS

* N. Ware Road/Pecan Boulevard: In accordance with the Zoning Ordinance, or greater for the

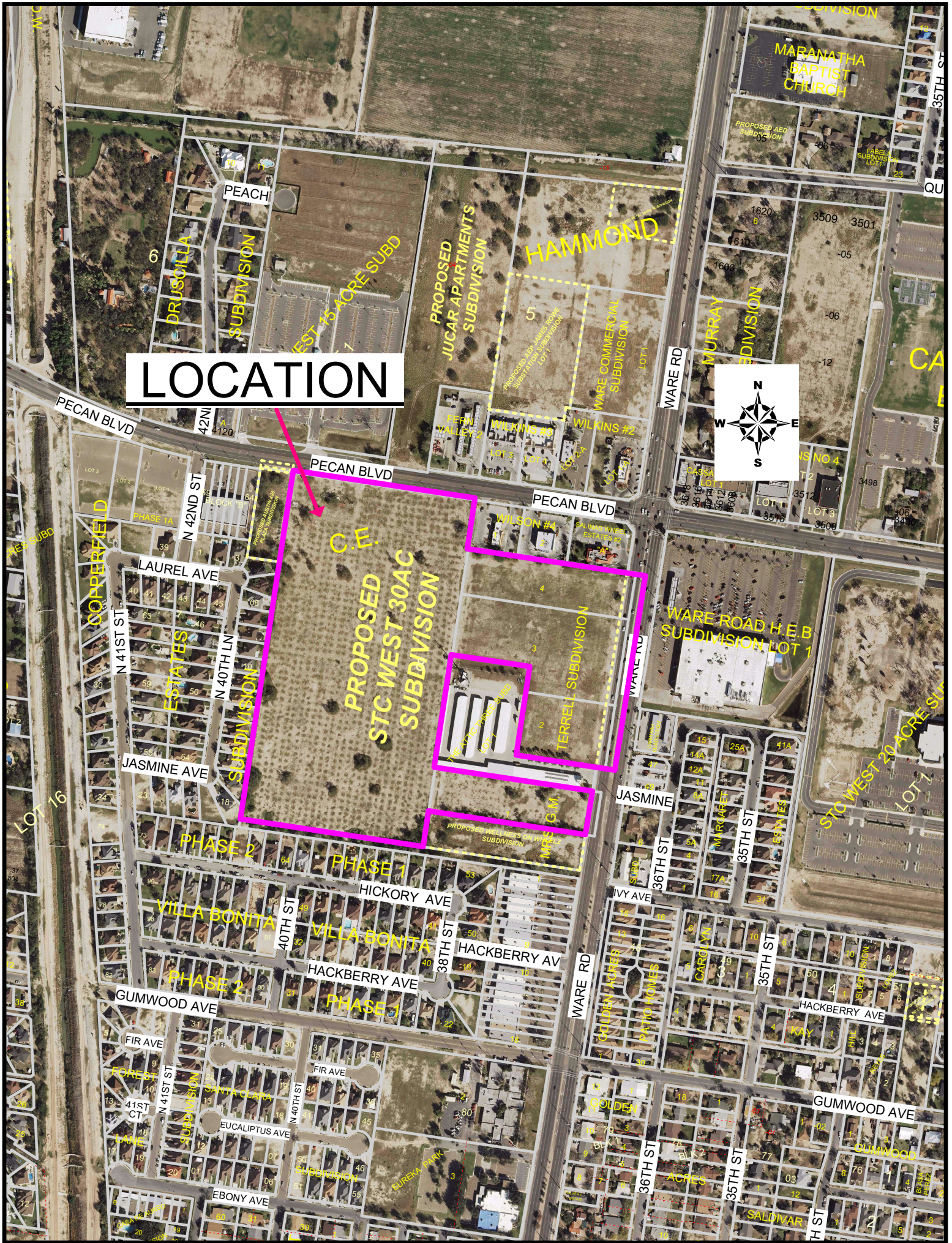
Applied

approved site plan, or easements, or in line with existing structures, whichever is greater **Zoning Ordinance: Section 138-356	
* Rear: In accordance with the Zoning Ordinance, or greater for the approved site plan, or easements **Zoning Ordinance: Section 138-356	Applied
* Sides: In accordance with the Zoning Ordinance, or greater for the approved site plan, or easements **Zoning Ordinance: Section 138-356	Applied
* Corner: see front setback **Zoning Ordinance: Section 138-356	Applied
* Garage **Zoning Ordinance: Section 138-356	NA
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 4 ft. wide minimum sidewalk required on N. Ware Road and Pecan Boulevard. *Engineering Department may require 5 ft. sidewalk prior to final/recording. **Subdivision Ordinance: Section 134-120	Applied
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
NOTES	
**Must comply with City Access Management Policy	Applied
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	Applied
* Common Areas, any private streets/drives, etc. must be maintained by the lot owners and not the City of McAllen.	Applied
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	Applied
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
LOT REQUIREMENTS	

* Lots fronting public streets	Compliance
**Subdivision Ordinance: Section 134-1	
* Minimum lot width and lot area	Compliance
**Zoning Ordinance: Section 138-356	
ZONING/CUP	
* Existing: A-O & C-3 Proposed: A-O & C-3 - Proposed development for STC. An Approved CUP for an institutional use is required prior to building permit issuance. *Revised application submitted on 10/09/2023 proposed to keep existing A-O & C-3 zones. The applicant was informed that an approved CUP will be required prior to building permit issuance. ***Zoning Ordinance: Article V	Required
* Rezoning Needed Before Final Approval *Revised application submitted on 10/09/2023 proposed to keep existing A-O & C-3 zones. The applicant was informed that an approved CUP will be required prior to building permit issuance. ***Zoning Ordinance: Article V	NA
PARKS	
* Land dedication in lieu of fee. - The application submitted on September 7, 2023, propose a commercial development. As per Parks Department, Park Fees do not apply to commercial properties, unless changes to residential.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording - The application submitted on September 7, 2023, propose a commercial development. As per Parks Department, Park Fees do not apply to commercial properties, unless changes to residential.	NA
* Pending review by the City Manager's Office. - The application submitted on September 7, 2023, propose a commercial development. As per Parks Department, Park Fees do not apply to commercial properties, unless changes to residential.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation triggered TIA Level III. However, the TIA was waived with some conditions. Must Follow the conditions prior to recording.	Applied
* As per Traffic Department, Traffic Impact Analysis (TIA) Level III was triggered. However, the TIA was waived with some conditions. Must Follow the conditions prior to recording.	Applied
COMMENTS	
Comments: - Clarify if plat note No. 6 was requested by Fire Department prior to final/recording. - Based on the application, the subdivision is proposed as one lot. The original properties lot lines within this subdivision boundary must be revised prior to final/recording to resemble the ghosted text prior to final/recording, so that they would not be confused with proposed lot lines for this subdivision. - Use a solid line for the new property line after ROW dedication prior to final/recording. - Only the original property boundary (before right-of-way dedication) must be shown with bold line. Lot line after ROW dedication must be solid line but not as bold as the boundary. Please revise the lines along N. Ware Road prior to final/recording. Contact staff for any questions. - Provide a copy of the referenced documents for staff review prior to final/recording. - Revise the label to clarify if the 30 ft. HCID No. 1 on the south side is an easement or ROW. Clarify if it continues to any other property to the east or west. Revise as applicable prior to final/recording. - Proposed development for STC. An Approved CUP for an institutional use is required prior to building permit issuance.	Required

<p>- Use a very light shade for contour lines and original lot lines of Mrs. G.M. Terrell Subdivision prior to recording to avoid confusions with proposed lot lines for STC West 30 Acres Subdivision.</p> <p>*Any abandonment must be done by a separate document and referenced on the plat prior to final/recording.</p> <p>*Must comply with City's Access Management Policy.</p>	
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO THE CONDITIONS NOTED.	Applied

LOCATION



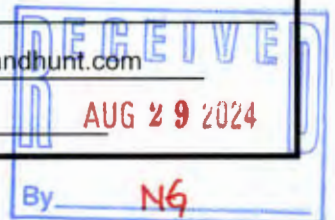
City of McAllen
Planning Department

SUB2024-0097

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name	<u>29th Subdivision</u>		
	Legal Description	<u>3.545 +/- Acres being out of lot 47 La Lomita Irrigation and Construction Company Subdivision, of porciones 61,62 and 63</u> <u>Volume 24, Pages 67-69</u>		
	Location	<u>North East Corner of North 29th St & Frontera Rd</u>		
	City Address or Block Number	<u>8516 N. 29th Street</u>		
	Total No. of Lots	<u>42</u>	Total Dwelling Units	<u>42</u>
	Gross Acres	<u>3.545</u>	Net Acres	<u>3.454</u>
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No			
	For Fee Purposes: <input type="checkbox"/> Commercial (<u> </u> Acres) / <input type="checkbox"/> Residential (<u>42</u> Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No			
	Existing Zoning <u>R-1</u> Proposed Zoning <u>R-3T</u> Applied for Rezoning <input type="checkbox"/> No / <input checked="" type="checkbox"/> Yes: Date <u>8-21-24</u>			
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Townhomes</u>			
Irrigation District # <u>HCID #1</u> Water CCN: <input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other <u> </u>				
Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # <u>210518</u>				
Estimated Rollback Tax Due <u>N/A</u> Tax Dept. Review <u>I.D.L</u>				
Owner	Name	<u>Real Estate Team Holdings LP</u>		
	Address	<u>1100 Union Ct.</u>		
	City	<u>McAllen</u>	State	<u>TX</u>
Developer	Phone	<u>956-607-1762</u>		
	E-mail	<u>Escriebeme@hotmail.com</u>		
	City	<u>McAllen</u>	State	<u>TX</u>
	Zip	<u>78572</u>		
	Contact Person	<u>Sergio Goveia</u>		
Engineer	Name	<u>Melden & Hunt, Inc.</u>		
	Address	<u>115 West McIntyre Street, Edinburg, Texas 781</u>		
	City	<u>Edinburg</u>	State	<u>Texas</u>
	Zip	<u>78541</u>		
	Contact Person	<u>Mario A. Reyna, P.E., Beto De La Garza, and Valeria Garza</u>		
Surveyor	Name	<u>Melden & Hunt, Inc.</u>		
	Address	<u>115 West McIntyre Street, Edinburg, Texas 781</u>		
	City	<u>Edinburg</u>	State	<u>Texas</u>
	Zip	<u>78541</u>		

KF



Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

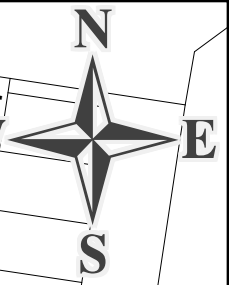
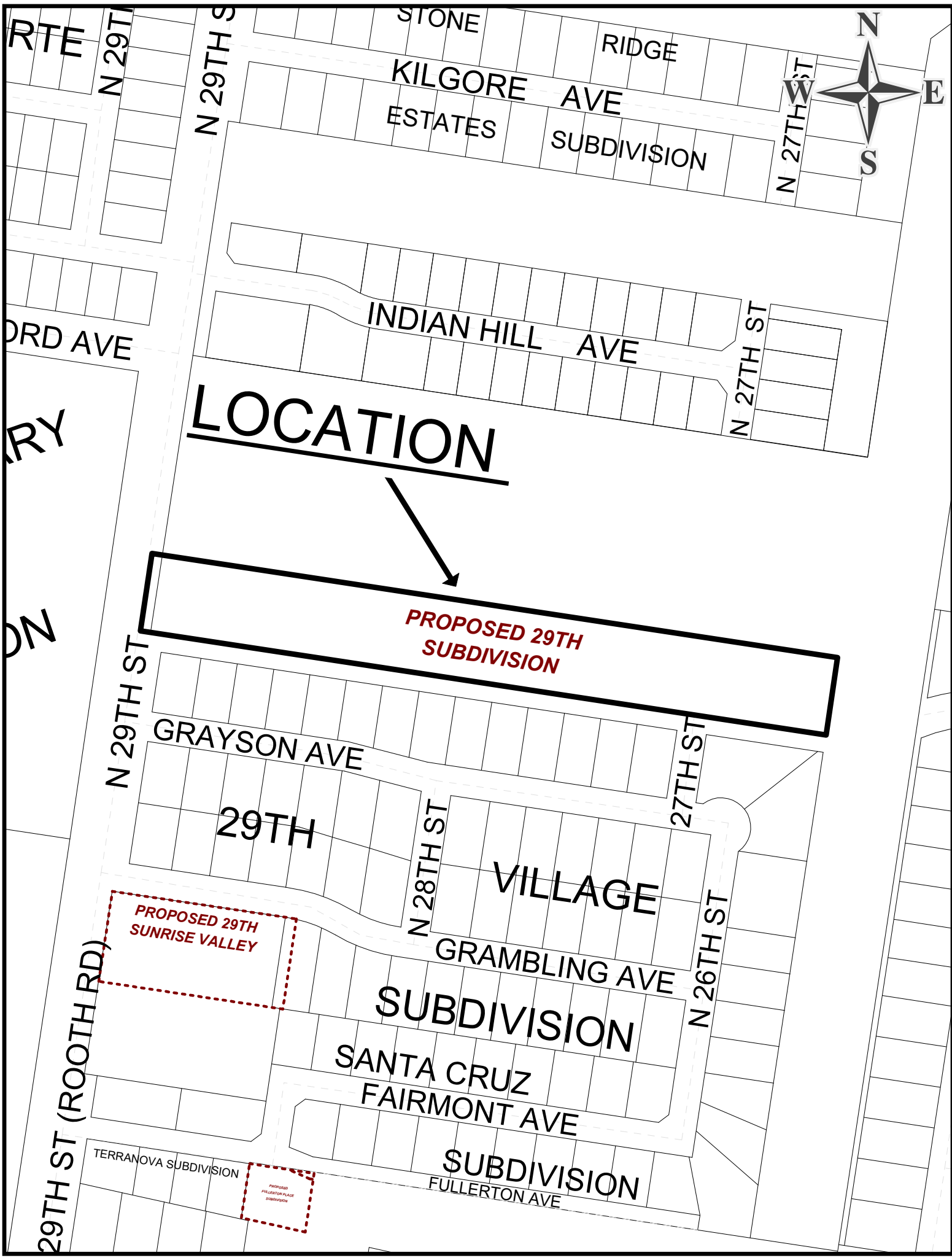
I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 08.23.2024

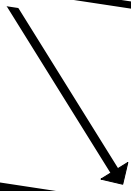
Print Name Mario A. Reyna, P.E.

Owner ☐ Authorized Agent ☒

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion



LOCATION



**PROPOSED 29TH
SUBDIVISION**

GRAYSON AVE

29TH

VILLAGE

GRAMBLING AVE

SUBDIVISION

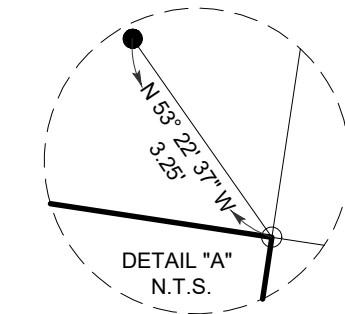
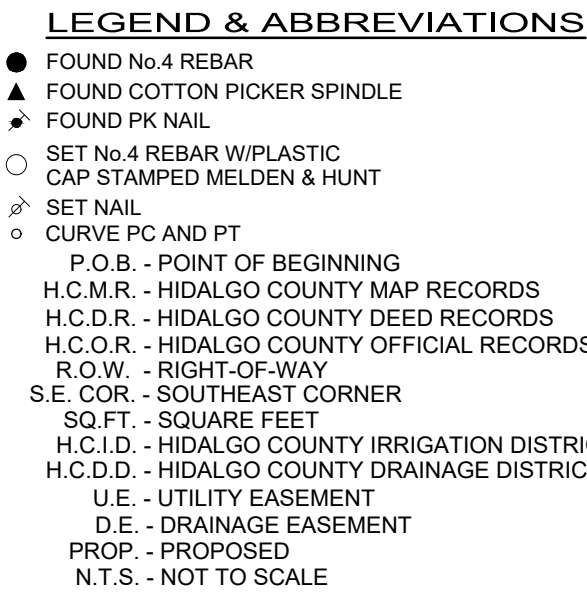
**SANTA CRUZ
FAIRMONT AVE**

SUBDIVISION

**PROPOSED 29TH
SUNRISE VALLEY**

TERRANOVA SUBDIVISION

**PROPOSED
FULLERTON PLACE
SUBDIVISION**



3. THIS SUBDIVISION IS IN FLOOD ZONE "X" (UNSHADED) AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN. COMMUNITY-PANEL NUMBER: 480334 0325 D MAP REVISED: JUNE 8, 2000.
2. MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE THE FRONT TOP OF CURB MEASURED FROM THE CENTER OF THE LOT.
3. MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF McALLEN ZONING CODE:
FRONT: IN ACCORDANCE WITH THE ZONING ORDINANCE.
OR EASEMENTS, WHICHEVER IS GREATER APPLIES.
REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE.
OR EASEMENTS, WHICHEVER IS GREATER APPLIES.
INTERIOR SIDES: IN ACCORDANCE WITH THE ZONING ORDINANCE.
OR EASEMENTS, WHICHEVER IS GREATER APPLIES.
CORNER: IN ACCORDANCE WITH THE ZONING ORDINANCE.
OR EASEMENTS, WHICHEVER IS GREATER APPLIES.
GARAGE: 18 FT. OR IF GREATER SETBACK IS REQUIRED, GREATER SETBACK APPLIES.
4. CITY OF McALLEN BENCHMARK: NUMBER MC 49, 2' OF 30" ALUMINUM PIPE WITH A 3-1/4" BRASS MONUMENT CAP ON TOP. THE MONUMENT IS LOCATED ON THE SOUTHWEST CORNER OF THE INTERSECTION OF 23RD STREET AND MILE 5 LINE ROAD (AUBURN AVENUE), APPROXIMATELY 77 FEET WEST OF 23RD STREET AND 28 FEET SOUTH OF THE BACK OF CURB OF MILE 5 LINE ROAD (AUBURN AVENUE). GEODETIC G.P.S. TEXAS STATE PLANE GRID COORDINATE SYSTEM, NAD 83 TEXAS SOUTH 4205 ELEVATION PER NAVD 83 (GEOID 2003) N=16625729.2443, E=1071492.40907, ELEV=+110.82.
5. AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF McALLEN ENGINEERING DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT FOR ALL NEW BUILDING.
6. NO STRUCTURES PERMITTED TO BE BUILT OVER EASEMENTS.
7. 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONUSES/SES.
8. FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONUSES/SES.
9. THIS SUBDIVISION IS REQUIRED TO DETAIN 28,492 C.F. (0.877 AC.-FT.) OF STORM RUNOFF. DETENTION WILL BE PROVIDED BY THE WIDENING OF THE EXISTING DRAIN DITCH ON THE EAST SIDE OF SITE. CALCULATIONS WERE BASED ON A 50-YEAR STORM.
10. THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT. DUE TO THE IMPEVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
11. SANITARY SEWER LINE SHALL BE PRIVATE AND MUST BE MAINTAINED BY THE DEVELOPER/HOMEOWNERS ASSOCIATED/ LOT OWNER(S), THEIR SUCCESSORS AND/OR ASSIGNEES, AND NOT THE CITY OF McALLEN.
12. ALL INTERIOR LOT CORNERS WILL HAVE A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED MELDEN & HUNT, INC.
13. COMMON/DETENTION AREAS, ANY SERVICE DRIVE, GATE AREAS, ETC. MUST BE MAINTAINED BY THE LOT OWNER(S) AND NOT THE CITY OF McALLEN.

BEING A SUBDIVISION OF 3.545 ACRES SITUATED IN THE CITY
OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING OUT OF LOT 47, LA
LOMITA IRRIGATION AND CONSTRUCTION COMPANY SUBDIVISION
OF PORCIONES 61, 62 AND 63,
ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN
VOLUME 24, PAGES 67-69, HIDALGO COUNTY DEED RECORDS

A TRACT OF LAND CONTAINING 3.545 ACRES SITUATED IN THE COUNTY OF HIDALGO, TEXAS, BEING OUT OF LOT 47, LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 24, PAGES 67-69, HIDALGO COUNTY DEED RECORDS, SAID 3.545 ACRES IS OUT OF A CERTAIN TRACT CONVEYED TO REAL ESTATE TEAM HOLDINGS, LP, BY VIRTUE OF A WARRANTY DEED, RECORDED UNDER DOCUMENT NUMBER 2662793, HIDALGO COUNTY OFFICIAL RECORDS, SAID 3.545 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 47 AND WITHIN THE EXISTING RIGHT-OF-WAY OF N. 29TH STREET; THENCE, S 08° 36' 53" W ALONG THE WEST LINE OF SAID LOT 47 AND WITHIN THE EXISTING RIGHT-OF-WAY OF N. 29TH STREET, A DISTANCE OF 330.00 FEET TO A NAIL SET FOR THE NORTHWEST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT.

1. THENCE, S 81° 23' 28" E, AT A DISTANCE OF 20.00 FEET PASS A NO. 4 REBAR SET ON THE EXISTING EAST EXISTING RIGHT-OF-WAY OF SEMINARY ROAD, AND THE WEST LINE OF SAID SEMINARY HEIGHTS SUBDIVISION, CONTINUING A TOTAL DISTANCE OF 1,169.96 FEET TO A NO. 4 REBAR SET ON THE WEST LINE OF A CERTAIN TRACT CONVEYED TO CITY OF MCALLEN BY VENDOR OF A SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 5076933, HIDALGO COUNTY OFFICIAL RECORDS FROM WHICH A NO. 4 REBAR FOUND BEARS N 53° 22' 37" W A DISTANCE OF 3.25 FEET, FOR THE NORTHEAST CORNER OF THIS TRACT;
2. THENCE, S 08° 36' 53" W, ALONG THE WEST LINE OF SAID CERTAIN TRACT CONVEYED TO CITY OF MCALLEN, AT A DISTANCE OF 132.00 FEET TO A NO. 4 REBAR FOUND AT THE NORTHEAST CORNER OF A CERTAIN TRACT CONVEYED TO CITY OF MCALLEN RECORDED UNDER DOCUMENT NUMBER 981477, HIDALGO COUNTY OFFICIAL RECORDS, FOR THE SOUTHEAST CORNER OF THIS TRACT.
3. THENCE, N 81° 23' 28" W, ALONG THE NORTH LINE OF SAID CERTAIN TRACT CONVEYED TO CITY OF MCALLEN, AT A DISTANCE OF 1,129.76 FEET PASS A NO. 4 REBAR FOUND IN LINE, AT A DISTANCE OF 1,139.96 FEET PASS A NO. 4 REBAR SET ON THE EXISTING EAST RIGHT-OF-WAY OF N 29TH STREET, CONTINUING A TOTAL DISTANCE OF 1,169.96 FEET, SET A REBAR ON THE WEST LINE OF SAID TRACT, AT 47' 47" WITHIN THE EXISTING RIGHT-OF-WAY OF N 29TH STREET, FOR THE SOUTHWEST CORNER OF THIS TRACT;
4. THENCE, N 08° 36' 53" E, ALONG THE WEST LINE OF SAID LOT 47 AND WITHIN THE EXISTING RIGHT-OF-WAY OF N 29TH STREET, A DISTANCE OF 132.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 3.545 ACRES OF LAND, MORE OR LESS.

This is a detailed plat map of a portion of the City of Los Angeles. The map shows a grid of lots, many of which are numbered. A specific lot is highlighted with a black box and labeled 'SITE' with an arrow. The map includes street names such as 'PINE ST', 'MADISON ST', and 'MADISON AVE'. A scale bar indicates 'SCALE: 1" = 200'' and a north arrow is present. The map also shows various landmarks and features, including a 'CITY OF LOS ANGELES' seal and a 'CITY OF LOS ANGELES' seal.

DRAWN BY: J.L.G. DATE 09-25-2024
SURVEYED, CHECKED _____ DATE _____
FINAL CHECK _____ DATE _____



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

BEING A SUBDIVISION OF 3.545 ACRES SITUATED IN THE CITY
OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING OUT OF LOT 47, LA
LOMITA IRRIGATION AND CONSTRUCTION COMPANY SUBDIVISION
OF PORCIONES 61, 62 AND 63,

ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN
VOLUME 24, PAGES 67-69, HIDALGO COUNTY DEED RECORDS

WE, REAL ESTATE TEAM HINDS PL, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS 28TH SUBDIVISION TO THE CITY OF MCALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATERLINES, SEWER, LINES, STORM, SEWERS, FIRE HYDRANTS, AND PUBLIC PLACES WHICH ARE INSTALLED, OR WHICH I WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE, TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL, PROCESS OF THE CITY OF MCALLEN, ALL THE SAME FOR THE PURPOSES, THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF, OR IN THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF MCALLEN.

REAL ESTATE TEAM HOLDINGS LP
REAL ESTATE TEAM, LLC, GENERAL PARTNER

DATE: _____

DATE: _____

DATE: _____

DATE: _____

¹¹Land Development/Government/Military/2007 - La Lomita Software/Analog files/2007-2009 V142005 205-54 PM CWDG 33 PDF.pdf



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 3/13/2025

SUBDIVISION NAME: 29TH SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

North 29th Street: Dedication as needed for 50 ft. from centerline for 100 ft. total ROW

Paving : 65 ft. Curb & gutter: Both Sides

- Provide document numbers on plat regarding any existing dedication or acquisitions as applicable, prior to recording as well as documents for staff review.

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to recording.

**COM Thoroughfare Plan

Frontera Road: Minimum 30 ft. ROW dedication for 60 ft. total ROW

Paving: 40 ft. Curb & gutter: both sides

- Label ROW after accounting for dedication as total ROW, prior to recording.

- Provide document numbers on plat regarding any existing dedication or acquisitions as applicable, prior to final as well as documents for staff review.

- Engineer submitted a variance request on November 12, 2024, requesting to only dedicate 20 ft. instead of the required 30 ft. for 50 ft. total ROW, but the engineer has stated that 40 ft. of paving would remain and a 10 ft. sidewalk and utility easement will be provided along the north side of Frontera Road. City Commission approved the variance request at the meeting of January 13, 2025.

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to recording

**COM Thoroughfare Plan

North 27th Street: 50 ft. ROW

Paving: 32 ft. Curb & gutter: both sides

- Provide for North 27th Street to provide connectivity to the N/S

- Engineer submitted a variance request on November 12, 2024, requesting to not extend North 27th Street as the 1/4 collector road wouldn't connect to thoroughfare roads. City Commission approved this variance request to not provide for extension of North 27th Street at the meeting of January 13, 2025.

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to recording

**COM Thoroughfare Plan

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

* 1,200 ft. Block Length

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts

- Engineer submitted a variance request on November 12, 2024, requesting a block length of 1169 ft. on the north side instead of the required 900 ft. City Commission approved the variance request at the meeting of January 13, 2025.

**Subdivision Ordinance: Section 134-118

Required

Required

Applied

Applied

NA

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105	NA
ALLEYS	
ROW: 20 ft. Paving: 16 ft. - 8 ft. x 8 ft. dumpster easements have been provided and shown on plat as per Public Works *Alley/service drive easement required for commercial/multi-family properties **Subdivision Ordinance: Section 134-106	Applied
SETBACKS	
* Front: In accordance with the Zoning Ordinance or greater for easements, whichever is greater applies. - Revise front setback as shown above, prior to recording. **Zoning Ordinance: Section 138-356	Required
* Rear: In accordance with the Zoning Ordinance or greater for easements, whichever is greater applies. - Revise rear setback as shown above, prior to recording. **Zoning Ordinance: Section 138-356	Required
* Sides: In accordance with the Zoning Ordinance or greater for easements, whichever is greater applies. - Revise side setback as shown above, prior to recording. **Zoning Ordinance: Section 138-356	Required
* Corner: 10 ft. or greater for easements, whichever is greater applies. - Revise corner setback as shown above, prior to recording. **Zoning Ordinance: Section 138-356	Required
* Garage: 18 feet except where greater setback is required; greater setback applies - Revise plat note as shown above, prior to recording. **Zoning Ordinance: Section 138-356	Required
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 4 ft. wide minimum sidewalk required on North 29th Street and Frontera Road. - Sidewalk may increase to 5 ft. as per Engineering Department - Include a plat note as shown above, prior to recording. **Subdivision Ordinance: Section 134-120	Required
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along North 29th Street - Revise plat note #7 as shown above, prior to recording. **Landscaping Ordinance: Section 110-46	Required
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along North 29th Street and Frontera Road. - Include a plat note as shown above wording to be finalized, prior to recording. **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. - Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development. **Zoning Ordinance: Section 138-210 * Common Areas, detention areas, private service drive, etc. must be maintained by the lot owners and not the City of McAllen. - Revise plat note #13 as shown above, prior to recording. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	Required
	Applied
	Required
	NA
	Required
	Required
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets **Subdivision Ordinance: Section 134-1 * Minimum lot width and lot area *Corner lots should be at least four feet wider than the minimum lot size in residential zones. **Provide preliminary site plan for multi-family lots to verify compliance with landscaping and buildable lot requirements. **Zoning Ordinance: Section 138-356 	Applied
	Required
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: R-3 Proposed: R-3T - A rezoning application was submitted on August 21, 2024. City Commission approved the rezoning request from R-1 to R-3T on October 28, 2024. ***Zoning Ordinance: Article V * Rezoning Needed Before Final Approval - A rezoning application was submitted on August 21, 2024. City Commission approved the rezoning request from R-1 to R-3T on October 28, 2024. ***Zoning Ordinance: Article V 	Applied
	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

PARKS	
* Land dedication in lieu of fee. As per plat submitted on August 29th,2024 a total of 41 lots proposed park fees total to \$28,700 (\$700 X 41 per lot/dwelling unit) payable prior to plat recording. If the number of lots/dwelling units changes fees will be adjusted accordingly. A variance request for parkland fees was submitted on February 6, 2025 and is currently under review by the City Manager's Office.	Required
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per plat submitted on August 29th,2024 a total of 41 lots proposed park fees total to \$28,700 (\$700 X 41 per lot/dwelling unit) payable prior to plat recording. If the number of lots/dwelling units changes fees will be adjusted accordingly. A variance request for parkland fees was submitted on February 6, 2025 and is currently under review by the City Manager's Office.	Required
* Pending review by the City Manager's Office. As per plat submitted on August 29th,2024 a total of 41 lots proposed park fees total to \$28,700 (\$700 X 41 per lot/dwelling unit) payable prior to plat recording. If the number of lots/dwelling units changes fees will be adjusted accordingly. A variance request for parkland fees was submitted on February 6, 2025 and is currently under review by the City Manager's Office.	Required
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.	Applied
- As per Traffic Department, Trip Generation approved no TIA required.	
* Traffic Impact Analysis (TIA) required prior to final plat.	NA
COMMENTS	
Comments: - Any abandonments must be done by separate document before final, and be referenced on plat. - Please submit copy of 50 ft. gas easement document for staff review prior to recording. *Must comply with City's Access Management Policy.	Applied
RECOMMENDATION	
RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO THE CONDITIONS NOTED	Applied



LOCATION

PROPOSED 29TH
SUBDIVISION

GRAYSON AVE

GRAMBLING AVE

FAIRMONT AVE

FULLERTON AVE

PROPOSED 29TH
SUNRISE VALLEY

PROPOSED
29TH
SUBDIVISION

SUB 2024-0037

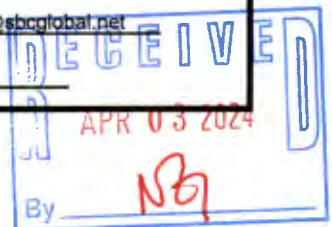
City of McAllen

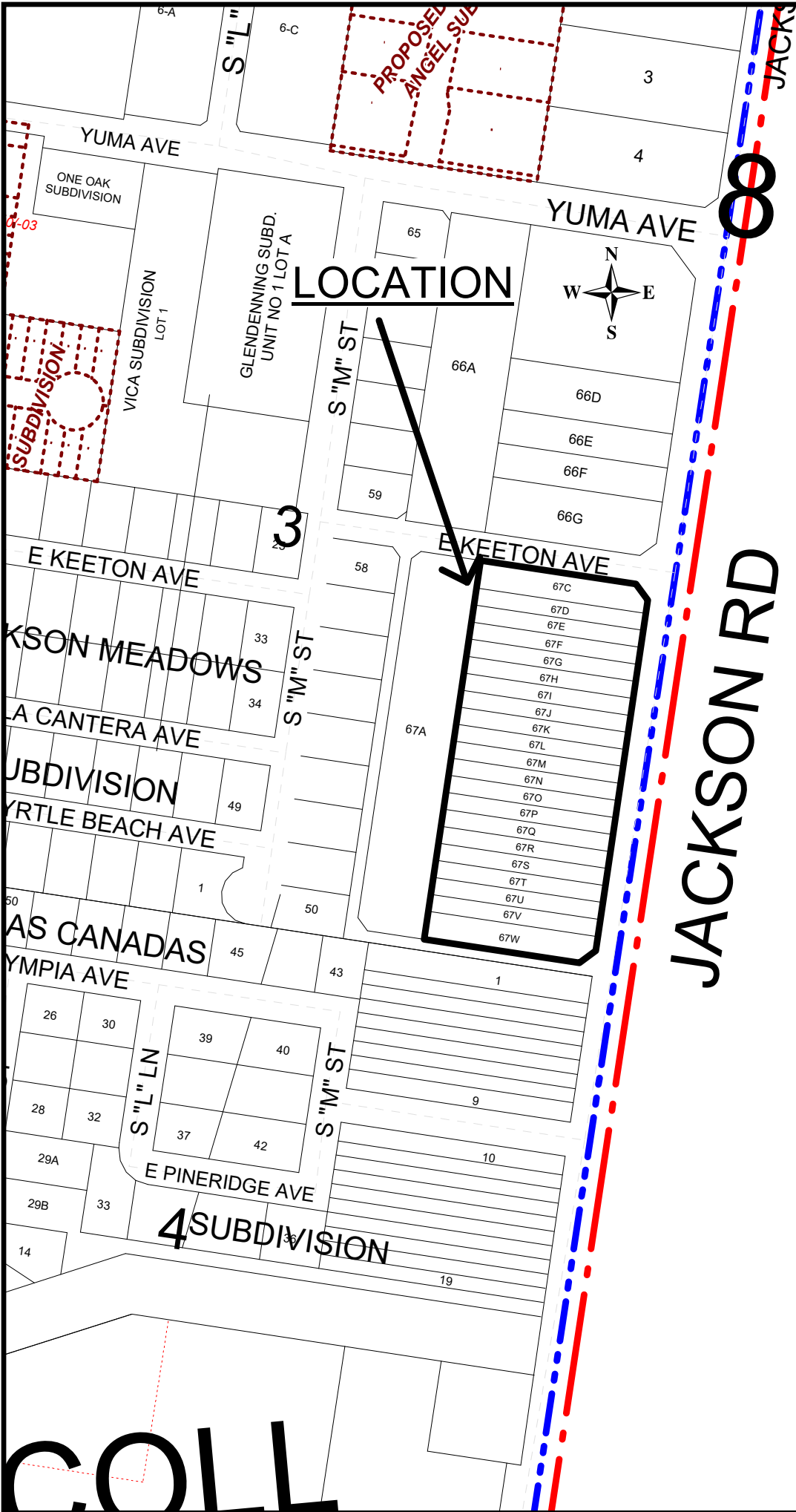
Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Jackson Meadows Storage Lots 1-4 Replat</u>	
	Legal Description <u>A 4.715-ACRE TRACT OF LAND, MORE OR LESS, BEING ALL OF LOTS 67C THROUGH 67W, JACKSON MEADOWS, LOTS 67C THROUGH 67W SUBDIVISION, THE CITY OF McALLEN, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN DOCUMENT NO. 2654876, MAP RECORDS, HIDALGO COUNTY, TEXAS</u>	
	Location <u>2700 S. Jackson Road</u>	
	City Address or Block Number <u>2083-1975 Jackson Rd, McAllen, Texas</u>	
	Total No. of Lots <u>4</u> Total Dwelling Units <u>0</u> Gross Acres <u>4.715</u> Net Acres <u>4.715</u>	
	<input checked="" type="checkbox"/> Public Subdivision/ <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes/ <input type="checkbox"/> No	
	For Fee Purposes: <input checked="" type="checkbox"/> Commercial (<u>4.715</u> Acres)/ <input type="checkbox"/> Residential (<u> </u> Lots) Replat: <input checked="" type="checkbox"/> Yes/ <input type="checkbox"/> No	
	Existing Zoning <u>C-3</u> Proposed Zoning <u>C-3</u> Applied for Rezoning <input checked="" type="checkbox"/> No/ <input type="checkbox"/> Yes: Date <u> </u>	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Commercial - C3</u>	
	Irrigation District # <u> </u> Water CCN: <input checked="" type="checkbox"/> MPMU/ <input type="checkbox"/> Sharyland Water SC Other <u> </u>	
Agricultural Exemption: <input type="checkbox"/> Yes/ <input type="checkbox"/> No Parcel # <u>See attached exhibit</u>		
Estimated Rollback Tax Due <u>9/4, 876.96</u> Tax Dept. Review <u>M.R. 4/3/24</u>		
Owner	Name <u>Espanjas Development, LTD</u> Phone <u>956-600-8628</u>	
	Address <u>810 W Ferguson St</u> E-mail <u> </u>	
	City <u>McAllen</u> State <u>Tx</u> Zip <u>78572</u>	
Developer	Name <u>Same as Owner</u> Phone <u> </u>	
	Address <u> </u> E-mail <u> </u>	
	City <u> </u> State <u> </u> Zip <u> </u>	
	Contact Person <u>eddiecantu@icloud.com</u>	
Engineer	Name <u>M2 Engineering, PLLC</u> Phone <u>956-600-8628</u>	
	Address <u>1810 E Griffin Parkway</u> E-mail <u>fernando@m2-engineers.com</u>	
	City <u>Mission</u> State <u>Tx</u> Zip <u>78572</u>	
	Contact Person <u>Fernando Estevan</u>	
Surveyor	Name <u>Homero Luis Gutierrez, RPLS, PE</u> Phone <u>956-369-0988</u>	
	Address <u>2112 S Shary Rd</u> E-mail <u>homero_gutierrez@sbcglobal.net</u>	
	City <u>Mission</u> State <u>Tx</u> Zip <u>78572</u>	

EDG





BY: _____



PRINCIPAL CONTACTS:

NAME	ADDRESS	CITY & ZIP	PHONE
OWNER: EDUARDO CANTU, VICE PRESIDENT, MEMBER	2912 S. JACKSON RD	McALLEN, TEXAS 78503	(956) -
ENGINEER: EMIGDIO "MILO" SALINAS, P.E.	1810 E. GRIFFIN PARKWAY	MISSION, TEXAS 78572	(956) 600-8628
SURVEYOR: HOMERO LUIS GUTIERREZ, R.P.L.S.	P.O. BOX 548	McALLEN, TEXAS 78505	(956) 369-0988



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 3/13/2025

SUBDIVISION NAME: VACATE PLAT OF JACKSON MEADOWS, LOTS 67C- 67W SUBDIVISION AND REPLAT OF JACKSON MEADOWS STORAGE LOTS SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

South Jackson Road: Existing ROW of 60 ft. from centerline for 120 ft. Total ROW
Paving: by the state Curb & gutter: by the state
Revisions Needed:
- Please add the document number for the existing ROW on the plat and provide a copy of any referenced document for staff review, prior to recording.
- The project engineer needs to contact TxDOT to verify if ROW acquisition for future expansion of Jackson Road will impact the property, prior to recording.
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to recording.
**COM Thoroughfare Plan

East Keeton Avenue: Existing 50 ft. ROW
Paving: 32 ft. Curb & gutter: both sides
Revisions Needed:
- Please provide how existing R.O.W. was dedicated on plat and a copy of any referenced document for staff review, prior to recording.
- Add the dimension from centerline of the street.
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to recording
**COM Thoroughfare Plan

* 1,200 ft. Block Length
**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts
**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac
**Subdivision Ordinance: Section 134-105

Required

Required

Applied

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.
Revisions Needed:
- The separation between the 40 ft. Common Access Easement and the 24 ft. Private Service Drive and Utility Easement is not shown. May need to add dash lines and dimensions for the Common Access easement for clarification.
- Engineer must clarify if private service drive will still be established as part of the site plan or if the private service easements will be utilized.
* Proposing plat note #12 "A minimum 24 ft. private service drive easement will be established as part of the site plan and will be maintained by the lot owners, not the City of McAllen."
*The Common Access Easement and Private Service Drive Easement must be approved by all development departments, including Traffic, Public Works, and Fire Departments.
*Alley/service drive easement required for commercial properties
**Subdivision Ordinance: Section 134-106

Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SETBACKS	
* Front/South Jackson Road: 60 ft. or greater for approved site plan or easement. * Existing plat setbacks are being vacated as part of vacate plat. **Zoning Ordinance: Section 138-356	Applied
* Rear: 20 ft. or greater for approved site plan or easement. * Existing plat setbacks are being vacated as part of vacate plat. **Zoning Ordinance: Section 138-356	Applied
Sides: In accordance with Zoning Ordinance, or greater for approved site plan or easement. * Existing plat setbacks are being vacated as part of vacate plat. **Zoning Ordinance: Section 138-356	Applied
* Corner/East Keeton Avenue: (Proposing) 30 ft. or greater for approved site plan or easements * Existing plat setbacks are being vacated as part of vacate plat. **Zoning Ordinance: Section 138-356	Applied
* Garage _____ **Zoning Ordinance: Section 138-356	NA
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
SIDEWALKS	
* 4 ft. wide minimum sidewalk required on South Jackson Road & East Keeton Avenue. - Revise the setback note as shown above prior to recording. Sidewalk requirements may increase to 5 ft. on South Jackson Road per Engineering Department. **Subdivision Ordinance: Section 134-120	Required
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
NOTES	
**Must comply with City Access Management Policy	Required
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance. Revisions Needed: - Remove plat note #7 as it not a plat note requirement.	Required
* Common Areas, any private service drives, common access easements, etc. must be maintained by the lot owners and not the City of McAllen. - Revise plat note #13 as shown above, prior to recording.	Required
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	NA
<ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	NA
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets **Subdivision Ordinance: Section 134-1 	Applied
<ul style="list-style-type: none"> * Minimum lot width and lot area **Zoning Ordinance: Section 138-356 	Applied
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: C-3 Proposed: C-3 ***Zoning Ordinance: Article V 	Applied
<ul style="list-style-type: none"> * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V 	NA
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. *Commercial developments do not apply to Parks. 	NA
<ul style="list-style-type: none"> * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording *Commercial developments do not apply to Parks. 	NA
<ul style="list-style-type: none"> * Pending review by the City Manager's Office. *Commercial developments do not apply to Parks. 	NA
TRAFFIC	
<ul style="list-style-type: none"> * As per Traffic Department, Trip Generation was approved and no TIA is required. 	Applied
<ul style="list-style-type: none"> * Traffic Impact Analysis (TIA) required prior to final plat. 	NA
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> - Revise subdivision name to "Vacate Plat of Jackson Meadows, Lots 67C- 67W Subdivision and Replat of Jackson Meadows Storage Lots Subdivision", prior to recording. - Only the "Jackson Meadows Storage Lots Subdivision" wording to be in Larger and Bolder font. - Application will need to be updated reflect revised subdivision name and any other applicable information. - Any easements shown must be dedicated by plat or show a document number. -Need to remove plat note #7. *Location of the common access easement and plat notes #14 & #15 must be approved by all developments departments including Traffic Department. **Must comply with City's Access Management Policy. ***Any abandonments must be done by separate process, not by plat. 	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

RECOMMENDATION	
RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO THE CONDITIONS NOTED	Applied



LOCATION



JACKSON RD

YUMA AVE

YUMA AVE

E KEETON AVE

E KEETON AVE

E LA CANTERA AVE

E MYRTLE BEACH AVE

E OLYMPIA AVE

E PINERIDGE AVE

S "M" ST

S "M" ST

S "M" ST

S "L" ST

S "L" LN

S "L" S

ROSE GARDEN SUBDIVISION

PROPOSED ANGEL SUBDIVISION

ONE OAK SUBDIVISION

VISTA SUBDIVISION

GLENDALE UNIT

JACKSON MEADOWS

SUBDIVISION

LAS CANADAS

SUBDIVISION

8

3

4

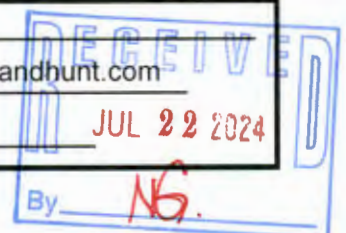
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City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Villas at Tres Lagos Phase I</u>	
	Legal Description <u>12.235 acres out of Section 227 and 232, Texas Mexican Railway Company Survey according to the patent issued by the State of Texas recorded in Volume 4, Pages 142-143, HCDR</u>	
	Location <u>Northeast corner of Shary Road and Tres Lagos Boulevard</u>	
	City Address or Block Number <u>5300 Tres Lagos Blvd</u>	
	Total No. of Lots <u>63</u> Total Dwelling Units <u>63</u> Gross Acres <u>12.235</u> Net Acres _____	
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial (_____ Acres) / <input checked="" type="checkbox"/> Residential (<u>63</u> Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R-3T, R-1, & C-4</u> Proposed Zoning <u>R-3T</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Townhomes</u>	
	Irrigation District # <u>UID</u> Water CCN: <input type="checkbox"/> MPU / <input checked="" type="checkbox"/> Sharyland Water SC Other _____	
Agricultural Exemption: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No Parcel # <u>1075073</u>		
Estimated Rollback Tax Due <u>1,866.43</u> Tax Dept. Review <u>UPG</u>		
Owner	Name <u>Rhodes Enterprises Inc</u> Phone <u>(956) 287-2800</u>	
	Address <u>200 S 10th Street, Suite 1700</u> E-mail <u>bfrisby@rhodes.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>	
Developer	Name <u>Rhodes Development, Inc</u> Phone <u>(956) 287-2800</u>	
	Address <u>200 S 10th Street, Suite 1700</u> E-mail <u>bfrisby@rhodes.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>	
	Contact Person <u>Brad Frisby, VP</u>	
Engineer	Name <u>Melden & Hunt, Inc</u> Phone <u>(956) 381-0981</u>	
	Address <u>115 West McIntyre Street</u> E-mail <u>mario@meldenandhunt.com / beto@meldenandhunt.com / drobles@meldenandhunt.com</u>	
	City <u>Edinburg</u> State <u>TX</u> Zip <u>78541</u>	
	Contact Person <u>Mario A. Reyna, Beto De La Garza and Della Robles</u>	
Surveyor	Name <u>Melden & Hunt, Inc</u> Phone <u>(956) 381-0981</u>	
	Address <u>115 West McIntyre Street</u> E-mail <u>robert@meldenandhunt.com</u>	
	City <u>Edinburg</u> State <u>TX</u> Zip <u>78541</u>	



Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL


PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 07.11.2024

Print Name Mario A Reyna, P.E.

