

## AGENDA

### PLANNING & ZONING COMMISSION REGULAR MEETING TUESDAY, NOVEMBER 19, 2024 - 3:30 PM MCALLEN CITY HALL, 1300 HOUSTON AVENUE CITY COMMISSION CHAMBERS, 3<sup>RD</sup> FLOOR

At any time during the course of this meeting, the Planning & Zoning Board may retire to Executive Session under Texas Government Code 551.071(2) to confer with its legal counsel on any subject matter on this agenda in which the duty of the attorney to the Planning & Zoning Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with Chapter 551 of the Texas Government Code. Further, at any time during the course of this meeting, the Planning and Zoning Commission may retire to Executive Session to deliberate on any subject slated for discussion at this meeting, as may be permitted under one or more of the exceptions to the Open Meetings Act set forth in Title 5, Subtitle A, Chapter 551, Subchapter D of the Texas Government Code

#### CALL TO ORDER -

#### PLEDGE OF ALLEGIANCE -

#### INVOCATION -

#### 1) MINUTES:

- a) Approval of the minutes for the September 25, 2024 meeting

#### 2) PUBLIC HEARING

##### a) CONDITIONAL USE PERMITS:

1. Request of Hayley Sorenson on behalf of Verizon Wireless, for a Conditional Use Permit, for life of the use, and adoption of an Ordinance for a personal wireless service facility at a 40 feet x 40 feet lease space (as surveyed) containing 0.04 acres, more or less, and 30 feet ingress/egress and utility/fiber easement (as surveyed) containing 0.11 acres, more or less, out of the west one-half of Lot 3, Block 17, Steele & Pershing Subdivision, Hidalgo County, Texas, 158 El Rancho Road. **(CUP2024-0041)**
2. Request of Tanya De la Rosa, for a Conditional Use Permit, for one year, and adoption of an Ordinance for an event center at S 35' of Lot 5 and all of Lot 6 and the N 40' of Lot 7, Block 1, Highland Center Subdivision, Hidalgo County, Texas, 2300 North 10th Street, Suite C **(CUP2024-0125)**
3. Request of Juan C. Hernandez on behalf of Omar Cavazos, for a Conditional Use Permit, for life of use, and adoption of an ordinance, for an Automotive Service and Repair at the North 50 feet of Lots 13 and 14, Block 36, Hammond Addition Subdivision, Hidalgo County, Texas; 213 South 23rd Street. **(CUP2024-0124)**

##### b) REZONING:

1. Rezone from C-3 (General Business) District to R-1 (Single Family Residential) District: 8.332 acres out of Blocks 1, 2, 3, 4 and 5 and out of Streets and Alleys between Blocks, Racquet Club Subdivision, Hidalgo County, Texas; 11201 North 10th Street (Tract 1). **(REZ2024-0052)**

2. Rezone from R-3T (Multifamily Residential Townhouses) District to R-1 (Single Family Residential) District: 8.728 acres out of Lot 13, Section 227, Texas-Mexican Railway Company's Survey Subdivision, Hidalgo County, Texas; 11201 North 10th Street (Tract 2). **(REZ2024-0053)**
3. Rezone from R-3T (Residential Townhomes) District to C-3 (General Business) District: 0.314 acres of one acre out of Lot 13, Section 277, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas; 11201 North 10th Street (Tract 3). **(REZ2024-0055)**
4. Rezone from C-3 (General Business) District to R-3A (Multifamily Residential Apartments) District: 5.123 acres, out of Blocks 3, 4 and 5 and out of streets and alleys between blocks, Racquet Club Subdivision, Hidalgo County, Texas; 1400 Sprague Road (Tract 1). **(REZ2024-0054)**
5. Rezone from R-2 (Duplex-Fourplex Residential) District to R-3A (Multifamily Residential Apartments) District: 9.687 acres, out of Blocks 6, 7 and 8 and out of streets and alleys between blocks, Racquet Club Subdivision, Hidalgo County, Texas; 1400 Sprague Road (Tract 2). **(REZ2024-0056)**
6. Rezone from R-3T (Multifamily Residential Townhouse) District to R-3A (Multifamily Residential Apartments) District: 13.556 acres out of Lot 13, Section 277, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas; 1400 Sprague Road (Tract 3). **(REZ2024-0057)**
7. Rezone from R-3A (Multifamily Residential Apartments) District to R-1 (Single Family Residential) District: 19.587 acres tract being the west one half of Lot 12, Section 280, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas; 2701 West State Highway 107. **(REZ2024-0058)**

**c) ORDINANCE:**

1. Consideration of an ordinance designating existing fireworks stands as non-conforming uses and permitting ongoing operations unless and until development occurs within the designated proximity.

**3) SITE PLAN**

- a) Site Plan approval for LOT 2A, WAL-MART Subdivision NO. 2, Hidalgo County, Texas; 1300 East Jackson Avenue. **(SPR2024-0045)**

**4) SUBDIVISIONS:**

- a) The Family Church at Tres Lagos Subdivision, 14500 North Shary Road, The Family Church of McAllen **(SUB2024-0123) (FINAL) M&H**
- b) Vargas Patrimony Subdivision, 307 South 29th Street, Miguel A. Vargas and Johana E. Vargas **(SUB2022-0142) (REVISED PRELIMINARY) MAS**



- c) Vacate a Portion of Racquet Club and Replat to Villages at Park West Subdivision, 1400 Sprague Road, Domain Development, Corp. **(SUB2024-0075) (REVISED PRELIMINARY) M&H (TABLED ON 11/05/2024)**
- d) Enclave on Jackson Subdivision, 2613 North Jackson Road, Vista Property Investment, LLC **(SUB2024-0117) (PRELIMINARY) M&H**
- e) The Woodlands at Bentsen Subdivision, 2900 South Bentsen Road, Jesus Solis-Gomez **(SUB2024-0118) (PRELIMINARY) M&H**
- f) Suarez Subdivision, 2600 North 24th Street, Suarez Brothers, LLC **(SUB2024-0121) (PRELIMINARY) JHE**
- g) Erie Marketplace Subdivision, 421 South Ware Road, Southmost Solutions, LLC **(SUB2024-0122) (PRELIMINARY) SE**

**ADJOURNMENT:**

IF ANY ACCOMMODATIONS FOR A DISABILITY ARE REQUIRED, PLEASE NOTIFY THE PLANNING DEPARTMENT (681-1250) 72 HOURS BEFORE THE MEETING DATE. WITH REGARD TO ANY ITEM, THE PLANNING & ZONING COMMISSION MAY TAKE VARIOUS ACTIONS, INCLUDING BUT NOT LIMITED TO RESCHEDULING AN ITEM IN ITS ENTIRETY FOR PARTICULAR ACTION AT A FUTURE DATE.

STATE OF TEXAS  
COUNTY OF HIDALGO  
CITY OF McALLEN

The McAllen Planning and Zoning Commission convened in a Regular Meeting on Tuesday, September 25, 2024 at 3:32p.m. at the McAllen City Hall, 3<sup>rd</sup> Floor Commission Chambers Room, 1300 Houston Avenue, McAllen, Texas.

Present:	Michael Fallek	Chairperson
	Gabriel Kamel	Vice Chairperson
	Jose Saldana	Member
	Marco Suarez	Member
	Jesse Ozuna	Member
	Reza Badiozzamani	Member
Absent:	Emilio Santos Jr.	Member
Staff Present:	Evaristo Garcia	Assistant City Attorney III
	Michelle Rivera	Assistant City Manager
	Edgar Garcia	Planning Director
	Luis Mora	Deputy Director
	Omar Sotelo	Development Coordinator
	Rodrigo Sanchez	Senior Planner
	Samuel Nunez	Senior Planner
	Eduardo Garza	Planner III
	Hilda Tovar	Planner II
	Adriana Solis	Planner II
	Natalie Moreno	Planner II
	Edson Lara	Planner II
	Samantha Trevino	Planner I
	Porfirio Hernandez	Planner I
	Victor Grey	Planner Technician I
	Magda Ramirez	Administrative Assistant

**CALL TO ORDER** – Chairperson Mr. Michael Fallek

**PLEDGE OF ALLEGIANCE**

**INVOCATION**-. Mr. Marco Suarez

1) MINUTES:

a) Approval of Minutes for August 6, 2024 meeting

The minutes for the regular meeting held on August 6, 2024 was approved as submitted by Vice Chairperson Mr. Gabriel Kamel. Seconding the motion was Mr. Jose Saldana which carried unanimously with six members present and voting.

**2) PUBLIC HEARING:**

a) **CONDITIONAL USE PERMITS:**

- 1) Request of Kelsey Kreher (HFA-AE, Ltd.) on behalf of 900 S Jackson LLC, for a Conditional Use Permit, for life of use, and adoption of an ordinance, for a Oil Change Facility, at Lot 5, Jackson Crossing Center Subdivision, Hidalgo County, Texas; 900 South Jackson Road. **(CUP2024-0091)**

Ms. Adriana Solis stated that the property is located along the northwest corner of South Jackson Road and East Jackson Avenue. The property is zoned C-3 (general business) District. The adjacent zoning is C-3 District in all directions. The surrounding land uses include a Chase Bank, IBC Bank, Best Buy, Starbucks and other commercial uses. An automotive service and repair shop is permitted as a primary use within a C-3 District with a Conditional Use Permit and in compliance with all other requirements.

An application for a Conditional Use Permit for an oil change facility for this was submitted on August 7, 2024. The applicant is currently undergoing the Site Plan Review process.

The applicant is proposing to operate an oil change facility (Valvoline). The applicant is proposing to operate from a 2,089 sq. ft. building with three bay areas and an office area. The hours of operation for the business are Monday through Friday from 8:00 AM to 7:00 PM, and Saturdays from 9:00 AM to 6:00 PM, and Sundays from 9:00 AM to 4:00 PM. Based on the total square footage of the proposed building, eight parking spaces are required; 11 parking spaces are being proposed.

The Fire Department inspection is pending for the property. The oil change facility must comply with the following special conditions set forth for automotive repair as a primary use in Section 138-281 of the Zoning Ordinance:

- 1) A minimum lot size of 10,000 square feet is required. According to Hidalgo County Appraisal District records, the subject property's total lot size is 35,534 square feet.
- 2) All service, repair, maintenance, painting, and other work shall take place within an enclosed area.
- 3) Outside storage of materials is prohibited.
- 4) The building where the proposed work is to take place shall be at least 100 feet from the nearest residence.
- 5) A 6-foot opaque fence to buffer the proposed use from any residential use or residentially zoned area is required. No opaque fence would be required since the lot's property lines are not immediately adjacent to any residential uses or zones.
- 6) New buildings and all conversions of existing buildings to such uses shall meet current Building Code and Fire Code requirements in terms of separation of high hazard uses from other occupancy use classifications, etc.

If approval is granted, the oil change facility must comply with all other Zoning Ordinance, Building Code, and Fire Department requirements that will be requested during the building permitting process. The proposed project is undergoing Site Plan Review and must comply with all conditions provided by the Development Team prior to building permit issuance.

Staff has not received any phone calls, emails, or letters in opposition to this request.

Staff recommends approval of the request subject to compliance with Section 138-281 of the Zoning Ordinance, Building Code, Fire Department, and all other applicable requirements.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Mr. Marco Suarez moved to approve the conditional use permit subject to compliance with Section 138-281 of the Zoning Ordinance, Building Code, Fire Department, and all other applicable requirements. Mr. Jose Saldana second the motion with six members present and voting.

- 2) Request of Ignacio Alvarez on behalf of NA Investment Group, LLC , for a Conditional Use Permit, for one year, and adoption of an ordinance, for a Smoke Shop, at Southeast 160 feet by 172 feet of Northeast 10 Acres of Lot 156, La Lomita (HOIT) Subdivision, Hidalgo County, Texas; 630 South 23rd Street, Building 100, Suite 120.  
**(CUP2024-0092)**

Ms. Adriana Solis stated that the property is located along the northwest corner of South 23<sup>rd</sup> Street and Galveston Avenue. The subject property is zoned C-3 (general business) District. The adjacent zoning is C-3 District in all directions. Surrounding land uses include offices, retail, restaurants and single family dwellings. A smoke shop is allowed in a C-3 zone with a Conditional Use Permit and in compliance with requirements.

An application for a conditional use permit for this location to operate a smoke shop (vape and CBD) was submitted on August 7, 2024.

The applicant is proposing to operate a smoke shop from an existing 266 sq. ft. suite. The hours of operation are proposed to be 24 hours, 7 days a week.

The Health Department has conducted their necessary inspection and deemed the property is in compliance. The Fire Department is still pending their inspection. The Planning Department has received no complaints regarding this request. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

1. The property line of the Lot of the abovementioned business must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The establishment is within 400 ft. of the above mentioned land uses;
2. The abovementioned business must be as close as possible to a major arterial, and shall not allow the traffic generated by such businesses onto residential streets, or allow such traffic to exit into and disrupt residential areas. The establishment has direct access to South 23<sup>rd</sup> Street as well as Galveston Avenue, and does not generate traffic into residential areas;
3. The abovementioned business must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. Four parking spaces are required and 37 are provided on site.

4. The abovementioned business must do everything possible to prevent the unauthorized parking by the patrons of such businesses on adjacent business or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances.
5. The abovementioned business should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility of as much as possible of the site from a public street.
6. The abovementioned business must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties.
7. The abovementioned business shall restrict the number of persons within the building to those allowed by the planning and zoning commission at the time of permit issuance, after having taken into account the recommendations of the fire marshal, building official and director of planning. This number cannot exceed the number provided for in existing city ordinances.

Staff received one phone call in opposition to this request citing issues with excess of smoke shops in the area, proximity to a school, and generation of unwanted traffic to the area.

Staff recommends disapproval of the request, for one year, due to noncompliance with requirement #1 (distance).

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Mr. Sam Bentsen, representative for the applicant, stated they are wanting to increase the profits throughout the plaza. Mr. Marco Suarez and Mr. Reza Badiozzamani asked Mr. Bentsen regarding the smoke shop being near a residential area and school. Ms. Adriana Solis stated staff was disapproving due to the proximity of the residential zone. Mr. Reza Badiozzamani questioned why the business had to be open 24 hours. Mr. Bentsen stated they were not going to be opened 24hrs after all due to budget.

After a lengthy discussion, Vice Chairperson Mr. Gabriel Kamel moved to disapprove with favorable recommendation. Mr. Jose Saldana second the motion. Mr. Marco Suarez, Mr. Reza Badiozzamani and Chairperson Mr. Michael Fallek all voted nay. The motion died. Mr. Jose Ozuna motioned to disapprove and Mr. Marco Suarez second the motion with six members present and voting, with 2 nays, motion denied.

- 3) Request of Efraim T. Vela on behalf of Dev Harvey, LLC. for a Conditional Use Permit, for life of use, and adoption of an ordinance for parking facility, at Lot 2, Rosa Linda Subdivision, Hidalgo County, Texas; 3616 Harvey Drive. **(CUP2024-0084)(TABLED ON 8/20/2024)**

Mr. Edson Lara stated that the property is located on the north side of Harvey Drive, approximately 160 ft. east of North Ware road, and is zoned R-1 (single family residential) District. The adjacent zoning is R-1 District in all directions and R-3A (multifamily apartments) District to the south. Surrounding land uses include single-family residences, apartment's complexes, The Light of the World Church and vacant land. A parking facility is allowed in the R-1 zone with a Conditional Use Permit and in compliance with

The initial request for a parking facility at this property was made on September 25, 2020 (CUP2020-0109). At the time the Board alternatively decided to recommend approval of the request for 2 years due to opposition concerns.

The applicant is proposing to continue the use of the existing parking area with 11 parking spaces, on an area of 22ft by 100 ft. The parking area has access from a 20 ft. alley. The Fire Department inspections is pending; Health Department has completed their inspection. The establishment must comply with the requirements set forth in Section 138-118a (4) of the Zoning Ordinance and specific requirements as follows:

- a) The sides adjacent to residentially zoned property are to be screened by a six-foot opaque fence. A 6 ft. opaque fence is required on the north and east side of the property.
- b) The paved area is landscaped in compliance with the off-street parking and loading ordinance and landscape ordinance. The required landscaping for the parking lot is 874 sq. ft. with trees required as follows: 2 – 2 1/2" caliper, or 1 – 4" caliper, 1 – 6" caliper or 4 palm trees (palm trees cannot exceed 80% of total tree requirement). Each parking space must also be within 50 ft. of a landscape area with a tree;
- c) Residential areas shall be protected as far as possible against heavy traffic and against through traffic of all kinds, including traffic generated by commercial, industrial or other incompatible land uses.
- d) Parking should not encroach into side yard setbacks when residential uses are adjacent;
- e) The parking area shall be adjacent to the primary use. The parking area is adjacent to the primary use;
- f) The parking area shall provide sufficient lighting to eliminate dark areas to provide maximum visibility from a public street in order to discourage vandalism and criminal activities;
- g) No form of pollution shall emanate beyond the immediate property line of the permitted use;
- h) The Planning and Zoning Commission may impose additional reasonable restrictions or conditions to carry out the spirit and intent of this section and to mitigate adverse effects of the proposed use. These requirements may include, but are not limited to, increased open space, loading and parking requirements, suitable landscaping, and additional improvements such as curbing and sidewalks.

Staff has not received any phone calls, emails, or letters in opposition to the CUP request.

Staff recommended approval of the request, for life of the use, subject to compliance with requirements in Section 138-118(6) of the Zoning Ordinance, Building Departments, Engineering Department ROW requirements and Landscape requirements.

**PLANING AND ZONING COMISSION MEETING 08/20/24:**

At the Planning and Zoning Commission meeting of August 20, 2024, three people appeared in opposition to the conditional use permit request. The opposition cited issues with the existing parking area and apartment tenants parking on Harvey Drive. After staff presented their analysis and their recommendation of approval, the board unanimously voted to table this item so city staff can discuss the existing issues with the applicant and opposition.

Chairperson Mr. Michael Fallek requested to take item off table. Vice Chairperson Mr. Gabriel Kamel motioned to remove. Mr. Jesse Ozuna second the motion with six members present and voting.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Mr. Jesse Ozuna moved to approve subject to compliance with requirements in Section 138-118(6) of the Zoning Ordinance, Building Departments, Engineering Department ROW requirements and Landscape requirements. Mr. Marco Suarez second the motion which was approved with six members present and voting.

- 4) Request of Eric R. Pena on behalf of Sun's Fast Food Corp., for a Conditional Use Permit, for one year, and adoption of an ordinance, for a bar (Suerte Bar and Grill) at N98.5' Lot 1 Block 1, Fairway North Subdivision, Hidalgo County, Texas; 2001 South 10th Street. **(CUP2024-0089)**

Ms. Hilda Tovar stated that the property is located at the southeast corner of South 10th Street and Toronto Avenue and is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the north, west and south, R-3A (apartments) and R-3C (condominiums) District to the east. Surrounding land uses include McAllen Country Club, Logan's Roadhouse, Wings and Rings, La Placita retail plaza, Fairway Plaza Shopping Center, and condominiums. A bar is allowed in a C-3 District with a Conditional Use Permit and in compliance with requirements.

The initial Conditional Use Permit request was approved by City Commission on August 22, 2022. The Conditional Use permit has been renewed since then. The renewal for the bar was submitted August 1, 2024.

The applicant is proposing to continue to operate a bar (Suerte Bar and Grill) from the existing building. The proposed hours of operation are from Monday- Sunday from 12:00 P.M.- 2:00 A.M.

The Health and Fire Departments have inspected the bar and allowed the CUP process to be continued. The establishment must also meet the requirements set forth in Section 138-118(a)(4) of the Zoning Ordinance and specific requirements as follows:

- 1) The property line of the lot of any of the abovementioned businesses must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. The establishment is within 400 ft. of the residential zone/use to the east and southeast;
- 2) The abovementioned businesses must be as close as possible to a major arterial, and

shall not allow the traffic generated by such businesses onto residential streets, or allow such traffic to exit into and disrupt residential areas. The establishment has direct access to South 10th Street;

- 3) The abovementioned businesses must provide parking in accordance with the city off-street parking ordinance as a minimum, and make provisions to prevent use of adjacent streets for parking, especially those in adjacent residential areas, by providing additional onsite parking. 61 parking spaces are required and 63 are provided as per site plan.
- 4) The abovementioned businesses must do everything possible to prevent the unauthorized parking by the patrons of such businesses on adjacent business or residential properties including, when necessary, the installation of fences and hedges, and the reorientation of entrances.
- 5) The abovementioned businesses should do everything possible and be designed to discourage criminal activities and vandalism, both on the site and on adjacent properties. Included would be provision of sufficient lighting and perimeter fencing, elimination of dark areas, and the orientation of the building such that it provides maximum visibility of as much as possible of the site from a public street.
- 6) The abovementioned businesses must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties.
- 7) The abovementioned business shall restrict the number of persons within the building to those allowed by the Chief Building Official and Fire Marshal. The occupancy load will be established by the Building Inspections Department as part of the building permit review process.

The Planning Department has not received any complaints or oppositions regarding this request.

Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(a)(4) of the Zoning Ordinance.

The Planning Department has not received any complaints or oppositions regarding this request.

Staff recommends disapproval of the request based on noncompliance with requirement #1 (distance) of Section 138-118(a)(4) of the Zoning Ordinance.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed conditional use permit request. There was none.

Being no discussion, Mr. Marco Suarez moved to disapproved the conditional use permit with favorable recommendation based on noncompliance with requirement #1 (distance) of Section 138-118(a)(4) of the Zoning Ordinance. Mr. Jose Saldana second the motion which was approved with six members present and voting.

**b) REZONING:**

- 1) Initial Zoning to R-3A (multifamily residential apartments) District: 11.442 acres being all of Lot 4, Resubdivision of Lots 46-11 and 46-12, West Addition to



Sharyland Subdivision, Hidalgo County, Texas; 9901 North Stewart Road.  
**(REZ2024-0046)**

Ms. Hilda Tovar stated that the property is located along the west side of North Stewart Road. The tract is comprised of 11.442 gross acres.

The applicant is proposing annexation of the property and is requesting R-3A (multifamily residential apartments) District. A feasibility plan has not been submitted. The initial zoning to R-3A District will become effective upon the annexation of the tract into the City.

The adjacent properties of the subject property are currently outside of McAllen's City limits and are therefore not zoned.

The property is currently vacant land. Surrounding land uses include agricultural, single-family dwellings and vacant land.

The Envision McAllen Future Land Use Plan categorizes the future land use for this property under Mixed Density Complete Neighborhood. Duplex, Townhomes, Triplex/Quadplex, small multifamily, and mixed-use neighborhood scale retail are the most appropriate developments for this type of use. This includes diverse housing options and promotes walkability.

The development trend along North Stewart Road is single family residential at the intersection of 7 Mile Road.

The requested zoning conforms with the Future Land Use Plan designation and the proposed zoning and development trend aligns with existing and future R-3A District developments coming to the area.

The applicant is requesting to be annexed into the City of McAllen. The annexation will require the applicant to subdivide the property and be in compliance with all other conditions subject to the Zoning Ordinance.

The proposed development area would have 11.442 acres (498,413 square feet). Based on the maximum density per gross acres in the R-3A District: 498-one-bedroom units, 398-two-bedroom units, and 332-three-bedroom units would be allowed. Seven thousand square feet represents the minimum lot area for any R-3 multifamily residential district use, exclusive of a townhouse. Max allowable density per acre will be defined once a final subdivision plat is recorded.

A recorded subdivision plat is required prior to building permit issuance. A masonry screen eight feet in height shall be required where a commercial, industrial or multifamily use has a side or rear property line in common with a single-family use or zone. Required parkland dedication or a fee in lieu of land comprising \$700 per dwelling unit is required prior to recording a subdivision plat. Should the subject property be zoned to R-3A District, site plan review may be required.

Staff has not received any phone calls, emails, or letters in opposition to the initial zoning request.

Staff recommends approval of the initial zoning request to R-3A (multifamily residential apartments) District.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was none.

Being no discussion, Mr. Jesse Ozuna moved to approve the rezoning request. Mr. Jose Saldana second the motion which was approved with six members present and voting.

- 2) Rezone from R-1 (single family residential) District to R-3A (multi-family residential apartments) District: A 1.0 acre tract being a piece of land out of the South five & 24/100 acres of the South part of Lot "K" in Lot 6, Block 16, Steele & Pershing Subdivision, Hidalgo County, Texas; 1021 East El Rancho Road. **(REZ2024-0042)**

Mr. Porfirio Hernandez stated that the property is located along the north side of East El Rancho Road, approximately 241 feet east of South "H" Street. It has 208.7 feet of frontage along El Rancho Road.

The applicant is proposing to rezone the subject property to R-3A (multi-family residential apartments) District in order to construct a 24 unit, three story gated apartment complex. A feasibility plan has been submitted and is attached.

The subject property is zoned R-1 (single-family residential) District and adjacent zoning is R-1 District to the north, south and west. There is C-1 (office building) District to the east and R-3T (multi-family residential townhouse) District southeast across El Rancho Road.

An existing single family house is located on the property which will be removed prior to construction. Surrounding land uses include single-family residences, duplex-fourplex residences and multi-family apartments.

The Envision McAllen Future Land Use Plan designates the future land use for this property as Parks and Open Space. This area denotes parks, recreational facilities, drainage ways and trails that are currently in existence or planned.

The development trend for the area to the north and west is established single family residential and vacant land to the east and south across East El Rancho Road. Established zoning along the north side of East El Rancho Road is clearly delineated between single family and commercial districts.

The requested zoning does not conform to the Parks and Open Space Future Land Use Plan designation. Large multifamily developments are not considered compatible. The proposed zoning does not conform to the development trend of the area. Such developments should be nearby and served by Parks and Open Space uses such as schools, city hall and recreational centers but not within Parks and Open Space category itself.

Staff has not received any phone calls, emails, or letters in opposition to the rezoning request.

Staff recommends disapproval of the rezoning request to R-3A (multi-family residential apartments) District since the requested zoning does not conform to the Parks and Open Space land use designation for the property as indicated on the Envision McAllen 2040 Comprehensive Plan.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was none.

After a lengthy discussion regarding parks and open/designated spaces, Mr. Reza Badiozzamani moved to approve the rezoning request. Mr. Marco Suarez second the motion which was approved with six members present and voting.

- 3) Rezone from C-3 (general business) District to R-3T (multi-family residential townhouse) District: A 17.904 acre tract of land, out of Lot 5, Section 280, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas; 2700 State Highway 107. **(REZ2024-0044)**

Mr. Porfirio Hernandez stated that the subject property is located along the north side of State Highway 107, east of North 29<sup>th</sup> Street (Rooth Road).

The applicant is proposing to rezone the property to R-3T (multi-family residential townhouse) District for a townhouse development. A feasibility plan has not been submitted at this time. A subdivision plat has not been submitted for review.

The subject property is zoned C-3 District. The adjacent zoning is R-1 (single family residential) District to the north, C-3 District to the east and southwest, R-4 (mobile home and modular home) District to the west and R-3A (multi-family residential apartment) District to the south across State Highway 107.

There is an orange orchard on the property. Surrounding land uses include Collision Masters Auto Body Shop, single-family residences, mobile homes and manufactured homes, Citrus Valley R.V. Park, Fred Loya Insurance offices and farm land.

The Envision McAllen Future Land Use Plan designates the future land use for the front portion of this property along S.H. 107 as Regional Commercial which consists of nonresidential land uses that meet the needs of both local and regional residents. This includes big box stores and multi-tenant commercial or retail uses, generally along major roadway corridors that connect outside the city limits.

The future land use for the remaining north portion of the subject property is designated as Complete Communities. Single family homes make up the majority of this land use category although townhomes are similar in character and should be encouraged to create diversity in housing types.

The development trend along this portion of S.H. 107 is single family residential and commercial uses.

The requested zoning does not conform to the Future Land Use Plan designation for the southern portion of this property. The proposed zoning does conform to the development/ rezoning trend in the area. The traffic generated by Regional Commercial uses is generally not compatible with residential housing.

The northern portion of this property conforms to the Future Land Use Plan designation and aligns with the development trend for the area.

Rezoning the property to R-3T District will allow townhouse development on the tract fronting S.H. 107 and allow for a multi-family residential townhouse subdivision on the interior portion of the property.

A recorded subdivision plat and an approved site plan will be required prior to building permit issuance

for any future development on this property. Any future developments must also comply with the permitted and conditional use requirements of the zoning district in which it is located.

The submitted survey encompasses an irrigation district canal r-o-w and easement but are not buildable areas for this development.

Staff received two comments in opposition to the rezoning request. The stated concerns were possible noise and increase traffic.

Staff recommends approval of the rezoning request to R-3T (multi-family residential townhomes) District.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was none.

Being no discussion, Chairperson Mr. Gabriel Kamel moved to approve the rezoning request. Mr. Reza Badiozzamani second the motion which was approved with six members present and voting.

- 4) Rezone from R-1 (single family residential) District to R-3T (multifamily residential townhouse) District: 6.10 acres of Land out of Lot 16, Section 279, Texas-Mexican Railway Company Survey, Hidalgo County, Texas; 9400 North Bicentennial Boulevard. **(REZ2024-0045)**

Ms. Natalie Moreno stated that the subject property is located on the east side of north bicentennial, approximately 913 feet north of Northgate Lane.

The applicant is requesting to rezone from R-1 (single family residential) District to R-3T (multifamily residential townhouse) District for a townhouse development.

The adjacent properties are zoned R-1 (single family residential) District to the north, east and west, R-4 (mobile home) to the east and R-3T (townhouses) District to the east and south of the subject property.

The property is currently vacant. Surrounding uses include single-family residences, vacant land, townhouses and mobile homes.

The Envision McAllen Future Land Use Plan designates the future land use category for this property as Complete Communities, which allow established low-density neighborhoods to welcome compatible density and commercial uses into their neighborhoods via incremental infill. These areas are majority residential, with some office, retail, and other nonresidential uses that serve residents.

The development trend along this area of North Bicentennial Boulevard is primarily Single Family Residential with some Multifamily Residential.

In April of 2023, the subject property was going under the subdivision process under the proposed name of "La Floresta Phase III Subdivision, but was never completed. A rezoning request for R-3T was submitted on August 14, 2024.

The requested zoning does not conform to the Future Land Use Plan designation. However, the requested zone and the proposed use aligns with the existing uses and the development trend for the area. Townhomes are considered compatible to single family uses.

A subdivision and site plan review will be required prior to building permit issuance for any future developments for this property. Any future developments must also comply with the permitted and conditional uses of the designated zoning district.

Staff has not received any phone calls in opposition to the zoning request.

Staff recommends approval of the zoning request to R-3T (multifamily residential townhouse) District.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was none.

Being no discussion, Chairperson Mr. Gabriel Kamel moved to approve the rezoning request. Mr. Jose Saldana second the motion which was approved with six members present and voting.

- 5) Rezone from R-2 (Duplex-Fourplex Residential) District to R-3T (Multifamily Residential Townhouses) District: A 10 acre tract, being all of Lot 2, Pride O' Texas Subdivision, Hidalgo County, Texas; 3500 La Lomita Road. **(REZ2024-0047)**

Mr. Edson Lara stated that the property is located along the north side of 6 ½ mile line and approximately 309 feet east of La Lomita Road. The subject property is zoned R-2 (Duplex-Fourplex Residential) District, surrounding land uses include single family residences and vacant lands.

The applicant is requesting to rezone from R-2 (Duplex-Fourplex Residential) District to R-3T (Multifamily Residential Townhouses) District in order to develop a townhouse subdivision. A proposed subdivision under the name of "La Lomita Paradise" is currently going through revision.

Adjacent zoning includes A-0 District to the north, R-2 District to the east and R-3 District to the south.

Surrounding land uses are mostly single family residences and vacant land.

The Envision McAllen Future Land Use Plan designates the future land use for this property as Complete Communities. This future land use designation considers diverse housing options, civic uses as well as complimentary retail and office uses.

The development trend for this area is single and multifamily residential.

The rezoning request for the subject property was submitted on August 22, 2024.

The requested zoning conforms to the future land use plan designation and the existing development trend along this area. Townhouses are considered compatible with single family residential uses.

As per section 110-49 (a) "A buffer shall be provided where a nonresidential use has a side or rear area property line in common with any residential use or zone. A masonry screen eight feet in height shall be required where a commercial, industrial or multifamily use has a side or rear property line in common with a single-family use or zone. Where such use has 200 feet or less in common with any

residential use or zone, the buffer shall be eight feet in height but may be cedar planks.”

A subdivision and site plan review may be required prior to building permit issuance for any future developments in the property. Any future developments must also comply with the permitted and conditional uses of the designated zoning district.

Staff has not received any phone calls in opposition to the zoning request.

Staff recommends approval of the rezoning request to R-3T (Multifamily Residential Townhouses) District.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was none.

Being no discussion, Chairperson Mr. Marco Suarez moved to approve the rezoning request. Mr. Reza Badiozzamani second the motion which was approved with six members present and voting.

- 6) Rezoning to R-1 (Single Family Residential) to R-3T (Multi Family Residential Townhouses) District: A 4 acres tract out of the south 30 acres of lot 47, La Lomita Irrigation and Construction Company's Subdivision, Hidalgo County, Texas; 8516 North 29th Street. **(REZ2024-0048)**

Mr. Edson Lara stated that the property is located along the east side of North 29<sup>th</sup> Street. The subject property is zoned R-1 (Single Family Residential) District. Adjacent land uses include, R-1 Single Family Residential to the South, A-O Agricultural and Open Spaces and Bianca E. Sanchez Elementary School.

The applicant is requesting to rezone from R-1 (Single Family Residential) District to R-3T (Multifamily residential townhouses) District for the future development of Townhomes. A subdivision by the name of 29<sup>th</sup> subdivision is currently under a review process.

The adjacent zoning is A-O District to the north and R-1 District to the south.

The property is currently vacant; surrounding land uses are single-family residences, and elementary school, and vacant lands.

The Envision McAllen Future Land Use Plan designates the future land use for this property the same as complete communities. This land use designation considers diverse housing options, civic uses, as well as compatible retail and office uses.

The development trend is Single Family Residential uses.

The rezoning request for the subject property was submitted on August 22, 2024. A subdivision application (SUB2024-0097) was submitted August 29 2024. Applications is still under review for final answer.

The requested zoning conforms to the future land use plan designation and the existing development trend along this area.

As per section 110-49 (a) “A buffer shall be provided where a nonresidential use has a side or rear

area property line in common with any residential use or zone. A masonry screen eight feet in height shall be required where a commercial, industrial or multifamily use has a side or rear property line in common with a single-family use or zone. Where such use has 200 feet or less in common with any residential use or zone, the buffer shall be eight feet in height but may be cedar planks.”

A subdivision and site plan review may be required prior to building permit issuance for any future developments in the property. Any future developments must also comply with the permitted and conditional uses of the designated zoning district.

Staff had a meeting with two neighbors in the vicinity whom were in opposition to the request.

Staff recommends approval of the rezoning request to R-3T (Multifamily Residential Townhouses) District.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed rezoning request. There was one.

Citizen Mr. Fernando De la Garza, (2600 Grayson Avenue), who is representing the neighborhood property owners, presented 36 signatures from the community in opposition of the request. Their concerns are: Decrease in property value and density growth.

Mr. Beto De la Garza, Melden and Hunt (applicant) spoke on the development plans and how it should not affect the single family areas.

After a lengthy discussion, Chairperson Mr. Marco Suarez moved to approve the rezoning request. Mr. Jesse Ozuna second the motion which was approved with six members present and voting.

**c) ACTION ITEM:**

**1) Discussion/Approval of the Unified Development Code.**

Summary and explanation on the proposed UDC Code was given at the workshop prior to the regular meeting on 9/25/2024.

Mr. Reza Badiozzamani asked who was involved in the planning and creation of the Unified Development Code. Chairperson, Mr. Michael Fallek did state that he encourages the inclusion future discussion for the changes.

Chairperson, Mr. Michael Fallek asked if anyone had questions or comments on the discussion of the Unified Development Code.

Citizen Julie Renkin requested to table the item for further clarification and future references to the codes. She feels that the community needs to be more involved in the document and more citizens and elected officials need to be more informed.

Citizen Laurel McLeaish, citizen of McAllen, stated she has the same views as Ms. Julie Rankin and also feels that more of the general public and organizations need to be educated with the UDC and wishes board members table the item and have at least one public hearing. She also has new parking concerns.

After a lengthy discussion, Mr. Jesse Ozuna moved to table the request. Mr. Jose Saldana second the motion which was tabled with six members present and voting.

**d) SUBDIVISION:**

- 1) Balboa Acres Subdivision, The East Half of Lot 19 Block 27, 3508 Elmira Avenue, Rocio Granados and Jorge Jimenez **(SUB2024-0086) (FINAL) ASE**

Mr. Eduardo Garza stated that the property located on Elmira Avenue: 80 ft. ROW existing Paving: approximately 36 ft. existing Curb & gutter: both sides. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. ROW: 20 ft. Paving: existing conditions remain. Alley/service drive easement required for commercial/multi-family properties. Subdivision Ordinance: Section 134-106. Front: 25 ft. Zoning Ordinance: Section 138-356. Rear: In accordance with the Zoning Ordinance or greater for easements. Zoning Ordinance: Section 138-356. Sides: In accordance with the Zoning Ordinance or greater for easements. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback required, greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Survey for east half of Lot 19, Block 27 shows 50 ft. of width. Zoning Ordinance: Section 138-356. Existing: R-1 Proposed: R-1. Zoning Ordinance: Article V. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. Traffic Impact Analysis (TIA) required prior to final plat. Existing plat notes remain the same. Public hearing with legal notices required for the subdivision of the lot. Must comply with other department requirements prior to recording as may be applicable. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in final form subject to the conditions noted.

Chairperson Mr. Michael Fallek asked if there was anyone present in opposition of the proposed subdivision request. There was none.

Being no discussion, Mr. Jose Saldana moved to approve in final form, subject to the conditions noted. Mr. Jesse Ozuna seconded the motion, which was approved with six members present and voting.

**3) SUBDIVISIONS:**

- a) Habitat at Hackberry Subdivision, 3302 Hackberry Avenue, Habitat Developers, LLC **(SUB2024-0098) (PRELIMINARY) SEC**

Mr. Eduardo Garza stated that the property located at Hackberry Avenue: 10 ft. to 15 ft. additional dedication required for 50 ft. ROW Paving: 32 ft. Curb & gutter: both sides. Submit a copy of ROW dedication for staff review, prior to final. Must align with existing street to the east and west. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior



to final. COM Thoroughfare Plan. ROW: 20 ft. Paving: maintain existing. Proposing 30 ft., alley requirement will be finalized prior to final. Alley/service drive easement required for commercial/multi-family properties. Subdivision Ordinance: Section 134-106. Front: 25 ft. or greater for easements. Zoning Ordinance: Section 138-356. Rear: 10 ft. or greater for easements. Zoning Ordinance: Section 138-356. Sides: In accordance with zoning ordinance or greater for easements. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required; greater setback applies. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 4 ft. wide minimum sidewalk required on Hackberry Avenue. Sidewalk requirement may increase to 5 ft. per Engineering Department. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Lots fronting public streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. Zoning Ordinance: Section 138-356. Existing: R-1 Proposed: R-1. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. Zoning Ordinance: Article V. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per plat submitted on September 6, 2024, at total of 2 lots are proposed and park fees total to (\$1,400 = 2 x \$700). If number of dwelling units change, park fees to be adjusted accordingly. As per Traffic Department, Trip Generation waived for 2-lot single family homes. Any abandonments must be done by separate process, not by plat, prior to recording. Submit copy of utility easement and Hackberry Avenue dedication by separate document for staff review. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in preliminary form subject to the conditions noted, drainage, and utility approval.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve in preliminary form subject to the conditions noted, drainage, and utility approval. Mr. Emilio Santos Jr. seconded the motion, which was approved with six members present and voting.

- b)** Jackson Street Apartments Subdivision, 2200 South Jackson Road, RISE Residential Construction, L.P. **(SUB2022-0049) (REVISED FINAL) G&**

Staff recommends tabling the item.

Being no discussion, Mr. Jesse Ozuna moved to table item. Mr. Jose Saldana seconded the motion, which was approved with six members present and voting.

- c)** Taylor Villas Subdivision, 2021 South Taylor Road, Synergy a Real Estate Alliance, LLC **(SUB2024-0096) (FINAL) M&H**

Mr. Eduardo Garza stated that the property located on S. Taylor Road: 10 ft. ROW dedication required for 40 ft. from centerline for 80 ft. ROW Paving: 52 ft. - 65 ft. Curb & gutter: both sides. Some lines and text are overlapping. Ensure that dimensions and labels are legible, prior to recording. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. Uvalde Avenue: 49.63 ft. from centerline for 89.54 ft. ROW existing Paving: 52 ft. - 65 ft. Curb & gutter: both sides. Some lines and text are overlapping. Ensure that dimensions and labels are legible, prior to recording. Subdivision Ordinance: Section 134-105. Monies must be escrowed if

improvements are required prior to recording. Interior Streets (proposed as private): 60 ft. ROW Paving: 40 ft. Curb & gutter: both sides. 10 ft. S/W and utility easement appears to overlap with ROW. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to recording. The project engineer on behalf of the developer has submitted a variance application (VAR2024-0011) which includes a variance request to allow 50 ft. ROW with 40 ft. paving back-to-back and 10 ft. utility easement on both sides of the interior streets. A subdivision application for this property with the same proposed name was in process in 2015 and a variance to allow 50 ft. ROW with 40 ft. paving was approved by the Board on September 1, 2015, subject to 10 ft. sidewalk and utility easement on both sides of the interior streets. The same variance with the same conditions will be honored for this subdivision. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. Subdivision Ordinance: Section 134-105. Monies must be escrowed if improvements are required prior to final. COM Thoroughfare Plan. 1,200 ft. Block Length. The project engineer on behalf of the developer has submitted a variance application (VAR2024-0011) which includes a variance to the maximum block length requirement to allow 1,320 ft. block length on the north side, due to the existing adjacent subdivision on the north side. A subdivision application for this property with the same proposed name was in process in 2015 and a variance to allow the block length was recommended for approval by the Planning and Zoning Commission on June 16, 2015, and approved by the City Commission on July 13, 2015. The same variance will be honored for this subdivision. Subdivision Ordinance: Section 134-118. ROW: 20 ft. Paving: 16 ft. A subdivision application for this property with the same proposed name was in process in 2015. The proposed layout was approved in final form for that subdivision on March 1, 2016, and in revised final form on July 18, 2017. However, the subdivision must comply with Public Works Department requirements. As per Public Works must comply with Dumpster Pad Layout that was approved along PUD CUP (CUP2023-0056) approved by City Commission on June 24, 2024. Any changes on the site plan may require a CUP amendment. If the PUD CUP is amended, the plat must be adjusted accordingly prior to recording. Alley/service drive easement required for commercial/multi-family properties. Subdivision Ordinance: Section 134-106. Front: 20 ft. except for 15 ft. for unenclosed carports or greater for easements, whichever is greater applies. Setbacks are established as per the PUD CUP (CUP2023-0056) approved by the City Commission on June 24, 2024. If the PUD CUP is amended, the plat notes must be adjusted accordingly prior to recording. Revise plat note as shown above, prior to recording. As per Engineer frontage of lots will be off of Tyler Avenue and will need to comply with front yard setback note as per approved PUD. PUD site plan was approved with double fronting lots and showed parking on both sides. Any changes to the setback requirements will require an amendment of the PUD. The project engineer on behalf of the developer has submitted a variance application (VAR2024-0011) which includes a variance request to allow the front setback to be 20 ft. except 10 ft. for unenclosed carports or greater for easements, whichever is greater applies. Based on the 50 ft. ROW and 40 ft. paving for the interior streets and requirement of 10 ft. sidewalk and utility easement, staff recommends 15 ft. minimum setback for unenclosed carports in lieu of 10 ft. requested by the project engineer. At the Planning and Zoning Commission Meeting of April 2, 2024, the Board approved the front yard setback as requested. Rear: In accordance with the Zoning Ordinance, or greater for easements, which ever is greater applies. Setbacks are established as per the PUD CUP (CUP2023-0056) approved by the City Commission on June 24, 2024. If the PUD CUP is amended, the plat notes must be adjusted accordingly prior to recording. PUD site plan shows a setback of 10 ft. or greater for easements, whichever is greater applies must clarify rear setback prior to recording. Zoning Ordinance: Section 138-356. Sides: In accordance with the Zoning Ordinance, or greater for easements, which ever is greater applies. Setbacks are established as per the PUD CUP (CUP2023-0056) approved by the City Commission on June 24, 2024. If the PUD CUP is amended, the plat notes must be adjusted accordingly prior to recording. Zoning Ordinance: Section 138-356. Corner: 10 ft. or greater for easements, which ever is greater applies. Setbacks are established as per the PUD CUP (CUP2023-0056) approved by the City Commission on June 24, 2024. If the PUD CUP is amended, the plat notes

must be adjusted accordingly prior to recording. Zoning Ordinance: Section 138-356. Garage: 18 ft. except where greater setback is required; greater setback applies. Setbacks are established as per the PUD CUP (CUP2023-0056) approved by the City Commission on June 24, 2024. If the PUD CUP is amended, the plat notes must be adjusted accordingly prior to recording. Zoning Ordinance: Section 138-356. All setbacks are subject to increase for easements or approved site plan. 5 ft. wide minimum sidewalk required on S. Taylor Road, Uvalde Avenue and on both sides of all interior streets. Revise plat note as per approved PUD, prior to recording. Sidewalk requirements may increase to 5 ft. per Engineering Department, finalize wording for note prior to recording. Subdivision Ordinance: Section 134-120. Perimeter sidewalks must be built or money escrowed if not built at this time. 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along Uvalde Avenue and S. Taylor Road. Landscaping Ordinance: Section 110-46. 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. Landscaping Ordinance: Section 110-46. Perimeter buffers must be built at time of Subdivision Improvements. No curb cut, access, or lot frontage permitted along Uvalde Avenue and South Taylor Road. Must comply with City Access Management Policy. Site plan must be approved by the Planning and Development Departments prior to building permit issuance. The approved PUD site plan must be recorded together with the subdivision plat. Any changes on the site plan may require a CUP amendment. If the PUD CUP is amended, the plat must be adjusted accordingly, prior to recording. Common Areas, detention area, private streets, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. Revise plat note #15 as shown above, prior to recording. Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. Section 134-168 applies if private subdivision is proposed. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. Homeowner's Association Covenants must be submitted for staff review, prior to recording. Section 134-168 applies if private subdivision is proposed. Section 110-72 applies if public subdivision is proposed. Landscaping Ordinance: Section 110-72. Subdivision Ordinance: Section 134-168. Lots fronting public/private streets. Subdivision Ordinance: Section 134-1. Minimum lot width and lot area. A PUD CUP (CUP2023-0056) was approved by City Commission on June 24, 2024. If the PUD CUP is amended, the plat must be adjusted accordingly, prior to recording. Zoning Ordinance: Section 138-356. Existing: R-2 Proposed: R-2 (Duplex-Fourplex Residential) District. A PUD CUP (CUP2023-0056) was approved by City Commission on June 24, 2024. If the PUD CUP is amended, the plat must be adjusted accordingly, prior to recording. CUP for Planned Unit Development will be reviewed simultaneously with subdivision plat and requirements will/may be revised as needed. The property was annexed and initially zoned to R-2 District on September 14, 2015. Zoning Ordinance: Article V. Rezoning Needed Before Final Approval. A PUD CUP (CUP2023-0056) was approved by City Commission on June 24, 2024. If the PUD CUP is amended, the plat must be adjusted accordingly, prior to recording. CUP for Planned Unit Development will be reviewed simultaneously with subdivision plat and requirements will/may be revised as needed. Zoning Ordinance: Article V. Land dedication in lieu of fee. City Commission granted variance for fees in lieu of land at their meeting of November 23, 2015 subject to conditions that developer to pay 50% of the total park fees prior to plat recording and the other 50% to be paid at time of building permit issuance. Total Park fees amount to \$117,600, 50% up front is \$58,800 and payable prior to recording. The other 50% will be paid at time of building permit issuance. That amount is \$350 per unit until the project is complete. (168 units x \$350 = \$58,800). Additionally, a note will be placed on the plat indicating that the remaining 50 percent will be paid during permit application. If the number of lot/dwelling unit changes park fees will be adjusted accordingly. Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. City Commission granted variance for fees in lieu of land at their meeting

of November 23, 2015 subject to conditions that developer to pay 50% of the total park fees prior to plat recording and the other 50% to be paid at time of building permit issuance. Total Park fees amount to \$117,600, 50% up front is \$58,800 and payable prior to recording. The other 50% will be paid at time of building permit issuance. That amount is \$350 per unit until the project is complete. (168 units x \$350 = \$58,800). Additionally, a note will be placed on the plat indicating that the remaining 50 percent will be paid during permit application. If the number of lot/dwelling unit changes park fees will be adjusted accordingly. Pending review by the City Manager's Office. City Commission granted variance for fees in lieu of land at their meeting of November 23, 2015 subject to conditions that developer to pay 50% of the total park fees prior to plat recording and the other 50% to be paid at time of building permit issuance. Total Park fees amount to \$117,600, 50% up front is \$58,800 and payable prior to recording. The other 50% will be paid at time of building permit issuance. That amount is \$350 per unit until the project is complete. (168 units x \$350 = \$58,800). Additionally, a note will be placed on the plat indicating that the remaining 50 percent will be paid during permit application. If the number of lot/dwelling unit changes park fees will be adjusted accordingly. As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. As per Traffic Department, TIA waived. CUP for Planned Unit Development will be reviewed simultaneously with subdivision plat and requirements will/may be revised as needed. Cross reference notes will need to be finalized prior to recording. The plat and PUD must have information, notes, etc. that must match as any changes will require both to be revised accordingly. Gate Details submitted on December 28, 2022 have been approved by Traffic Department. A PUD CUP (CUP2023-0056) was approved by City Commission on June 24, 2024. Any changes on the site plan may require a CUP amendment. If the PUD CUP is amended, the plat must be adjusted accordingly prior to recording. Any abandonments must be done by separate process, not by plat. Finalize easement locations and labeling, prior to recording. Common areas must be annotated as approved on the PUD CUP, prior to recording. Engineering Department is requiring revised drainage letter with original drainage report with notice of change of engineer, prior to recording. A subdivision application under the same name, Taylor Villas Subdivision (SUB2022-0151) for the subject property was in process by the same developer but with a different engineer and was approved in preliminary form subject to the conditions noted, drainage, and Utilities approval on January 17, 2023. The previous application was withdrawn by the developer with a letter of release by the previous engineer and resubmitted by Melden & Hunt on August 13, 2024. Must comply with City's Access Management Policy.

Staff recommends approval of the subdivision in final form subject to the conditions noted.

Being no discussion, Vice Chairperson Mr. Gabriel Kamel moved to approve in final form subject to the conditions noted. Mr. Jose Saldana seconded the motion, which was approved with six members present and voting.

- d) The Villages at Dallas Subdivision, 601 Dallas Avenue, The Villages at Dallas, LLC (**SUB2023-0054**) (**REVISED PRELIMINARY**) **AE (TABLED ON 9/20/2024)**

Item to remain tabled as per staff. No action required, none taken.

**ADJOURNMENT:**

There being no further business to come before the Planning & Zoning Commission, Mr. Marco Suarez adjourned the meeting at 4:43 p.m. with Vice Chairperson Mr. Gabriel Kamel seconding the motion with six members present and voting.

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Michael Fallek, CHAIRPERSON

ATTEST: 

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Magda Ramirez, ADMINISTRATIVE ASSISTANT

## Memo

**TO:** Planning and Zoning Commission

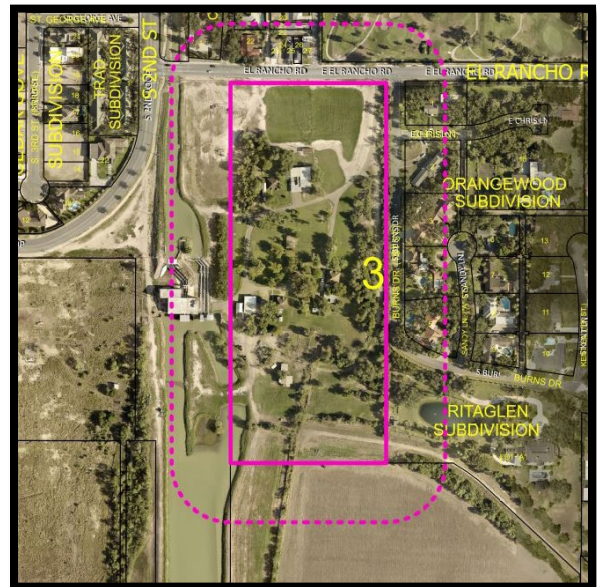
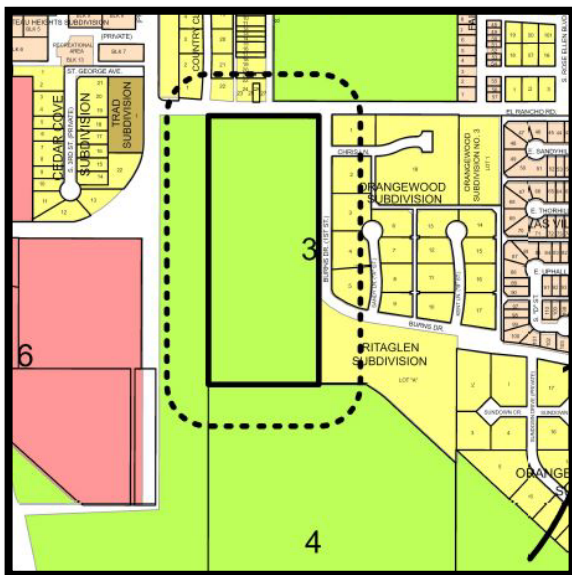
**FROM:** Planning Staff

**DATE:** November 7, 2024

**SUBJECT:** REQUEST OF HAYLEY SORENSON ON BEHALF OF VERIZON WIRELESS, FOR A CONDITIONAL USE PERMIT, FOR LIFE OF THE USE, AND ADOPTION OF AN ORDINANCE FOR A PERSONAL WIRELESS SERVICE FACILITY AT A 40 FEET X 40 FEET LEASE SPACE (AS SURVEYED) CONTAINING 0.04 ACRES, MORE OF LESS, AND 30 FEET INGRESS/EGRESS AND UTILITY/FIBER EASEMENT (AS SURVEYED) CONTAINING 0.11 ACRES, MORE OR LESS, OUT OF THE WEST ONE-HALF OF LOT 3, BLOCK 17, STEELE & PERSHING SUBDIVISION, HIDALGO COUNTY, TEXAS, 158 EL RANCHO ROAD. (CUP2024-0041)

### BRIEF DESCRIPTION:

The subject property is located along the south side of El Rancho Road between South 2<sup>nd</sup> Street and South Burns Drive. The 40 feet x 40 feet square foot lease area is an interior tract that is part of a parcel that has a zoning designation of A-O (agricultural and open space) District. Surrounding zoning are C-3 (general business) District to the south west, A-O District to the north and south, and R-1 (single-family residential) District to the west and east, and R-3A (apartments) District the the West. A personal wireless service facility is allowed in an A-O District with a Conditional Use Permit and in compliance with requirements.



The 40 feet x 40 feet square foot lease area in question is described by metes and bounds, and is located on the northwest portion of the tract that is owned by Hidalgo County Water District # 2.

### PROPOSAL:

The applicant is proposing to place a 80 foot monopole located on the center of the lease area. The proposal will need to meet all building permit requirements. Federal Aviation Administration (FAA) approval must be obtained prior to beginning construction. In addition, the request must comply

with requirements set forth in Section 138-118(11) of the zoning ordinance as follows:

- a. Maximum height of pole or tower structure of 80 feet within commercial zones or within 200 feet of an existing residential structure;
  - The applicant is not locating within a commercial zone;
- b. Maximum height of pole or tower structure of 120 feet within industrial zones for measuring distance purposes, the leasehold interest area boundary or compound area boundary, whichever is greater shall be utilized;
  - The applicant is proposing to construct a 80 foot in height monopole
- c. Only one pole or tower structure-allowed per lot or tract within a commercial or industrial zone;
  - There is no other pole structure on property;
- d. The applicant shall attempt to locate the proposed facility on an existing structure, or base station, as per subsections k—m of this section. If collocation of the proposed wireless facility is not possible (as per subsections k—m of this section) then the applicant for a personal wireless service facility must submit at least two alternatives designs for antenna and supporting structure, pole or tower design (including the equipment shelter, as per subsection h, below) that is treated with an architectural material (e.g., "stealth" design) so as to conform to the predominant architectural environment in the area of the facility. Such "stealth" personal wireless service facility shall blend into its proposed surroundings such as a tree, flag pole or other feature, to be approved. When a tree-type stealth design is used, one live and growing tree of the same variety or species one-half the height of the proposed tower shall be planted at the time of installation;
  - Collocation for proposal is not possible;
- e. Minimum spacing between poles and tower structures within commercial or industrial zones of 1,000 feet measured in a direct line of another tower;
  - There are no co-locatable towers within 1,000 feet;
- f. Must comply with applicable setbacks;
- g. A masonry wall shall be required as a buffer if pole or tower structure is located within the front or side yard, or adjacent to a residential use or zone;
- h. The transmission equipment structure installed at the base of the proposed tower shall be not greater than 180 square feet and constructed to conform to the predominant architectural environment;
- i. A landscaped buffer area to soften the visual impact shall commence along the perimeter of the lease area or the property line. At least one row of shrubs shall be installed as well as trees as appropriate shall be included. Materials shall be of a variety which can be expected to grow to form a continuous hedge at least six feet in height within two years of planting;
  - An 8ft concrete block wall will be built surrounding the lease space;
- j. The pole or tower structure will be constructed or installed with the capabilities of locating thereon additional personal wireless service facilities when tower or pole is greater than 80 feet in height. The applicant agrees to cooperate with other personal wireless service facility providers in collocating additional facilities on permitted support structures;



- k. A permittee shall exercise good faith in collocating with other providers and sharing the permitted structure, provided such shared use does not give rise to a substantial technical level impairment of the ability to provide the permitted use (i.e., a significant interference in broadcast or reception capabilities as opposed to a competitive conflict or financial burden). Such good faith shall include sharing technical information to evaluate the feasibility of co-location. In the event a dispute arises as to whether a permittee has exercised good faith in accommodation other users, the city may require a third party technical study at the expense of either or both the applicant and permittee;
- l. All conditional use applicants shall demonstrate good-faith, reasonable efforts in developing a collocation alternative for their proposed personal wireless service facility site, which efforts shall be documented to the city and shall include, but not be limited to, providing technical details sufficient to determine co-locations efforts. If the applicant asserts that co-location is not possible, the applicant must provide, in addition to the foregoing, an affidavit in a form provided by the city stating that all efforts to collocate the personal wireless facility at an existing facility have been exhausted and that there is no possibility of co-location on the existing towers;
- m. Failure to comply with the collocation requirements of this section may result in the denial of a permit request or revocation of an existing permit;
- n. If any applicant provides false or misleading information on their application, or in the application process to obtain a permit for a personal wireless facility, then their application may be denied or revoked at the expense of the applicant or the permittee;
- o. If property is leased, term of conditional use permit shall be co-terminus with that term of lease of property;
- p. Construction of tower and equipment facilities shall meet applicable building codes and wind loads;
- q. Notwithstanding the above conditions, to the extent an applicant is fully qualified as an eligible facilities request under Section 6409, in the event of a conflict between the above conditions in this subsection and those criteria and conditions in section 138-1.A., above, and the 2014 Infrastructure Order, then section 138-1.A., and the 2014 Infrastructure Order control, subject to the city reservation of rights, as set forth in the preface to section 138-1.A.

Staff has not received any phone calls, emails, or letters in opposition to the request.

**RECOMMENDATION:**

Staff recommends approval of the request subject to Section 138-118(11) of the zoning ordinance, compliance with co-location conditions, FAA approval, and building permit requirements.



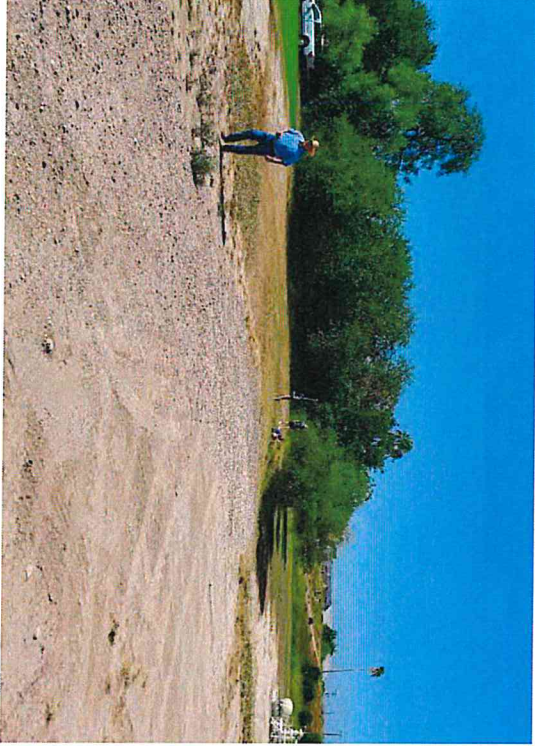


1 SITE PHOTOGRAPH

NOTE: REFER TO SHEET  
A1 AND/OR A-1 FOR  
LOCATION AND WHICH  
PHOTOS WERE TAKEN



2 SITE PHOTOGRAPH



3 SITE PHOTOGRAPH



4 SITE PHOTOGRAPH

THESE DRAWINGS ARE THE PROPERTY OF VERIZON WIRELESS. THEY ARE INTENDED FOR THE EXCLUSIVE USE OF THIS PROJECT ONLY. ANY RE-USE OF THESE PLANS (DRAWINGS) WITHOUT THE EXPRESS WRITTEN CONSENT OF VERIZON WIRELESS IS PROHIBITED.

verizon

MCCALLEN COUNTRY CLUB

\*\*\*

112 E ELRANCHO RD.  
MCCALLEN, HIDALGO COUNTY, TEXAS 78503

(491245)



ARCHCOM, LLC.  
1006 Beckhart  
San Antonio, Texas 78213  
(210) 308-9905  
TXPE NO. F-15659



SHEET TITLE

SITE

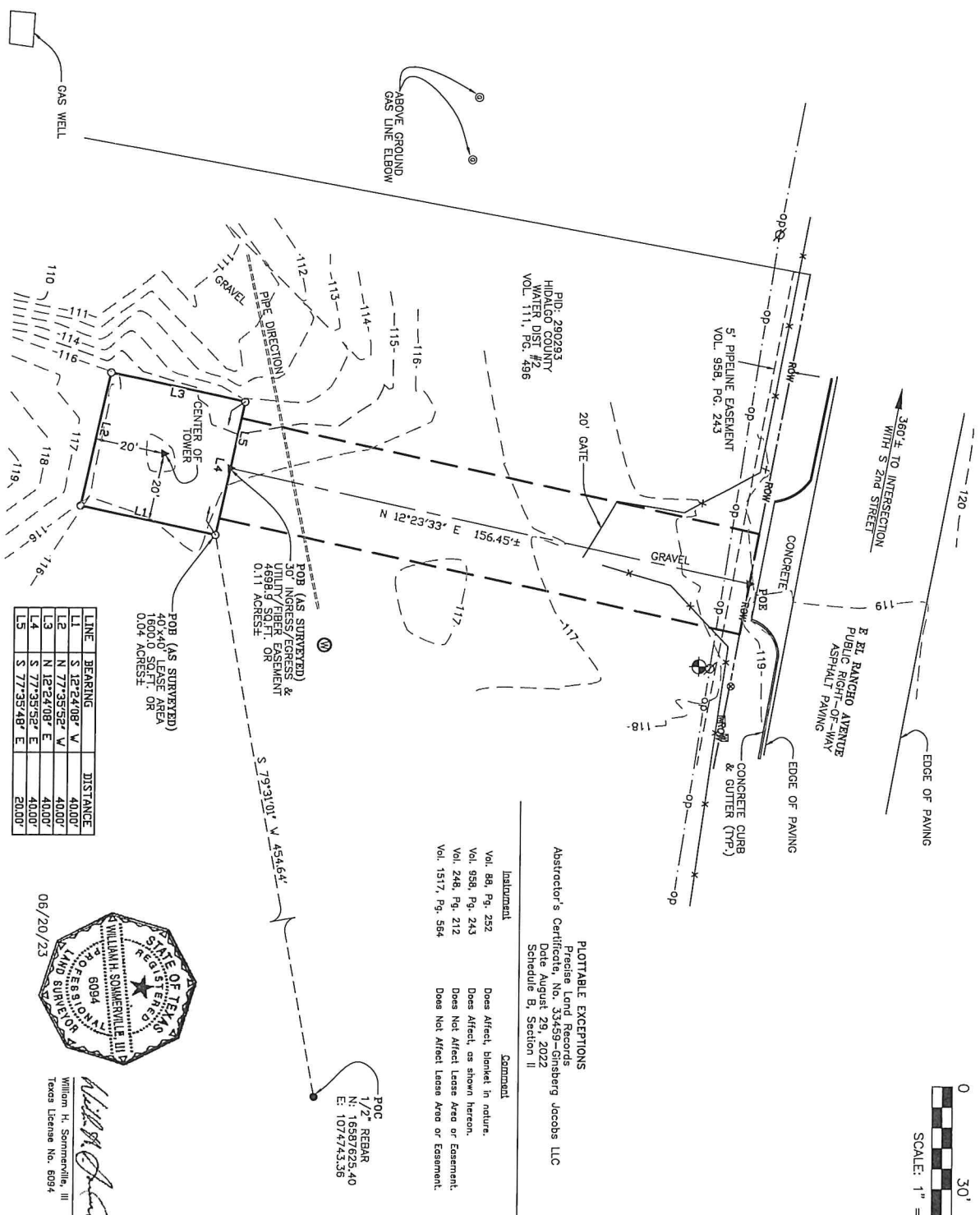
PHOTOGRAPHS

SHEET HISTORY

02/01/23 PCO

08/23/23 FCO

P1



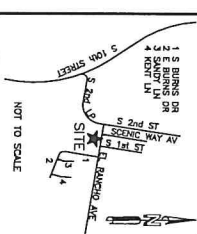
*William H. Sommerville, III*  
Texas License No. 6094



**TOWER INFO**

CENTER OF TOWER:  
LATITUDE: 28°10'14.595" NORTH  
LONGITUDE: 98°13'31.92" WEST  
(NAD 83)  
GROUND ELEVATION: 116.5'  
ABOVE MEAN SEA LEVEL (NAVD83)  
SITE ADDRESS:  
112 E EL RANCHO ROAD  
MCALLEN, TEXAS 78503

**VICINITY MAP**



**TEXAS SOUTH**

GRID TO TRUE NORTH  
CONVERSION  
0°07'28.99809"  
TRUE NORTH TO MAGNETIC  
DECLINATION  
3°37' E  
COMBINED SCALE FACTOR  
0.999999954

**LEGEND**

- = 5/8" REBAR SET
- = FOUND PROPERTY MARKER
- POB = POINT OF BEGINNING
- POE = POINT OF ENDING
- ▲ = CALCULATED POINT
- △ = REFERENCED INFORMATION
- (M) = MEASURED
- ⊗ = POWER POLE
- ⊕ = BURIED CABLE MARKER
- ⊞ = POWER BOX
- ⊟ = TELEPHONE PEDESTAL
- ⊠ = WATER MANHOLE

**FLOOD NOTE**

This site lies within an area unimproved by FEMA, therefore this survey is unable to determine/delineate flood zones.

McALLEN COUNTRY CLUB  
16943277  
PORTION SECTION 66  
HIDALGO SURVEY, ABSTRACT 39  
HIDALGO COUNTY, TEXAS



A0

# verizon<sup>✓</sup>

verizon<sup>✓</sup>

**MCALLEN COUNTRY CLUB**  
\*\*\*

112 E ELRANCHO RD.  
MCALLEN, HIDALGO COUNTY, TEXAS 78503  
(491245)

SITE NAME

**MCALLEN COUNTRY CLUB**

MDG: 5000206901

SPM: 16943277

E911 ADDRESS:

TBD  
McALLEN, HIDALGO COUNTY, TEXAS 78503

PARCEL/PROPERTY ADDRESS:

112 E ELRANCHO RD.  
MCALLEN, HIDALGO COUNTY, TEXAS 78503

## SCOPE OF WORK

THIS IS AN APPLICATION TO DEVELOP AN UNMANNED WIRELESS FACILITY CONSISTING OF COMMUNICATION EQUIPMENT, CONNECTING CABLES, DIRECTIONAL ANTENNAS AND GPS. THE SIZE, HEIGHT, AND DIRECTION OF THE ANTENNAS SHALL BE ADJUSTED TO MEET SYSTEM REQUIREMENTS. THE WIRELESS ANTENNAS WILL PROVIDE CLEAR AND RELIABLE WIRELESS COMMUNICATIONS WITHIN THE EFFECTIVE OPERATIONAL AREA. THESE FACILITIES WILL ENHANCE THE GENERAL HEALTH, SAFETY, AND WELFARE OF THE COMMUNITY AND SURROUNDING AREAS BY PROVIDING RELIABLE WIRELESS COMMUNICATIONS AT THIS LOCATION.

## PROJECT DATA

### APPLICANT:

VERIZON WIRELESS  
6696 TRI COUNTY PARKWAY, STE. 100  
SCHERTZ, TEXAS 78154  
CONTACT: TBM CALETKA  
PHONE: (210) 834-1884

### LANDLORD:

HCID #2  
328 N STANDARD AVE.  
SAN JUAN, TEXAS, 78589  
CONTACT: BONNY HINOJOSA  
PHONE: (859) 787-1422

### PROJECT INFORMATION:

JURISDICTION: HIDALGO COUNTY

CONSTRUCTION TYPE: UNMANNED TELECOMMUNICATIONS

GROUND ELEVATION: 116.3' AMSL

LATITUDE: 26° 10' 14.985" N

LONGITUDE: 98° 13' 31.820" W

## PROJECT PARTICIPANTS

### ARCHITECTS / ENGINEERS

ARCHCOMM LLC.  
1006 BECKETT  
SAN ANTONIO, TEXAS 78213  
PHONE: (210) 308-9905  
FIRM NUMBER: F-15689

### ELECTRICAL ENGINEER

EDWARD C. MOMACO P.E., INC.  
2318 SAN PEDRO AVE., STE #2  
SAN ANTONIO, TEXAS 78212  
PHONE: (210) 541-0200

### CONSTRUCTION ENGINEER

TBM CALETKA  
(210) 834-1884

### SURVEYOR

SMW ENGINEERING GROUP, INC.  
158 BUSINESS CENTER DRIVE  
BIRMINGHAM, ALABAMA 35244  
PHONE: (205) 252-6865

### CONSTRUCTION MANAGER

TRACY REEVES  
(832) 831-3345



## SHEET INDEX

T1	TITLE SHEET
P1	SITE PHOTOGRAPHS
	SURVEY
N1	GENERAL NOTES
C1	EROSION & SEDIMENT CONTROL PLAN
L1	LANDSCAPE PLAN
A0	AERIAL SITE PLAN
A1	SITE PLAN
A1-1	DETAIL SITE PLAN
A1-2	EQUIPMENT PLAN
A2	SITE ELEVATION
A2-1	ANTENNA MOUNT DETAILS
D1	GENERAL DETAILS
D2	ENCLOSURE DETAILS
D2-1	ENCLOSURE DETAILS
D3	METER FRAME DETAILS
D3-1	UTILITY FRAME DETAILS
D4	GATES, CULVERTS & ROADS
D5	FIBER HAND HOLE DETAILS
D6	EROSION CONTROL
S1	NOTES
S2	ENCLOSURE FOUNDATION PLAN
S3	FOUNDATION PLANS & DETAILS
S4	EQUIPMENT AWNING DETAILS
S5	EQUIPMENT AWNING DETAILS
G1	GROUNDING PLAN
G2	GROUNDING DETAILS
G3	TOWER GROUNDING DETAILS
G4	CONNECTION DETAILS
E1	SITE PLAN
E2	EQUIPMENT PLAN
E3	DETAILS & NOTES
E4	ELECTRICAL RISER
E5	ELECTRICAL SPECIFICATIONS

APPENDIX  
1-8 GENERATOR SPECIFICATIONS

## BUILDING CODES

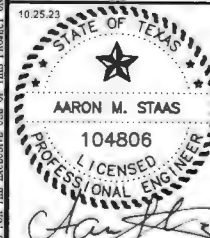
THIS PROJECT WAS DESIGNED IN ACCORDANCE WITH:  
2018 INTERNATIONAL BUILDING CODE  
2017 NATIONAL ELECTRIC CODE

## UTILITIES

ELECTRIC COMPANY  
AEP

## PROPRIETARY INFORMATION

NOT FOR USE OR DISCLOSURE OUTSIDE VERIZON  
WIRELESS EXCEPT UNDER WRITTEN AGREEMENT



**ARCHCOMM, LLC.**  
1006 Beckett  
San Antonio, Texas 78213  
(210) 308-9905  
TBPE NO. F-15689

SHEET TITLE  
**TITLE SHEET**

SHEET HISTORY  
02.01.23 PCD  
08.23.23 FCD  
10.25.23 REV. SET - GENERATOR

**T1**

THESE DRAWINGS ARE THE PROPERTY OF VERIZON WIRELESS. THEY ARE INTENDED FOR THE EXCLUSIVE USE OF THIS PROJECT ONLY. ANY RE-USE OF THESE PLANS VIOLATES FEDERAL TRADE SECRET ACT. ANY RE-USE OF THESE PLANS VIOLATES FEDERAL TRADE SECRET ACT.





1 SITE PHOTOGRAPH

NOTE: REFER TO SHEET  
A1 AND/OR A1-1 FOR  
LOCATIONS FROM WHICH  
PHOTOS WERE TAKEN



2 SITE PHOTOGRAPH



3 SITE PHOTOGRAPH

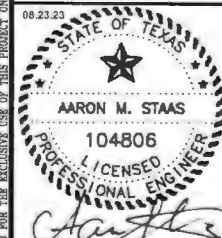


4 SITE PHOTOGRAPH

verizon

MCCALLEN COUNTRY CLUB  
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112 E EL RANCHO RD.  
MCCALLEN, HIDALGO COUNTY, TEXAS 78503  
(491245)

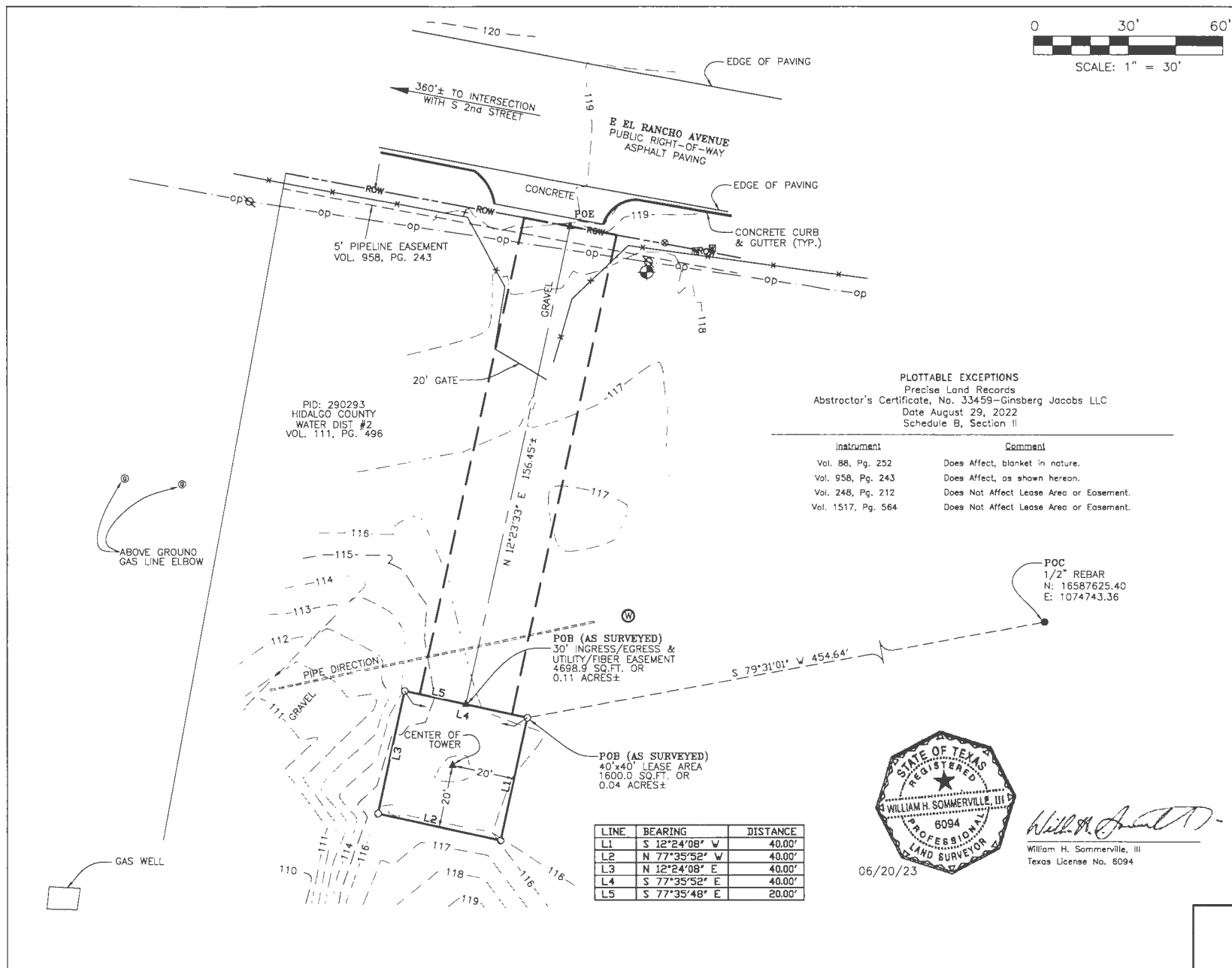


ARCHCOMM, LLC.  
1006 Beckett  
San Antonio, Texas 78213  
(210) 308-9905  
TBPE NO. F-15659

SHEET TITLE  
SITE  
PHOTOGRAPHS

SHEET HISTORY  
02.01.23 PCD  
08.23.23 FCD

P1



**PLOTTABLE EXCEPTIONS**  
Precise Land Records  
Abstractor's Certificate, No. 33459-Ginsberg Jacobs LLC  
Date August 29, 2022  
Schedule B, Section II

Instrument	Comment
Vol. 88, Pg. 252	Does Affect, blanket in nature.
Vol. 958, Pg. 243	Does Affect, as shown hereon.
Vol. 248, Pg. 212	Does Not Affect Lease Area or Easement.
Vol. 1517, Pg. 564	Does Not Affect Lease Area or Easement.



06/20/23

*William H. Sommerville, III*  
William H. Sommerville, III  
Texas License No. 6094

TOWER INFO	
CENTER OF TOWER:	
LATITUDE: 26°10'14.985" NORTH	
LONGITUDE: 98°13'31.92" WEST (NAD 83)	
GROUND ELEVATION: 116.5' ABOVE MEAN SEA LEVEL (NAVD88)	
SITE ADDRESS: 112 E EL RANCHO ROAD McALLEN, TEXAS 78503	
VICINITY MAP	
<p>NOT TO SCALE</p>	
TEXAS SOUTH	
GRID NORTH	
GRID TO TRUE NORTH CONVERGENCE 0°07'28.59809"	
TRUE NORTH TO MAGNETIC DECLINATION 3°37' E	
COMBINED SCALE FACTOR 0.999998954	
LEGEND	
<ul style="list-style-type: none"> <li>○ = 5/8" REBAR SET</li> <li>● = FOUND PROPERTY MARKER</li> <li>POB = POINT OF BEGINNING</li> <li>POC = POINT OF COMMENCEMENT</li> <li>PDE = POINT OF ENDING</li> <li>⊕ = TEMPORARY BENCHMARK</li> <li>⊕ = NAIL IN POWER POLE, ELEVATION = 118.15'</li> <li>▲ = CALCULATED POINT</li> <li>(R) = REFERENCED INFORMATION</li> <li>(M) = MEASURED</li> <li>⊗ = POWER POLE</li> <li>⊗ = BURIED CABLE MARKER</li> <li>⊗ = POWER BOX</li> <li>⊗ = TELEPHONE PEDESTAL</li> <li>⊗ = WATER MANHOLE</li> </ul>	
<ul style="list-style-type: none"> <li>— = RIGHT-OF-WAY</li> <li>— = OVERHEAD POWER</li> </ul>	
FLOOD NOTE	
This site lies within an area unmapped by FEMA, therefore this survey is unable to determine/delinate flood zones.	
<p>McALLEN COUNTRY CLUB 16943277 PORTION SECTION 66 HIDALGO SURVEY, ABSTRACT 39 HIDALGO COUNTY, TEXAS</p>	

BY	DATE	REVISION	TITLE	COMMITMENT	REVISION	DATE	PROJECT NO.	SHEET
WHS	10/07/22	1	RAWLAND TOWER SURVEY	RAWLAND TOWER SURVEY	1	10/07/22	22-10438	1 OF 2
WHS	12/21/22	2	RAWLAND TOWER SURVEY	RAWLAND TOWER SURVEY	2	12/21/22	22-10438	2 OF 2

FOR: **verizon**

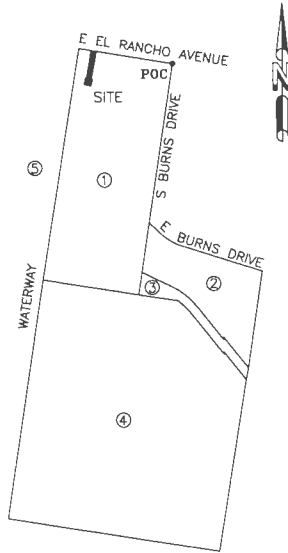
SWW Engineering Group, Inc.  
158 Business Center Drive  
Birmingham, Alabama 35244  
Ph: 205-252-6985  
www.swweng.com

STATE OF TEXAS  
REGISTERED  
WILLIAM H. SOMMERVILLE, III  
6094  
PROFESSIONAL  
LAND SURVEYOR

## PARENT TRACT OVERVIEW

NOT TO SCALE

- ① PID: 290293  
HIDALGO COUNTY  
WATER DIST #2  
DEED UNAVAILABLE
- ② PID: 271152  
RK & GE RONEY  
DEED UNAVAILABLE
- ③ NO INFORMATION  
AVAILABLE
- ④ PID: 290294  
A. HINOJOSA  
DOCUMENT NUMBER  
1464590
- ⑤ NO INFORMATION  
AVAILABLE



## PARENT TRACT (PER TITLE)

Being the West  $\frac{1}{2}$  of Lot No. 3, Block No. 17 of the Steele and Pershing Subdivision, said subdivision recorded in Volume 8, Page 114 Deed Records of Hidalgo County, Texas and containing 19.73 acres of land according to the Hidalgo County Appraisal District.

## 40' x 40' LEASE (AS-SURVEYED)

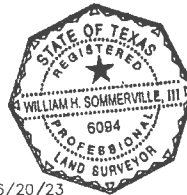
THAT PORTION OF A HIDALGO COUNTY TAX PARCEL NUMBER 290293, RECORDS OF THE ASSESSOR OF HIDALGO COUNTY, TEXAS DESCRIBED AS FOLLOWS:  
COMMENCING AT A FOUND 1/2" REBAR ON THE SOUTH RIGHT-OF-WAY OF U.S. E EL RANCHO AVENUE, HAVING TEXAS SOUTH STATE PLANE COORDINATES N: 16587625.40 E: 1074743.36;  
THENCE SOUTH 79°31'01" WEST, 454.64 FEET TO A SET 1/2" REBAR AND THE POINT OF BEGINNING;  
THENCE SOUTH 12°24'08" WEST, 40.00 FEET TO A SET 1/2" REBAR;  
THENCE NORTH 77°35'52" WEST, 40.00 FEET TO A SET 1/2" REBAR;  
THENCE NORTH 12°24'08" EAST, 40.00 FEET TO A SET 1/2" REBAR;  
THENCE SOUTH 77°35'52" EAST, 40.00 FEET TO THE POINT OF BEGINNING.  
CONTAINING 1600.0 SQ.FT. OR 0.04 ACRES, MORE OR LESS.

## 30' INGRESS/EGRESS &amp; UTILITY/FIBER EASEMENT (AS-SURVEYED)

THAT PORTION OF A HIDALGO COUNTY TAX PARCEL NUMBER 290293, RECORDS OF THE ASSESSOR OF HIDALGO COUNTY, TEXAS DESCRIBED AS FOLLOWS:  
COMMENCING AT A FOUND 1/2" REBAR ON THE SOUTH RIGHT-OF-WAY OF U.S. E EL RANCHO AVENUE, HAVING TEXAS SOUTH STATE PLANE COORDINATES N: 16587625.40 E: 1074743.36;  
THENCE SOUTH 79°31'01" WEST, 454.64 FEET TO A SET 1/2" REBAR;  
THENCE SOUTH 12°24'08" WEST, 40.00 FEET TO A SET 1/2" REBAR;  
THENCE NORTH 77°35'52" WEST, 40.00 FEET TO A SET 1/2" REBAR;  
THENCE NORTH 12°24'08" EAST, 40.00 FEET TO A SET 1/2" REBAR;  
THENCE SOUTH 77°35'52" EAST, 20.00 FEET TO THE POINT OF BEGINNING OF AN INGRESS/EGRESS & UTILITY/FIBER EASEMENT BEING 30 FEET IN WIDTH AND LYING 15 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE;  
THENCE NORTH 12°23'33" EAST, 156.45 FEET, MORE OR LESS, TO THE SOUTH RIGHT-OF-WAY OF SAID E EL RANCHO AVENUE AND THE POINT OF ENDING. CONTAINING 4698.9 SQ.FT. OR 0.11 ACRES, MORE OR LESS.

## SURVEYOR'S NOTES

1. This is Rawland Tower Survey, made on the ground under the supervision of a Texas Registered Land Surveyor. Date of field survey is JULY 12, 2022.
2. The following surveying instruments were used at time of field visit: Topcon GM-55 and Topcon Hiper SR G.P.S. receiver, (R.T.K. network capable).
3. Bearings are based on Texas South State Plane Coordinates NAD 83 by GPS observation.
4. No underground utilities, underground encroachments or building foundations were measured or located as a part of this survey, unless otherwise shown. Trees and shrubs not located, unless otherwise shown.
5. Benchmark used is a GPS Continuously Operating Reference Station, PID AE1676. Onsite benchmark is as shown hereon. Elevations shown are in feet and refer to NAVD 88.
6. This survey was conducted for the purpose of Rawland Tower Survey only, and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other similar entity.
7. Attention is directed to the fact that this survey may have been reduced or enlarged in size due to reproduction. This should be taken into consideration when obtaining scaled data.
8. This Survey was conducted with the benefit of an Abstract Title search.
9. Surveyor hereby states the Geodetic Coordinates and the elevation shown for the proposed centerline of the tower are accurate to within +/- 20 feet horizontally and to within +/- 3 feet vertically (FAA Accuracy Code 1A).
10. Survey shown hereon conforms to the Minimum Requirements as set forth by the State Board for a Class "A" Survey.
11. Field data upon which this map or plot is based has a closure precision of not less than one-foot in 15,000 feet (1:15,000) and an angular error that does not exceed 10 seconds times the square root of the number of angles turned. Field traverse was not adjusted.
12. This survey is not valid without the original signature and the original seal of a state licensed surveyor.
13. This survey does not constitute a boundary survey of the Parent Tract. Any parent tract property lines shown hereon are from supplied information and may not be field verified.



06/20/23

## SURVEYOR'S CERTIFICATION

I certify that all parts of this survey and drawing have been completed in accordance with the current requirements of the Standards of Practice for Surveying in the State of Texas to the best of my knowledge, information, and belief.

*William H. Sommerville, III*

William H. Sommerville, III  
Texas License No. 6094

NO.	REVISION	DATE	BY
1	TITLE COMMENT	10/07/22	PMK
2	REVISED EASEMENT	12/21/22	PMK

PROJECT NO.  
22-10438

DRAWN BY: SEL  
CHECKED BY: PMK  
APPROVED BY: WLD  
DATE: 06/11/22  
SCALE: N.T.S.  
SHEET 2 OF 2

RAWLAND TOWER SURVEY

FOR: **verizon**  
- FERTON, A. RELIUS  
6601 COTTONWOOD  
IRVING, TEXAS 75039

FOR: **SMW Engineering Group, Inc.**  
158 Business Center Drive  
Birmingham, Alabama 35244  
Ph: 205-252-6885  
www.smweng.com



McALLEN COUNTRY CLUB  
16943277  
PORTION SECTION 66  
HIDELGO SURVEY, ABSTRACT 39  
HIDALGO COUNTY, TEXAS



## GENERAL NOTES:

1. FOR THE PURPOSE OF THESE CONSTRUCTION DOCUMENTS, THE FOLLOWING DEFINITIONS SHALL APPLY:  
CONTRACTOR - GENERAL CONTRACTOR  
OWNER - OWNER OF THE SITE  
PROJECT MANAGER - NEW CARRIER'S PROJECT MANAGER
2. CARE SHALL BE TAKEN TO PROTECT THE SITE AND THE SURROUNDING AREA FROM FIRE HAZARD DURING "HOT" OPERATIONS. ADEQUATE EQUIPMENT, PERSONNEL AND EMERGENCY COMMUNICATIONS SHALL BE PROVIDED TO PROTECT LIFE AND PROPERTY IN AND SURROUNDING THE CONSTRUCTION SITE.
3. ALL EXCAVATIONS SHALL BE BARRICADED FOR PERSONNEL PROTECTION AND IF CONCRETE PIERS ARE DRILLED, THEY SHALL BE FILLED BY END OF DAY.
4. VERIFY REQUIREMENTS OF OTHER TRADES PRIOR TO PROCEEDING WITH FABRICATION OR INSTALLATION OF MATERIALS.
5. COMPLETE SHOP DRAWINGS SHALL BE PROVIDED FOR ALL FABRICATED ITEMS FOR REVIEW PRIOR TO FABRICATION. DRAWINGS CONTAINED IN THESE CONSTRUCTION DOCUMENTS SHALL NOT BE REPRODUCED FOR SHOP DRAWINGS.
6. THE BUILDER/SUBCONTRACTOR SHALL BE RESPONSIBLE WITH NO ADDITIONAL COSTS TO THE OWNER/LESSOR/PROJECT MANAGEMENT TEAM FOR ALL FEES, PERMITS, INSPECTION FEES RELATED TO THIS PROJECT, OR SEE THAT ANY AND ALL SUCH CHARGES ARE PAID BY THE RESPECTIVE SUBCONTRACTORS ASSOCIATED WITH THIS PROJECT.
7. DIMENSIONS NOTED AS '+/-' OR 'VERIFY' ARE BASED ON MATCHING EXISTING CONDITIONS AND MAY VARY SLIGHTLY FROM THE DIMENSIONS AS SHOWN. NOTIFY THE ARCHITECT / ENGINEER AND CARRIER'S PROJECT MANAGER IF SIGNIFICANT VARIATIONS ARE ENCOUNTERED AT THE SITE.
8. THE NATURE OF THE SITE RELATED ACTIVITIES REQUIRES THAT ACCESS TO THE SITE MUST BE MANAGED AT ALL TIMES DURING HOURS OF OPERATION AND WHEN THE SITE IS UNATTENDED. WORK WITH THE OWNERS REPRESENTATIVE FOR SAFETY AND SECURITY AT ALL TIMES.
9. CONTRACTORS SHALL BE REQUIRED TO PICK UP ALL OWNER SUPPLIED EQUIPMENT AS DIRECTED BY THE PROJECT MANAGER WITH NO ADDITIONAL COST TO THE JOB.
10. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION.
11. CONTRACTOR SHALL HAVE A PRECONSTRUCTION MEETING WITH THE CARRIER'S PROJECT MANAGER TO DISCUSS ALL ASPECTS OF THE SCOPE OF THESE DRAWINGS TO ENSURE HE IS FAMILIAR WITH AND UNDERSTANDS ALL REQUIREMENTS AND INTENT OF EACH ACTIVITY.
12. THE CONTRACTOR SHALL REVIEW, BE THOROUGHLY FAMILIAR WITH AND UNDERSTAND ALL DOCUMENTS CONCERNING THIS PROJECT INCLUDING, BUT NOT LIMITED TO, THIS SET OF DOCUMENTS; TOWER AND TOWER FOUNDATION DRAWINGS; SHELTER AND/OR PLATFORM DRAWINGS (IF APPLICABLE); RF TRANSPARENT CONCEALMENT SCREEN DRAWINGS (IF APPLICABLE) AND ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES & ORDINANCES.
13. NO WORK OF ANY KIND SHALL BE ACCOMPLISHED BY ANY TRADE IN FRONT OF ANY OPERATING ANTENNA.
14. UNLESS OTHERWISE NOTED ON THE DRAWINGS, ALL FABRICATED STEEL ITEMS SHALL BE HOT DIPPED GALVANIZED PRIOR TO SHIPPING TO THE SITE.

## EXISTING TOWERS:

1. CONTRACTOR SHALL ATTAIN AND VERIFY "STRUCTURAL ANALYSIS REPORT" OF EXISTING TOWER FOR STRUCTURAL ADEQUACIES AND EXACT PLACEMENT OF ANTENNAS AND CABLES. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE STRUCTURAL ANALYSIS REPORT AND NOTIFY ARCHCOMM LLC IN THE CASE OF A DISCREPANCY. ANY STRUCTURAL MODIFICATIONS, IF REQUIRED, SHALL BE DONE PRIOR TO THE INSTALLATION OF NEW ANTENNAS, CABLES & OTHER EQUIPMENT.
2. THE EXISTING TOWERS CAPACITY TO SUPPORT NEW EQUIPMENT IS IN PART BASED ON THE ASSUMPTION THAT IT WAS BUILT AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION (REFER TO STRUCTURAL ENGINEERS ANALYSIS & REPORT). THE CONTRACTOR SHALL MAKE A VISUAL INSPECTION OF THE EXISTING TOWER PRIOR TO THE START OF ANY NEW CONSTRUCTION AND REPORT TO THE PROJECT MANAGER ANY CONDITION THAT HE BELIEVES IS NOT IN KEEPING WITH TIA-222-H ANNEX J: MAINTENANCE AND CONDITION ASSESSMENT.