Owner ☐ Authorized Agent ☒

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion



City of McAllen
Planning Department
VARIANCE TO SUBDIVISION
PROCESS APPLICATION

311 North 15th Street
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project

Legal Description 12.243^{PT 2/3} acres out of Section 227 and 232, Texas Mexican Railway Company Survey according to Vol 4, Pg 142-142, H.C.D.R., City of McAllen, Hidalgo County, Texas.

Street Address FT 2/3 Name of Subdivision: VILLAS AT TRES LAGOS SUB. PT. I

Number of lots 62 FT 2/3 Gross acres 12.243 FT 2/3

Existing Zoning R-3T FT 2/3 Existing Land Use Vacant

☒ Current Survey and Metes and Bounds (if the legal description of the tract is a portion of a lot) is required

Applicant

Name Rhodes Development Inc. Phone (956) 287-2800
Address 200 South 10th Street, Suite 1700 E-mail bfrisby@rhodes.com
City McAllen State Texas Zip 78501 4 PT 2/3

Owner

Name Rhodes Development Inc. Phone c/o 956-381-0981
Address 200 South 10th Street, Suite 1700 E-mail mario@meldenandhunt.com / beto@meldenandhunt.com / drobles@meldenandhunt.com
City McAllen State Texas Zip 78504

Authorization

To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated?
☐ Yes ☒ No

I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable)
OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature [Signature] Date January 31, 2025

Print Name Mario A. Reyna, P.E. ☐ Owner ☒ Authorized Agent

Office

Accepted by J.C. Payment received by _____ Date 1/31/25

Rev 10/18

RECEIVED
FEB 03 2025
By NG



City of McAllen
Planning Department
REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: (*If necessary, please use an additional page to complete responses*)

**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

Please view attached letter.

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

Please view attached letter.

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

The variance will not be detrimental to the public health, safety, or welfare or injurious to the legal rights that other property owners may enjoy within the proposed area.

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

The variance will not have any negative effect or prevent the orderly subdivision of other lands within the area in accordance with the provisions of this chapter and the City of McAllen.



TBPELS Firm # F-1435
TBPELS # 10096900

MELDEN & HUNT INC.

CONSULTANTS • ENGINEERS • SURVEYORS

MARIO A. REYNA • ALLAN F. BOOE • ROBERTO N. TAMEZ • RUBEN JAMES DE JESUS • MICHAEL HERNANDEZ

February 3, 2025

City of McAllen Planning Dept.
Attn: Luis Mora, Interim Director
311 N. 15th St.
McAllen, TX 78501

Re: VILLAS AT TRES LAGOS SUBDIVISION PHASE I – Variance Request to City of McAllen

Dear Mr. Mora:

On behalf of the developer, Rhodes Development Inc., Melden & Hunt, Inc. as Engineer's on record respectfully request a variance for the following items:

1. INTERNAL ROW AND PAVING WIDTH:

Requirement: 60 ft. ROW with 40 ft. of paving

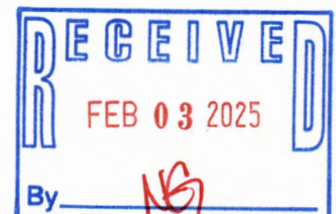
Proposal: 32 ft. ROW/ 32 ft. paving with "10 ft. Utility and Sidewalk Easements" along both sides of all internal road. This private townhome subdivision within the Tres Lagos Community will be very similar to the existing Villas on Freddy Development located on the NEC of Bicentennial Blvd and Freddy Gonzalez Road.

This subdivision will be private and maintained by the HOA. Parking spaces will be provided throughout the development that will serve as parking for common areas and visitors parking.

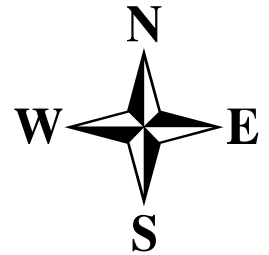
Your consideration on this matter is greatly appreciated. If you have any questions or comments, please contact our office. Thank you.

Respectfully,

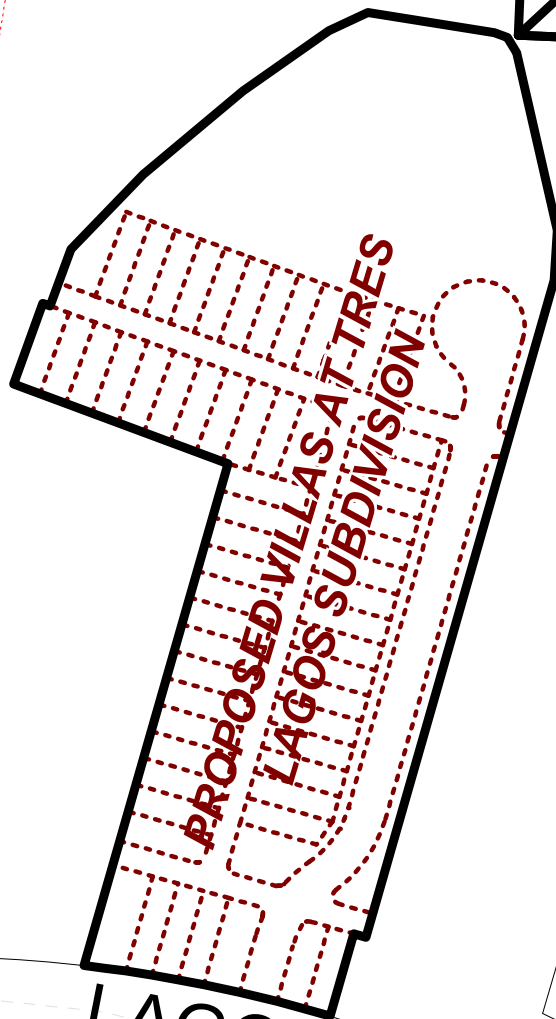
Mario A. Reyna, P.E.
President
Melden & Hunt, Inc.



LOCATION



SHARY RD



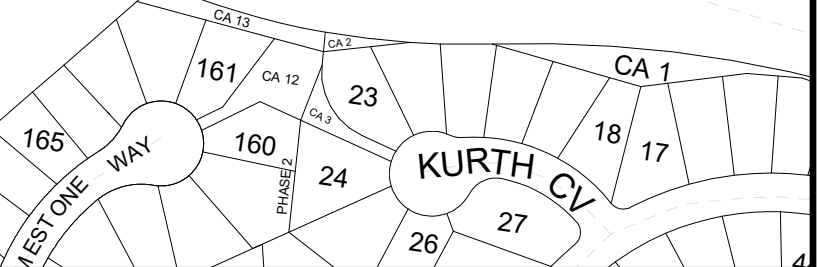
IDEA TRES LAGO
SUBDIVISION

LOT 1

TRES
LAGOS
BLVD

**PROPOSED FAMILY
CHURCH AT TRES LAGOS
SUBDIVISION**

LOT 1



SUBDIVISION MAP OF
VILLAS AT TRES LAGOS PHASE I
(PRIVATE SUBDIVISION)

SUBDIVISION OF 12.235 ACRES
OUT OF SECTION 227 AND 232, TEXAS-MEXICAN RAILWAY COMPANY SURVEY
ACCORDING TO THE PATENT ISSUED BY THE STATE OF TEXAS,
RECORDED IN VOLUME 4, PAGES 142-143, H.C.D.R.,
CITY OF McALLEN, HIDALGO COUNTY, TEXAS

BEARING BASIS AS PER TEXAS
COORDINATE SYSTEM SOUTH ZONE 4205
TEXAS SOUTH DATUM
AS PER NAVD 83 (GEOID 2012B)
SCALE: 1"=60'

RHODES ENTERPRISES, INC.
S.W.D. DOCUMENT NUMBER 2775108, H.C.O.R.

BOUNDARY Line Table		
Line #	Length	Direction
"L1"	10.12'	S70° 00' 00"E
"L2"	78.27'	N20° 00' 00"E
"L3"	56.01'	N65° 00' 00"E
"L4"	18.30'	S69° 42' 51"E
"L5"	23.33'	S30° 00' 00"E
"L6"	64.55'	S04° 00' 00"W
"L7"	32.00'	S15° 19' 23"W
"L8"	16.26'	N74° 00' 00"W
"L9"	110.56'	S16° 00' 00"W

BOUNDARY Curve Table					
Curve #	Delta	Radius	Length	Tangent	Chord Direction
"C1"	008° 02' 23"	1,950.00'	273.62'	137.04'	N69° 37' 46"W
"C2"	009° 33' 47"	1,950.00'	325.47'	163.11'	N78° 25' 51"W

LEGEND & ABBREVIATIONS

- FND. No. 4 REBAR
- SET No. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
- P.O.C. - POINT OF COMMENCEMENT
- P.O.B. - POINT OF BEGINNING
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- R.O.W. - RIGHT-OF-WAY
- S.W. COR. - SOUTHWEST CORNER
- SQ. FT. - SQUARE FEET
- U.E. - UTILITY EASEMENT DEDICATED BY THIS PLAT
- D.E. - DRAINAGE EASEMENT DEDICATED BY THIS PLAT
- T.E. - TECHNOLOGY EASEMENT DEDICATED BY THIS PLAT
- E.E. - ELECTRICAL EASEMENT DEDICATED BY THIS PLAT
- N.T.S. - NOT TO SCALE-DETAILS
- SWSC - SHARYLAND WATER SUPPLY CORPORATION
- S.W.D. - SPECIAL WARRANTY DEED
- DOC. NO. - DOCUMENT NUMBER
- ⊕ - ROAD CENTER LINE
- - INDICATOR FOR BEGIN AND END CURVE
- C.A. - COMMON AREA
- S.W. - SIDEWALK

CITY OF McALLEN
RIGHT-OF-WAY
DOCUMENT NUMBER
2736453, H.C.O.R.
EXISTING R.O.W.
100.0'
50.0'
50.0'
TRES LAGOS BLVD.
100.00' R.O.W.

P.O.C.
S.W. COR.
SECTION 232
BLOCK 10
TEXAS-MEXICAN
RAILWAY COMPANY
SURVEY

Lot Area Table		
Lot #	SQ. FT.	Area
1	3758.88	0.086
2	4062.45	0.093
3	5362.53	0.123
4	6234.40	0.143
5	10147.62	0.233
6	6995.54	0.161
7	4787.63	0.110
8	4009.59	0.092
9	4009.59	0.092
10	4009.59	0.092
11	4009.59	0.092
12	4009.59	0.092
13	4009.59	0.092
14	4009.59	0.092
15	4009.59	0.092
16	4009.59	0.092
17	4009.59	0.092
18	4009.59	0.092
19	4009.59	0.092
20	4009.59	0.092
21	4646.90	0.107
22	3962.91	0.091
23	4025.00	0.092
24	3996.00	0.092
25	3996.00	0.092
26	3996.00	0.092
27	3996.00	0.092
28	3996.00	0.092
29	3996.00	0.092
30	3996.00	0.092

Lot Area Table		
Lot #	SQ. FT.	Area
31	3996.00	0.092
32	3943.32	0.091
33	3943.32	0.091
34	3943.32	0.091
35	3943.32	0.091
36	3943.32	0.091
37	3943.32	0.091
38	3943.32	0.091
39	3943.32	0.091
40	3943.32	0.091
41	3970.07	0.091
42	3984.46	0.091
43	3965.87	0.091
44	4310.54	0.099
45	3876.00	0.089
46	3876.00	0.089
47	3876.00	0.089
48	3876.00	0.089
49	3876.00	0.089
50	3876.00	0.089
51	3876.00	0.089
52	3876.00	0.089
53	3876.00	0.089
54	3876.00	0.089
55	3876.00	0.089
56	3876.00	0.089
57	3876.00	0.089
58	3876.00	0.089
59	3678.98	0.084

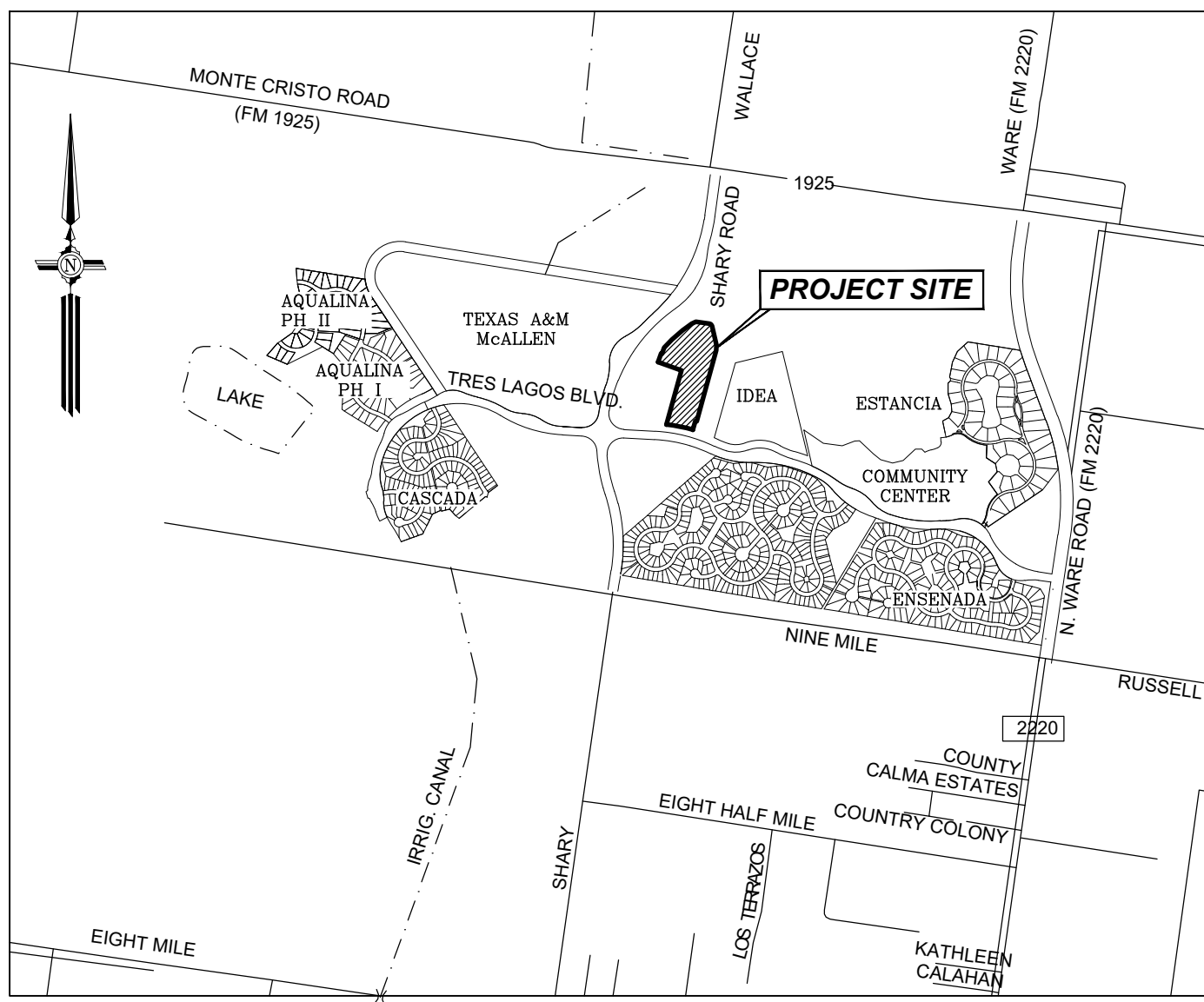
Common Area Table		
Lot #	SQ. FT.	Area
A	159538.57	3.663
B	14189.29	0.326
C	12830.15	0.295

Curve Table						
Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Tangent
C1	34.00'	1,950.00'	000° 59' 56"	N74° 08' 55"W	34.00'	17.00'
C2	37.37'	1,950.00'	001° 05' 53"	N75° 11' 50"W	37.37'	18.68'
C3	30.42'	125.00'	013° 56' 30"	S22° 58' 15"W	30.34'	15.28'
C4	13.27'	10.00'	078° 02' 39"	S67° 57' 50"W	12.32'	7.82'
C5	49.61'	1,950.00'	001° 27' 28"	N77° 56' 44"W	49.61'	24.81'
C6	26.31'	175.00'	008° 36' 49"	S20° 18' 25"W	26.28'	13.18'
C7	17.21'	10.00'	088° 35' 46"	N24° 41' 04"W	15.16'	11.63'
C8	3.97'	52.00'	004° 22' 33"	S71° 48' 44"E	3.97'	1.99'
C9	22.69'	52.00'	025° 00' 20"	S57° 07' 17"E	22.51'	11.53'
C10	80.13'	1,950.00'	002° 21' 16"	N79° 51' 06"W	80.12'	40.07'
C11	74.31'	1,950.00'	002° 11' 01"	N82° 07' 14"W	74.31'	37.16'
C12	20.37'	52.00'	022° 26' 24"	S33° 23' 59"E	20.24'	10.32'
C13	22.70'	52.00'	025° 00' 47"	S9° 40' 19"E	22.52'	11.53'
C14	11.95'	52.00'	013° 09' 56"	S9° 25' 02"W	11.92'	6.00'
C15	15.22'	10.00'	087° 12' 52"	N27° 37' 35"W	13.79'	9.53'
C16	13.26'	616.00'	001° 14' 02"	S70° 37' 01"E	13.26'	6.63'
C17	23.62'	584.00'	002° 19' 04"	S71° 09' 32"E	23.62'	11.81'
C18	17.15'	584.00'	001° 40' 56"	S73° 09' 32"E	17.15'	8.57'
C19	15.71'	10.00'	090° 00' 00"	N61° 00' 00"E	14.14'	10.00'
C20	59.93'	50.00'	068° 40' 35"	N18° 20' 17"W	56.41'	34.16'
C21	260.41'	60.00'	248° 40' 35"	S71° 39' 43"W	99.09'	87.83'
C22	15.71'	10.00'	090° 00' 00"	S29° 00' 00"E	14.14'	10.00'
C23	15.71'	10.00'	090° 00' 00"	S61° 00' 00"W	14.14'	10.00'
C24	114.33'	175.00'	037° 25' 54"	N34° 42' 57"E	112.31'	59.29'
C25	22.24'	10.00'	127° 25' 54"	S10° 17' 03"E	17.93'	20.25'

Curve Table						
Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Tangent
C26	15.71'	10.00'	090° 00' 00"	S61° 00' 00"W	14.14'	10.00'
C27	15.70'	10.00'	089° 58' 44"	N28° 59' 22"W	14.14'	10.00'
C28	86.90'	125.00'	039° 49' 48"	N35° 54' 54"W	85.16'	45.29'
C29	43.70'	175.00'	014° 18' 30"	S48° 40' 33"W	43.69'	21.97'
C30	11.25'	10.00'	064° 28' 42"	N73° 45' 39"E	10.67'	6.31'
C31	31.42'	20.00'	090° 00' 00"	S29° 00' 00"E	28.38'	20.00'

CENTERLINE Curve Table						
Curve #	Delta	Radius	Length	Tangent	Chord Direction	Chord Length
"C1"	039° 49' 48"	150.00'	104.27'	54.34'	S35° 54' 54"W	102.19'
"C2"	039° 49' 48"	150.00'	104.27'	54.34'	N35° 54' 54"E	102.19'
"C3"	004° 00' 00"	600.00'	41.89'	20.95'	S72° 00' 00"E	41.88'

DRAWN BY: LH, DATE 01-10-2025
SURVEYED, CHECKED, DATE
FINAL CHECK, DATE



LOCATION MAP
SCALE: 1" = 2,000'



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 2/27/2025

SUBDIVISION NAME: VILLAS AT TRES LAGOS PHASE I

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Tres Lagos Blvd. 100 ft. R.O.W.
Paving: 65 ft. B-B Curb & gutter: both sides
Revisions needed:
- Based on the submitted plat, the subdivision does not appear to have any access to the Tres Lagos Blvd. and would be considered 'landlocked.' Clarify/submit additional documents prior to final/recording.
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to recording.
**COM Thoroughfare Plan

Interior Streets: Dedications as needed for 60 ft. minimum R.O.W.
Paving: 40 ft. Curb & gutter: both sides
Revisions needed:
- Interior streets show 32 ft.-50 ft. ROW. Revise the subdivision layout to provide ROW for interior street as needed above prior to final/recording.
- Submitted master layout shows islands within the streets and cul-de-sac. Paving layout must comply with all Development Departments conditions, including fire apparatus maneuvering, no parking fire lane marking, etc.
- Street names will be established prior to final/recording. Submit master layout with proposed street names for staff review prior to final/recording.
- Provide paved temporary turnaround document number and a copy for staff review prior to final/recording.
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to recording.
**COM Thoroughfare Plan

*** Interior streets show 32 ft.-50 ft. R.O.W. A variance application (VAR2025-0005) has submitted to request approval for the ROW as shown on plat. For the streets with 32 ft. ROW, 32 ft. paving and 10 ft. sidewalk and utility easement is proposed on both sides. If the request is approved, it will be subject to the Development Departments conditions, which may include sidewalk and utility easement on all lots fronting any streets with ROW less than 60 ft., no parking fire lane marking on both sides, etc.

Paving _____ Curb & gutter _____
**Subdivision Ordinance: Section 134-105
**Monies must be escrowed if improvements are required prior to final
**COM Thoroughfare Plan

* 1,200 ft. Block Length
**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts
**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac
**Subdivision Ordinance: Section 134-105

Required

Required

Applied

NA

Applied

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEYS	
ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial and multi-family properties. - Finalize the Public Works Department's requirements prior to final/recording. **Subdivision Ordinance: Section 134-106	Required
SETBACKS	
* Front: 10 ft. or greater for easements. Revisions Needed: - Revise the setback note as shown above prior to final/recording. - Proposing: "10 ft. minimum or (greater for easement)" * Rear (proposing): 11 ft. or greater for easements **Zoning Ordinance: Section 138-356 * Sides: In accordance with the Zoning ordinance or greater for easements **Zoning Ordinance: Section 138-356 * Corner: 10 ft. or greater for easements **Zoning Ordinance: Section 138-356 * Garage: 18 ft. except where greater setback is required, greater setback applies. **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Required
	Applied
	Applied
	Applied
	Applied
	Applied
SIDEWALKS	
* 4 ft. wide minimum sidewalk required on Tres Lagos Blvd., and both sides of all interior streets. Revisions Needed: - Proposing plat note #16, to be in accordance with agreement for interior streets. Submit sidewalk plan prior to final/recording to establish requirements. Any revisions needed by sfatt must be finalized prior to final/recording. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. - Prior to final/recording, buffer requirements along Tres Lagos Blvd. must be established. - Note is subject to change once lot frontage requirements have been finalized. **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements.	Required
	Applied
	Required
NOTES	
* No curb cut, access, or lot frontage permitted along Tres Lagos Blvd. **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	Applied
	NA

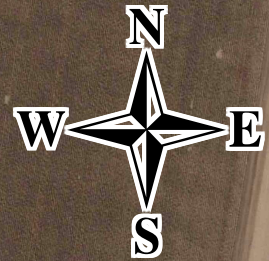
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revisions Needed: - Note #26 Proposing: "Common Areas 1,2, & 3 will maintained by the property owner/HOA and no City of McAllen." Note must be finalized prior to final/recording.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>*Public Improvement District (PID) or Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Revisions Needed: - Revise Plat note #12 as shown above prior to final/recording. **Section 134-168 applies if private subdivision is proposed. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p> <p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 134-168 applies if private subdivision is proposed. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	Required
	NA
	Required
<p>LOT REQUIREMENTS</p>	
<p>* Lots fronting public streets **Subdivision Ordinance: Section 134-1</p> <p>* Minimum lot width and lot area **Zoning Ordinance: Section 138-356</p>	Applied
	Applied
<p>ZONING/CUP</p>	
<p>* Existing: R-3T, R-3A, and C-4 Proposed: R-3T ** Two rezoning applications (REZ2024-0064 & REZ2024-0065) to rezone the property from C-4 and R-3A Districts to R-3T District were approved by the City Commission on January 27, 2025. **Engineer must verify if proposed subdivision is within appropriate zoning as it may prompt changes to plat and/or rezoning process, review and finalize prior to final/recording. ***Zoning Ordinance: Article V</p> <p>* Rezoning Needed Before Final Approval ** Two rezoning applications (REZ2024-0064 & REZ2024-0065) to rezone the property from C-4 and R-3A Districts to R-3T District were approved by the City Commission on January 27, 2025. **Engineer must verify if proposed subdivision is within appropriate zoning as it may prompt changes to plat and/or rezoning process, review and finalize prior to final/recording. ***Zoning Ordinance: Article V</p>	Required
	Required
<p>PARKS</p>	
<p>* Land dedication in lieu of fee. - As per Parks Department, Waiver granted through Waivers and Exceptions to the City of McAllen Platting Regulations, EXHIBIT "D", Item 6. -- Page 24, per agreement.</p> <p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording - As per Parks Department, Waiver granted through Waivers and Exceptions to the City of McAllen Platting Regulations, EXHIBIT "D", Item 6. -- Page 24, per agreement.</p>	NA
	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Pending review by the City Manager's Office. - As per Parks Department, Waiver granted through Waivers and Exceptions to the City of McAllen Platting Regulations, EXHIBIT "D", Item 6. -- Page 24, per agreement. 	NA
TRAFFIC	
* As per Traffic Department, TIA level I was waived with conditions. Must follow the conditions prior to final/recording.	Required
* As per Traffic Department, TIA level I was waived with conditions. Must follow the conditions prior to final/recording.	Required
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> * Must comply with City's Access Management Policy. - Missing Plat note #23. Revise the notes numbering prior to recording. - Proposed Private subdivision. Correct wording for private subdivisions must be used prior to recording. - Submit referenced documents for staff review prior to final/recording. - Revise the application for the Number of Dwelling units prior to final/recording. - Gate details submitted on February 13, 2025, is under review to verify all details fit in the right-of-way. If additional ROW is needed, the plat layout must be revised prior to recording. - Clarify the use of C.A. A and C.A. B prior to final/recording. A plat note to clarify the use may be needed prior to final/recording. <p>*** Interior streets show 32 ft.-50 ft. R.O.W. A variance application (VAR2025-0005) has submitted to request approval for the ROW as shown on plat. For the streets with 32 ft. ROW, 32 ft. paving and 10 ft. sidewalk and utility easement is proposed on both sides. If the request is approved, it will be subject to the Development Departments conditions, which may include sidewalk and utility easement on all lots fronting any streets with ROW less than 60 ft., no parking fire lane marking on both sides, etc.</p> <p>*** The project engineer requested the plat to be presented to the Planning and Zoning Commission for final approval consideration, subject to the variance approval.</p> <p>*** At the Planning and Zoning Commission meeting of February 18, 2025, staff recommended disapproval of the variance request. After a brief discussion, the board unanimously tabled the item so that the engineer and staff meet to discuss the issues with the variance request. There were five members present and voting.</p>	Required
RECOMMENDATION	
RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO THE CONDITIONS NOTED AND THE BOARD'S CLARIFICATION ON THE REQUESTED VARIANCE.	Applied

LOCATION



SHARY RD

PROPOSED VILLAS AT TRES
LAGOS SUBDIVISION

IDEA TRES LAGO
SUBDIVISION

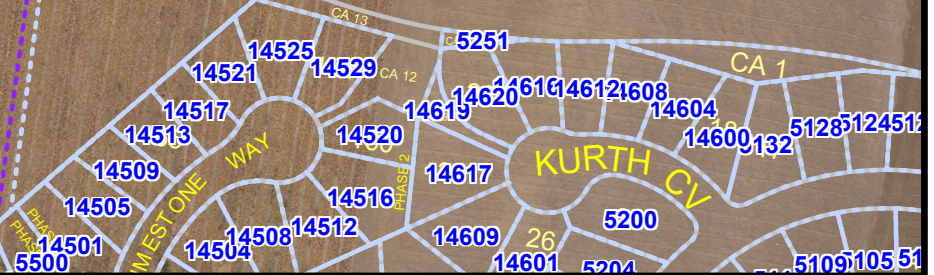
5200

LOT 1

TRES LAGOS BLVD

PROPOSED FAMILY
CHURCH AT TRES LAGOS
SUBDIVISION

LOT 1



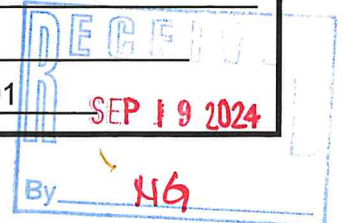


City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Surprise Subdivision</u>	
	Legal Description <u>0.49 Acre Tract o/o all of the North Half of Lot 18, and all of</u> <u>Lots 19 & 20, Amended Map of Waldron's Subdivision</u>	
	Location <u>Southwest corner of Dallas Ave. and S. 9th St.</u>	
	City Address or Block Number <u>408 South 9th Street</u>	
	Total No. of Lots <u>1</u> Total Dwelling Units _____ Gross Acres <u>0.49</u> Net Acres <u>0.49</u>	
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial (_____ Acres) / <input type="checkbox"/> Residential (<u>1</u> Lots) Replat: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No	
	Existing Zoning <u>R-3A</u> Proposed Zoning <u>R-3A</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____	
	Existing Land Use <u>Open</u> Proposed Land Use <u>Multifamily Residential</u>	
	Irrigation District # <u>3</u> Water CCN: <input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other _____	
Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # <u>320292</u>		
Estimated Rollback Tax Due <u>90⁰⁰</u> Tax Dept. Review <u>W0300-00-000-0018-00</u>		
Owner	Name <u>Ron & Estela Surprise</u> Phone <u>956-624-1065</u>	
	Address <u>211 S. Broadway</u> E-mail _____	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>	
Developer	Name <u>Same as Owner</u> Phone _____	
	Address _____ E-mail _____	
	City _____ State _____ Zip _____	
	Contact Person _____	
Engineer	Name <u>Salinas Eng. & Assoc.</u> Phone <u>956-682-9081</u>	
	Address <u>2221 Daffodil Ave.</u> E-mail _____	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>	
	Contact Person _____	
Surveyor	Name <u>Salinas Eng. & Assoc.</u> Phone <u>956-682-9081</u>	
	Address <u>2221 Daffodil Ave.</u> E-mail _____	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>	





City of McAllen

Planning Department

VARIANCE TO SUBDIVISION
PROCESS APPLICATION

311 North 15th Street
McAllen, TX 78501
P. O. Box 220

McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)

Project

Legal Description THE N. 1/2 OF LOT 18 AND ALL OF LOTS 19 & 20, AMENDED MAP OF WINDROW'S SUBD.

Proposed Subdivision (if applicable) SURPRISE SUBD.

Street Address 819 S. 9TH ST.

Number of lots 2 1/2 Gross acres 0.49

Existing Zoning R-3A Existing Land Use OPEN/VACANT

☒ Current Survey and Metes and Bounds (required if the legal description is a portion of a lot)

Applicant

Name JORGE HERRERA Phone 956-624-1065

Address 211 S Broadway E-mail jorgeherrera4712@gmail.com

City McAllen State Texas Zip 78501

Owner

Name ROW SURPRISE Phone 956-682-4488

Address 211 S BROADWAY E-mail _____

City McAllen State TX Zip 78501

Authorization

To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated?

☐ Yes ☒ No

I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature [Signature] Date 2/26/25

Print Name David Salinas ☐ Owner ☒ Authorized Agent

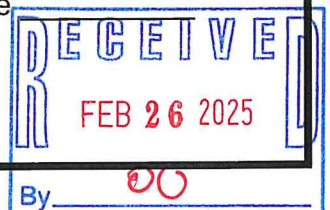
Office

FOR OFFICE USE ONLY

APPLICATION FILING FEE: ☒ \$250.00

Accepted by EDG Payment received by _____ Date _____

Rev 06/21





City of McAllen

Planning Department

REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: *(If necessary, please use an additional page to complete responses)*

**Information provided here by the applicant does not guarantee that the Commission will grant a variance.

***Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

None

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

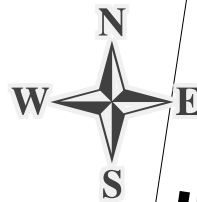
REQUEST 8' SIDERYARD SETBACK. ALONG DALLAS AVE. CITY REQUIREMENT IS 10'. NO ADDITIONAL LANDS ARE AVAILABLE TO ACCOMODATE THE 10' SETBACK DUE TO PROP. 12 APARTMENTS

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

SIDERYARD VARIANCE IS ADJACENT TO DALLAS AVE. - A PUBLIC STREET

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

THIS TRACT IS VACANT W/ OTHER LANDS ON ALL SIDES ARE STREETS/ALLEYS AND RESIDENTIAL DEV.



COMMON AREA

8TH ST

NE

LOCATION

DALLAS AVE



TURNERS LOT A

ART'S

PROPOSED SUPRISE
SUBDIVISION

LOT 1

ADD.

WALDROL'S
9TH ST
SUBDIVISION


8TH ST

HD

VISION

ST

ST



SCALE: 1" = 20'

LEGEND

●	FOUND 1/2" IRON ROD
●	FOUND 5/8" IRON PIPE
●	FOUND 1/2" IRON PIPE
○	SET 1/2" IRON ROD WITH YELLOW CAP MARKED "SEA 5782"
R.O.W.	RIGHT OF WAY
P.O.C.	POINT OF COMMENCEMENT
P.O.B.	POINT OF BEGINNING
H.C.D.R.	HIDALGO COUNTY DEED RECORDS
H.C.M.R.	HIDALGO COUNTY MAP RECORDS

FILED FOR RECORD IN
 HIDALGO COUNTY
 ARTURO GUAJARDO, JR.
 HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
 INSTRUMENT NUMBER _____
 OF MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

DATE _____



SEA
SALINAS ENGINEERING & ASSOC.
(F-6675) (TBPLS-10065700)
CONSULTING ENGINEERS & SURVEYORS
2221 DAFODIL - McALEEN, TEXAS 78501
(956) 686-9061 (C) (36) 686-1489 (FAX)
BPLS 12100 PARK 35 CIRCLE BLDG. A, SUITE 156, MC-230, AUSTIN, TEXAS 78753 (512) 239-3111



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 3/14/2025

SUBDIVISION NAME: SURPRISE SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Dallas Avenue: Dedication required for 30 ft. from centerline for 60 ft. total ROW
 - Provide document number on plat for existing ROW and provide a copy of the document for staff review, prior to final.
 Paving: 40 ft. Curb & gutter: both sides
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to recording.
 **COM Thoroughfare Plan

Required

South 9th Street: Dedication as required for 50 ft. total ROW
 Paving: 32 ft. Curb & gutter: both sides
 - Provide document number on plat for existing ROW and provide a copy of the document for staff review, prior to final.
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to recording.
 **COM Thoroughfare Plan

Required

* 1,200 ft. Block Length
 **Subdivision Ordinance: Section 134-118
 * 900 ft. Block Length for R-3 Zone Districts
 **Subdivision Ordinance: Section 134-118
 * 600 ft. Maximum Cul-de-Sac
 **Subdivision Ordinance: Section 134-105

Applied

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.
 *Alley/service drive easement required for commercial/multi-family properties
 ** Plat shows existing 10 ft. alley by Vol. 10 Pg. 10 of H.C.M.R. which is the Amended Map of Waldron's Subdivision.
 **Monies must be escrowed if improvements are required prior to recording.
 **Subdivision Ordinance: Section 134-106

Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SETBACKS	
<p>* Front: Dallas Avenue/South 9th Street: 20 ft. or greater for easements or approved site plan; or in line with existing structures, which is greater applies</p> <p>- Revise setback note as shown above, prior to final. Submit a variance request if any other setback is requested</p> <p>- Proposing: 9th Street: 20 ft. Dallas Avenue: 8 ft.</p> <p>- If the variance is submitted and approved, the setback notes need to include "or greater for easements"</p> <p>**Zoning Ordinance: Section 138-356</p> <p>** The project engineer submitted a variance application (VAR2025-0007) to request South 9th street to be considered the front and Dallas Street to be considered corner setback. They have also requesting 8 ft. corner setback along Dallas Ave. in lieu of 10 ft. required side yard setback. If the variance request is approved by the Planning and Zoning Commission, the setback notes will be as follows: South 9th Street: 20 ft. or greater for easements or approved site plan or in line with existing structures; which is greater applies. Dallas Avenue: 8 ft. or greater for easement or approved site plan; whichever is greater applies.</p>	Non-compliance
<p>* Rear: 10 ft. or greater for easements</p> <p>**Zoning Ordinance: Section 138-356</p>	Applied
<p>* Interior Sides: In accordance with the zoning ordinance or greater for easements or approved site plan, whichever is greater applies.</p> <p>Revise setback note as shown above, prior to final. Submit a variance request if any other setback is requested</p> <p>- Proposing: Side yard along south side: 6 ft.</p> <p>- If the variance is submitted and approved, the setback notes need to include "or greater for easements"</p> <p>**Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Corner: See setbacks for Dallas Avenue and South 9th Street</p> <p>- Submit a variance request if any other setback is requested.</p> <p>- Proposing: 9th Street: 20 ft. Dallas Avenue: 10 ft.</p> <p>- If the variance is submitted and approved, the setback notes need to show "or greater for easements"</p> <p>**Zoning Ordinance: Section 138-356</p> <p>** The project engineer submitted a variance application (VAR2025-0007) to request South 9th street to be considered the front and Dallas Street to be considered corner setback. They have also requesting 8 ft. corner setback along Dallas Ave. in lieu of 10 ft. required side yard setback. If the variance request is approved by the Planning and Zoning Commission, the setback notes will be as follows: South 9th Street: 20 ft. or greater for easements or approved site plan or in line with existing structures; which is greater applies. Dallas Avenue: 8 ft. or greater for easement or approved site plan; whichever is greater applies.</p>	Non-compliance
<p>* Garage: 18 ft. except where greater setback is required, greater setback applies.</p> <p>- Add a setback note as shown above prior to final.</p> <p>**Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied

SIDEWALKS	
* 4 ft. wide minimum sidewalk required on Dallas Avenue and South 9th Street **Subdivision Ordinance: Section 134-120	Applied
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
NOTES	
* No curb cut, access, or lot frontage permitted along Dallas Avenue **Must comply with City Access Management Policy	Applied
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance. - Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development.	Applied
**Zoning Ordinance: Section 138-210	
* Common Areas, any private drives, etc. must be maintained by the lot owners and not the City of McAllen.	Applied
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	Applied
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Subdivision Ordinance: Section 134-168	NA
LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area **Zoning Ordinance: Section 138-356	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ZONING/CUP	
* Existing: R-3A Proposed: R-3A ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	Applied
PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. - As per the Engineer total amount of dwelling units to be 12. The submitted application must be revised to reflect this information. Based on 12 dwelling units, \$8,400 must be paid for park fees prior to recording. If the number of dwelling units changes, fees to be adjusted accordingly.	Required
* Pending review by the City Manager's Office.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation was waived for 12 dwelling units for apartments	Applied
* Traffic Impact Analysis (TIA) required prior to final plat.	NA
COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"> - Application must be revised to show total amount of dwelling units. - Any abandonments must be done by separate process, not by plat, prior to recording. - Site plan will be reviewed internally by staff prior to building permit issuance. <p>*Must comply with City's Access Management Policy.</p> <p>** The project engineer submitted a variance application (VAR2025-0007) to request South 9th street to be considered the front and Dallas Street to be considered corner setback. They have also requesting 8 ft. corner setback along Dallas Ave. in lieu of 10 ft. required side yard setback. If the variance request is approved by the Planning and Zoning Commission, the setback notes will be as follows: South 9th Street: 20 ft. or greater for easements or approved site plan or in line with existing structures; which is greater applies. Dallas Avenue: 8 ft. or greater for easement or approved site plan; whichever is greater applies.</p>	Non-compliance
RECOMMENDATION	
STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVALS, AND THE BOARD'S CLARIFICATION ON THE VARIANCE REQUEST.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



LOCATION

DALLAS AVE

8TH ST

9TH ST

8TH ST

WALDRON'S SUBDIVISION

ADD.

ARTS CORNERS LOT A

CLOSER 80-27

ST

VE

ST

5

4

15

6

1

20

PROPOSED SUPRISE SUBDIVISION LOT 1

8

7

6

3

2

1

DALLAS POINT 910

COMMON AREA

916

2

1



SUB2024-0045

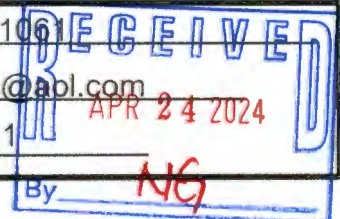
Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name	<u>AAA Apartments Subdivision</u>		
	Legal Description	<u>East 190.00' of the West 584.00' of the South 660.00' of Lot 415, John H. Shary Subdivision</u>		
	Location	<u>5900 5 Mile Line Road</u>		
	City Address or Block Number			
	Total No. of Lots	<u>2</u> ^{One Single Family}	Total Dwelling Units	<u>8</u>
		<u>And One Multi Family (4-24) R.G.</u>	Gross Acres	<u>2.88</u>
			Net Acres	<u>2.71</u>
	<input checked="" type="checkbox"/> Public Subdivision/ <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated	within ETJ: <input checked="" type="checkbox"/> Yes/ <input type="checkbox"/> No		
	For Fee Purposes: <input type="checkbox"/> Commercial (<u> </u> Acres)/ <input checked="" type="checkbox"/> Residential (<u>2</u> Lots)	Replat: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No		
	Existing Zoning	<u>N/A</u>	Proposed Zoning	<u>N/A</u>
Applied for Rezoning	<input type="checkbox"/> No/ <input type="checkbox"/> Yes: Date <u> </u>			
Existing Land Use	<u>Single Family</u>			
Proposed Land Use	<u>Single Family/Multi-Family</u>			
Irrigation District #	<u>United</u>	Water CCN: <input type="checkbox"/> MPU/ <input checked="" type="checkbox"/> Sharyland Water SC	Other <u> </u>	
Agricultural Exemption: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No	Parcel # <u>282328</u>			
Estimated Rollback Tax Due	<u>N/A</u>	Tax Dept. Review	<u> </u>	
Owner	Name	<u>Anissa Izel Sanchez</u>		
	Address	<u>2501 E. Mile 5 Road</u>		
	City	<u>McAllen</u>	State	<u>Texas</u>
	Zip	<u>78573</u>		
Developer	Name	<u>Anissa Izel Sanchez</u>		
	Address	<u>2501 Mile 5 Road</u>		
	City	<u>McAllen</u>	State	<u>Texas</u>
	Zip	<u>78573</u>		
	Contact Person	<u>Agustin Sanchez</u>		
Engineer	Name	<u>Raul E. Garcia, PE, RPLS</u>		
	Address	<u>116 N. 12th</u>		
	City	<u>McAllen</u>	State	<u>Texas</u>
	Zip	<u>78541</u>		
Contact Person	<u>Raul Garcia, PE, RPLS</u>			
Surveyor	Name	<u>Raul E. Garcia, PE, RPLS</u>		
	Address	<u>116 N. 12th</u>		
	City	<u>McAllen</u>	State	<u>Texas</u>
	Zip	<u>78541</u>		

KF



Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

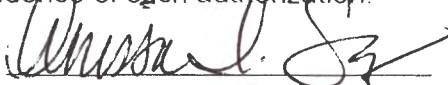
- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature



Date

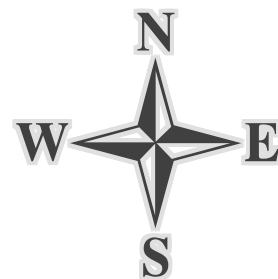
4-23-24

Print Name Anissa Izel Sanchez

Owner ☒

Authorized Agent ☐

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion



LOCATION

415

SHARY ROAD

PROPOSED A-A-A APARTMENTS
SUBDIVISION

LOT 2

LOT 1

SHARY GROVE ESTATES

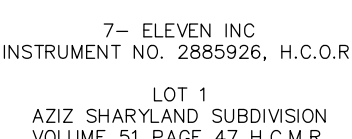
RATTLER LN

5 MILE LINE

AZIZ
SHARYLAND
SUBDIVISION
5925

PROPOSED VIDA
SUBDIVISION

405



S.W. CORNER
LOT 415

SHEET NO. 1
OF 2 SHEETS



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 3/13/2025

SUBDIVISION NAME: AAA APARTMENTS

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Auburn Avenue (5 Mile Road - FM 676): 20 ft. ROW dedication for 60 ft. from centerline for 120 ft. ROW

Paving: 65 ft. Curb & gutter: Both Sides

- Please label total ROW after accounting for dedication, prior to final.

- Clarify if there are any issues with overlap of Sharyland water easement and dedicated ROW, prior to recording.

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Required

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Applied

* 1,200 ft. Block Length

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts

**Subdivision Ordinance: Section 134-118

Applied

* 600 ft. Maximum Cul-de-Sac

**Subdivision Ordinance: Section 134-105

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

- As per Public Works, access easement will need to be provided for trash services in the future and proper turn around for lot 2 if annexed.