## EXISTING CONDITIONS:

1. DEMOLITION AND CONSTRUCTION ACTIVITIES SHALL BE ACCOMPLISHED IN SUCH A MANNER THAT NO DISRUPTION OF EXISTING FACILITY OPERATIONS WILL OCCUR.
2. THIS BUILDER/SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO EXISTING FACILITIES AND SHALL REPLACE OR REPAIR TO THE ORIGINAL CONDITION AS DETERMINED BY THE PROJECT MANAGER.
3. CUT AND PATCH ANY AREAS WHERE REQUIRED BY THE SCOPE OF THIS PROJECT. MATCH EXISTING WORK AND MATERIALS EVEN IF SUCH WORK FALLS OUTSIDE OF THE LIMITS OF THIS CONTRACT.
4. THE OWNER OF THE SITE RETAINS SALVAGE RIGHTS TO ALL MATERIALS AND EQUIPMENT REMOVED FROM THE EXISTING WORK. MATERIALS AND EQUIPMENT NOT CLAIMED BY THE OWNER SHALL BECOME THE PROPERTY OF THE BUILDER/SUBCONTRACTOR WHO SHALL ASSUME COMPLETE RESPONSIBILITY FOR THE REMOVAL AND APPROPRIATE DISPOSAL THEREOF.
5. VERIFY ALL EXISTING SITE CONDITIONS, QUANTITIES AND DIMENSIONS BEFORE STARTING WORK. NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES OR INCONSISTENCIES BEFORE PROCEEDING WITH THE WORK.
6. ALL BIDDERS SHALL VISIT THE SITE BEFORE BIDDING TO FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS.
7. CARE SHALL BE TAKEN TO LOCATE ALL EXISTING UNDERGROUND OBSTRUCTIONS, UTILITIES AND/OR EASEMENTS BEFORE DIGGING OR DRILLING ON THE SITE.
8. UTILITY CHECK - BEFORE COMMENCING ANY WORK AT THE SITE, CONTACT THE ONE CALL SYSTEM IN THE STATE IN WHICH UNDERGROUND WORK IS BEING DONE. REFER TO ONE CALL NOTE ON SITE PLAN.

## CONSTRUCTION CODES:

1. ALL WORK SHALL BE ACCOMPLISHED AS PER ALL APPLICABLE CURRENT STATE, LOCAL AND NATIONAL CODES. THESE CODES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:  
INTERNATIONAL BUILDING CODE (OR LOCAL ACCEPTED CODE)  
NATIONAL FIRE PROTECTION ASSOCIATION -  
NFPA 70, NATIONAL ELECTRIC CODE  
THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION -  
SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.  
THE AMERICAN CONCRETE INSTITUTE -  
BUILDING CODE REQUIREMENTS OF REINFORCED CONCRETE.  
AMERICAN WELDING SOCIETY -  
STRUCTURAL WELDING CODE - STEEL  
TOWER DESIGN - STANDARD PER EIA/TIA -  
TIA 222 H SPECIFICATIONS.  
TIA 607 GROUNDING & BONDING REQUIREMENTS FOR TELECOMMUNICATIONS.  
TIA 568 COMMERCIAL BUILDING TELECOMMUNICATION WIRING STANDARD.  
TIA 569 COMMERCIAL BUILDING STANDARDS FOR TELECOMMUNICATION PATHWAYS AND SPACES.  
INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) -  
IEEE 81 - GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE & EARTH SURFACE POTENTIALS OF A GROUND SYSTEM.  
IEEE 1100 - RECOMMENDED PRACTICE FOR POWERING & GROUNDING OF ELECTRONIC EQUIPMENT.  
IEEE C62.41 - RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS.  
ANSI T1.311 -  
FOR TELECOM - DC POWER SYSTEMS - TELECOM, ENVIRONMENTAL PROTECTION.

HANDICAP REQUIREMENTS: THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. ADA ACCESS REQUIREMENTS DO NOT APPLY.

OTHER REQUIREMENTS: THIS FACILITY HAS NO PLUMBING OR PARKING.

2. FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

## FLOOD HAZARD ZONES:

1. ALL SITES LOCATED WITHIN A FLOOD HAZARD ZONE SHALL HAVE TOP OF SLAB AND/OR TOP OF GRATING RAISED TO BE AT LEAST 12" ABOVE THE BASE FLOOD ELEVATION. THIS INCLUDES SHELTERS, RAISED EQUIPMENT PLATFORMS, GENERATORS, FUEL TANKS AND ALL ELECTRICAL EQUIPMENT.

## SITE DEVELOPMENT & FINISHING NOTES:

1. DIGGING AND EXCAVATION - HAND DIG ALL EXCAVATIONS AND TRENCHES IN AREAS SUSPECTED TO CONTAIN EXISTING GROUNDING CONDUCTORS, GROUND RODS, POWER/TELCO CABLES OR OTHER BURIED UTILITIES.
2. COLLOCATION SITE FINISHING - UNLESS OTHERWISE DIRECTED BY THE NEW CARRIER'S PROJECT MANAGER, AREAS OF COMPOUND EXPANSION OR SPACE LOCATED WITHIN THE LEASED AREA SHALL BE FINISHED TO THE SAME STANDARD AS THE BALANCE OF THE EXISTING COMPOUND OR AT THE SOLE DISCRETION OF THE NEW CARRIER'S PROJECT MANAGER, THE FINISH STANDARD OF THE NEW CARRIER SHALL BE PROVIDED. REFER TO ITEM #3 BELOW.
3. NEW CARRIER'S SITE FINISH STANDARD - PROVIDE A MINIMUM 4" THICK LAYER OF CRUSHED STONE (APPROX. 1" DIAMETER W/O FINES) OVER 8 MIL. WEED BARRIER OVER 4" COMPACTED BASE. FILL MATERIAL SHALL BE EQUAL TO CRUSHED LIMESTONE CONFORMING TO STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS FOR TYPE 'A', GRADE 2 MATERIAL COMPACTED TO 95% PROCTOR DENSITY OVER A COMPACTED SUB-GRADE THAT WAS SCARIFIED AND RECOMPACTED TO 95% PROCTOR DENSITY.
4. REPAIR/REPLACE - AT NO ADDITIONAL EXPENSE TO THIS CONTRACT, ANY CONSTRUCTION RELATED DAMAGE TO ANY EXISTING SITE ELEMENTS OR FINISHES WITHIN THE COMPOUND, IN ADJACENT AND/OR ALONG ROUTES TO THE WORK AREA, HOWEVER INCIDENTAL TO THE PROSECUTION OF THE WORK, SHALL BE PUT IN A PRECONSTRUCTION CONDITION TO THE SATISFACTION OF THE NEW CARRIER'S PROJECT MANAGER.
5. BACKFILL - ALL BORROWED FILL MATERIAL SHALL BE EQUAL TO STATE SPECIFICATION FOR TYPE A, GRADE 1 OR 2, COMPACTED TO 95% PROCTOR DENSITY. WHERE TRENCHING IS REQUIRED BACKFILLING WITH MATERIALS EXCAVATED FROM THE TRENCH WILL BE PERMITTED UNLESS OTHERWISE DIRECTED BY THE NEW CARRIER'S PROJECT MANAGER. ALL TRENCH BACK FILLING SHOULD BE COMPACTED IN LIFTS NOT TO EXCEED 8" COMPACTED DEPTH AND TO 95% PROCTOR DENSITY FLUSH TO THE SURFACE OF THE FINISHED COMPACTED SUB-GRADE.
6. UNLESS INDICATED OTHERWISE, SITES SHALL NOT HAVE SLOPES GREATER THAN 1/4" PER FOOT AND THE AREA IMMEDIATELY AROUND NEW EQUIPMENT SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE EQUIPMENT.
7. SITES COVERED WITH EXISTING ASPHALT AND/OR CONCRETE - UNLESS NOTED OTHERWISE ON THE SITE PLAN, SAW-CUT & REMOVE ALL EXISTING ASPHALT AND/OR CONCRETE WITHIN THE LEASE AREA, ONCE ALL COMPONENTS OF NEW CONSTRUCTION ARE IN PLACE, FURNISH & INSTALL NEW ASPHALT AND/OR CONCRETE (AS NOTED IN SITE PLAN) TO MATCH EXISTING SO AS TO SEAL ENTIRE BASE AREA AGAINST WATER INTRUSION INTO SUBGRADE. BASE MATERIAL BELOW PAVING SHALL COMPLY WITH NOTE 3 ABOVE.
8. SITES REQUIRING RETAINING WALLS - UNLESS NOTED OTHERWISE ON THE SITE PLAN, ALL RETAINING WALLS SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER AND BE EQUAL TO "KEYSTONE RETAINING WALL SYSTEMS", A CONTECH COMPANY, 4444 W. 78TH STREET MINNEAPOLIS, MN. 55435 (952) 897-1040. UNITS SHALL BE KEYSTONE STANDARD UNITS INSTALLED ON AN UNREINFORCED CONCRETE OR CRUSHED STONE LEVELING PAD (AS SPECIFIED BY ENGINEER). SYSTEM SHALL BE COMPLETE TO INCLUDE DRAINAGE TILE (IF REQUIRED), DRAINAGE FILL, KEYSTONE CAP, SOIL STABILIZING & REINFORCING FABRIC GRID, ETC., ALL AS DESIGNED BY ENGINEER. RETAINING WALL DESIGN SHALL BE SUBMITTED FOR APPROVAL.

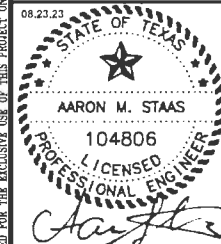
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MCALLEN COUNTRY CLUB

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MCALLEN, HIDALGO COUNTY, TEXAS 78503

(491245)



ARCHCOMM, LLC.  
1006 Beckett  
San Antonio, Texas 78213  
(210) 308-9905  
TBPE NO. F-15659

SHEET TITLE:

GENERAL NOTES

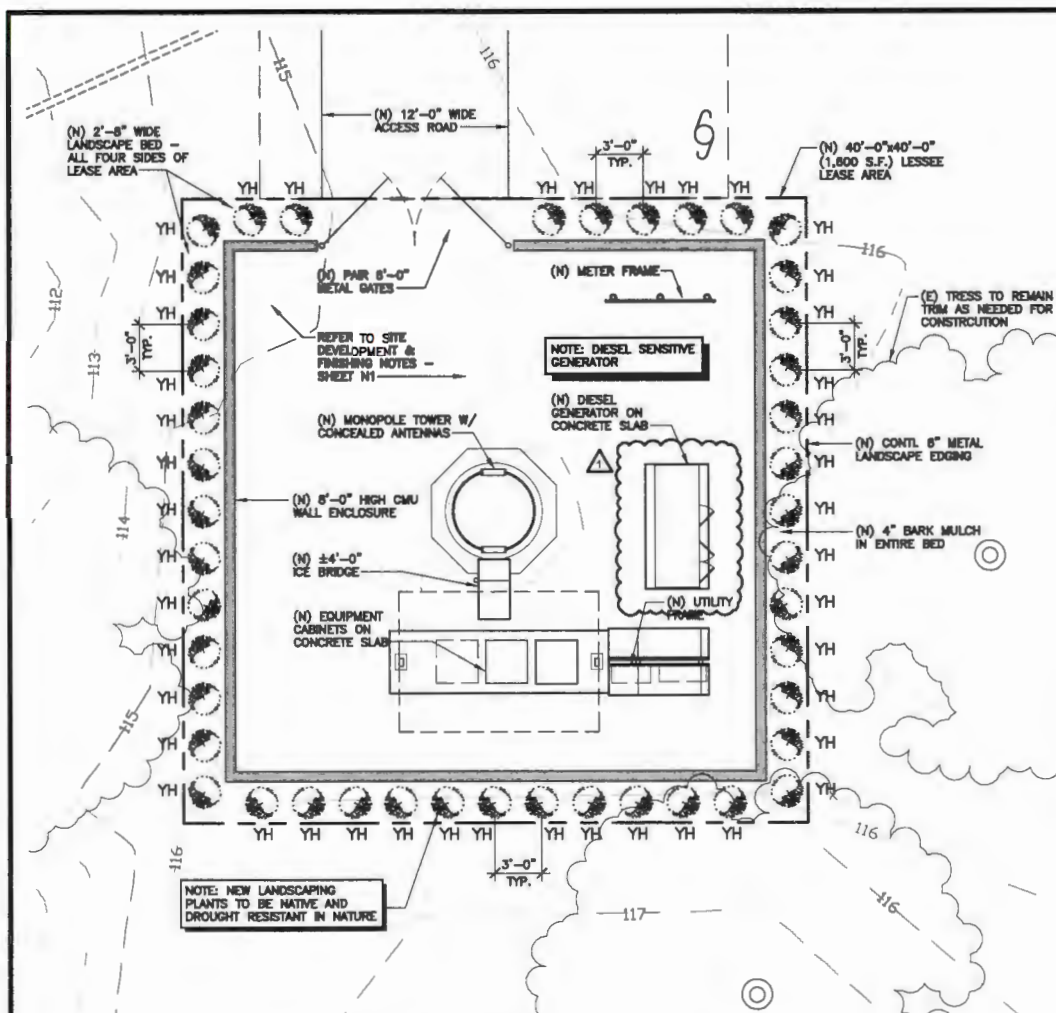
SHEET HISTORY

02.01.23 PCD

08.23.23 FCD

N1

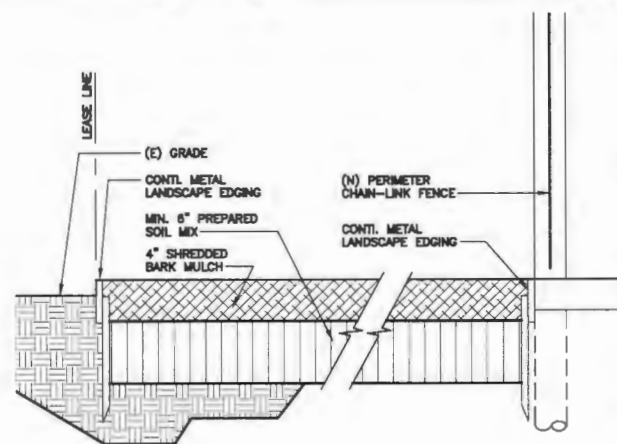




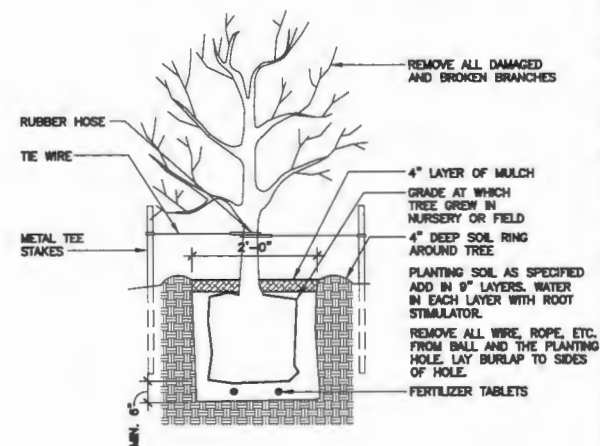
**1 LANDSCAPING PLAN**  
SCALE: 1/8" = 1'-0"

KEY	TREES/SHRUB	COMMON NAME	SIZE	SPACING
CE	"JULMUS CRASSIFOLIA"	CEDAR ELM	2-2 1/2" CAL. SINGLE TRUNK; 11'-13" AGT; 5'-7" SPREAD	---
YH	"ILEX VOMITORIA"	DWARF YALPON HOLLY	5 GAL (MIN. 48" HGT)	60" O.C.

**2 PLANT SCHEDULE**  
SCALE: N.T.S.



**3 PLANTING BED DETAIL**  
SCALE: 1" = 1'-0"



**4 TREE DETAIL**  
SCALE: N.T.S.



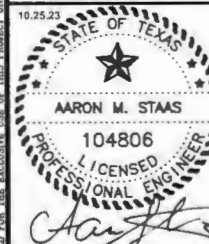
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San Antonio, Texas 78213  
(210) 308-9905  
TBPE NO. F-15659

## LANDSCAPE PLAN & DETAILS

SHEET HISTORY  
02.01.23 PCD  
08.23.23 FCD  
10.25.23 REV SET1 - GENERATOR

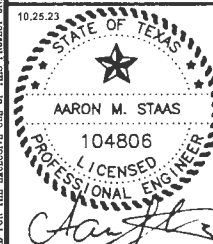
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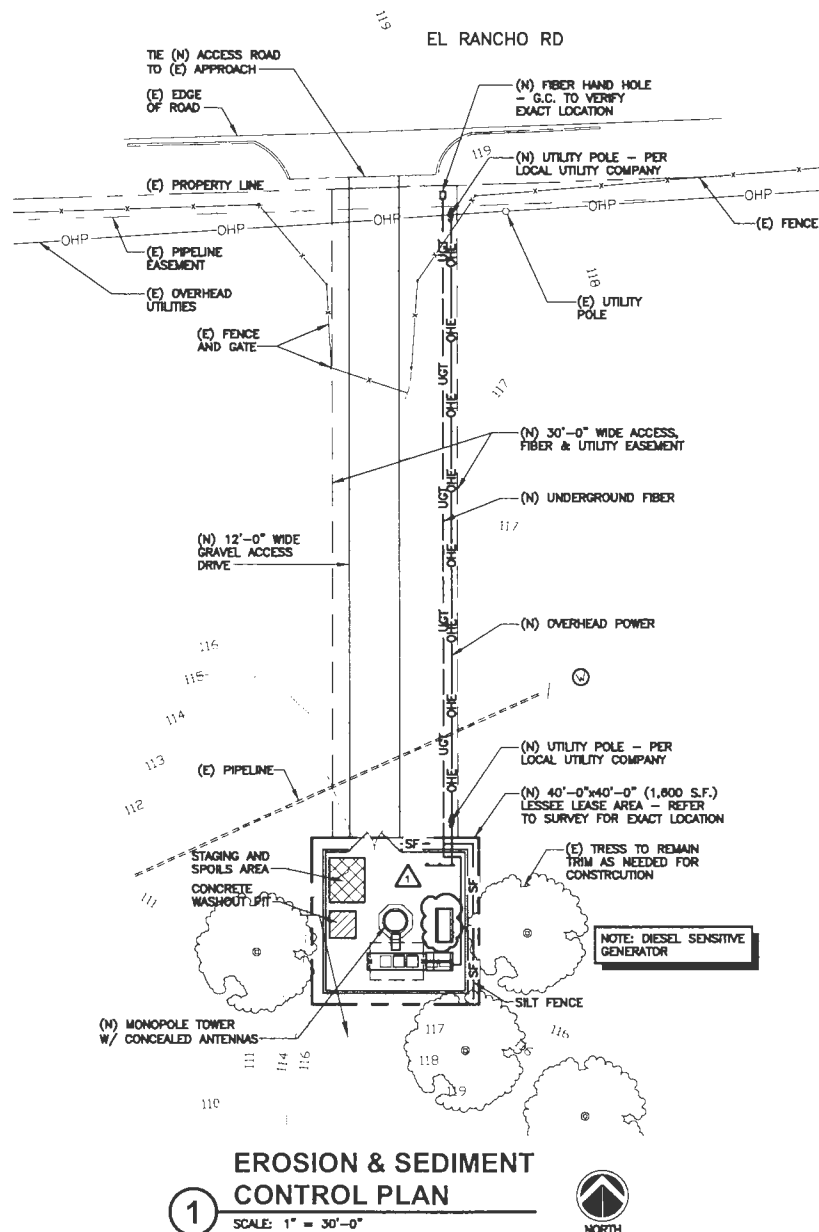


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San Antonio, Texas 78213  
(210) 308-9905  
TBPE NO. F-15659

## EROSION AND SEDIMENT CONTROL PLAN

SHEET HISTORY  
02.01.23 PCD  
08.23.23 FCD  
10.25.23 REV SET1 - GENERATOR

C1



### GENERAL NOTES

1. IF DISTURBED AREA IS NOT TO BE WORKED ON FOR MORE THAN 14 DAYS, DISTURBED AREA NEED TO BE STABILIZED BY REVEGETATION, MULCH, TARP OR REVEGETATION MATTING.
2. ENVIRONMENTAL INSPECTOR HAS THE AUTHORITY TO MODIFY EROSION / SEDIMENTATION CONTROLS ON SITE TO KEEP PROJECT IN COMPLIANCE WITH THE CITY OF SCHERTZ RULES AND REGULATIONS.
3. CONTRACTOR SHALL UTILIZE DUST CONTROL MEASURES DURING SITE CONSTRUCTION SUCH AS IRRIGATION TRUCKS AND MULCHING AS PER EDM 1.4.5(A) OR AS DIRECTED BY THE ENVIRONMENTAL INSPECTOR.
4. THE CONTRACTOR SHALL CLEAN UP SPOILS THAT MIGRATE ONTO THE ROADS A MINIMUM OF ONCE DAILY.
5. FOR OFFSITE UTILITY CONSTRUCTION, PERPENDICULAR EROSION CONTROLS MUST BE INSTALLED EVERY 30 FEET AS THE TRENCH IS BACKFILLED.

### LEGEND

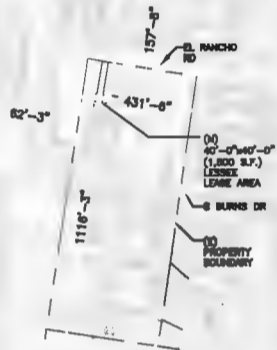
---100'---	EXISTING CONTOUR		STABILIZED CONSTRUCTION ENTRANCE
---LOC---	PROPERTY BOUNDARY		CONCRETE WASHOUT PIT
---LOC---	LIMITS OF CONSTRUCTION		STAGING AND SPOILS AREA
---SF---	SILT FENCE		TREE TO BE REMOVED
---LOC/SF---	LIMITS OF CONSTRUCTION / SILT FENCE		EXISTING TREE
	INLET PROTECTION		
	ROCK BERM		

## EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 30'-0"



(N) = NEW LESSEE  
(E) = EXISTING  
(F) = FUTURE



**2 AERIAL SITE PLAN**  
SCALE: 1"=6000'-0"



(N) = NEW LESSEE  
(E) = EXISTING  
(F) = FUTURE



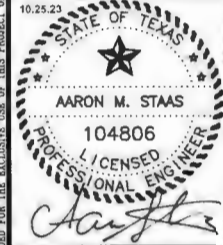
**1 AERIAL SITE PLAN**  
SCALE: 1"=30'-0"



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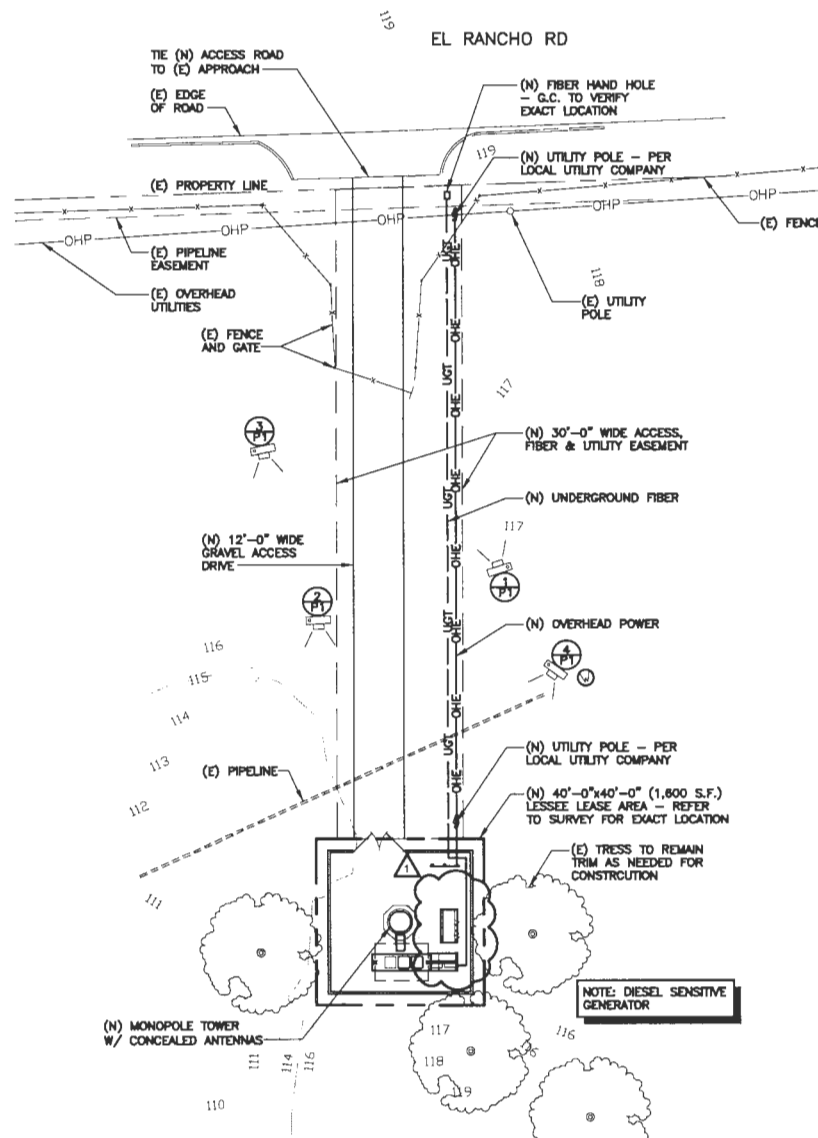
**ARCHCOMM, LLC.**  
1006 Beckett  
San Antonio, Texas 78213  
(210) 308-9905  
TBPE NO. F-15659

SHEET TITLE  
**AERIAL SITE PLAN**

SHEET HISTORY
02.01.23 PCD
08.23.23 FCD
10.25.23 REV SET1 - GENERATOR

**A0**

THESE DRAWINGS ARE THE PROPERTY OF VERIZON WIRELESS. THEY ARE INTENDED FOR THE EXCLUSIVE USE OF THIS PROJECT ONLY. ANY RE-USE OF THESE PLANS (OR ANY PART THEREOF) WITHOUT THE EXPRESS WRITTEN CONSENT OF VERIZON WIRELESS IS PROHIBITED.

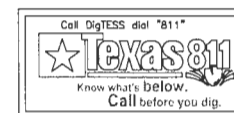


NOTE: GENERAL CONTRACTOR TO VERIFY MOST CURRENT RFDs - TO BE PROVIDED BY LESSEE.

(N) = NEW LESSEE  
(E) = EXISTING  
(F) = FUTURE

# 1 SITE PLAN

SCALE: 1"=30'-0"

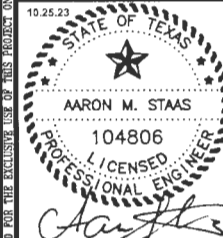


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San Antonio, Texas 78213  
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## SHEET TITLE

SITE PLAN

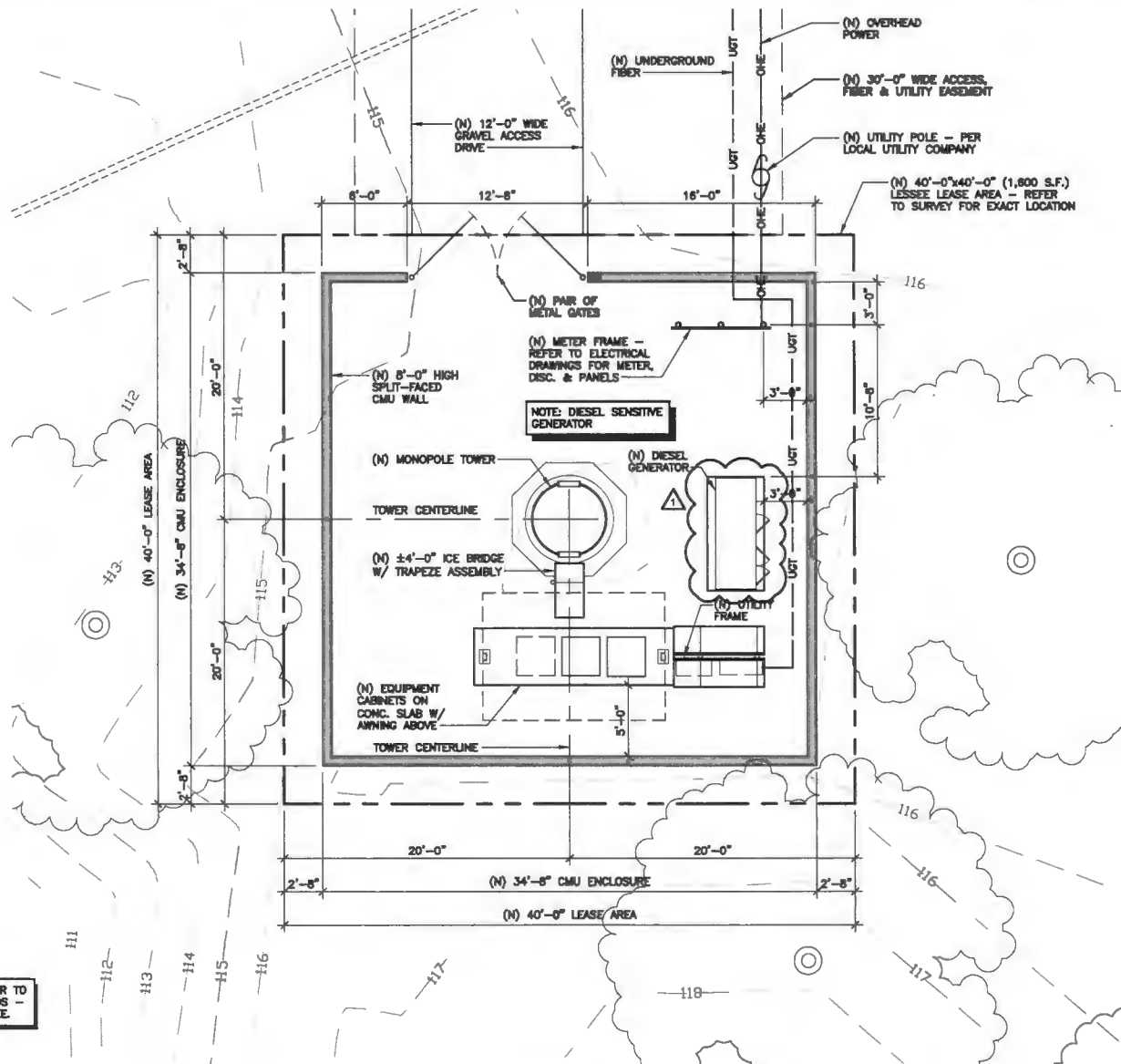
## SHEET HISTORY

02.01.23 PCD  
08.23.23 FCD  
10.25.23 REV SET1 - GENERATOR

A1

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(N) = NEW LESSEE  
(E) = EXISTING  
(F) = FUTURE

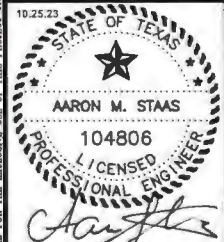
1 DETAIL SITE PLAN  
SCALE: 1/8" = 1'-0"



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MCALLEN COUNTRY CLUB  
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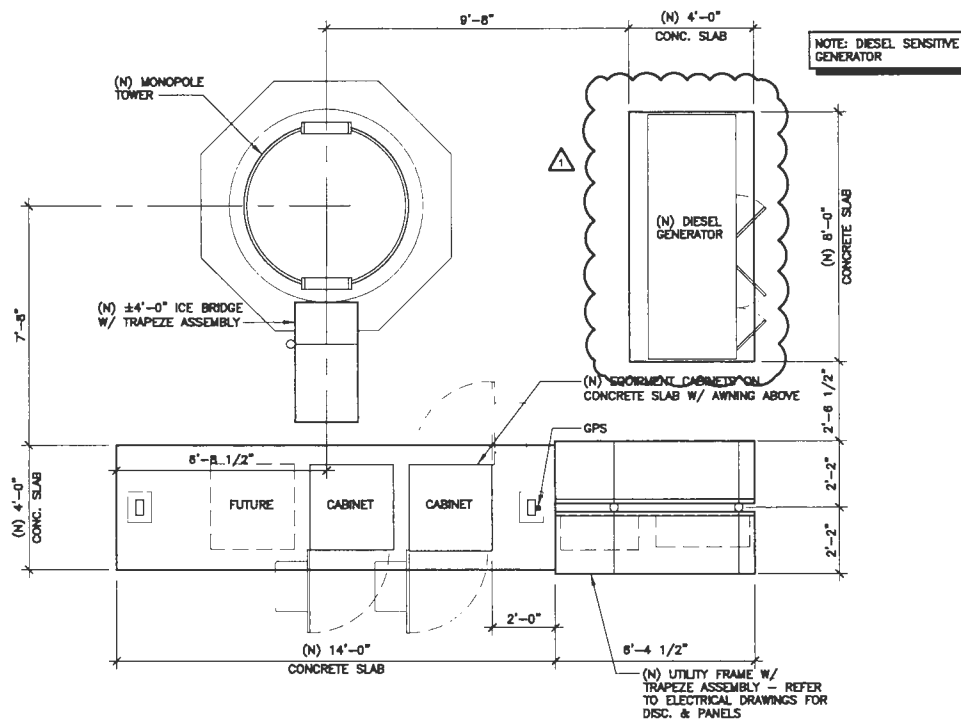
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(491245)



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TBPE NO. F-15659

SHEET TITLE
DETAIL SITE PLAN
SHEET HISTORY
02.01.23 PCD
08.23.23 FCD
10.25.23 REV SET1 - GENERATOR

A1-1



NOTE: DIESEL SENSITIVE GENERATOR

NOTE: GENERAL CONTRACTOR TO VERIFY MOST CURRENT RFDS - TO BE PROVIDED BY LESSEE.

(N) = NEW LESSEE  
(E) = EXISTING  
(F) = FUTURE

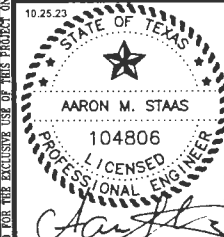
**1 EQUIPMENT PLAN**  
SCALE: 1/4" = 1'-0"  
NORTH



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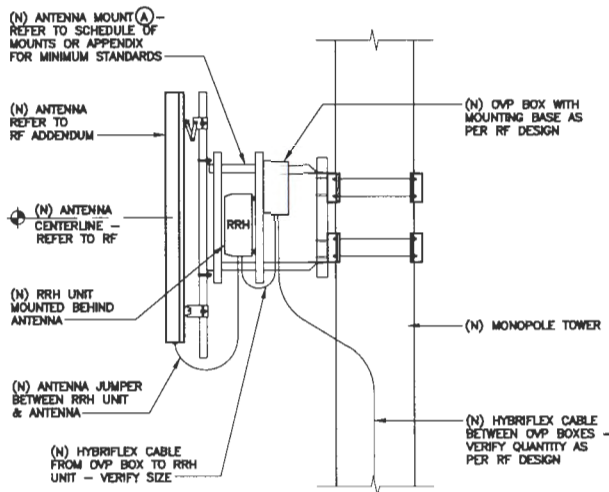


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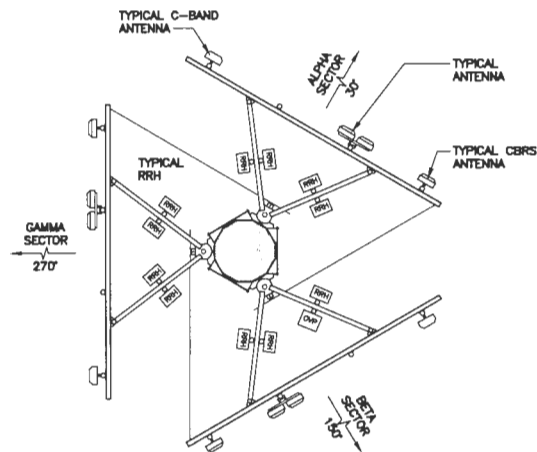
**EQUIPMENT PLAN**

SHEET HISTORY
02.01.23 PCD
08.23.23 FCD
10.25.23 REV SET1 - GENERATOR

**A1-2**



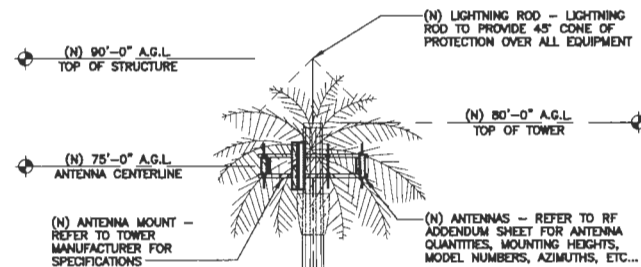
**2 SECTION THRU ANTENNA SECTOR**  
SCALE: N.T.S.



**3 PLAN OF ANTENNA SECTORS**  
SCALE: N.T.S.



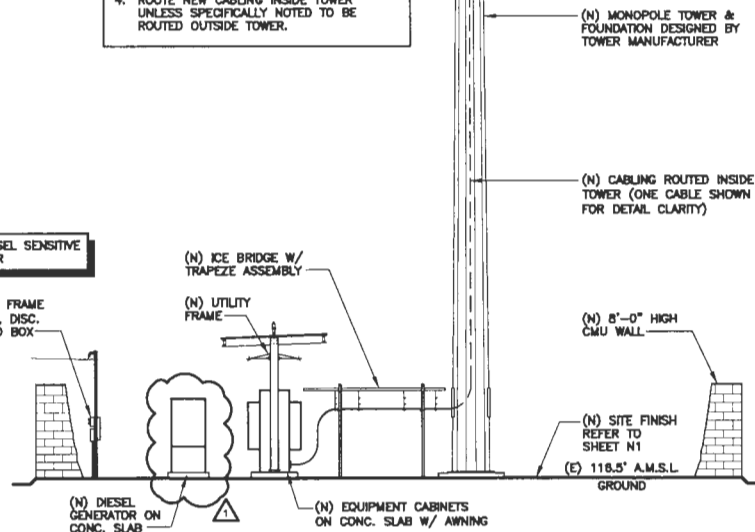
(N) = NEW LESSEE  
(E) = EXISTING  
(F) = FUTURE



**TOWER VERIFICATION NOTE:**  
THE GENERAL CONTRACTOR SHALL VERIFY WITH OWNER, THE TOWER TYPE AND HEIGHT PRIOR TO ORDERING OR CONSTRUCTING THE TOWER.

**GENERAL NOTES:**

1. SUBCONTRACTOR TO COMPLY WITH ALL FCC AND FAA REGULATIONS ON THIS PROJECT.
2. ON TOWERS OVER 200' TALL ADD AIRCRAFT WARNING LIGHTS AND CONTROLS PER FAA REGULATIONS.
3. THIS SITE ELEVATION IS A GENERALIZATION OF SITE AND TOWER COMPONENTS AND THEIR RELATIONSHIPS WITH ONE ANOTHER.
4. ROUTE NEW CABLING INSIDE TOWER UNLESS SPECIFICALLY NOTED TO BE ROUTED OUTSIDE TOWER.



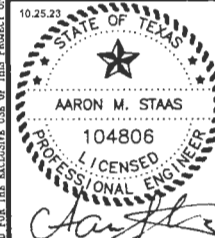
**1 SITE ELEVATION**  
SCALE: N.T.S.

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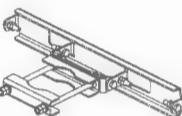
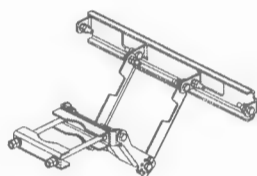
**SITE ELEVATION**

**SHEET HISTORY**

02.01.23	PCD
08.23.23	FCD
10.25.23	REV SET1 - GENERATOR

**A2**

(Continued from page 2)



BSAMNT-SBS-1-2

Figure 2. BSAMNT-SBS-1-2 kit.

TORQUE : M10 = 37 N/m

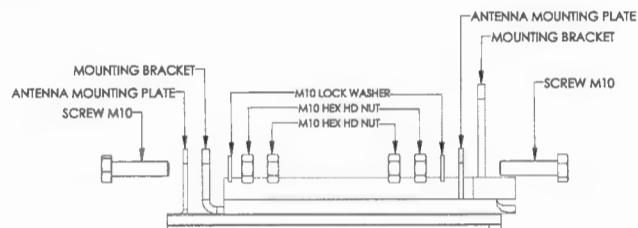


Figure 3. Attaching 627281 Mounting Bracket to Antenna.

(continued on page 4)

(Continued from page 3)

Refer to Bulletin 639849-1 for instructions on using the pipe mount and downfill bracket(s) to attach the side-by-side antenna assembly to the mast. (Bulletin 639849-1 is included with the BSAMNT-4 kit.)

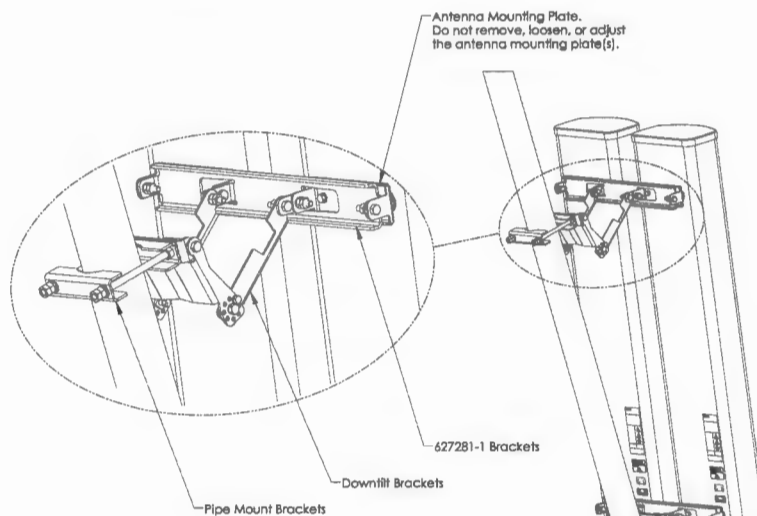


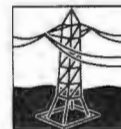
Figure 4. Antenna Assembly Attached to Mast Using BSAMNT-SBS-1-2 Mounting Kits.

#### SAFETY NOTICE

The installation, maintenance, or removal of an antenna requires qualified, experienced personnel. CommScope installation instructions are written for such installation personnel. Antenna systems should be inspected once a year by qualified personnel to verify proper installation, maintenance, and condition of equipment.

CommScope disclaims any liability or responsibility for the results of improper or unsafe installation practices.

It is recommended that transmit power be turned off when the field installation is performed. Follow all applicable safety precautions as shown on this page.



Do not install near power lines. Power lines, telephone lines, and guy wires kill the same, resulting in injury or loss of life.



Do not install on a wet or windy day or when lightning or thunder is in the area. Do not use metal ladders.



Wear shoes with rubber soles and heels. Wear protective clothing including long-sleeved shirt and rubber gloves.

## 1 DUAL MOUNT ANTENNA BRACKET

SCALE: N.T.S.

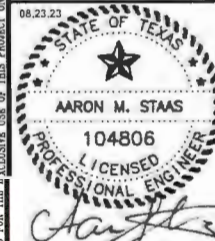
IMAGE ABOVE WAS TAKEN FROM COMMScope CATALOG AT WWW.COMMScope.COM

verizon

MCALLEN COUNTRY CLUB  
\*\*\*

112 E EL RANCHO RD.  
MCALLEN, HIDALGO COUNTY, TEXAS 78503

(491245)



ARCHCOMM, LLC.  
1006 Beckett  
San Antonio, Texas 78213  
(210) 308-9905  
TBPE NO. F-15659

SHEET TITLE  
ANTENNA MOUNT  
DETAILS

SHEET HISTORY  
02.01.23 PCD  
08.23.23 FCD

A2-1

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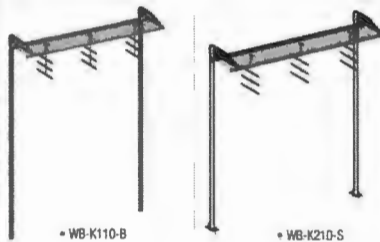


H:\VERIZON\TEXAS\MCCALLEN COUNTRY CLUB - 491245\20181783415\CAND A - HCID #2L\_PROD DWGS\McAllen.CC-07-D1 GENERAL.dwg, 8/16/2023 4:39:32 PM, mvciana

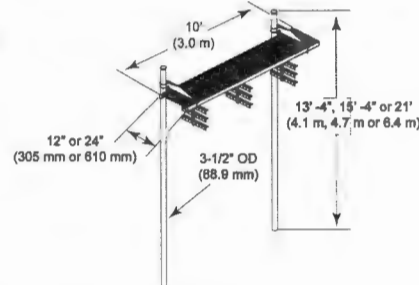
## Waveguide Bridge Kits

### 12" or 24" Two-post Waveguide Bridge Kits

**Application:** Waveguide bridge  
**Design:** Two-post, 10' (3.0 m) safety grating  
**Feature:** Complete kit for coaxial cable support  
**Material:** Hot dip galvanized steel  
**Includes:** Channel, posts, support brackets, caps, trapeze, and hardware  
**Order Separately:** Additional accessories



Part Number	Description	Weight, lb (kg)
<b>12" (0.3 m) Wide Two-post Safety Grated Waveguide Bridge Kit</b>		
WB-K110-B	Two 13'-4" (4.1 m) Direct Burial Posts	325.0 (147.4)
WB-K110-S	Two 10'-6" (3.2 m) Base Shoe Posts	308.0 (139.7)
<b>24" (0.6 m) Wide Two-post Safety Grated Waveguide Bridge Kit</b>		
WB-K210-B	Two 13'-4" (4.1 m) Direct Burial Posts	385.0 (174.6)
WB-K210-B15	Two 15'-4" (4.7 m) Direct Burial Posts	415.3 (188.4)
WB-K210-B21	Two 21' (6.4 m) Direct Burial Posts	501.2 (227.3)
WB-K210-S	Two 10'-6" (3.2 m) Base Shoe Posts	387.0 (186.5)



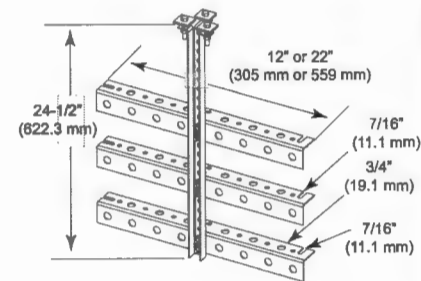
## Waveguide Bridge Kit Components

### Triple Tee Trapeze Kits

**Application:** Waveguide bridge  
**Size:** 3/4" (19.1 mm) and 7/16" (11.1 mm) holes  
**Design:** Adjustable 3-tier angle brackets  
**Feature:** Tee style for easy install of coaxial cable  
**Mounts to:** Waveguide bridge channel  
**Material:** Hot dip galvanized steel  
**Includes:** Angle brackets and mounting hardware  
**Order Separately:** Additional accessories



Part Number	Description	Weight, lb (kg)
<b>Triple Tee Trapeze Kit</b>		
WB-T12-3	Triple Tee Trapeze Kit, 12" (0.3 m) Wide, 3 Rungs	9.0 (4.1)
WB-T24-3	Triple Tee Trapeze Kit, 24" (0.6 m) Wide, 3 Rungs	13.0 (5.9)

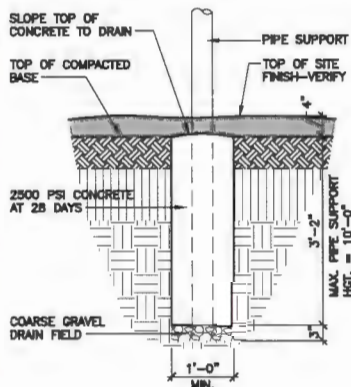


## 1 ICE BRIDGE W/ TRAPEZE ASSEMBLY

IMAGE WAS TAKEN FROM COMSCOPE PRODUCT CATALOG

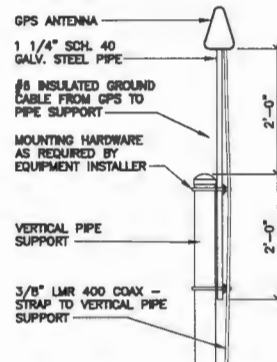
## 2 TRAPEZE ASSEMBLY KIT

IMAGE WAS TAKEN FROM COMSCOPE PRODUCT CATALOG



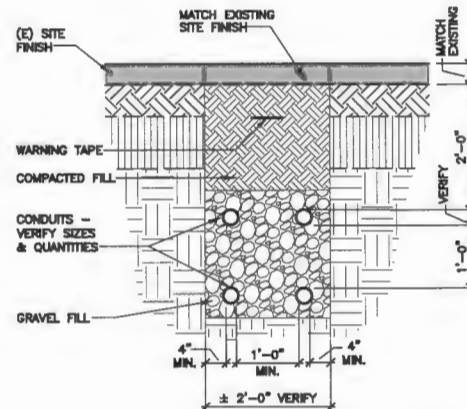
## 3 ICE BRIDGE POST FOUNDATION

SCALE: 1/2" = 1'-0"



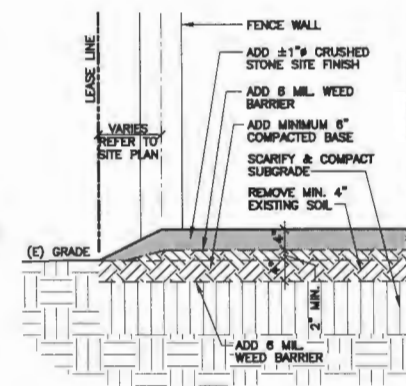
## 4 GPS MOUNTING DETAIL

SCALE: 1/2" = 1'-0"



## 5 UTILITIES TRENCH

SCALE: 1/2" = 1'-0"



## 6 SITE EDGE DETAIL

SCALE: 1/2" = 1'-0" AT FENCE

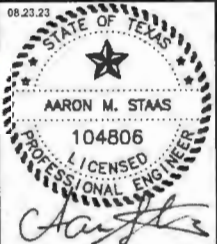
verizon

MCCALLEN COUNTRY CLUB

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112 E EL RANCHO RD.  
MCCALLEN, HIDALGO COUNTY, TEXAS 78503

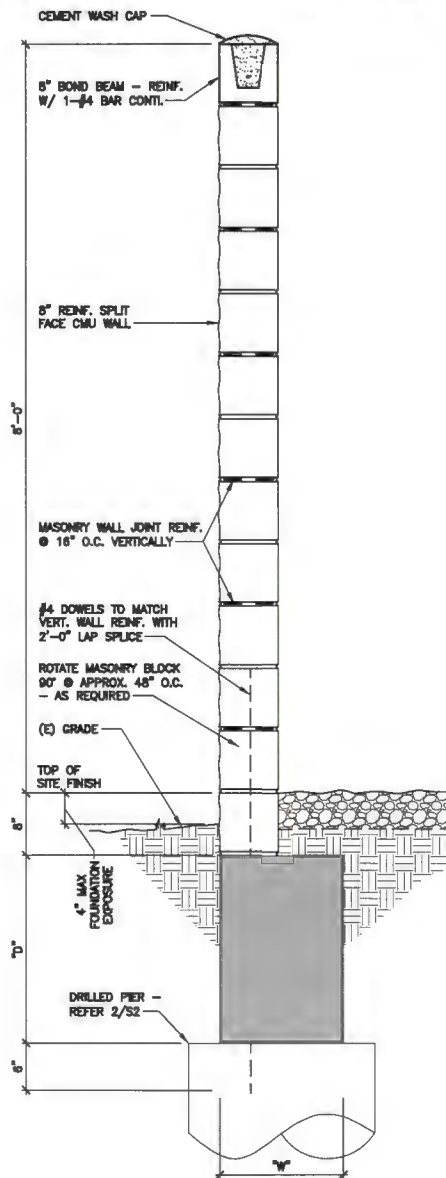
(491245)



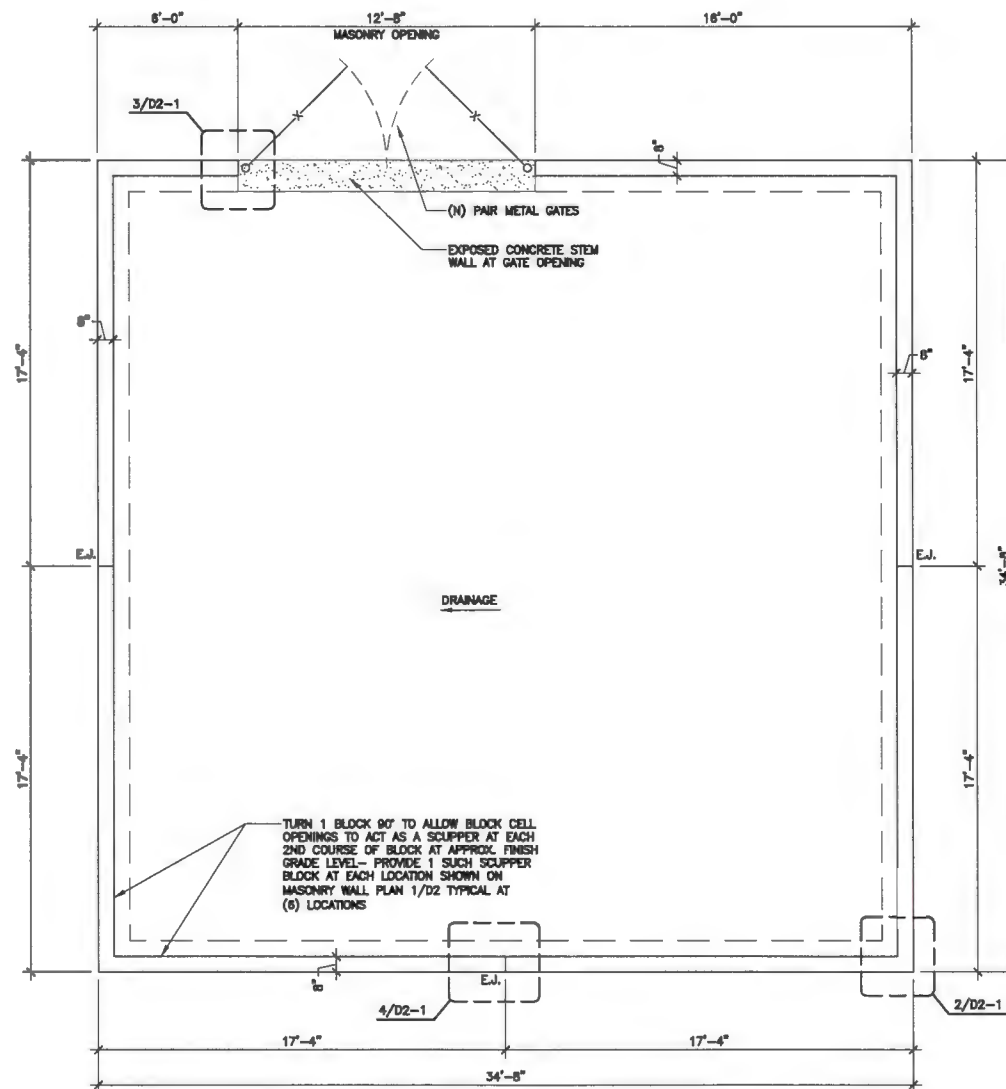
ARCHCOMM, LLC.  
1006 Beckett  
San Antonio, Texas 78213  
(210) 308-9905  
TBPE NO. F-15659

SHEET TITLE  
GENERAL  
DETAILS  
SHEET HISTORY  
02.01.23 PCD  
08.23.23 FGD

D1



**2 WALL SECTION**  
SCALE: 1/2" = 1'-0"



**1 WALL PLAN**  
SCALE: 3/16" = 1'-0"

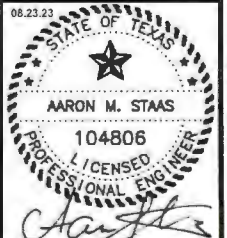
verizon

**MCCALLEN COUNTRY CLUB**

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112 E EL RANCHO RD.  
MCCALLEN, HIDALGO COUNTY, TEXAS 78503

(491245)



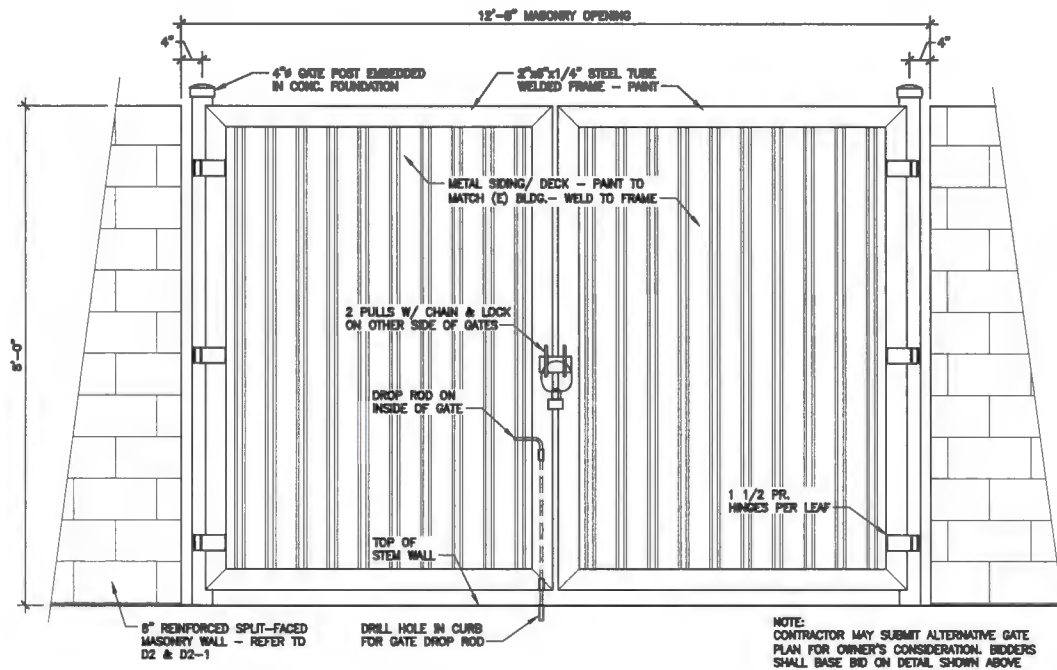
**ARCHCOMM, LLC.**  
1006 Beckett  
San Antonio, Texas 78213  
(210) 308-9905  
TBPE NO. F-15659

SHEET TITLE  
**ENCLOSURE PLAN & SECTION**

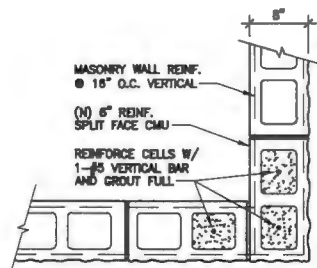
SHEET HISTORY  
02.01.23 PCD  
08.23.23 FCD

**D2**

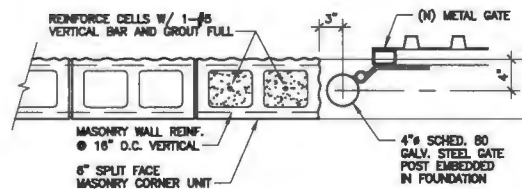
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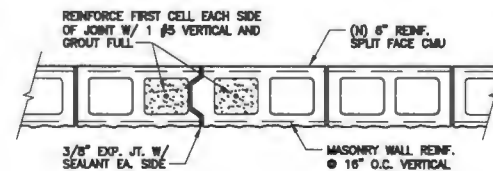
**1 GATE DETAIL**  
SCALE: 1/2" = 1'-0"



**2 CORNER DETAIL**  
SCALE: 3/4" = 1'-0"



**3 GATE JAMB DETAIL**  
SCALE: 3/4" = 1'-0"



**4 WALL EXPANSION JT.**  
SCALE: 3/4" = 1'-0"

### REINFORCED CONCRETE MASONRY NOTES:

- MM-1 ALL CONCRETE MASONRY SHALL CONFORM TO THE "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES," ACI 530.
- MM-2 CONCRETE MASONRY UNITS (CMU) SHALL BE HOLLOW, LOAD BEARING LIGHTWEIGHT UNITS CONFORMING TO ASTM C90 GRADE N, TYPE 1. UNITS SHALL BE FEATHERLITE UNITS OR APPROVED EQUAL. REFER TO MASONRY WALL DETAIL SHEET FOR TYPE OF MASONRY UNIT.
- MM-3 REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60. HORIZONTAL JOINT REINFORCING SHALL BE TRUSS TYPE CONFORMING TO ASTM B2. HOT DIP GALVANIZED JOINT REINFORCING AFTER FABRICATION TO COMPLY WITH ASTM A193, CLASS B2.
- MM-4 MORTAR SHALL CONFORM TO ASTM C270, TYPE "S".
- MM-5 GROUT FOR FILLING CELLS SHALL CONFORM TO ASTM C476. GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.
- MM-6 REINFORCED CMU SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF  $f_m = 1,500$  PSI. COMPRESSIVE WALL DESIGN STRENGTH ( $f_m$ ) SHALL BE VERIFIED BY INDEPENDENT TESTING LAB BY PRISM TESTS BEFORE MASONRY CONSTRUCTION BEGINS.
- MM-7 PROVIDE GROUTED REINFORCED VERTICAL CELLS AND HORIZONTAL BOND BEAMS AT WALL TOP EDGES, CORNERS, FREE ENDS, AND OTHER LOCATIONS WHERE SHOWN ON DRAWINGS. REINFORCE EACH GROUTED CELL AND BOND BEAM WITH 1-#4 BAR CONTINUOUS (REINFORCE LINTELS AS SPECIFIED BELOW). PROVIDE MATCHING DOWELS IN FOUNDATION FOR VERTICAL REINFORCEMENT WITH 40 DIAMETER EMBEDMENT AND 40 DIAMETER LAP SPLICE.
- MM-8 BASIC VERTICAL REINFORCEMENT FOR EXTERIOR WALLS SHALL BE #4 @ 24" O.C. (EVERY 3rd VERTICAL CELL). REINFORCE EVERY OTHER HORIZONTAL MASONRY JOINT (VERTICAL SPACING OF 16" O.C.) WITH JOINT REINFORCING (3/16 INCH SIDE RAILS AND 3/16 INCH CROSS TIES), OVERLAP 6" AT SPLICES.

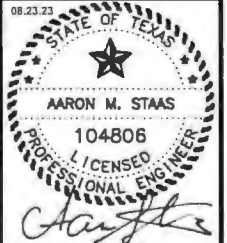
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**MCALLEEN COUNTRY CLUB**

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MCALLEEN, HIDALGO COUNTY, TEXAS 78503

(491245)



**ARCHCOMM, LLC.**  
1006 Beckett  
San Antonio, Texas 78213  
(210) 308-9905  
TBPE NO. F-15659

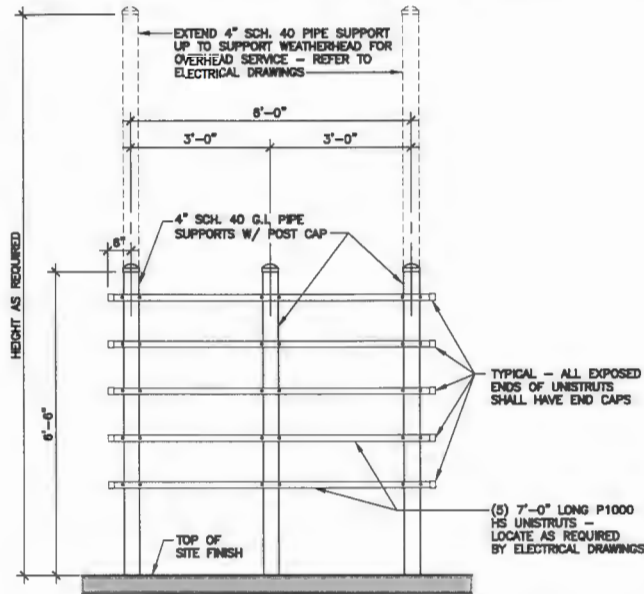
SHEET TITLE  
**ENCLOSURE DETAILS**

SHEET HISTORY  
02.01.23 PCD  
08.23.23 FCD

**D2-1**

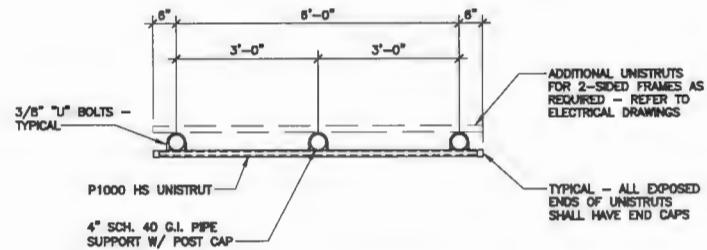


H:\VERIZON\TEXAS\MCCALLEN COUNTRY CLUB - 491245\20181783415\CAND A - HCD #2\_PROD DWGS\McAllen.CC-09-D3D31 FRAMES.dwg, 8/16/2023 4:55:06 PM, mrvicana

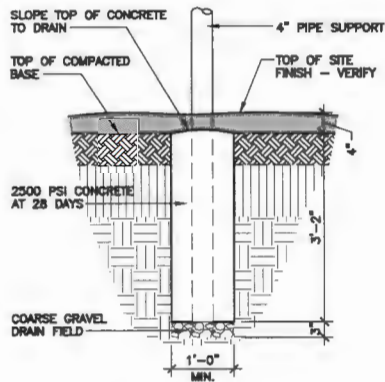


1 FRONT ELEVATION  
SCALE: 3/8" = 1'-0"

REFER TO ELECT. DWGS. FOR ELECTRICAL & TELCO PANELS & CONDUIT SIZES. REFER TO GROUNDING PLANS FOR CABINET GROUNDING



2 PLAN VIEW  
SCALE: 3/8" = 1'-0"



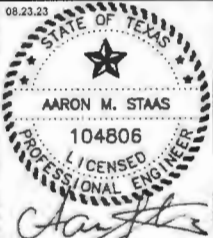
3 FOUNDATION  
SCALE: 1/2" = 1'-0"

verizon

MCCALLEN COUNTRY CLUB  
\*\*\*

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MCCALLEN, HIDALGO COUNTY, TEXAS 78503

(491245)



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San Antonio, Texas 78213  
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TBPE NO. F-15659

SHEET TITLE  
METER FRAME  
DETAILS

SHEET HISTORY  
02.01.23 PCD  
08.23.23 FCD

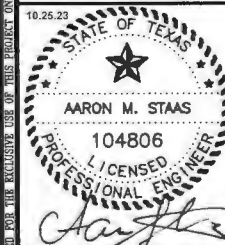
D3

verizon

# MCALLEN COUNTRY CLUB

112 E EL RANCHO RD.  
MCALLEN, HIDALGO COUNTY, TEXAS 78503

(491245)



**ARCHCOMM, LLC.**  
1006 Beckett  
San Antonio, Texas 78213  
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TBPE NO. F-15659

SHEET TITLE  
**UTILITY FRAME  
DETAILS**

SHEET HISTORY  
02.01.23 PCD  
08.23.23 FCD  
10.25.23 REV. SET - UPDATE DETAIL

**D3-1**

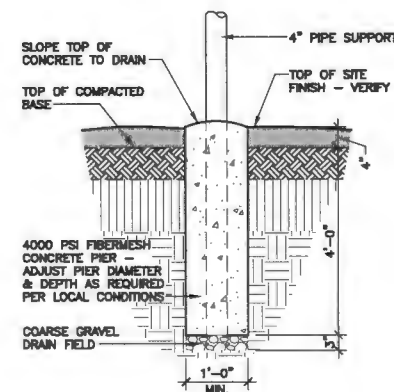
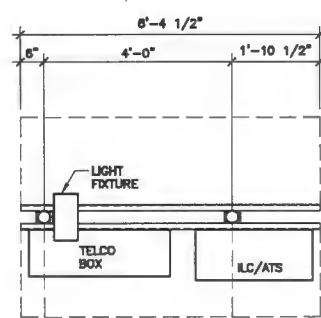
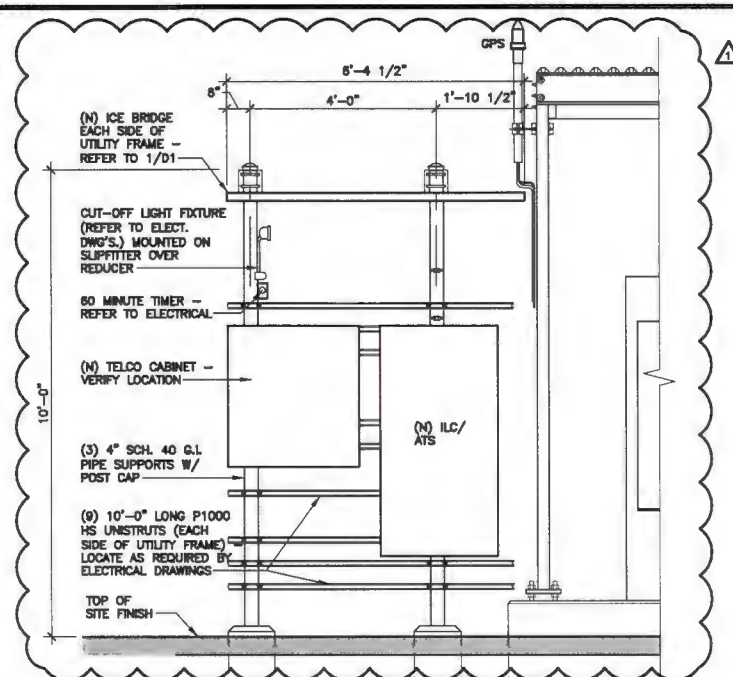
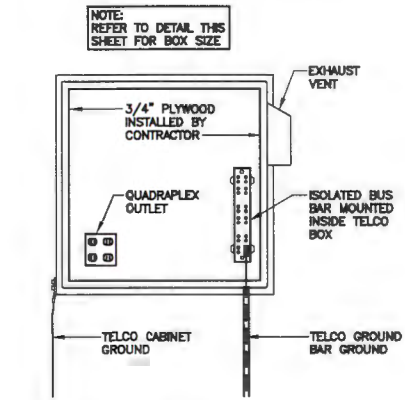


IMAGE BELOW WAS TAKEN FROM ADVANCED LIGHTNING TECHNOLOGY, INC. (A.L.T.) PRODUCT GUIDE (VOLUME 3)

**Telco Box**  
All Telco Boxes carry a NEMA 3R rating and come with a hinged cover.

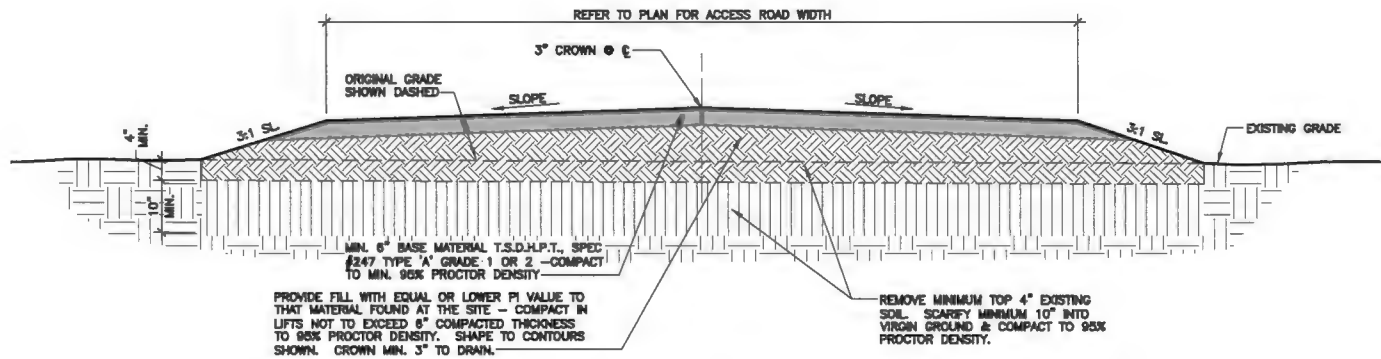


Catalog No.	Dimensions (in.)	Options	Weight (lbs.)
5950-24x24x16	24 x 24 x 16	Includes mounting studs and installed locking T-handle - backing plate not included.	68
5940-30x36x12	30 x 36 x 12	Includes mounting studs and installed locking T-handle - backing plate not included.	118
5950-36x36x12	36 x 36 x 12	Includes locking T-handle and wood backing.	122
5950-36x48x12	36 x 48 x 12	Includes mounting studs and installed locking T-handle - backing plate not included.	160



**TELCO BOX SCAN**  
NO SCALE

NOTE: CONTRACTOR SHALL VERIFY THE REQUIREMENTS FOR A TELCO BOX AT THIS SITE WITH THE PROJECT MANAGER BEFORE ORDERING. PROVIDE TELCO BOX ONLY AS REQUIRED.



1 ACCESS ROAD SECTION  
SCALE: 1/2" = 1'-0"

verizon

MCCALLEN COUNTRY CLUB  
\*\*\*

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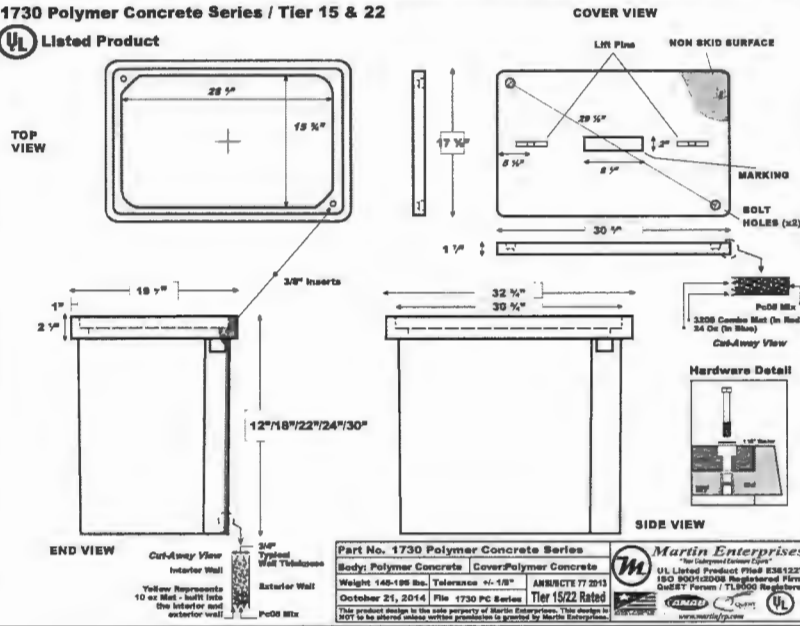
SHEET TITLE  
GATE, CULVERT &  
ROAD DETAILS

SHEET HISTORY  
02.01.23 PCD  
08.23.23 FCD

D4

# 1730 Polymer Concrete Series / Tier 15 & 22

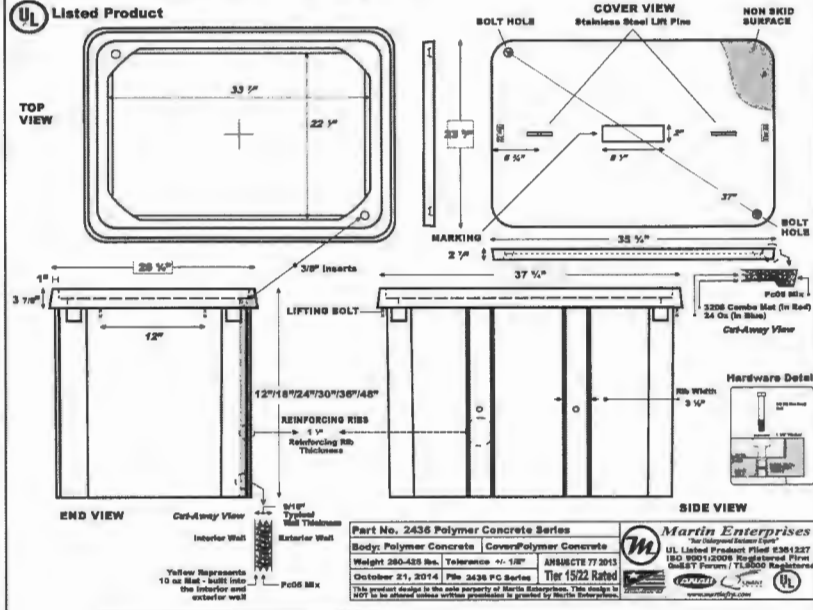
UL Listed Product



1 FIBER HAND HOLE DETAIL  
SCALE: N.T.S. TELCO / FIBER MMPB

# 2436 Polymer Concrete Series / Tier 15 & 22

UL Listed Product

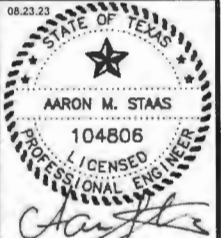


2 FIBER HAND HOLE DETAIL  
SCALE: N.T.S. TELCO / FIBER MMPB

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SHEET TITLE  
FIBER HAND HOLE  
DETAILS

SHEET HISTORY  
02.01.23 PCD  
08.23.23 FCD

D5



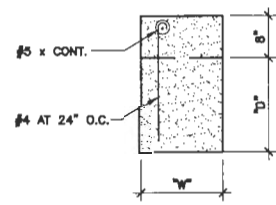




H:\VERIZON\TEXAS\MCCALLEN COUNTRY CLUB - 491245\20181783415\CAND A - HCD #2L\_PROD DWG\McCallen-CC-14-S15Z ENCLOSURE.dwg, 8/16/2023 5:05:06 PM, mvc/cana

GENERAL NOTES:

- GN-1 THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (2018) AS AMENDED, AND APPLICABLE INDUSTRY STANDARDS (ASCE, ACI, ETC.).
- GN-2 DESIGN CRITERIA:
- DEAD LOADS - THE WEIGHT OF THE MATERIALS FORMING THE PERMANENT PART OF THE STRUCTURE, A SUPERIMPOSED DEAD LOAD OF 5 PSF HAS BEEN APPLIED FOR MECHANICAL DUCTS, CONDUITS, CEILING, ETC.
- WIND LOADS - PER IBC SECTION 1609  
BASIC DESIGN WIND SPEED (3 SECOND GUST), V-wt . . . . . 130 MPH  
EXPOSURE CATEGORY . . . . . B  
RISK CATEGORY . . . . . II
- GN-3 THE STRUCTURE HAS BEEN DESIGNED TO RESIST DESIGN LOADS ONLY AS A COMPLETED STRUCTURE. CONTRACTOR SHALL CONSIDER ALL LOADS APPLIED TO THE PARTIALLY COMPLETED STRUCTURE AND PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL ALL PERMANENT CONNECTIONS ARE MADE. ANY PROPOSED APPLICATION OF CONSTRUCTION LOADS WHICH EXCEED THE DESIGN LOADS WILL REQUIRE REANALYSIS AND PROBABLE REDESIGN.
- GN-4 PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR AND FABRICATOR SHALL VERIFY ALL QUANTITIES, DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- GN-5 VERIFY REQUIREMENTS OF OTHER TRADES PRIOR TO PROCEEDING WITH FABRICATION OR INSTALLATION OF MATERIALS.
- GN-6 UTILITIES PENETRATING STRUCTURE SHALL BE FLEXIBLE, USING SLEEVE JOINTS, BENDS, LOOPS, ETC. TO PERMIT MOVEMENTS DUE TO EXPANSIVE UNDERLYING SOILS.
- GN-7 THE ENGINEER SHALL NOT HAVE CONTROL OF, AND SHALL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSION OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- GN-8 ASSUMPTIONS HAVE BEEN MADE BY THIS OFFICE REGARDING EXISTING CONDITIONS. ACTUAL CONDITIONS MAY VARY FROM THOSE ASSUMED. THE CONTRACTOR IS TO REPORT ANY SUCH DISCREPANCIES TO THE ENGINEER FOR POSSIBLE MODIFICATIONS NEEDED TO THE CONTRACT DRAWINGS BEFORE PROCEEDING WITH FURTHER WORK.



**SECTION THRU STEM WALL**  
1  
SCALE: 1/2" = 1'-0"

CONCRETE NOTES:

- CN-1 ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ACI 301 "SPECIFICATION FOR STRUCTURAL CONCRETE BUILDINGS" AND ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE."
- CN-2 CONSTRUCTION TOLERANCES SHALL CONFORM TO ACI 117 "STANDARD TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS."
- CN-3 CONTRACTOR SHALL DESIGN, CONSTRUCT, ERECT, SHORE, BRACE AND MAINTAIN FORM WORK ACCORDING TO ACI 301. WOOD FORM WORK SHALL BE #2 COMMON OR BETTER PLYWOOD, EXPOSED SURFACES SHALL BE NEW OR LIKE NEW MOISTURE RESISTANT FIR FORM PLYWOOD, LIGHTLY COAT FORMS WITH NON-STAINING FORM OIL, REMOVE SURPLUS OIL. FORM EXPOSED FACES 6" MINIMUM BELOW FINISH GRADE.
- CN-4 REINFORCING STEEL SHALL BE DOMESTIC NEW BILLET STEEL CONFORMING TO ASTM A615 GRADE 60, EXCEPT TIES AND STIRRUPS MAY BE GRADE 40. BARS DESIGNATED AS CONTINUOUS SHALL BE LAPPED 40 BAR DIAMETERS. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 AND SHALL BE LAPPED 8" MINIMUM AT SPLICE POINTS OR 1 1/2 MESHES, WHICHEVER IS GREATER.
- CN-5 PORTLAND CEMENT SHALL COMPLY WITH ASTM C-150, TYPE 1. FLY ASH SHALL CONFORM TO ASTM C-818. NORMAL WEIGHT AGGREGATE SHALL COMPLY WITH ASTM C33. WATER SHALL BE POTABLE AND COMPLY WITH ASTM C84.
- CN-6 CONCRETE SHALL BE NORMAL WEIGHT, LABORATORY DESIGNED TO DEVELOP MINIMUM SPECIFIED 28 DAY COMPRESSIVE STRENGTH AND PROPORTIONED AS FOLLOWS:  
SLAB ON GRADE: 3000 PSI, 5 SACKS OF CEMENT PER CUBIC YARD, 1 1/2" MAXIMUM AGGREGATE, MAXIMUM SLUMP OF 5".
- FLY ASH IS LIMITED TO A MAXIMUM 20% CEMENT REPLACEMENT BY WEIGHT.
- CN-7 ALL REINFORCING STEEL SHALL BE FREE OF RUST, SCALE, AND DRIED CONCRETE, AND SHALL BE ACCURATELY BENT AND SECURELY TIED INTO POSITION TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT. RAISING REINFORCEMENT DURING POUR WILL NOT BE PERMITTED.
- CN-8 CONCRETE COVER SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE:
- A. CONCRETE CAST AGAINST EARTH - 3"
- B. CONCRETE EXPOSED TO EARTH OR WEATHER:  
BARS 3/4" AND LARGER IN DIAMETER - 2 INCHES  
BARS SMALLER THAN 3/4" DIAMETER - 1 1/2"
- C. CONCRETE NOT EXPOSED TO WEATHER OR GROUND:  
SLAB ON GRADE - 1 1/2" FROM TOP OF SLAB
- CN-9 SET AND BUILD ANCHORAGE AND OTHER EMBEDDED ITEMS INTO FORM WORK AS REQUIRED FOR OTHER WORK THAT IS ATTACHED TO OR SUPPORTED BY CONCRETE. COORDINATE WITH OTHER DISCIPLINES.
- CN-10 CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE WITH ASTM C-84 "STANDARD SPECIFICATION FOR READY-MIXED CONCRETE."
- CN-11 CONCRETE WHEN DEPOSITED SHALL HAVE A TEMPERATURE NOT BELOW 50°F OR ABOVE 90°F. APPROPRIATE MEASURES SHALL BE TAKEN TO MAINTAIN TEMPERATURE RANGE AND PREVENT WATER EVAPORATION FOR 5 DAYS AFTER PLACEMENT. SALT OR OTHER CHEMICALS SHALL NOT BE ADDED TO PREVENT FREEZING.
- CN-12 CONCRETE SHALL BE CONVEYED TO AND DEPOSITED IN FORM WORK NEAR ITS FINAL POSITION, WITH A FREE VERTICAL DROP NOT EXCEEDING 3 FEET. PLACE CONCRETE IN 12 INCH MAXIMUM LAYERS AND COMPACT EACH LAYER BY MECHANICAL VIBRATING.
- CN-13 SPOREDDING, RE-STRAIGHTENING, AND FINISHING OPERATIONS SHALL COMPLY WITH ACI 302.1R. COORDINATE ALL FINISHES WITH ARCHITECTURAL DRAWINGS AND FLOOR FINISH REQUIREMENTS. CAREFULLY TOOL ALL EXPOSED EDGES.
- CN-14 CURE CONCRETE FOR AT LEAST SEVEN DAYS BY MOISTURE CURING, SEALED MOISTURE RETAINING COVER CURING, OR A CLEAR WATERBOURNE CURING COMPOUND CONFORMING TO ASTM C509.
- CN-15 SIDE FORMS MAY BE REMOVED AFTER CUMULATIVE CURING AT NOT LESS THAN 50°F FOR 24 HOURS AFTER PLACING CONCRETE.
- CN-16 PATCH HONEYCOMB, TIE HOLES, AND MINOR DEFECTS WITH ONE PART CEMENT AND TWO PARTS SAND IMMEDIATELY AFTER REMOVING FORMS.
- CN-17 A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNLESS NOTED OTHERWISE. IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
- CN-18 INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE. EXPANSION BOLTS SHALL BE PROVIDED BY RAMSET/REDHEAD OR APPROVED EQUAL.
- CN-19 FOUNDATION DESIGN IS BASED ON SOIL WITH 2000 PSF BEARING CAPACITY. IF EXISTING SOIL DOES NOT HAVE A MINIMUM 2000 PSF BEARING CAPACITY, CONTRACTOR SHALL EXTEND PERIMETER BEAM TO REACH SOIL WITH MINIMUM 2000 PSF BEARING CAPACITY.

GRADE BEAM NOTES:

- SG-1 CAREFULLY TRENCH AND SHAPE GRADE BEAMS WITH A SMOOTH-MOUTHED BUCKET. IF A TOOTHED BUCKET IS USED, EXCAVATION SHALL BE STOPPED 8" ABOVE FINAL GRADE AND THE REMAINING EXCAVATION ACCOMPLISHED WITH A SMOOTH MOUTHED BUCKET OR BY HAND LABOR TO REMOVE ALL LOOSE SOILS DISTURBED BY THE BUCKET TEETH.
- SG-2 WOODFORM EXPOSED FACES TO A DEPTH OF 8" BELOW FINISHED GRADE.
- SG-3 ON PERIMETER, INCREASE SCHEDULED BEAM DEPTH AS REQUIRED FOR SOFFIT TO BEAR 12" MINIMUM BELOW FINISH GRADE. CONTRACTOR COORDINATE BEAM DEPTHS WITH REINFORCING STEEL SUPPLIER TO ALLOW PROPER REINFORCING BARS AT TRANSITIONS.
- SG-4 TRENCHES SHALL BE VERIFIED FOR SIZE TO MAINTAIN CLEARANCES AROUND REINFORCEMENT PRIOR TO PLACING REINFORCEMENT.
- SG-5 GRADE BEAM REINFORCEMENT SHALL BE CONTINUOUS WITH 40 BAR DIAMETER LAP SPLICES.
- SG-6 PROVIDE FOUR CORNER BARS AT ALL BEAM CORNERS & (2 TOP AND 2 BOTTOM). BARS TO EQUAL SIZE OF SCHEDULED BEAM REINFORCEMENT AND SHALL LAP BEAM REINFORCEMENT 40 BAR DIAMETERS.
- SG-7 WHERE BEAM DEPTH EXCEEDS 36", ADD #4 @ 12"o.c. IN EACH FACE OF BEAM.

GRADE BEAM SCHEDULE				
WK	"W"	"D"	MAIN REINFORCEMENT	STIRRUPS
B1	12"	24"	(2) #5 x CONT. TOP & BOTTOM	#3 @ 10"o.c.

**MCCALLEN COUNTRY CLUB**

\*\*\*

112 E EL RANCHO RD.  
MCCALLEN, HIDALGO COUNTY, TEXAS 78503  
(491245)

08.23.23

STATE OF TEXAS

AARON M. STAAS

104806

PROFESSIONAL ENGINEER

ARCHCOMM, LLC.  
1006 Beckett  
San Antonio, Texas 78213  
(210) 308-9905  
TBPE NO. F-15659

SHEET TITLE

**NOTES**

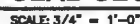
SHEET HISTORY

02.01.23 PCD

08.23.23 FCD

**S1**





S3

# FABRICATION NOTES:

THE CALCULATIONS WERE MADE ACCORDING TO THE IBC 2018, ASCE 7-16 & AISC REQUIREMENTS.

ALL PLATES CONFORM TO ASTM A-36, GRADE 36 KSI MINIMUM YIELD.

ALL ANGLES CONFORM TO ASTM A-36, GRADE 36 KSI MINIMUM YIELD.

ALL HSS CONFORM TO ASTM A-500, GRADE B, 48 KSI MINIMUM YIELD.

ALL BOLTS CONFORM TO ASTM A-325 & GALVANIZED.

ALL ANCHOR THREADED RODS CONFORM TO ASTM A307, GRADE A.

ALL WELDS TO BE E70XX.

ALL STEEL TO BE HOT DIPPED GALVANIZED.

## PLATFORM MATERIAL LIST:

\* EQUIVALENT PRODUCT MAY BE USED WITH ARCHCOMM, LLC APPROVAL.

NBR.	PART	QTY.	LENGTH
1	HSS 8x3x1/8	2	11'-1 1/8"
2	800S200-97 *	2	12'-9"
3	800S200-97 *	2	8'-8"
4	800S200-97 *	1	11'-11"
5	L2.5x2.5x3/16	8	0'-8"
6	L4x4x3/16	2	0'-8"
7	A-325 GALV. BOLTS 1/2"	24	LENGTH UNDER HEAD 1 1/4"
8	A-325 GALV. BOLTS 1/2"	16	LENGTH UNDER HEAD 4 1/4"
9	METAL DECK	1	9'-0" x 12'-9"
10	LARGE WASHER (O.D. 1.75")	40	FOR 1/2" BOLTS
11	1" BASE PLATE	2	0'-9" x 1'-0"
12	3/4" ANCHOR ROD	8	1'-4"
13	LOCK WASHER	44	FOR 1/2" BOLTS

\* BY MARINOWARE (1-800-827-4861)

## METAL DECK SPECIFICATIONS:

26 GAGE PBR

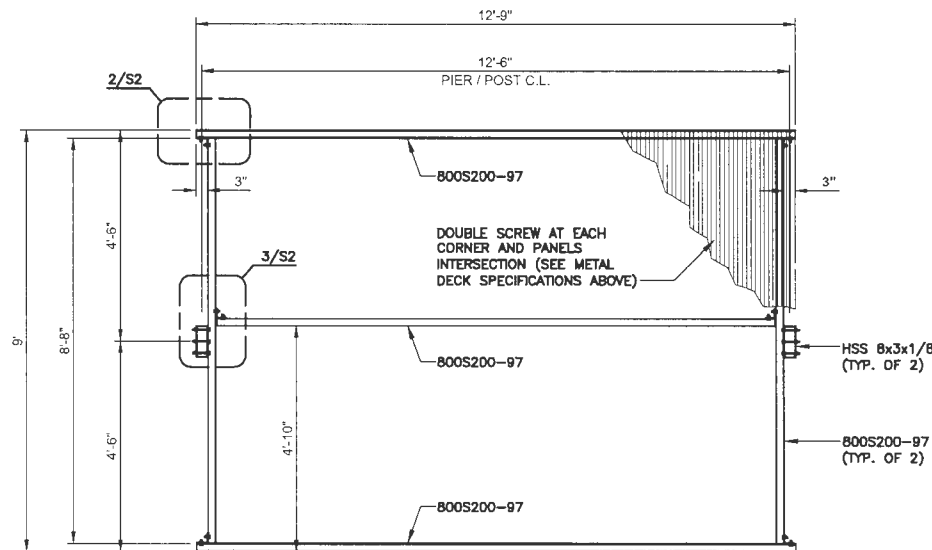
Imin. = 0.0309 IN<sup>4</sup>

Smin. = 0.0381 IN<sup>3</sup>

1. ATTACH WITH #10 SCREWS AT 8" O.C. ON EACH SUPPORTING ELEMENT.

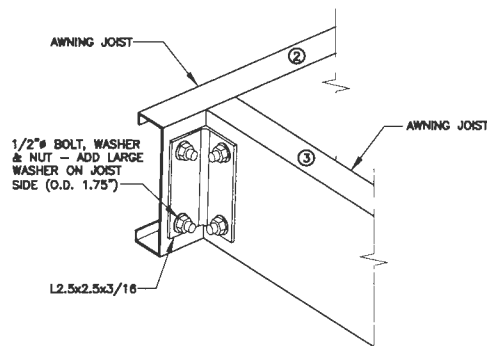
2. DOUBLE SCREWS AT EACH CORNER & EACH PANELS INTERSECTION (2" APART).

3. USE #10 SCREWS BY "McMASTER-CARR" PART NO. 90064AA50 OR EQUIVALENT APPROVED BY ARCHCOMM, LLC.



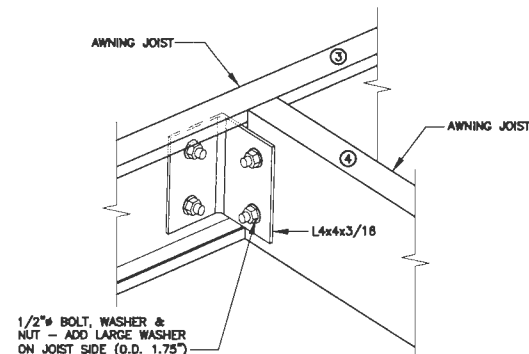
① AWNING FRAME PLAN

SCALE: 3/8" = 1'



② CONNECTION DETAIL

SCALE: N.T.S.



③ CONNECTION DETAIL

SCALE: N.T.S.

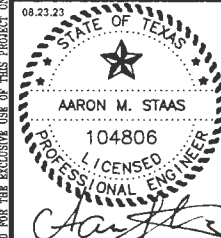
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MCALLEN COUNTRY CLUB

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112 E EL RANCHO RD.  
MCALLEN, HIDALGO COUNTY, TEXAS 78503

(491245)



ARCHCOMM, LLC.  
1006 Beckett  
San Antonio, Texas 78213  
(210) 308-9905  
TBPE NO. F-15659

SHEET TITLE  
EQUIPMENT AWNING  
DETAILS

SHEET HISTORY  
02.01.23 PCD  
08.23.23 FCD

S4

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H:\VERIZON\TEXAS\MCCALLEN COUNTRY CLUB - 491245\20181783415\CAND A - HCID #2\_PROD DWG\MCCallen.CC.15-5455 AWNING.dwg, 8/17/2023 8:45:16 AM, mvcana

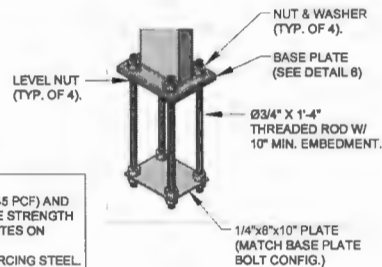
#### LEGEND:

- ① (4)  $\emptyset 1" \times 1'-8"$  ANCHOR  
RODS EMBEDDED 12" MIN.

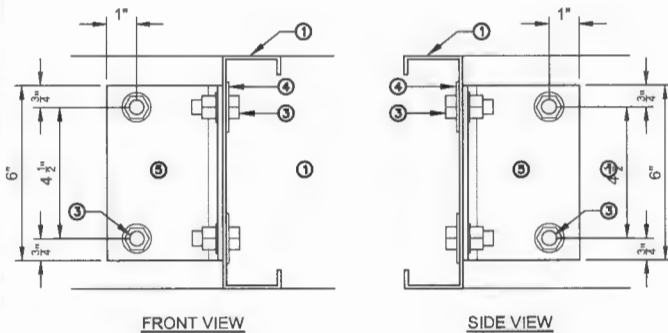
MAX. REACTIONS AT POST BASE:  
ULT. COMP. LOAD = 2.866 KIPS  
ULT. UPLIFT = 0.713 KIPS  
ULT. HORIZONTAL = 0.165 KIPS  
ULT. O.T.M. = 2.386 K-FT

#### CONCRETE NOTES:

- A. ALL CONCRETE SHALL BE NORMAL WEIGHT (145 PCF) AND  
SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH  
(f<sub>c</sub>) OF 3000 PSI. SEE FURTHER CONCRETE NOTES ON  
SHEET N.2.  
B. USE SPACERS & CHAIRS TO SUPPORT REINFORCING STEEL.  
C. #5 BARS CONFORM TO ASTM A815, GRADE 80  
(GRADE 40 FOR #3 TIES).