*Alley/service drive easement required for commercial/multi-family properties

**Subdivision Ordinance: Section 134-106

Required

SETBACKS

* Front: Lot 1: 50 feet or greater for easements

Lot 2: 330.49 feet or greater for easements

*As per Hidalgo County Planning Department

**Zoning Ordinance: Section 138-356

Applied

* Rear: Lot 1: 15 feet or greater for easements

Lot 2: 15 feet or greater for easements

*As per Hidalgo County Planning Department

**Zoning Ordinance: Section 138-356

Applied

* Sides: Lot 1: 6 feet or greater for easements

Lot 2: 6 feet or greater for easements

*As per Hidalgo County Planning Department

**Zoning Ordinance: Section 138-356

Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Corner **Zoning Ordinance: Section 138-356 * Garage: Lot 1: 18 feet except where greater setback is required, greater setback applies. Lot 2: 18 feet except where greater setback is required, greater setback applies. **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN 	NA
	Applied
	Applied
SIDEWALKS	
<ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on Auburn Avenue (5 Mile Road - FM 676) - 5 ft. sidewalk required along Auburn Avenue (5 Mile Road - FM 676) as per Engineering Department. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time. 	Applied
	Required
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements. 	Applied
	Applied
	Required
NOTES	
<ul style="list-style-type: none"> **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. * Common Areas, any private drives, access easements, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	Applied
	NA
	Applied
	NA
	NA
	NA
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets **Subdivision Ordinance: Section 134-1 	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

* Minimum lot width and lot area **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing: ETJ Proposed: ETJ ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA
PARKS	
* Land dedication in lieu of fee. - Application submitted on April 24, 2024 proposes a two lot subdivision that is not within City limits (ETJ) therefore City of McAllen Park Land Dedication and Park Development Fees Ordinance does not apply unless annexed.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. - Application submitted on April 24, 2024 proposes a two lot subdivision that is not within City limits (ETJ) therefore City of McAllen Park Land Dedication and Park Development Fees Ordinance does not apply unless annexed.	NA
* Pending review by the City Manager's Office. - Application submitted on April 24, 2024 proposes a two lot subdivision that is not within City limits (ETJ) therefore City of McAllen Park Land Dedication and Park Development Fees Ordinance does not apply unless annexed.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. - As per Traffic Department, Trip Generation has been honored from previous submittal.	Applied
* Traffic Impact Analysis (TIA) required prior to final plat. - As per Traffic Department, Previous TG approved and honored, no TIA required.	Applied
COMMENTS	
Comments: - Clarify if there are any issues with overlap of Sharyland water easement and dedicated ROW, prior to recording. - Any abandonments must be done by separate process, not by plat, any abandonments by separate instrument must be finalized prior to recording. *Must comply with City's Access Management Policy.	Applied
RECOMMENDATION	
RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM SUBJECT TO THE CONDITIONS NOTED.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



LOCATION

415

SHARY ROAD

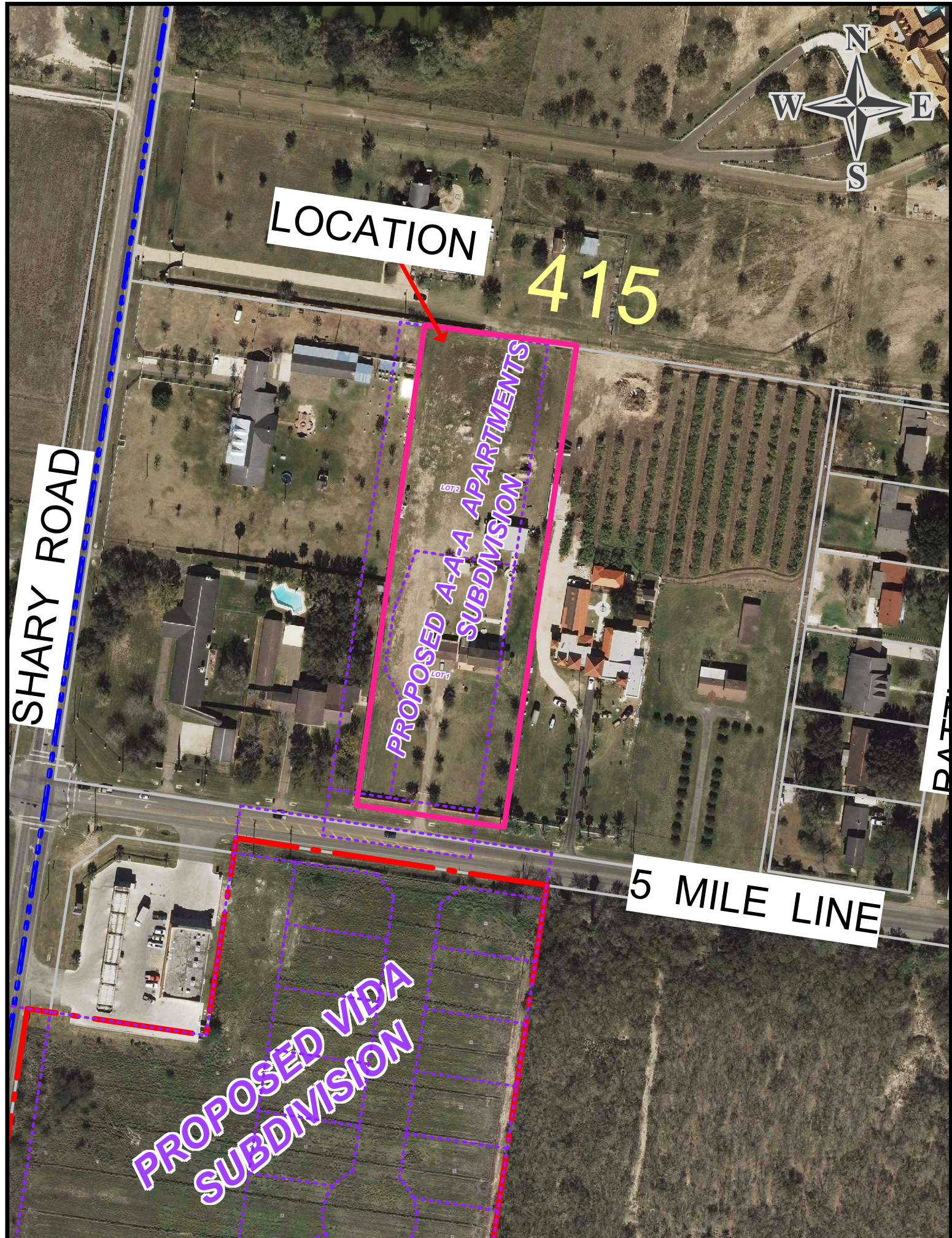
PROPOSED A-A-A APARTMENTS
SUBDIVISION

LOT 2


LOT 1

5 MILE LINE

PROPOSED VIDA
SUBDIVISION



SUB2025-0031



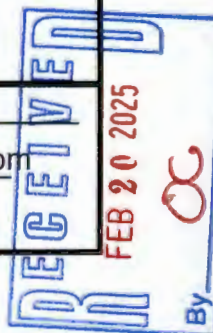
City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Sharyland Business Park - Project Circle</u>	
	Legal Description <u>See Attached</u>	
	Location <u>Tanya Avenue, McAllen, TX 78503</u>	
	City Address or Block Number <u>4800 Tanya Avenue</u>	
	Total No. of Lots <u>1</u> Total Dwelling Units <u>0</u> Gross Acres <u>27.41</u> Net Acres <u>27.41</u>	
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial (<u> </u> Acres) / <input type="checkbox"/> Residential (<u> </u> Lots) Replat: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No	
	Existing Zoning <u>I-1</u> Proposed Zoning <u>I-1</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date <u> </u>	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Industrial</u>	
	Irrigation District # <u>19</u> Water CCN: <input type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other <u>City of McAllen</u>	
Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # <u>616939, 516680, 638525</u>		
Estimated Rollback Tax Due <u>27,013.73</u> Tax Dept. Review <u>UPG</u>		
Owner	Name <u>CHARCO LAND SALES, LLC</u> Phone <u> </u>	
	Address <u>P.O. Box 499 Laredo, TX 78-042-0499</u> E-mail <u> </u>	
	City <u>Laredo</u> State <u>TX</u> Zip <u>78042-0499</u>	
Developer	Name <u>Van Trust Real Estate, LLC</u> Phone <u>214-888-3039</u>	
	Address <u>5844 John Hickman Pkwy, Ste 150</u> E-mail <u>Kiran.Shivaramu@vantrustre.com</u>	
	City <u>Frisco</u> State <u>TX</u> Zip <u>75034</u>	
	Contact Person <u>Kiran Shivaramu</u>	
Engineer	Name <u>Kimley-Horn and Associates, INC.</u> Phone <u>407-878-1511</u>	
	Address <u>200 South Orange Ave. Suite 600</u> E-mail <u>jess.lee@kimley-horn.com</u>	
	City <u>Orlando</u> State <u>FL</u> Zip <u>32801</u>	
	Contact Person <u>Jessica Lee, P.E.</u>	
Surveyor	Name <u>Kimley-Horn and Associates, INC.</u> Phone <u>210-729-0100</u>	
	Address <u>10101 Reunion Place, Suite 400</u> E-mail <u>jay.janisse@kimley-horn.com</u>	
	City <u>San Antonio</u> State <u>TX</u> Zip <u>78216</u>	

KF



Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature _____

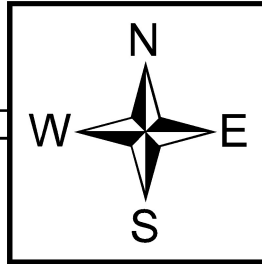
Date _____

Print Name _____

Owner ☒

Authorized Agent ☐

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion



SANITARY SEWER
STABILIZATION POND

LOCATION

87

PROPOSED SHARYLAND
BUSINESS PARK
PROJECT CIRCLE

~~SHARY SUBDIVISION~~

TANYA AVE

77

LOT 11-A

LOT 11-B

LOT 12

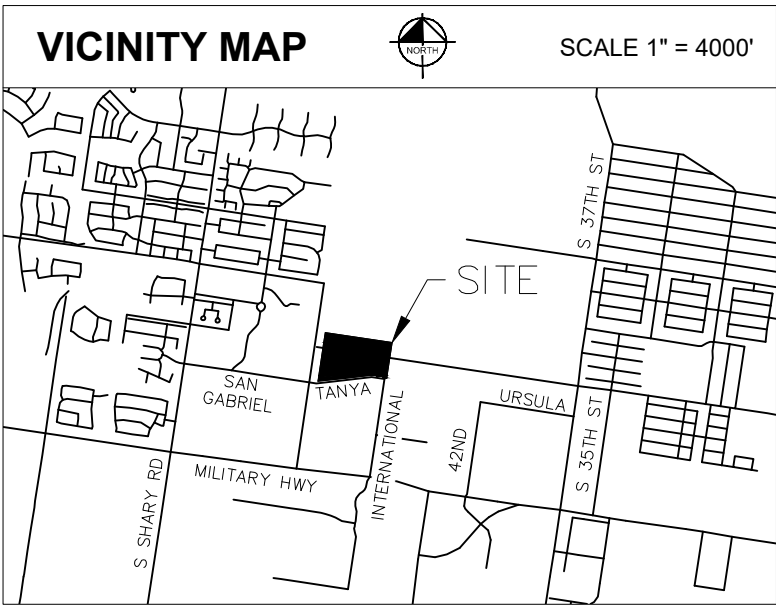
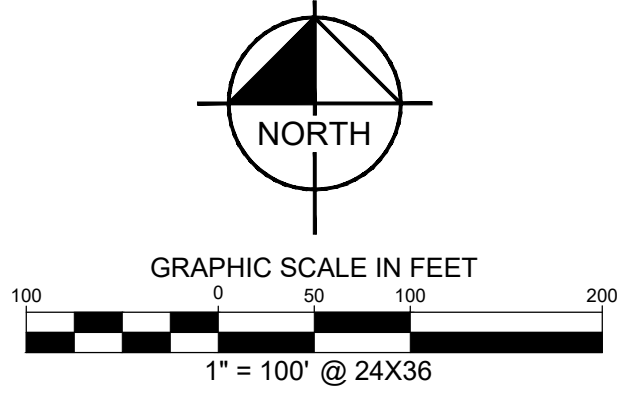
SHARYLAND SERVICE

CENTER No. 1

S INTERNATIONAL PKWY

SHARY

LOT 7A



SURVEYOR:
KIMLEY-HORN AND ASSOCIATES, INC.
10101 REUNION PLACE, SUITE 400
SAN ANTONIO, TEXAS 78216
PH: (210) 541-9166
CONTACT: JAMES L. JANISSE, R.P.L.S.
TBPLS FIRM REGISTRATION NO. 10193973

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
200 S. ORANGE AVENUE, SUITE 600
ORLANDO, FLORIDA 32801
PH: (407) 427-1683
CONTACT: JESSICA LEE, P.E.
TBPE FIRM REGISTRATION NO. 142708

OWNER:
CHARCO LAND SALES, LLC
P.O. BOX 499 LAREDO, TX 78042-0499

DEVELOPER:
VANTRUST REAL ESTATE
5844 JOHN HICKMAN PKWY, STE 150, FRISCO, TX 75034
PH: (214) 886-3039
CONTACT: KIRAN SHIVARAMU, LEED AP
SENIOR DIRECTOR, DEVELOPMENT SERVICES

LINETYPE LEGEND

	BOUNDARY LINE
	EASEMENT LINE

LEGEND

IRF	IRON ROD FOUND
IRFC	IRON ROD FOUND W/CAP
IRSC	1/2" IRON ROD W/ "KHA" CAP SET
IPF	IRON PIPE FOUND
R.O.W.	RIGHT-OF-WAY
MRHC	MAP RECORDS OF HIDALGO COUNTY
PRHC	PUBLIC RECORDS OF HIDALGO COUNTY
OPRHC	OFFICIAL PUBLIC RECORDS OF HIDALGO COUNTY
F.F.	FINISHED FLOOR
GETCTV	GAS, ELECTRIC, TELEPHONE AND CABLE TV EASEMENT

BENCH MARK LIST

BM#100 - "X" CUT IN CONCRETE SET IN CONCRETE CURB AT THE INTERSECTION OF INTERNATIONAL PARKWAY AND TANYA AVENUE BEING APPROXIMATELY 286± FEET EAST OF A DRAINAGE MANHOLE ON AN INLET.
ELEV. = 103.26'

BM#101 - "X" CUT IN CONCRETE SET IN SIDEWALK ON THE SOUTH SIDE OF TANYA AVENUE AT THE STREET NAME CHANGE OF TANYA AVENUE AND SAN GABRIEL BEING APPROXIMATELY 390± FEET SOUTHWEST FROM A FIRE HYDRANT.
ELEV. = 103.94'

SUBDIVISION PLAT OF
SHARYLAND BUSINESS PARK
BEING A 27.412 ACRE TRACT OF LAND SITUATED IN THE
YLDEFONSO QUIROGA SURVEY, ABSTRACT NO. 43,
PORCION NO. 60
CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, AND
A PORTION OF CALLED 111.3 ACRE TRACT DESCRIBED
TO CHARCO LAND SALES, LLC, RECORDED IN
DOCUMENT NO. 2018-2878775 OF THE OFFICIAL PUBLIC
RECORDS OF HIDALGO COUNTY, TEXAS AND A
REMAINDER OF LOTS 77, 78, 87 AND 88 OF THE JOHN H.
SHARY SUBDIVISION RECORDED IN VOLUME 1, PAGE 17,
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

Kimley»Horn

10101 Reunion Place, Suite 400
San Antonio, Texas 78216 FIRM # 10193973 Tel. No. (210) 541-9166
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	SAB	JLJ	Jan 2025	249613000	1 OF 2

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED CHARCO LAND SALES, LLC KNOWN TO ME BY THE PERSON (S) WHOSE NAME (S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSED AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC
MY COMSTUART EXPIRES _____

I, THE UNDERSIGNED, MAYOR TO THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR (CITY OF MCALLEN) _____ ATTEST: CITY SECRETARY
DATE: _____

I, THE UNDERSIGN CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN, TEXAS HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISIONS REGULATIONS OF THE CITY OF MCALLEN WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN PLANNING AND ZONING COMMISSION
DATE: _____

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL

I, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF SHARYLAND BUSINESS PARK WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY RIGHT OF WAY DEPARTMENT ON _____, _____.

HIDALGO COUNTY RIGHT OF WAY DIRECTOR _____ DATE _____

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL

I, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF SHARYLAND BUSINESS PARK WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON _____, _____.

HIDALGO COUNTY RIGHT OF WAY DIRECTOR _____ DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, (NAME), A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

_____(NAME) _____ DATE _____
LICENSED PROFESSIONAL ENGINEER NO. 000000

STATE OF TEXAS
COUNTY OF HIDALGO

I, JAY L. JANISSE, A REGISTER PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THE MAP ON THIS SHEET SHOWING THE LOTS, EASEMENTS, AND STREETS OF SHARYLAND BUSINESS PARK AND ITS METES AND BOUNDS DESCRIPTION WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON OCTOBER 24, 2024.

JAY L. JANISSE _____ DATE _____
REGISTERED PROFESSIONAL SURVEYOR NO. 6663
KIMLEY-HORN
10101 REUNION PLACE, SUITE 400
SAN ANTONIO, TX 78216
PHONE: 805-234-1823

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE § 232.028(a)

WE THE UNDERSIGNED CERTIFY THAT THIS PLAT OF SHARYLAND BUSINESS PARK WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON _____, _____.

HIDALGO COUNTY JUDGE _____ DATE _____

ATTEST: _____
HIDALGO COUNTY JUDGE _____ DATE _____

I, _____, COUNTY CLERK OF HIDALGO, CERTIFY THAT THE PLAT BEARING THIS CERTIFICATE WAS FILED FOR RECORD AT _____ O'CLOCK _____, ON _____, AND WAS RECORDED IN BOOK _____, SHEET (S) _____, THE PLAT RECORDS OF HIDALGO COUNTY AT _____ O'CLOCK _____, ON _____.

THIS PLAN IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. _____ SUBJECT TO THE CONDITION THAT IF IRRIGATION FROM SAID DISTRICT IS DESIRED TO THE INDIVIDUAL LOTS IN SAID SUBDIVISION, PROVISION SHALL BE MADE FOR APPROPRIATE EASEMENT FOR THE INSTALLATION OF NECESSARY IRRIGATION FACILITIES TO SUCH LOTS FROM INDIVIDUAL LOTS IN SAID SUBDIVISION, PROVISION SHALL BE MADE FOR APPROPRIATE EASEMENT FOR THE INSTALLATION OF NECESSARY IRRIGATION FACILITIES TO SUCH LOTS FROM THE CLOSEST WATER DISTRICT DELIVERY POINT AND IT SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY TO INSTALL SUCH NECESSARY FACILITIES.

HIDALGO COUNTY IRRIGATION DISTRICT NO. _____ ATTEST: CITY SECRETARY
PRESIDENT _____ DATE: _____

HIDALGO COUNTY DRAINAGE DISTRICT NO. _____ HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE § 49.211 (c). THE DISTRICT HAS NOT REVIEW AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

BY _____
HIDALGO COUNTY DRAINAGE DISTRICT NO. _____

GENERAL PLAT NOTES AND RESTRICTIONS:

1. TITLE COMMITMENT NOTES: THIS SURVEY WAS PERFORMED UTILIZING THAT CERTAIN TITLE REPORT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NO. 4300112408820 (ISSUE DATE: OCTOBER 25, 2024, EFFECTIVE DATE: OCTOBER 11, 2024) AND REFLECTS ONLY THOSE EASEMENTS AND ENCUMBRANCES OF RECORD MENTIONED THEREIN. KIMLEY-HORN DID NOT ABSTRACT THE PUBLIC RECORDS. THE SURVEYED TRACT MAY BE SUBJECT TO ADDITIONAL GOVERNMENT REGULATIONS AND RESTRICTIONS PRIOR TO FURTHER SITE DEVELOPMENT.

THE AREAS WITHIN THE DRAINAGE EASEMENTS AND THE PROPOSED STREET RIGHT-OF-WAY ARE WITHIN THE 100-YEAR FLOOD PLAIN, COMMUNITY-PANEL NO. 480334 0400 C EFFECTIVE DATE: November 16, 1982 OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS FOR HIDALGO COUNTY, TEXAS AND THE LOCAL FLOOD PLAIN ADMINISTRATOR HAVE IDENTIFIED NO OTHER AREAS AS SHOWN ON THIS PLAT ARE WITHIN THE PROPOSED SUBDIVISION TO BE WITHIN THE 100-YEAR FLOOD PLAIN.

CONSTRUCTION OF RESIDENTIAL HOUSING WITHIN ANY AREA OF THE SUBDIVISION THAT IS IN THE 100-YEAR FLOOD PLAIN IS PROHIBITED UNLESS THE HOUSING QUALIFIES FOR INSURANCE UNDER THE NATIONAL FLOOD INSURANCE ACT OF 1968 (42 U.S.C. SECTIONS 4001 THROUGH 4127).

2. SETBACKS:
FRONT: 25.00 FEET
REAR: 15.00 FEET OR EASEMENT WHICHEVER IS GREATER
SIDE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER
CORNER SIDE: 10.00 FEET
CORNER GARAGE SIDE: 18.00 FEET
CORNER GARAGE FRONT: 18.00 FEET
CORNER SIDE WHERE R.O.W. IS GREATER THAN 50.00 FEET: 20.00 FEET

3. GENERAL NOTE FOR COMMERCIAL LOTS:
PORTIONS OF LOTS 77, 78, 87 AND 88 SHALL BE FOR COMMERCIAL USE ONLY. LAND USE SHALL COMPLY WITH THE CITY OF MCALLEN'S COMPREHENSIVE PLAN. APPLICATIONS FOR CONSTRUCTION APPROVED BY THE PLANNING DEPARTMENT, HEALTH DEPARTMENT AND FIRE MARSHALL ARE REQUIRED PRIOR TO OCCUPYING THE LOT.

4. MINIMUM FINISH FLOOR NOTE:
MINIMUM FINISH FLOOR ELEVATION SHALL BE AT AN ELEVATION OF 105.5' OR 18" ABOVE BACK OF CURB, WHICHEVER IS GREATER. HOWEVER ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION TO VERIFY PRE AND POST CONSTRUCTION FINISH FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.

5. BENCHMARK NOTE:
BM#100 - "X" CUT IN CONCRETE SET IN CONCRETE CURB AT THE INTERSECTION OF INTERNATIONAL PARKWAY AND TANYA AVENUE BEING APPROXIMATELY 286± FEET EAST OF A DRAINAGE MANHOLE ON AN INLET.
ELEV. = 103.26'

BM#101 - "X" CUT IN CONCRETE SET IN SIDEWALK ON THE SOUTH SIDE OF TANYA AVENUE AT THE STREET NAME CHANGE OF TANYA AVENUE AND SAN GABRIEL BEING APPROXIMATELY 390± FEET SOUTHWEST FROM A FIRE HYDRANT.
ELEV. = 103.94'

6. DRAINAGE:
IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 43,560 CUBIC FEET (1.00 ACRE) OF STORM WATER RUNOFF. DRAINAGE RETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS:(SEE SHEET NO. 2 OF THIS PLAT)

7. DRAINAGE SWALE EASEMENTS NOTE:
NO FILL OR PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN ANY DRAINAGE SWALE EASEMENT. EACH DRAINAGE SWALE EASEMENT SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, PLANTINGS, AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATION OF THE DRAINAGE SWALE EASEMENT. THE LOT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SWALE.

8. THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION.

9. NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, SHEDS, SHRUBS, TREES AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.

10. AN OFF-STREET PARKING LOT SITE PLAN & DRAINAGE PLAN APPROVAL BY THE CITY OF MCALLEN PLANNING DEPARTMENT SHALL BE REQUIRED FOR COMMERCIAL INDUSTRIAL & MULTIFAMILY USE AT THE TIME OF APPLICATION FOR CONSTRUCTION PRIOR TO THE ISSUANCE OF A BUILDING AND/OR DEVELOPMENT PERMIT. NO WATER OR LIGHT CLEARANCES SHALL BE ISSUED UNTIL THE SITE PLAN, DRAINAGE PLAN AND OSSF PLAN ARE APPROVED AND PROPOSED IMPROVEMENTS ARE CONSTRUCTED IN ACCORDANCE WITH COUNTY AND STATES.

11. ALL LOTS IN SHARYLAND BUSINESS PARK ARE HEREBY GRANTED A "DRAINAGE SWALE EASEMENT" WITH RESPECT TO SURFACE WATER RUN-OFF FROM ALL LOTS IN SHARYLAND BUSINESS PARK TO THE AREA DEPICTED ON THE SUBDIVISION PLAT AS THE "DRAINAGE SWALE" AREAS. LOT OWNERS OF SHARYLAND BUSINESS PARK THEIR ASSIGNS AND ANY SUBSEQUENT OWNER OF THE REAL PROPERTY DESIGNATED ON THE SUBDIVISION PLAT ARE RESPONSIBLE FOR THE MAINTENANCE OF THE DRAINAGE SWALES. THE CITY OF MCALLEN, AND THE DRAINAGE DISTRICT NUMBER 1 ("DRAINAGE DISTRICT") MAY ENFORCE THIS PLAT NOTE BY INJUNCTION OR ANY OTHER REMEDY PROVIDED BY LAW, AND THE COUNTY AND / OR THE DRAINAGE DISTRICT ARE ALSO ENTITLED TO RECOVER ALL ENFORCEMENT COSTS AND / OR MAINTENANCE COSTS FROM THE LOT OWNERS IN VIOLATION. IN THE EVENT THE DRAINAGE SWALES DEPICTED ON THE SUBDIVISION PLAT ARE NO LONGER NECESSARY FOR DRAINAGE OF THE LOTS COMPRISING SHARYLAND BUSINESS PARK BECAUSE AN ALTERNATE DRAINAGE SYSTEM, CONSTRUCTED AND MAINTAINED BY A POLITICAL SUBDIVISION IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL LAWS AND REGULATIONS, IS FULLY OPERATIONAL AND ACTUALLY SERVICING ALL THE LOTS IN SHARYLAND BUSINESS PARK, THE COUNTY AND THE DRAINAGE DISTRICT ARE HEREBY GRANTED THE RIGHT AND THE AUTHORITY (AND EACH LOT OWNER, BY THE ACCEPTANCE OF A DEED TO LOT IN SHARYLAND BUSINESS PARK ACKNOWLEDGES AND AGREES THAT THE COUNTY AND THE DRAINAGE DISTRICT HAS THE RIGHT AND AUTHORITY), TO RELEASE THE DRAINAGE EASEMENT BURDENING THE DRAINAGE SWALES PURSUANT TO THIS PLAT NOTE, BY AN INSTRUMENT IN WRITING RECORDED IN THE OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

METES AND BOUNDS DESCRIPTION

BEING A 27.412 ACRE (1 194,080 SQUARE FEET) TRACT OF LAND SITUATED IN THE YLDEFONSO QUIROGA SURVEY, ABSTRACT NO. 43, HIDALGO COUNTY, TEXAS, BEING A PORTION OF THE REMAINDER OF LOT 77, A PORTION OF LOTS 78, 87, AND 88 OF THE JOHN H. SHARY SUBDIVISION RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS, HIDALGO COUNTY, TEXAS, BEING A PORTION OF A CALLED 111.3 ACRES DESCRIBED IN SPECIAL WARRANTY DEED TO CHARCO LAND SALES, LLC RECORDED IN DOCUMENT NO. 2018-2878775, OFFICIAL PUBLIC RECORDS, HIDALGO COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A "X" CUT IN CONCRETE FOUND AT THE EAST TERMINUS RIGHT OF WAY LINE OF INTERNATIONAL PARKWAY (A 80-FOOT RIGHT-OF-WAY) AND THE NORTH TERMINUS RIGHT OF WAY LINE OF TANYA AVENUE (A VARIABLE WIDTH RIGHT-OF-WAY), AN INNER ELL CORNER OF SAID 111.3 ACRE TRACT, THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT:

THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE OF TANYA AVENUE, A SOUTH LINE OF SAID 111.3 ACRE TRACT, THE FOLLOWING FIVE (5) CALLS:

- NORTH 81°24'43" WEST, 80.04 FEET TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR CORNER;
- NORTH 08°41'10" EAST, 20.00 FEET TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR CORNER;
- NORTH 81°18'50" WEST, 145.13 FEET TO A 1/2" IRON ROD WITH RED PLASTIC CAP AT THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT WITH A RADIUS OF 500.00 FEET, A CENTRAL ANGLE OF 15°00'20", AND A CHORD BEARING AND DISTANCE OF NORTH 88°52'39" WEST, 130.57 FEET;
- IN A WESTERLY DIRECTION, WITH SAID NON-TANGENT CURVE TO THE LEFT, AN ARC DISTANCE OF 130.95 FEET TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR CORNER;
- SOUTH 83°38'19" WEST, 1,086.64 FEET TO A 1/2" IRON ROD FOUND FOR A SOUTHWEST CORNER OF SAID 111.3 ACRE TRACT, THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE NORTH 08°40'01" EAST, 1,029.99 FEET DEPARTING SAID NORTH RIGHT-OF-WAY LINE OF TANYA INTERNATIONAL PARKWAY, ALONG THE WEST LINE OF SAID 111.3 ACRE TRACT TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE DEPARTING SAID WEST LINE OF THE 111.3 ACRE TRACT AND OVER AND ACROSS SAID 111.3 ACRE TRACT THE FOLLOWING TWO (2) CALLS:

- SOUTH 81°17'03" EAST, 1,404.72 FEET TO A 1/2" IRON ROD WITH PLASTIC CAP STAMPED "KHA" SET FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;
- SOUTH 08°42'57" WEST, 749.82 FEET TO THE POINT OF BEGINNING AND CONTAINING 1,194,080 SQUARE FEET OR 27.412 ACRES OF LAND.

STATE OF TEXAS
COUNTY OF HIDALGO

OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I, CHARCO LAND SALES, LLC, AS OWNER (S) OF THE 27.412 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED SHARYLAND BUSINESS PARK, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATED TO PUBLIC USE THE STREET, PARK, AND EASEMENTS SHOWN HEREIN.

I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE 232.032 AND THAT:

- THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;
 - SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET, THE MINIMUM REQUIREMENTS OF THE STATE STANDARDS;
 - ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEETS, OR WILL MEET, THE MINIMUM STATE STANDARDS; AND
 - GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.
- I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

BY _____ DATE _____
CHARCO LAND SALES, LLC

SUBDIVISION PLAT OF
SHARYLAND BUSINESS PARK
BEING A 27.412 ACRE TRACT OF LAND SITUATED IN THE YLDEFONSO QUIROGA SURVEY, ABSTRACT NO. 43, PORCION NO. 60
CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, AND A PORTION OF CALLED 111.3 ACRE TRACT DESCRIBED TO CHARCO LAND SALES, LLC, RECORDED IN DOCUMENT NO. 2018-2878775 OF THE OFFICIAL PUBLIC RECORDS OF HIDALGO COUNTY, TEXAS AND A REMAINDER OF LOTS 77, 78, 87 AND 88 OF THE JOHN H. SHARY SUBDIVISION RECORDED IN VOLUME 1, PAGE 17, OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

Kimley»Horn

10101 Reunion Place, Suite 400
San Antonio, Texas 78216 FIRM # 10193973

Tel. No. (210) 541-9166
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
NA	SAB	JLJ	Jan 2025	249613000	2 OF 2



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 3/14/2025

SUBDIVISION NAME: SHARYLAND BUSINESS PARK - PROJECT CIRCLE

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Tanya Ave: dedication as needed for 80 ft. ROW
Paving: 52 ft. - 65 ft. Curb & gutter: both sides
- Label variable width ROW dimensions to establish ROW requirements, prior to final.
- Reference document numbers for existing ROW and provide a copy for staff review, prior to final.

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Non-compliance

International Parkway: dedication as needed for 80 ft. total ROW

Paving: 52 ft. - 65 ft. Curb & gutter: both sides

- Reference document numbers for existing ROW and provide a copy for staff review, prior to final.

- Remove proposed and relabel to 80' additional ROW dedicated by this plat, prior to final.

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Non-compliance

South Taylor Road: Dedication as required for 80 ft. total ROW

Paving: 52 ft. - 65 ft. Curb & gutter: both sides

- Documents for South Taylor Road are being reviewed by staff to establish requirements if applicable.

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Non-compliance

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

* 1,200 ft. Block Length

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac

**Subdivision Ordinance: Section 134-105

Applied

Applied

NA

NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft.</p> <ul style="list-style-type: none"> - Engineer must clarify if alley or service drive will be provided, prior to final. Alley or service drive cannot dead-end. - If service drive is proposed a plat note stating "A minimum 24 ft. private service drive will be established as part of the site plan and must be maintained by the lot owners and not the City of McAllen", prior to final. <p>*Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106</p>	Non-compliance
SETBACKS	
<p>* Front (International Parkway): In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.</p> <ul style="list-style-type: none"> - Revise front setback as shown above, prior to final. <p>**Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.</p> <ul style="list-style-type: none"> - Revise rear setback as shown above, prior to final. <p>**Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.</p> <ul style="list-style-type: none"> - Revise side setback as shown above, prior to final. <p>**Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Tanya Avenue: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.</p> <ul style="list-style-type: none"> - Revise corner setback as shown above, prior to final. <p>**Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Garage</p> <p>**Zoning Ordinance: Section 138-356</p>	NA
<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on International Parkway and Tanya Avenue</p> <ul style="list-style-type: none"> - Include a plat note as shown above wording to be finalized, prior to final. - Sidewalk requirements may increase to 5 ft. as per Engineering Department. <p>**Subdivision Ordinance: Section 134-120</p>	Non-compliance
<p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Required
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses</p> <ul style="list-style-type: none"> - Include a plat note as shown above, prior to final. <p>**Landscaping Ordinance: Section 110-46</p>	Non-compliance
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses</p> <ul style="list-style-type: none"> - Include a plat note as shown above, prior to final. <p>**Landscaping Ordinance: Section 110-46</p>	Non-compliance
<p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

NOTES	
* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy	Applied
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	Applied
* Common Areas, any private drives, etc. must be maintained by the lot owners and not the City of McAllen. - Include a plat note as shown above wording to be finalized, prior to final.	Non-compliance
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	Applied
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing: I-1 Proposed: I-1 ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA
PARKS	
* Land dedication in lieu of fee. Commercial developments do not apply to Parks.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Commercial developments do not apply to Parks.	NA
* Pending review by the City Manager's Office. Commercial developments do not apply to Parks.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. - As per Traffic Department, Trip Generation is approved, TIA level I is under review.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

* Traffic Impact Analysis (TIA) required prior to final plat. - As per Traffic Department, TIA level I is under review.	Required
COMMENTS	
Comments: - Any abandonments must be done by separate process, not by plat. If Canal ROW is abandoned, label with appropriate document number, prior to final. - Signature blocks on plat must comply with Section 134-61 of the Subdivision Ordinance. - Remove signature blocks that pertain to Hidalgo County for plat approval as they are not needed. - Subdivision application and plat show differing subdivision names, plat will need to be revised to reflect information provided on application, prior to final. *Must comply with City's Access Management Policy.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVAL.	Applied



LOCATION

SANITARY SEWER
STABILIZATION POND

87

PROPOSED SHARYLAND
BUSINESS PARK
PROJECT CIRCLE

SHARY SUBDIVISION

TANYA AVE

77

SAN GABRIEL ST

S TAYLOR RD

LOT 11-A

LOT 11-B

LOT 12

SHARYLAND SERVICE

CENTER No. 1

S INTERNATIONAL PKWY

SHARY

LOT 17A

Sub 2025-0030

City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Minor Plat of Valdez Estate</u>	
	Legal Description <u>A 1.25 Acre Tract (1.124 Ac. Net) of land, out of the North 7.00 acres of the East 17 Ac, Of Lot 298, John H. Shary Subdivision</u>	
	Location <u>West Side of N. Bentsen Road</u>	
	City Address or Block Number <u>3309 N Bentsen Rd</u>	
	Total No. of Lots <u>1</u> Total Dwelling Units <u>1</u> Gross Acres <u>1.25</u> Net Acres <u>1.124</u>	
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial (<u> </u> Acres) / <input checked="" type="checkbox"/> Residential (<u>1</u> Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R-1</u> Proposed Zoning <u>R-1</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date <u> </u>	
	Existing Land Use <u>Single-Family Residential</u> Proposed Land Use <u>Single-Family Res.</u>	
	Irrigation District # <u>1</u> Water CCN: <input checked="" type="checkbox"/> MPMU / <input type="checkbox"/> Sharyland Water SC Other <u> </u>	
Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # <u>281611</u>		
Estimated Rollback Tax Due <u>N.A.</u> Tax Dept. Review <u> </u>		
Owner	Name <u>Katty Valdez</u> Phone <u>956-467-2120</u>	
	Address <u>3309 N. Bentsen Rd.</u> E-mail <u>JKhomes16@yahoo.com</u>	
	City <u>McAllen</u> State <u>Tx</u> Zip <u>78501</u> <u>OK 2-21-25</u>	
Developer	Name <u>Same as Owner</u> Phone <u> </u>	
	Address <u> </u> E-mail <u> </u>	
	City <u> </u> State <u> </u> Zip <u> </u>	
	Contact Person <u> </u>	
Engineer	Name <u>Barrera Infrastructure Group Inc.</u> Phone <u>956-687-3355</u>	
	Address <u>3525 W. Freddy Gonzalez Ave, Suite B2</u> E-mail <u>rene@big-engineering.com</u>	
	City <u>Edinburg</u> State <u>TX</u> Zip <u>78539</u>	
	Contact Person <u>Rene Barrera, P.E.</u>	
Surveyor	Name <u>Homero L. Gutierrez</u> Phone <u>956-369-0988</u>	
	Address <u>P.O. Box 548</u> E-mail <u> </u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78505</u>	

RECEIVED

FEB 21 2025

KF

BY: MR.

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature

Katty Valdez

dotloop verified
02/20/25 10:52 AM CST
NSGW-95UR-ZBCH-FK16

02/20/2025

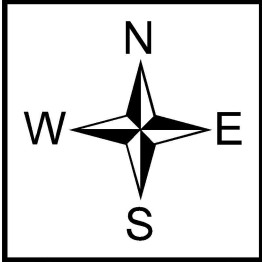
Print Name

Katty Valdez

Owner ☒

Authorized Agent ☐

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

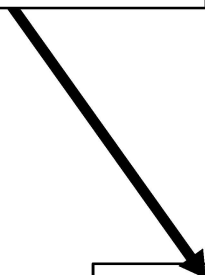


21

20

HIBISCUS

LOCATION



**PROPOSED
VALDEZ ESTATE**

N BENTSEN RD

298

10 9 8 7 6 4 5 4 3 2 1

GARDENIA AVE.

20 19 18 17 16 15 14 13 12 11

3

10 9 8 7 6 5 4 3 2 1

AMIGO PARK

FERN AVE.

SUBDIVISION UNIT No. 1

20 19 18 17 16 15 14 13 12 11

2

10 9 8 7 6 5 4 3 2 1

23

MINOR PLAT OF
VALDEZ ESTATE

McALLEN, TEXAS

A 1.25-ACRE TRACT (1.124 AC. NET) OF LAND, MORE OR LESS, OUT OF THE NORTH 7.00-ACRES OF THE EAST 17.00-ACRES, OF LOT 298, JOHN H. SHARY SUBDIVISION, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF HIDALGO

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS VALDEZ ESTATE SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSE THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

VALDEZ KATTY
3309 N. BENTSEN RD.
McALLEN, TEXAS 78501

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED KATTY VALDEZ, KNOWN TO ME TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE ____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR HIDALGO COUNTY, TEXAS
EXPIRATION DATE: _____

STATE OF TEXAS
CITY OF McALLEN

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAN CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN

DATE

STATE OF TEXAS
CITY OF McALLEN

I THE UNDERSIGNED, MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR

CITY OF McALLEN

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

I, HOMERO L. GUTIERREZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF McALLEN, TEXAS.

HOMERO L. GUTIERREZ, R.P.L.S.

DATE

REGISTERED PROFESSIONAL LAND SURVEYOR No. 2791

STATE OF TEXAS
COUNTY OF HIDALGO

I, RENE BARRERA, P.E., A LICENSED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS, LICENSE NUMBER TX. 86862, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN GIVEN PROPER AND ADEQUATE ENGINEERING CONSIDERATION.

RENE BARRERA, P.E.
LICENSED PROFESSIONAL ENGINEER No. 86862



LOT 298, JOHN H. SHARY
ROSALBA A. HINOJOSA
(DOC. #3545046, H.C.O.R.)

N 37°39'53" E

24.19'

N 04°39'25" E

75.24'

N 11°25'40" E

86.77'

S 81°32'00" E

290.00'

260.00'

301.00'

N 81°30'35" W

10' U.E.

183.00'

S 08°29'25" W

183.00'

30.00'

30.00'

30.00'

30.00'

30.00'

30.00'

30.00'

30.00'

30.00'

30.00'

30.00'

30.00'

30.00'

30.00'

LOT 298, JOHN H. SHARY

NELDA LOPEZ
(V. 2943/P. 105, H.C.D.R.)

S 81°32'00" E

290.00'

260.00'

LOT 1
1.124 AC.

10' U.E.

260.00'

301.00'

AMIGO PARK SUBDIVISION UNIT NO. 1
(V. 17/P. 32, H.C.M.R.)

GENERAL PLAT NOTES:

- MINIMUM SETBACK LINES:
ALL SETBACKS ARE IN ACCORDANCE WITH ZONING ORDINANCE OR GRATER FOR SITE PLAN OR EASEMENTS
***ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN
- FLOOD ZONED DESIGNATION: ZONE "C"
COMMUNITY PANEL NO. 480334-0400 C
MAP REVISED: NOV. 16, 1982
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB AS MEASURED AT FRONT AND CENTER OF LOT.
- THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF _____ AC-FT OF STORM RUNOFF.
- AN ENGINEERED DETENTION PLAN APPROVED BY CITY'S ENGINEERING DEPT IS REQUIRED PRIOR TO APPLICATION FOR BUILDING PERMIT.
- SITE PLAN APPROVAL REQUIRED BY PLANNING AND ZONING COMMISSION IF THE PROPERTY DEVELOPS FOR COMMERCIAL USE.
- UNLESS OTHERWISE NOTED ON THIS PLAT, THE LOTS ARE MONUMENTED BY 1/2 INCH WIDE BY 18" LONG IRON RODS.
- BENCHMARK: McALLEN SURVEY CONTROL POINT NO. 48 - LOCATED AT THE SOUTHEAST CORNER OF WARE ROAD AND MILE 5 ROAD; ELEVATION =115.95 (NAVD 88)
- A 6-FOOT OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL, AND COMMERCIAL, OR INDUSTRIAL ZONES/USES.
- AN 8-FOOT MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.

HIDALGO COUNTY IRRIGATION DISTRICT No. 1

THIS PLAT APPROVED BY HIDALGO COUNTY IRRIGATION DISTRICT No. 1 ON THIS ____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON H.C.I.D. No. 1 RIGHT OF WAY OR EASEMENTS WITH THE EXPRESSED WRITTEN PERMISSION OF THE H.C.I.D. No. 1.

PRESIDENT

SECRETARY

HIDALGO COUNTY DRAINAGE DISTRICT No. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

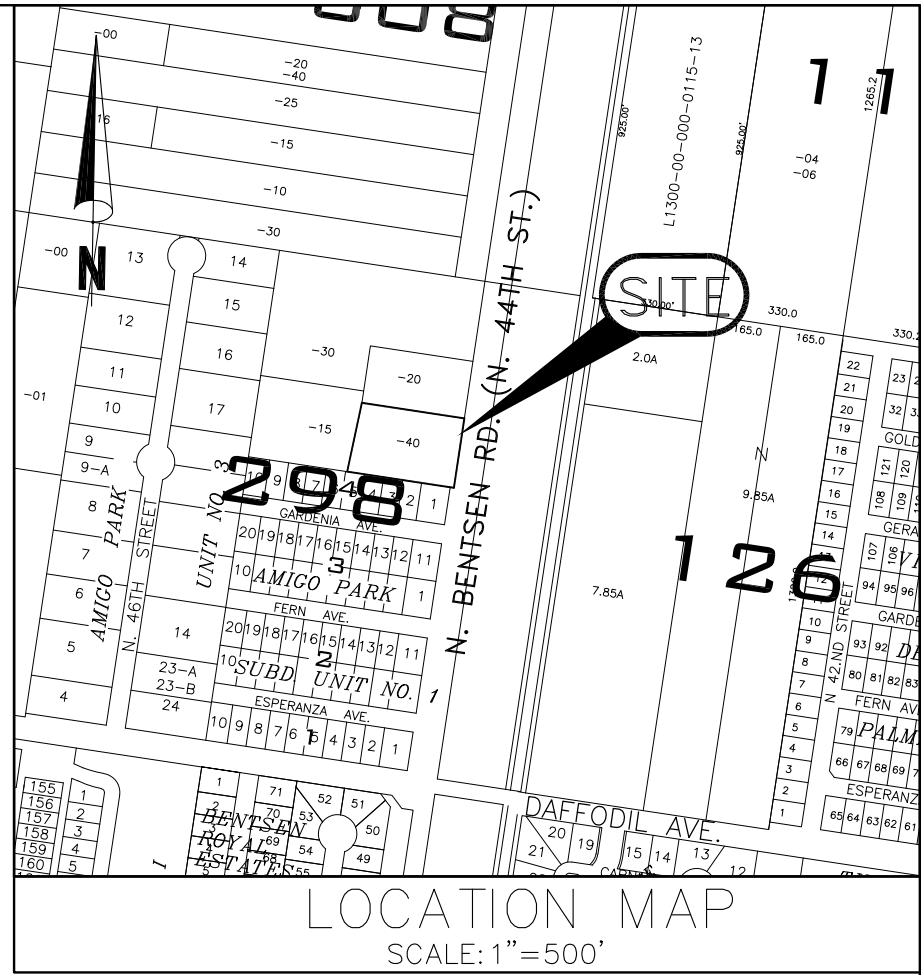
HIDALGO COUNTY DRAINAGE DISTRICT, NO. 1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE

PRELIMINARY PLAT REVIEW

THIS DOCUMENT HAS BEEN RELEASED FOR
PLAT REVIEW BY RENE BARRERA, P.E. No. 86862.
FEB. - 2025



MINOR PLAT OF VALDEZ ESTATE SUBDIVISION IS LOCATED WITHIN CITY LIMITS OF McALLEN, TEXAS, IN CENTRAL HIDALGO COUNTY AND IS FURTHER LOCATED ON THE WEST SIDE OF NORTH BENTSEN ROAD APPROXIMATELY 780 FEET NORTH OF DAFFODIL AVE.