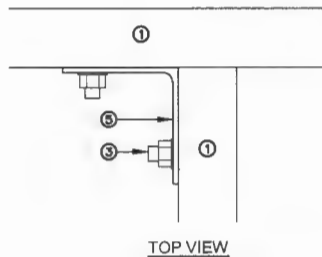


① **ANCHOR DETAIL**  
SCALE: N.T.S.



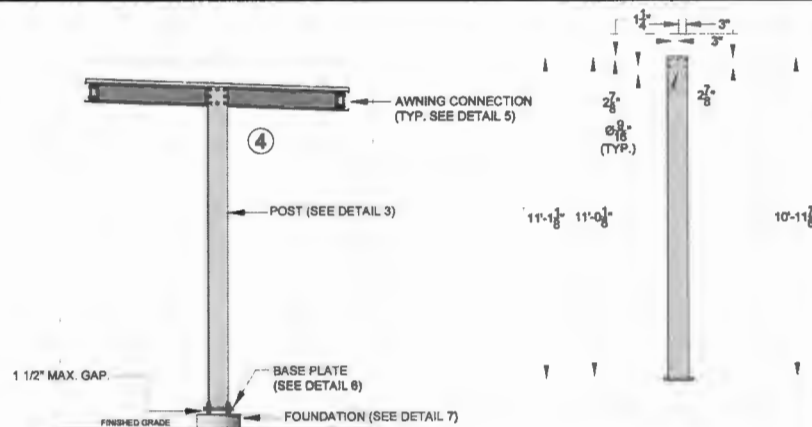
FRONT VIEW

SIDE VIEW



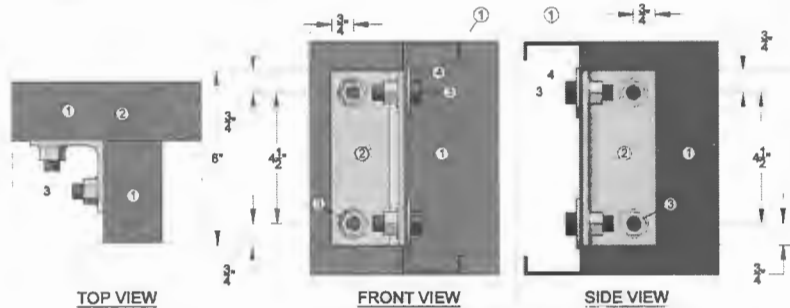
TOP VIEW

⑦ **AWNING TYP. CONNECTION**  
SCALE: 3" = 1' - TYP. OF 2



② **EQUIPMENT CANOPY SIDE VIEW**  
SCALE: 1/2" = 1'

③ **POST SIDE VIEW**  
SCALE: 1/2" = 1' - TYP. OF 2

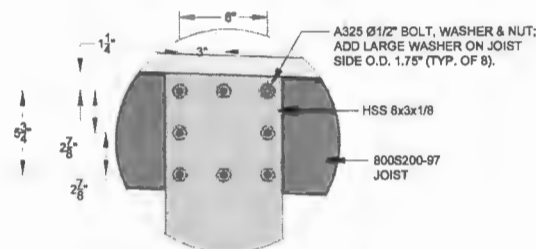


TOP VIEW

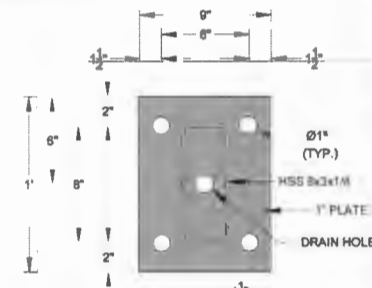
FRONT VIEW

SIDE VIEW

⑤ **AWNING TYP. CONNECTION**  
SCALE: 3" = 1' - TYP. OF 8



④ **POST TOP CONNECTION DETAIL**  
SCALE: 1 1/2" = 1' - TYP. OF 2



⑥ **BASE PLATE DETAIL**  
SCALE: 1 1/2" = 1' - TYP. OF 2

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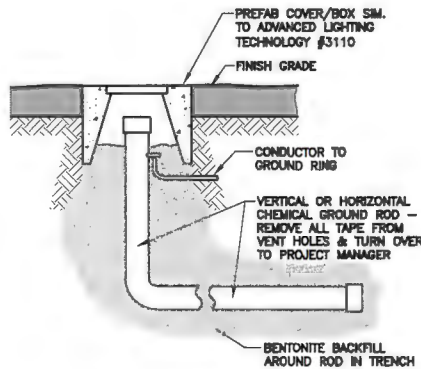
ARCHCOMM, LLC.  
1006 Beckett  
San Antonio, Texas 78213  
(210) 308-9905  
TBPE NO. F-15659

SHEET TITLE  
**EQUIPMENT AWNING  
DETAILS**

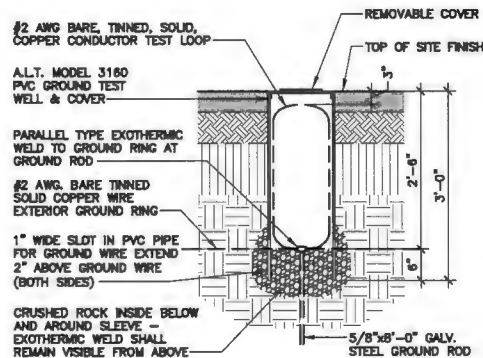
SHEET HISTORY  
02.01.23 PCD  
08.23.23 FCD

S5

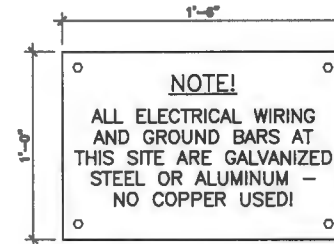




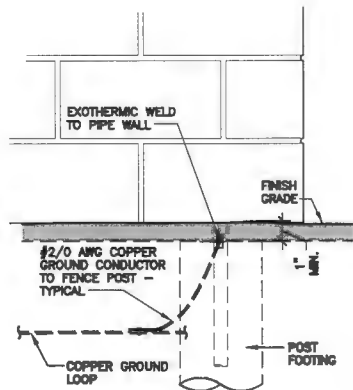
**1 CHEMICAL GROUND ROD/ INSPECTION WELL**  
SCALE: 3/4" = 1'-0"



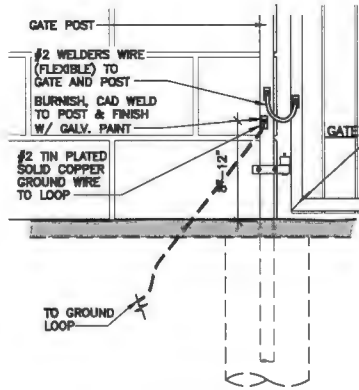
**2 GALVANIZED STEEL GROUND/ ROD INSPECTION WELL**  
SCALE: 1/2" = 1'-0"



**3 THEFT PREVENTION "GROUNDING" SIGN AT GATE**  
SCALE: 1 1/2" = 1'-0"



**4 FENCE POST GROUNDING**  
SCALE: 1" = 1'-0"



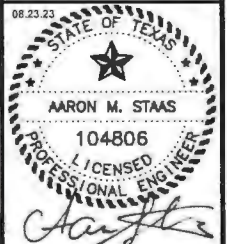
**5 GATE POST GROUNDING**  
SCALE: 1" = 1'-0"

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**ARCHCOMM, L.L.C.**  
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San Antonio, Texas 78213  
(210) 308-9905  
TBPE NO. F-15659

SHEET TITLE  
**GROUNDING DETAILS**

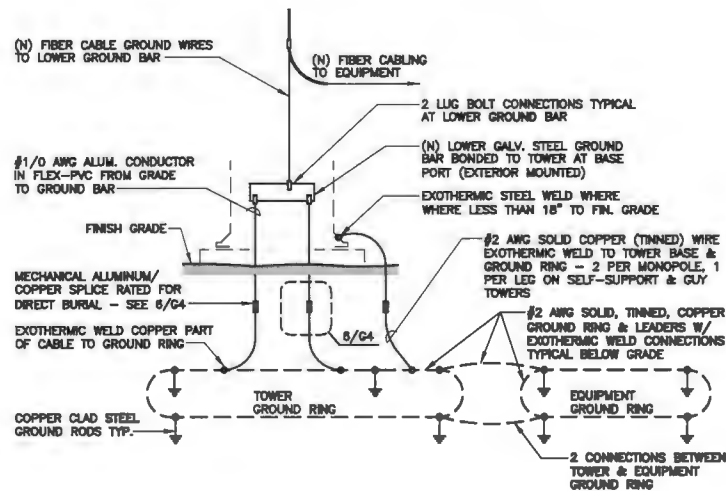
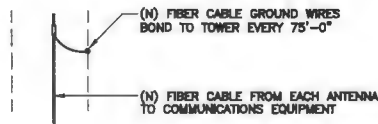
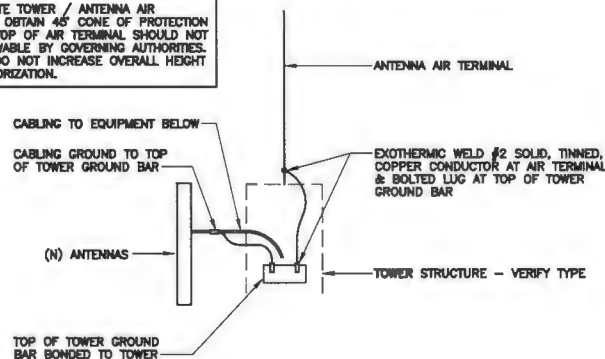
SHEET HISTORY  
02.01.23 PCD  
08.23.23 FCD

**G2**

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NOTE: ADD APPROPRIATE TOWER / ANTENNA AIR TERMINAL IN ORDER TO OBTAIN 45° CONE OF PROTECTION OVER NEW ANTENNAS. TOP OF AIR TERMINAL SHOULD NOT EXCEED MAXIMUM ALLOWABLE BY GOVERNING AUTHORITIES. ON EXISTING TOWERS, DO NOT INCREASE OVERALL HEIGHT WITHOUT WRITTEN AUTHORIZATION.

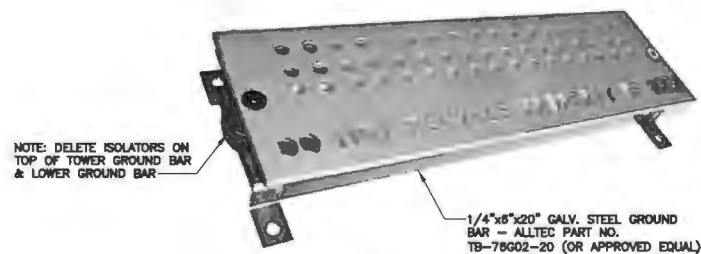


**1 TOWER GROUNDING DIAGRAM**  
SCALE: NONE

- IN SO FAR IS PRACTICAL AND TO AFFORD MAXIMUM PROTECTION TO THE SITE, ALL ELECTRICAL CONDUCTORS PROVIDING POWER TO AND THROUGHOUT THE SITE AND GROUND CONDUCTORS SHALL BE ALUMINUM. ALL GROUND BARS SHALL BE GALVANIZED STEEL. WHERE ACCESS IS SECURE (I.E., BURIED GROUND RINGS, LEADS, AND INSIDE SHELTERS & EQUIPMENT CABINETS, ETC.) COPPER MAY HAVE LIMITED USE.
- ABOVE GRADE GROUNDING CONDUCTORS SHALL BE ALUMINUM AND GROUNDING CONDUCTORS INSTALLED BELOW GRADE SHALL REMAIN COPPER.
- COPPER JOINTS, SPLICES OR CONNECTIONS SHALL BE AS INDICATED IN THE CONSTRUCTION DOCUMENTS. COPPER TO COPPER AND COPPER TO STEEL CONNECTIONS SHALL BE EXOTHERMIC WELD OR MECHANICAL AS DESIRED. ANY CONNECTIONS THAT ARE BELOW GRADE (I.E., GROUND RINGS, LEADS, ETC.) OR OTHERWISE NOT ACCESSIBLE SHALL BE EXOTHERMIC WELDS AS ARE PRACTICAL; HOWEVER, NO EXOTHERMIC WELDS SHALL BE MADE TO ANY GALVANIZED STEEL TOWER ELEMENT WHERE THE SIDE OPPOSITE THE WELD IS NOT ACCESSIBLE FOR INSPECTION (I.E., MONOPOLE, PIPE OR TUBE SECTIONS).
- ALUMINUM-ASSOCIATED CONNECTIONS SHALL BE APPROPRIATELY RATED MECHANICAL CONNECTIONS. THE DISSIMILARITY OF ALUMINUM WITH COPPER AND STEEL MAKES THE USE OF EXOTHERMIC WELDS IMPRACTICAL WHERE ALUMINUM CONDUCTORS ARE CONCERNED.
- ANY ALUMINUM CONDUCTORS LOCATED CLOSER THAN 18" TO GRADE SHALL BE PROTECTED BY WATERPROOF INSULATION. ANY ALUMINUM CONDUCTOR CONNECTIONS LOCATED CLOSER THAN 18" TO GRADE SHALL BE TREATED AS A WATERPROOF CONNECTION RATED FOR DIRECT BURIAL.

**2 ELECTRICAL CONDUCTORS**  
SCALE: NONE

IMAGE WAS TAKEN FROM ALLTEC CORPORATION PRODUCT CATALOG



**3 GALV. STEEL GROUND BAR**  
SCALE: NONE

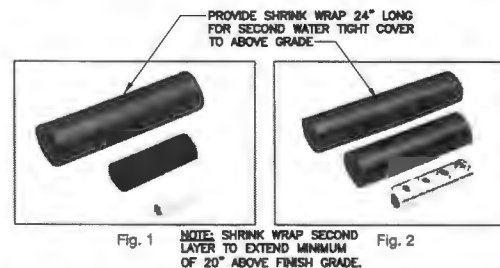


Fig. 1  
Fig. 2  
TYPE USKIT

Catalog Number	Figure Number	Wire Range	
		Maximum	Minimum
USKIT2*	1	2	8
USKIT250*	2	250	1

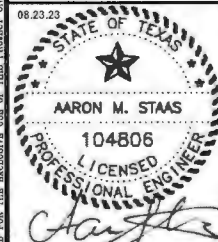
\*UL4860 Listed for Direct Burial

**4 WATERTIGHT/UNDERGROUND SPLICE KIT**  
SCALE: N.T.S. BURNDY TYPE USKIT

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(491245)



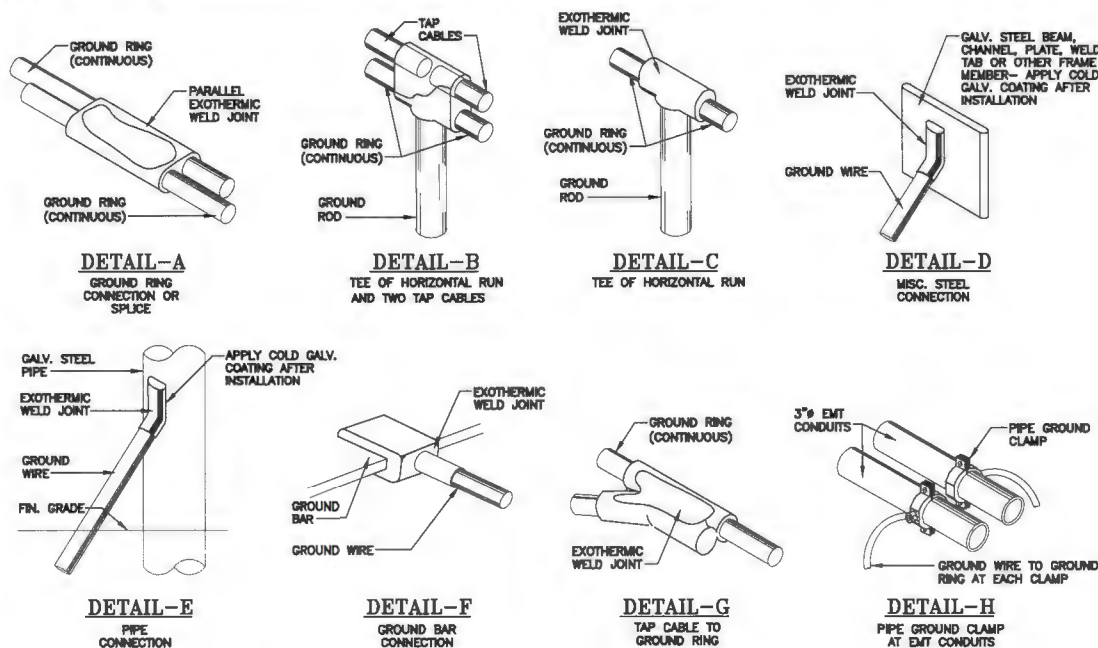
**ARCHCOMM, LLC.**  
1006 Beckett  
San Antonio, Texas 78213  
(210) 308-9905  
TBPE NO. F-15659

SHEET TITLE:  
**TOWER GROUNDING DETAILS**

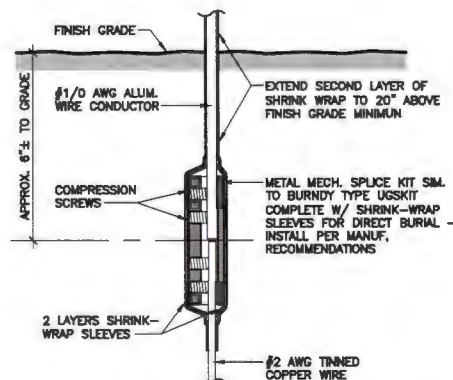
SHEET HISTORY  
02.01.23 PCD  
08.23.23 FCD

**G3**

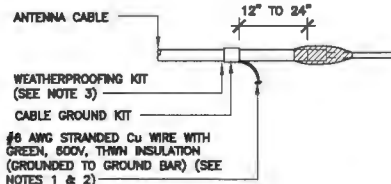




**1 WELD CONNECTION DETAILS**  
SCALE: NONE



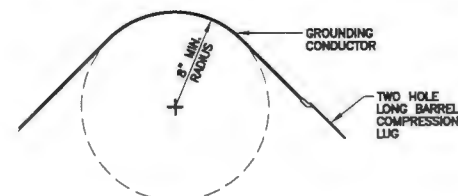
**4 WATERTIGHT/UNDERGROUND SPLICE DETAIL**  
SCALE: N.T.S.



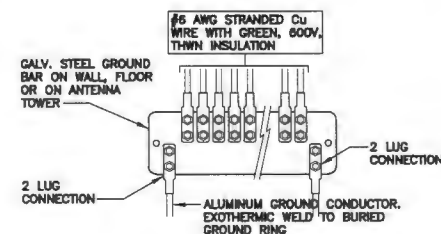
- NOTES:**
- DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
  - GROUNDING KIT SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.
  - WEATHER PROOFING SHALL BE TYPE AND PART NUMBER AS SUPPLIED OR RECOMMENDED BY CABLE MANUFACTURER.

**5 CABLE GROUND KIT**  
SCALE: N.T.S.

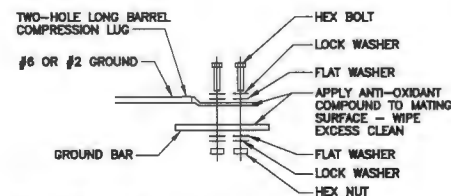
- CLEAN SURFACES TO BE WELDED OF ALL PAINT, DIRT, MOISTURE, CORROSION AND OTHER FOREIGN MATTER.
- MAKE APPROPRIATE WELDED CONNECTION (REFER TO DETAILS).--USE MANUFACTURER'S WRITTEN RECOMMENDATIONS.
- IF WELDED MATERIALS HAVE A GALVANIZED FINISH. APPLY A PROTECTIVE COLD GALVANIZE COATING.



**2 MINIMUM GROUNDING CONDUCTOR RADIUS**  
SCALE: N.T.S.



**3 COAX CABLE GROUND BAR**  
SCALE: N.T.S.



- INSTALLATION NOTES:**
- ALL BOLTS, WASHERS AND NUTS SHALL BE STAINLESS STEEL.
- SELECT BOLT LENGTH TO PROVIDE A MINIMUM TO TWO EXPOSED THREADS.
- BURNISH MOUNTING SURFACE TO REMOVE ALL FOREIGN RESIDUE IN THE AREA OF LUG CONTACT.
- APPLY ANTI-OXIDANT COMPOUND TO MATING SURFACES OF LUG AND WIPE CLEAN EXCESS COMPOUND.
- USE 1/4" HARDWARE FOR ATTACHMENT TO METAL ENCLOSURES & 3/8" FOR ATTACHMENT TO GROUND BARS.

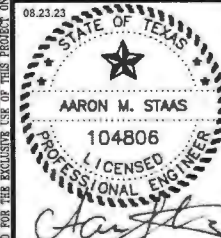
**6 GROUND CONNECTION DETAIL**  
SCALE: N.T.S.

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San Antonio, Texas 78213  
(210) 308-9905  
TBP# NO. F-15655

**CONNECTION DETAILS**

**SHEET HISTORY**  
02.01.23 PCD  
08.23.23 FCD

**G4**

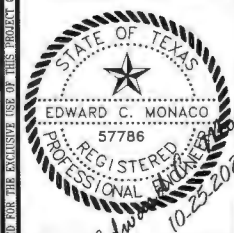


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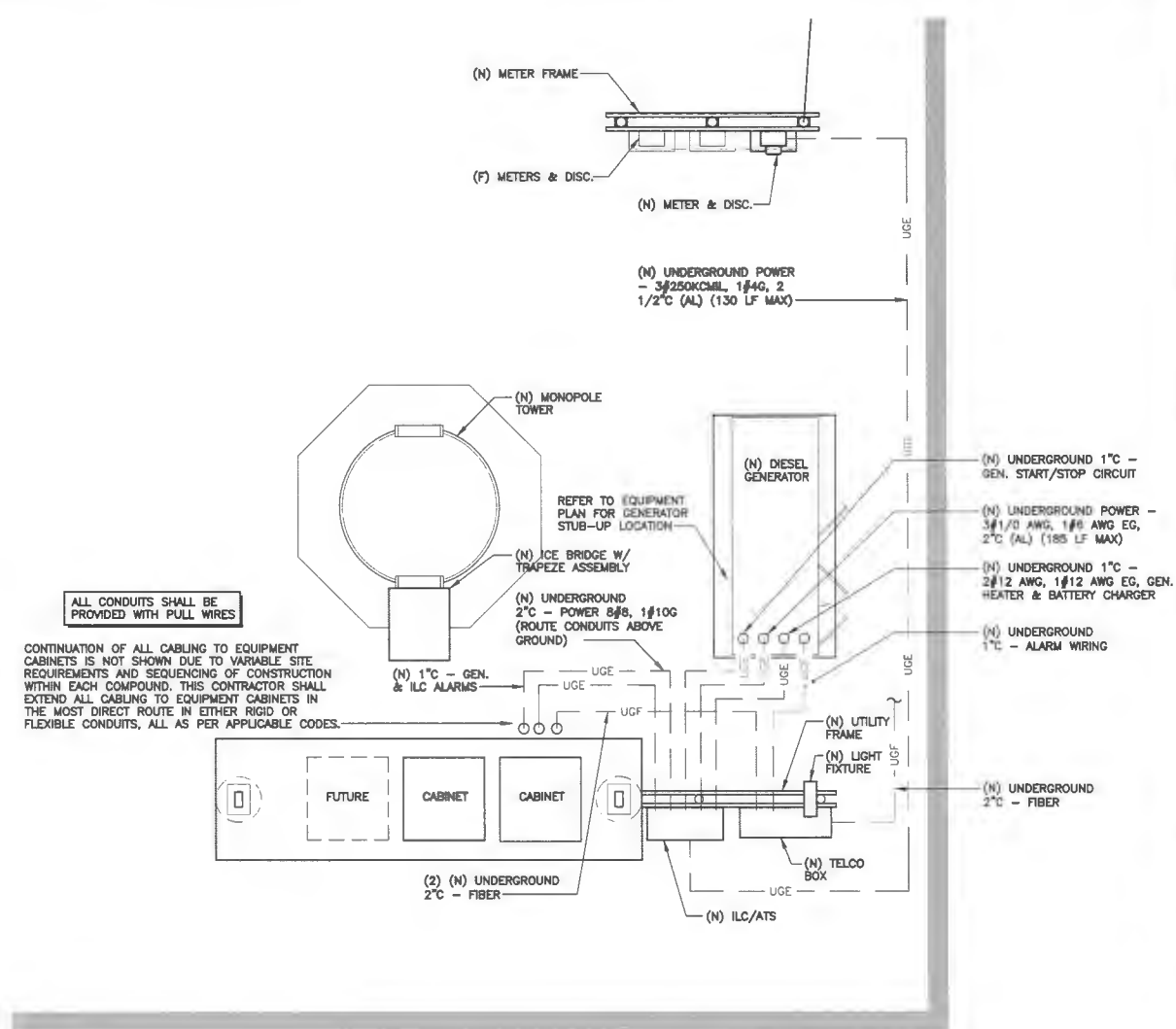
## SHEET TITLE: EQUIPMENT PLAN

SHEET HISTORY  
02.01.23 PCD  
08.23.23 FCD  
10.25.23 REV. SET - GENERATOR

E2

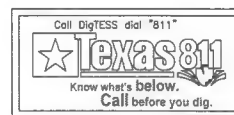
- ⊞ ELECTRICAL METER
- J-BOX/PULL BOX
- ⊞ DUPLEX RECEPTACLE
- ⊞ DISCONNECT, AMPS, FUSED OR NON-FUSED AS NOTED
- ATS AUTOMATIC TRANSFER SWITCH
- SPD SURGE PROTECTION DEVICE
- UNDERGROUND CONDUIT
- ABOVE GROUND CONDUIT
- OHT- OVERHEAD TELEPHONE
- OHE- OVERHEAD ELECTRICAL
- UGE- UNDERGROUND ELECTRICAL; SIZE AS SHOWN
- UGT- UNDERGROUND TELEPHONE; SIZE AS SHOWN
- UGF- UNDERGROUND FIBER; SIZE AS SHOWN
- (N) NEW
- (E) EXISTING
- (F) FUTURE
- Ⓢ KEYED NOTE -- NUMBER AS NOTED
- G GROUND
- EP EMERGENCY POWER
- P POWER
- T TELCO

## 2 ELECTRICAL LEGEND



## 1 EQUIPMENT PLAN

SCALE: 1/4" = 1'-0"

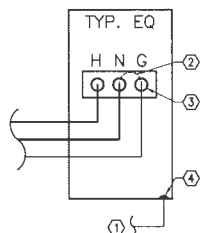


(N) = NEW LESSEE  
(E) = EXISTING  
(F) = FUTURE

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1. ALL ELECTRICAL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST NATIONAL ELECTRICAL AND BUILDING CODES AND ALL OTHER CODES HAVING JURISDICTION. ALL CONDUITS SHALL INCLUDE PULL WIRES.
2. ALL COPPER CONDUCTORS SHALL BE TYPE THWN, MINIMUM SIZE #12 AWG. EXCEPT CONTROL WIRING. ALL ALUMINUM CONDUCTORS SHALL BE AA-8000 SERIES TYPE.
3. ELECTRICAL CONTRACTOR SHALL CONNECT GROUNDS FROM ELECTRICAL EQUIPMENT ENCLOSURES TO EXTERNAL GROUND LOOP. CIRCUIT GROUNDS SHALL BE ISOLATED FROM EQUIPMENT GROUND AND SHALL BE ROUTED ISOLATED THROUGH TO THE GUTTER.
4. ELECTRICAL CONTRACTOR SHALL PAY FOR AND COORDINATE ELECTRICAL SERVICE UPGRADES WITH LOCAL UTILITY COMPANY.
5. ELECTRICAL CONTRACTOR SHALL FILL TRENCH EXCAVATIONS AS NOTED IN TRENCHING NOTES OF THESE DOCUMENTS.
6. STUB UP LOCATIONS FOR ELECTRICAL AND TELEPHONE SHALL BE COORDINATED WITH LESSEE.
7. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY POWER ON JOB SITE INCLUDING ENTRY CONDUCTORS, METER AND DISCONNECTS AS REQUIRED. IF POWER COMPANY TEMPORARY SERVICE IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE A 10KW MINIMUM SIZE GENERATOR TO SUPPLY DEMAND.
8. COORDINATE EXACT ROUTE OF UNDERGROUND CONDUITS WITH LOCAL UTILITY COMPANY PRIOR TO INSTALLATION.
9. PROVIDE LONG SLEEVE ELBOWS.
10. TELCO CABINET, PANEL, SPD, & EQUIPMENT, ARE TYPICALLY PROVIDED BY OTHERS AND ARE SHOWN FOR REFERENCE ONLY.
11. SPOT ALL UNDERGROUND UTILITIES AND SPECIALTY ITEMS SUCH AS GROUND RODS AND GROUND RINGS PRIOR TO DIGGING. ITEMS ARE NOT LIMITED TO THE ABOVE. DAMAGED ITEMS SHALL BE REPAIRED AT NO ADDITIONAL COST TO OWNER. BACKFILL AND PATCH TO MATCH EXISTING CONDITIONS. REFER TO "TRENCHING" IN THIS PROJECT'S DOCUMENTS.
12. ELECTRICAL CONTRACTOR SHALL COORDINATE ELECTRICAL EQUIPMENT BONDING WITH EXTERNAL GROUND RING WITH CONTRACTOR PERFORMING THE WORK ON THE GROUNDING PLANS.

## 1 GENERAL NOTES



### KEYED NOTES:

1. BOND ENCLOSURE TO GROUND RING PER NATIONAL ELECTRICAL CODE. REFER TO GROUNDING PLANS.
2. BONDING JUMPER TO ENCLOSURE SHALL NOT BE PROVIDED IF THIS EQUIPMENT IS LOCATED "DOWN-LINE" FROM THE SERVICE EQUIPMENT. BONDING JUMPER SHALL ONLY BE LOCATED IN THE SERVICE ENTRANCE EQUIPMENT PER THE NEC.
3. ELECTRICAL SYSTEM GROUND SHALL BONDED TO ENCLOSURE.
4. EQUIPMENT/ENCLOSURE BOND.

NOTE: THIS DETAIL PERTAINS TO ALL METALLIC EQUIPMENT AND IS SYMBOLIC OF ACTUAL INSTALLATION AND TO BE USED FOR GENERAL GROUNDING REFERENCE ONLY.

## 2 EQUIPMENT GROUNDING DETAIL

SCALE: NOT TO SCALE

LIGHTING FIXTURE SCHEDULE						
TYPE	MFGR.	CATALOG NO.	DESCRIPTION	MOUNTING	LAMPS	VOLTS
A	HUBBELL	LMC-30LU-5K-4-1-PC(120) (SEE BELOW)	FULL CUTOFF DARK SKY FRIENDLY	POLE	LED	120

NOTE: TYPE "A" FIXTURE TO BE MOUNTED W/ SPAULDING SLIP FITTER AASF AND TENON REDUCER Z85-B-4-GR. PROVIDE ALL MOUNTING HARDWARE

## 3 LIGHTING FIXTURE SCHEDULE

SCALE: NONE

PANEL:	VZW ILC	MODEL NUMBER	ASCO D300L SERIES
VOLTAGE:	120/240V	PHASE/WIRE	1 3
MAIN BREAKER:	200A	BUS RATING:	200A
MOUNT:	SURFACE	NEUTRAL BAR:	YES
ENCLOSURE TYPE:	NEMA 3R	AIC RATING	25K
VA			
Ckt #	Description	Bkr/P	Description
1	RECTIFIER	30/2	2,160
3	"	"	2,160
5	RECTIFIER	30/2	2,160
7	"	"	2,160
9	RECTIFIER	30/2	2,160
11	"	"	2,160
13	RECTIFIER	30/2	2,160
15	"	"	2,160
17	GFCI RECEPT/LIGHT	20/1	36 70
19	BLOCK HEATER	20/1	72
21	BATT CHARGER	20/1	72
23	SPARE	20/1	-
Total Volt-Amps		8,748	8,710
Total Volt-Amps Per Phase		17,458	17,352
Total Per Phase		17,458	17,352
Plus 25% Per NEC		4,365	4,338
Total VA Capacity		21,823	21,690
Total Ampacity		181.85	180.75

### ELECTRICAL PANEL NOTES:

1. ALL CONDUCTORS ARE TYPE THWN (75°C) COPPER.
2. MAXIMUM LENGTH OF RUN FOR RECTIFIER CIRCUITS IS 50 FT.
3. ASCO INTEGRATED LOAD CENTER INCLUDES 200 AMP MAIN DISCONNECT AND AUTOMATIC TRANSFER SWITCH FOR STAND-BY GENERATOR.
4. RECTIFIER LOADS ARE CONSIDERED TO BE NON-CONTINUOUS.

## 4 "ILC" SCHEDULE

SCALE: NOT TO SCALE

LOAD ANALYSIS - VZW ILC						
120/240V 1-PH 3-W						
	Qty	VA/Unit	Total VA	NEC Demand	Total Demand	Amperes/Phase
						A B
RECTIFIER	8	4,320	34,560	125%	43,200	180.00 180.00
LIGHT/RECEPTACLE	1	106	106	125%	133	0.55 0.55
BATTERY CHARGER	1	72	72	125%	90	0.38 0.38
BLOCK HEATER	1	72	72	125%	90	0.38 0.38
Total Load			34,810		43,513	181.30 181.30
PROPOSE ONE (1) 200A 2P FEEDER AND PANEL TO SUPPLY POWER TO THE NEW EQUIPMENT						

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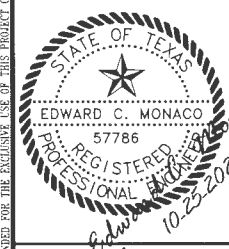
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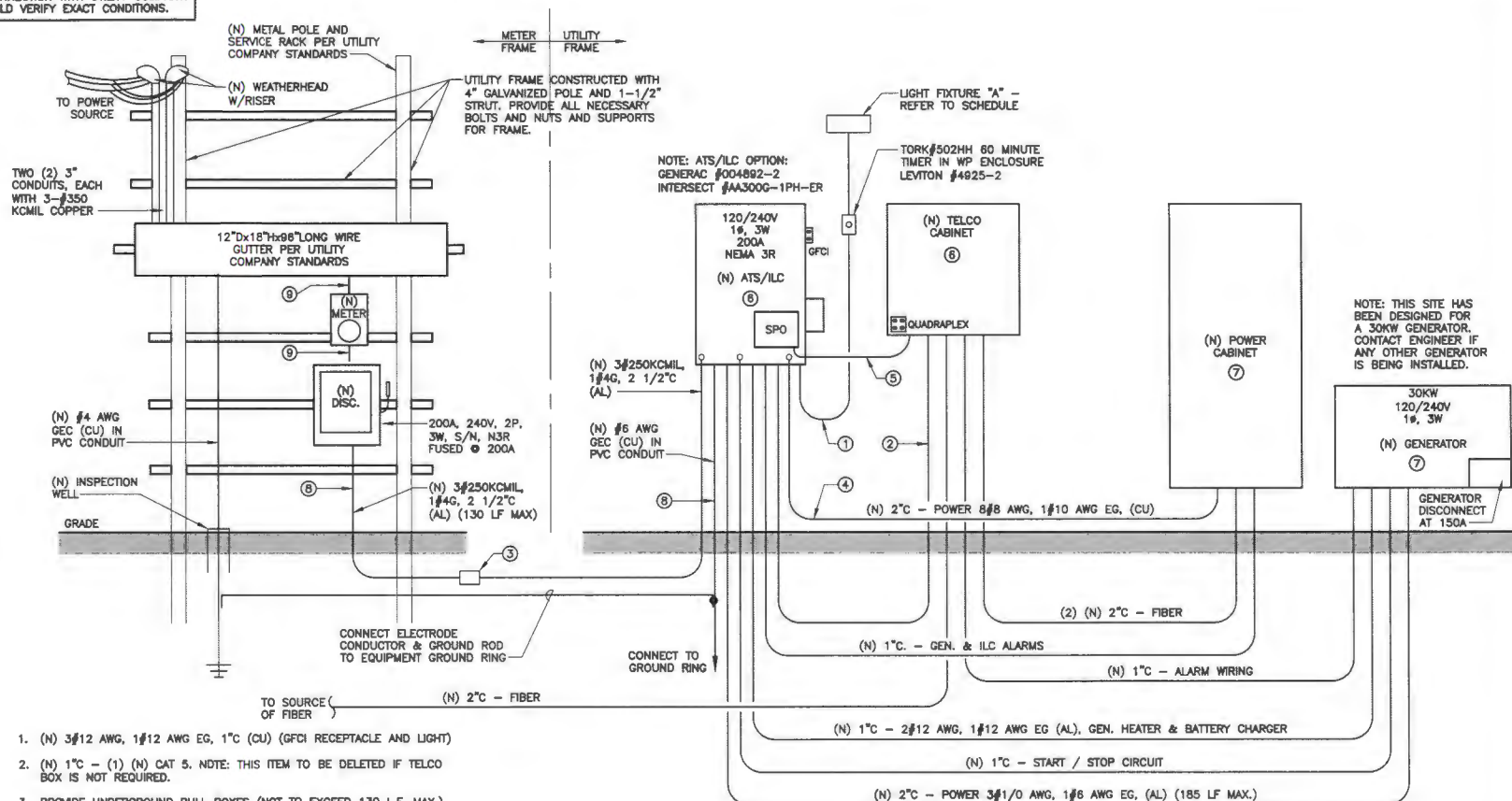
SHEET TITLE:  
DETAILS & NOTES

SHEET HISTORY  
02.01.23 PCD  
08.23.23 FCD  
10.25.23 REV. SET - GENERATOR

E3



**NOTE:**  
COORDINATE ELECTRICAL SERVICE  
CONNECTION WITH UTILITY COMPANY.  
FIELD VERIFY EXACT CONDITIONS.



1. (N) 3/8" 12 AWG, 1/2" 12 AWG EG, 1" (CU) (GFCI RECEPTACLE AND LIGHT)
2. (N) 1" - (1) (N) CAT 5. NOTE: THIS ITEM TO BE DELETED IF TELCO BOX IS NOT REQUIRED.
3. PROVIDE UNDERGROUND PULL BOXES (NOT TO EXCEED 130 L.F. MAX.) AS REQUIRED TO COMPLY WITH NEC AND LOCAL UTILITY COMPANY.
4. INSTALL (1) 1 1/2" WITH PULL STRING FOR FUTURE RECTIFIER CIRCUITS. ROUTE CONDUITS ABOVE GRADE SECURED TO EQUIPMENT FRAME.
5. (N) 1 1/2" C - ALARM. THIS ITEM TO BE DELETED IF TELCO BOX IS NOT REQUIRED.
6. PROVIDE (1) GROUNDING CONDUCTOR BONDED AT EQUIPMENT METALLIC CABINETS/ENCLOSURES AND ROUTED TO GROUND RING. REFER TO GROUNDING PLAN, TYPICAL OF ALL METALLIC CABINETS/ENCLOSURES.
7. PROVIDE (2) GROUNDING CONDUCTORS BONDED AT EQUIPMENT FRAME AND ROUTED TO GROUND RING. REFER TO GROUNDING PLAN.
8. PROVIDE 1 COPPER DEDICATED GROUND AS PER NEC & LOCAL ORDINANCE. ROUTE THRU PVC CONDUIT TO PREVENT THEFT OF COPPER.
9. (N) HUB AND WIRES BY UTILITY COMPANY STANDARDS BY CONTRACTOR. 3-#250 KCMIL AL IN 2 1/2" CONDUIT.

## 2 ELECTRICAL RISER NOTES

**1 ELECTRICAL RISER**  
SCALE: NOT TO SCALE

(AL) ALUMINUM CONDUCTORS  
(CU) COPPER CONDUCTORS

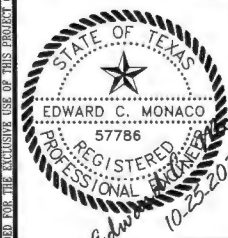
### 3 CONDUCTOR LEGEND

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SHEET TITLE  
**ELECTRICAL  
RISER**

SHEET HISTORY	
02.01.23	PCD
08.23.23	FCD
10.25.23	REV. SET - GENERATOR

E4

#### GENERAL:

THE WORK INCLUDED UNDER THIS SPECIFICATION SHALL FURTHER INCLUDE THE FURNISHING OF ALL MATERIALS AND EQUIPMENT IN THE PERFORMING OF LABOR AND SERVICES NECESSARY FOR A COMPLETE INSTALLATION OF AN ELECTRICAL SERVICE AND GROUNDING SYSTEMS FOR AN UNMANNED TELECOMMUNICATION FACILITY INCLUDING ALL RELATED SYSTEMS AND ACCESSORIES FOR THE CONTEMPLATED SITE, AS SHOWN BY THE DRAWINGS AND HEREINAFTER SPECIFIED.

#### SCOPE:

ALL WORK COVERED UNDER THIS SPECIFICATION SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE, N.E.P.A. 70, AND STANDARDS OF NATIONAL, STATE, AND LOCAL AGENCIES AND SHALL COMPLY WITH THE APPLICABLE ORDINANCES AND REGULATIONS.

THE CONTRACTOR SHALL SECURE AND OBTAIN ALL PERMITS AND LICENSES REQUIRED FOR THE PROJECT AND SHALL PAY ALL FEES IN CONNECTION WITH PERMITS, LICENSES AND BONDS TO LOCAL AUTHORITIES AS REQUIRED.

#### SITE VISITATION:

VISIT THE SITE OF THE PROPOSED WORK AND CAREFULLY EXAMINE THE EXISTING CONDITIONS AND LIMITATIONS THEREOF, INCURRED THROUGH LIMITATIONS OF THE EXISTING CONDITIONS. THE CONTRACTOR SHALL BECOME FAMILIAR WITH ALL THE REQUIREMENTS OF THE PROJECT AND SITE, AS SPECIFIED IN THE ENGINEERING DRAWINGS, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER BEFORE INITIATING SITE WORK.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF SPACE AVAILABLE AND THE SPECIFIED EQUIPMENT, RECOMMEND CHANGES TO LOCATION OF THE ELECTRICAL SERVICE, EQUIPMENT AND MATERIALS TO ALLOW THE COMPLETE INSTALLATION OF THE PROJECT, MAINTAIN EXISTING SERVICES AND STRUCTURES IN A SERVICEABLE CONDITION.

#### UTILITIES AND ELECTRICAL SERVICE:

THE DATA IS SHOWN AS ACCURATELY ON THE DRAWINGS AS THE SCALE WILL PERMIT. EACH BIDDER SHALL INCLUDE ADEQUATE FUNDS IN HIS BID PRICE TO COVER THE INSTALLATION AND CONNECTIONS OF ALL UTILITIES AND THE RELOCATION OF ALL EXISTING ELECTRICAL UTILITIES WHETHER SHOWN ON PLANS OR NOT. TEMPORARY ELECTRICAL SERVICE SHALL BE PROVIDED BY CONTRACTOR. EXACT LOCATION SHALL BE COORDINATED WITH THE LOCAL POWER COMPANY. SHOULD TEMPORARY POWER FROM POWER COMPANY NOT BE AVAILABLE, CONTRACTOR SHALL PROVIDE A MINIMUM 10KW GENERATOR FOR TEMPORARY DEMAND.

THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AND WORK, SUCH AS, SERVICE ENTRANCE CONDUCTORS, METER, METER ENCLOSURE, FEEDERS, CONDUITS, DISCONNECTS, PANELBOARD, CIRCUIT BREAKERS, LIGHTING, GUTTER, EMERGENCY GENERATOR RECEPTACLE, CABLE TRAY, TRANSFER SWITCH, TELEPHONE BOX, CONCRETE CORING, WALL PENETRATIONS, TRENCHING AND BACKFILL.

#### SUBMITTALS:

THE CONTRACTOR SHALL MAINTAIN A SET OF HAND MARKED, CURRENT "AS-BUILT" BLUELINE CONTRACT DRAWING PRINTS ON THE JOB. UPON COMPLETION OF THE WORK, FURNISH THE ARCHITECT/ENGINEER ONE SET OF BLUELINE PRINTS LEGIBLY MARKED IN RED INK OR RED PENCIL. THE CONTRACTOR SHALL INDICATE ON THE BLUELINE PRINTS ALL THE CHANGES, ADDITIONS, AND DELETIONS TO UPDATE THE ORIGINAL CONTRACT DRAWINGS.

#### GUARANTEE:

THE ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL WORK COVERED BY THIS SPECIFICATION AND TO BE FREE FROM FAULTY, DEFECTIVE, OR IMPROPER MATERIALS OR WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR AFTER THE FINAL ACCEPTANCE OF THE WORK. SHOULD ANY SUCH FAILURE OCCUR DURING SAID GUARANTEE PERIOD, THE ELECTRICAL CONTRACTOR SHALL, AT HIS OWN EXPENSE, AMEND AND MAKE GOOD ALL SUCH DEFECTS SETTLEMENTS AND/OR FAULTS.

#### QUALITY ASSURANCE:

THE CONTRACTOR SHALL PROVIDE ELECTRICAL COMPONENTS, DEVICES, AND ACCESSORIES THAT ARE LISTED AND LABELED AS DEFINED IN NFPA 70, ARTICLE 100, BY A TESTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION, AND MARKED FOR INTENDED USE. COMPLY WITH NFPA 70. PROVIDE WIRES AND CABLES SPECIFIED IN THE DRAWINGS THAT ARE LISTED AND LABELED.

#### DEMOLITION:

THE CONTRACTOR SHALL PROTECT EXISTING ELECTRICAL EQUIPMENT AND INSTALLATIONS INDICATED TO REMAIN. IF DAMAGED OR DISTURBED IN THE COURSE OF THE WORK, REMOVE DAMAGED PORTIONS AND INSTALL NEW PRODUCTS OF EQUAL CAPACITY, QUALITY, AND FUNCTIONALITY. EXISTING CODE VIOLATIONS SHALL BE IDENTIFIED AND CORRECTED BEFORE INITIATING PROJECT WORK.

#### ACCESSIBLE WORK:

REMOVE EXPOSED ELECTRICAL EQUIPMENT AND INSTALLATIONS, INDICATED TO BE DEMOLISHED, IN THEIR ENTIRETY.

#### ABANDONED WORK:

CUT AND REMOVE BURIED RACEWAY AND WIRING, INDICATED TO BE ABANDONED IN PLACE, 2 INCHES BELOW THE SURFACE OF ADJACENT CONSTRUCTION. CAP RACEWAYS AND PATCH SURFACE TO MATCH EXISTING FINISH. REMOVE DEMOLISHED MATERIAL FROM PROJECT SITE. REMOVE, STORE, CLEAN, REINSTALL, RECONNECT, AND MAKE OPERATIONAL COMPONENTS INDICATED FOR RELOCATION.

#### ELECTRICAL REQUIREMENTS:

WHERE CONDUIT PASSES THROUGH WALLS, FLOORS, OR OTHER MASONRY SURFACES, STEEL PIPE SLEEVES SHALL BE USED. THE INSIDE DIAMETER OF THESE SLEEVES SHALL BE AT LEAST ONE-HALF INCH GREATER THAN THE OUTSIDE DIAMETER OF THE CONDUIT TO BE INSERTED. AFTER THE PIPES ARE INSTALLED, FILL THE ANNULAR SPACE BETWEEN THE PIPE AND ITS SLEEVES WITH A MASTIC OR WITH SHREDDED LEAD USING PACKING AS REQUIRED.

SLEEVES PASSING THROUGH FLOORS SHALL BE SET TO PROJECT ABOVE FINISHED FLOORS AND BE FLUSH WITH THE UNDERSIDE OF THE SLAB. WHERE CONDUIT PASSES THROUGH INTERIOR WALLS OR FLOORS, RIGID CONDUITS MAY BE USED IN LIEU OF THE STEEL PIPE SLEEVES, PROVIDED THEY HAVE APPROXIMATELY THE SAME INSIDE DIAMETER OF THE SLEEVES SPECIFIED ABOVE.

ALL PANELBOARDS, DISCONNECT SWITCHES, CIRCUIT BREAKERS, TERMINAL BOXES, JUNCTION BOXES AND OTHER SPECIAL EQUIPMENT, ITEMS FURNISHED AND/OR INSTALLED BY THE ELECTRICAL CONTRACTOR SHALL BE IDENTIFIED WITH PERMANENTLY ATTACHED ENGRAVED PLASTIC NAMEPLATES.

UL-LISTED BUILDING AND UNDERGROUND WIRES AND CABLES WITH CONDUCTOR MATERIAL, INSULATION TYPE, CABLE CONSTRUCTION AND RATING AS SPECIFIED IN THE ELECTRICAL DRAWINGS. CONDUCTORS MATERIAL FOR ALL INSTALLATIONS SHALL BE COPPER AND ALUMINUM AS INDICATED IN PLANS. SOLID CONDUCTOR FOR NO. 10 AWG AND SMALLER; STRANDED CONDUCTOR FOR #8 AWG AND LARGER.

UL-LISTED, FACTORY-FABRICATED WIRING CONNECTORS OF SIZE, AMPACITY RATING, MATERIAL, TYPE, AND CLASS FOR APPLICATION AND SERVICE INDICATED INCLUDING COPPER/ALUMINUM CONNECTORS. COMPLY WITH PROJECT'S INSTALLATION REQUIREMENTS AND AS SPECIFIED IN THE DRAWINGS AND THIS SPECIFICATION.

FITTINGS AND ACCESSORIES SUCH AS, COUPLINGS, OFFSETS, ELBOWS, EXPANSION JOINTS, ADAPTERS, HOLD-DOWN STRAPS, END CAPS, AND OTHER FITTINGS TO MATCH AND MATE WITH WIRINGWAYS AS REQUIRED FOR COMPLETE SYSTEM.

SURFACE METAL RACEWAYS SHALL BE OF GALVANIZED STEEL WITH SNAP-ON COVERS. FINISH WITH MANUFACTURER'S STANDARD PRIME COATING. SURFACE NONMETALLIC RACEWAYS SHALL BE OF 2-PIECE CONSTRUCTION, MANUFACTURED OF RIGID PVC COMPOUND WITH MATTE TEXTURE AND MANUFACTURER'S STANDARD COLOR. TYPES, SIZES, AND CHANNELS AS INDICATED AND REQUIRED FOR EACH APPLICATION, WITH FITTINGS THAT MATCH AND MATE WITH RACEWAYS.

#### GROUNDING AND BONDING SYSTEMS:

IF GOVERNING GROUNDING AND BONDING REQUIREMENTS WHERE TYPES, SIZES, RATINGS, AND QUANTITIES SPECIFIED ARE IN EXCESS OF THE STANDARD NATIONAL ELECTRICAL CODE (NEC) REQUIREMENTS, THE MORE STRINGENT REQUIREMENTS AND THE GREATER SIZE, RATING AND QUANTITY TYPES GOVERN.

#### EQUIPMENT GROUNDING AND BONDING CONDUCTORS:

COMPLY WITH CURRENT APPROVED EDITION NEC ARTICLE 250 FOR TYPES, SIZES, AND QUANTITIES OF EQUIPMENT GROUNDING CONDUCTORS, EXCEPT WHERE SPECIFIC TYPES, LARGER SIZES, OR MORE CONDUCTORS THAN REQUIRED BY NEC ARE SPECIFIED.

#### GROUNDING ELECTRODE:

MAIN SWITCH GROUNDING ELECTRODE SHALL BE A 10' COPPER-CLAD ROD AND SHALL BE BONDED TO THE EXTERNAL GROUNDING RING PER NEC. REFER TO GROUNDING PLANS.

THE GROUNDING ELECTRODE CONDUCTOR CONNECTION TO THE GROUNDING COPPER-CLAD ROD SHALL BE LUG CONNECTIONS. BONDING CONDUCTOR TO THE GROUND RING SHALL BE THE SAME SIZE AS GROUNDING ELECTRODE CONDUCTOR OR PER NEC. REFER TO GROUNDING PLANS.

THE GROUND RING SHALL BE CONSTRUCTED AS SPECIFIED ON THE ENGINEERING DRAWINGS. FOR A GROUND SITE, THE GROUND RING CONDUCTOR SHALL BE BURIED NO LESS THAN THIRTY (30) INCHES BELOW SITE GRADE.

#### WIRE AND CABLE GROUNDING CONDUCTORS:

CONDUCTORS SHALL BE TYPE THWN COPPER. MINIMUM SIZE SHALL BE #12AWG, EXCEPT CONTROL WIRING. ALUMINUM CONDUCTORS SHALL BE AA-8000 SERIES TYPE.

COMPLY WITH NATIONAL ELECTRICAL CODE, TABLE 8, EXCEPT AS OTHERWISE INDICATED, FOR CONDUCTOR PROPERTIES, INCLUDING STRANDING. MATERIAL OF GROUNDING CONDUCTORS TO BE COPPER AND ALUMINUM AS SPECIFIED IN PLANS. EQUIPMENT GROUNDING CONDUCTORS SHALL BE INSULATED WITH GREEN COLOR INSULATION AND GROUNDING-ELECTRODE CONDUCTORS SHALL BE STRANDED CABLE. UNDERGROUND CONDUCTORS SHALL BE BARE, TINNED, STRANDED, EXCEPT AS OTHERWISE INDICATED. BARE COPPER CONDUCTORS SHALL CONFORM TO THE FOLLOWING:

1. SOLID CONDUCTORS: ASTM B 3.
2. ASSEMBLY OF STRANDED CONDUCTORS: ASTM B 8.
3. TINNED CONDUCTORS: ASTM B 33.

#### DISTRIBUTION PANELBOARDS:

ENCLOSURES SHALL BE FLUSH OR SURFACE-MOUNTED CABINETS AS INDICATED. NEMA PB 1, TYPE 1, UNLESS OTHERWISE INDICATED TO MEET ENVIRONMENTAL CONDITIONS AT INSTALLED LOCATION.

1. OUTDOOR LOCATIONS: NEMA250, TYPE 3R.
2. WET OR DAMP INDOOR LOCATIONS: NEMA250, TYPE4.
3. HAZARDOUS AREAS INDICATED ON DRAWINGS: NEMA250, TYPE 7C.

THE BUS SHALL BE HARD DRAWN COPPER OF 98 PERCENT CONDUCTIVITY. THE MAIN AND NEUTRAL LUGS SHALL BE OF THE COMPRESSION COPPER TYPE, AND THE EQUIPMENT GROUND BUS SHALL BE ADEQUATE FOR FEEDER AND BRANCH-CIRCUIT EQUIPMENT GROUND, COPPER CONDUCTORS AND BONDED TO BOX.

PROVIDE OVERCURRENT PROTECTIVE DEVICES AS INDICATED TYPES, AS INTEGRAL COMPONENTS OF PANELBOARDS, SWITCHBOARDS, AND ALSO AS INDIVIDUALLY ENCLOSED AND MOUNTED SINGLE UNITS.

#### BRANCH-CIRCUIT BREAKERS:

WHERE OVERCURRENT PROTECTIVE DEVICES ARE INDICATED TO BE CIRCUIT BREAKERS, USE BOLT-ON CIRCUIT BREAKERS, EXCEPT CIRCUIT BREAKERS 225-A FRAME SIZE AND GREATER MAY BE PLUG-IN TYPE WHERE INDIVIDUAL POSITIVE-LOCKING DEVICE REQUIRES MECHANICAL RELEASE FOR REMOVAL. OVERCURRENT PROTECTIVE DEVICES SHALL BE MOLDED-CASE CIRCUIT BREAKER, NEMA AB 1, HANDLE LOCKABLE, AND CHARACTERISTICS SHALL INCLUDE FRAME SIZE, TRIP RATING, NUMBER OF POLES, AND AUXILIARY DEVICES AS INDICATED AND INTERRUPTING CAPACITY RATING TO MEET AVAILABLE FAULT CURRENT.

#### DISCONNECT SWITCHES:

ENCLOSED, NONFUSIBLE SWITCH: NEMA KS 1, TYPE HD, WITH LOCKABLE HANDLE, ENCLOSED, FUSIBLE SWITCH, 800A AND SMALLER: NEMA KS 1, TYPE HD, CLIPS TO ACCOMMODATE SPECIFIED FUSES, ENCLOSURE CONSISTENT WITH ENVIRONMENT WHERE LOCATED, HANDLE LOCKABLE WITH 2 PADLOCKS, AND INTERLOCKED WITH COVER IN CLOSED POSITION.

#### ENCLOSURE:

NEMA KS 1, TYPE 1, UNLESS OTHERWISE SPECIFIED OR REQUIRED TO MEET ENVIRONMENTAL CONDITIONS OF INSTALLED LOCATION.

1. OUTDOOR LOCATIONS: TYPE 3R.
  2. WET OR DAMP INDOOR LOCATIONS: TYPE 4.
  3. HAZARDOUS AREAS INDICATED ON DRAWINGS: TYPE 7C.
- CONNECT DISCONNECT SWITCHES AND CIRCUIT BREAKERS AND COMPONENTS TO WIRING SYSTEM AND TO GROUND AS INDICATED AND INSTRUCTED BY MANUFACTURER. TIGHTEN ELECTRICAL CONNECTORS AND TERMINALS ACCORDING TO MANUFACTURER'S PUBLISHED TORQUE-TIGHTENING VALUES. WHERE MANUFACTURER'S TORQUE VALUES ARE NOT INDICATED, USE THOSE SPECIFIED IN UL 485A AND UL 485B.

#### TESTING:

AFTER INSTALLING DISCONNECT SWITCHES AND CIRCUIT BREAKERS AND AFTER ELECTRICAL CIRCUITRY HAS BEEN ENERGIZED, DEMONSTRATE PRODUCT CAPABILITY AND COMPLIANCE WITH REQUIREMENTS.

#### METER INSTALLATION:

ELECTRICAL CONTRACTOR SHALL MOUNT METER SOCKET AND METER ENCLOSURE IN AN APPROVED MANNER USING GOOD WORKMANSHIP. METER SOCKET AND ENCLOSURE SHALL BE MOUNTED PLUMB, LEVEL, AND BE FASTENED DIRECTLY TO THE BUILDING OR STRUCTURE USING REMOVABLE STEEL FASTENERS THAT DO NOT RELY ON PLASTIC OR SIMILAR NON-METALLIC EXPANSION COMPONENTS. WOODEN BACKERS MAY BE USED WHEN THEY ARE A PERMANENT PART OF A BUILDING OR STRUCTURE, AND WHERE THEY ARE NOT EXPOSED TO THE WEATHER, PENETRATIONS TO METER ENCLOSURE SHALL BE NEATLY DRILLED OR PUNCHED AND DRESSED SMOOTHLY.

METER SOCKET SHALL BE OF A SINGLE POSITION, SINGLE PHASE, AS FURNISHED BY THE LOCAL ELECTRIC UTILITY. THE ELECTRICAL CONTRACTOR SHALL SELECT A METER SOCKET TO COORDINATE WITH AN ESTIMATED DEMAND LOAD OF 200 AMPERES AND A SINGLE PHASE SERVICE ENTRANCE VOLTAGE FOR AN OVERHEAD OR UNDERGROUND SERVICE.

#### TRANSFER SWITCH:

TRANSFER SWITCH SHALL BE RATED FOR ELECTRICAL SERVICE. VOLTAGE, AMPERE AND ENCLOSURE AS INDICATED.

PROVIDE A TRANSFER SWITCH WITH THREE LUGS. THE TRANSFER SWITCH SHALL HAVE SPACE FOR A FULL NEUTRAL CONDUCTOR AND SHALL OPEN WHEN THE PHASE CONDUCTORS ARE OPENED.

#### SPECIAL SYSTEMS:

SPECIAL SYSTEMS CONDUIT CONSISTS OF TELEPHONE, CONTROLS OR ALARMS AND SHALL BE PROVIDED WITH PULLWIRE AND SIZED AS INDICATED ON DRAWINGS AND SHALL BE SCHEDULE 80 PVC UNLESS NOTED OTHERWISE. ALL ROUTING AND STUB-UPS SHALL BE COORDINATED WITH LESSEE.

#### TRENCHING:

CONTRACTOR SHALL DO ALL EXCAVATING REQUIRED FOR BURIED LINES AND AFTER THE WORK IS IN PLACE SHALL BACKFILL AND THOROUGHLY TAMP THE EARTH AROUND LINES AND SHALL BRING THE EARTH TO THE REQUIRED LEVEL TO PREVENT FUTURE SETTLEMENT.

ALL BACKFILLING OF TRENCHES WHERE UNDER CONCRETE FLOORS, DRIVE OR WALKS SHALL BE DONE WITH SAND, CRUSHED ROCK OR GRAVEL AND IN A MANNER THAT WILL PREVENT ANY FUTURE SETTLEMENT. ANY STREET OR SIDEWALK SURFACE DAMAGED MUST BE REPAIRED TO THE SATISFACTION OF THE LOCAL AUTHORITIES.

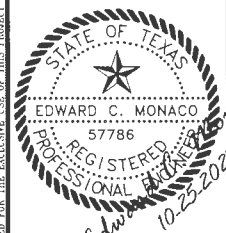
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TBP# NO. F-15659

SHEET TITLE:  
ELECTRICAL  
SPECIFICATIONS

SHEET HISTORY	
02.01.23	PCD
08.23.23	FCD
10.25.23	REV. SET - GENERATOR

E5

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PO Box 591396

San Antonio, Texas 78259

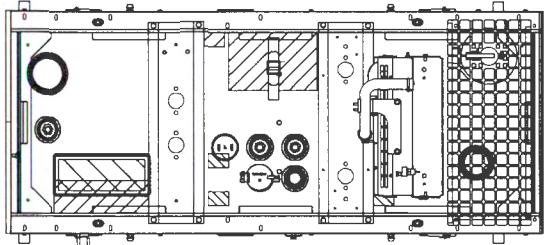
210-846-4594

edwardmonaco@hotmail.com

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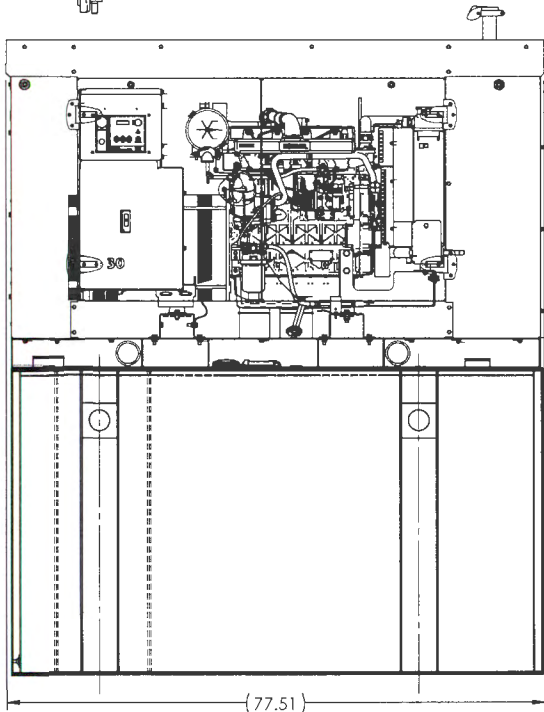


JOB #	TANK CAPACITY ACTUAL	TANK CAPACITY USEABLE	TANK WEIGHT	GENSET MODEL	GENSET FOOTPRINT	THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF GLOBAL POWER COMPONENTS. ANY REPRODUCTION IN PART OR WHOLE WITHOUT THE WRITTEN PERMISSION OF GLOBAL POWER COMPONENTS IS PROHIBITED.	APPROVED BY:	DATE:
32604	203 GAL	198 GAL	1,650 LBS	30REOZK	32" x 76.25"			

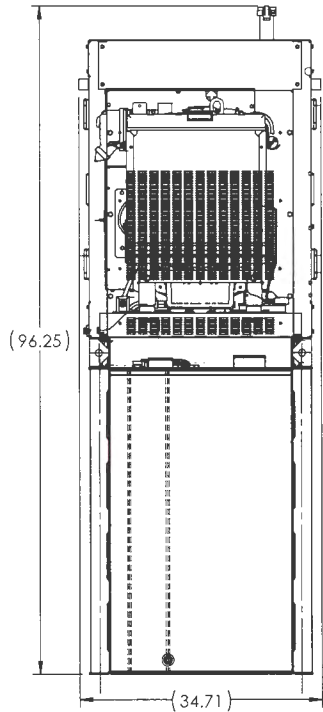


RADIATOR END

TOP



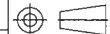


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SIDE



(96.25)

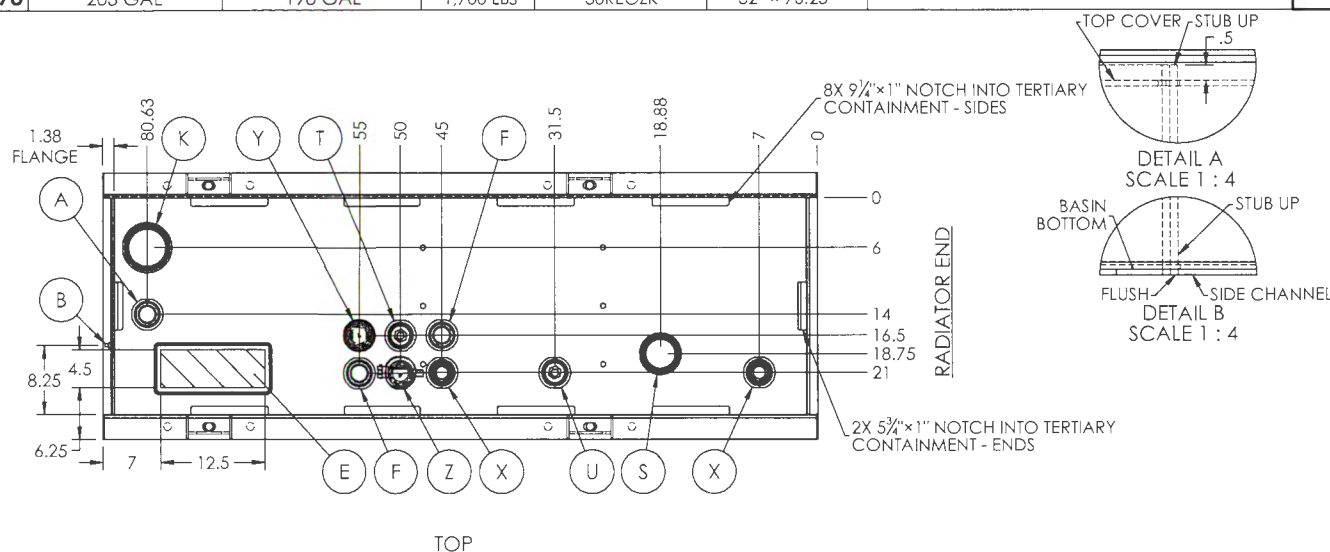
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END

REVISIONS					<b>GLOBAL POWER COMPONENTS</b>  30E1'S 5111'VE MILWAUKEE WI 53219  PH (414) 475-3000 FAX (414) 475-3441  www.globalpowercomponents.com	 Underwriters Laboratories Inc. Listed MH14481 FILE NO. MH46743 MH22279	THIRD-ANGLE PROJECTION 	CUSTOMER NAME KOHLER COMPANY  JOB REFERENCE: SO# 1018233332 / ES-85511  DRAWING REFERENCE: 15-30457*	DATE	DRAWING NO.		REV.
REV.	DESCRIPTION	DATE	BY						9/5/2019	15-32604		

SUBBASE TANK WITH RUPTURE BASIN & INTERNAL STUB UP				REV.

QUOTE #	TANK CAPACITY ACTUAL	TANK CAPACITY USABLE	TANK WEIGHT	GENSET MODEL	GENSET FOOTPRINT	THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF GLOBAL POWER COMPONENTS. ANY REPRODUCTION IN PART OR WHOLE WITHOUT THE WRITTEN PERMISSION OF GLOBAL POWER COMPONENTS IS PROHIBITED.
815390	203 GAL	198 GAL	1,700 LBS	30REOZK	32" x 76.25"	

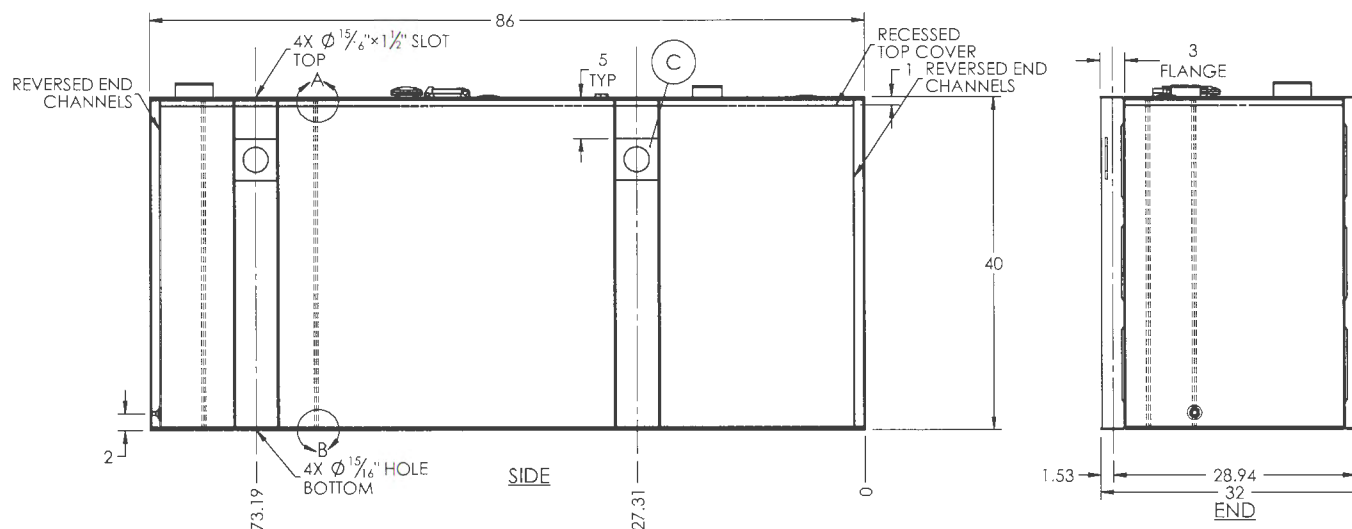
## PRELIMINARY



BILL OF MATERIALS			
ITEM	PART NUMBER	DESCRIPTION	QTY.
S	3163	FLANGE, 3", EMERGENCY VENT (IN TANK)	1
K	3164	FLANGE, 4", EMERGENCY VENT (IN SECONDARY CONTAINMENT)	1
T	3650R	FLANGE, 2", FUEL RETURN W/ 1/2" DIP TUBE	1
U	3650S	FLANGE, 2", FUEL SUPPLY W/ 1/2" DIP TUBE	1
X	1002	FLANGE, 2", SPIRAL FUEL LEVEL GAUGE (SET AT 38")	2
	1002-TS	SPIRAL TWINSITE ADAPTER #P5639S02543	2
Y	3152	FLANGE, 2", STANDARD VENT CAP	1
Z	3005	FLANGE, 2", LOCKING FILL PORT	1
A	4300	FLANGE, 2", FUEL IN BASIN ALARM (TOP MOUNT)	1
B	3502	FLANGE, 1/2", BASIN DRAIN	1
C	8410	1/4" FLUSH MOUNT LIFTING PLATE	4
E	4002	INTERNAL ELECTRICAL STUB UP	1
	SPECIAL	14"x6"x39 1/2" - STRUCTURAL SQUARE TUBE (BASIN) - 1/4" THICK	1
F	3195	FLANGE, 2", EXTRA FITTING W/ PLUG	2
	4210	RECESSED TOP COVER, 1"	1
SPECIAL		OPEN TOP TRIPLE WALL TERTIARY CONTAINMENT	
PAINT COLOR		GLOSS BLACK (9638)	

### NOTE:

- 1) STRUCTURAL SQUARE TUBE USED FOR INTERNAL STUB UP (BASIN) SIDES
- 2) STRUCTURAL TUBE EXTENDS THROUGH BASIN BOTTOM TO GRADE, & 1/2" THROUGH TOP COVER
- 3) STUB UP BASIN AS INTERNAL, INNER TANK AS NOTCHED CORNER
- 4) TANK AND BASIN E-VENTS OF DIFFERING SIZES
- 5) TWINSITE ADAPTER USED IN LIEU OF ALARM FITTINGS
- 6) NON-STANDARD BASIN BOTTOM OFFSETS
- 7) NOTCHED CUTS IN TOP COVER OVER TERTIARY CONTAINMENT



REVISIONS			
REV.	DESCRIPTION	DATE	BY



### GLOBAL POWER COMPONENTS

2391 S. 51st ST.  
MILWAUKEE, WI 53219  
PH (414) 475-3000 FAX (414) 475-3441  
www.globalpowercomponents.com

Underwriters Laboratories Inc.  
Listed File No. MH18481  
MH46743  
MH25279

### THIRD ANGLE PROJECTION



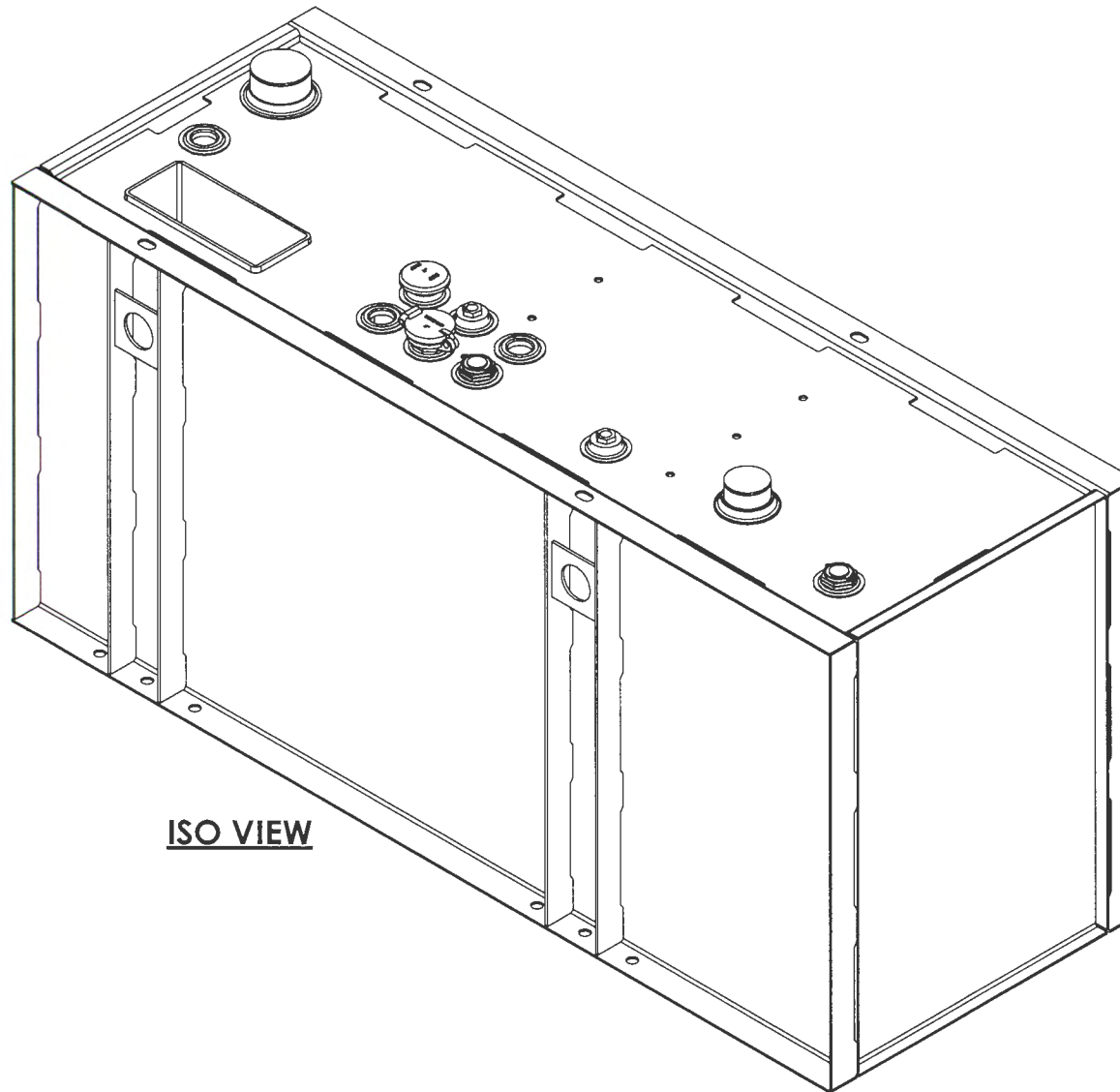
CUSTOMER NAME:  
KOHLER COMPANY  
JOB REFERENCE:  
VERIZON TERTIARY TANK  
DRAWING REFERENCE:  
X

DATE 10/28/2019	REV. BY RJK	DEV. BY RJK	SCALE 1:15	DWG. NO. 815390-00	REV. SHEET 2 OF 7
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### SUBBASE TANK WITH RUPTURE BASIN & INTERNAL STUB UP

JOB #  
**815390**

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**ISO VIEW**



**GLOBAL POWER COMPONENTS**

2400 S. 210th St.  
Maple Valley, WA 98159

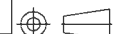
Ph: (414) 475-3000 Fax: (414) 475-3441

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Laboratories Inc.  
Listed  
File No. MH18481  
MH46743  
MH25279

UL Classified  
UL Classified  
UL Classified

THIRD ANGLE PROJECTION



CUSTOMER NAME:  
KOHLER COMPANY

JOB REFERENCE:  
VERIZON TERTIARY TANK

DRAWING REFERENCE:  
X

DATE  
10/28/2019

DRAWN BY  
RJK

SCALE: 1:9

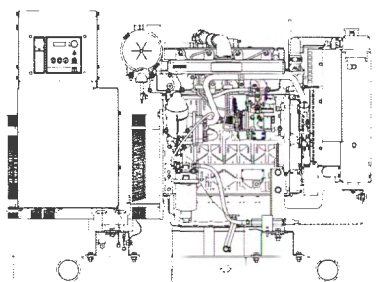
DESCRIPTION  
**SUBBASE TANK WITH RUPTURE BASIN  
ISO VIEW**

REV. NO. DWD. NO. 815390-00  
REV. SHEET 3 OF 7

**KOHLER.****Model: 30REOZK****208-600 V****Diesel**
**EPA-Certified for Stationary  
Emergency Applications**

### Ratings Range

Standby:	kW	23-31
	kVA	23-39
Prime:	kW	21-28
	kVA	21-35



### Generator Set Ratings

Alternator	Voltage	Ph	Hz	130°C Rise Standby Rating		105°C Rise Prime Rating	
				kW/kVA	Amps	kW/kVA	Amps
4D5.6	120/208	3	60	29/36	101	26/33	90
	127/220	3	60	29/36	95	26/33	85
	120/240	3	60	29/36	87	26/33	78
	120/240	1	60	23/23	96	21/21	88
	139/240	3	60	29/36	87	26/33	78
	220/380	3	60	27/34	51	25/31	47
	277/480	3	60	29/36	44	26/33	39
	347/600	3	60	29/36	35	26/33	31
	120/208	3	60	31/39	108	28/35	97
	127/220	3	60	31/39	102	28/35	92
4D8.3	120/240	3	60	31/39	93	28/35	84
	120/240	1	60	29/29	121	26/26	108
	139/240	3	60	31/39	93	28/35	84
	220/380	3	60	31/39	59	28/35	53
	277/480	3	60	31/39	47	28/35	42
	347/600	3	60	31/39	37	28/35	34
4E5.6	120/240	1	60	29/29	121	26/26	108
4E8.3	120/240	1	60	31/31	129	27/27	113

**RATINGS:** All three-phase units are rated at 0.8 power factor. All single-phase units are rated at 1.0 power factor. **Standby Ratings:** Standby rating is applicable to varying loads for the duration of a power outage. There is no overload capability for this rating. **Prime/Power Ratings:** At varying load, the number of generator set operating hours is unlimited. A 10% overload capacity is available for one hour in twelve. Ratings are in accordance with ISO-8528-1 and ISO-3046-1. For limited running time and continuous ratings, consult the factory. Obtain the technical information bulletin (TIB-101) for ratings guidelines, complete ratings definitions, and site condition details. The generator set manufacturer reserves the right to change the design or specifications without notice and without any obligation or liability whatsoever.

G5-436 (30REOZK) 11/19g

### Standard Features

- Kohler Co. provides one-source responsibility for the generating system and accessories.
- The generator set and its components are prototype-tested, factory-built, and production-tested.
- The 60 Hz generator set offers a UL 2200 listing.
- The generator set accepts rated load in one step.
- The 60 Hz generator set meets NFPA 110, Level 1, when equipped with the necessary accessories and installed per NFPA standards.
- The generator set engine is certified to meet the Environmental Protection Agency (EPA) emergency stationary emissions requirements.
- A one-year limited warranty covers all generator set systems and components. Two- and five-year extended limited warranties are also available.
- Alternator features:
  - Kohler's wound field excitation system with its unique PowerBoost™ design delivers great voltage response and short-circuit capability.
  - The brushless, rotating-field alternator has broadrange reconnectability.
- Other features:
  - Kohler designed controllers for one-source system integration and remote communication. See Controllers on page 3.
  - The low coolant level shutdown prevents overheating (standard on radiator models only).
  - Integral vibration isolation eliminates the need for under-unit vibration spring isolators.

### Alternator Specifications

Specifications	Alternator
Manufacturer	Kohler
Type	4-Pole, Rotating-Field
Exciter type	Brushless, Wound Field
Leads: quantity, type	12, Reconnectable
	4, 110-120/220-240 V
	Solid State, Volts/Hz
	NEMA MG1
Voltage regulator	Class H
Insulation:	130°C, Standby
Material	1, Sealed
Temperature rise	Flexible Disc
Bearing: quantity, type	Full
Coupling	Controlter Dependent
Amortisseur windings	100% of Rating
Voltage regulation, no-load to full-load	100% of Rated
One-step load acceptance	Standby Current
Unbalanced load capability	

- NEMA MG1, IEEE, and ANSI standards compliance for temperature rise and motor starting.
- Capable of sustained line-to-neutral short-circuit current of up to 300% of the rated current for up to 2 seconds. (IEC 60092-301 short-circuit performance.)
- Sustained short-circuit current enabling downstream circuit breakers to trip without collapsing the alternator field.
- Self-ventilated and drip-proof construction.
- Windings are vacuum-impregnated with epoxy varnish for dependability and long life.
- Superior voltage waveform from a two-thirds pitch stator and skewed rotor.

Specifications	Alternator
Peak motor starting kVA: (35% dip for voltages below)	
480 V	4D5.6 (12 lead)
480 V	4D8.3 (12 lead)
240 V	4E5.6 (4 lead)
240 V	4E8.3 (4 lead)

### Application Data

#### Engine

Engine Specifications	Kohler Diesel
Manufacturer	KDI2504TM
Engine model	4-Cycle, Turbocharged
Engine type	4 In-line
Cylinder arrangement	2.5 (158)
Displacement, L (cu. in.)	88 x 102 (3.46 x 4.02)
Bore and stroke, mm (in.)	18:1
Compression ratio	367 (1206)
Piston speed, m/min. (ft./min.)	5, Sleeve
Compression ratio	1800
Piston speed, m/min. (ft./min.)	36.4 (48.8)
Max. power at rated rpm, kWm (BHP)	Cast Iron
Cylinder head material	Cast Iron
Crankshaft material	Valve material:
Valve material:	Intake
Intake	Stainless Steel
Exhaust	Stainless Steel
Governor: type, make/model	Mechanical (or Electronic *)
	Droop, 5%
	(or Isochr. *)
Frequency regulation, no-load to full-load	±0.5%
Frequency regulation, steady state	Fixed
Frequency	Dry
Air cleaner type, all models	
* Requires available electronic governor option	

#### Exhaust

Exhaust System	
Exhaust manifold type	Dry
Exhaust flow at rated kW, m³/min. (cfm)	7.8 (275)
Exhaust temperature at rated kW, dry exhaust, °C (°F)	543 (1009)
Maximum allowable back pressure, kPa (in. Hg)	8 (2.4)
Exhaust outlet size at engine hookup, mm (in.)	50.8 (2)

#### Engine Electrical

Engine Electrical System	
Battery charging alternator:	
Ground (negative/positive)	Negative
Volts (DC)	12
Ampere rating	50
Starter motor rated voltage (DC)	12
Battery, recommended cold cranking amps (CCA):	
Quantity, CCA rating	One, 650
Battery voltage (DC)	12

#### Fuel

Fuel System	
Fuel supply line, min. ID, mm (in.)	8.0 (0.31)
Fuel return line, min. ID, mm (in.)	6.0 (0.25)
Max. lift, electric fuel pump, m (ft.)	3.0 (10.0)
Max. fuel flow, Lph (gph)	46.0 (12.2)
Max. return line restriction, kPa (in. Hg)	20 (5.9)
Fuel filter	
Prefilter	74 Microns
Primary/Water Separator	5 Microns @ 98% Efficiency
Recommended fuel	#2 Ultra Low Sulfur Diesel

#### Lubrication

Lubricating System	
Type	Full Pressure
Oil pan capacity, L (qt.)	10.7 (11.3)
Oil pan capacity with filter, L (qt.)	11 (11.6)
Oil filter: quantity, type	1, Cartridge
Oil cooler	—
§ Kohler recommends the use of Kohler Genuine oil and filters.	

G5-436 (30REOZK) 11/19g

## Application Data

### Cooling

Radiator System	
Ambient temperature, °C (°F) *	50 (122)
Engine jacket water capacity, L (gal.)	4.4 (1.6)
Radiator system capacity, including engine, L (gal.)	11.4 (3)
Engine jacket water flow, Lpm (gpm)	59.0 (15.6)
Heat rejected to cooling water at rated kW, dry exhaust, kW (Btu/min.)	27.0 (1536)
Water pump type	Centrifugal
Fan diameter, including blades, mm (in.)	406 (16.0)
Fan, kWm (HP)	0.6 (0.8)
Max. restriction of cooling air, intake and discharge side of radiator, kPa (in. H <sub>2</sub> O)	0.125 (0.5)

\* Enclosure reduces ambient temperature capability by 5°C (9°F).

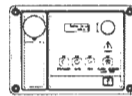
### Operation Requirements

Air Requirements	
Radiator-cooled cooling air, m <sup>3</sup> /min. (scfm) †	53.8 (1900)
Combustion air, m <sup>3</sup> /min. (cfm)	2.7 (96.9)
Heat rejected to ambient air:	
Engine, kW (Btu/min.)	10.3 (587)
Alternator, kW (Btu/min.)	6.7 (381)
Max. air intake restriction, kPa (in. Hg)	3.0 (0.89)

† Air density = 1.20 kg/m<sup>3</sup> (0.075 lbm/ft<sup>3</sup>)

Fuel Consumption	
Diesel, Lph (gph) at % load	Standby Rating
100%	9.8 (2.6)
75%	7.9 (2.1)
50%	5.7 (1.5)
25%	3.4 (0.9)
Diesel, Lph (gph) at % load	Prime Rating
100%	9.1 (2.4)
75%	7.2 (1.9)
50%	5.3 (1.4)
25%	3.0 (0.8)

## Controller



### APM402 Controller

Provides advanced control, system monitoring, and system diagnostics for optimum performance and compatibility.

- Digital display and menu control provide easy local data access
- Measurements are selectable in metric or English units
- Remote communication thru a PC via network or serial configuration
- Controller supports Modbus® protocol
- Integrated hybrid voltage regulator with ±0.5% regulation
- Built-in alternator thermal overload protection
- NFPA 110 Level 1 capability

Refer to G6-161 for additional controller features and accessories.

Modbus® is a registered trademark of Schneider Electric.

# KOHLER.

KOHLER CO., Kohler, Wisconsin 53044 USA  
Phone 920-457-4441, Fax 920-459-1646  
For the nearest sales and service outlet in the US and Canada, phone 1-800-544-2444  
KOHLERPower.com

### Additional Standard Features

- Air Cleaner, Heavy Duty with Air Cleaner Restriction Indicator
- Alternator Protection
- Battery Rack and Cables
- Closed Crankcase Ventilation
- Oil Drain and Coolant Drain with Hose Barb
- Oil Drain Extension (with enclosure models only)
- Operation and Installation Literature
- Stainless Steel Fasteners on Enclosure (with enclosure models only)
- Rodent Guards

### Available Options

#### Approvals and Listings

- ☐ CSA Certified
- ☐ IBC Seismic Certification
- ☐ UL2200 Listing

#### Enclosed Unit

- ☐ Sound Enclosure (with enclosed critical silencer)
- ☐ Weather Enclosure (with enclosed critical silencer)
- ☐ Stainless Steel Latches and Hinges

#### Open Unit

- ☐ Exhaust Silencer, Critical (kit: PA-352663)
- ☐ Flexible Exhaust Connector, Stainless Steel

#### Fuel System

- ☐ Flexible Fuel Lines
- ☐ Fuel Pressure Gauge
- ☐ Subbase Fuel Tanks

#### Controller

- ☐ Two Input/Five Output Module
- ☐ Manual Speed Adjust (requires Electronic Governor)
- ☐ Remote Annunciator Panel
- ☐ Remote Emergency Stop
- ☐ Run Relay

#### Cooling System

- ☐ Block Heater (600 W, 110-120 V)  
Required for ambient temperatures below 0°C (32°F).
- ☐ Radiator Duct Flange

#### Electrical System

- ☐ Alternator Strip Heater
- ☐ Battery
- ☐ Battery Charger, Equalize/Float Type
- ☐ Battery Heater
- ☐ Electronic Governor
- ☐ Line Circuit Breaker (NEMA type 1 enclosure)
- ☐ Line Circuit Breaker with Shunt Trip (NEMA type 1 enclosure)

#### Miscellaneous

- ☐ Engine Fluids Added
- ☐ Rated Power Factor Testing

#### Literature

- ☐ General Maintenance
- ☐ NFPA 110
- ☐ Overhaul
- ☐ Production

#### Warranty

- ☐ 2-Year Basic Limited Warranty
- ☐ 5-Year Basic Limited Warranty
- ☐ 5-Year Comprehensive Limited Warranty

#### Other Options

- ☐
- ☐
- ☐
- ☐
- ☐

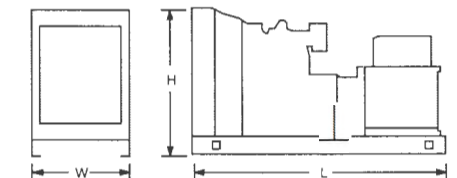
### Dimensions and Weights

Overall Size, L x W x H, mm (in.):

Open Unit Skid: 1400 x 813 x 1024 (55.1 x 32.0 x 40.3)

Enclosure Skid: 1938 x 813 x 1174 (76.5 x 32.0 x 47.0)

Weight (radiator model), wet, kg (lb.): 512 (1130)



NOTE: This drawing is provided for reference only and should not be used for planning installation. Contact your local distributor for more detailed information.

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**SERVICE FACILITY**  
**FOR**  
**THIS PROPERTY**  
**CUP2022-0041**



CITY OF MCALLEN PLANNING DEPT.  
956-681-1250  
WWW.MCALLE.NET





# Memo

**TO:** Planning and Zoning Commission

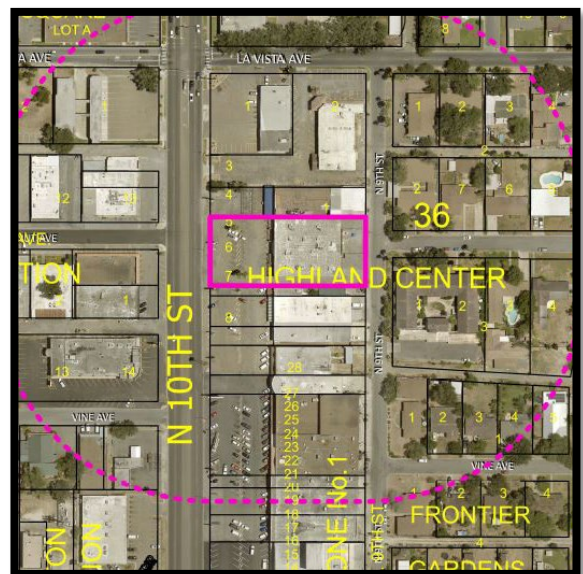
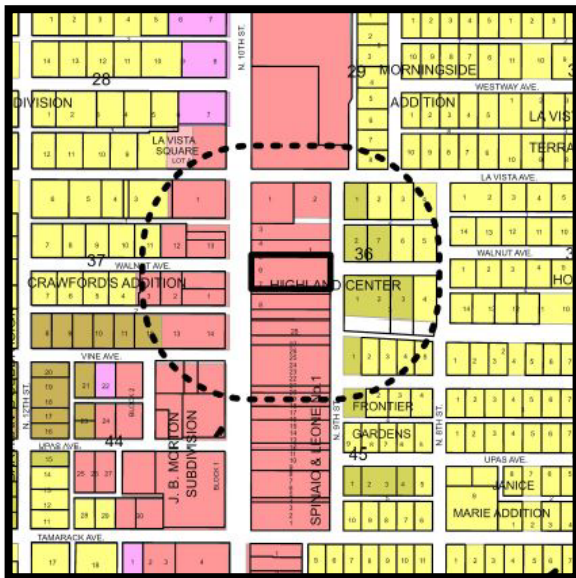
**FROM:** Planning Staff

**DATE:** November 7, 2024

**SUBJECT: REQUEST OF TANYA DE LA ROSA, FOR A CONDITIONAL USE PERMIT, FOR ONE YEAR, AND ADOPTION OF AN ORDINANCE FOR AN EVENT CENTER AT S 35' OF LOT 5 AND ALL LOT 6 AND THE N 40' OF LOT 7, BLOCK 1, HIGHLAND CENTER SUBDIVISION, HIDALGO COUNTY, TEXAS, 2300 NORTH 10TH STREET SUITE C. (CUP2024-0125)**

### BRIEF DESCRIPTION:

The property is located on the east side of North 10<sup>th</sup> Street and is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the north, south and west, and R-2 (duplex-four plex) District to the east. Surrounding land uses include single family residences, an institutional use day care, an event center, and an empty suite located in the plaza. An event center is permitted in a C-3 District with a Conditional Use Permit and in compliance with requirements.



## HISTORY:

This is the initial application for a conditional use permit for an event center at this location. .

The current application for the event center was submitted October 24, 2024 for one year.

**REQUEST/ANALYSIS:**

The applicant is proposing to operate an event center from an existing 1,344 square foot suite. Currently, there are several multi-tenant commercial buildings to the south of the proposed event center. The building that the event center is proposed at currently has a child daycare, an event center, and a vacant suite. The proposed hours of operation are from 7 a.m. to 2:00 a.m. Monday through Sunday.