SCALE: 1" = 30'
BEARING BASIS AS PER NAD 83
STATE PLANE SOUTH FIPS 4205 FEET

LEGEND

- - DENOTES FOUND 1/2" IRON ROD
- - DENOTES FOUND 1/2" IRON PIPE
- ⊗ - DENOTES SET 1/2" IRON ROD
- - DENOTES NO MONUMENT

METES AND BOUNDS DESCRIPTION

A 1.25-ACRE TRACT OF LAND, MORE OR LESS, OUT OF THE NORTH 7.00-ACRES OF THE EAST 17.00-ACRES, OF LOT 298, JOHN H. SHARY SUBDIVISION, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 17, MAP RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSE, LOCATED ON THE WEST SIDE OF NORTH BENTSEN ROAD APPROXIMATELY 780 FEET NORTH OF DAFFODIL AVE., IS DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

THE POINT OF COMMENCEMENT (P.O.C.) BEING AT A POINT OF REFERENCE ON THE APPARENT EXSITING ORIGINAL 40-FOOT RIGHT-OF-WAY CENTERLINE OF SAID NORTH BENTSEN ROAD FOR THE APPARENT NORTHEAST CORNER OF SAID LOT 298; THENCE, S 08°29'25"W, WITH THE SAID NORTH BENTSEN ROAD EXSITING ORIGINAL 40-FOOT RIGHT-OF-WAY CENTERLINE AND THE APPARENT EAST LOT LINE OF SAID 298, A DISTANCE OF 360.53 FEET TO A POINT FOR THE APPARENT SOUTHEAST CORNER OF A 1.00-ACRE TRACT VESTED IN XELDA LOPEZ (VOLUME 293, PAGE 105, DEED RECORDS, HIDALGO COUNTY, TEXAS) AND THE NORTHEAST CORNER SAID 1.25-ACRE TRACT OF LAND HEREIN DESCRIBED, AND ALSO BEING THE POINT OF BEGINNING OF SAID 1.25- ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, S 08°29'25"W, WITH THE SAID EAST LOT LINE OF LOT 298 AND OF SAID 1.25-ACRE TRACT, A DISTANCE OF 183.00 FEET TO A POINT FOR THE APPARENT ORIGINAL NORTHEAST CORNER OF AMIGO PARK SUBDIVISION (VOLUME 17, PAGE 32, MAP RECORDS, HIDALGO COUNTY, TEXAS) AND THE APPARENT SOUTHEAST CORNER OF SAID 1.25-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, N 81°30'35"W (N 81°23'00"W RECORDED), PARALLEL TO THE APPARENT NORTH LOT LINE OF SAID LOT 298, THE SOUTH LOT LINE OF SAID 1.25-ACRE TRACT, A DISTANCE OF 30.00 FEET PAST A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED 2791 ON THE APPARENT EXISTING WEST RIGHT-OF-WAY LINE OF SAID NORTH BENTSEN ROAD, CONTINUING WITH THE APPARENT NORTH LOT LINE OF SAID AMIGO PARK SUBDIVISION AND THE SAID SOUTH LOT LINE OF 1.25-ACRE TRACT FOR A TOTAL DISTANCE OF 301.00 FEET TO A NO. 4 REBAR FOUND FOR THE APPARENT SOUTHEAST CORNER OF A 1.29-ACRE TRACT OF LAND VESTED IN LEONEL BAZAN (DOCUMENT NO. 2490328, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS) AND THE SOUTHWEST CORNER OF SAID 1.25-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, N 04°39'25"E (N 04°47'00"E RECORDED), WITH THE APPARENT SOUTHERNMOST EAST LOT LINE OF SAID 1.29-ACRE TRACT AND THE SOUTHERNMOST WEST LOT LINE OF SAID 1.25-ACRE TRACT, A DISTANCE OF 75.24 FEET (75.00 FEET RECORDED) TO A NO. 4 REBAR FOUND WITH PLASTIC CAP FOR AN APPARENT EXTERNAL CORNER OF SAID 1.25-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, N 37°39'53"E (N 38°19'00"E RECORDED), WITH AN APPARENT EASTERN LOT LINE OF SAID 1.29-ACRE TRACT AND A WESTERN LOT LINE OF SAID 1.25-ACRE TRACT, A DISTANCE OF 24.19 FEET (26.80 FEET RECORDED) TO A NO. 4 REBAR FOUND FOR AN APPARENT INTERNAL CORNER OF SAID 1.25-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, N 11°25'40"E (N 10°12'00"E RECORDED), WITH THE APPARENT NORTHERNMOST EAST LOT LINE OF SAID 1.29-ACRE TRACT AND THE NORTHERNMOST WEST LOT LINE OF SAID 1.25-ACRE TRACT, A DISTANCE OF 86.77 FEET (85.00 FEET RECORDED) TO A NO. 4 REBAR FOUND FOR THE APPARENT SOUTHWEST CORNER OF SAID 1.00-ACRE TRACT VESTED IN XELDA LOPEZ AND THE NORTHWEST CORNER OF SAID 1.25-ACRE TRACT OF LAND HEREIN DESCRIBED;

THENCE, S 81°32'00"E, PARALLEL TO THE SAID NORTH LOT LINE OF LOT 298, AND WITH THE APPARENT NORTH LOT LINE OF SAID 1.25-ACRE TRACT, A DISTANCE 260.00 FEET PAST A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED 2791 ON THE SAID NORTH BENTSEN ROAD EXISTING WEST RIGHT-OF-WAY LINE, CONTINUING FOR A TOTAL DISTANCE OF 290.00 FEET TO THE SAID POINT ON THE EAST LOT LINE OF LOT 298 FOR THE SOUTHEAST CORNER OF SAID 1.00-ACRE TRACT VESTED IN XELDA LOPEZ AND THE NORTHEAST CORNER OF SAID 1.25-ACRE TRACT OF LAND HEREIN DESCRIBED, ALSO BEING THE POINT OF BEGINNING, CONTAINING A GROSS OF 1.25 ACRES OF LAND, OF WHICH 0.13 OF AN ACRE LIES IN EXISTING ROAD RIGHT-OF-WAY AND 0.02 OF AN ACRE LIES IN EXISTING GAS EASEMENT, FOR A NET OF 1.10 ACRES OF LAND, MORE OR LESS.

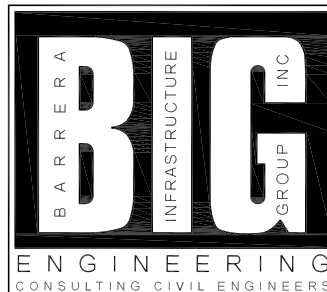


FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY



3525 W. FREDDY GONZALEZ AVE.
SUITE "B2"
EDINBURG, TX 78539
TEL: 956-687-3355
FAX: 956-992-8801
TEXAS FIRM NO. 6435



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 3/13/2025

SUBDIVISION NAME: VALDEZ ESTATE

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

North Bentsen Road: 50 ft. from centerline for 100 ft. total ROW
 Paving: 65 ft. Curb & gutter: both sides
 - Label total ROW after accounting for ROW dedication, prior to final.
 - No ROW dedication is shown on plat.
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

Non-compliance

Paving _____ Curb & gutter _____
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

Applied

* 1,200 ft. Block Length
 **Subdivision Ordinance: Section 134-118
 * 900 ft. Block Length for R-3 Zone Districts
 **Subdivision Ordinance: Section 134-118
 * 600 ft. Maximum Cul-de-Sac
 **Subdivision Ordinance: Section 134-105

Applied

NA

NA

ALLEYS

ROW: 20 ft. Paving 16 ft.
 *Alley/service drive easement required for commercial properties
 **Subdivision Ordinance: Section 134-106

NA

SETBACKS

* Front: 45 ft. or in line with average setbacks of existing structures or greater for easements, whichever is greater applies.
 - Revise front setback as shown above, prior to final.
 **Zoning Ordinance: Section 138-356
 **Subdivision Ordinance: Section 134-106
 * Rear: In accordance with the Zoning Ordinance or greater for easements
 - Revise rear setback note as shown above, prior to final.
 **Zoning Ordinance: Section 138-356
 * Sides: In accordance with the Zoning Ordinance or greater for easements
 - Revise side setback note as shown above, prior to final.
 **Zoning Ordinance: Section 138-356
 * Corner
 **Zoning Ordinance: Section 138-356
 * Garage: 18 ft. except where greater setback is required, greater setback applies
 - Include a plat note as shown above, prior to final.
 **Zoning Ordinance: Section 138-356

Non-compliance

Non-compliance

Non-compliance

NA

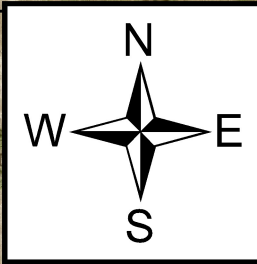
Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p> <p>- Note on the plat if existing structures will remain: Existing structures remain as now exist; however, once redevelopment and/or an expansion occurs, then new setbacks will apply.</p>	Required
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on North Bentsen Road</p> <p>- Include a plat note as shown above wording to be finalized, prior to final.</p> <p>- Sidewalk requirements may increase to 5 ft. per Engineering Department</p> <p>**Subdivision Ordinance: Section 134-120</p>	Non-compliance
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses</p> <p>**Landscaping Ordinance: Section 110-46</p>	Applied
<p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses</p> <p>**Landscaping Ordinance: Section 110-46</p>	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
NOTES	
**Must comply with City Access Management Policy	Applied
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	NA
* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.	Applied
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.	NA
**Section 110-72 applies if public subdivision is proposed.	
**Section 134-168 applies if private subdivision is proposed.	
**Landscaping Ordinance: Section 110-72	
**Subdivision Ordinance: Section 134-168	
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.	NA
**Section 110-72 applies if public subdivision is proposed.	
**Section 134-168 applies if private subdivision is proposed.	
**Landscaping Ordinance: Section 110-72	
**Subdivision Ordinance: Section 134-168	
LOT REQUIREMENTS	
<p>* Lots fronting public streets</p> <p>**Subdivision Ordinance: Section 134-1</p>	Applied
<p>* Minimum lot width and lot area</p> <p>**Zoning Ordinance: Section 138-356</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

ZONING/CUP	
* Existing: R-1 Proposed: R-1 ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA
PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Fees are payable prior to recording and can go up or down; they are dependent on the amount of units. Must comply with Parkland dedication ordinance requirements prior to recording.	Required
* Pending review by the City Manager's Office.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.	Applied
- As per Traffic Department, Trip Generation is waived for 1 lot single family home.	
* Traffic Impact Analysis (TIA) required prior to final plat.	NA
COMMENTS	
Comments: - Any abandonments must be done by separate process, not by plat. - Provide an ownership map for the surrounding lots, prior to final to make sure no parcel will be landlocked if property is platted. - Remove plat note #6 as it is not needed. - Subdivision name on application and on plat will need to be revised to only show Valdez Estate. - All signature blocks must comply with Section 134-61 of the subdivision ordinance, prior to recording. *Must comply with City's Access Management Policy.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVAL.	Applied



LOCATION



**PROPOSED
VALDEZ ESTATE**

N BENTSEN RD

GARDENIA AVE.

GARDENIA AVE

AMIGO PARK

FERN AVE.

FERN AVE

10 9 8 7 6 4 5 4 3 2 1

20 19 18 17 16 15 14 13 12 11

10 9 8 7 6 5 4 3 2 1

10 9 8 7 6 5 4 3 2 1

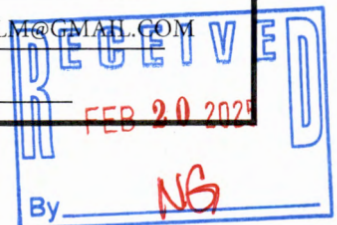
SUB2025-0028

City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name	CHRISTIAN'S MANOR SUBDIVISION		
	Legal Description	A 1.396-ACRE (1.386) TRACT OF LAND OUT OF LOT 69, MCALLEN SECOND SUBURBAN CITRUS GROVES SUBDIVISION, VOLUME 5, PAGE 27, HIDALGO COUNTY MAP RECORDS, TEXAS.		
	Location	NORTH SIDE OF JORDAN RD W AND 650 FT WEST OF S 23RD ST.		
	City Address or Block Number	2420 Jordan Avenue		
	Total No. of Lots	1	Total Dwelling Units	8
	Gross Acres	1.396	Net Acres	1.05
	<input checked="" type="checkbox"/> Public Subdivision/ <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No			
	For Fee Purposes: <input type="checkbox"/> Commercial (____ Acres)/ <input checked="" type="checkbox"/> Residential (1 Lots) Replat: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No			
	Existing Zoning	R-3A	Proposed Zoning	R3-A
	Applied for Rezoning	<input checked="" type="checkbox"/> No/ <input type="checkbox"/> Yes: Date _____		
Existing Land Use	Open Land	Proposed Land Use	Department complex	
Irrigation District #	No. 1	Water CCN:	<input checked="" type="checkbox"/> MPU/ <input type="checkbox"/> Sharyland Water SC Other _____	
Agricultural Exemption:	<input checked="" type="checkbox"/> Yes/ <input type="checkbox"/> No	Property ID:	230715	
Estimated Rollback Tax Due	0	Tax Dept. Review	I.D.L	
Owner	Name	The RGV Inclusive Project Inc.		
	Address	2912 S. Jackson Rd		
	City	McAllen	State	TX Zip 78503
Developer	Name	Community Hope Projects Inc		
	Address	2332 Jordan Rd		
	City	McAllen	State	TX Zip 78503
	Contact Person	Noel Marquez		
Engineer	Name	S2 Engineering PLLC		
	Address	2020 E Griffin Pkwy		
	City	MISSION	State	TX Zip 78572
	Contact Person	LUIS MARTINEZ		
Surveyor	Name	S2 Engineering PLLC		
	Address	2020 E Griffin Pkwy		
	City	MISSION	State	TX Zip 78572



Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 2-6-25

Print Name JOSE N. SALDIVAR P.E.

Owner ☐ Authorized Agent ☒

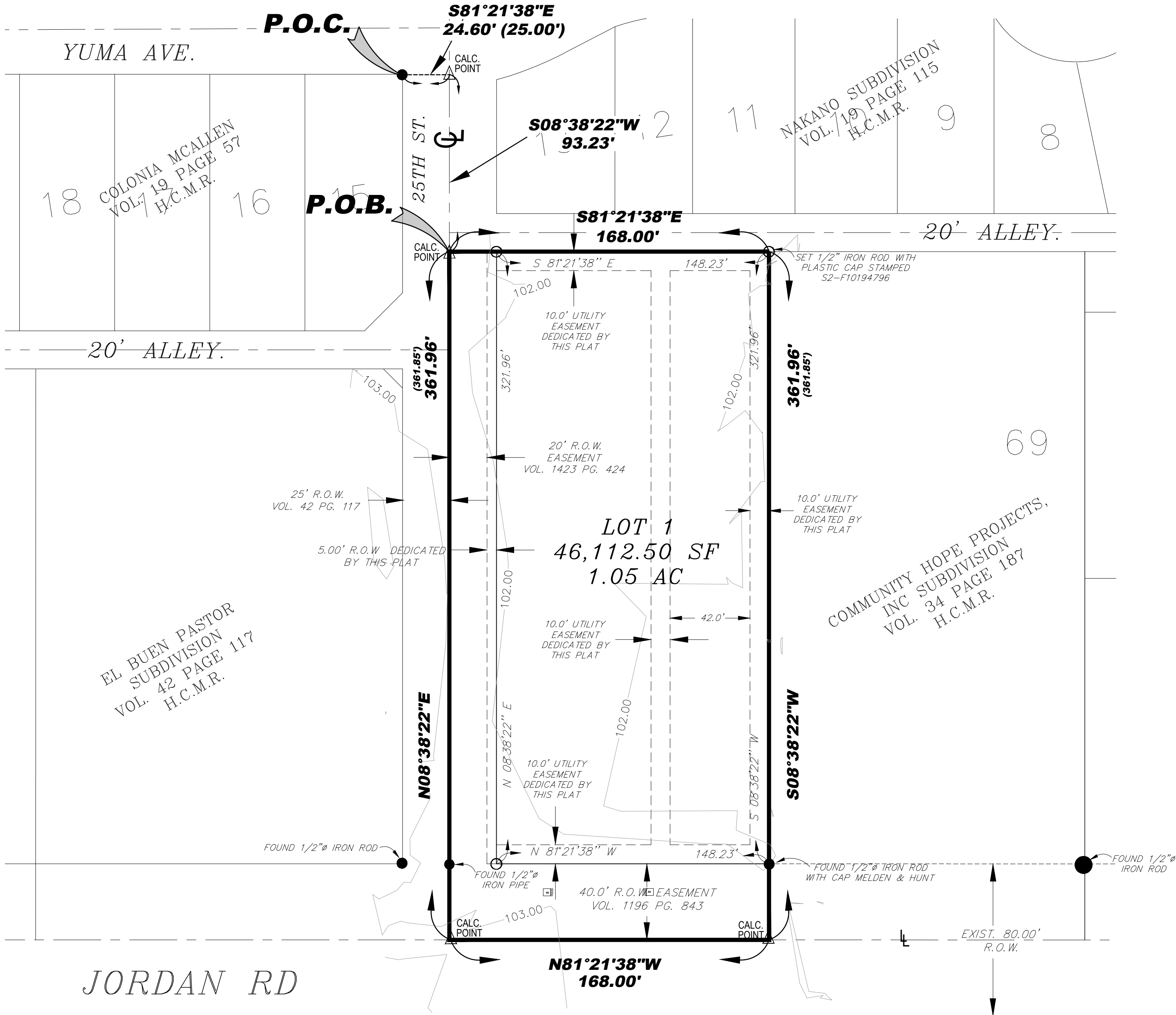
The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion



SUBDIVISION PLAT OF:

CHRISTIAN'S MANOR SUBDIVISION

A 1.396-ACRE (1.386) TRACT OF LAND OUT OF LOT 69, McALLEN SECOND SUBURBAN CITRUS GROVES SUBDIVISION, AS PER MAP OR PLAT RECORDED THEREOF IN VOLUME 5, PAGE 27, HIDALGO COUNTY MAP RECORDS, TEXAS, AND OUT OF A 2.76 ACRE TRACT CONVEYED TO COMMUNITY HOPE PROJECTS, INC., A TEXAS NONPROFIT CORPORATION AS DESCRIBED IN A CORRECTION SPECIAL WARRANTY DEED WITH REVISIONARY CLAUSES AND CONDITIONAL LIMITATIONS RECORDED IN DOCUMENT No. 1631573, HIDALGO COUNTY OFFICIAL RECORDS, TEXAS, DATED JUNE 23 2006 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS.



METES AND BOUNDS:

A 1.396-ACRE (1.386) TRACT OF LAND OUT OF LOT 69, McALLEN SECOND SUBURBAN CITRUS GROVES SUBDIVISION, AS PER MAP OR PLAT RECORDED THEREOF IN VOLUME 5, PAGE 27, HIDALGO COUNTY MAP RECORDS, TEXAS, AND OUT OF A 2.76 ACRE TRACT CONVEYED TO COMMUNITY HOPE PROJECTS, INC., A TEXAS NONPROFIT CORPORATION AS DESCRIBED IN A CORRECTION SPECIAL WARRANTY DEED WITH REVISIONARY CLAUSES AND CONDITIONAL LIMITATIONS RECORDED IN DOCUMENT No. 1631573, HIDALGO COUNTY OFFICIAL RECORDS, TEXAS, DATED JUNE 23 2006 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS.

COMMENCING AT A 1/2-INCH IRON ROD FOUND ON THE NORTHEAST CORNER OF LOT 15 OF COLONIA McALLEN SUBDIVISION No.3, AS PER MAP OR PLAT RECORDED THEREOF IN VOLUME 19, PAGE 57, HIDALGO COUNTY MAP RECORDS, TEXAS, SAID LOT 15 BEING CONVEYED TO JESUS GERARDO CANTU AS DESCRIBED IN A GENERAL WARRANTY DEED RECORDED IN DOCUMENT No.1393525, HIDALGO COUNTY OFFICIAL RECORDS, TEXAS. THENCE, S 81° 21' 38" E, A DISTANCE OF 24.60 FEET (25.00') TO A CALCULATED POINT ON THE CENTERLINE OF 25TH STREET (50.00' WIDE R.O.W.) THENCE, S 08° 38' 22" W, ALONG THE CENTERLINE OF SAID 25TH STREET, SAME BEING THE WEST LINE OF LOT 69, OF SAID McALLEN SECOND SUBURBAN CITRUS GROVES SUBDIVISION, A DISTANCE OF 93.23 FEET TO A CALCULATED POINT ON THE SOUTHWEST CORNER OF NAKANO SUBDIVISION, AS PER MAP OR PLAT RECORDED THEREOF IN VOLUME 19, PAGE 115, HIDALGO COUNTY MAP RECORDS, TEXAS SAME BEING ALONG THE SOUTH RIGHT-OF-WAY LINE OF A 20 FOOT ALLEY OF SAID NAKANO SUBDIVISION FOR THE NORTHWEST CORNER AND THE POINT OF BEGINNING OF THE TRACT HEREIN DESCRIBED;

THENCE, S 81° 21' 38" E, ALONG THE SOUTH LINE OF SAID 20-FOOT ALLEY, AT A DISTANCE OF 19.77 FEET (20.00') PASSING THE EAST LINE OF A 20-FOOT EASEMENT RECORDED IN VOLUME 1423, PAGE 424, HIDALGO COUNTY OFFICIAL RECORDS, TEXAS AND CONTINUING A TOTAL DISTANCE OF 168.00 FEET TO A 1/2-INCH IRON ROD SET WITH PLASTIC CAP STAMPED S2-F10194796, FOR THE NORTHEAST CORNER OF THE TRACT HEREIN DESCRIBED;

THENCE, S 08° 38' 22" W, PARALLEL WITH THE WEST LINE OF SAID LOT 69, McALLEN SECOND SUBURBAN CITRUS GROVES SUBDIVISION, AT A DISTANCE OF 321.96 FEET PASSING A 1/2-INCH IRON ROD FOUND ALONG THE NORTH RIGHT OF WAY LINE OF JORDAN ROAD (80.00' WIDE R.O.W.), AND CONTINUING A TOTAL DISTANCE OF 361.96 FEET (361.85') TO A CALCULATED POINT ALONG THE CENTER LINE OF JORDAN ROAD, FOR THE SOUTHEAST CORNER OF THE TRACT HEREIN DESCRIBED;

THENCE, N 81° 21' 38" W, ALONG THE CENTER LINE OF JORDAN ROAD (80.00' WIDE R.O.W.) SAME BEING THE SOUTH LINE OF SAID LOT 69, McALLEN SECOND SUBURBAN CITRUS GROVES SUBDIVISION, A DISTANCE OF 168.00 FEET TO A CALCULATED POINT ON THE INTERSECTION OF JORDAN ROAD, (80.00' WIDE R.O.W.) AND 25TH STREET (50.00' WIDE R.O.W.) SAME BEING THE SOUTHWEST CORNER OF SAID LOT 69 FOR THE SOUTHWEST CORNER OF THE TRACT HEREIN DESCRIBED;

THENCE, N 08° 28' 22" E, ALONG THE WEST LINE OF SAID LOT 69, SAME BEING THE EAST LINE OF EL BUEN PASTOR SUBDIVISION AS PER MAP OR PLAT RECORDED THEREOF IN VOLUME 42, PAGE 117, HIDALGO COUNTY MAP RECORDS, TEXAS, AT A DISTANCE OF 39.98 FEET TO A 1/2-INCH IRON PIPE FOUND ALONG THE NORTH RIGHT OF WAY LINE OF JORDAN ROAD (80.00' WIDE R.O.W.) AND ALONG THE CENTERLINE OF SAID 25TH STREET, CONTINUING A TOTAL DISTANCE OF 361.96 FEET (361.85') TO THE POINT OF BEGINNING AND CONTAINING 1.396-ACRE (1.386) TRACT OF LAND, MORE OR LESS.

PLAT NOTES AND RESTRICTIONS:

1.- FLOOD ZONE DESIGNATION: ZONE "B" AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO A 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVELS FROM THE BASE FLOOD, (MEDIUM SHADING), COMMUNITY-PANEL NUMBER: 480343-0010 C. REVISED DATE: NOVEMBER 2, 1982.

2.- GENERAL NOTE FOR SINGLE FAMILY RESIDENCES: NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPYING THE LOT, NO COMMERCIAL USE SHALL BE ALLOWED ON ALL INTERNAL LOTS.

3.- REQUIRED DETENTION FOR STORM SEWER RUNOFF PER THE APPROVED DRAINAGE REPORT SHALL BE 9.765 CUBIC FEET. STORM WATER RUNOFF GENERATED FROM DEVELOPMENT SHALL BE DETAINED ON PROPOSED DETENTION POND LOCATED ON THE WEST SIDE OF THE PROPERTY AS PER WATER WILL THEN DISCHARGE TO THE EXISTING CITY OF McALLEN STORM SYSTEM THROUGH AN INLET LOCATED ON THE SOUTH SIDE OF THE PROPERTY. DETENTION EXCAVATION WILL BE PROVIDED AT THE TIME OF SITE PLAN AND BUILDING PERMIT APPROVAL STAGE. AGE DITCH LOCATED ON THE SOUTH SIDE OF THIS PROPOSED DEVELOPMENT.

4.- MINIMUM FINISH FLOOR NOTE: MINIMUM FINISH FLOOR ELEVATION SHALL BE 104.50 OR 18" ABOVE TOP OF CURB MEASURED AT FRONT CENTER OF EACH LOT OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME FOR APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISH FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.

5.- THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES OF THIS SUBDIVISION.

6.- MINIMUM BUILDING SETBACK LINES:
FRONT15.00' OR GREATER FOR EASEMENTS
REAR5.00' OR GREATER FOR EASEMENTS
SIDE.....IN ACCORDANCE WITH ZONING ORDINANCE OR GREATER FOR EASEMENTS
CORNER.....10.00' OR GREATER FOR EASEMENTS, WHICHEVER IS GREATER

7.- 4 FT WIDE MINIMUM SIDEWALK REQUIRED ON JORDAN ROAD

8.- NO MORE THAN ONE SINGLE-FAMILY DWELLING PER LOT.

9.- ALL LOT CORNERS SET HALF INCH (1/2) IRON RODS OR AS NOTED.

10.- BENCHMARK NOTE: CITY OF McALLEN No. MC 87, EAST SIDE OF McCOLL ROAD AND SOUTH SIDE OF PECAN BLVD NEXT TO THE U.S. POST OFFICES ELEVATION 115 FEET.

11.- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, SHEDS, SHRUBS, TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.

12.- ALL IRRIGATION EASEMENTS ARE EXCLUSIVE TO HIDALGO WATER IMPROVEMENT DISTRICT NO. 1, AND THE DISTRICT ALLOWS NO OTHER UTILITIES OR USE WITHOUT ITS EXPRESS WRITTEN APPROVAL.

13.- EASEMENTS SHOWN ON THIS PLAT ARE DEDICATED BY THIS PLAT.

14.- 6 FT OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL AND INDUSTRIAL ZONES/USES AND ALONG WISCONSIN ROAD.

15.- AN 8 FT MASONRY WALL IS REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL INDUSTRIAL OR MULTIFAMILY RESIDENTIAL ZONES/USES.

16.- AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF McALLEN ENGINEER DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS.

17.- NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG JORDAN ROAD.

18.- THIS DEVELOPMENT IS CONSIDERED PUBLIC SUBDIVISION.

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED AS CHRISTIAN'S MANOR SUBDIVISION, DO HEREBY GRANT AND EASEMENT THE CITY OF McALLEN AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE USE OF STREETS, ALLEYS, AND EASEMENTS THEREIN SHOWN, SURFACE USE OF THE STREETS AND ALLEYS IS RESTRICTED TO THE EMPLOYEES OR AGENTS OF THE CITY OF McALLEN, EMPLOYEES OF UTILITIES OPERATING UNDER FRANCHISE TO THE CITY OF McALLEN, RESIDENTS OF THE SUBDIVISION, AND THEIR GUESTS.

FELIPE CAVAZOS
RGV Inclusive Project, Inc.
2912 S. Jackson Rd
McAllen, Texas 78503

DATE:

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED _____, PROVED TO ME THROUGH HER TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVER LICENSE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME FIRST DULY SWORN, DE-CLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREBY EXPRESSED.
GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC- STATE OF TEXAS

LEGEND	
⊗	1/2" IRON ROD W/CAP FOUND
●	1/2" IRON PIN FOUND
⊙	1/2" IRON PIN SET "S2 F101"
□	CONCRETE MONUMENTS SET
△	CALCULATE POINT

STATE OF TEXAS
CITY OF McALLEN
PLANNING AND ZONING COMMISSION

I, EDGAR GARCIA, DIRECTOR OF THE PLANNING AND ZONING DEPARTMENT OF THE CITY OF McALLEN, HEREBY CERTIFY THIS CHRISTIAN'S MANOR SUBDIVISION PLAT WHICH CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

DATED THIS _____ DAY OF _____, 20____

EDGAR GARCIA
DIRECTOR OF PLANNING

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE

HIDALGO COUNTY WATER IMPROVEMENT DISTRICT No. 1

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY WATER IMPROVEMENT DISTRICT NO. 1

DATE THIS _____ DAY OF _____, 20____

- NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON HIDALGO COUNTY WATER IMPROVEMENT DISTRICT NO. 1 RIGHTS-OF-WAYS AND/OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HIDALGO COUNTY IMPROVEMENT DISTRICT NO. 1.
- IT IS UNDERSTOOD THAT THE RATE OF FLOW OF STORM WATER FOR THE DEVELOPMENT WILL BE NO GREATER THAN THE RATE OF FLOW OF STORM WATER WHEN THE LAND WAS IN AGRICULTURAL USE.
- HCD1 WILL NOT BE RESPONSIBLE FOR THE STORM/DRAINAGE WATER SYSTEM TO ANY LOT WITHIN THIS SUBDIVISION, AS WELL, HCD1 WILL NOT RESPONSIBLE FOR THE DELIVERY OF WATER TO ANY LOT WITHIN THIS SUBDIVISION, IF DESIRED, THIS WILL NOT BE AT THE DISTRICTS EXPENSE.
- HCD1 HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE STORM SEWER OR UTILITIES SYSTEMS DESCRIBED ARE APPROPRIATE FOR THE PARTICULAR SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA, THE DEVELOPER AND HIS ENGINEER ARE RESPONSIBLE FOR THEIR DETERMINATIONS.
- HCD1 EXCLUSIVE EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, FENCES, SHRUBS, TREES, AND OTHER PLANTINGS AND OTHER OBSTRUCTION THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.

GENERAL MANAGER
HIDALGO COUNTY IMPROVEMENT DISTRICT NO. 1.



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY



S2 ENGINEERING, PLLC
CIVIL ENGINEERING & LAND SURVEYING
TBPE F-22858 TBLs 10194796
2020 E GRIFFIN PKWY, MISSION, TX 78574 956-403-9787
SZENGINEERINGPLLC.COM

STATE OF TEXAS
COUNTY OF HIDALGO
I, RESTITUTO A. ASCANO, III, A REGISTERED PROFESSIONAL PUBLIC SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION AND THAT ASPECTS OF IT ARE IN ACCORDANCE WITH THE CITY OF McALLEN SUBDIVISION ORDINANCE AND ALL STATES GOVERNING SURVEYS.



PRELIMINARY

RESTITUTO A. ASCANO, III, R.P.L.S. DATE
R.P.L.S. No. 6225

STATE OF TEXAS
COUNTY OF HIDALGO
I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.



PRELIMINARY

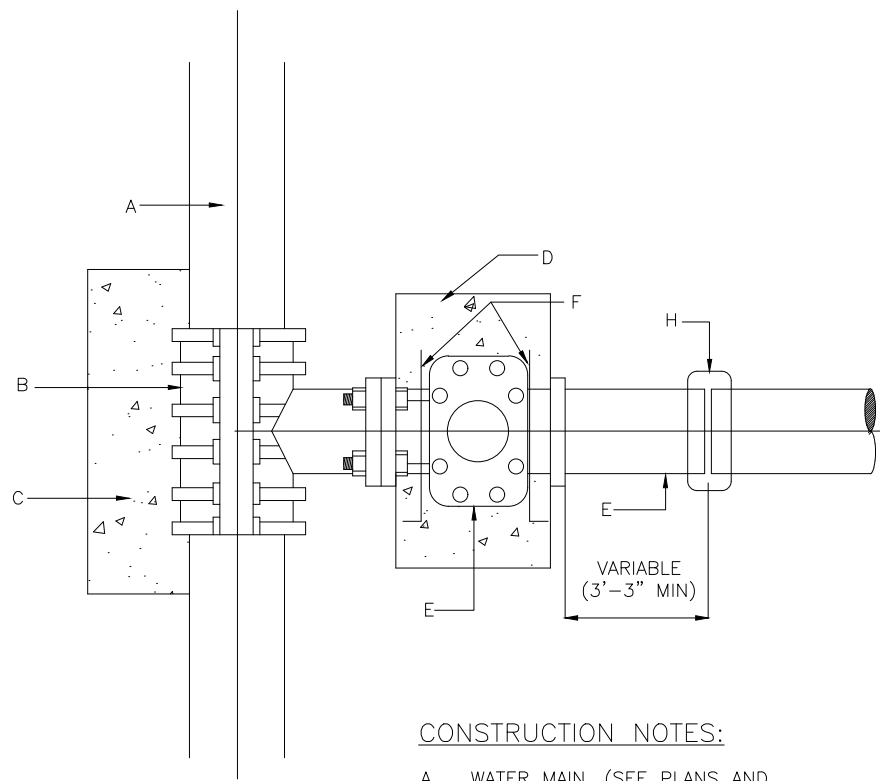
JOSE N. SALDIVAR, P.E., C.F.M.
LICENSED PROFESSIONAL ENGINEER No. 94076
S2 ENGINEERING, PLLC
2020 E GRIFFIN PKWY
MISSION, TEXAS 78574

DATE

PRINCIPAL CONTACTS:			
Name	Address	City & Zip	Phone
OWNER: The RGV Inclusive Project Inc	2912 S. Jackson Rd	McALLEN, TEXAS 78503	(956)787-1891
ENGINEER: JOSE N. SALDIVAR P.E., C.F.M.	2020 E GRIFFIN PKWY	MISSION, TEXAS 78574	(956)403-9787
SURVEYOR: RESTITUTO A. ASCANO III	2020 E GRIFFIN PKWY	MISSION, TEXAS 78574	(956)403-9787

WATER DISTRIBUTION :

CHRISTIAN'S MANOR
SUBDIVISION



GENERAL NOTES:

- ALL CONCRETE TO HAVE A MINIMUM OF 28 DAYS COMPRESSIVE STRENGTH OF 3,000 P.S.I.
- ANCHOR RODS.
- P.V.C. PIPE.
- SIMPLEX COUPLING.

CONSTRUCTION NOTES:

- WATER MAIN (SEE PLANS AND SPECIFICATION).
- TAPPING SLEEVE (SIZE AS REQUIRED).
- CONCRETE SUPPORT UNDER TAPPING SLEEVE AND BEHIND.
- THURST BLOCK AS PER SPECIFICATIONS.
- FLANGED AND HUB ENDS "O" RING SEALS WITH 2" SQUARE WRENCH NUT GATE VALVE.
- ANCHOR RODS.
- P.V.C. PIPE.
- SIMPLEX COUPLING.

WATER TAPPING SLEEVE
& VALVE INSTALLATION

NOTES:

- CONTRACTOR TO CONTACT ALL UTILITIES COMPANIES IN THE AREA FOR FIELD VERIFICATION OF EXISTING FACILITIES. UTILITY COMPANY'S SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

CITY OF MCALLEN	956-972-7800
CENTRAL POWER & LIGHT CO.	800-274-2611
SOUTHERN UNION GAS CO.	800-743-2045
AT&T	800-288-2020
U.S. SPRINT CO.	956-948-3100
TIME WARNER CABLE	800-222-5355
TX. EXCAVATION SAFETY SYSTEM	800-344-8377
- CONTRACTOR TO EXPOSE ANY EXISTING FACILITY THAT MAY BE IN CONFLICT PRIOR TO START OF CONSTRUCTION.
- ALL EXISTING CITY UTILITIES (WATER/SEWER) SHOWN ARE FROM BEST INFORMATION AVAILABLE. NEITHER THE ENGINEER NOR THE CITY IS RESPONSIBLE FOR THE ACCURACY OF LOCATION.
- CONTRACTOR SHALL AT ALL TIMES ALLOW ACCESS TO EXISTING DRIVEWAYS OR PROVIDE/MAINTAIN ALTERNATIVE ALL WEATHER ROUTES.
- ALL TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- TRENCHES OR EXCAVATIONS MAY NOT BE LEFT OPEN OVERNIGHT UNLESS AUTHORIZED IN WRITING BY THE ENGINEERING DEPARTMENT. IN SUCH CASES, THE CONTRACTOR MUST PROVIDE 1/2" STEEL PLATES OVER PLATES WITH ANCHORING AS PER SPECIFICATIONS TO BE PROVIDED BY THE CITY OF MCALLEN.
- ANY DAMAGE TO FENCES, WALKS, OR PRIVATE PROPERTY SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ALL EXCAVATED MATERIAL AND DEBRIS FROM THE SITE AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING CONSTRUCTION MATERIALS TESTING THROUGH THE CITY'S DESIGNATED FIELD REPRESENTATIVE 24 HOURS PRIOR TO TESTING. CONTRACTOR IS RESPONSIBLE FOR ADHERING CLOSELY TO TESTING SCHEDULE AND AVOID ANY DELAYS IN THE FIELD.

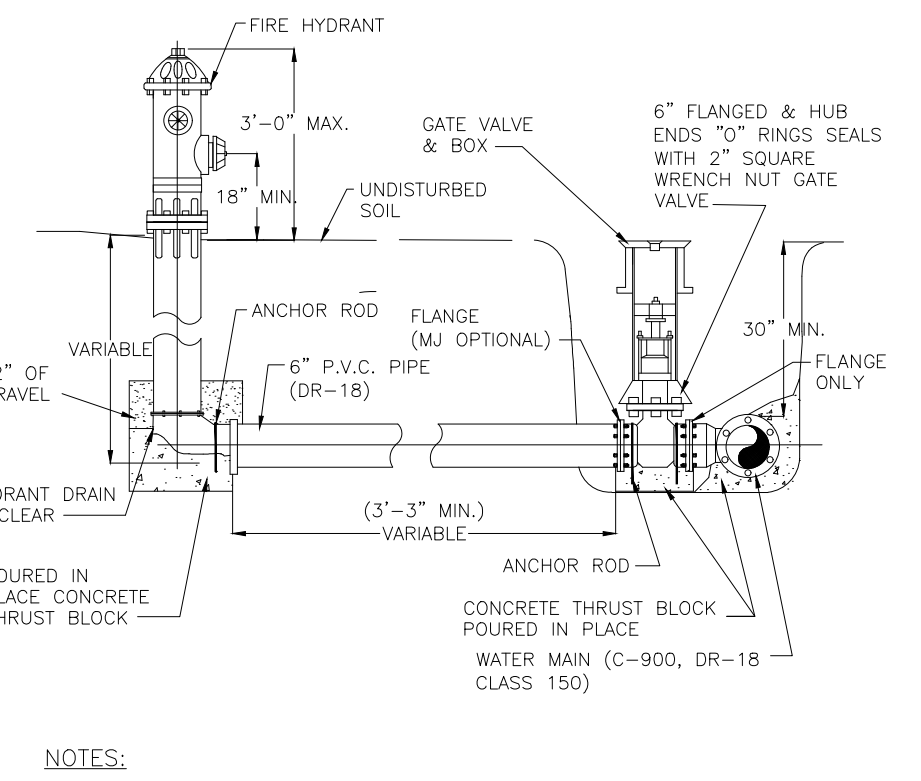
WATER UTILITIES
GENERAL NOTES

NOTES:

- SAND BEDDING PLACED, HAND LEVELED, AND COMPACTED BEFORE PIPE IS LAID, UP TO BOTTOM OF PIPE (MIN. THICKNESS = 6").
 - SAND BACKFILL PLACED AND COMPACTED AFTER PIPE IS LAID, FROM BOTTOM OF PIPE TO 6" ABOVE THE TOP OF PIPE. WORK IN UNDER PIPE HAUNCHES AND COMPACT BY HAND TO SPRING LINE. USE VIBRATORY-TYPE COMPACTORS FOR LIFTS ABOVE THE SPRING LINE. MAXIMUM 6" LIFTS.
 - MINIMUM TRENCH WIDTH: PIPE O.D. + 16" (FOR 16" PIPE AND SMALLER) OR PIPE O.D. X 1.25 + 12" (FOR 18" PIPE AND LARGER).
 - (CITY STREETS, PARKING AREA, AND DRIVEWAYS) SELECT EXCAVATED BACKFILL MECHANICALLY COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6" MAX. LIFTS.
 - (STATE MAINTAINED ROADWAY) SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - EXCAVATED EARTH BACKFILL MECHANICALLY COMPACTED IN 12" MAX. LIFTS. MINIMUM STANDARD PROCTOR DENSITY: 90% OUTSIDE RIGHT OF WAY; 95% INSIDE RIGHT OF WAY.
- EMBEDMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D 2321. EMBEDMENT MATERIAL SHALL BE CLASS II OR III WITH < 50% PASSING A No. 200 SIEVE AND PLASTICITY INDEX < 7.
- WHERE THIS STANDARD CONFLICTS WITH THE RECOMMENDATION OF ANY GEOTECHNICAL REPORT, OBTAIN WRITTEN CLARIFICATION FROM THE UTILITY ENGINEER PRIOR TO CONSTRUCTION.
- FOUNDATION PREPARATION USING COBBLES, GRAVEL, CEMENT STABILIZATION, OR OTHER METHODS AS DIRECTED BY THE ENGINEER SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.
- BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, AND COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6" MAXIMUM LIFTS. STRUCTURE BACKFILL MATERIAL SHALL BE SAND.

WATER LINE AND SEWER
FORCEMAIN BEDDING DETAIL
SHEET 1 OF 2

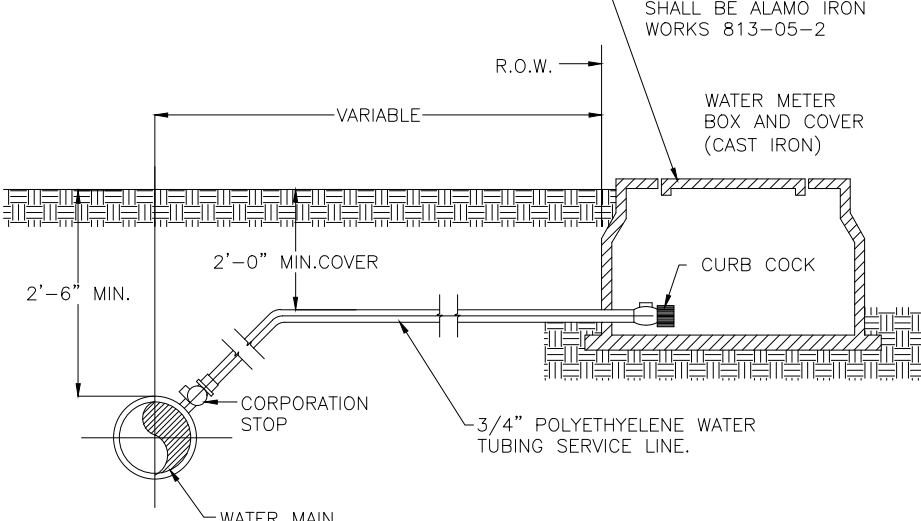
WATER LINE AND SEWER
FORCEMAIN BEDDING DETAIL
SHEET 2 OF 2



NOTES:

- FIRE HYDRANT ELEVATIONS WILL BE SET BY THE ENGINEER.
- FLANGE MUST BE AT FINISHED GRADE OR 3" TO 6" ABOVE 2" FLANGE MUST BE AT FINISHED GRADE OR 3" TO 6" ABOVE TOP OF CURB.
- FLANGED GATE VALVE INSTALLATION TO BE USED WITH 10" WATER LINES OR GREATER.
- BBF TEES TO BE USED WITH 10" WATER LINE OR GREATER BBF TEES TO BE USED WITH SMALLER DIA. PIPES.
- ACCEPTABLE HYDRANT BRANDS ARE MUELLER, AND KENNEDY.