The Health and Fire Departments conducted their inspections and have approved for the CUP process to continue. The establishment must also meet the requirements set forth in Section 138-118(4) of the Zoning Ordinance and specific requirements as follows:

- a) The property line of the lot of any of the abovementioned businesses must be at least 400 feet from the nearest residence or residentially zoned property, church, school, or publicly owned property, and must be designed to prevent disruptions of the character of adjacent residential areas, and must not be heard from the residential area after 10:00 p.m. There are several apartment complexes to the east of the establishment;
- b) The property must be as close as possible to a major arterial and shall not generate traffic onto residential sized streets. The establishment is located on North 10<sup>th</sup> Street, and does not generate traffic into residential areas;
- c) The business must provide parking in accordance with the McAllen Off-Street Parking Ordinance as a minimum, and make provisions to prevent the use of adjacent streets for parking. The multi-tenant building is a mix of commercial businesses; there are approximately 27 parking spaces on site. The event center requires 13 parking spaces.
- d) The business must do everything possible to prevent the unauthorized parking of its patrons on adjacent properties;
- e) The business shall provide sufficient lighting to eliminate dark areas and maximize visibility from a public street in order to discourage vandalism and criminal activities;
- f) The business must make provisions to keep litter to a minimum and keep it from blowing onto adjacent properties; and
- g) The above mentioned business shall restrict the number of persons within the building to those allowed by the Planning and Zoning Commission at the time of permit issuance, after having taken into account the recommendations of the Fire Marshal, Building Official and Planning Director.

There have been no phone calls, emails, or letters of opposition to the conditional use permit request.

**RECOMMENDATION:**

Staff recommends disapproval of the request due to non-compliance with requirement A (distance to a residence or residentially zoned property) and requirement C (parking requirement) of Section 138-118(a)(4) of the Zoning Ordinance.





  
Indoor Playground • Events

- **EVENT CENTER**
- **FIESTAS IN**
- **PLAYDATE**
- **INDOOR PLAYGROUND**

NOTICE  
EVENT CENTER  
FOR  
THIS PROPERTY  
CUP2024-0125

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**TE ESPERAMOS!**



## Memo

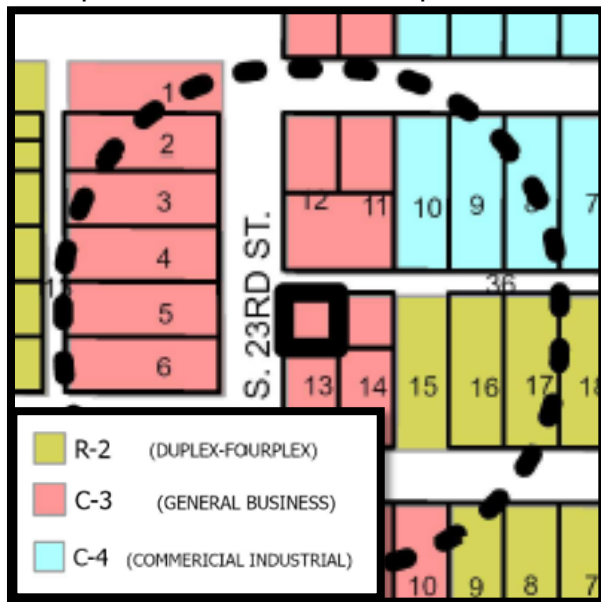
**TO:** Planning and Zoning Commission

**FROM:** Planning Staff

**DATE:** November 7, 2024

**SUBJECT: REQUEST OF JUAN C. HERNANDEZ ON BEHALF OF OMAR CAVAZOS, FOR A CONDITIONAL USE PERMIT, FOR LIFE OF USE, AND ADOPTION OF AN ORDINANCE, FOR AN AUTOMOTIVE SERVICE AND REPAIR AT THE NORTH 50 FEET OF LOTS 13 AND 14, BLOCK 36, HAMMOND ADDITION SUBDIVISION, HIDALGO COUNTY, TEXAS; 213 SOUTH 23RD STREET. (CUP2024-0124)**

**BRIEF DESCRIPTION:** The property is located along the east side of South 23<sup>rd</sup> Street, approximately 95.3 feet north of Chicago Avenue. The property is zoned C-3 (general business) District. The adjacent zoning is C-3 District to the south and east. The surrounding land uses include car lots, other commercial uses, and single family residences. An automotive service and repair shop is permitted as a primary use within a C-3 District with a Conditional Use Permit and in compliance with all other requirements.



**HISTORY:** An application for a Conditional Use Permit (CUP) for a mechanic/tire shop for this location was submitted on October 23, 2024. The subject property was initially approved for a CUP (mechanic/tire shop) on October 21, 2020 by the City Commission, however the permit expired in 2021.

**REQUEST/ANALYSIS:** The applicant is requesting to continue operating J&E Tires and Services from a 1,584 square foot building with a garage, waiting room, storage rooms, restrooms, and a

lounge. However, the applicant is proposing to include car sales as part of the current business. The hours of operation for the business are Monday through Saturday from 8:00 A.M. to 8:00 P.M., except Tuesdays and Saturdays from 8:00 A.M. to 6:00 P.M., and closed on Sundays. Based on the total square footage of the existing building, 12 parking spaces are required; five parking spaces are being provided. The applicant is also proposing to sell three vehicles on site.

The Fire Department has conducted their necessary inspection and approved the CUP process to continue. The mechanic/tire shop must comply with the following special conditions set forth for automotive repair as a primary use in Section 138-281 of the Zoning Ordinance:

- 1) A minimum lot size of 10,000 square feet is required. According to Hidalgo County Appraisal District records, the subject property's total lot size is 4,850 square feet.
- 2) All service, repair, maintenance, painting, and other work shall take place within an enclosed area.
- 3) Outside storage of materials is prohibited.
- 4) The building where the proposed work is to take place shall be at least 100 feet from the nearest residence.
- 5) A 6-foot opaque fence to buffer the proposed use from any residential use or residentially zoned area is required. No opaque fence would be required since the lot's property lines are not immediately adjacent to any residential uses or zones.
- 6) New buildings and all conversions of existing buildings to such uses shall meet current Building Code and Fire Code requirements in terms of separation of high hazard uses from other occupancy use classifications, etc.

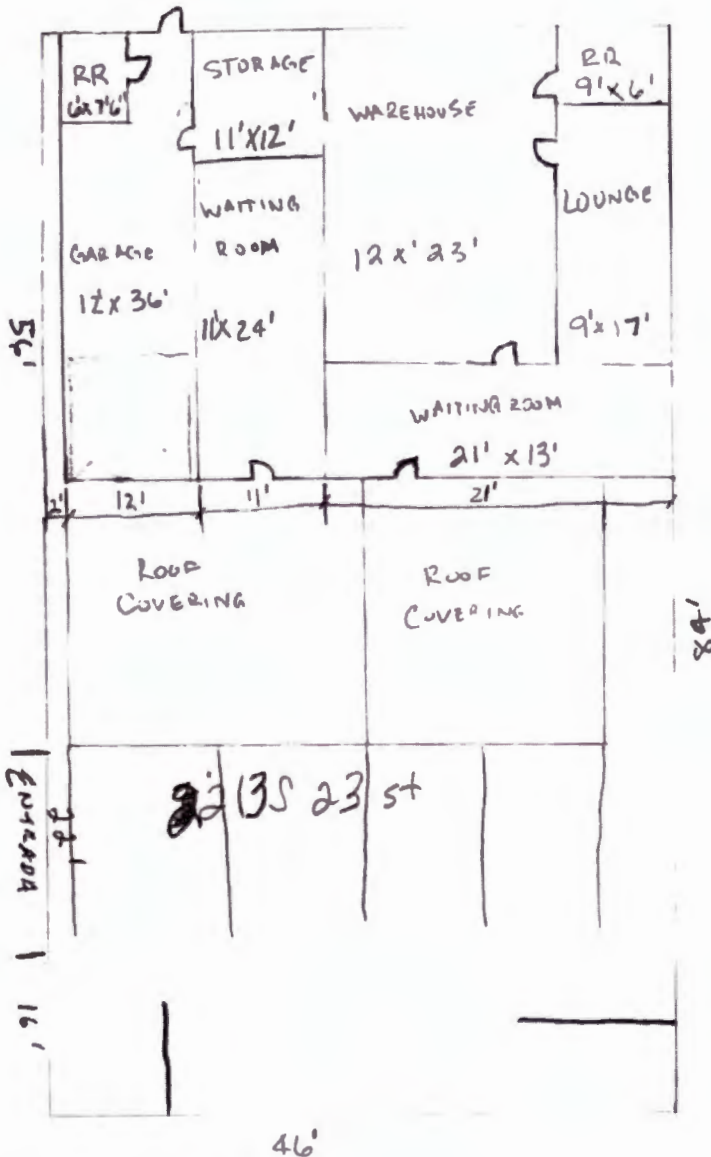
If approval is granted, the oil change facility must comply with all other Zoning Ordinances, Building Codes, and Fire Department requirements that will be requested during the building permitting process.

Staff has not received any phone calls, emails, or letters in opposition to this request.

**RECOMMENDATION:** Staff recommends disapproval of the request subject to noncompliance with requirement #1 (minimum lot size), requirement #4 (distance) and parking requirements.

# — site plan —

W



JUAN Hernandez  
10-11-24  
JUAN Hernandez

Juan Hernandez  
8-19-20  
JUAN Hernandez

**RECEIVED**  
AUG 11 2017  
BY: *[Signature]*

**RECEIVED**  
OCT 23 2024  
By: *NG*

P1

P2

P3

213 S 23rd St Building

Work Area #1

Work Area #2

Car lot Space #1

Car lot Space #2

Car lot space #3

Car lot Space #4

P4

P5

23rd St







## **Memo**

**TO:** Planning and Zoning Commission

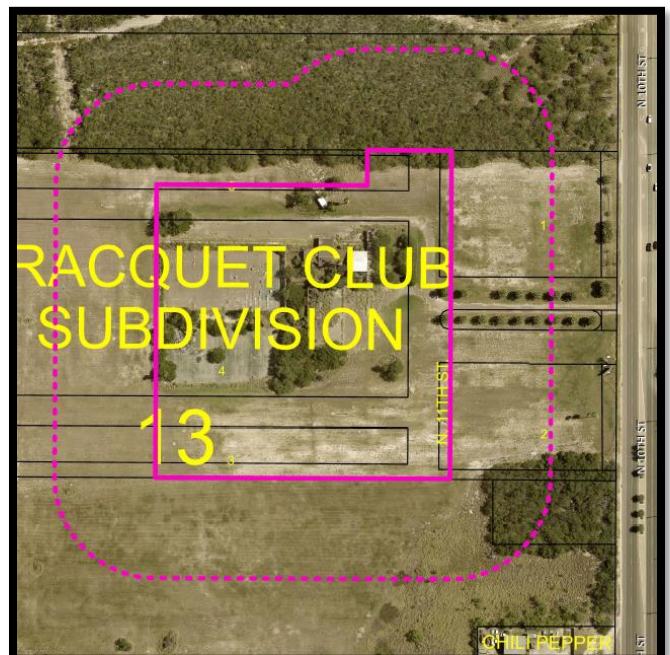
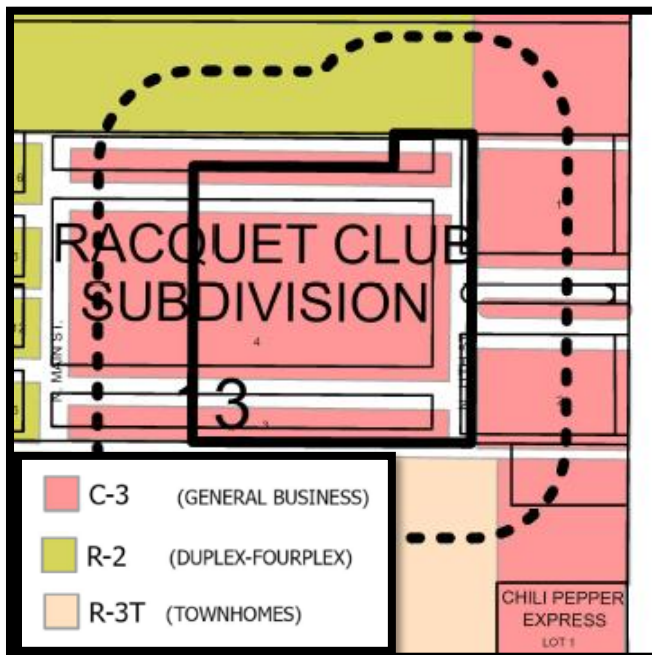
**FROM:** Planning Staff

**DATE:** November 6, 2024

**SUBJECT: REZONE FROM C-3 (GENERAL BUSINESS) DISTRICT TO R-1 (SINGLE FAMILY RESIDENTIAL) DISTRICT: 8.332 ACRES OUT OF BLOCKS 1, 2, 3, 4 AND 5 AND OUT OF STREETS AND ALLEYS BETWEEN BLOCKS, RACQUET CLUB SUBDIVISION, HIDALGO COUNTY, TEXAS; 11201 NORTH 10TH STREET (TRACT 1). (REZ2024-0052)**

**LOCATION:** The subject property is located along the west side of North 10<sup>th</sup> Street and approximately 630 feet north of Sprague Road. The subject property is 668.96 feet wide and 584.01 feet in depth, for a total 8.332 acres. The property is zoned C-3 (General Business) District.

**PROPOSAL:** The applicant is proposing to rezone the property to R-1 (Single Family Residential) District in order to develop a tract of land for a single family subdivision proposed as Villages at Park West Subdivision. A feasibility plan has not been submitted.



**ADJACENT ZONING:** The adjacent zoning is R-3T (Multifamily Residential Townhouses) District to the south, C-3 District to the east, and R-2 (Duplex Fourplex Residential) District to the west and north.

**LAND USE:** The subject property currently has commercial structures, which will be demolished.

as part of the proposed development. Surrounding land uses include single family residences, vacant land, Ramos BBQ and Catering, and commercial businesses.

**FUTURE LAND USE PLAN:** The Envision McAllen Land Use Plan designates the future lands use category for this property as Regional Commercial. Development types most compatible with Regional Commercial include shopping centers on a neighborhood and community scale, as well as civic and open parks. Residential developments of any kind are considered inappropriate for this area.

**DEVELOPMENT TRENDS:** The development trend for this area along North 10<sup>th</sup> Street is general business. The development trend along Sprague Road is a mix of agricultural and residential (single and multifamily residential).

**HISTORY:** The subject property was annexed on October 1, 1981 and initially zoned A-O (Agricultural and Open Space) District. The property was rezoned from A-O District to C-3 District in 2015. An application requesting to rezone the property from C-3 District to R-1 District was submitted on October 14, 2024.

**ANALYSIS:** The requested zoning does not conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan. However, it is compatible with the current zoning and development trend along Bicentennial Boulevard and Sprague Road.

The subdivision process will be required prior to building permit issuance to include parking, landscaping, and buffer/masonry screen requirements, as applicable.

Staff has not received any calls, emails, or letters in opposition to the zoning request.

**RECOMMENDATION:** Staff recommends approval of the rezoning request to R-1 (Single Family Residential) District as the zoning request is compatible with the current development trend along Bicentennial Boulevard and Sprague Road.

**EXHIBIT "A"**

October 11, 2024

**METES AND BOUNDS DESCRIPTION  
8.332 ACRES OUT OF BLOCKS 1, 2, 3, 4 AND 5 AND  
OUT OF STREETS AND ALLEYS BETWEEN BLOCKS,  
RACQUET CLUB SUBDIVISION,  
CITY OF McALLEN,  
HIDALGO COUNTY, TEXAS**

A tract of land containing 8.332 acres situated in the City of McAllen, County of Hidalgo, Texas, being a part or portion out of Blocks 1, 2, 3, 4 and 5 and out of Streets and Alleys between Blocks, Racquet Club Subdivision, according to the plat thereof recorded in Volume 18, Page 60, Hidalgo County Map Records, said 8.332 acres out of a certain tract conveyed to Stephen C. Reynolds by virtue of a General Warranty Deed in Lieu of Foreclosure recorded under Document Number 1960046, Hidalgo County Official Records, said 8.332 acres also being more particularly described as follows:

COMMENCING at the Northeast corner of Lot 13, Section 277, Texas-Mexican Railway Company's Survey, according to the plat thereof recorded in Volume 24, Page 168, Hidalgo County Deed Records, also being the Northeast corner of said Racquet Club Subdivision and within the existing right-of-way of 10th Street, from which a No. 4 rebar found on the Southeast corner of Lot 1, Chilli Pepper Express according to the plat thereof recorded in Volume 28, Page 92, Hidalgo County Map Records, bears S 08° 35' 29" W a distance of 1,088.00 feet and N 80° 56' 34" W a distance of 50.00 feet;

THENCE, N 80° 56' 31" W along the North line of said Racquet Club Subdivision, at a distance of 50.00 feet pass a No. 4 rebar set on the existing West right-of-way line of 10<sup>th</sup> Street, continuing a total distance of 352.52 feet to a No. 4 rebar set for the Northeast corner and POINT OF BEGINNING of this herein described tract;

1. THENCE, S 08° 44' 29" W a distance of 668.96 feet to a No. 4 rebar set for the Southeast corner of this tract;
2. THENCE, N 80° 56' 31" W along the South line of said Racquet Club Subdivision, a distance of 584.01 feet to a No. 4 rebar set for the Southwest corner of this tract;
3. THENCE, N 08° 44' 29" E a distance of 601.45 feet to a No. 4 rebar set for the Southernmost Northwest corner of this tract;
4. THENCE, S 81° 15' 31" E a distance of 418.00 feet to a No. 4 rebar set for an inside corner of this tract;
5. THENCE, N 08° 44' 29" E a distance of 65.20 feet to a No. 4 rebar set on the North line of said Racquet Club Subdivision, for the Northernmost Northwest corner of this tract;
6. THENCE, S 80° 56' 31" E along the North line of said Racquet Club Subdivision, a distance of 166.00 feet to the POINT OF BEGINNING and containing 8.332 acres of land, more or less.

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY AFFIRM THAT THIS METES AND BOUNDS DESCRIPTION REPRESENTS THE RESULTS OF A SURVEY MADE ON THE GROUND ON 06/13/2024 UNDER MY DIRECTION AND SUPERVISION.

ROBERTO N. TAMEZ, R.P.L.S. #6238

DATE:











## Planning Department

### Memo

**TO:** Planning and Zoning Commission

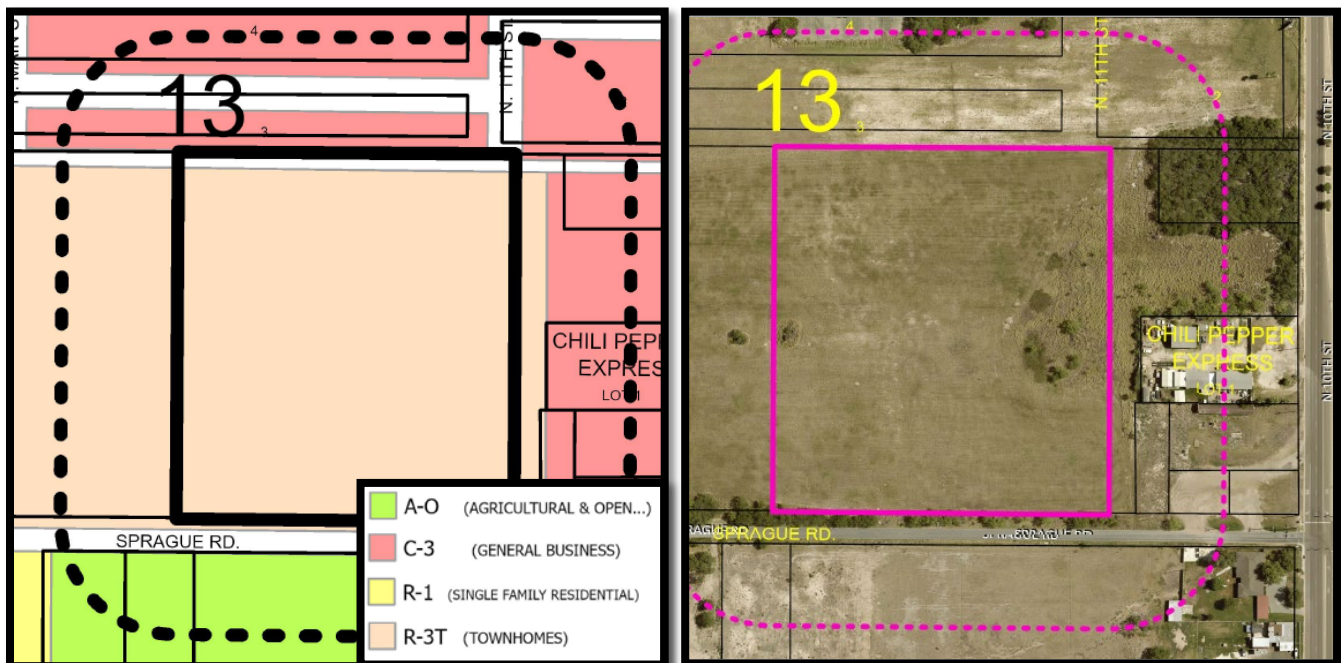
**FROM:** Planning Staff

**DATE:** November 6, 2024

**SUBJECT: REZONE FROM R-3T (MULTIFAMILY RESIDENTIAL TOWNHOUSES) DISTRICT TO R-1 (SINGLE FAMILY RESIDENTIAL) DISTRICT: 8.728 ACRES OUT OF LOT 13, SECTION 227, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY SUBDIVISION, HIDALGO COUNTY, TEXAS; 11201 NORTH 10TH STREET (TRACT 2). (REZ2024-0053)**

**LOCATION:** The subject property is located along the west side of North 10<sup>th</sup> Street and adjacent to Sprague Road. The subject property is 668.96 feet wide and 651.02 feet in depth, for a total 8.728 acres. The property is zoned R-3T (Multifamily Residential Townhomes) District.

**PROPOSAL:** The applicant is proposing to rezone the property to R-1 (Single Family Residential) District in order to develop a tract of land for a single family subdivision proposed as Villages at Park West Subdivision. A feasibility plan has not been submitted.



**ADJACENT ZONING:** The adjacent zoning is R-3T District to the west, C-3 (General Business) District to the north and east, and A-O (Agricultural and Open Space) District to the south.

**LAND USE:** The subject property is currently vacant. Surrounding land uses include single family residences, vacant land, Ramos BBQ and Catering, and commercial businesses.

**FUTURE LAND USE PLAN:** The Envision McAllen Land Use Plan designates the future lands use category for this property as Regional Commercial. Development types most compatible with Regional Commercial include shopping centers on a neighborhood and community scale, as well as civic and open parks. Residential development of any kind are considered inappropriate for this area.

**DEVELOPMENT TRENDS:** The development trend for this area along North 10<sup>th</sup> Street is general business. The development trend along Sprague Road and Bicentennial Boulevard is a mix of agricultural and residential (single and multifamily residential).

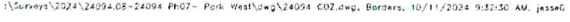
**HISTORY:** The subject property was annexed on October 1, 1981 and initially zoned A-O District. The subject property was rezoned from A-O District to R-3T District in 2015. An application requesting to rezone the property from R-3T District to R-1 District was submitted on October 14, 2024.

**ANALYSIS:** The requested zoning does not conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan. However, it is compatible with the current zoning and development trends along Bicentennial Boulevard and Sprague Road.

The subdivision process will be required prior to building permit issuance to include parking, landscaping, and buffer/masonry screen requirements, as applicable.

Staff has not received any calls, emails, or letters in opposition to the zoning request.

**RECOMMENDATION:** Staff recommends approval of the rezoning request to R-1 (Single Family Residential) District as the zoning request is compatible with the current development trend along Bicentennial Boulevard and Sprague Road.



**EXHIBIT "A"**

October 11, 2024

**METES AND BOUNDS DESCRIPTION  
8.728 ACRES OUT OF LOT 13, SECTION 277,  
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY  
VOLUME 24, PAGE 168, H.C.D.R.  
CITY OF McALLEN  
HIDALGO COUNTY, TEXAS**

A tract of land containing 8.728 acres situated in the City of McAllen, County of Hidalgo, Texas, being a part or portion out of Lot 13, Block 277, Texas-Mexican Railway Company's Survey, according to the plat thereof recorded in Volume 24, Page 168, Hidalgo County Deed Records, said 8.728 acres out of a certain tract conveyed to Stephen C. Reynolds by virtue of a General Warranty Deed in Lieu of Foreclosure recorded under Document Number 1960046, Hidalgo County Official Records, said 8.728 acres also being more particularly described as follows:

COMMENCING at the Northeast corner of said Lot 13, Section 277, also being the Northeast corner of said Racquet Club Subdivision and within the existing right-of-way of 10th Street;

THENCE, S 08° 35' 29" W a distance of 668.97 feet to a point;

THENCE, N 80° 56' 31" W at a distance of 50.00 feet pass a No. 4 rebar set on the existing West right-of-way line of 10<sup>th</sup> Street, continuing a total distance of 354.27 feet to a No. 4 rebar set for the Northeast corner and POINT OF BEGINNING of this herein described tract;

1. THENCE, S 08° 44' 29" W at a distance of 631.02 feet pass a No. 4 rebar set on the North right-of-way line of Sprague Road, continuing a total distance of 651.02 feet to a No. 4 rebar set, from which a No. 4 rebar found bears, S 80° 56' 34" E a distance of 305.81 feet and N 09° 03' 26" E a distance of 20.00 feet; for the Southeast corner of this tract;
2. THENCE, N 80° 56' 31" W within the existing right-of-way of Sprague Road, a distance of 584.01 feet to a No. 4 rebar set for the Southwest corner of this tract;
3. THENCE, N 08° 44' 29" E at a distance of 20.00 feet pass a No. 4 rebar set on the North right-of-way line of Sprague Road, continuing a total distance of 651.02 feet to a No. 4 rebar set for the Northwest corner of this tract;
4. THENCE, S 80° 56' 31" E a distance of 584.01 feet to the POINT OF BEGINNING and containing 8.728 acres gross, of which 0.268 of one acre lies within the existing right-of-way of Sprague Road, leaving a net of 8.460 acres of land, more or less.

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY AFFIRM THAT THIS METES AND BOUNDS DESCRIPTION REPRESENTS THE RESULTS OF A SURVEY MADE ON THE GROUND ON 06/13/2024 UNDER MY DIRECTION AND SUPERVISION.

  
ROBERTO N. TAMEZ, R.P.L.S. #6238

10/11/2024  
DATE:









## Planning Department

### Memo

**TO:** Planning and Zoning Commission

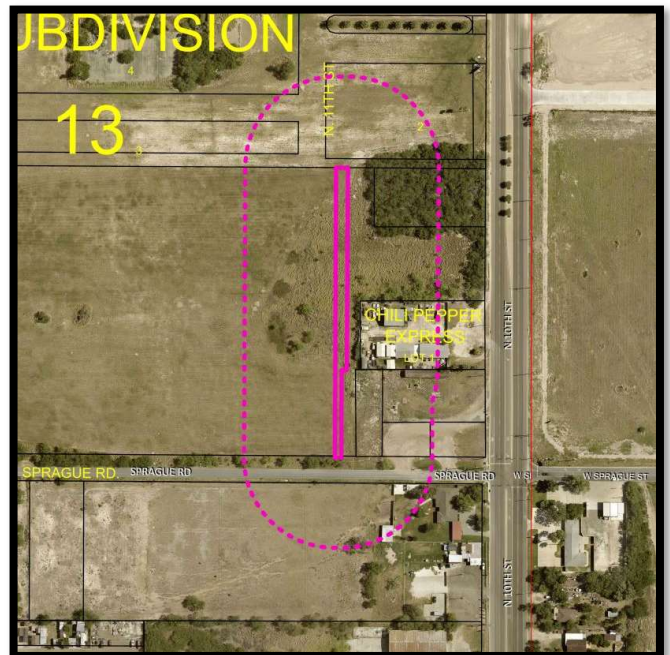
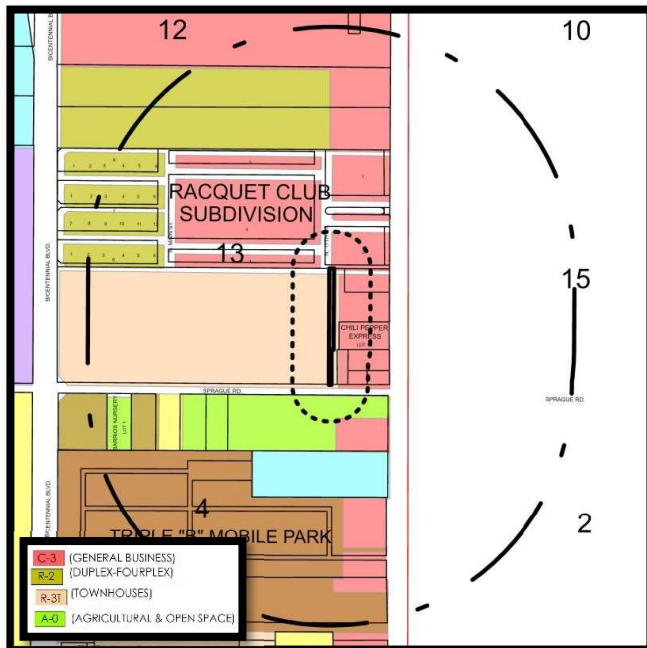
**FROM:** Planning Staff

**DATE:** November 8, 2024

**SUBJECT: REZONE FROM R-3T (RESIDENTIAL TOWNHOMES) DISTRICT TO C-3 (GENERAL BUSINESS) DISTRICT: 0.314 ACRES OF ONE ACRE OUT OF LOT 13, SECTION 277, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS; 11201 NORTH 10<sup>TH</sup> STREET (TRACT 3). (REZ2024-0055)**

**LOCATION:** The subject property is located along the north side of Sprague Road, in between North 10<sup>th</sup> Street and North Bicentennial Boulevard. The property is zoned R-3T (Residential Townhomes) District.

**PROPOSAL:** The applicant is requesting to rezone the property to C-3 (General Business) District for a commercial development. The property is currently vacant and a feasibility plan has not been submitted yet.



**ADJACENT ZONING:** The adjacent properties are zoned C-3 (general business) District to the east and north, R-3T (townhouse residential) District to the west, and A-O (agricultural and open space) District to the south across Sprague Road.

**LAND USE:** The property is currently vacant. Surrounding uses include single family and multifamily residences, commercial uses, and vacant land.



**FUTURE LAND USE PLAN:** The Envision McAllen Land Use Plan designates the future land use category for this property as Regional Commercial. Development types most compatible with Regional Commercial include shopping centers on a neighborhood and community scale, as well as civic and open parks. Residential developments of any kind are not considered appropriate for this area.

**DEVELOPMENT TRENDS:** The development trend on the east side of the property along North 10<sup>th</sup> Street is general business. On the west side along Bicentennial Boulevard, the development trend is mostly multifamily residential, single family residential and light industrial.

**HISTORY:** During the comprehensive zoning of 1979 the subject property was not part of the Extra-Territorial Jurisdiction (ETJ) and therefore there was not a zoning designation for it.

The property was annexed into the City of McAllen in October 1981 with an initial zoning to A-O (agricultural and open space) District.

A rezoning application was submitted on October 11<sup>th</sup>, 2024.

**ANALYSIS:** The requested zoning conforms to the future land use designation as shown on the Envision McAllen Future Land Use Plan. Commercial development mixed with residential are compatible with existing uses and development trends.

A subdivision and site plan review will be required prior to building permit issuance for any future developments in the property. Any future developments must also comply with the permitted and conditional uses of the designated zoning district.

Staff has not received any phone calls, emails, or letters in opposition to the initial zoning request.

**RECOMMENDATION:** Staff recommends approval of the rezoning request to C-3 (general business) District.



RIO FINANCIAL HOLDING INC.  
SPECIAL WARRANTY DEED  
DOC. NO. 3488143, H.C.O.R.

P.O.C.  
N.E. COR.  
RACQUET CLUB  
SUBDIVISION

EXHIBIT "B"



10TH STREET  
100.0' R.O.W.

STREET  
65.0' R.O.W.

LOMAS Y LAGOS SUBDIVISION  
VOL. 53, PG. 123, H.C.M.R.

**PLAT SHOWING  
0.314 OF ONE ACRE OUT OF  
LOT 13, SECTION 277,  
TEXAS-MEXICAN RAILWAY  
COMPANY'S SURVEY  
VOLUME 24, PAGE 168, H.C.D.R.  
CITY OF McALLEN  
HIDALGO COUNTY, TEXAS**

Line Table		
Line #	Direction	Length
"L1"	N 80° 56' 33" W	11.63'
"L2"	N 80° 56' 31" W	14.36'
"L3"	S 80° 56' 31" E	24.27'

**LEGEND**

- FOUND No.4 REBAR
- FOUND PIPE
- SET No.4 REBAR WITH PLASTIC
- CAP STAMPED MELDEN & HUNT, INC
- ✱ SET NAIL
- R.O.W. - RIGHT OF WAY
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- N.E. COR. - NORTHEAST CORNER
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCING
- DOC. NO. - DOCUMENT NUMBER
- AC. - OF ONE ACRE
- Σ - SAME OWNER



I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL  
LAND SURVEYOR, DO HEREBY CERTIFY THE  
FOREGOING PLAT TO BE TRUE AND CORRECT  
REPRESENTATION OF A SURVEY MADE ON THE  
GROUND ON 06/13/2024 UNDER MY DIRECTION  
AND SUPERVISION.

ROBERTO N. TAMEZ, RPLS No. 6238 DATE: 10/11/2024



**MELDEN & HUNT INC.**  
CONSULTANTS • ENGINEERS • SURVEYORS

DATE: 10/11/2024  
JOB No. 24094.07  
FILE NAME: 24094.07  
DRAWN BY: J.G.

115 W. McINTYRE  
EDINBURG, TX 78541  
PH: (956) 381-0981  
FAX: (956) 381-1839  
ESTABLISHED 1947  
www.meldenandhunt.com

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STEPHEN C. REYNOLDS  
GENERAL WARRANTY DEED IN LIEU OF FORECLOSURE  
DOC. NO. 1960046, H.C.O.R.

- NOTES:
- SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.
  - BEARING BASIS IS FROM THE No. 4 REBAR SET AT THE NORTHWEST CORNER OF SAID RACQUET CLUB SUBDIVISION AND THE No. 4 REBAR SET AT THE NORTHEAST CORNER OF SAID RACQUET CLUB SUBDIVISION
  - ALL BEARINGS AND DISTANCES AS PER TEXAS COORDINATE SYSTEM SOUTH ZONE 4205, GRID COORDINATES.
  - SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT WHICH MAY SHOW ADDITIONAL EASEMENTS AFFECTING THIS TRACT. THE SURVEYOR IS ADVISING THE RECIPIENT OF THIS PLAT THAT ADDITIONAL EASEMENTS MAY AFFECT THIS TRACT.

"L3"

20' ALLEY

N 80° 56' 31" W 330.00'

P.O.B.

0.314 Ac. GROSS  
-0.007 Ac. SPRAGUE ROAD R.O.W.  
0.307 Ac. NET

419.03'

S 08° 35' 26" W

213.00'

N 08° 44' 29" E

651.02'

S 08° 35' 26" W

232.00'

S 08° 35' 26" W

232.00'

S 08° 35' 26" W

232.00'

S 08° 35' 26" W

232.00'

S 08° 35' 26" W

232.00'

S 08° 35' 26" W

232.00'

S 08° 35' 26" W

232.00'

S 08° 35' 26" W

232.00'

S 08° 35' 26" W

232.00'

S 08° 35' 26" W

232.00'

LOT 1  
CHILLI PEPPER EXPRESS  
VOL. 28, PG. 92, H.C.M.R.

JOHN P. ABRAHAM  
WARRANTY DEED  
DOC NO. 890618, H.C.O.R.

GRUPO TIERRA  
GENERAL WARRANTY DEED  
DOC. NO. 1612606, H.C.O.R.

"L2" SPRAGUE ROAD  
40.0' R.O.W.



**EXHIBIT "A"**

October 11, 2024

**METES AND BOUNDS DESCRIPTION  
0.314 OF ONE ACRE OUT OF LOT 13, SECTION 277,  
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY  
VOLUME 24, PAGE 168, H.C.D.R.  
CITY OF McALLEN  
HIDALGO COUNTY, TEXAS**

A tract of land containing 0.314 of one acre situated in the City of McAllen, County of Hidalgo, Texas, being a part or portion out of Lot 13, Block 277, Texas-Mexican Railway Company's Survey, according to the plat thereof recorded in Volume 24, Page 168, Hidalgo County Map Records, said 0.314 of one acre out of a certain tract conveyed to Stephen C. Reynolds by virtue of a General Warranty Deed in Lieu of Foreclosure recorded under Document Number 1960046, Hidalgo County Official Records, said 0.314 of one acre also being more particularly described as follows:

COMMENCING at the Northeast corner of said Lot 13, Section 277, also being the Northeast corner of said Racquet Club Subdivision and within the existing right-of-way of 10th Street;

THENCE, S 08° 35' 29" W a distance of 668.97 feet to a point;

THENCE, N 80° 56' 31" W at a distance of 50.00 feet pass a No. 4 rebar set on the existing West right-of-way line of 10<sup>th</sup> Street, continuing a total distance of 330.00 feet to a No. 4 rebar set for the Northeast corner and POINT OF BEGINNING of this herein described tract;

1. THENCE, S 08° 35' 26" W a distance of 419.03 feet to a No. 4 rebar set for an outside corner of this tract;
2. THENCE, N 80° 56' 33" W a distance of 11.63 feet to a No. 4 rebar found for an inside corner of this tract;
3. THENCE, S 08° 35' 26" W at a distance of 212.00 feet pass a No. 4 rebar found on the North right-of-way line of Sprague Road, continuing a total distance of 232.00 feet to a Nail set, for the Southeast corner of this tract;
4. THENCE, N 80° 56' 31" W within the existing right-of-way of Sprague Road, a distance of 14.36 feet to a Nail set for the Southwest corner of this tract;
5. THENCE, N 08° 44' 29" E at a distance of 20.00 feet pass a No. 4 rebar set on the North right-of-way line of Sprague Road, continuing a total distance of 651.02 feet to a No. 4 rebar set for the Northwest corner of this tract;
6. THENCE, S 80° 56' 31" E a distance of 24.27 feet to the POINT OF BEGINNING and containing 0.314 of one acre gross, of which 0.007 of one acre lies within the existing right-of-way of Sprague Road, leaving a net of 0.307 of one acre of land, more or less.

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY AFFIRM THAT THIS METES AND BOUNDS DESCRIPTION REPRESENTS THE RESULTS OF A SURVEY MADE ON THE GROUND ON 06/13/2024 UNDER MY DIRECTION AND SUPERVISION.

  
ROBERTO N. TAMEZ, R.P.L.S. #6238

 DATE:



OCT 14 2024

BY: \_\_\_\_\_



**OWNER'S AUTHORIZATION**

I/We, **Stephen C. Reynolds**, hereby authorize Mario A. Reyna, P.E. (President) of Melden & Hunt, Inc. to submit paperwork & attend any meetings on my behalf as they relate to the subdivision development, change of zone submittal, and other related items regarding a 52.31+/- acre tract of land situated in the City of McAllen, County of Hidalgo, Texas, said 52.31+/- acre tract of land, being a part or portion out of Lot 1, Section 277, Texas-Mexican Railway Company's Survey, according to the plat thereof recorded in Volume 24, Page 168, Hidalgo County Deed Records,

Stephen C. Reynolds  
Stephen C. Reynolds, Owner  
1903 Closner Boulevard  
Edinburg, Texas 78539

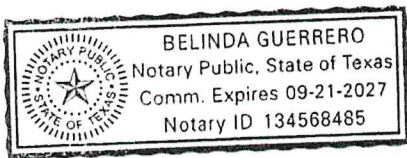
6/18/24  
Date

STATE OF TEXAS           §

COUNTY OF HIDALGO    §

Before me, the undersigned authority, on this day personally appeared **Stephen C. Reynolds** known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration herein stated.

Given under my hand and seal of office, this the 18<sup>th</sup> day of June, 2024.



Belinda Guerrero  
NOTARY PUBLIC, STATE OF TEXAS



**NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ2024-0055**



CITY OF MCALLEN PLANNING DEPT.  
956-681-1250  
WWW.MCALLENNET





## Planning Department

### Memo

**TO:** Planning and Zoning Commission

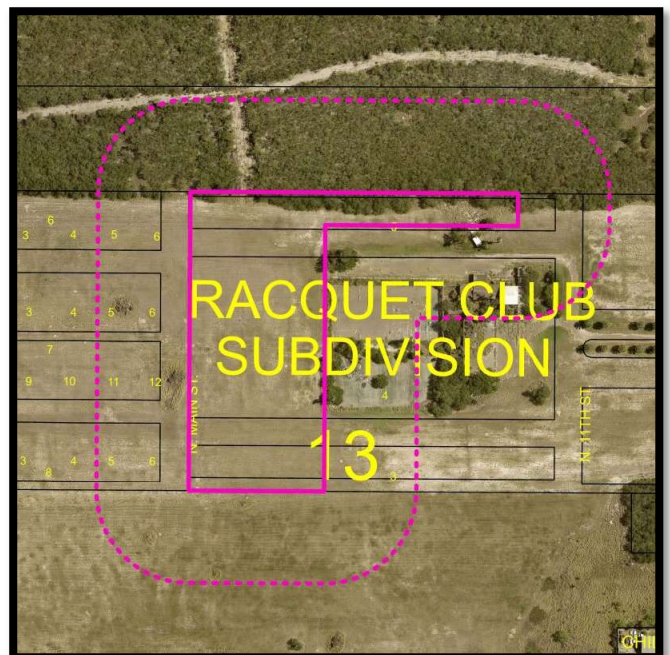
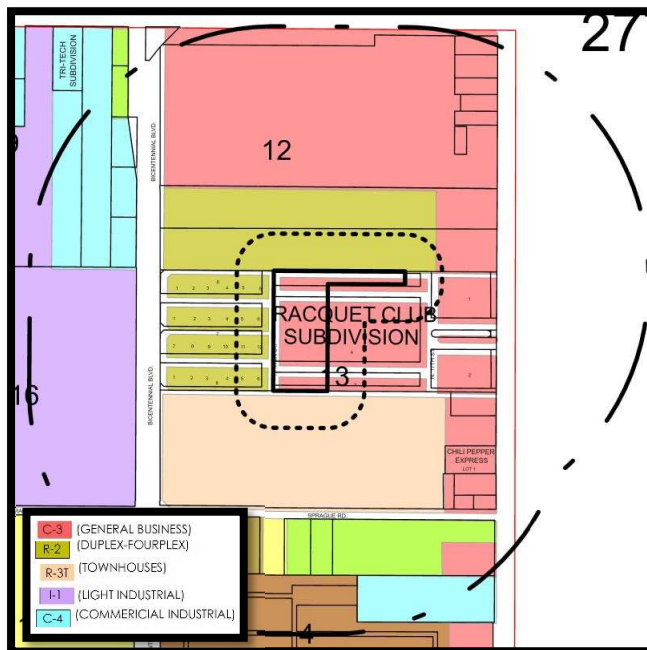
**FROM:** Planning Staff

**DATE:** November 8, 2024

**SUBJECT: REZONE FROM C-3 (GENERAL BUSINESS) DISTRICT TO R-3A (MULTIFAMILY RESIDENTIAL APARTMENTS) DISTRICT: 5.123 ACRES, OUT OF BLOCKS 3, 4 AND 5 AND OUT OF STREETS AND ALLEYS BETWEEN BLOCKS, RACQUET CLUB SUBDIVISION, HIDALGO COUNTY, TEXAS; 1400 SPRAGUE ROAD (TRACT 1). (REZ2024-0054)**

**LOCATION:** The subject property is located in between North 10<sup>th</sup> Street and North Bicentennial Boulevard, 660 feet north of Sprague Road. The property is zoned C-3 (General Business) District.

**PROPOSAL:** The applicant is requesting to rezone the property to R-3A (multifamily residential apartments) District for a multifamily residential development. The property is currently vacant and a feasibility plan has not been submitted yet.



**ADJACENT ZONING:** The adjacent properties are zoned R-2 (duplex-fourplex residential) District to the north and west, R-3T (townhouse residential) District to the south, and C-3 (general business) District to the east.

**LAND USE:** The property is currently vacant. Surrounding uses include single family and multifamily residences, light industrial uses, and vacant land.



**FUTURE LAND USE PLAN:** The Envision McAllen Land Use Plan designates the future land use category for this property as Regional Commercial. Development types most compatible with Regional Commercial include shopping centers on a neighborhood and community scale, as well as civic and open parks. Residential developments of any kind are not considered appropriate for this area.

**DEVELOPMENT TRENDS:** The development trend of this area of North Bicentennial Boulevard is a mix of commercial, industrial, and residential uses.

**HISTORY:** During the comprehensive zoning of 1979 the subject property was not part of the Extra-Territorial Jurisdiction (ETJ) and therefore there was not a zoning designation for it.

The property was annexed into the City of McAllen in October 1981 with an initial zoning to A-O (agricultural and open space) District. The property was rezoned to C-3 District in 2015.

A rezoning application was submitted on October 11<sup>th</sup>, 2024.

**ANALYSIS:** The requested zoning does not conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan. However, it is compatible with the surrounding zoning districts and development trend along Bicentennial Boulevard.

A subdivision and site plan review will be required prior to building permit issuance for any future developments in the property. Any future developments must also comply with the permitted and conditional uses of the designated zoning district.

Staff has not received any phone calls, emails, or letters in opposition to the initial zoning request.

**RECOMMENDATION:** Staff recommends approval of the rezoning request to R-3A (multifamily residential apartments) District. Since it aligns with the existing uses and development trend for this area.



NO FINANCIAL HOLDING INC.  
SPECIAL WARRANTY DEED DOC NO 348343 H.C.O.R.

S 80° 56' 31" E 708.32'

P.O.B.

N 80° 56' 31" W 518.52'

P.O.C.  
NE COR.  
LOT 13  
SECTION 27D

NORTH 11TH ST.  
60.0' R.O.W.

10TH STREET  
100.0' R.O.W.

LOMAS Y LAGOS SUBDIVISION  
VOL 53 PG 123, H.C.M.R.

NORTH MAIN ST.  
60' R.O.W.

N 09° 03' 29" E 668.95'

S 08° 44' 29" W 601.45'

N 80° 56' 31" W 294.07'

STREET 30' R.O.W.

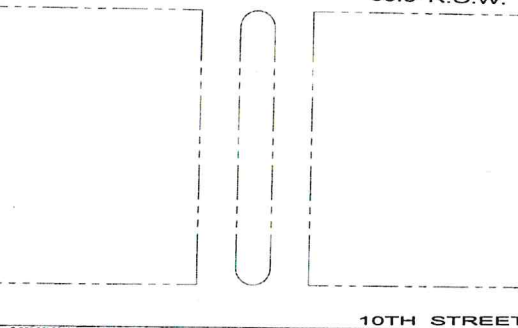
STREET 60.0' R.O.W.

STEPHEN C. RENOLDS  
GENERAL WARRANTY DEED  
IN LIEU OF FORECLOSURE  
DOC NO 1100268 H.C.O.R.

STREET 60.0' R.O.W.

N 81° 13' 31" W 418.00'

20' ALLEY



PLAT SHOWING  
5.123 ACRES OUT OF BLOCKS 3, 4  
AND 5 AND OUT OF STREETS  
AND ALLEYS BETWEEN BLOCKS,  
RACQUET CLUB SUBDIVISION  
VOLUME 18, PAGE 60, H.C.M.R.  
CITY OF MCALLEN,  
BIDALGO COUNTY, TEXAS

LOT 1  
CHILLI PEPPER EXPRESS  
VOL 28 PG 92, H.C.M.R.