TYPICAL FIRE HYDRANT
INSTALLATION



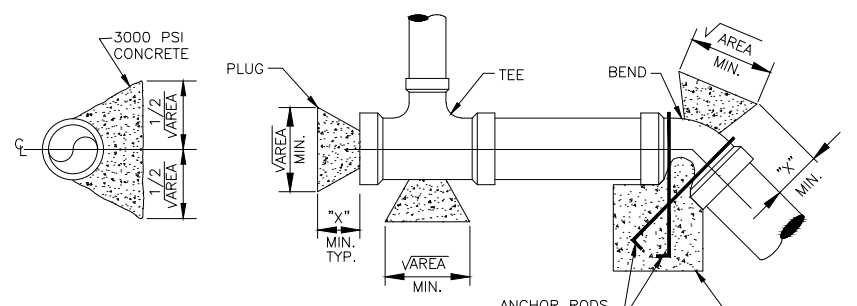
NOTES:

- ALL SERVICE CONNECTIONS NEED TO HAVE A MIN. 2'-0" COVER FROM FINISHED GRADE.
- WATER METER COVER SHALL BE ALAMO IRON WORKS 813-05-2.
- ALL WATER MAINS HAVE 30 INCHES OF COVER FROM FINISHED GRADE.
- METER BOX SHALL BE CAST IRON.
- ALL CONCRETE TO HAVE A MIN. 28 DAYS COMPRESSIVE STRENGTH OF 3,000 P.S.I.
- 2" GATE VALVE ONLY REQUIRED FOR 2" SERVICE.
- POLYETHYLENE TUBING ACCEPTABLE FOR LINE SIZES 1" OR LESS. SCHEDULE 40 P.V.C. REQUIRED FOR LINE SERVICES GREATER THAN 1".

CONSTRUCTION NOTES:

- WATER VALVE COVER
- CURB COCK
- METER BOX & METER PROVIDED
- WATER TUBING SERVICE LINE
- CORPORATION STOP
- WATER MAIN

TYPICAL SERVICE
CONNECTION
WITH METER BOX

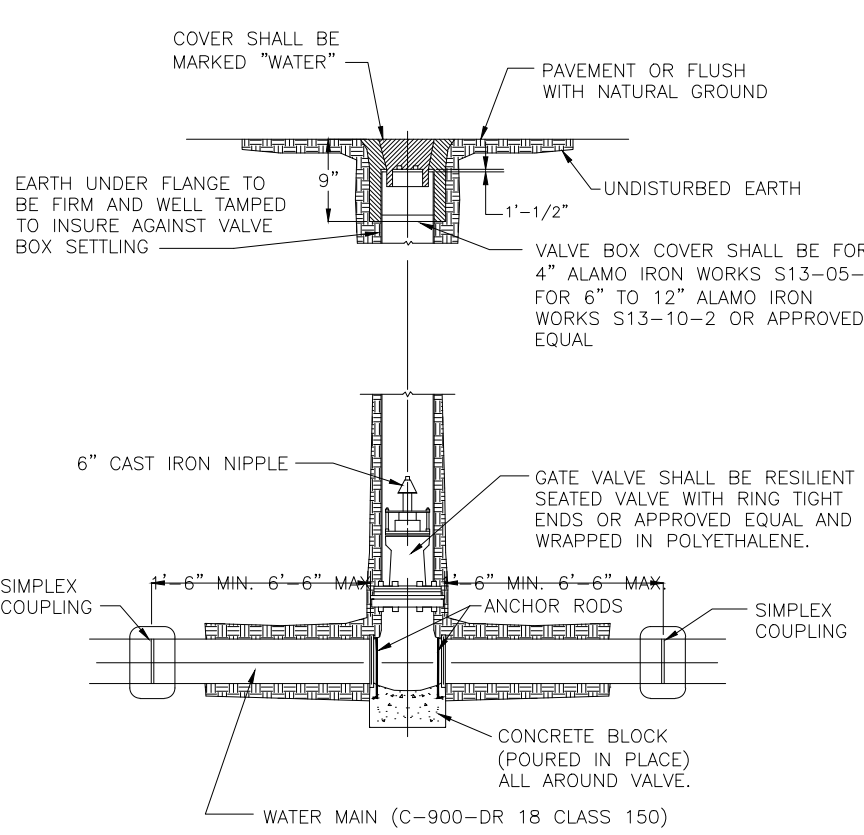
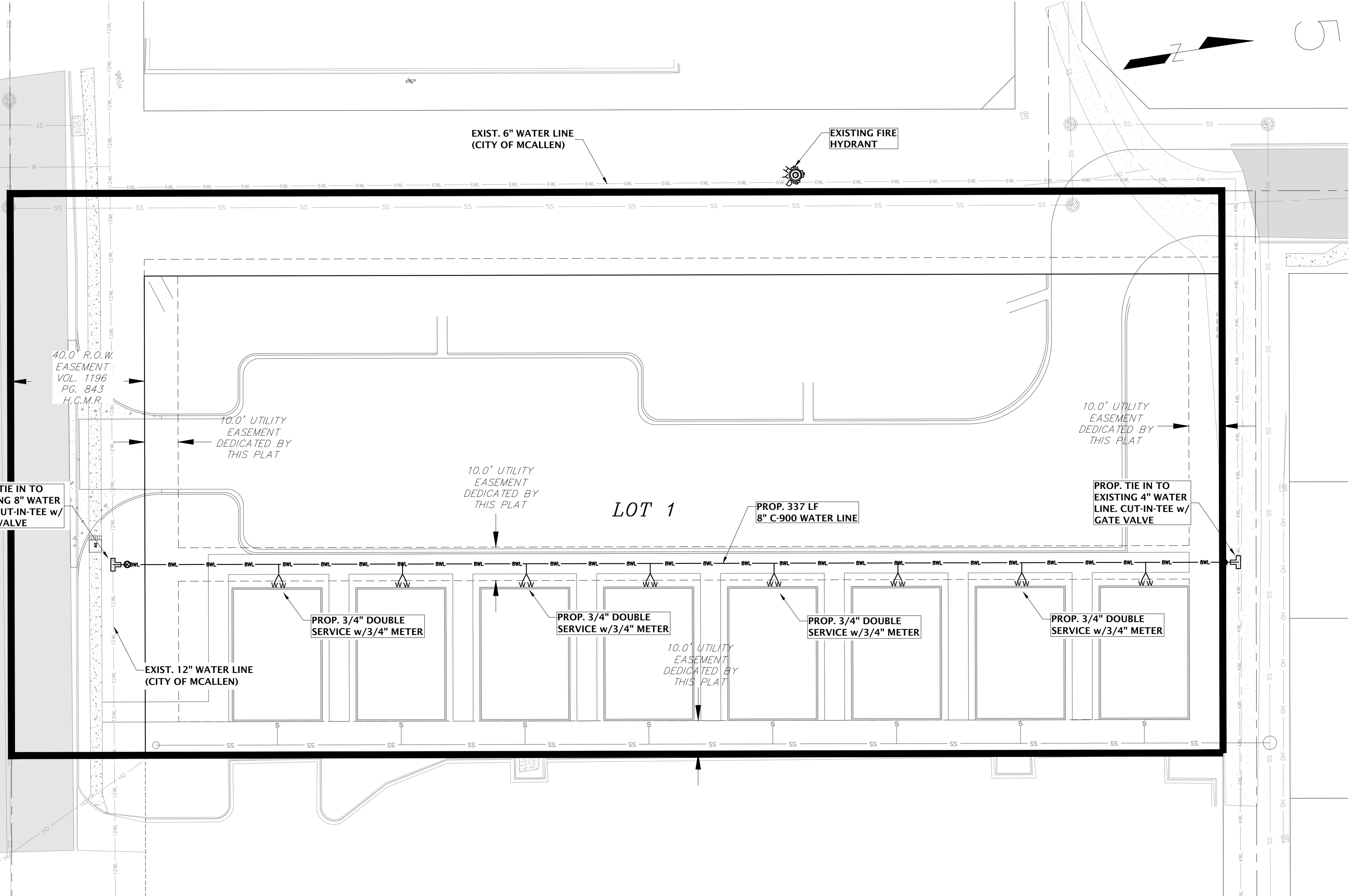


THRUST BLOCK REQUIREMENTS VS. FITTING TYPE									
DIAMETER (IN.)	7"	END/TEE (S.F.)	90° BEND (S.F.)	45° BEND (S.F.)	22.5° BEND (S.F.)	11.25° BEND (S.F.)	(L.B.)	(S.F.)	(L.B.)
4	1	1.4	1.9	3839	1.0	2077	0.5	1059	0.3
6	1	2.8	4.0	7932	2.1	4293	1.1	2188	0.5
8	1.25	4.8	6.8	13646	3.7	7385	1.9	3765	0.9
10	1.25	7.3	10.3	20528	5.6	11110	2.8	5684	1.4
12	1.50	10.3	14.3	28630	7.9	15711	4.0	8009	2.0
14	1.75	13.8	19.5	39001	10.6	21107	5.4	10768	2.7
16	2	17.8	25.2	50442	13.6	27299	7.0	13917	3.5

NOTES:

- THRUST BLOCKING TO BE PLACED AT ALL DEAD ENDS, TEES, BENDS, WYES, AND REDUCERS AND OTHER AREAS THAT REQUIRE THRUST RESISTANCE.
- MINIMUM AREAS SHOWN ARE IN SQUARE FEET. BLOCK WEIGHTS FOR VERTICAL BENDS ARE IN POUNDS.
- THRUST BLOCK AREAS SHOWN ARE BASED ON A TEST PRESSURE OF 150 P.S.I., SOIL BEARING PRESSURE OF 2000 PSF, AND MINIMUM 30" COVER. IF REQUIRED, TEST PRESSURE IS LESS OR THE SOIL BEARING CAPACITY IS GREATER, THE CONTRACTOR MAY, AFTER APPROVAL BY THE ENGINEER, REDUCE THE THRUST BLOCK AREA SHOWN. THRUST BLOCKING AREA SHALL BE INCREASED IF SOIL BEARING CAPACITY IS LESS THAN 2000 PSF.
- AT DOWNWARD VERTICAL BENDS, PIPING SHALL BE RESTRAINED BY THRUST BLOCK AS SHOWN WITH WEIGHT INDICATED IN THE TABLE. ANCHOR RODS OR FLAT BARS SHALL BE STAINLESS STEEL.
- BEARING MUST BE ON UNDISTURBED EARTH.
- USE 3000 PSI CONCRETE.
- RESTRAINING JOINTS MAY BE REQUIRED AS SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER.
- THRUST BLOCK SHALL BEAR ON FULL 180° OF CIRCUMFERENCE OF PIPE.

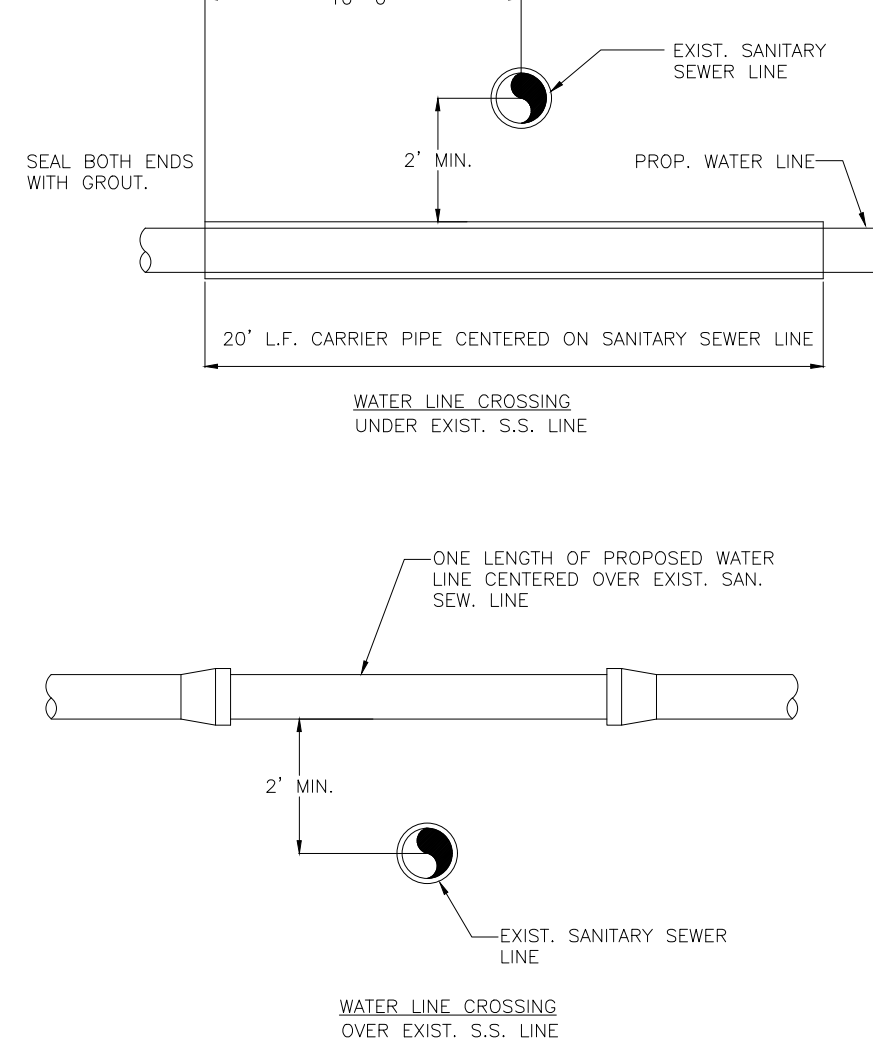
CONCRETE THRUST BLOCKS



NOTES:

- CAST IRON BOOT TO BE USED IN HEAVY TRAFFIC AREAS.
- CONCRETE BLOCK (POURED IN PLACE)

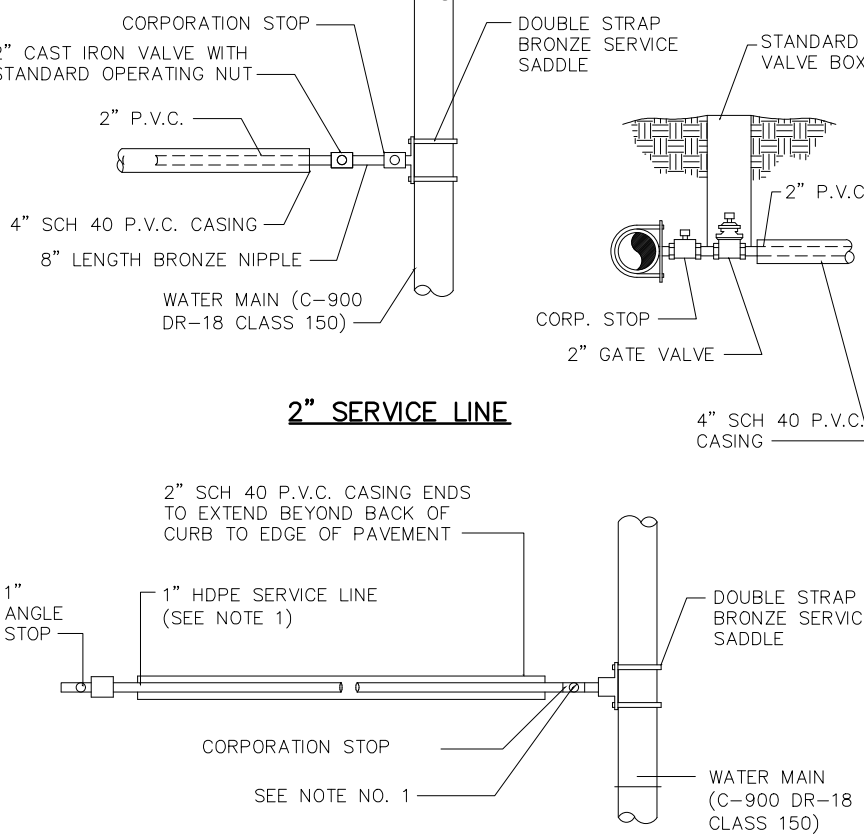
TYPICAL VALVE
& VALVE BOX



WATER LINE CROSSING
DETAIL

NOTES:

- SERVICE LINES GREATER THAN 1" REQUIRE P.V.C. SCHEDULE 40 PIPE.
- 1" SERVICE LINES SHALL BE SDR-9, HDPE, ASTM D-2737.
- 2" SERVICES REQUIRE BOTH CORP. STOP AND CAST IRON VALVE.
- ONE SERVICE REQUIRED FOR EACH LOT.
- 2" ANGLE STOPS REQUIRED FOR 2" SERVICES AT METER LOCATION.
- A U-BRANCH FITTING REQUIRED FOR 1" SERVICES AT METER LOCATION.



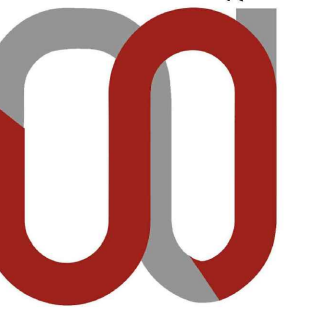
TYPICAL WATER
SERVICE DETAIL



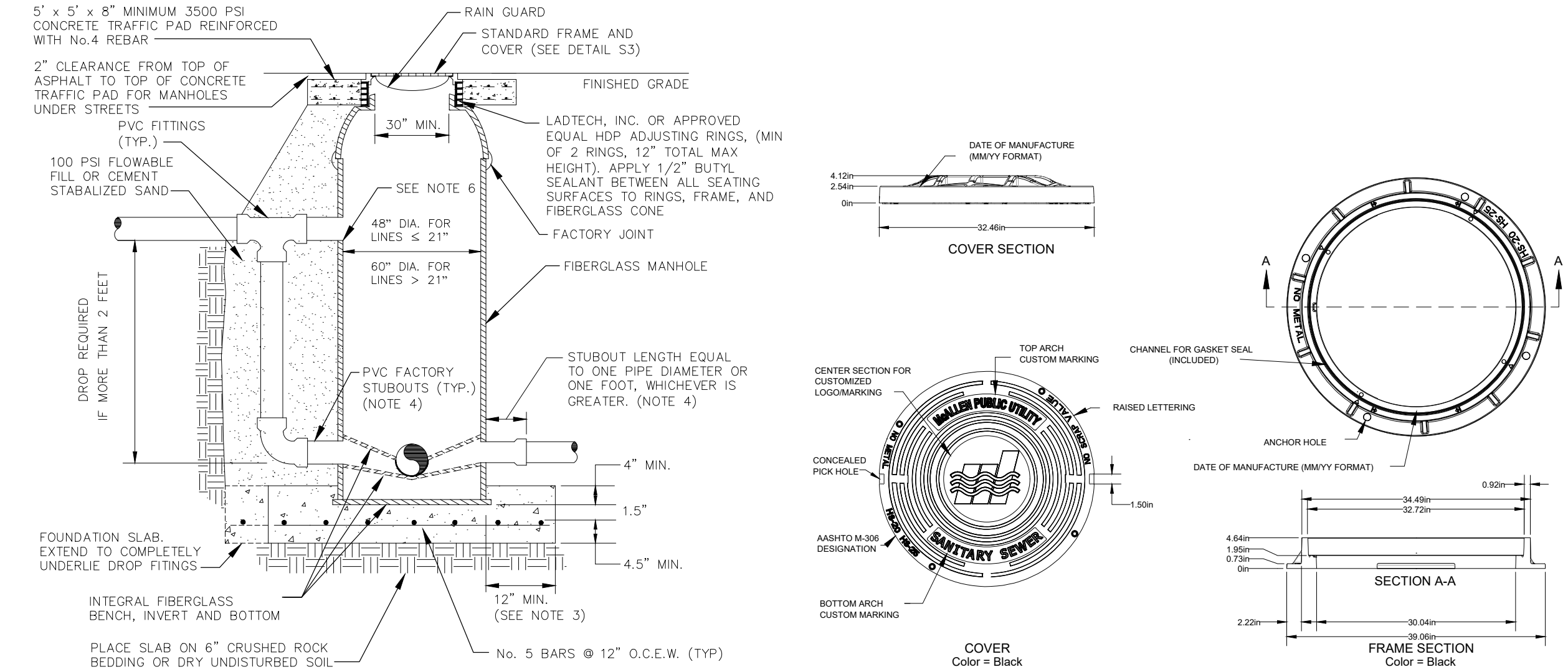
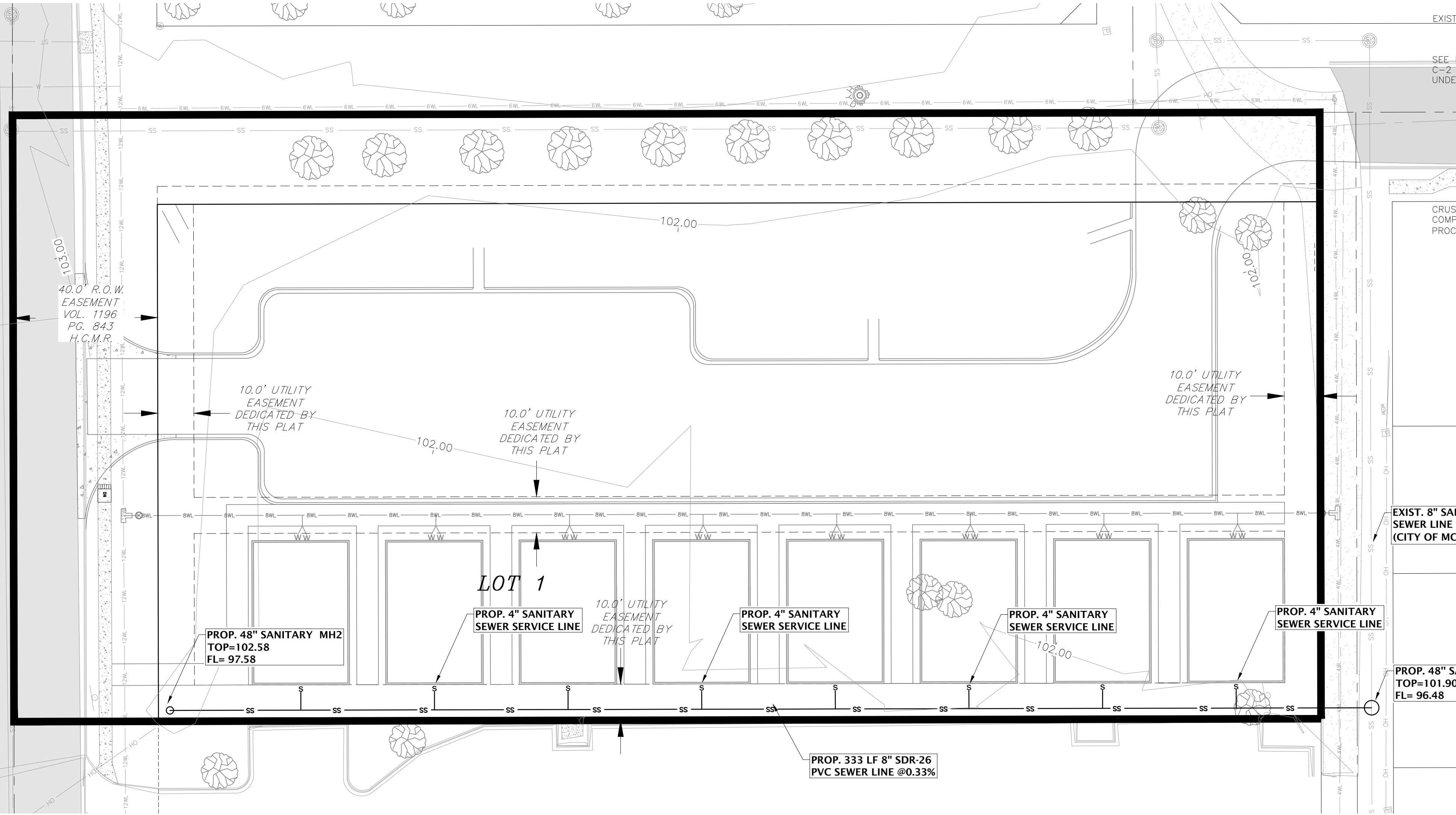
PRELIMINARY

CHRISTIAN'S MANOR SUBDIVISION
WATER SYSTEM DISTRIBUTION

S2 ENGINEERING, PLLC
CIVIL ENGINEERING & LAND SURVEYING
2020 E GRIFFIN AVENUE, SUITE 100
MCALLEN, TEXAS 78501
TEL: 956-948-1966
FAX: 956-948-1967
956-403-9787
S2ENGINEERINGPLLC.COM

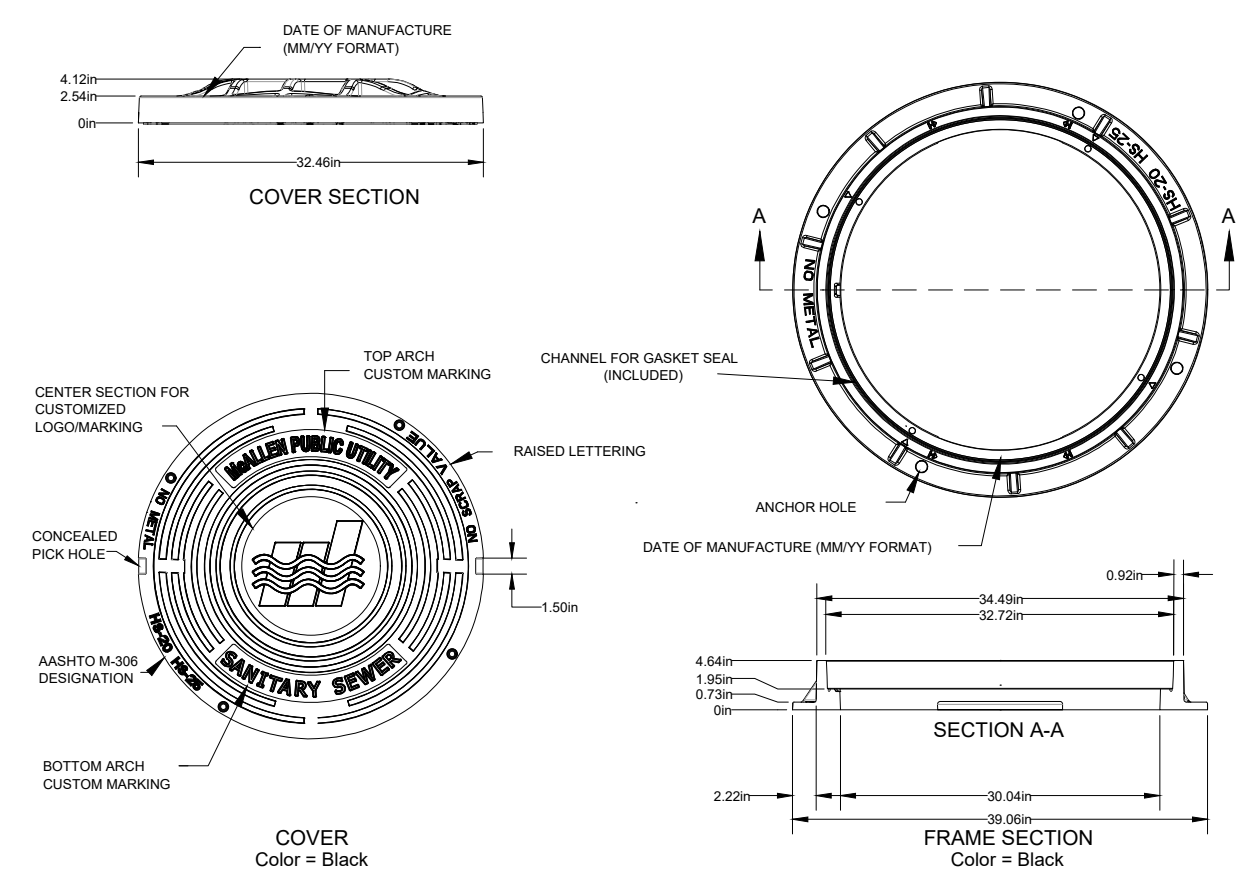


SANITARY SEWER DISTRIBUTION OF:
**CHRISTIAN'S MANOR
SUBDIVISION**

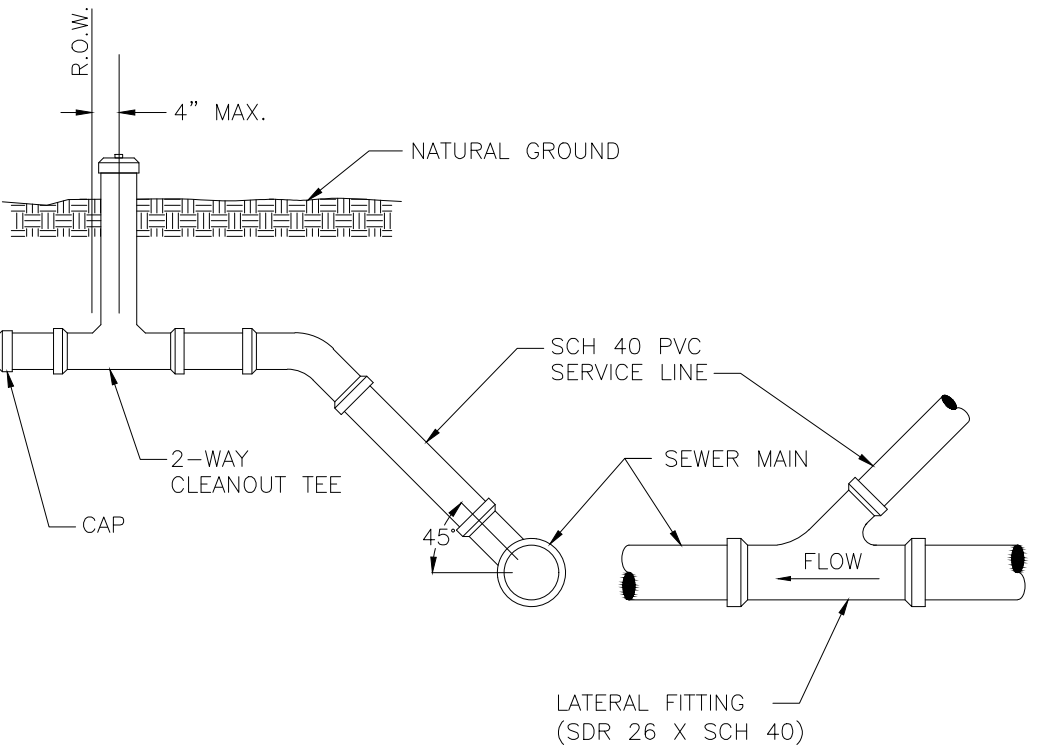


- NOTES:
1. INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 2. BACKFILL SHALL BE SAND COMPACTED TO 95% STANDARD PROCTOR OR CLSM FLOWABLE FILL UP TO THE BOTTOM OF THE CONCRETE TRAFFIC PAD.
 3. BASE SLAB SHALL BE 4 FT. LARGER THAN MANHOLE DIAMETER WHERE SOIL BEARING CAPACITY < 2000 PSF. WATER TABLE < 5 FT., OR DEPTH > 20 FT. SLAB SHALL BE DESIGNED TO PREVENT FLOTATION OF MANHOLE.
 4. OUTLET STUBOUT SHALL BE SPIGOT END. INLET STUBOUTS SHALL BE BELL END EXCEPT FOR DROP CONNECTIONS.
 5. CONCRETE FOUNDATION SHALL BE POURED IN PLACE BELOW GROUND.
 6. PENETRATION SHALL BE MADE WITH INSERT A TEE KIT.

TYPICAL FIBERGLASS
MANHOLE

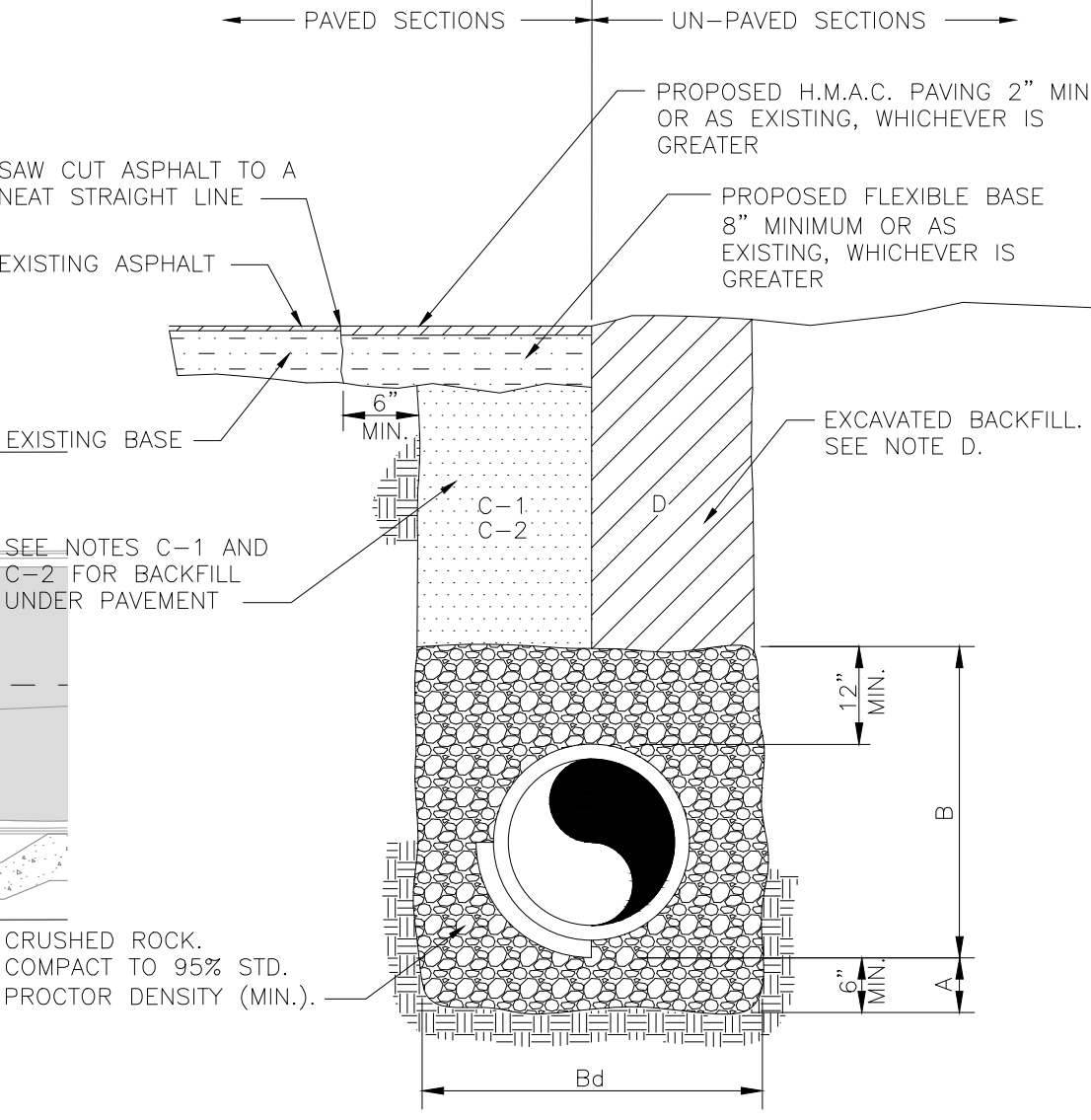


COMPOSITE MANHOLE
RING AND COVER DETAIL

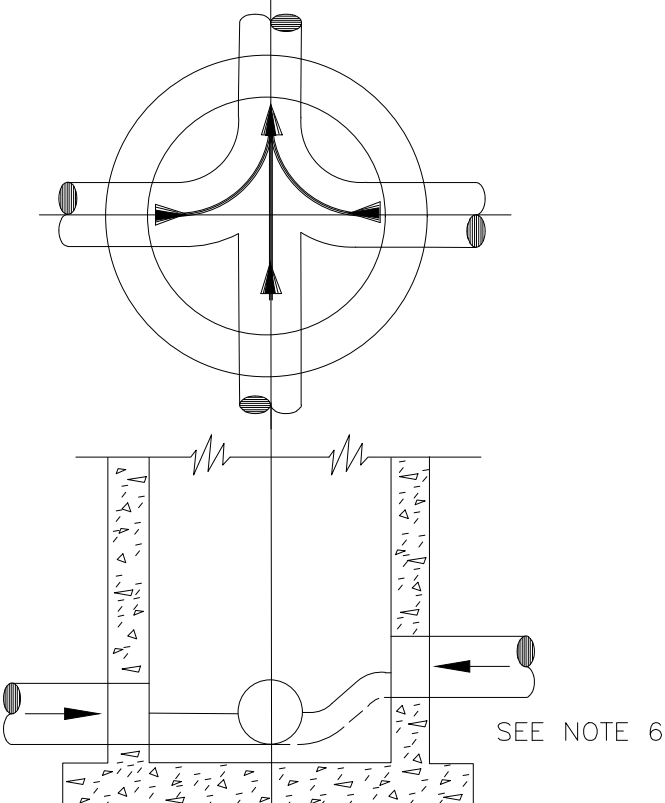
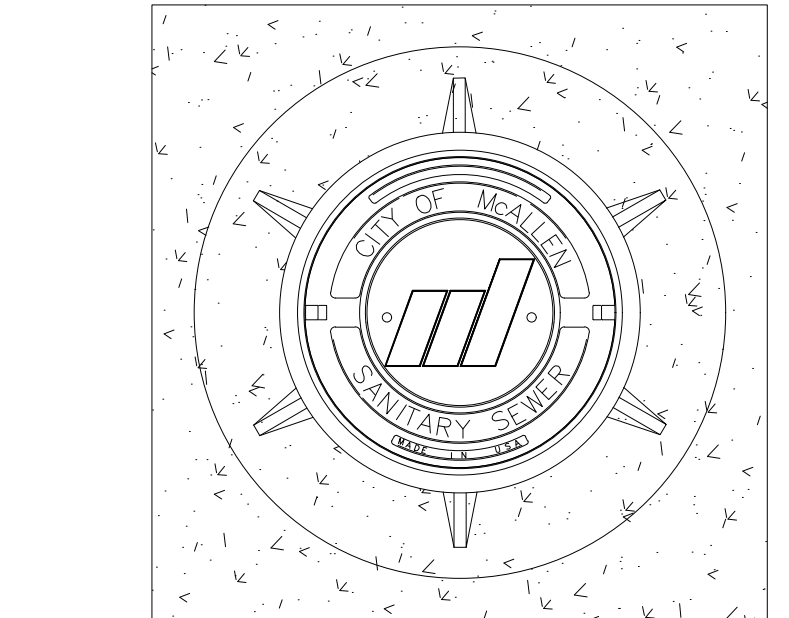


- NOTES:
1. INDIVIDUAL SERVICE LATERALS TO BE PROVIDED TO EACH LOT.
 2. SINGLE FAMILY SERVICE SHALL BE 4" MIN. MULTI-FAMILY, COMMERCIAL, AND INDUSTRIAL SERVICE SHALL BE 6" OR GREATER AS REQUIRED.

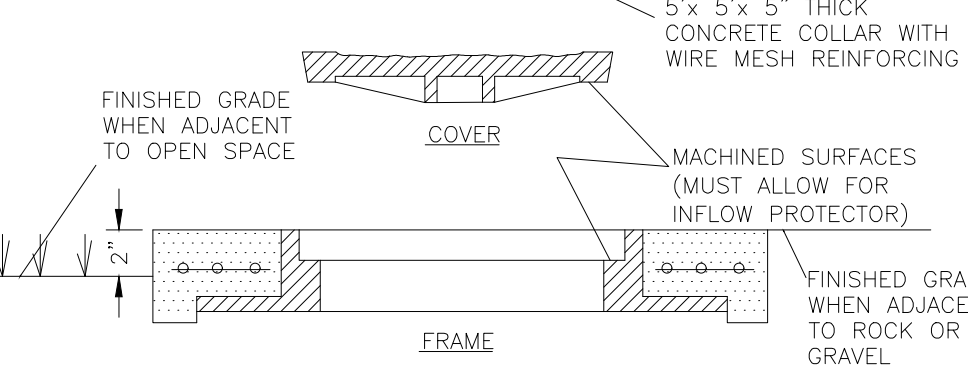
STANDARD SERVICE
CONNECTION



SANITARY SEWER
(NON-FORCEMAIN)
PIPE BEDDING DETAIL

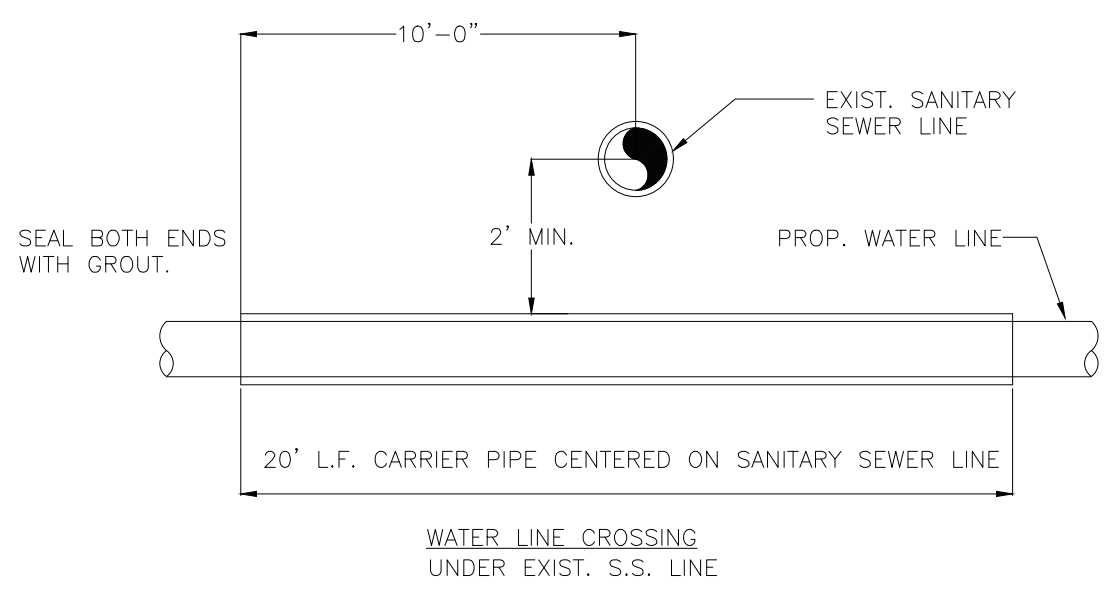


SANITARY SEWER MANHOLE
INVERT DETAIL

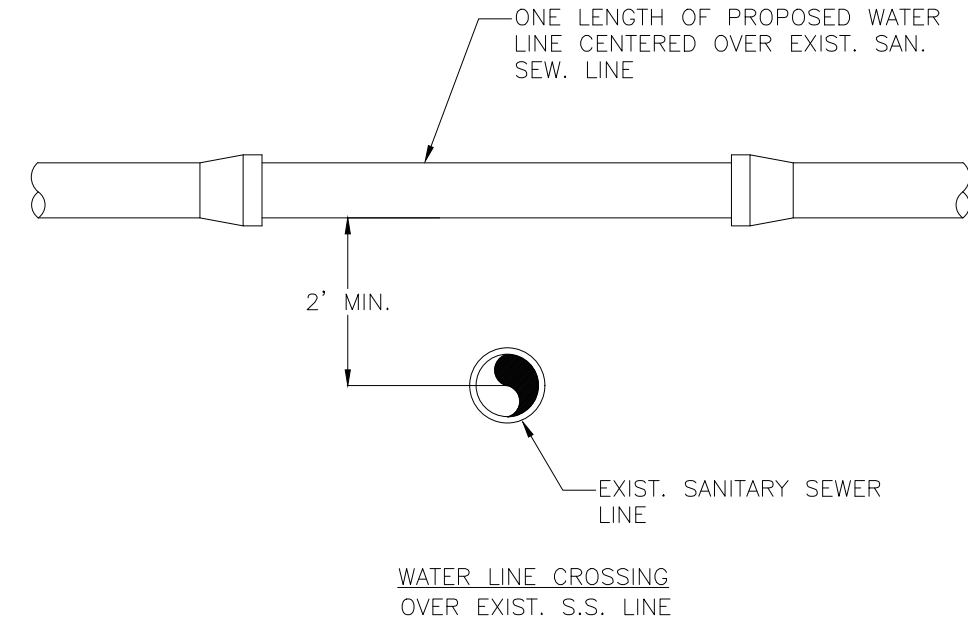


- NOTES:
1. COLLAR IS REQUIRED ONLY WHEN MANHOLE IS OUT OF PAVEMENT. STANDARD FRAME AND COVER SIZE SHALL BE USED.
 2. A STEEL MANHOLE RISER, APPROVED HDPE ADJUSTING RINGS OR ADDITIONAL BRICKS MAY BE USED TO ELEVATE EXISTING MANHOLE COVERS TO RESURFACED GRADE (MAX. 4" HEIGHT).
 3. COVER SHALL FIT FLUSH WITH THE FRAME WITH THE INFLOW PROTECTOR INSTALLED.

CONCRETE COLLAR FOR
SANITARY SEWER MANHOLES



WATER LINE CROSSING
UNDER EXIST. S.S. LINE



WATER LINE CROSSING
OVER EXIST. S.S. LINE

WATER LINE CROSSING
DETAIL

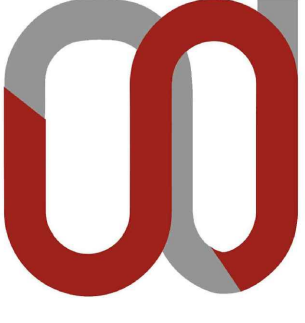
- GENERAL NOTES:
- A. 3/4 CRUSHED ROCK BEDDING PLACED, HAND LEVELED, AND COMPACTED BEFORE PIPE IS LAID, UP TO BOTTOM OF PIPE.
 - B. CRUSHED ROCK BACKFILL PLACED AND COMPACTED AFTER PIPE IS LAID, FROM BOTTOM OF PIPE TO 12" ABOVE THE TOP OF PIPE. WORK IN UNDER PIPE HAUNCHES AND COMPACT BY HAND TO SPRING LINE. USE VIBRATORY-TYPE COMPACTORS FOR LIFTS ABOVE THE SPRING LINE. MAXIMUM 6" LIFTS.
 - Bd. MINIMUM TRENCH WIDTH: PIPE O.D. + 16" (FOR 16" PIPE AND SMALLER); PIPE O.D. X 1.25 + 12" (FOR 18" PIPE AND LARGER)
 - C-1. (CITY STREETS, PARKING AREA, AND DRIVEWAYS) SELECT EXCAVATED BACKFILL MECHANICALLY COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 8" MAX. LIFTS.
 - C-2. (STATE MAINTAINED ROADWAY) SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - D. EXCAVATED EARTH BACKFILL MECHANICALLY COMPACTED IN 12" MAX. LIFTS. MINIMUM STANDARD PROCTOR DENSITY: 90% OUTSIDE RIGHT OF WAY; 95% INSIDE RIGHT OF WAY
- EMBEDMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D 2321. EMBEDMENT MATERIAL SHALL BE CLASS 1A (CRUSHED ROCK) OR 1B (CRUSHED ROCK-SAND MIXTURE) WITH LESS THAN 50% PASSING A No. 4 SIEVE. MAXIMUM 3/4" SIZE FOR PIPE SIZE ≤ 16". GREATER THAN 90% OF CRUSHED ROCK SHALL HAVE AT LEAST THREE BROKEN FACES. NO MORE THAN 2% UNBROKEN FRACTION ALLOWED.
- IN SATURATED OR UNSTABLE SOILS, EMBEDMENT SHALL BE CLASS 1B ONLY (SEE SPECIFICATIONS FOR GRADATION REQUIREMENTS).
- WHERE THIS STANDARD CONFLICTS WITH THE RECOMMENDATION OF ANY GEOTECHNICAL REPORT, OBTAIN WRITTEN CLARIFICATION FROM THE UTILITY ENGINEER PRIOR TO CONSTRUCTION.
- FOUNDATION PREPARATION USING COBBLES, GRAVEL, CEMENT STABILIZATION, OR OTHER METHODS AS APPROVED BY THE ENGINEER SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.
- BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, AND COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6" MAXIMUM LIFTS. STRUCTURE BACKFILL MATERIAL SHALL BE SAND.



PRELIMINARY

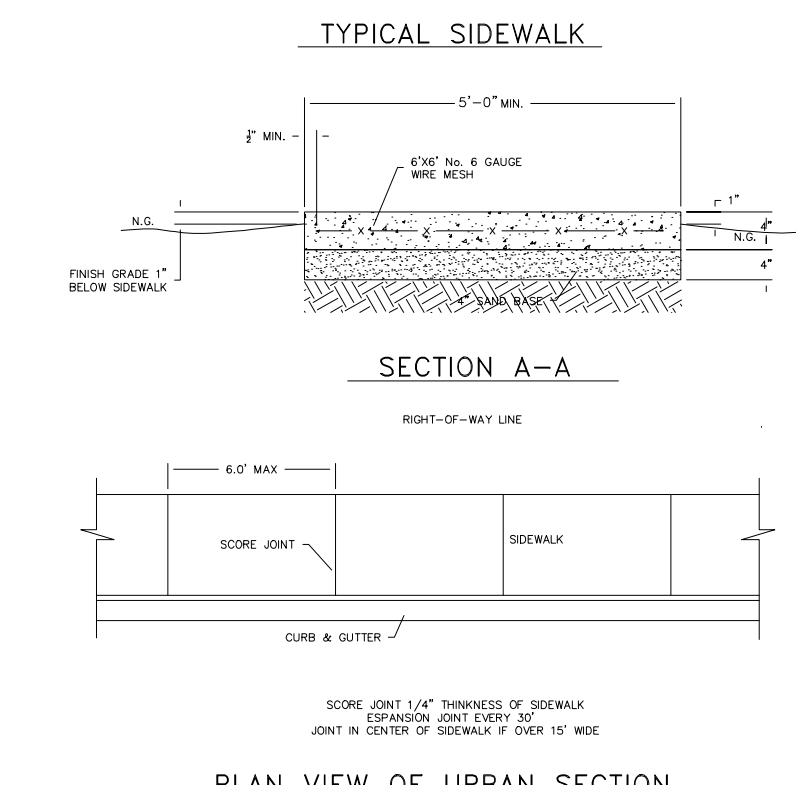
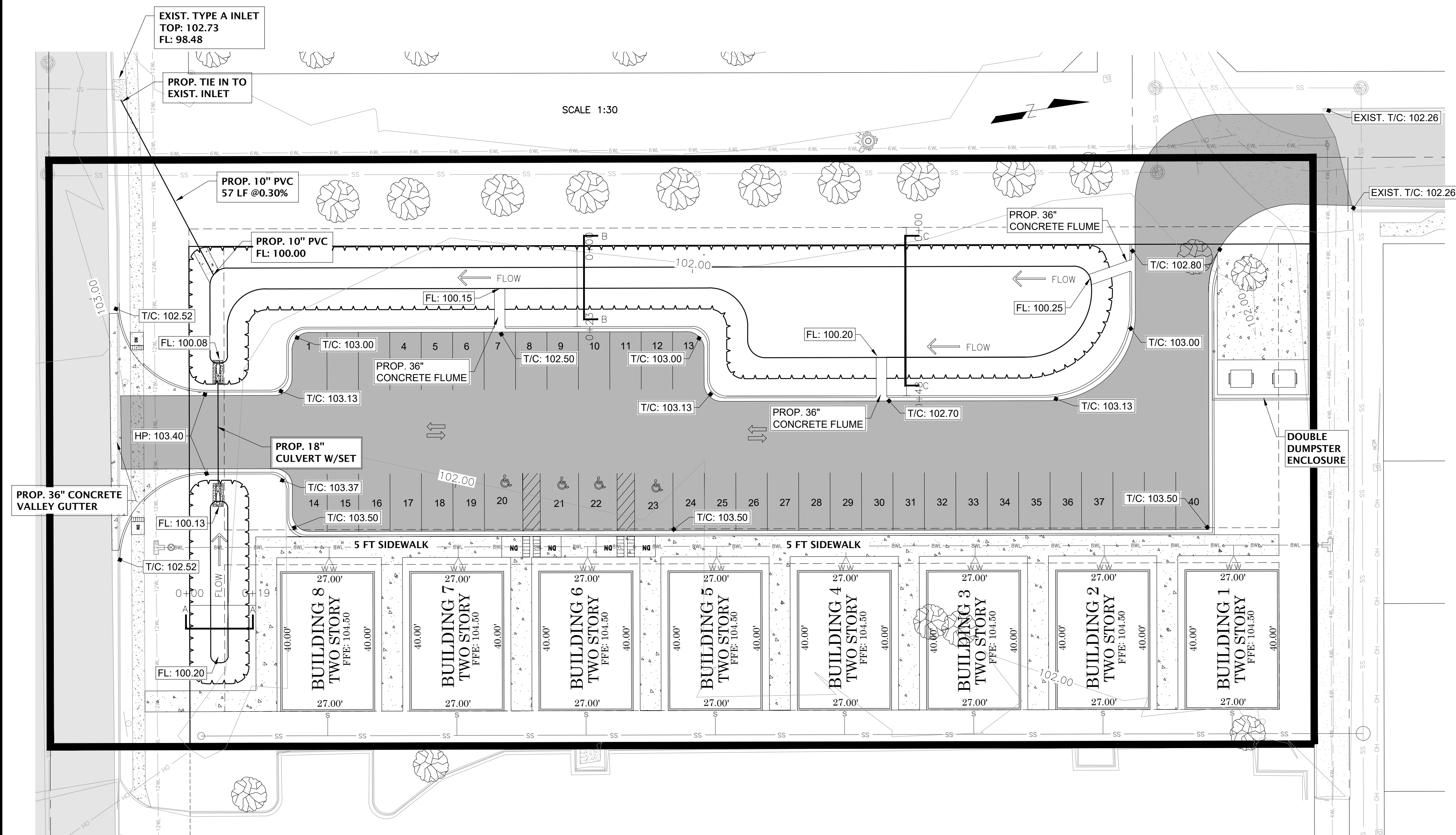
CHRISTIAN'S MANOR SUBDIVISION
SANITARY SEWER LAYOUT

S2 ENGINEERING, PLLC
CIVIL ENGINEERING & LAND SURVEYING
1805 E. GRIFIN PKWY. MISSION, TX 78574
956-403-9787
956-403-9787
956-403-9787



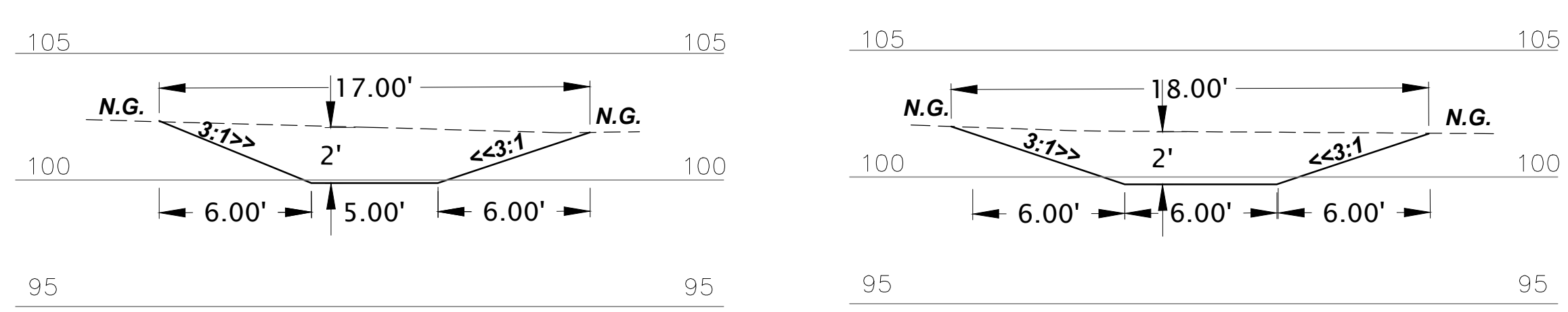
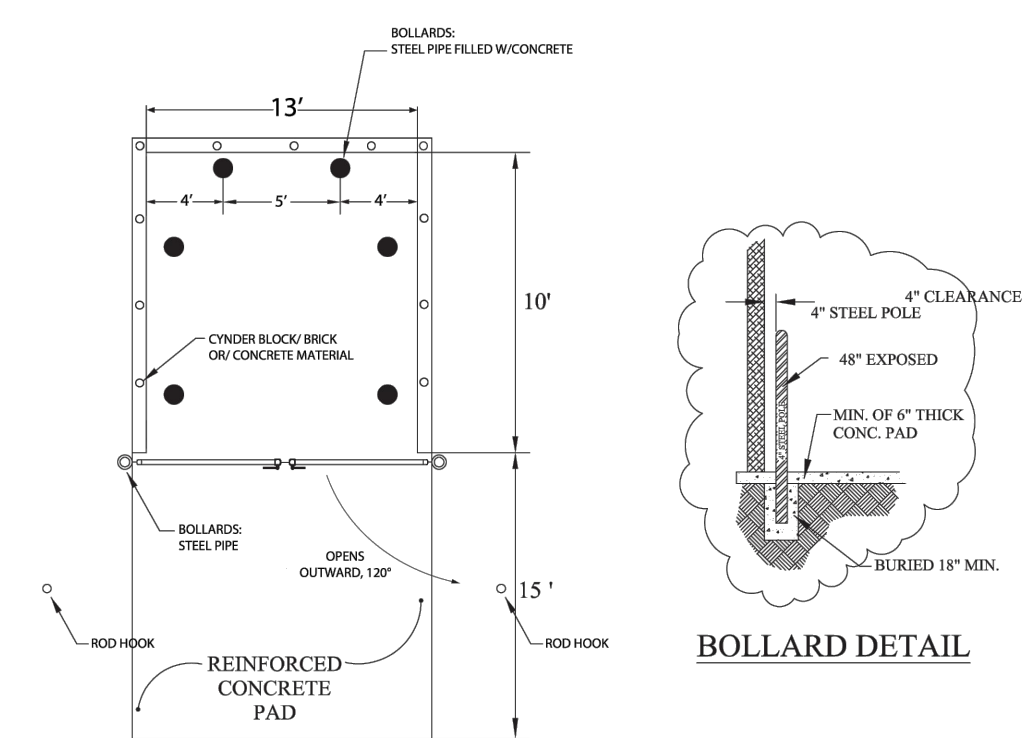
SHEET NO. 3
OF 4 SHEETS

PAVING AND DRAINAGE LAYOUT:
CHRISTIAN'S MANOR SUBDIVISION

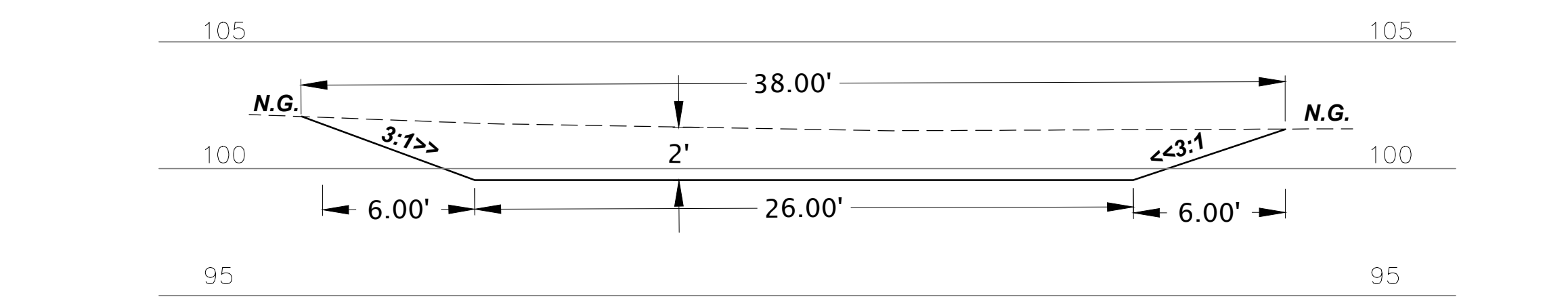


- NOTES:
1. MAXIMUM COVER SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
 2. FOR D-1 AND D-2 THE COMPACTION REQUIREMENT SHALL BE 95% S.P.D. WITHIN 12 IN. BELOW THE FLEXIBLE BASE.
 3. FOR PAVED SECTIONS THE ABOVE REQUIREMENTS SHALL APPLY WHEN ANY PART OF THE TRENCH WIDTH IS WITHIN 5 FT. FROM THE E.O.P./B.O.C.
 4. THE ABOVE REQUIREMENTS SHALL APPLY TO UTILITY PIPELINES AND UTILITY STRUCTURES OF OTHER UTILITY ENTITIES.
- A. BEDDING FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE - SAND AND/OR GRAVEL MIX BEDDING PLACED BEFORE PIPE IS LAID UP TO FLOW OF PIPE (MIN. COMPACTED THICKNESS = 6") - FIT RUN GRAVEL 2" MAX SIZE.
- B. HAUNCH FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE - SHALL BE CLASS I OR CLASS II (ASTM D2321) BACKFILL MATERIAL COMPACTED TO 92% S.P.D., 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- C. TRENCH WIDTH - SHALL BE BELL O.D. X 1.5 + 12" MINIMUM TRENCH WIDTH SHALL EQUAL STRUCTURE WIDTH + 4 FT. THROUGHOUT THE HEIGHT OF THE STRUCTURE.
- C-1 INITIAL BACKFILL FOR RCP CLASS III STORM DRAIN PIPE ON CITY STREETS, PARKING AREAS, DRIVEWAYS, COUNTY ROADS & UNPAVED AREAS - SHALL BE SOIL TYPE A1, A2, A3 WITH A MAXIMUM P.I. OF 19 (AASHTO M145) COMPACTED TO 92% S.P.D., 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- C-2 INITIAL BACKFILL FOR RCP CLASS III STORM DRAIN PIPE ON STATE MAINTAINED ROADWAYS - COMPACTED SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT, COMPACTED TO 92% S.P.D. AS PER ASTM D4253 AND ASTM D698, 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- C-3 INITIAL BACKFILL FOR HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE - SHALL BE CLASS I OR CLASS II WITH A MAXIMUM P.I. OF 19 (ASTM D2321) BACKFILL MATERIAL COMPACTED TO 92% S.P.D., 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- D. FINAL BACKFILL FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE ON CITY STREETS, PARKING AREAS, DRIVEWAYS AND COUNTY ROADS - SHALL BE SOIL TYPE A1, A2, A3 WITH A MAXIMUM P.I. OF 19 (AASHTO M145) COMPACTED TO 92% S.P.D., 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- D-1 FINAL BACKFILL FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE ON CITY STREETS, PARKING AREAS, DRIVEWAYS AND COUNTY ROADS - SHALL BE SOIL TYPE A1, A2, A3 WITH A MAXIMUM P.I. OF 19 (AASHTO M145) COMPACTED TO 92% S.P.D., 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- D-2 FINAL BACKFILL FOR RCP CLASS III, HIGH PERFORMANCE POLYPROPYLENE OR CORRUGATED PVC STORM DRAIN PIPE ON STATE MAINTAINED ROADWAYS - COMPACTED SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT, COMPACTED TO 92% S.P.D. AS PER ASTM D4253 AND ASTM D698, 8" LOOSE LIFTS, MECHANICAL COMPACTION.
- D-3 FINAL BACKFILL FOR STRUCTURES (INLETS, MANHOLES, ETC.) - STRUCTURES UNDER THE ROADWAY AND UP TO 5 FT BEYOND THE EDGE OF PAVEMENT/BACK OF CURB SHALL HAVE CLASS I OR CLASS II (ASTM D2321) OR SOIL TYPE A1, A2, OR A3 (AASHTO M145) WITH A MAXIMUM P.I. OF 19 BACKFILL MATERIAL. STRUCTURES BEYOND 5 FT FROM THE E.O.P./B.O.C. SHALL HAVE CLASS I, II, III OR IV (ASTM D2321) BACKFILL MATERIAL. FOUNDATION PREPARATION (WELLPONTS, MINIMUM 4" GRAVEL OR CEMENTS STABILIZATION, OR APPROVED SUBSTITUTE) SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE. BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, MOISTENED AS REQUIRED TO APPROXIMATE OPTIMUM MOISTURE CONTENT AND COMPACTED TO 95% S.P.D. (USE RELATIVE DENSITY TEST PER ASTM D4253 & ASTM D698). THE THICKNESS OF EACH LOOSE LAYER SHALL NOT EXCEED 8".

Detail 401: Single Dumpster Enclosure



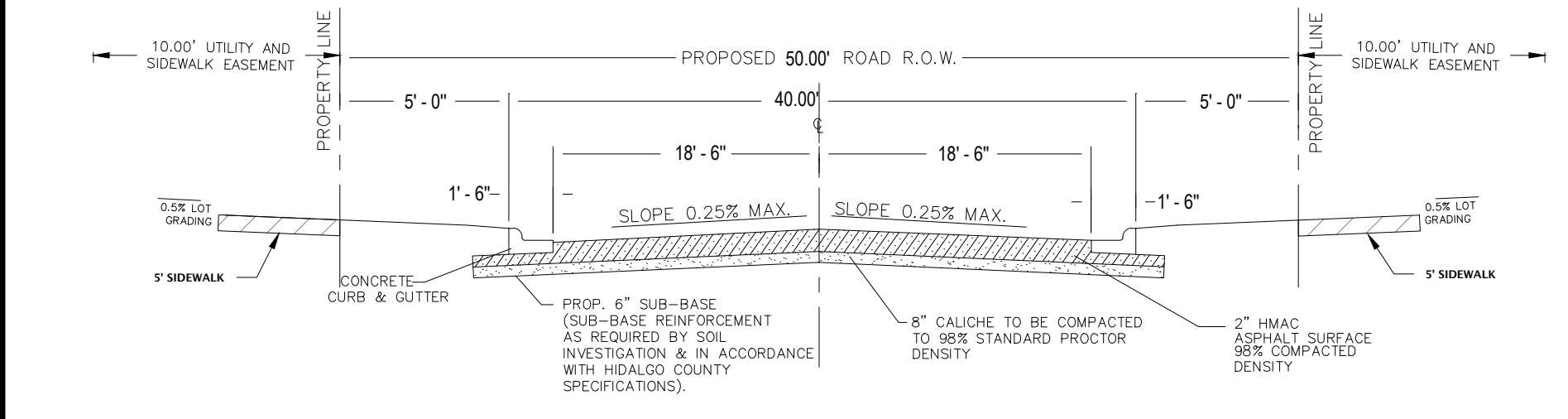
CROSS-SECTION A-A CROSS-SECTION B-B



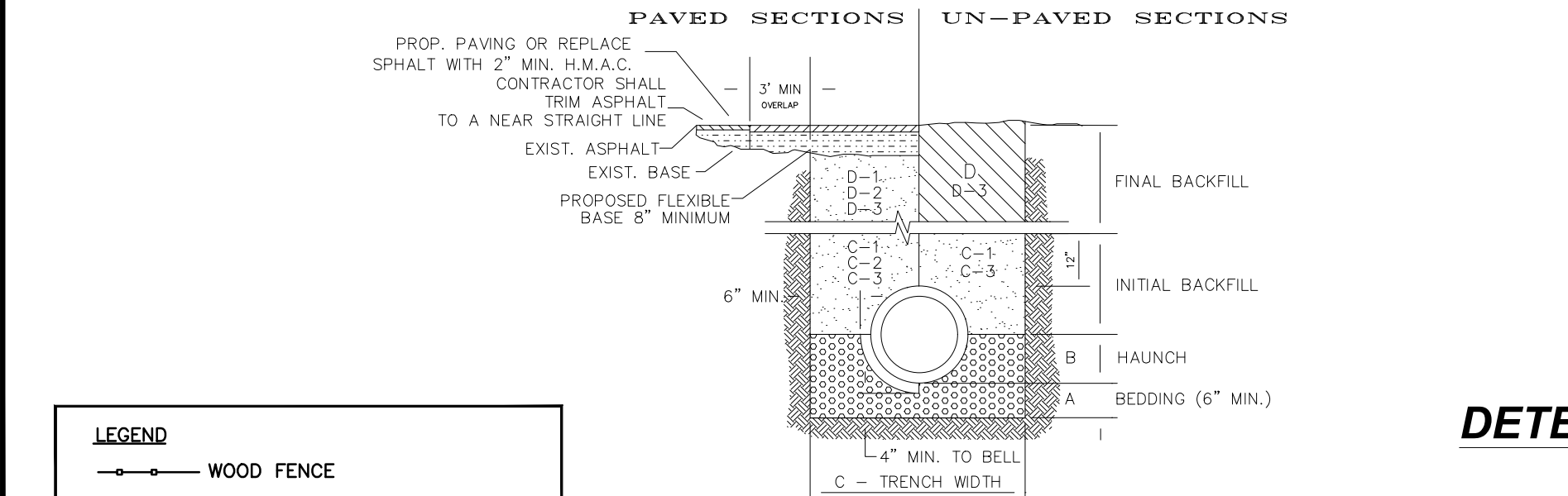
CROSS-SECTION C-C

DETENTION REQUIRED: 9765 CF
361 CY

DETENTION PROVIDED: 12,518 CF
464 CY

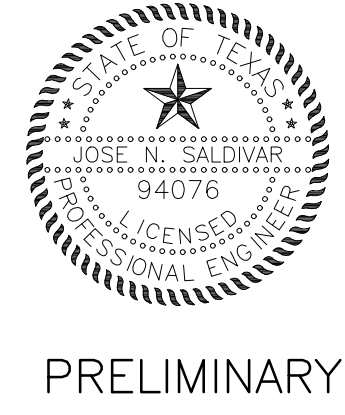


STREET SECTION



STORM TRENCH BEDDING AND BACKFILL DETAILS

- LEGEND
- WOOD FENCE
 - CHAIN LINK FENCE
 - EXIST. PAVEMENT



CHRISTIAN'S MANOR SUBDIVISION
PAVING AND DRAINAGE LAYOUT



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 3/13/2025

SUBDIVISION NAME: CHRISTIAN'S MANOR SUBDIVISION

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Jordon Road: Dedication needed for 40 ft. from centerline for 80 ft. total ROW

Paving: approximately 50 ft. Curb & gutter: both sides

- Label 40 ft. additional ROW as dedicated by this plat, prior to final.

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Non-compliance

South 25th Street: Dedication needed for 25 ft. from centerline for 50 ft. total ROW

Paving: 32 ft. Curb & gutter: both sides

- Label 25 ft. additional ROW as dedicated by this plat, prior to final.

- 20 ft. ROW easement appears to be only for utility lines and not for access.

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Non-compliance

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Applied

* 1,200 ft. Block Length

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts

**Subdivision Ordinance: Section 134-118

Applied

* 600 ft. Maximum Cul-de-Sac

**Subdivision Ordinance: Section 134-105

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial properties; existing alley to the north

**Subdivision Ordinance: Section 134-106

Applied

SETBACKS

* Front: in accordance with the Zoning Ordinance or greater for approved site plan or easements or in line with existing structures, whichever is greater applies.

Proposing: 15 ft. or greater for easements

- Engineer must clarify setbacks or submit a variance request for a 15 ft. front yard setback, prior to final.

**Zoning Ordinance: Section 138-356

Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

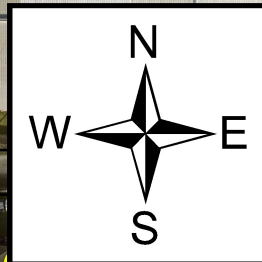
<p>* Rear: In accordance with the Zoning Ordinance or greater for approved site plan or easements, whichever is greater applies Proposing: 5 ft. or greater for easements - Engineer must clarify setbacks or submit a variance request for a 5 ft. rear yard setback, prior to final. **Zoning Ordinance: Section 138-356</p> <p>* Sides: In accordance with the Zoning Ordinance or greater for approved site plan or easements, whichever is greater applies. - Revise side setback as shown above, prior to final. **Zoning Ordinance: Section 138-356</p> <p>* Corner: 10 ft. or greater for easements, whichever is greater applies - Revise corner setback as shown above, prior to final. **Zoning Ordinance: Section 138-356</p> <p>* Garage: 18 ft. except where greater setback is required; greater setback applies - Include a plat note as shown above, prior to final. **Zoning Ordinance: Section 138-356</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Non-compliance
	Non-compliance
	Non-compliance
	Non-compliance
	Applied
SIDEWALKS	
<p>* 4 ft. wide minimum sidewalk required on Jordan Road and South 25th Street. - Revise plat note #7 as shown above, prior to final. - Sidewalk requirements may increase to 5 ft. as per Engineering Department. **Subdivision Ordinance: Section 134-120</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Non-compliance
	Required
BUFFERS	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses - Revise plat note #14 as shown above, prior to final. **Landscaping Ordinance: Section 110-46</p> <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46</p> <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Non-compliance
	Applied
	Required
NOTES	
<p>* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy</p> <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance. - Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development.</p> <p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. - Include a plat note as shown above wording to be finalized, prior to final.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p>	TBD
	Required
	Non-compliance
	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	NA
	NA
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets **Subdivision Ordinance: Section 134-1 * Minimum lot width and lot area **Zoning Ordinance: Section 138-356 	Applied
	Applied
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: R-3A Proposed: R-3A ***Zoning Ordinance: Article V * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V 	Applied
	NA
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. - Based on the submitted application 8 dwelling units are being proposed. As per Parks Department, park land dedication of 0.1272 acres will be required prior to final. If park fee in lieu of park land dedication is proposed, a letter must be submitted to the Planning Director and reviewed by the City Manager prior to final. * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. - Based on the submitted application 8 dwelling units are being proposed. As per Parks Department, park land dedication of 0.1272 acres will be required prior to final. If park fee in lieu of park land dedication is proposed, a letter must be submitted to the Planning Director and reviewed by the City Manager prior to final. * Pending review by the City Manager's Office. - Based on the submitted application 8 dwelling units are being proposed. As per Parks Department, park land dedication of 0.1272 acres will be required prior to final. If park fee in lieu of park land dedication is proposed, a letter must be submitted to the Planning Director and reviewed by the City Manager prior to final. 	Required
	Required
	Required
TRAFFIC	
<ul style="list-style-type: none"> * As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. - As per Traffic Department, Trip Generation is waived for 8 dwelling unit apartment complex, if number of units changes a new Trip Generation will be required. * Traffic Impact Analysis (TIA) required prior to final plat. 	Applied
	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

COMMENTS	
Comments: - Any abandonment must be done by separate process, not by plat. - Remove plat notes #2, 8, and 18 as they are not required plat notes. - Signature blocks on plat must comply with Section 134-61. *Must comply with City's Access Management Policy.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO THE CONDITIONS NOTED, UTILITY, AND DRAINAGE APPROVAL.	Applied



LOCATION

NAKANO

SUBDIVISION

No. 3

69

PROPOSED
CHRISTIAN'S
MANOR

EL BUEN PASTOR
SUBDIVISION

LOT 1

S 25TH ST

COMMUNITY HOPE
PROJECTS, INC.

PHASE I

LOT 1

DEL
SU

V-
SUE

JORDAN RD

JORDAN ROAD

181

SUB2025-0029



City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Kerria Center</u>	
	Legal Description <u>2.10 acres out of Lot 22, Block 1, C.E. Hammonds Subd.</u>	
	Location <u>Northeast corner of 23rd Street and Kerria Avenue</u>	
	City Address or Block Number <u>3700 N. 23rd Street</u>	
	Total No. of Lots <u>1</u> Total Dwelling Units _____ Gross Acres <u>2.10</u> Net Acres <u>2.10</u>	
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input checked="" type="checkbox"/> Commercial (<u>2.10</u> Acres) / <input type="checkbox"/> Residential (_____ Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	Existing Zoning <u>C3</u> Proposed Zoning <u>C3</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Commercial</u>	
	Irrigation District # <u>1</u> Water CCN: <input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other _____	
Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # <u>185314 and 185315</u>		
Estimated Rollback Tax Due <u>0</u> Tax Dept. Review <u>MC 2/21/25</u>		
Owner	Name <u>Jim & Mary Kay Moffitt Family Ltd.</u> Phone <u>956-686-8374</u>	
	Address <u>1128 Pecan Boulevard</u> E-mail <u>moffittrealestate@yahoo.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>	
Developer	Name <u>Same as owner</u> Phone _____	
	Address _____ E-mail _____	
	City _____ State _____ Zip _____	
	Contact Person <u>Jim Moffitt</u>	
Engineer	Name <u>Spoor Engineering Consultants, Inc.</u> Phone <u>956-683-1000</u>	
	Address <u>510 So. Broadway Street</u> E-mail <u>SEC@SpoorEng.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u>	
	Contact Person <u>Stephen Spoor, P.E.</u>	
Surveyor	Name <u>Robles & Associates, RPLS; Reynaldo Robles</u> Phone <u>956-968-2422</u>	
	Address <u>107 W. Huisache Street</u> E-mail <u>roblesandassoc@gmail.com</u>	
	City <u>Weslaco</u> State <u>TX</u> Zip <u>78596</u>	

KCF

FEB 21 2025

BY: KCF

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 02-12-25

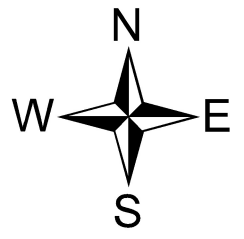
Print Name Stephen Spoor, P.E.

Owner ☐ Authorized Agent ☒

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

3B

NOLANA AVE



LOCATION

1

2

3

4

5

6A

7

NOLANA TR

2

LOT 1

POLVADO GLASS
SUBDIVISION

17

16

18

19

20

**PROPOSED
KERRIA CENTER**

CENTER

N

N 23RD ST

LIZA LU
SUBDIVISION
BLOCK 1

104

17

18

19

N. 22ND ST.

16

15

97

96

20

69

70

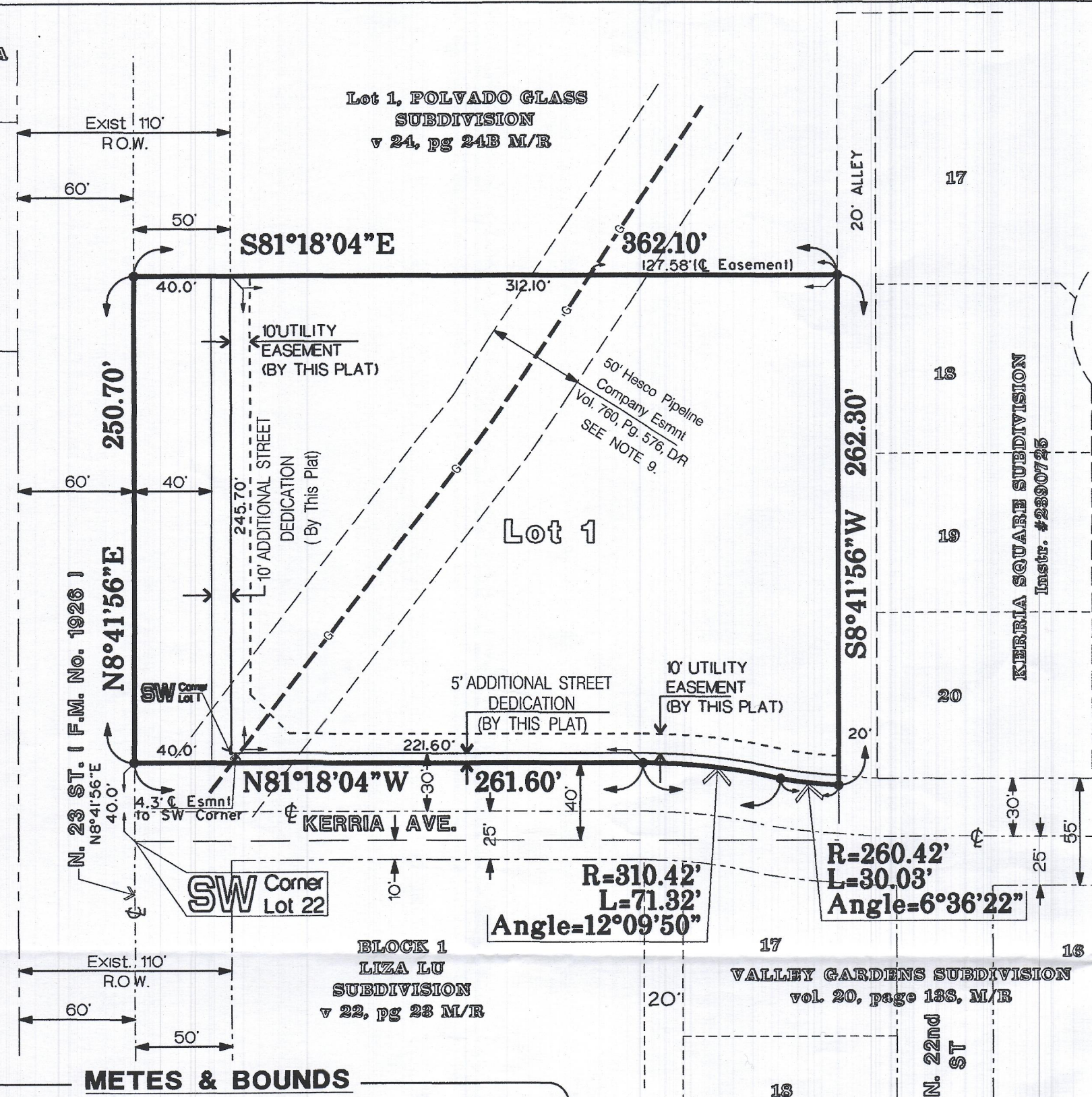
AVE.

Lot 109
LA LOMITA
IRRIG. &
CONST.
CO'S

K-MART SHOPPING CENTER SUBDIVISION
vol. 27, pg. 50A M/R

Lot 2

Lot 1



METES & BOUNDS

A 2.10 ACRE TRACT OF LAND OUT OF LOT 22, BLOCK 1, C.E. HAMMONDS SUBDIVISION, OF PORCIONES 61, 62, 63, AND 64, HIDALGO COUNTY, TEXAS, ACCORDING TO PLAT RECORDED IN VOLUME 21 PAGE 599, DEED RECORDS, HIDALGO COUNTY, TEXAS, SAID 2.10 ACRE TRACT BEING A PART OF A CERTAIN 7.98 ACRE TRACT DESCRIBED AS TRACT FIVE IN WARRANTY DEED RECORDED IN VOLUME 2852, PAGE 901, DEED RECORDS, AND A PART OF A 1.0 ACRE TRACT DESCRIBED AS TRACT XVII IN "CORRECTION" WARRANTY DEED, RECORDED IN DOCUMENT NO. 2452939, DEED RECORDS, HIDALGO COUNTY, TEXAS.

BEGINNING at a point on the West line of Lot 22, North 08 Deg. 41 Min. 56 Sec. East, 40.0 feet from the Southwest corner of Lot 22, for the Southwest corner of the following described tract of land, said point located in North 23rd Street (FM# 1926);

THENCE, with the West line of Lot 22, in North 23rd Street, North 08 Deg. 41 Min. 56 Sec. East, at 136.70 feet pass the common west corner between said 7.98 acre tract and said 10 acre tract, and at 250.7 feet the Northwest corner of said 10 acre tract for the Northwest corner hereof; said point being on the projection of the South line of Lot 1, Polvado Glass Subdivision, City of McAllen, recorded in Volume 24, Page 24B, Map Records;

THENCE, with the North line of said 10 acre tract, and the South line of said Lot 1, and its projection, South 81 Deg. 18 Min. 04 Sec. East, at 40.0 feet pass the East line of North 23rd Street, at 50.0 feet pass the Southwest corner of said Lot 1, and at 362.1 feet the Southeast corner of Lot 1, for the Northeast corner hereof; said point being on the West line of 20 foot alley;

THENCE, with the West line of 20.0 foot alley, South 08 Deg. 41 Min. 56 Sec. West, 262.30 feet to a point on the North line of Kerria Avenue, for the Southeast corner hereof; said Kerria Avenue as shown on the plat of Valley Gardens Subdivision, City of McAllen, recorded in Volume 20, Page 138, Map Records; said point being on a curve to the right;

THENCE, with the North line of Kerria Avenue, with said curve to the right, in a westerly direction, on a radius of 260.42 feet, through an arc of 06 Deg. 36 Min. 22 Sec. and a distance of 30.03 feet to the point of beginning of a curve to the left for a point on the South line hereof;

THENCE, continue with the North line of Kerria Avenue, with said curve to the left, in a westerly direction, on a radius of 310.42 feet, through an arc of 12 Deg. 09 Min. 50 Sec. and a distance of 71.32 feet to end of curve for a point on the South line hereof;

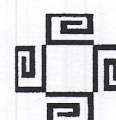
THENCE, continue with the North line of Kerria Avenue, North 81 Deg. 18 Min. 04 Sec. West, at 221.60 feet pass the East line of North 23rd Street, and at 261.60 feet the POINT OF BEGINNING; Containing 2.10 acres of land, more or less, of which the WEST 40.0 feet, comprising 0.23 acres, lies in North 23rd Street.

NOTES:

- 1) MINIMUM BUILDING SETBACK SHALL BE AS FOLLOWS:
A. FRONT - 50 FEET OR GREATER FOR APPROVED SITE PLAN
B. SIDE - 20 FEET - KERRIA AVE.
C. OTHERS - IN ACCORDANCE WITH ZONING ORDINANCE OR GREATER FOR APPROVED SITE PLAN OR EASEMENT.
- 2) MINIMUM FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE TOP OF CURB MEASURED AT FRONT CENTER OF LOT.
- 3) THIS PROPERTY FALLS IN ZONE "B" OF THE FLOOD INSURANCE RATE MAP, PANEL NO. 480 343 0005 C, REVISED NOVEMBER 2, 1982.
- 4) A 6' BUFFER OPAQUE IS REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL OR INDUSTRIAL ZONES/USES. AN 8' MASONRY WALL IS REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- 5) A 4' WIDE MINIMUM SIDEWALK IS REQUIRED ON KERRIA AVE. AND A 5' WIDE MINIMUM SIDEWALK IS REQUIRED ON N. 23RD ST.
- 6) BENCHMARK - STATION NAME: MC 59 SET BY ARANDA & ASSOC. LOCATED AT THE NORTHWEST CORNER OF N. 23rd ST. AND MILE 3 RD. ELEV. - 118.71 FT (NAVD83)
- 7) OWNER IS REQUIRED TO PROVIDE AN ENGINEERED STORM WATER DETENTION PLAN APPROVED BY THE CITY OF McALLEN ENGINEERING DEPT. PRIOR TO ISSUANCE OF BUILDING PERMIT.
- 8) STORM WATER DETENTION OF 0.31 AC-FT IS REQUIRED FOR THIS SUBDIVISION.
- 9) NOTE FOR GAS LINE - SEE CONSENT TO ENCROACHMENT AGREEMENT BETWEEN MOFFITT ET. AL. AND HESCO PIPELINE COMPANY, LLC RECORDED IN DOCUMENT NO. 2780505 OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.



February 05 2025
Scale: 1"=60'



MAP OF KERRIA CENTER

BEING A SUBDIVISION OF
A 2.10 ACRE TRACT OF LAND
OUT OF LOT 22, BLOCK 1,
C. E. HAMMONDS SUBDIVISION
of Porciones 61, 62, 63 and 64,
Hidalgo County, Texas
according to plat recorded in
vol. 21, page 599, Deed Records
Hidalgo County, Texas.

STATE OF TEXAS,
COUNTY OF HIDALGO:

I (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED AS THE "KERRIA CENTER" SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME(S) IS (ARE) SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE), WILL CAUSE TO BE INSTALLED THEREON SHOWN OR NOT SHOWN IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

James M. Moffitt, Trustee For Michael
Moffitt, Meredith Moffitt, Michelle Moffitt
and Melissa Moffitt

Jm E. Mary Kay Moffitt Family, Ltd
a Texas Limited Partnership

JAMES M. MOFFITT, Trustee
128 Pecan Blvd
McAllen, Texas, 78501

JAMES M. MOFFITT, President
128 Pecan Blvd
McAllen, Texas, 78501

STATE OF TEXAS,
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JAMES M. MOFFITT, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE (SHE) EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 2025.

NOTARY PUBLIC

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION

DATE

STATE OF TEXAS,
COUNTY OF HIDALGO:

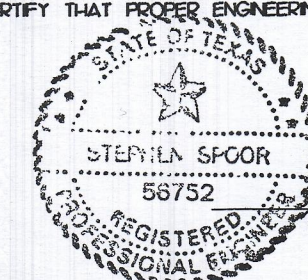
I, REYNALDO ROBLES, THE UNDERSIGNED, REGISTERED PROFESSIONAL LAND SURVEYOR #4032 IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE, AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

REYNALDO ROBLES, RLS # 4032
ROBLES AND ASSOCIATE, PLLC
107 W. HUSACHE ST.
WESLACO, TEXAS 78596
TPELS FIRM No. 10096700

DATE

STATE OF TEXAS,
COUNTY OF HIDALGO:

I, STEPHEN SPOOR, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.



02-05-25
REGISTERED PROFESSIONAL ENGINEER
P. E. REGISTRATION No. 58752

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN

DATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE 49.206. THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION. BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA, IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

BY: RALL E. SESN, PE, CFM

DATE

FEB 21 2025
BY:



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 3/13/2025

SUBDIVISION NAME: KERRIA CENTER

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

N. 23rd Street: Proposing 10 ft. ROW dedication for 50 ft. from centerline for 110 ft. total ROW
Paving: by the state Curb & gutter: by the state

- Reference document number on the plat for the existing ROW and provide a copy for staff review as applicable, prior to final.

- Label total ROW after additional ROW dedication is accounted for, prior to final.

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Kerria Ave.: 5 ft. ROW dedication for 30 ft. from centerline for 60 ft. ROW

Paving: 40 ft. Curb & gutter: both sides

- Reference document number on the plat for the existing ROW and provide a copy for staff review as applicable, prior to final.

- Label total ROW after additional ROW dedication is accounted for, prior to final.

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

Paving _____ Curb & gutter _____

**Subdivision Ordinance: Section 134-105

**Monies must be escrowed if improvements are required prior to final

**COM Thoroughfare Plan

* 1,200 ft. Block Length

**Subdivision Ordinance: Section 134-118

* 900 ft. Block Length for R-3 Zone Districts

**Subdivision Ordinance: Section 134-118

* 600 ft. Maximum Cul-de-Sac

**Subdivision Ordinance: Section 134-105

Non-compliance

Non-compliance

Applied

Applied

NA

NA

ALLEYS

ROW: 20 ft. Paving: 16 ft.

*Alley/service drive easement required for commercial properties; existing alley to the east.

**Subdivision Ordinance: Section 134-106

Applied

SETBACKS

* Front: N. 23rd Street: 50 ft. or greater for approved site plan or easements.

**Zoning Ordinance: Section 138-356

* Rear: In accordance with the Zoning Ordinance, or greater for approved site plan or easements.

- Include a plat note as shown above, prior to final.

**Zoning Ordinance: Section 138-356

Applied

Non-compliance

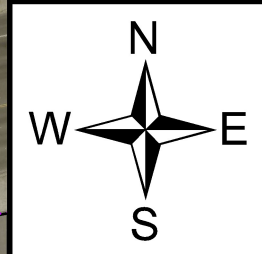
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Side: In accordance with the Zoning Ordinance, or greater for approved site plan or easements. - Revise plat note as shown above, prior to final. **Zoning Ordinance: Section 138-356 * Corner: 20 ft. or greater for approved site plan or easements - Include a plat note as shown above, prior to final. **Engineer is requesting a 20 ft. corner setback along Kerria Ave., as previously approved by the Planning and Zoning Commission on July 19, 2016. The plat received final on the 19th; however, it was not recorded. **P&Z approved the 20 ft. corner setback on Kerria Ave. at the meeting of June 5, 2018. **Zoning Ordinance: Section 138-356 * Garage **Zoning Ordinance: Section 138-356 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN 	Non-compliance
	Non-compliance
	NA
	Applied
SIDEWALKS	
<ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required on North 23rd Street and Kerria Avenue - Engineering Department is requiring a 5 ft. wide sidewalk on N. 23rd Street. **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time. 	Applied
	Required
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46 * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46 *Perimeter buffers must be built at time of Subdivision Improvements. 	Applied
	Applied
	Required
NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. * Common Areas, any private streets/drives, etc. must be maintained by the lot owners and not the City of McAllen. - Include a plat note as shown above, prior to final. * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. * Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	TBD
	Applied
	Non-compliance
	Applied
	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<ul style="list-style-type: none"> * Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if public subdivision is proposed. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168 	NA
LOT REQUIREMENTS	
<ul style="list-style-type: none"> * Lots fronting public streets **Subdivision Ordinance: Section 134-1 	Applied
<ul style="list-style-type: none"> * Minimum lot width and lot area **Zoning Ordinance: Section 138-356 	Applied
ZONING/CUP	
<ul style="list-style-type: none"> * Existing: C-3 Proposed: C-3 ***Zoning Ordinance: Article V 	Applied
<ul style="list-style-type: none"> * Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V 	NA
PARKS	
<ul style="list-style-type: none"> * Land dedication in lieu of fee. Commercial developments do not apply to Parks. 	Applied
<ul style="list-style-type: none"> * Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. Commercial developments do not apply to Parks. 	Applied
<ul style="list-style-type: none"> * Pending review by the City Manager's Office. Commercial developments do not apply to Parks. 	Applied
TRAFFIC	
<ul style="list-style-type: none"> * As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. - As per Traffic Department, submit and updated trip generation to compare to previously approved trip generation. * Traffic Impact Analysis (TIA) required prior to final plat. 	Required
	TBD
COMMENTS	
<ul style="list-style-type: none"> Comments: - Agreement from respective Gas Company needed for any improvements over easement. *Must comply with City's Access Management Policy. 	Applied
RECOMMENDATION	
<ul style="list-style-type: none"> Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVAL. 	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



NOLANA AVE

LOCATION

NOLANA TERRACE

LOT 1
POLVADO GLASS
SUBDIVISION
**PROPOSED
KERRIA CENTER**

CENTER

N 23RD ST

LIZALU
SUBDIVISION
BLOCK 1
104

N. 22ND ST.

AVE.



Sub 2015-0025

City of McAllen

Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Balboa Acres The West 1/2 of lot 9</u>	
	Legal Description <u>The West one-half (W 1/2) of lot 9, Block 28, Balboa Acres, on addition to the City of McAllen Hidalgo County, Texas, according to the map recorded in volume 14, Page 31</u>	
	Location _____	
	City Address or Block Number <u>3411 Elmira Ave</u>	
	Total No. of Lots <u>1</u> Total Dwelling Units <u>1</u> Gross Acres <u>.123</u> Net Acres <u>.123</u>	
	<input checked="" type="checkbox"/> Public Subdivision/ <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial (_____ Acres)/ <input checked="" type="checkbox"/> Residential (<u>1</u> Lots) Replat: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R-1</u> Proposed Zoning <u>R-1</u> Applied for Rezoning <input type="checkbox"/> No/ <input type="checkbox"/> Yes: Date _____	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>one house</u>	
	Irrigation District # _____ Water CCN: <input checked="" type="checkbox"/> MPU/ <input type="checkbox"/> Sharyland Water SC Other _____	
Agricultural Exemption: <input type="checkbox"/> Yes/ <input type="checkbox"/> No Parcel # _____		
Estimated Rollback Tax Due _____ Tax Dept. Review _____		
Owner	Name <u>Juan Antonio Padilla Jr</u> Phone <u>8999 441146</u>	
	Address <u>2617 Elmira Ave</u> E-mail <u>karina.sanchez@transpadilla.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78503</u>	
Developer	Name <u>Karina Sanchez</u> Phone <u>(52) 8999 441146</u>	
	Address <u>Agata 612</u> E-mail <u>karina.sanchez@transpadilla.com</u>	
	City <u>Reynosa</u> State _____ Zip <u>82710</u>	
	Contact Person <u>Karina Sanchez</u>	
Engineer	Name _____ Phone _____	
	Address _____ E-mail _____	
	City _____ State _____ Zip _____	
	Contact Person _____	
Surveyor	Name <u>Art Salinas</u> Phone <u>(956) 618 5565</u>	
	Address <u>1524 Dove Avenue</u> E-mail <u>asalinas@transpadilla.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u>	

FEB 10 2025

BY: MR

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

Email Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature Juan Padilla Date 2/18/25

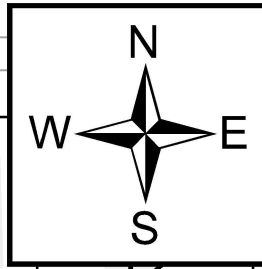
Print Name Juan Antonio Padilla Jr

Owner ☒

Authorized Agent ☐

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

DAYTONA AVE.



LOCATION

ELMIRA AVE.

S 33RD ST

FRANCISCA AVE.

GLORIA AVE.

9

**ART SALINAS****ENGINEERING & SURVEYING**

1524 DOVE AVENUE,

McALLEN, TEXAS 78504

PH: (956) 618-5565

FAX: (956) 618-5540

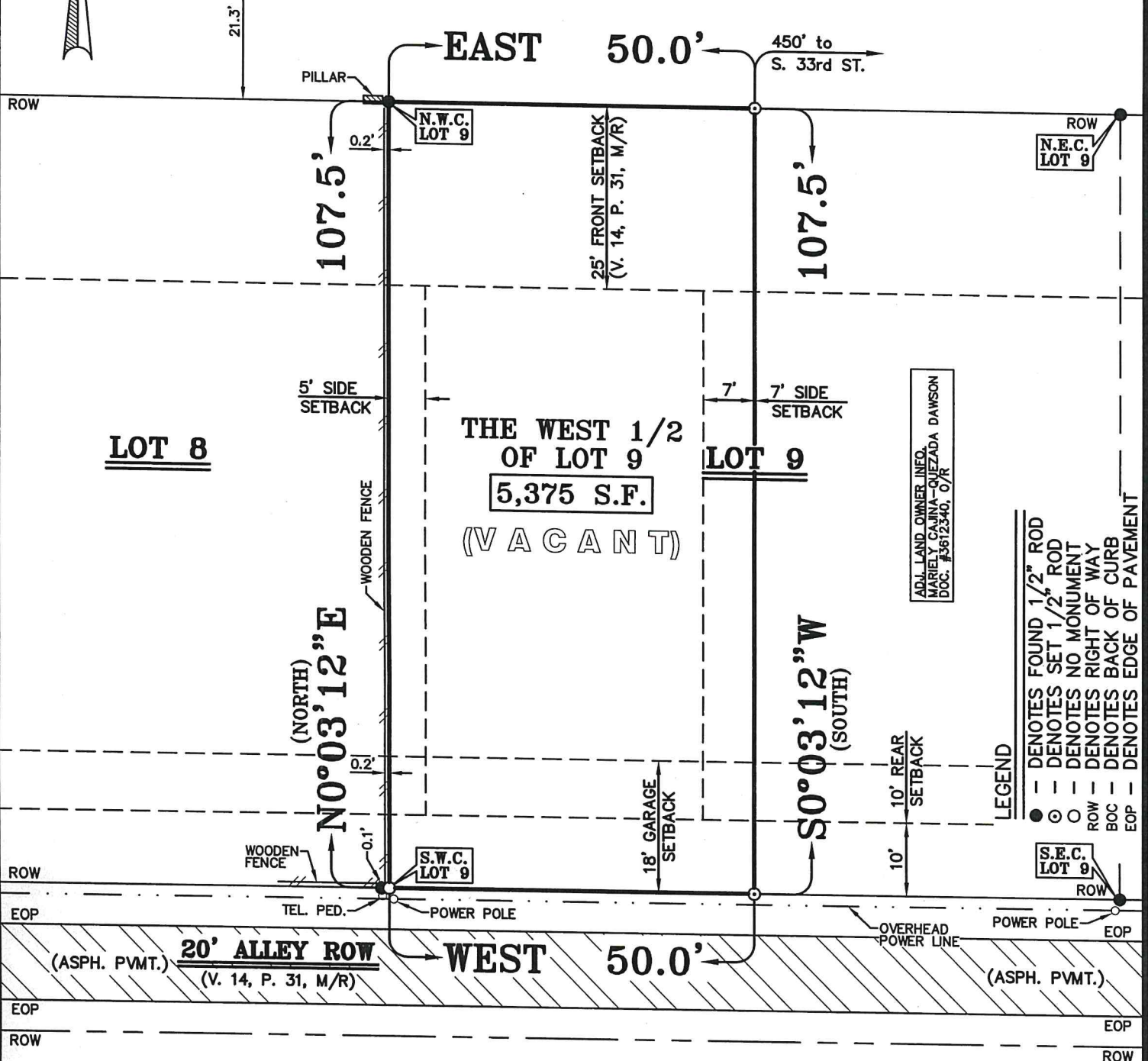
ELMIRA AVE.

(80' ROW-V. 14, P. 31, M/R)

SCALE:
1"=20'

BOC

BOC



FLOOD ZONE DESIGNATION: The property shown hereon lies in Zone AH. Zone AH areas are areas of flooding where depths are between one (1) and three (3) feet (usually areas of ponding); base flood elevations are determined as per F.E.M.A. Flood Insurance Rate Map Panel No. 480343-0010-C dated 11-02-82.

- PLAT NOTES:**
- There are no discrepancies, conflicts, shortages in area or boundary lines, encroachments, overlapping of improvements or visible or apparent easements, except as shown on this plat.
 - This survey plat is prepared in connection with Title Commitment G.F. # 188847 and does not guarantee title. This survey is for the exclusive use of the client named hereon and may not be copied or transferred to another party without the express written consent of the surveyor.
 - This survey must contain an embossed seal and an original signature to be valid as per Section 661.46 and Section 663.19 of the "The Professional Land Surveying Practices Act".
 - This is a standard survey and does not include the location or subsurface investigation of underground utility, irrigation and/or gas lines.
 - Easements, rules, regulations and rights in favor of Hidalgo County Water Improvement District No. 3. (Blanket)
 - Easements for roadways, telephone poles and lines, laterals and drainage ditches as shown by instrument dated October 17, 1917, recorded in Volume 69, Page 341, Deed Records of Hidalgo County, Texas (Blanket)
 - Utility easement as shown by instrument dated May 19, 1978, recorded in Volume 1578, Page 53, Deed Records of Hidalgo County, Texas. (Blanket)
 - Easements in favor of Hidalgo County Water Improvement District No. 3 as shown by instrument dated January 16, 1960, recorded in Volume 1019, Page 199, and in Petition and Order dated November 5, 1959, recorded in Volume 1045, Page 611, Deed Records of Hidalgo County, Texas. (Blanket)
 - Building setback lines as per City Zoning Ordinance unless otherwise noted.
 - Subject to any oil, gas and mineral lease of record.
 - Bearing Basis: "N. line of Lot 9, Balboa Acres"
 - BORROWER(s): Juan Antonio Padilla Jr.

THIS IS TO CERTIFY THAT I HAVE, THIS DATE, PREPARED A SURVEY ON THE GROUND WHICH IS LOCATED AT
ELMIRA AVE., in McALLEN, TEXAS, DESCRIBED AS FOLLOWS:
THE WEST ONE-HALF (W. 1/2) OF LOT 9, BLOCK 28, BALBOA ACRES, AN ADDITION TO THE CITY OF McALLEN,
HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP RECORDED IN VOLUME 14, PAGE 31, MAP RECORDS IN THE OFFICE
OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES.

25-68778A
Job No.02-10-25
Date

© COPYRIGHT 2025 ART SALINAS ENGINEERING INC. THIS SURVEY WAS
PROVIDED IN MULTIPLE ORIGINALS SOLELY FOR THE USE OF THE BORROWER
NAMED HEREON. NO LICENSE HAS BEEN CREATED, EXPRESSED OR IMPLIED
TO COPY THIS SURVEY.

Registered Professional Land Surveyor No. 4802



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 3/11/2025

SUBDIVISION NAME: BALBOA ACRES WEST 1/2 OF LOT 9

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Elmira Avenue: 80 ft. ROW existing
 Paving: approximately 36 ft. existing Curb & gutter: both sides
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

Applied

Paving _____ Curb & gutter _____
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

NA

Paving _____ Curb & gutter _____
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

NA

* 1,200 ft. Block Length
 **Subdivision Ordinance: Section 134-118
 * 900 ft. Block Length for R-3 Zone Districts
 **Subdivision Ordinance: Section 134-118
 * 600 ft. Maximum Cul-de-Sac
 **Subdivision Ordinance: Section 134-105

NA

NA

NA

ALLEYS

R.O.W.: 20 ft. Paving: existing conditions remain
 *Alley/service drive easement required for commercial/multi-family properties
 **Subdivision Ordinance: Section 134-106

Applied

SETBACKS

* Front: 25 ft.
 **Zoning Ordinance: Section 138-356
 * Rear: In accordance with the Zoning Ordinance or greater for easements
 **Zoning Ordinance: Section 138-356
 * Sides: In accordance with the Zoning Ordinance or greater for easements
 **Zoning Ordinance: Section 138-356
 * Corner
 **Zoning Ordinance: Section 138-356
 * Garage: 18 ft. except where greater setback required, greater setback applies
 **Zoning Ordinance: Section 138-356
 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN

Applied

Applied

Applied

NA

Applied

Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SIDEWALKS	
* 4 ft. wide minimum sidewalk required on **Subdivision Ordinance: Section 134-120	NA
* Perimeter sidewalks must be built or money escrowed if not built at this time.	NA
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46	NA
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46	NA
*Perimeter buffers must be built at time of Subdivision Improvements.	NA
NOTES	
* No curb cut, access, or lot frontage permitted along _____ **Must comply with City Access Management Policy	Applied
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	Applied
* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.	Applied
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	Applied
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Applied
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Applied
LOT REQUIREMENTS	
* Lots fronting public streets _____ **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area _____ **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing _____ Proposed _____ ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	Applied

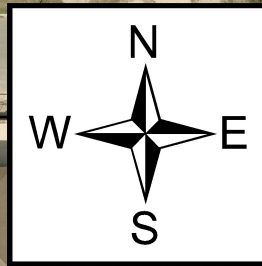
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

PARKS	
* Land dedication in lieu of fee.	Applied
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording	Applied
* Pending review by the Parkland Dedication Advisory Board and CC.	Applied
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.	Applied
* Traffic Impact Analysis (TIA) required prior to final plat.	Applied
COMMENTS	
Comments: *Must comply with City's Access Management Policy.	Applied
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS	Applied



DAYTONA AVE.

DAYTONA AVE



LOCATION

ELMIRA AVE.

ELMIRA AVE

S 33RD ST

FRANCISCA AVE.

FRANCISCA AVE

FRANCISCA AVE

GLORIA AVE.

GLORIA AVE

GLORIA AVE

Sub2025-0026



City of McAllen Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Balboa Acres The East one-half (E 1/2) Lot 9</u>	
	Legal Description <u>The East one-half (E 1/2) of lot 9, Block 28 Balboa Acres on addition to the City of McAllen, Hidalgo County, Tx According to the map recorded in Volume 141 Page 31</u>	
	Location _____	
	City Address or Block Number <u>3409 Elmira Ave.</u>	
	Total No. of Lots <u>1</u> Total Dwelling Units <u>1</u> Gross Acres <u>.123</u> Net Acres <u>.123</u>	
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial (_____ Acres) / <input checked="" type="checkbox"/> Residential (<u>1</u> Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R-1</u> Proposed Zoning <u>R-1</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>one house</u>	
	Irrigation District # _____ Water CCN: <input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other _____	
Agricultural Exemption: <input type="checkbox"/> Yes / <input type="checkbox"/> No Parcel # _____		
Estimated Rollback Tax Due _____ Tax Dept. Review _____		
Owner	Name <u>Juan Antonio Padilla Jr</u>	Phone <u>(52) 8999 441146</u>
	Address <u>Agua 2617 Elmira Ave</u>	E-mail <u>karina.sanchez@transpadilla.com</u>
	City <u>McAllen</u>	State <u>Tx</u> Zip <u>78503</u>
Developer	Name <u>Karina Sanchez</u>	Phone <u>(52) 8999 441146</u>
	Address <u>Agua 612</u>	E-mail <u>karina.sanchez@transpadilla.com</u>
	City <u>Reynosa</u>	State <u>Tam</u> Zip <u>88710</u>
	Contact Person <u>Karina</u>	
Engineer	Name _____	Phone _____
	Address _____	E-mail _____
	City _____	State _____ Zip _____
	Contact Person _____	
Surveyor	Name <u>Arturo A Salinas</u>	Phone <u>956 618-5565</u>
	Address <u>Dove Avenue 1524</u>	E-mail <u>asalinas@artsalinas.com</u>
	City <u>McAllen</u>	State <u>TX</u> Zip <u>78504</u>

FEB 19 2025

BY: CW

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

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- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents

*Submit documents to subdivisions@mcallen.net

ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at subdivisions@mcallen.net

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

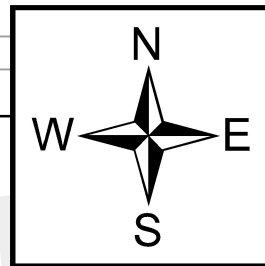
Signature Juan Padilla Date 2/18/25

Print Name Juan Antonio Padilla Jr

Owner ☒ Authorized Agent ☐

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

DAYTONA AVE.



6

7

8-A

8-B

9

10

11

12

13

27

LOCATION

WEST 1/2 OF 19

EAST 1/2 OF 19

22

23

24

25

26-A

ELMIRA AVE.

6

7

8

9

10

11

12

28

19

20-A

20-B

21-A

21-B

22-A

22-B

23

24

25

26

S 33RD ST

FRANCISCA AVE.

6

7

8

9

10

11

12-A

12-B

13

29

19

20-A

20-B

21

22

23

24-A

24-B

25-A

25-B

26

GLORIA AVE.

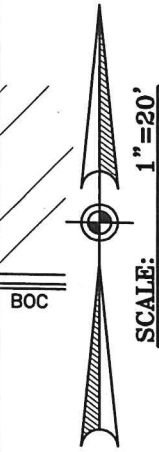
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ART SALINAS
ENGINEERING & SURVEYING

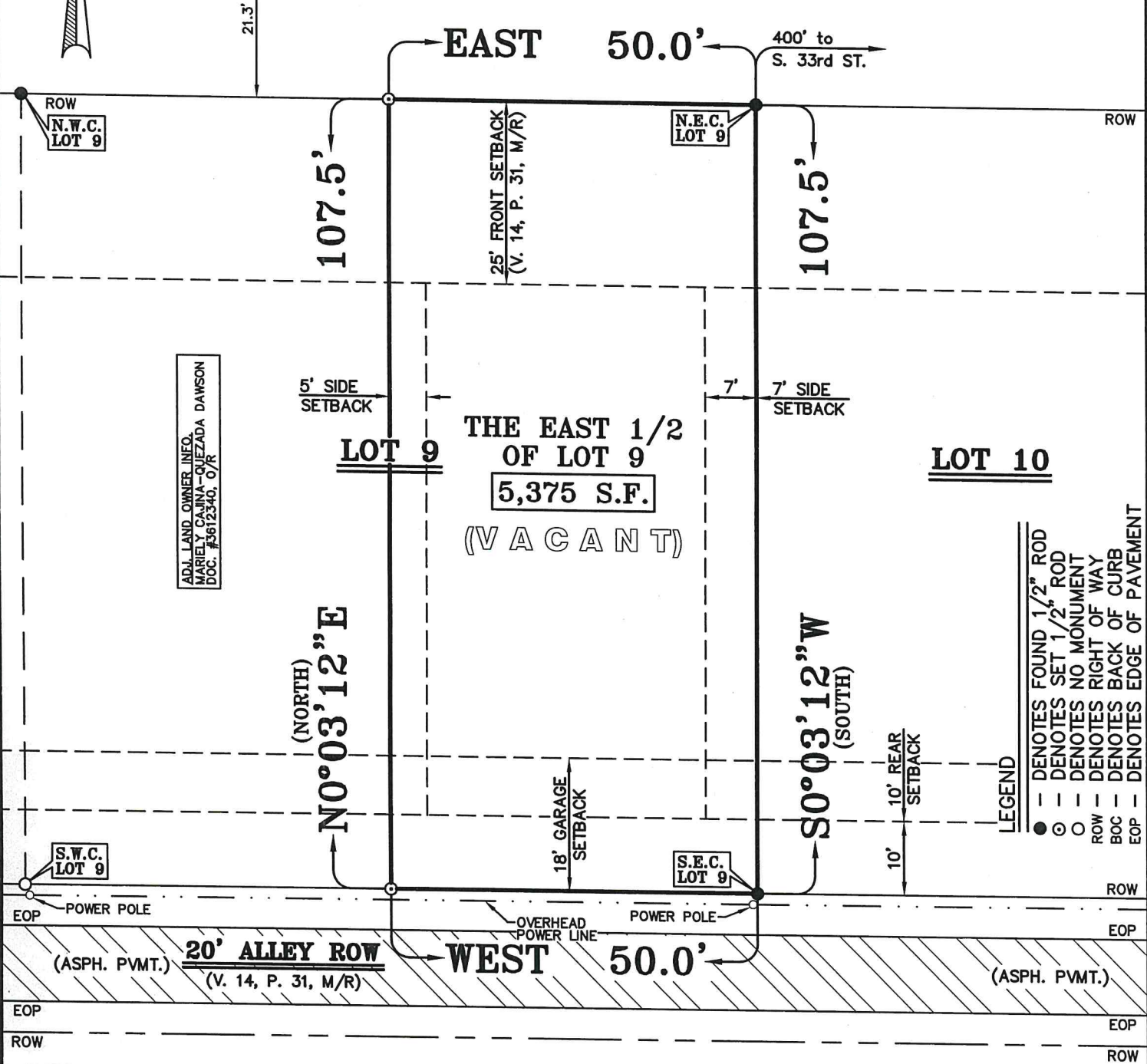
1524 DOVE AVENUE, McALLEN, TEXAS 78504 PH: (956) 618-5585 FAX: (956) 618-5540

ELMIRA AVE.
(80' ROW-V. 14, P. 31, M/R)



BOC

BOC



FLOOD ZONE DESIGNATION: The property shown hereon lies in Zone AH. Zone AH areas are areas of flooding where depths are between one (1) and three (3) feet (usually areas of ponding); base flood elevations are determined as per F.E.M.A. Flood Insurance Rate Map Panel No. 480343-0010-C dated 11-02-82.

- PLAT NOTES:**
- There are no discrepancies, conflicts, shortages in area or boundary lines, encroachments, overlapping of improvements or visible or apparent easements, except as shown on this plat.
 - This survey plat is prepared in connection with Title Commitment G.F. # 188847 and does not guarantee title. This survey is for the exclusive use of the client named hereon and may not be copied or transferred to another party without the express written consent of the surveyor.
 - This survey must contain an embossed seal and an original signature to be valid as per Section 661.46 and Section 663.19 of the "The Professional Land Surveying Practices Act".
 - This is a standard survey and does not include the location or subsurface investigation of underground utility, irrigation and/or gas lines.
 - Easements for roads, telephone poles and lines, laterals and drainage ditches as shown by instrument dated October 17, 1917, recorded in Volume 69, Page 341, Deed Records of Hidalgo County, Texas (Blanket)
 - Utility easement as shown by instrument dated May 19, 1978, recorded in Volume 1578, Page 53, Deed Records of Hidalgo County, Texas. (Blanket)
 - Easements in favor of Hidalgo County Water Improvement District No. 3 as shown by instrument dated January 16, 1960, recorded in Volume 1019, Page 199, and in Petition and Order dated November 5, 1959, recorded in Volume 1045, Page 611, Deed Records of Hidalgo County, Texas. (Blanket)
 - Building setback lines as per City Zoning Ordinance unless otherwise noted.
 - Subject to any oil, gas and mineral lease of record.
 - Bearing Basis: "N. line of Lot 9, Balboa Acres"

BORROWER(s): Juan Antonio Padilla Jr.

THIS IS TO CERTIFY THAT I HAVE, THIS DATE, PREPARED A SURVEY ON THE GROUND WHICH IS LOCATED AT
ELMIRA AVE., in McALLEN, TEXAS, DESCRIBED AS FOLLOWS:
THE EAST ONE-HALF (E. 1/2) OF LOT 9, BLOCK 28, BALBOA ACRES, AN ADDITION TO THE CITY OF McALLEN,
HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP RECORDED IN VOLUME 14, PAGE 31, MAP RECORDS IN THE OFFICE
OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES.

25-68778B
Job No.

02-10-25
Date

© COPYRIGHT 2025 ART SALINAS ENGINEERING INC. THIS SURVEY WAS
PROVIDED IN MULTIPLE ORIGINALS SOLELY FOR THE USE OF THE BORROWER
NAMED HEREON. NO LICENSE HAS BEEN CREATED, EXPRESSED OR IMPLIED
TO COPY THIS SURVEY.

Registered Professional Land Surveyor No. 4802





City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 3/11/2025

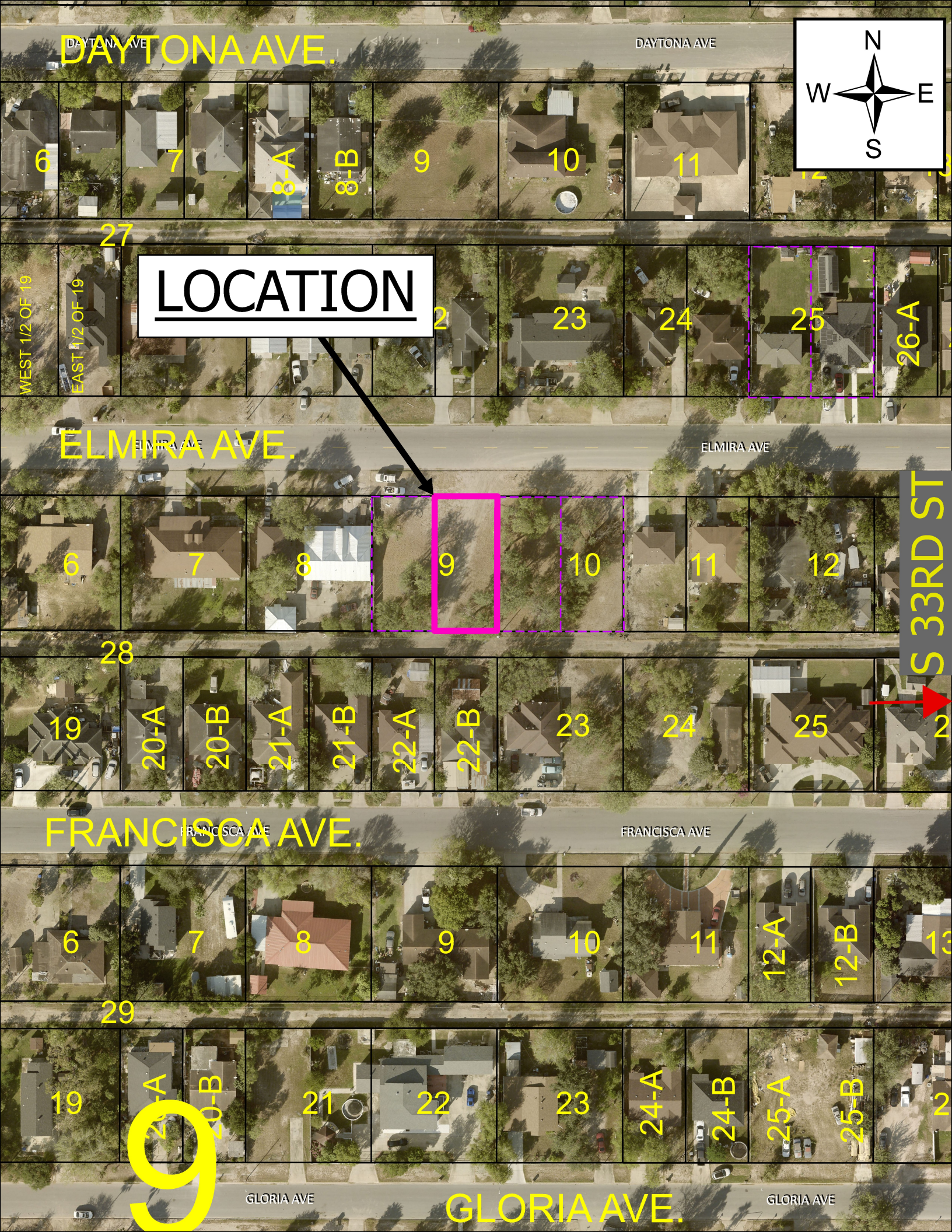
SUBDIVISION NAME: BALBOA ACRES THE EAST ONE HALF (E 1/2) LOT 9	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
Elmira Avenue: 80 ft. ROW existing Paving: approximately 36 ft. existing Curb & gutter: both sides **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	Applied
Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	NA
Paving _____ Curb & gutter _____ **Subdivision Ordinance: Section 134-105 **Monies must be escrowed if improvements are required prior to final **COM Thoroughfare Plan	NA
* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118	NA
* 900 ft. Block Length for R-3 Zone Districts **Subdivision Ordinance: Section 134-118	NA
* 600 ft. Maximum Cul-de-Sac **Subdivision Ordinance: Section 134-105	NA
ALLEYS	
R.O.W.: 20 ft. Paving: existing conditions remain *Alley/service drive easement required for commercial/multi-family properties **Subdivision Ordinance: Section 134-106	Applied
SETBACKS	
* Front: 25 ft. **Zoning Ordinance: Section 138-356	Applied
* Rear: In accordance with the Zoning Ordinance or greater for easements **Zoning Ordinance: Section 138-356	Applied
* Sides: In accordance with the Zoning Ordinance or greater for easements **Zoning Ordinance: Section 138-356	Applied
* Corner **Zoning Ordinance: Section 138-356	NA
* Garage: 18 ft. except where greater setback required, greater setback applies **Zoning Ordinance: Section 138-356	Applied
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SIDEWALKS	
* 4 ft. wide minimum sidewalk required on **Subdivision Ordinance: Section 134-120	NA
* Perimeter sidewalks must be built or money escrowed if not built at this time.	NA
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46	NA
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46	NA
*Perimeter buffers must be built at time of Subdivision Improvements.	NA
NOTES	
* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy	NA
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	NA
* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.	NA
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Applied
LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area - Survey for East half of Lot 9, Block 28 shows 50 ft. of width **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing: R-1 Proposed:R-1 ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA

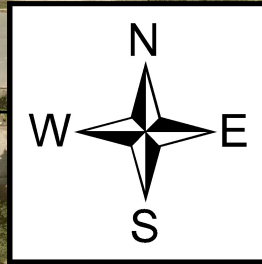
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording	Required
* Pending review by the City Manager's Office.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.	TBD
* Traffic Impact Analysis (TIA) required prior to final plat.	TBD
COMMENTS	
Comments: - Existing plat notes remain the same - Public hearing with legal notices required for the subdivision of the lot - Must comply with other department requirements prior to recording as may be applicable *Must comply with City's Access Management Policy.	Applied
RECOMMENDATION	
RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE & UTILITIES APPROVAL.	Applied



DAYTONA AVE.

DAYTONA AVE



LOCATION

ELMIRA AVE.

ELMIRA AVE

S 33RD ST

FRANCISCA AVE.

FRANCISCA AVE

GLORIA AVE

GLORIA AVE.

GLORIA AVE

Sub 2025-0027



Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>Balboa Acres The West 1/2 of lot 10</u>	
	Legal Description <u>The West one-half (W1/2) of lot 10, Block 28, Balboa Acres on addition to the City of McAllen Hidalgo County, Texas according to the map recorded in Volume 14 Page 31</u>	
	Location _____	
	City Address or Block Number <u>3405 Elmira Avenue</u>	
	Total No. of Lots <u>1</u> Total Dwelling Units <u>1</u> Gross Acres <u>.123</u> Net Acres <u>.123</u>	
	<input checked="" type="checkbox"/> Public Subdivision/ <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial (_____ Acres)/ <input checked="" type="checkbox"/> Residential (<u>1</u> Lots) Replat: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R-1</u> Proposed Zoning <u>R-1</u> Applied for Rezoning <input checked="" type="checkbox"/> No/ <input type="checkbox"/> Yes: Date _____	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>one house</u>	
	Irrigation District # _____ Water CCN: <input type="checkbox"/> MPU/ <input type="checkbox"/> Sharyland Water SC Other _____	
Agricultural Exemption: <input type="checkbox"/> Yes/ <input type="checkbox"/> No Parcel # _____		
Estimated Rollback Tax Due _____ Tax Dept. Review _____		
Owner	Name <u>Juan Antonio Padilla Jr</u> Phone <u>(52) 8999 441146</u>	
	Address <u>2617 Elmira Ave</u> E-mail <u>Karina.sanchez@transpadilla.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78503</u>	
Developer	Name <u>Karina Sanchez</u> Phone <u>(52) 8999 44-1146</u>	
	Address <u>Agata 612</u> E-mail <u>Karina.sanchez@transpadilla.com</u>	
	City <u>Reynosa</u> State <u>Tam</u> Zip <u>88710</u>	
	Contact Person <u>Karina Sanchez</u>	
Engineer	Name _____ Phone _____	
	Address _____ E-mail _____	
	City _____ State _____ Zip _____	
	Contact Person _____	
Surveyor	Name <u>Arturo A Salinas</u> Phone <u>(956) 618-5563</u>	
	Address <u>1524 Dale Avenue</u> E-mail <u>asalinas@artsalinas.com</u>	
	City <u>McAllen TX</u> State <u>TX</u> Zip <u>78504</u>	

BY: NAR

FEB 19 2025

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
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- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
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- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

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ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL

PLAT TO SHOW:

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
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Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

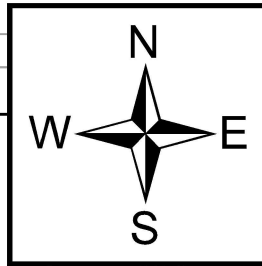
Signature Juan Padilla Date 2/18/25

Print Name Juan Antonio Padilla Jr

Owner ☒ Authorized Agent ☐

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion

DAYTONA AVE.



	7	8-A	8-B	9	10	11	12	13
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27

EAST 1/2 OF 19	20	LOCATION	23	24	25	26-A	26
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ELMIRA AVE.

6	7	8	9		10	11	12	13
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28

19	20-A	20-B	21-A	21-B	22-A	22-B	23	24	25	26
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S 33RD ST

FRANCISCA AVE.

6	7	8	9	10	11	12-A	12-B	13
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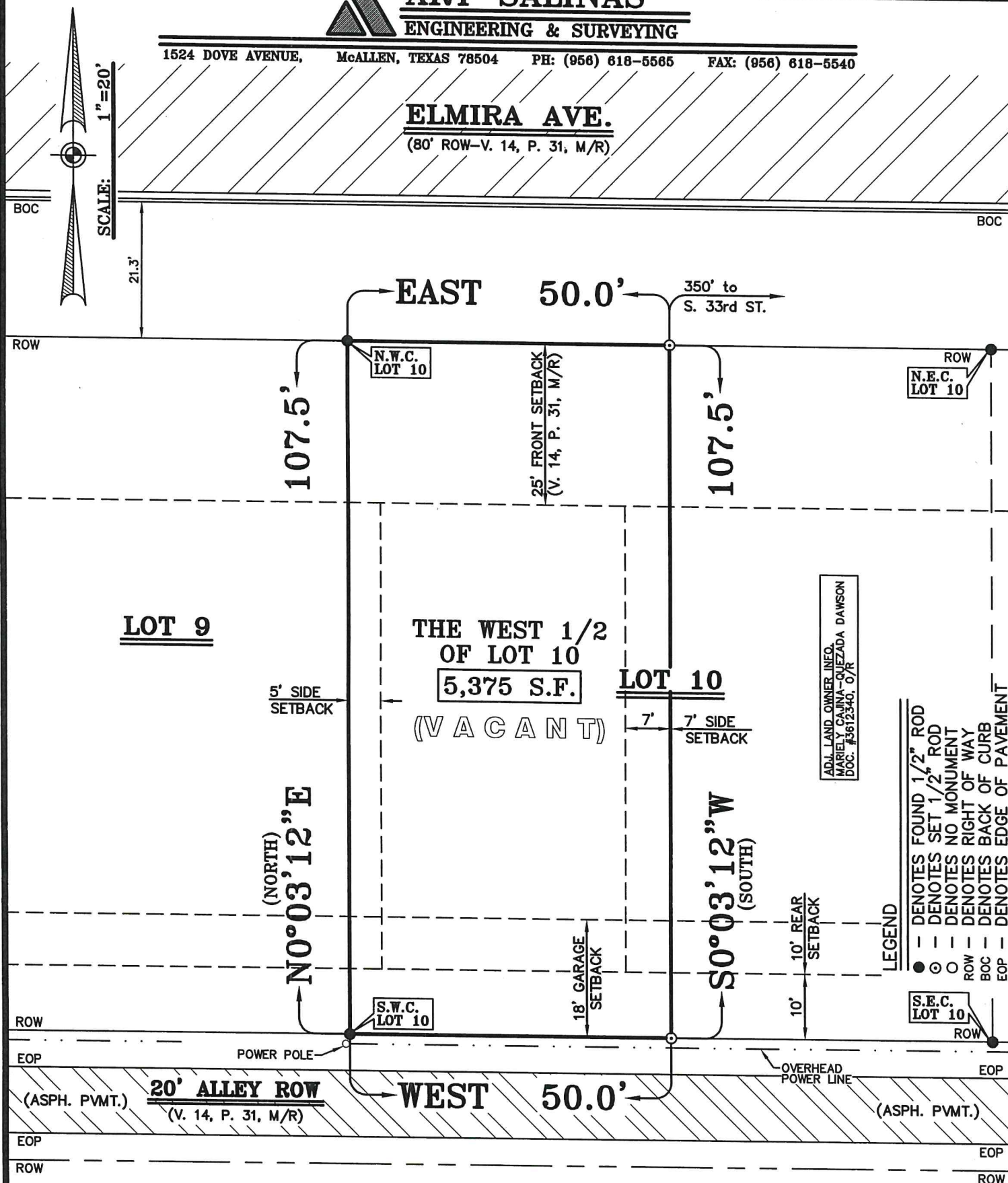
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19	20-A	20-B	21	22	23	24-A	24-B	25-A	25-B	26
----	------	------	----	----	----	------	------	------	------	----

GLORIA AVE.

9

T.B.P.L.S. FIRM No.: 10004000



FLOOD ZONE DESIGNATION: The property shown hereon lies in Zone AH. Zone AH areas are areas of flooding where depths are between one (1) and three (3) feet (usually areas of ponding); base flood elevations are determined as per F.E.M.A. Flood Insurance Rate Map Panel No. 480343-0010-C dated 11-02-82.

PLAT NOTES:

1. There are no discrepancies, conflicts, shortages in area or boundary lines, encroachments, overlapping of improvements or visible or apparent easements, except as shown on this plat.
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 4. This is a standard survey and does not include the location or subsurface investigation of underground utility, irrigation and/or gas lines.
 5. Easements, rules, regulations and rights in favor of Hidalgo County Water Improvement District No. 3. (Blanket)
 6. Easements for roadways, telephone poles and lines, laterals and drainage ditches as shown by instrument dated October 17, 1917, recorded in Volume 69, Page 341, Deed Records of Hidalgo County, Texas (Blanket)
 7. Utility easement as shown by instrument dated May 19, 1978, recorded in Volume 1578, Page 53, Deed Records of Hidalgo County, Texas. (Blanket)
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 9. Building setback lines as per City Zoning Ordinance unless otherwise noted.
 10. Subject to any oil, gas and mineral lease of record.
 11. Bearing Basis: "N. line of Lot 10, Balboa Acres"
- BORROWER(s):** Juan Antonio Padilla Jr.

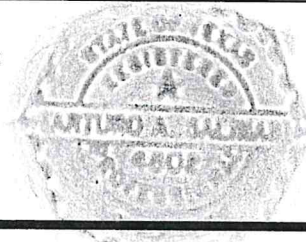
BORROWER(s): Juan Antonio Padilla Jr.

THIS IS TO CERTIFY THAT I HAVE, THIS DATE, PREPARED A SURVEY ON THE GROUND WHICH IS LOCATED AT
ELMIRA AVE., in McALLEN, TEXAS, DESCRIBED AS FOLLOWS:
THE WEST ONE-HALF (W. 1/2) OF LOT 10, BLOCK 28, BALBOA ACRES, AN ADDITION TO THE CITY OF McALLEN,
HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP RECORDED IN VOLUME 14, PAGE 31, MAP RECORDS IN THE OFFICE
OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES.

25-68778C
Job No.

02-10-25
Date

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Registered Professional Land Surveyor No. 4802



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 3/11/2025

SUBDIVISION NAME: BALBOA ACRES WEST 1/2 OF LOT 10

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Elmira Avenue: 80 ft. ROW existing
 Paving: approximately 36 ft. existing Curb & gutter: both sides
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

Applied

Paving _____ Curb & gutter _____
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

NA

Paving _____ Curb & gutter _____
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

NA

* 1,200 ft. Block Length
 **Subdivision Ordinance: Section 134-118
 * 900 ft. Block Length for R-3 Zone Districts
 **Subdivision Ordinance: Section 134-118
 * 600 ft. Maximum Cul-de-Sac
 **Subdivision Ordinance: Section 134-105

NA

NA

NA

ALLEYS

R.O.W.: 20 ft. Paving: existing conditions remain
 *Alley/service drive easement required for commercial/multi-family properties
 **Subdivision Ordinance: Section 134-106

Applied

SETBACKS

* Front: 25 ft.
 **Zoning Ordinance: Section 138-356
 * Rear: In accordance with the Zoning Ordinance or greater for easements
 **Zoning Ordinance: Section 138-356
 * Sides: In accordance with the Zoning Ordinance or greater for easements
 **Zoning Ordinance: Section 138-356
 * Corner
 **Zoning Ordinance: Section 138-356
 * Garage: 18 ft. except where greater setback required, greater setback applies
 **Zoning Ordinance: Section 138-356
 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN

Applied

Applied

Applied

NA

Applied

Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

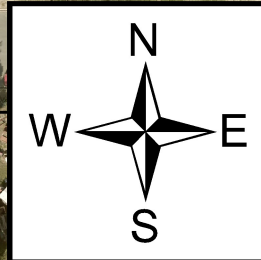
SIDEWALKS	
* 4 ft. wide minimum sidewalk required on **Subdivision Ordinance: Section 134-120	NA
* Perimeter sidewalks must be built or money escrowed if not built at this time.	NA
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46	NA
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46	NA
*Perimeter buffers must be built at time of Subdivision Improvements.	NA
NOTES	
* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy	NA
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	NA
* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.	NA
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Applied
LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area - Survey for West half of Lot 10, Block 28 shows 50 ft. of width **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing: R-1 Proposed:R-1 ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording	Required
* Pending review by the City Manager's Office.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.	TBD
* Traffic Impact Analysis (TIA) required prior to final plat.	TBD
COMMENTS	
Comments: - Existing plat notes remain the same - Public hearing with legal notices required for the subdivision of the lot - Must comply with other department requirements prior to recording as may be applicable *Must comply with City's Access Management Policy.	Applied
RECOMMENDATION	
RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE & UTILITIES APPROVAL.	Applied

DAYTONA AVE.

DAYTONA AVE



LOCATION

ELMIRA AVE.

ELMIRA AVE

FRANCISCA AVE.

FRANCISCA AVE

FRANCISCA AVE

GLORIA AVE

GLORIA AVE.

GLORIA AVE

S 33RD ST

9

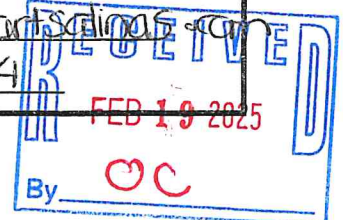


City of McAllen

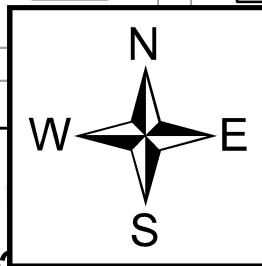
Planning Department

311 NORTH 15TH STREET • (956) 681-1250 • (956) 681-1279 (fax)
SUBDIVISION PLAT REVIEW APPLICATION

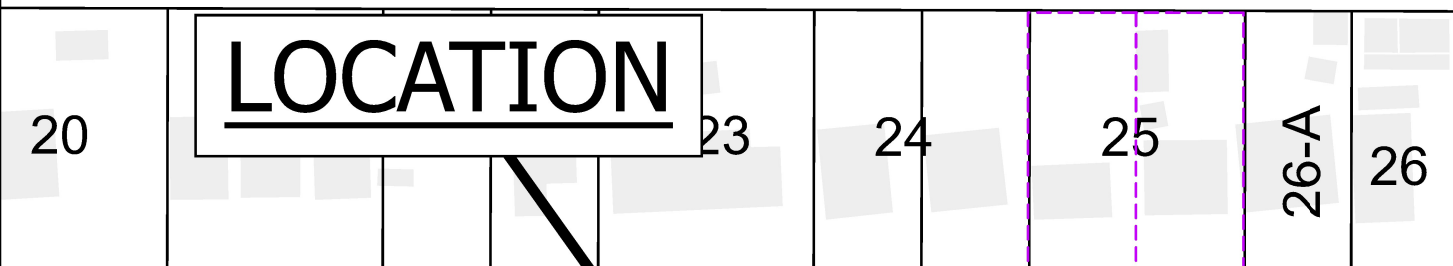
Project Information	Subdivision Name <u>Balboa Acres The East 1/2 of lot 10</u>	
	Legal Description <u>The East one-half (E 1/2) of lot 10, Block 28, Balboa Acres on addition to the City of McAllen, Hidalgo County, Texas according to the map recorded in volume 14, Page 31</u>	
Project Information	Location _____	
	City Address or Block Number <u>3401 Elmira Avenue</u>	
	Total No. of Lots <u>1</u> Total Dwelling Units <u>1</u> Gross Acres <u>.123</u> Net Acres <u>.123</u>	
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial (_____ Acres) / <input checked="" type="checkbox"/> Residential (_____ Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	Existing Zoning <u>R-1</u> Proposed Zoning <u>R-1</u> Applied for Rezoning <input type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>one house</u>	
	Irrigation District # _____ Water CCN: <input type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other _____	
	Agricultural Exemption: <input type="checkbox"/> Yes / <input type="checkbox"/> No Parcel # _____	
	Estimated Rollback Tax Due _____ Tax Dept. Review _____	
Owner	Name <u>Juan Antonio Padilla Jr</u> Phone <u>(52) 8999 4411 46</u>	
	Address <u>2617 Elmira Ave</u> E-mail <u>Karina.sanchez@transpadilla.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78503</u>	
Developer	Name <u>Karina Sanchez</u> Phone <u>(52) 8999 4411 46</u>	
	Address <u>Agata 612</u> E-mail <u>Karina.sanchez@transpadilla.com</u>	
	City <u>Reynosa</u> State <u>Tamp</u> Zip <u>78710</u>	
	Contact Person <u>Karina Sanchez</u>	
Engineer	Name _____ Phone _____	
	Address _____ E-mail _____	
	City _____ State _____ Zip _____	
	Contact Person _____	
Surveyor	Name <u>Arturo A Salinas</u> Phone <u>(956) 618-5565</u>	
	Address <u>1524 Dave Ave</u> E-mail <u>asalinas@artosalinas.com</u>	
	City <u>McAllen</u> State <u>TX</u> Zip <u>78504</u>	



ONA AVE.

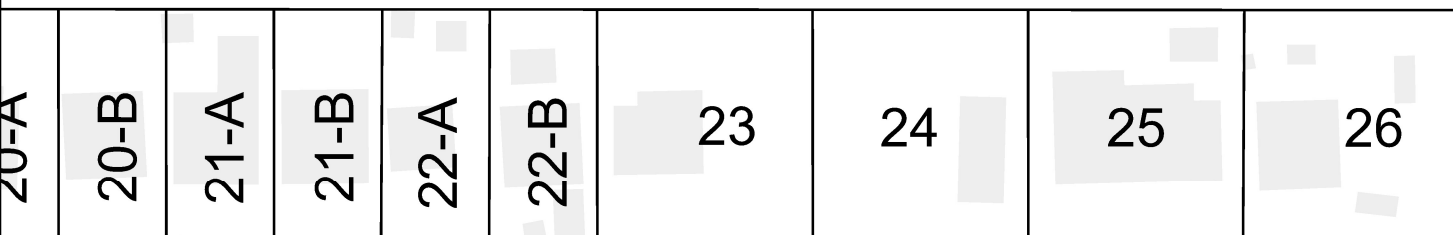
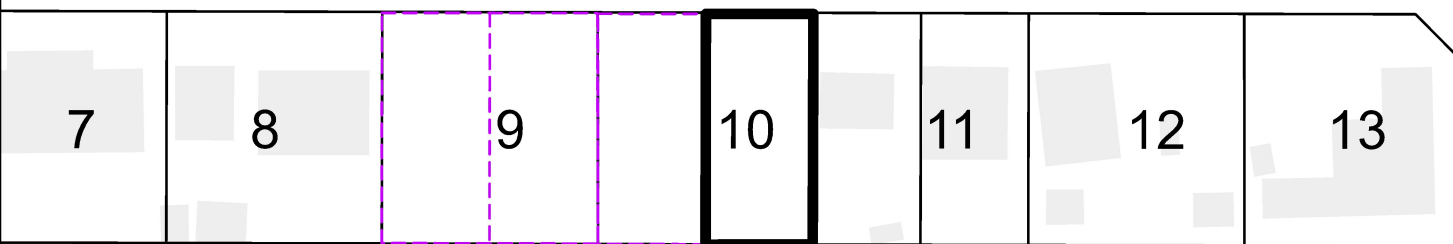


LOCATION

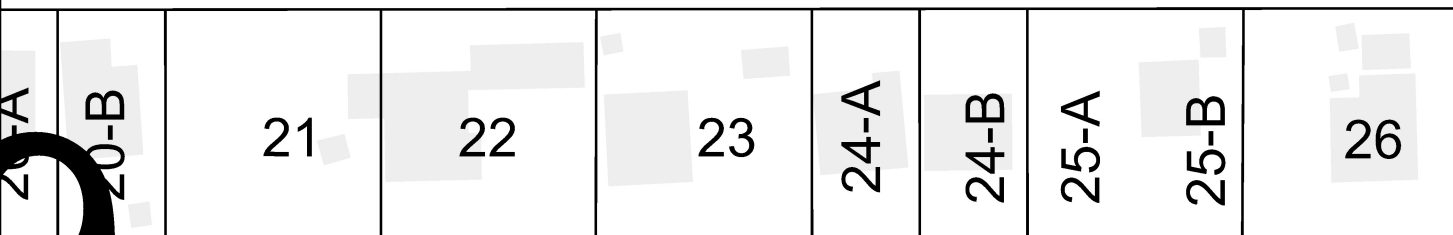
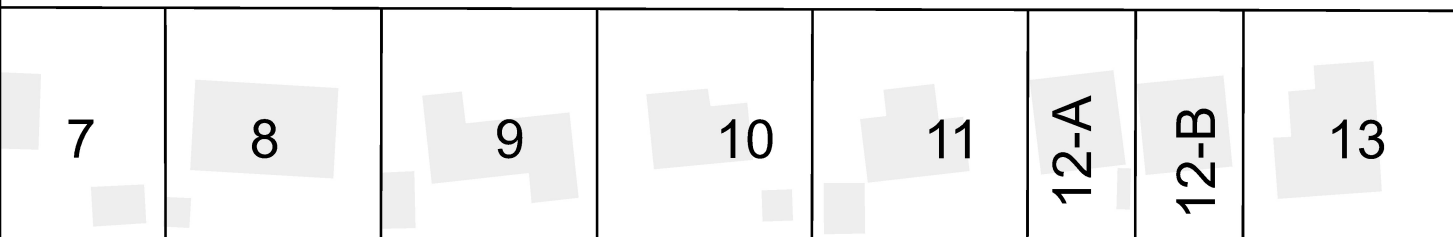


RA AVE.

ELMIRA AVE



CISCA AVE.



GLORIA AVE.

S 33RD ST

S. 33RD ST.



ART SALINAS

ENGINEERING & SURVEYING

1524 DOVE AVENUE,

McALLEN, TEXAS 78504

PH: (956) 618-5585

FAX: (956) 618-5540

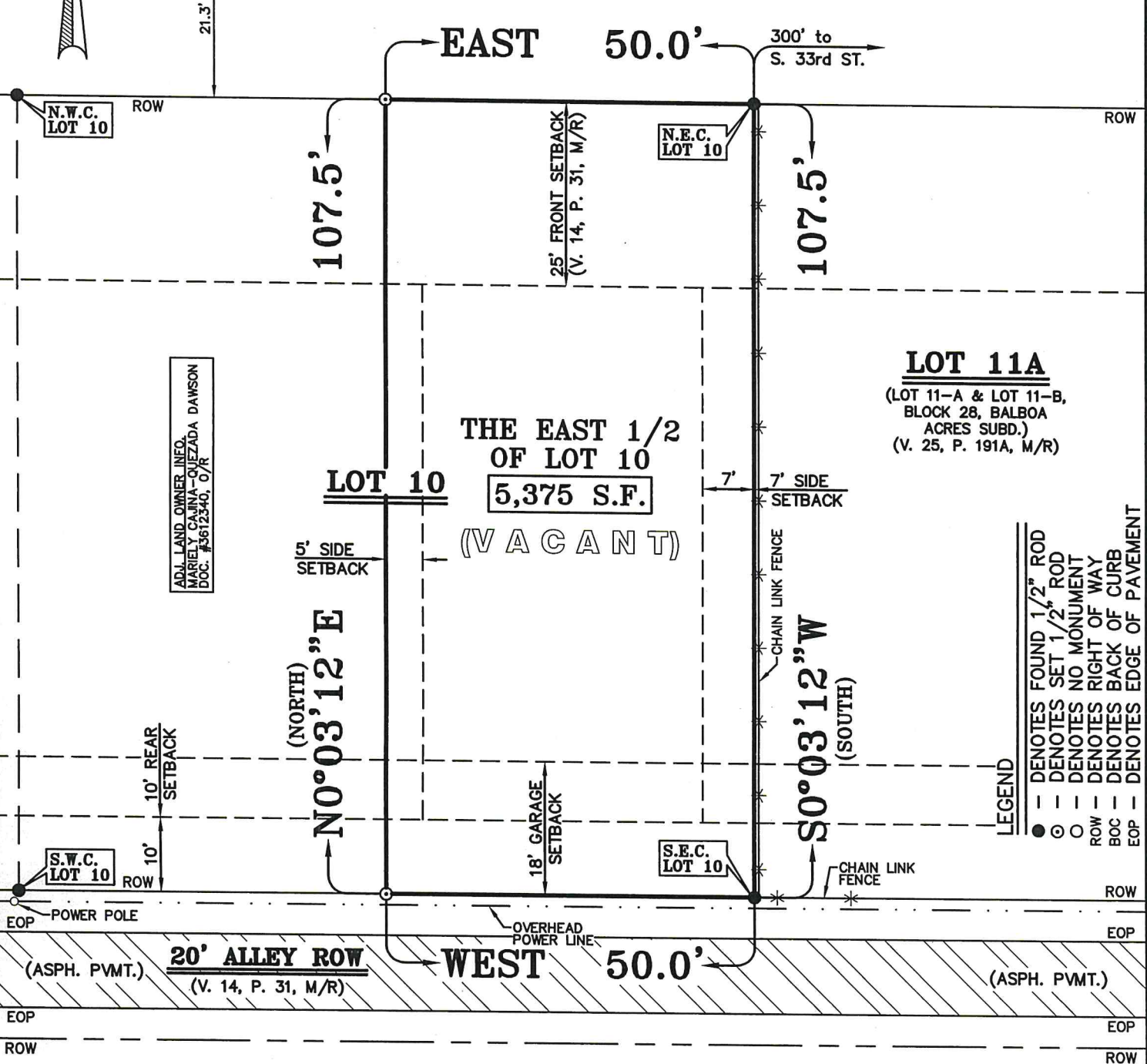
ELMIRA AVE.

(80' ROW-V. 14, P. 31, M/R)

SCALE: 1"=20'

BOC

BOC



FLOOD ZONE DESIGNATION: The property shown hereon lies in Zone AH. Zone AH areas are areas of flooding where depths are between one (1) and three (3) feet (usually areas of ponding); base flood elevations are determined as per F.E.M.A. Flood Insurance Rate Map Panel No. 480343-0010-C dated 11-02-82.

- PLAT NOTES:**
- There are no discrepancies, conflicts, shortages in area or boundary lines, encroachments, overlapping of improvements or visible or apparent easements, except as shown on this plat.
 - This survey plat is prepared in connection with Title Commitment G.F. # 188847 and does not guarantee title. This survey is for the exclusive use of the client named hereon and may not be copied or transferred to another party without the express written consent of the surveyor.
 - This survey must contain an embossed seal and an original signature to be valid as per Section 661.46 and Section 663.19 of the "The Professional Land Surveying Practices Act".
 - This is a standard survey and does not include the location or subsurface investigation of underground utility, irrigation and/or gas lines.
 - Easements, rules, regulations and rights in favor of Hidalgo County Water Improvement District No. 3. (Blanket)
 - Easements for roadways, telephone poles and lines, laterals and drainage ditches as shown by instrument dated October 17, 1917, recorded in Volume 69, Page 341, Deed Records of Hidalgo County, Texas (Blanket)
 - Utility easement as shown by instrument dated May 19, 1978, recorded in Volume 1578, Page 53, Deed Records of Hidalgo County, Texas. (Blanket)
 - Easements in favor of Hidalgo County Water Improvement District No. 3 as shown by instrument dated January 16, 1960, recorded in Volume 1019, Page 199, and in Petition and Order dated November 5, 1959, recorded in Volume 1045, Page 611, Deed Records of Hidalgo County, Texas. (Blanket)
 - Building setback lines as per City Zoning Ordinance unless otherwise noted.
 - Subject to any oil, gas and mineral lease of record.
 - Bearing Basis: "N. line of Lot 10, Balboa Acres"
 - BORROWER(s): Juan Antonio Padilla Jr.

THIS IS TO CERTIFY THAT I HAVE, THIS DATE, PREPARED A SURVEY ON THE GROUND WHICH IS LOCATED AT
ELMIRA AVE., in McALLEN, TEXAS, DESCRIBED AS FOLLOWS:
THE EAST ONE-HALF (E. 1/2) OF LOT 10, BLOCK 28, BALBOA ACRES, AN ADDITION TO THE CITY OF McALLEN,
HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP RECORDED IN VOLUME 14, PAGE 31, MAP RECORDS IN THE OFFICE
OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES.

25-68778D
Job No.

02-10-25
Date

© COPYRIGHT 2025 ART SALINAS ENGINEERING INC. THIS SURVEY WAS PROVIDED IN MULTIPLE ORIGINALS SOLELY FOR THE USE OF THE BORROWER NAMED HEREON. NO LICENSE HAS BEEN CREATED, EXPRESSED OR IMPLIED TO COPY THIS SURVEY.



Registered Professional Land Surveyor No. 4802



City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 3/11/2025

SUBDIVISION NAME: BALBOA ACRES EAST 1/2 OF LOT 10

REQUIREMENTS

STREETS AND RIGHT-OF-WAYS

Elmira Avenue: 80 ft. ROW existing
 Paving: approximately 36 ft. existing Curb & gutter: both sides
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

Applied

Paving _____ Curb & gutter _____
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

NA

Paving _____ Curb & gutter _____
 **Subdivision Ordinance: Section 134-105
 **Monies must be escrowed if improvements are required prior to final
 **COM Thoroughfare Plan

NA

* 1,200 ft. Block Length
 **Subdivision Ordinance: Section 134-118
 * 900 ft. Block Length for R-3 Zone Districts
 **Subdivision Ordinance: Section 134-118
 * 600 ft. Maximum Cul-de-Sac
 **Subdivision Ordinance: Section 134-105

NA

NA

NA

ALLEYS

R.O.W.: 20 ft. Paving: existing conditions remain
 *Alley/service drive easement required for commercial/multi-family properties
 **Subdivision Ordinance: Section 134-106

Applied

SETBACKS

* Front: 25 ft.
 **Zoning Ordinance: Section 138-356
 * Rear: In accordance with the Zoning Ordinance or greater for easements
 **Zoning Ordinance: Section 138-356
 * Sides: In accordance with the Zoning Ordinance or greater for easements
 **Zoning Ordinance: Section 138-356
 * Corner
 **Zoning Ordinance: Section 138-356
 * Garage: 18 ft. except where greater setback required, greater setback applies
 **Zoning Ordinance: Section 138-356
 *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN

Applied

Applied

Applied

NA

Applied

Required

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

SIDEWALKS	
* 4 ft. wide minimum sidewalk required on **Subdivision Ordinance: Section 134-120	NA
* Perimeter sidewalks must be built or money escrowed if not built at this time.	NA
BUFFERS	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses **Landscaping Ordinance: Section 110-46	NA
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46	NA
*Perimeter buffers must be built at time of Subdivision Improvements.	NA
NOTES	
* No curb cut, access, or lot frontage permitted along _____ **Must comply with City Access Management Policy	NA
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.	NA
* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.	NA
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	Applied
LOT REQUIREMENTS	
* Lots fronting public streets **Subdivision Ordinance: Section 134-1	Applied
* Minimum lot width and lot area - Survey for East half of Lot 10, Block 28 shows 50 ft. of width **Zoning Ordinance: Section 138-356	Applied
ZONING/CUP	
* Existing: R-1 Proposed:R-1 ***Zoning Ordinance: Article V	Applied
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA

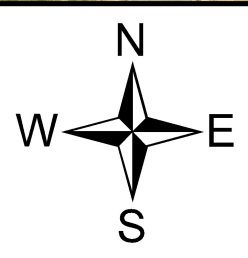
These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

PARKS	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording	Required
* Pending review by the City Manager's Office.	NA
TRAFFIC	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.	TBD
* Traffic Impact Analysis (TIA) required prior to final plat.	TBD
COMMENTS	
Comments: - Existing plat notes remain the same - Public hearing with legal notices required for the subdivision of the lot - Must comply with other department requirements prior to recording as may be applicable *Must comply with City's Access Management Policy.	Applied
RECOMMENDATION	
RECOMMENDATION: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE & UTILITIES APPROVAL.	Applied



DAYTONA AVE.

DAYTONA AVE



LOCATION

ELMIRA AVE.

ELMIRA AVE

ELMIRA AVE

FRANCISCA AVE.

FRANCISCA AVE

FRANCISCA AVE

9

GLORIA AVE

GLORIA AVE.

GLORIA AVE

S. 33RD ST.

S. 33RD ST.

S. 33RD ST.

SUB2022-0031

1300 Houston Avenue
McAllen, TX 78501
P. O. Box 220
McAllen, TX 78505-0220
(956) 681-1250
(956) 681-1279 (fax)



City of McAllen
Planning Department

APPLICATION FOR
SUBDIVISION PLAT REVIEW

Project Description

Subdivision Name Northwood Trails Block II and Block III
 Location North 29th Street 195.0' north of Freddy Gonzalez Dr
 City Address or Block Number 3300 FREDDY GONZALEZ DR
Block II - 64 Multi-Family
Block III - 67 Single Family
 Number of lots 42.62 Gross acres 42.62 Net acres
 Existing Zoning Proposed Rezoning Applied For ☐ Yes ☐ No Date
 Existing Land Use Vacant Proposed Land Use Irrigation District # 1
 Residential Replat Yes ☐ No ☐ Commercial Replat Yes ☐ No ☐ ETJ Yes ☐ No ☐
 Agricultural Tax Exemption Yes ☒ No ☐ Estimated Rollback tax due \$ 28,591.61
 Legal Description A 42.62 Acre Tract of Land Out of Lot 27 & 28 and 30, La Lomita
Irrigation and Construction Company's Subdivision Hidalgo County, Texas

Owner

Name Red Rock Real Estate Development Group, Ltd. Phone (956) 800-1333
 Address 2912 S. Jackson Rd
 City McAllen State TX Zip 78503
 E-mail riocantu@yahoo.com

Developer

Name Red Rock Real Estate Development Group, Ltd. Phone (956) 800-1333
 Address 2912 S. Jackson Rd
 City McAllen State TX Zip 78503
 Contact Person Manuel Cantu
 E-mail riocantu@yahoo.com

Engineer

Name Quintanilla, Headley & Associates, Inc. Phone (956) 381-6480
 Address 124 E. Stubbs
 City Edinburg State TX Zip 78539
 Contact Person Alfonso Quintanilla, P.E.
 E-mail alfonsoq@qha-eng.com

Surveyor

Name Quintanilla, Headley & Associates, Inc. Phone (956) 381-6480
 Address 124 E. Stubbs
 City Edinburg State TX Zip 78539
 E-mail alfonsoq@qha-eng.com

ENTERED

MAR 11 2022

Initial: MC

Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

- _____ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- _____ Title Report
- _____ 8 1/2" by 11" Sealed Survey showing existing structures/easements
or 3 blueline copies
- _____ 2 Location Maps
- _____ 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- _____ 6 Folded blueline prints of the proposed plat
- _____ 2 Warranty Deeds (Identifying owner on application)
- _____ Autocad DWG file of plat
- _____ Letter of Authorization from the owner, if applicable
- _____ Proof of authority of person signing application on behalf of
partnership/corporation, if applicable

PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and
surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width
from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 1/2" by 11" copies/legible copy of the plat, affected by changes.

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date Feb 24, 2022

Print Name Manuel N. Cantu Jr, Member

Owner ☒

Authorized Agent ☐



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

Consulting Engineers ★ Land Surveyors

Alfonso Quintanilla, P.E. # 95534 R.P.L.S #4856 Eulalio Ramirez, P.E. # 77062

Engineering Firm Registration No. F-1513

Surveying Firm Registration No. 100411-00

Municipal & County Projects ★ Subdivisions ★ Surveys

January 14, 2025

City of McAllen
Julio Constantino, Planner III
P.O. Box 220
McAllen, TX 78504

Re: Northwood Trails Block II and III Subdivision

Dear Mr. Garza:

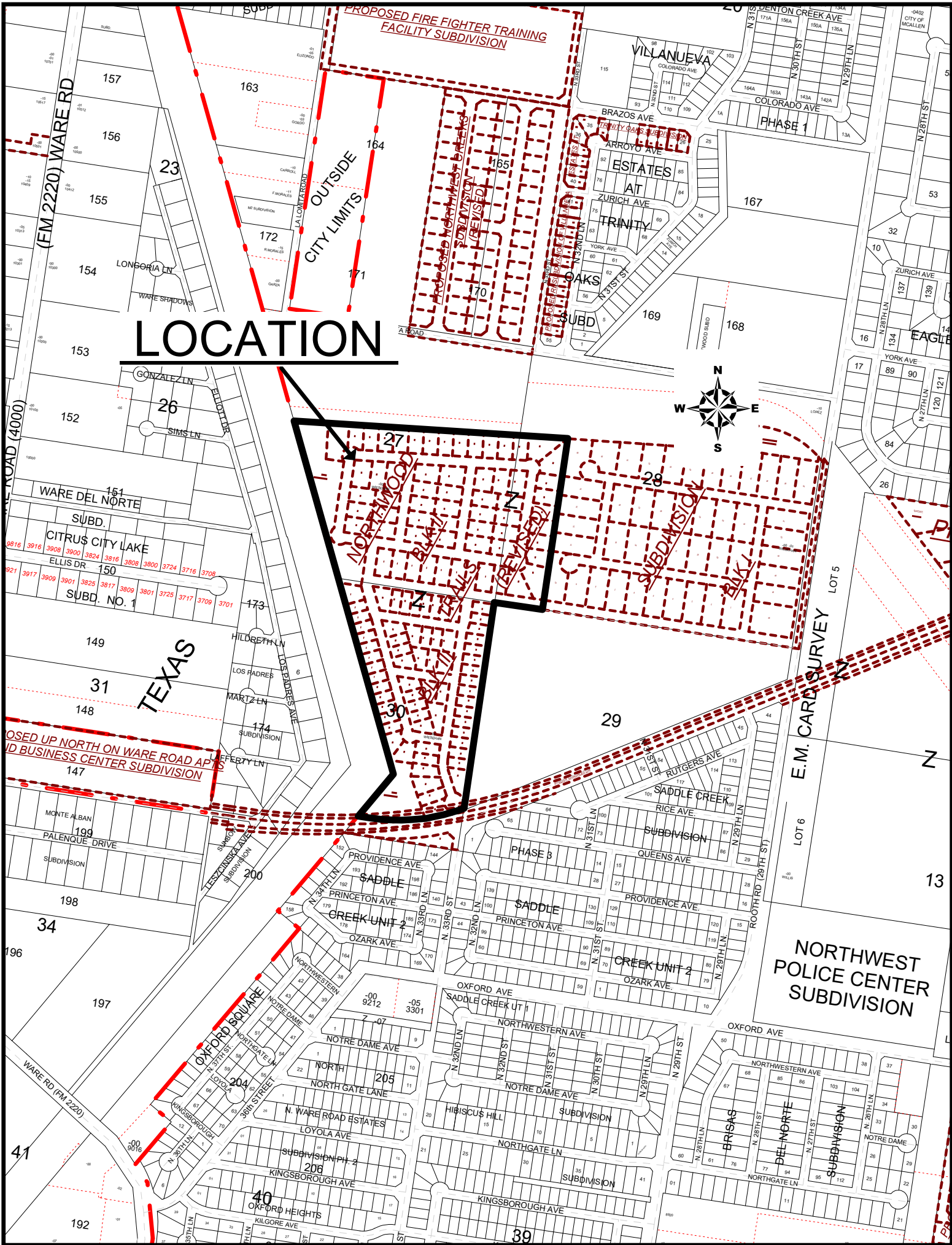
As agents for developer, this letter is to request a time extension for completing the City's Subdivision process

If you have any questions or need additional information please advise. Thank you.

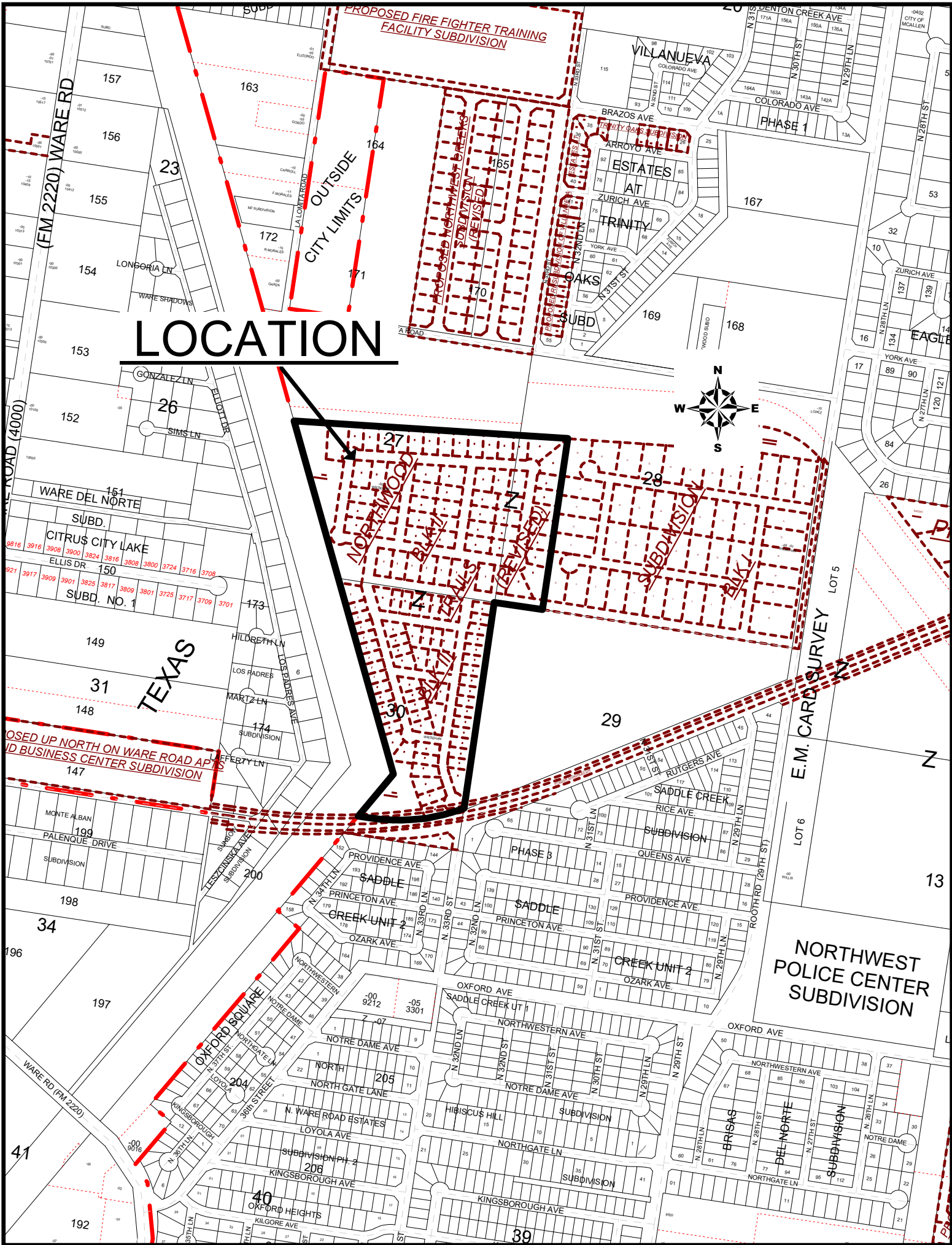
Sincerely,

Eulalio Ramirez, P.E.

cc: Alfonso Quintanilla, P.E., QHA



LOCATION





City of McAllen

SUBDIVISION PLAT REVIEW

Reviewed On: 3/13/2025

SUBDIVISION NAME: NORTHWOOD TRAILS BLOCK II AND BLOCK III	
REQUIREMENTS	
STREETS AND RIGHT-OF-WAYS	
<p>Freddy Gonzalez Road: 100 ft. ROW Paving: 65 ft. Curb & gutter: Both Sides Revisions Required: -As per plat submitted on February 27th, 2025 previously referenced reserve strip was removed, plat now shows dedication of entire area as R.O.W. dedication, finalize any R.O.W. requirements as applicable prior to final. ***Freddy Gonzalez road alignment will be finalized prior to final ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are not constructed prior to recording.</p>	Non-compliance
<p>N. 33rd Street (N/S 1/4 Mile collector): 60 ft. R.O.W. Paving: 40 ft. Curb & gutter: Both Sides Revisions Needed: -Engineer submitted a Variance request on October 18th, 2023 to the R.O.W. requirements for N.33rd Street a 1/4 mile collector being utilized for a interior street to be reduced to 50 ft. of R.O.W. with 32ft. paving with 10 ft. Utility and Sidewalk Easements on both sides. Development staff have reviewed the request and recommend compliance with requirements as noted above 60 ft. of ROW with 40 ft. of paving. *Disclaimer: As per City Commission meeting of January 8, 2024, consideration of a variance request to paving requirements for N. 33rd street was withdrawn from the meeting. -Need to establish internal street names once R.O.W. dedication is finalized. -Intersection of N. 33rd Street at Freddy Gonzalez Dr. and 33rd Street to the south being reviewed and may require redesign of the intersection prior to final, as per plat submitted on February 27th, 2025 previously referenced roundabout was removed, plat now shows dedication of entire area as R.O.W. dedication, finalize any R.O.W. requirements as applicable prior to final. ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are not constructed prior to recording.</p>	Non-compliance
<p>University Avenue E/W collector (Boundary between Block II &III): 60 ft. R.O.W. Paving: 40 ft. Curb & gutter: Both Sides Revisions Needed: -Label R.O.W. dedication for University Avenue along lot 39 and lots 40-47, prior to final, to ensure compliance with minimum requirements as noted above. *Disclaimer: As per conversation with engineer on January 4th, 2023 ,257.77 feet of 50 ft. R.O.W. dedication are proposed to be dedicated by this subdivision: the other 10 ft. will be dedicated when the property to the south develops. ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are not constructed prior to recording.</p>	Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>Internal Streets for R-1(Block III): 50 ft. R.O.W. Paving: 32 ft. Curb & gutter: Both Sides Revisions Needed: -Submit any applicable gate details for staff to review prior to final. Gate details may increase ROW required prior to final. -Secondary access required as per subdivision ordinance and Fire Department -As per plat submitted on February 27th, 2025 previously referenced reserve strip was removed, plat now shows dedication of entire area as R.O.W. dedication, finalize any R.O.W. requirements as applicable prior to final. -Street names will be established once R.O.W. dedication have finalized. ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are not constructed prior to recording.</p>	Non-compliance
<p>Internal Streets for R-3A (Block II): 60 ft. ROW Paving: 40 ft. Curb & gutter: Both Sides Revisions Needed: - Engineer submitted a Variance request on October 18th,2023 to the ROW requirements for Block II to remain at 55 ft. of ROW. Development staff have reviewed the request and should the variance be approved it should be subject to 40 ft. of paving and 10 ft. Utility and Sidewalk easement dedications on both sides as currently shown on plat. - Submit any applicable gate details for staff to review prior to final. Gate details may increase ROW required prior to final. - Secondary access required as per subdivision ordinance and Fire Department **Street name will be assigned prior to final ***Subdivision Ordinance: Section 134-105 and/or COM Thoroughfare Plan ***Monies must be escrowed if improvements are not constructed prior to recording.</p>	Non-compliance
<p>* 900 ft. Block Length for R-3 Zone Districts **Subdivision layout for Block II does not comply with block length requirement, please revise accordingly prior to final. Engineer submitted a Variance request on October 18th,2023 to the 900 ft. block length requirements for Block III. Under the authority and review of the Planning Director the Variance request to the block length was approved ***Subdivision Ordinance: Section 134-118</p>	Applied
<p>* 1,200 ft. Block Length **Subdivision Ordinance: Section 134-118</p>	Compliance
<p>* 600 ft. Maximum Cul-de-Sac Revisions Needed: -As per plat submitted on October 6th,2022 subdivision layout for block III along lots 23-39 does not comply with block length requirement, please revise accordingly prior to final. If no changes please submit variance request for 600 ft. maximum block length requirement for Cul-de Sac's. Review and finalize prior to final. As per plat submitted on October 26th,2023 North 33rd Street provides outlet to Freddy Gonzalez Dr. Cul-de-Sac no longer proposed. **Subdivision Ordinance: Section 134-105</p>	Applied
ALLEYS	
<p>ROW: 20 ft. Paving: 16 ft. Revisions needed: - Must comply with Public Works Department requirements within multifamily residential zoning districts prior to final. Please submit updated plans with approved dumpster enclosure details, must comply with public works department requirements prior to final. *Alley/service drive easement required for commercial properties and multi-family properties. **Subdivision Ordinance: Section 134-106</p>	Non-compliance

SETBACKS	
<ul style="list-style-type: none"> * Front: Block II (multifamily lots): 20 ft. or greater for easements * Front: Block III(single family lots): 25 ft. or greater for easements **Zoning Ordinance: Section 138-356 	Applied
<ul style="list-style-type: none"> * Rear: 10 ft. or greater for easements **Zoning Ordinance: Section 138-356 	Applied
<ul style="list-style-type: none"> * Sides: 6 ft. or greater for easements **Zoning Ordinance: Section 138-356 	Applied
<ul style="list-style-type: none"> * Corner: 10 ft. or greater for easements **Zoning Ordinance: Section 138-356 	Applied
<ul style="list-style-type: none"> * Garage: 18 ft. except where greater setback is required, greater setback applies **Zoning Ordinance: Section 138-356 	Applied
<ul style="list-style-type: none"> *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN 	Applied
SIDEWALKS	
<ul style="list-style-type: none"> * 4 ft. wide minimum sidewalk required along Freddy Gonzalez Road, and both sides of University Avenue, North 33rd Street, and all interior streets. Revisions Needed: <ul style="list-style-type: none"> -Please revise plat note #9 as shown above prior to final, note subject to change once ROW requirements for Freddy Gonzalez Dr. have been established. **5 ft. sidewalk might be required on both sides of Freddy Gonzalez Dr. by Engineering Department once ROW requirements have finalized. **Subdivision Ordinance: Section 134-120 	Required
<ul style="list-style-type: none"> * Perimeter sidewalks must be built or money escrowed if not built at this time. Revisions Needed: <ul style="list-style-type: none"> -Please remove reference from plat note #9, as it is a requirement but not as a plat note. 	Non-compliance
BUFFERS	
<ul style="list-style-type: none"> * 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses, and along Freddy Gonzalez Dr., and University Avenue. **Landscaping Ordinance: Section 110-46 	Applied
<ul style="list-style-type: none"> * 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46 	Applied
<ul style="list-style-type: none"> *Perimeter buffers must be built at time of Subdivision Improvements. 	Required
NOTES	
<ul style="list-style-type: none"> * No curb cut, access, or lot frontage permitted along Freddy Gonzalez Dr. and University Avenue. Revisions Needed: <ul style="list-style-type: none"> -As per conversation with Engineering Department, curb cut access along N.33rd Street to be limited, finalize wording for note prior to final. **Must comply with City Access Management Policy 	Non-compliance
<ul style="list-style-type: none"> * Site plan must be approved by the Planning and Development Departments prior to building permit issuance. 	NA
<ul style="list-style-type: none"> * Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc. 	NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

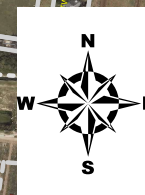
<p>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</p> <p>**Section 134-168 applies if private subdivision is proposed.</p> <p>***Section 110-72 applies if public subdivision is proposed.</p> <p>****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p>	Applied
	Required
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</p> <p>**Homeowner's Association Covenants must be submitted for staff review, prior to recording.</p> <p>***Section 134-168 applies if private subdivision is proposed.</p> <p>****Section 110-72 applies if public subdivision is proposed.</p> <p>*****Landscaping Ordinance: Section 110-72</p> <p>*****Subdivision Ordinance: Section 134-168</p>	Required
LOT REQUIREMENTS	
<p>* Minimum lot width and lot area</p> <p>**All lots must comply with minimum 50 ft. lot width and corner lots must be 4 ft. wider.</p> <p>Revisions Needed:</p> <p>-Lots 23,24,53,68 do not comply with minimum lot frontage requirements for corner lots review and revise accordingly and verify all other lots are in compliance with frontage and minimum lot square footage requirements prior to final.</p> <p>**Zoning Ordinance: Section 138-356</p> <p>* Lots fronting public streets</p> <p>Revisions Needed:</p> <p>-Provide for frontage for Lot "B" detention pod, minimum 25 ft., review and revise prior to final. As per plat submitted on February 27, 2025, Lot B detention pond presents frontage along N. 33rd street with 26.40 ft. of frontage.</p> <p>**Subdivision Ordinance: Section 134-1</p>	Non-compliance
	Applied
ZONING/CUP	
<p>* Existing: R-1(Single-Family Residential) District and R-3A (Multifamily Residential) District</p> <p>Proposed: R-1(Single-Family Residential) District and R-3A (Multifamily Residential)</p> <p>***Zoning Ordinance: Article V</p> <p>* Rezoning Needed Before Final Approval</p> <p>***Zoning Ordinance: Article V</p>	Compliance
	Complete
PARKS	
<p>* Land dedication in lieu of fee. As per plat submitted on October 6th,2022, the combination of single family homes and four-plexes equals to 314 dwelling units. This amount of units will trigger a review by City Manager's office. In accordance with McAllen's Park Land Dedication and Parks Development Fees Ordinance if a development's land dedication is less than 99 acres then City Manager has the authority to accept land dedication, or to refuse the same, and to require payment of the applicable park development fee, in lieu of land. In this case land dedication is 4.99 acres and fees in lieu of land amount to \$219,800. 314 dwellings X \$700 = \$219,800 Fees are payable prior to plat recording. A variance request letter submitted on October 16, 2023.</p>	TBD

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review

<p>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per plat submitted on October 6th,2022, the combination of single family homes and four-plexes equals to 314 dwelling units. This amount of units will trigger a review by City Manager's office. In accordance with McAllen's Park Land Dedication and Parks Development Fees Ordinance if a development's land dedication is less than 99 acres then City Manager has the authority to accept land dedication, or to refuse the same, and to require payment of the applicable park development fee, in lieu of land. In this case land dedication is 4.99 acres and fees in lieu of land amount to \$219,800. 314 dwellings X \$700 = \$219,800 Fees are payable prior to plat recording. A variance request letter submitted on October 16, 2023.</p>	TBD
<p>*Pending review by the City Mangers Office. As per plat submitted on October 6th,2022, the combination of single family homes and four-plexes equals to 314 dwelling units. This amount of units will trigger a review by City Manager's office. In accordance with McAllen's Park Land Dedication and Parks Development Fees Ordinance if a development's land dedication is less than 99 acres then City Manager has the authority to accept land dedication, or to refuse the same, and to require payment of the applicable park development fee, in lieu of land. In this case land dedication is 4.99 acres and fees in lieu of land amount to \$219,800. 314 dwellings X \$700 = \$219,800 Fees are payable prior to plat recording. A variance request letter submitted on October 16, 2023.</p>	Required
TRAFFIC	
<p>* As per Traffic Department, Master Trip Generation required to determine if TIA is required, prior to final plat.</p>	Non-compliance
<p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	TBD
COMMENTS	
<p>Comments: *Must comply with City's Access Management Policy. *On the Location map, please only hatch the Block II & III sub, you can remove the hatch you have set up for Block I, you can leave the *Needs to finalize R.O.W. requirements on Freddy Gonzalez Rd. prior to final. *Lot 1/Lot "A" Detention Pond needs to front onto the interior streets. 25 ft. of frontage is allowed for detention lots. The plat submitted has frontage onto the interior street. - Please clearly label detention areas and label them accordingly. - A lot may only have one letter or number. Revise the the lot name prior to final. *Disclaimer: Any abandonments must be done by a separate instrument/document, cannot be done by plat. **As per plat submitted October 6th,2022 no proposed secondary accesses provided for Blocks II & III, please revise layout to comply with secondary access requirements. As per plat submitted on October 26th,2023 North 33rd Street provides outlet to Freddy Gonzalez Dr. Cul-de-Sac no longer proposed. ***Finalize R.O.W. requirements as noted prior to final. *** Subdivision was approved in preliminary form at the Planning and Zoning meeting of April 5, 2022. *** Subdivision was approved in revised preliminary form at the Planning & Zoning meeting of November 21, 2023. ****Must comply with Public Works Department requirements within multifamily residential zoning districts prior to final. Please submit updated plans with approved dumpster enclosure details, must comply with public works department requirements prior to final.</p>	Required
RECOMMENDATION	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE 6-MONTH SUBDIVISION EXTENSION, SUBJECT TO THE CONDITIONS NOTED.</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review





LOCATION











PLANNING DEPARTMENT

311 N 15th Street McAllen, TX 78501
Phone: 956-681-1250 Fax: 956-681-1279









2025 P&Z CALENDAR

Meetings:  City Commission  Public Utility Board HPC - Historic Pres Council							Deadlines: D- Zoning/CUP Application N - Public Notification * Holiday - Office is closed						
 Planning & Zoning Board  Zoning Board of Adjustment													







JULY 2025

Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
		1	2	3	4 HOLIDAY	5						1	2
6	7 A-7/22 & 7/23	8	9 D - 8/5 & 8/6 N- 7/22 & 7/23	10	11	12	3	4 A-8/19 & 8/20	5	6 D-9/10 & 9/11 N-8/19 & 8/20	7	8	9
13	14 	15 	16	17	18	19	10	11 	12 	13	14	15	16
20	21 A-8/5 & 8/6	22	23 D-8/19 & 8/20 N- 8/5 & 8/6	24	25	26	17	18	19	20 D-9/24 & 9/25	21	22	23
27	28 	29 	30 HPC	31			24 31	25  A-9/10 & 9/11	26 	27 HPC N-9/10 & 9/11	28	29	30

SEPTEMBER 2025




Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
	1 HOLIDAY	2	3	4	5	6				1	2	3	4
7	8  A-9/24 & 9/25	9 	10 D- 10/7 & 10/8 N-9/24 & 9/25	11	12	13	5	6 A-10/21&10/22	7	8 D-11/4 & 11/5 N-10/21&10/22	9	10	11
14	15	16	17	18	19	20	12	13 	14 	15	16	17	18
21	22  A-10/7 & 10/8	23 	24 D-10/21 & 10/22 N-10/7 & 10/8	25	26	27	19	20 A-11/4 & 11/5	21	22 D-11/18&11/19 N-11/4 & 11/5	23	24	25
28	29	30					26	27 	28 	29 HPC	30	31	

NOVEMBER 2025









Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1		1 A-12/16 & 12/17	2	3 D-TBA N-12/16 & 12/17	4	5	6
2	3 A-11/18 & 11/19	4	5 D-12/2 & 12/3 N-11/18&11/19	6	7	8	7	8 	9 	10	11	12	13
9	10 	11 	12	13	14	15	14	15 A-TBA	16	17 D-TBA N-TBA	18	19	20
16	17 A-12/2 & 12/3	18	19 D-12/16&12/17 N-12/2 & 12/3	20	21	22	21	22	23	24 HOLIDAY	25 HOLIDAY	26	27
23 30	24 	25 	26	27 HOLIDAY	28	29	28	29	30	31			









Deadlines and Meeting Dates are subject to change at any time. Please contact the Planning Department at (956) 681-1250 if you have any questions.

2025 P&Z CALENDAR

Meetings:  City Commission  Public Utility Board HPC - Historic Pres Council							Deadlines: D- Zoning/CUP Application N - Public Notification * Holiday - Office is closed						
 Planning & Zoning Board													
 Zoning Board of Adjustment													

JANUARY 2025							FEBRUARY 2025						
Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
			1 HOLIDAY	2	3	4							1
5	6 A-1/21 & 1/22	7	8 D- 2/4 & 2/5 N-1/21 & 1/22	9	10	11	2	3 A-2/18 & 2/19	4	5 D- 3/4 & 3/5 N-2/18 & 2/19	6	7	8
12	13 ●	14 ▲	15	16	17	18	9	10 ●	11 ▲	12		14	15
19	20 A-2/4 2/5	21	22 D-2/18 & 2/19 N- 2/4 & 2/5	23	24	25	16	17 A-3/4 & 3/5	18	19 D-3/18 & 3/19 N- 3/4 & 3/5	20	21	22
26	27 ●	28 ▲	29 HPC	30	31		23	24 ●	25 ▲	26 HPC	27	28	

MARCH 2025							APRIL 2025						
Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
						1			1	2 D-5/6 & 5/7	3	4	5
2	3 A-3/18 & 3/19	4	5 D-4/1 & 4/2 N-3/18 & 3/19	6	7	8	6	7 A-4/22 & 4/23	8	9 N-4/22 & 4/23	10	11	12
9	10 	11 	12	13	14	15	13	14 	15 	16 D-5/21 & 5/22	17	18 HOLIDAY	19
16	17 A-4/1 & 4/2	18	19 D- 4/22 & 4/23 N-4/1 - 4/2	20	21	22	20	21 A-5/6 & 5/7	22	23 N-5/6 & 5/7	24	25	26
23 30	24 31 	25 	26 HPC	27	28	29	27	28 	29 	30 HPC			

MAY 2025							JUNE 2025						
Sun	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Mon	Tue	Wed	Thu	Fri	Sat
				1	2	3	1	2 A-6/17 & 6/18	3	4 D-7/8 - 7/9 A-6/17 & 6/18		6	7
4	5 A-5/20 & 5/21	6	7 D-6/3 & 6/4 N-5/20 & 5/21	8	9	10	8	9 	10 	11	12	13	14
11	12 	13 	14	15	16	17	15	16	17	18	19	20	21
18	19 A-6/3 & 6/4	20	21 D-6/17 & 6/18 N-6/3 & 6/4	22	23	24	22	23 	24	25 D-7/22 & 7/23 D-7/8 & 7/9	26	27	28
25	26 HOLIDAY	27 	28 	29	30	31	29	30	31 				
HPC							HPC						