N 80° 56' 31" W  
50.07'

- LEGEND**
- FOUND IN & REBAR
  - FOUND IN & REBAR WITH PLASTIC
  - CAP STAMPED WELDEN & HUNT, INC
  - ▲ SET NAIL
  - 100' = 1" SCALE
  - H.C.M.R. - HODAGO COUNTY MAP RECORDS
  - H.C.O.R. - HODAGO COUNTY DEED RECORDS
  - N.E. COR. - NORTHWEST CORNER
  - P.O.B. - POINT OF BEGINNING
  - P.O.C. - POINT OF COMMENCING
  - CONV. - CONVEYANCE
  - 1" = SAME OWNER

EXHIBIT "B"

SCALE: 1"=100'

Line Table		
Line #	Direction	Length
1	N 09° 03' 29" E	668.95'
2	S 08° 44' 29" W	601.45'
3	N 81° 13' 31" W	418.00'
4	N 80° 56' 31" W	294.07'

- NOTES:**
1. SURVEY IS MADE ONLY IF POINT HAS ORIGINAL, SOLID, AND PERMANENT MARK.
  2. BEARING, DISTANCE, IS FROM THE N. 4. BEARING SET AT THE NORTHWEST CORNER OF SHAD RACQUET CLUB SUBDIVISION AND RACQUET CLUB SUBDIVISION.
  3. ALL RELATIONS AND DISTANCES AS NEW TEXAS COORDINATE SYSTEM SOUTH ZONE 4305 GRID COORDINATES.
  4. SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE AFFECTING THIS TRACT. THE SURVEYOR IS AWAREING THE AFFECTED TRACT THAT ADDITIONAL EASEMENTS MAY AFFECT THIS TRACT.

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE FOREGOING PLAT TO BE TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE ON THE GROUND AND UNDER MY DIRECTION AND SUPERVISION.

ROBERTO N. TAMEZ, R.P.S. No. 6238 DATE 10/16/2024



**WELDEN & HUNT, INC.**  
CONVEYANCE ENGINEERS & SURVEYORS  
115 W. MCINTYRE  
EDINBURG, TX 76041  
PHONE (817) 444-4444  
FAX (817) 444-4444  
WWW.WELDENHUNT.COM

DATE: 10/16/2024  
JOB NO: 24095.08-24095  
DRAWN BY: J.O.  
CHECKED BY: J.O.  
COURTESY: 2024 WELDEN & HUNT, INC. ALL RIGHTS RESERVED



**EXHIBIT "A"**

October 11, 2024

**METES AND BOUNDS DESCRIPTION  
5.123 ACRES OUT OF BLOCKS 3, 4 AND 5 AND  
OUT OF STREETS AND ALLEYS BETWEEN BLOCKS,  
RACQUET CLUB SUBDIVISION,  
CITY OF McALLEN,  
HIDALGO COUNTY, TEXAS**

A tract of land containing 5.123 acres situated in the City of McAllen, County of Hidalgo, Texas, being a part or portion out of Blocks 3, 4 and 5 and out of Streets and Alleys between Blocks, Racquet Club Subdivision, according to the plat thereof recorded in Volume 18, Page 60, Hidalgo County Map Records, said 5.123 acres out of a certain tract conveyed to Stephen C. Reynolds by virtue of a General Warranty Deed in Lieu of Foreclosure recorded under Document Number 1960046, Hidalgo County Official Records, said 5.123 acres also being more particularly described as follows:

COMMENCING at the Northeast corner of Lot 13, Section 277, Texas-Mexican Railway Company's Survey, according to the plat thereof recorded in Volume 24, Page 168, Hidalgo County Deed Records, also being the Northeast corner of said Racquet Club Subdivision and within the existing right-of-way of 10th Street, from which a No. 4 rebar found on the Southeast corner of Lot 1, Chilli Pepper Express according to the plat thereof recorded in Volume 28, Page 92, Hidalgo County Map Records, bears S 08° 35' 29" W a distance of 1,088.00 feet and N 80° 56' 34" W a distance of 50.00 feet;

THENCE, N 80° 56' 31" W along the North line of said Racquet Club Subdivision, at a distance of 50.00 feet pass a No. 4 rebar set on the existing West right-of-way line of 10<sup>th</sup> Street, continuing a total distance of 518.52 feet to a No. 4 rebar set for the Northeast corner and POINT OF BEGINNING of this herein described tract;

1. THENCE, S 08° 44' 29" W a distance of 65.20 feet to a No. 4 rebar set for an outside corner of this tract;
2. THENCE, N 81° 15' 31" W a distance of 418.00 feet to a No. 4 rebar set for an inside corner of this tract;
3. THENCE, S 08° 44' 29" W a distance of 601.45 feet to a No. 4 rebar set for the Southeast corner of this tract;
4. THENCE, N 80° 56' 31" W a distance of 294.01 feet to a No. 4 rebar set for the Southwest corner of this tract;
5. THENCE, N 09° 03' 29" E a distance of 668.95 feet to a No. 4 rebar set for the Northwest corner of this tract;
6. THENCE, S 80° 56' 31" E a distance of 708.32 feet to the POINT OF BEGINNING and containing 5.123 acres of land, more or less.

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY AFFIRM THAT THIS METES AND BOUNDS DESCRIPTION REPRESENTS THE RESULTS OF A SURVEY MADE ON THE GROUND ON 06/13/2024 UNDER MY DIRECTION AND SUPERVISION.

ROBERTO N. TAMEZ, R.P.L.S. #6238

DATE: 10/11/2024





### OWNER'S AUTHORIZATION

I/We, Stephen C. Reynolds, hereby authorize Mario A. Reyna, P.E. (President) of Melden & Hunt, Inc. to submit paperwork & attend any meetings on my behalf as they relate to the subdivision development, change of zone submittal, and other related items regarding a 52.31+/- acre tract of land situated in the City of McAllen, County of Hidalgo, Texas, said 52.31+/- acre tract of land, being a part or portion out of Lot 1, Section 277, Texas-Mexican Railway Company's Survey, according to the plat thereof recorded in Volume 24, Page 168, Hidalgo County Deed Records,

Stephen C. Reynolds

Stephen C. Reynolds, Owner  
1903 Closner Boulevard  
Edinburg, Texas 78539

6/18/24

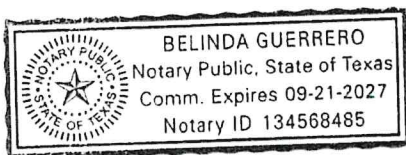
Date

STATE OF TEXAS           §

COUNTY OF HIDALGO   §

Before me, the undersigned authority, on this day personally appeared Stephen C. Reynolds known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration herein stated.

Given under my hand and seal of office, this the 18<sup>th</sup> day of June, 2024.



Belinda Guerrero  
NOTARY PUBLIC, STATE OF TEXAS



° NOTICE °  
REZONING  
FOR  
THIS PROPERTY  
REZ2024-0054



CITY OF MCALLEN PLANNING DEPT.  
956-681-1250  
WWW.MCALLEN.NET





## Planning Department

### Memo

**TO:** Planning and Zoning Commission

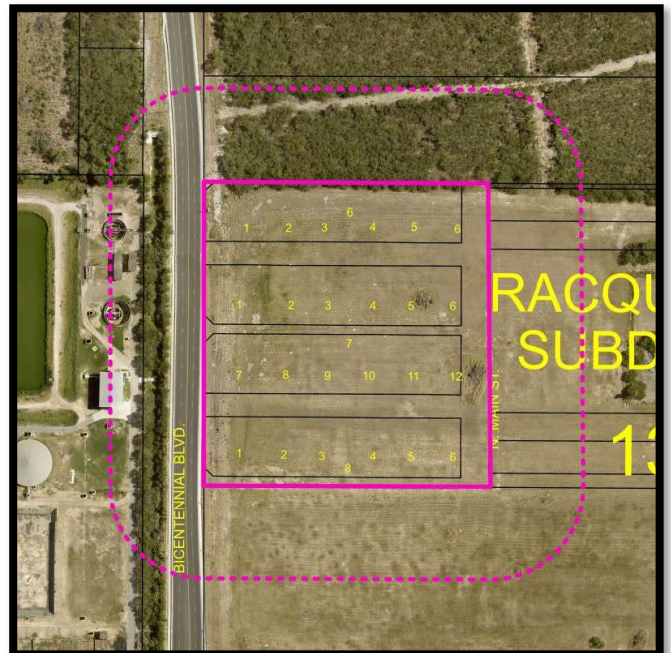
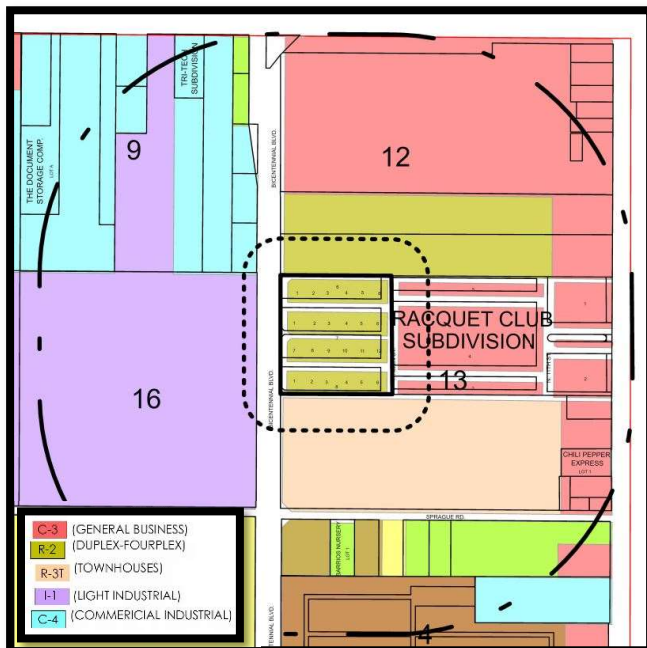
**FROM:** Planning Staff

**DATE:** November 8, 2024

**SUBJECT: REZONE FROM R-2 (DUPLEX-FOURPLEX RESIDENTIAL) DISTRICT TO R-3A (MULTIFAMILY RESIDENTIAL APARTMENTS) DISTRICT: 9.687 ACRES, OUT OF BLOCKS 6, 7 AND 8 AND OUT OF STREETS AND ALLEYS BETWEEN BLOCKS, RACQUET CLUB SUBDIVISION, HIDALGO COUNTY, TEXAS; 1400 SPRAGUE ROAD (TRACT 2). (REZ2024-0056)**

**LOCATION:** The subject property is located on the east side of North Bicentennial Boulevard, 660 feet north from Sprague Road. The property is zoned R-2 (duplex-fourplex residential) District.

**PROPOSAL:** The applicant is requesting to rezone the property to R-3A (multifamily residential apartments) District for a multifamily residential development. The property is currently vacant and a feasibility plan has not been submitted yet.



**ADJACENT ZONING:** The adjacent properties are zoned R-2 (duplex-fourplex residential) District to the north, I-1 (light industrial) District to the west across Bicentennial Boulevard, R-3T (multifamily residential townhouse) District to the south, and C-3 (general business) District to the east.

**LAND USE:** The property is currently vacant. Surrounding uses include single family and



multifamily residences, light industrial uses, and vacant land.

**FUTURE LAND USE PLAN:** The Envision McAllen Land Use Plan designates the future land use category for this property as Regional Commercial. Development types most compatible with Regional Commercial include shopping centers on a neighborhood and community scale, as well as civic and open parks. Residential developments of any kind are not considered appropriate for this area.

**DEVELOPMENT TRENDS:** The development trend of this area of North Bicentennial Boulevard is a mix of commercial, industrial, and residential uses.

**HISTORY:** During the comprehensive zoning of 1979 the subject property was not part of the Extra-Territorial Jurisdiction (ETJ) and therefore there was not a zoning designation for it.

The property was annexed into the City of McAllen in October 1981 with an initial zoning to A-O (agricultural and open space) District.

A rezoning application was submitted on October 11<sup>th</sup>, 2024.

**ANALYSIS:** The requested zoning does not conform to the future land use designation as shown on the Envision McAllen Future Land Use Plan. However, it is compatible with the surrounding zoning districts and development trend along Bicentennial Boulevard.

A subdivision and site plan review will be required prior to building permit issuance for any future developments in the property. Any future developments must also comply with the permitted and conditional uses of the designated zoning district.

Staff has not received any phone calls, emails, or letters in opposition to the initial zoning request.

**RECOMMENDATION:** Staff recommends approval of the rezoning request to R-3A (multifamily residential apartments) District. Since it aligns with the existing uses and development trend for this area.



fr:\Surveys\2024\24095.08-24095 Ph07-Villages of Park West\dwg\24095 CO2.dwg, Borders, 10/11/2024 10:15:19 AM, jesseG



**EXHIBIT "A"**

October 11, 2024

**METES AND BOUNDS DESCRIPTION  
9.687 ACRES OUT OF BLOCKS 6, 7 AND 8 AND  
OUT OF STREETS AND ALLEYS BETWEEN BLOCKS,  
RACQUET CLUB SUBDIVISION  
CITY OF McALLEN,  
HIDALGO COUNTY, TEXAS**

A tract of land containing 9.687 acres situated in the City of McAllen, County of Hidalgo, Texas, being a part or portion out of Blocks 6, 7 and 8 and out of Streets and Alleys between Blocks, Racquet Club Subdivision, according to the plat thereof recorded in Volume 18, Page 60, Hidalgo County Map Records, said 9.687 acres out of a certain tract conveyed to Stephen C. Reynolds by virtue of a General Warranty Deed in Lieu of Foreclosure recorded under Document Number 1960046, Hidalgo County Official Records, said 9.687 acres also being more particularly described as follows:

COMMENCING at the Northeast corner of Lot 13, Section 277, Texas-Mexican Railway Company's Survey, according to the plat thereof recorded in Volume 24, Page 168, Hidalgo County Deed Records, also being the Northeast corner of said Racquet Club Subdivision and within the existing right-of-way of 10th Street, from which a No. 4 rebar found on the Southeast corner of Lot 1, Chilli Pepper Express according to the plat thereof recorded in Volume 28, Page 92, Hidalgo County Map Records, bears S 08° 35' 29" W a distance of 1,088.00 feet and N 80° 56' 34" W a distance of 50.00 feet;

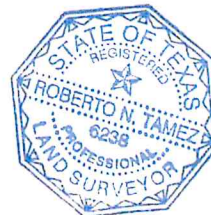
THENCE, N 80° 56' 31" W along the North line of said Racquet Club Subdivision, at a distance of 50.00 feet pass a No. 4 rebar set on the existing West right-of-way line of 10<sup>th</sup> Street, continuing a total distance of 1,226.84 feet to a No. 4 rebar set for the Northeast corner and POINT OF BEGINNING of this herein described tract;

1. THENCE, S 09° 03' 29" W a distance of 668.95 feet to a No. 4 rebar set for the Southeast corner of this tract;
2. THENCE, N 80° 56' 31" W a distance of 628.96 feet to a No. 4 rebar set, on the existing East right-of-way of Bicentennial Boulevard, for the Southwest corner of this tract;
3. THENCE, N 08° 44' 29" E along the West line of said Raquet Club Subdivision and the existing East right-of-way of Bicentennial Boulevard, a distance of 668.96 feet to a No. 4 rebar set for the Northwest corner of this tract;
4. THENCE, S 80° 56' 31" E along the North line of said Raquet Club Subdivision, a distance of 632.66 feet to the POINT OF BEGINNING and containing 9.687 acres of land, more or less.

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY AFFIRM THAT THIS METES AND BOUNDS DESCRIPTION REPRESENTS THE RESULTS OF A SURVEY MADE ON THE GROUND ON 06/13/2024 UNDER MY DIRECTION AND SUPERVISION.

  
ROBERTO N. TAMEZ, R.P.L.S. #6238

10/11/24  
DATE:





### OWNER'S AUTHORIZATION

I/We, Stephen C. Reynolds, hereby authorize Mario A. Reyna, P.E. (President) of Melden & Hunt, Inc. to submit paperwork & attend any meetings on my behalf as they relate to the subdivision development, change of zone submittal, and other related items regarding a 52.31+/- acre tract of land situated in the City of McAllen, County of Hidalgo, Texas, said 52.31+/- acre tract of land, being a part or portion out of Lot 1, Section 277, Texas-Mexican Railway Company's Survey, according to the plat thereof recorded in Volume 24, Page 168, Hidalgo County Deed Records,

Stephen C. Reynolds

Stephen C. Reynolds, Owner  
1903 Closner Boulevard  
Edinburg, Texas 78539

6/18/24

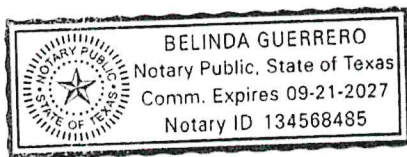
Date

STATE OF TEXAS           §

COUNTY OF HIDALGO   §

Before me, the undersigned authority, on this day personally appeared Stephen C. Reynolds known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration herein stated.

Given under my hand and seal of office, this the 18<sup>th</sup> day of June, 2024.



Belinda Guerrero  
NOTARY PUBLIC, STATE OF TEXAS



**NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ2024-0056**

 CITY OF MCALLEN PLANNING DEPT.  
956-681-1250  
WWW.MC-ALLEN.NET





## Planning Department

### Memo

**TO:** Planning and Zoning Commission

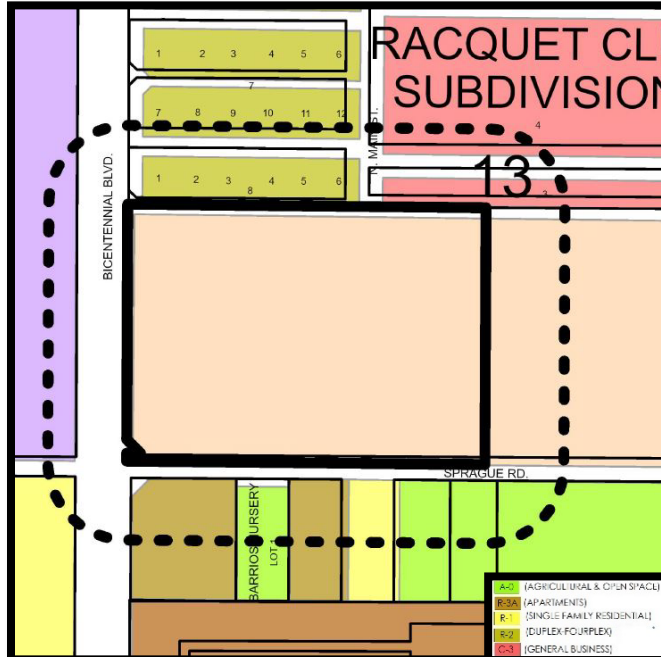
**FROM:** Planning Staff

**DATE:** November 11, 2024

**SUBJECT: REZONE FROM R-3T (MULTIFAMILY RESIDENTIAL TOWNHOUSE) DISTRICT TO R-3A (MULTIFAMILY RESIDENTIAL APARTMENTS) DISTRICT: 13.556 ACRES OUT OF LOT 13, SECTION 277, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS; 1400 SPRAGUE ROAD (TRACT 3). (REZ2024-0057)**

**LOCATION:** The property is located on the northeast corner of Bicentennial Boulevard and Sprague Road.

**PROPOSAL:** The applicant is proposing to rezone the property to an R-3A (multifamily residential apartments) District for a multifamily residential development. A feasibility plan has not been submitted, however a survey of the portion tract has been provided.



**ADJACENT ZONING:** The adjacent properties are currently zoned C-3 (General Business) District and R-2 (Duplex-Fouplex) District to the north, which are currently being requested to be rezoned to R-1 (Single Family Residential) District and R-3A (Apartments) District. There is also R-3T (Multifamily Residential Townhouse) District to the east, which is currently being requested to be rezoned to R-1 District and C-3 District. R-3A, A-O (Agriculture and Open Space), and R-1 District to the south, and I-1 (Light industrial) District to the west.



**LAND USE:** The property is currently vacant. Surrounding land uses include agricultural, single family homes, City of McAllen's water plant, and general business.

**COMPREHENSIVE PLAN:** The Envision McAllen Land Use Plan designates the future lands use category for this property as Regional Commercial. Development types most compatible with Regional Commercial include shopping centers on a neighborhood and community scale, as well as civic and open parks. Residential developments of any kind are considered inappropriate for this area.

**DEVELOPMENT TRENDS:** The development trend along Sprague Road and Bicentennial Boulevard include apartments, agricultural use, residential uses, and commercial uses.

**HISTORY:** The subject property was annexed on October 1, 1981 and initially zoned A-O District. The subject property was rezoned from A-O District to R-3T District in 2015. An application requesting to rezone the property from R-3T District to R-1 District was submitted on October 14, 2024.

**ANALYSIS:** The requested zoning does not conform to the Future Land Use Plan designation. However, the requested zone and the proposed use aligns with the existing uses and the development trend for the area.

A subdivision and site plan review will be required prior to building permit issuance for any future developments for this property. Any future developments must also comply with the permitted and conditional uses of the designated zoning district.

Staff has not received any phone calls, emails, or letters in opposition to the rezoning request.

**RECOMMENDATION:** Staff recommends approval of the rezoning request to R-3A (apartments) District since it aligns with the existing uses and development trend for this area.



**EXHIBIT "A"**

October 11, 2024

**METES AND BOUNDS DESCRIPTION  
13.556 ACRES OUT OF LOT 13, SECTION 277,  
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY  
VOLUME 24, PAGE 168, H.C.D.R.  
CITY OF McALLEN  
HIDALGO COUNTY, TEXAS**

A tract of land containing 13.556 acres situated in the City of McAllen, County of Hidalgo, Texas, being a part or portion out of Lot 13, Block 277, Texas-Mexican Railway Company's Survey, according to the plat thereof recorded in Volume 24, Page 168, Hidalgo County Deed Records, said 13.556 acres out of a certain tract conveyed to Stephen C. Reynolds by virtue of a General Warranty Deed in Lieu of Foreclosure recorded under Document Number 1960046, Hidalgo County Official Records, said 13.556 acres also being more particularly described as follows:

COMMENCING at the Northeast corner of said Lot 13, Section 277, also being the Northeast corner of said Racquet Club Subdivision and within the existing right-of-way of 10th Street, from which a No. 4 rebar found on the Southeast corner of Lot 1, Chilli Pepper Express according to the plat thereof recorded in Volume 28, Page 92, Hidalgo County Map Records, bears S 08° 35' 29" W a distance of 1,088.00 feet and N 80° 56' 34" W a distance of 50.00 feet;

THENCE, N 80° 56' 31" W along the North line of said Racquet Club Subdivision, at a distance of 50.00 feet pass a No. 4 rebar set on the existing West right-of-way line of 10th Street, continuing a total distance of 936.53 feet to a point;

THENCE, S 08° 44' 29" W a distance of 668.96 feet to a No. 4 rebar set for the Northeast corner and POINT OF BEGINNING of this herein described tract;

1. THENCE, S 08° 44' 29" W at a distance of 631.02 feet pass a No. 4 rebar set on the North right-of-way line of Sprague Road, continuing a total distance of 651.02 feet to a Nail set, for the Southeast corner of this tract;
2. THENCE, N 80° 56' 31" W along the South line of said Lot 13, Section 277 and within the existing right-of-way of Sprague Road, a distance of 907.97 feet to a Nail set for the Southwest corner of this tract;
3. THENCE, N 08° 44' 29" E a distance of 20.00 feet to a No. 4 rebar set on the North right-of-way line of Sprague Road for an outside corner of this tract;
4. THENCE, S 80° 56' 31" E along the North right-of-way line of Sprague Road a distance of 35.06 feet to a No. 4 rebar set for an inside corner of this tract;
5. THENCE, N 36° 08' 39" W a distance of 49.68 feet to a No. 4 rebar set for an outside corner of this tract;
6. THENCE, N 08° 44' 29" E along the East right-of-way line of Bicentennial Boulevard, a distance of 596.02 feet to a No. 4 rebar set for the Northwest corner of this tract;
7. THENCE, S 80° 56' 31" E a distance of 907.97 feet to the POINT OF BEGINNING and containing 13.556 acres gross, of which 0.417 of one acre lies within the existing right-of-way of Sprague Road, leaving a net of 13.139 acres of land, more or less.

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY AFFIRM THAT THIS METES AND BOUNDS DESCRIPTION REPRESENTS THE RESULTS OF A SURVEY MADE ON THE GROUND ON 06/13/2024 UNDER MY DIRECTION AND SUPERVISION.

  
ROBERTO N. TAMEZ, R.P.L.S. #6238

10/11/2024  
DATE:



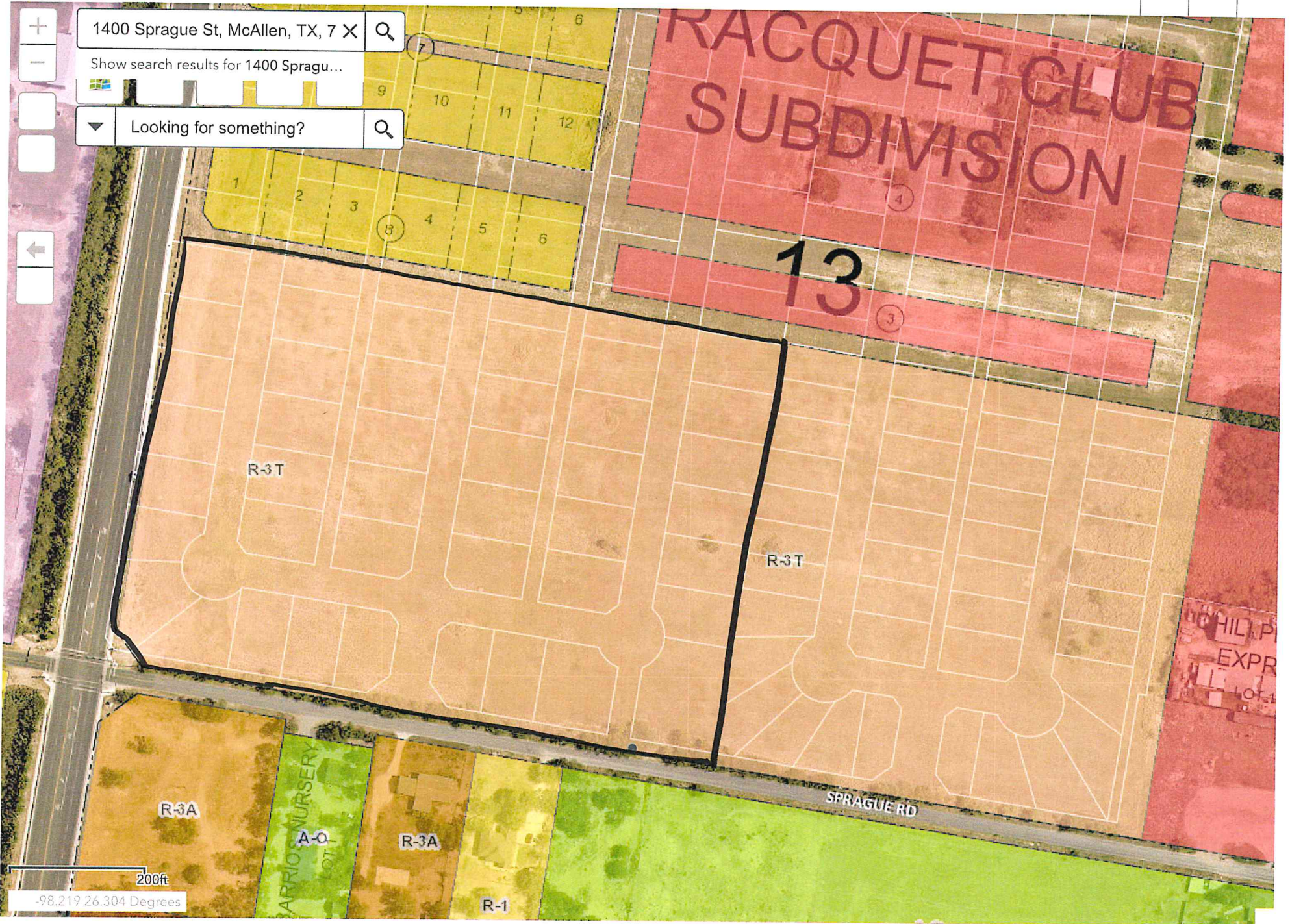
OCT 14 2024

BY: \_\_\_\_\_















**NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ20 24-0057**

 CITY OF MCALLEN PLANNING DEPT.  
956-681-1250  
WWW.MCALLEN.NET





## Planning Department

### Memo

**TO:** Planning and Zoning Commission

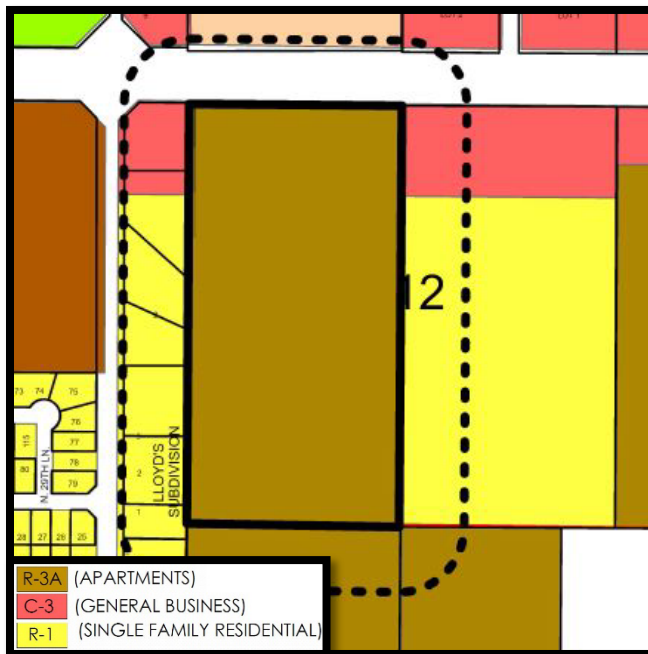
**FROM:** Planning Staff

**DATE:** November 11, 2024

**SUBJECT:** REZONE FROM R-3A (MULTIFAMILY RESIDENTIAL APARTMENTS) DISTRICT TO R-1 (SINGLE FAMILY RESIDENTIAL) DISTRICT: 19.587 ACRE TRACT BEING THE WEST ONE HALF OF LOT 12, SECTION 280, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS; 2701 WEST STATE HIGHWAY 107. (REZ2024-0058)

**LOCATION:** The property is located along the south side of State Highway 107, approximately 160 feet east of North Rooth Road (North 29<sup>th</sup> Street).

**PROPOSAL:** The applicant is proposing to rezone the subject property to R-1 (Single Family Residential) District for a single-family residential development.



**ADJACENT ZONING:** The property is zoned R-3A (Multifamily Residential Apartments) District. The adjacent zoning is a C-3 District and R-1 District to the east and west, and R-3A District to the south.



**LAND USE:** The property is currently vacant, however a single-family residence was recently demolished. Surrounding land uses include agricultural uses, single-family residences, and vacant land.

**COMPREHENSIVE PLAN:** The Envision McAllen Land Use Plan designates the future lands use category for this property as Regional Commercial. Development types most compatible with Regional Commercial include shopping centers on a neighborhood and community scale, as well as civic and open parks. Residential developments of any kind are considered inappropriate for this area.

**DEVELOPMENT TRENDS:** The development trend along State Highway 107 include commercial uses with multifamily residential uses.

**HISTORY:** June 15, 2023, we received two rezoning request for the subject property. The north 3.830-acre tract was rezoned from C-3 (General Business) District to R-3A District and was approved by the Planning and Zoning Commission Board. The south 15.757-acre tract was rezoned from R-1 (Single Family Residential) District to R-3A District which was also approved by the Planning and Zoning Commission Board.

The application for this request was submitted on October 18, 2024.

**ANALYSIS:** The requested zoning does not conform to the Future Land Use Plan designation. However, the requested zone and the proposed use aligns with the existing uses to the east and west side of the subject property.

A recorded subdivision plat is required prior to any building permit issuance.

Staff has not received any phone calls, emails, or letters in opposition to the rezoning request.

**RECOMMENDATION:** Staff recommends approval of the rezoning request to R-1 (Single Family Residential) District since it aligns with the existing uses for this area.



# Carrizales Land Surveying, LLC

Texas Registered Surveying Firm  
TBPELS Firm No:10194417

## METES AND BOUNDS DESCRIPTION A 19.587 ACRE TRACT

A 19.587 ACRE [853,200.23 SQ.FT.] TRACT OF LAND, MORE OR LESS, BEING THE WEST ONE HALF (W 1/2) OF LOT TWELVE (12), SECTION TWO HUNDRED EIGHTY (280), TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 24, PAGE 168, DEED RECORDS OF HIDALGO COUNTY, TEXAS, SAVE AND EXCEPT THAT PART LYING NORTH OF THE SOUTH RIGHT OF WAY LINE OF TEXAS STATE HIGHWAY 107, AS CONVEYED TO NOE & MELBA E. GONZALEZ BY VIRTUE OF WARRANTY DEED WITH VENDOR'S LIEN RECORDED IN VOLUME 3089, PAGE 281, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS, SAID 19.587 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**BEGINNING** at a half (1/2)-inch iron rod with a cap [N:16638654.7283, E:1071376.3501] found on the south right of way line of State Highway 107, being South 08 degrees 46 minutes 46 seconds West, a distance of 45.57 feet from the northwest corner of said Lot 12, for the Northwest corner of this tract of land and the **POINT OF BEGINNING**;

**THENCE**, South 81 degrees 08 minutes 10 seconds East, with the south right of way line of said State Highway 107, a distance of 67.84 feet to a half (1/2)-inch iron rod with a pink cap stamped "CLS RPLS#6388" set for an Exterior corner of this tract of land;

**THENCE**, South 80 degrees 48 minutes 00 seconds East, with the south right of way line of said State Highway 107, a distance of 590.95 feet to a half (1/2)-inch iron rod with a pink cap stamped "CLS RPLS#6388" set for the Northeast corner of this tract of land;

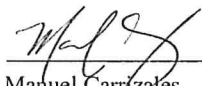
**THENCE**, South 08 degrees 45 minutes 04 seconds West, a distance of 1,293.70 feet to a half (1/2)-inch iron rod found on the south line of said Lot 12, for the Southeast corner of this tract of land;

**THENCE**, North 80 degrees 56 minutes 29 seconds West, with the south line of said Lot 12, a distance of 559.43 feet to a calculated point at the southwest corner of said Lot 12, for Southwest corner of this tract of land;

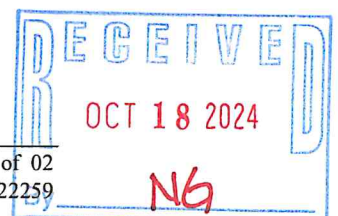
**THENCE**, North 08 degrees 46 minutes 46 seconds East, with the west line of said Lot 12, a distance of 1,294.93 feet to the **POINT OF BEGINNING** containing 19.587 acres [853,200.23 SQ. FT.] of land, more or less.

All coordinates, bearings, and distances noted within this metes and bounds description are in U.S. Survey Feet and reference the Texas State Plane Coordinate System South Zone 4205 and in grid coordinates.

A survey plat of even date accompanies this metes and bounds description.

  
Manuel Carrizales  
Registered Professional Land Surveyor  
Texas Registration Number 6388

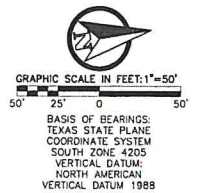
9-27-2022  
Date





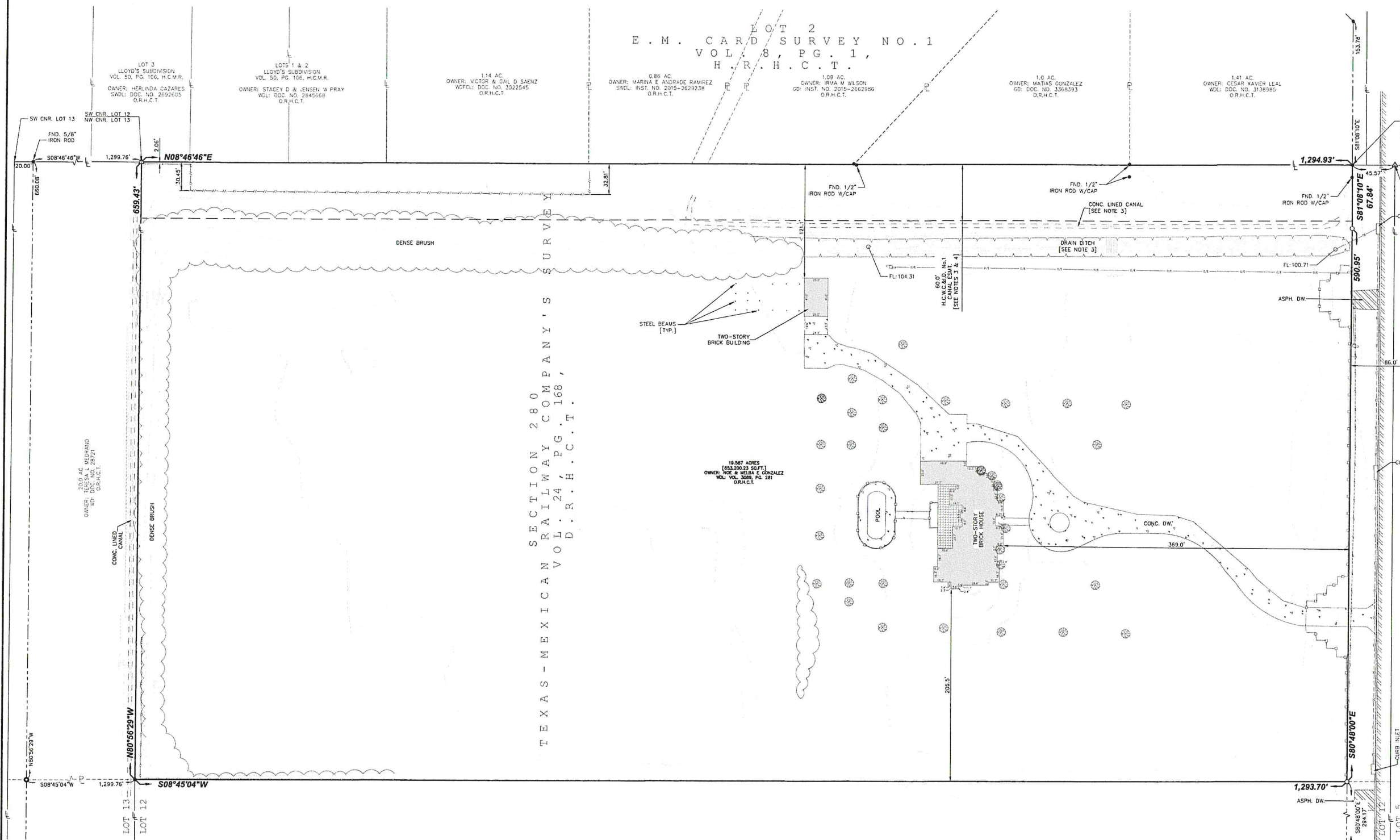
PLAT SHOWING:  
A 19.587 ACRE (853,200.23 SQ.FT.) TRACT  
BEING THE WEST ONE HALF (W 1/2) OF LOT TWELVE (12), SECTION TWO HUNDRED  
EIGHTY (280), TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY,  
TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 24, PAGE 168,  
DEED RECORDS OF HIDALGO COUNTY, TEXAS.

SAVE AND EXCEPT THAT PART LYING NORTH OF THE SOUTH RIGHT OF WAY LINE  
OF TEXAS STATE HIGHWAY 107.



- LEGEND**
- BOUNDARY LINE
  - RIGHT OF WAY LINE
  - EASEMENT LINE
  - LOT LINE
  - PROPERTY LINE
  - ROADWAY CENTERLINE
  - CHAINLINK FENCE
  - HOG WIRE FENCE
  - CEDAR FENCE
  - CONCRETE BLOCK #5/STEEL FENCE LINE
  - OVERHEAD ELECTRIC LINE
  - STORM DRAIN
  - AT&T BURIED CABLE
  - CONTOUR LINE WITH ELEVATION
  - CONCRETE CURB AND GUTTER
  - CONCRETE
  - ASPHALT
  - FOUND 1/2" IRON ROD OR AS NOTED
  - FOUND 1/2" IRON PIPE
  - SET 1/2" IRON ROD W/PINK CAP STAMPED "CLS RPLS #6388"
  - CALCULATED POINT
  - POWER POLE
  - GUY WIRE
  - CABLE PEDESTAL
  - TREE
  - R.O.W.
  - VOLUME
  - PAGE
  - DOCUMENT
  - CONC.
  - ASPH.
  - ESENT.
  - UTILITY
  - DRIVEWAY
  - SIDEWALK
  - POB
  - NW
  - SW
  - CNR
  - GNW
  - WD
  - SWD
  - WDL
  - GD
  - WDFCL
  - SWDL
  - OR.H.C.T.
  - M.R.H.C.T.
  - D.R.H.C.T.
  - H.C.T.D.

- NOTES:**
- SUBJECT PROPERTY APPEARS TO BE LOCATED IN ZONE "X" (NO SHADING) DESCRIBED AS "AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD-PLAIN", AS PER FLOOD INSURANCE RATE MAP COMMUNITY NUMBER 48033403250, DATED 06/06/2000. [NO ADDITIONAL FLOOD ZONE RESEARCH HAS BEEN DONE, THERE MAY BE LOWER OR LONGER THAT AFFECT THIS PROPERTY. CARRIZALES LAND SURVEYING, LLC DOES NOT ASSUME RESPONSIBILITY FOR EXACT DETERMINATION.]
  - SURVEY WAS PREPARED WITH THE BENEFIT OF TITLE COMMITMENT OF NO. 221700201 AS ISSUED BY FIDELITY NATIONAL TITLE INSURANCE. THE FOLLOWING EXCEPTIONS ARE LISTED IN THE SCHEDULE "B" OF SAID COMMITMENT:
  - RIGHTS OR CLAIMS BY HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 TO ANY PORTION OF PROPERTY LYING WITHIN CANAL AND/OR DRAIN DITCH EASEMENTS AND/OR RIGHTS OF WAY LOCATED ON THE PROPERTY. [SEE COMMITMENT ITEM 10-A]
  - STATUTORY RIGHTS, RULES, REGULATIONS, EASEMENTS AND LIENS IN FAVOR OF HIDALGO COUNTY IRRIGATION DISTRICT NO. 1, PURSUANT TO APPLICABLE SECTIONS OF THE TEXAS WATER CODE, (BLANKET) [SEE COMMITMENT ITEM 10-B]
  - EASEMENTS AND RESERVATIONS AS SHOWN ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 24, PAGE 168, DEED RECORDS OF HIDALGO COUNTY, TEXAS. [SEE COMMITMENT ITEM 10-C]
  - EASEMENT DATED AUGUST 14, 1978 FROM MILO F. TO HINDMAN MANUFACTURING CO., RECORDED IN VOLUME 1590, PAGE 15, DEED RECORDS OF HIDALGO COUNTY, TEXAS. [SEE COMMITMENT ITEM 10-D]
  - EASEMENT DATED AUGUST 8, 1978 FROM REUBEN B. BISHOP TO MILO F. HINDMAN, RECORDED IN VOLUME 1590, PAGE 21, DEED RECORDS OF HIDALGO COUNTY, TEXAS. [SEE COMMITMENT ITEM 10-E]
  - AGRICULTURAL USE STATEMENT DATED JULY 14, 1994, EXECUTED BY ROSE GONZALEZ AND MELBA E. GONZALEZ, FILED UNDER CLERK'S FILE NO. 398030, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS. [SEE COMMITMENT ITEM 10-F]
  - ANY VISIBLE AND APPARENT UNRECORDED EASEMENTS ON THE INSURED PROPERTY. [SEE COMMITMENT ITEM 10-I]
  - RIGHTS OF THE PUBLIC IN AND TO ANY PORTION OF SUBJECT PROPERTY LYING WITHIN A PUBLIC ROAD. [SEE COMMITMENT ITEM 10-K]
  - BUILDING, ZONING, PLATING AND/OR REGULATORY LAWS AND/OR ORDINANCES OF ANY MUNICIPAL AND/OR OTHER GOVERNMENTAL AUTHORITY. [SEE COMMITMENT ITEM 10-N]
  - ALL ADJONER INFORMATION SHOWN HEREIN AS PER HIDALGO COUNTY APPRAISAL DISTRICT RECORDS.
  - A METES AND BOUNDS DESCRIPTION OF EVEN DATE ACCOMPANIES THIS SURVEY PLAT.
  - SURVEY VALID ONLY WITH ORIGINAL SIGNATURE.
  - SHEET 02 OF 02



**Carrizales Land Surveying, LLC**  
Texas Registered Surveying Firm  
1807 Gondola Avenue,  
Edinburg, TX 78542  
Office: 356-547-2167  
www.cls.land

MANUEL CARRIZALES, REGISTERED PROFESSIONAL LAND SURVEYOR  
IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS SURVEY  
WAS MADE ON THE GROUND UNDER MY DIRECTION AND SUPERVISION  
IN THE MONTH OF SEPTEMBER, 2022 AND THAT THE NOTES SHOWN  
HEREON ARE TRUE AND CORRECT, AND THAT THERE ARE NO  
BOUNDARY CONFLICTS, PROTRUSIONS, OR VISIBLE OR APPARENT  
EASEMENTS, EXCEPT AS SHOWN HEREON.

*MANUEL CARRIZALES*  
DATE: 9-27-2022  
R.P.L.S. #5388

By *NG*











**NOTICE  
REZONING  
FOR  
THIS PROPERTY  
REZ2024-0058**

CITY OF MCALLEN PLANNING DEPT.  
956-561-1250  
WWW.MCALLENNET



**Memo**

**TO:** Planning & Zoning Commission  
**FROM:** Edgar I. Garcia, AICP, CNU-A, CPM, Director of Planning & Zoning  
**DATE:** November 7, 2024  
**SUBJECT: PROPOSAL ON FIREWORKS RETAIL SALES**

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**BACKGROUND:** As the City expanded, five separate properties with fireworks were annexed and allowed to continue operating under Nuisance Abatement Agreements. Said Nuisance Abatement Agreements have been continuously extended for years, with the earliest being in 2012. Planning, Fire, and Legal Department staff were tasked with developing a plan that would designate the firework shops as nonconforming uses that can continue until certain conditions are met.

**DISCUSSION:** There are five fireworks shops within McAllen City limits; of those, two are proper buildings and three are stands. The national Occupational Safety and Health Administration (OSHA) recommends a 300 ft. clearance from fireworks and other buildings. The Texas Occupations Code and Texas Administrative Code have a sliding scale of required distance from buildings up to a maximum of 150 ft.

With these distances in mind, staff developed two options containing requirements that, when met, would require the shops to install a sprinkler system or cease operation. Because distance to structures is what the stated safety concerns are, we are proposing the trigger points to be distance from a subdivided property and distance from a building. A 300 ft. distance requirement would require one of the fireworks stands to shut down with three more needing only one more requirement to be met.

With a 150 ft. distance, only one shop would be within a trigger point of closing and all others would still be two trigger points away.

**CONCLUSION:** Approving one of the proposed options would make the fireworks shops non-conforming uses that would be allowed to continue operating without the need for continuous extension of Nuisance Abatement Agreements. Once the proposed requirements have been triggered, however, the shops would need to make a decision to either install a sprinkler system or cease operations. To provide the least restrictive option, staff recommends the 150 ft. distance from a subdivided property and a building as the triggering requirements.



Address	Dist to Build (ft.)	Dist to Sub (ft.)	Structure	Sprinkled?	Prop 1 (300)	Prop 2 (150)	Annexed
2700 W SH 107	236	332	stand	N/A			11/28/2017
2600 Military Hwy	250	156	stand	N/A			6/27/2016
8509 S 10th	52	715	building	No			11/28/2017
6115 SH-107	635	500	building	No			8/21/2012
7400 S Jackson	170	2,300	stand	N/A			11/23/2015



## Memo

**TO:** Planning and Zoning Commission

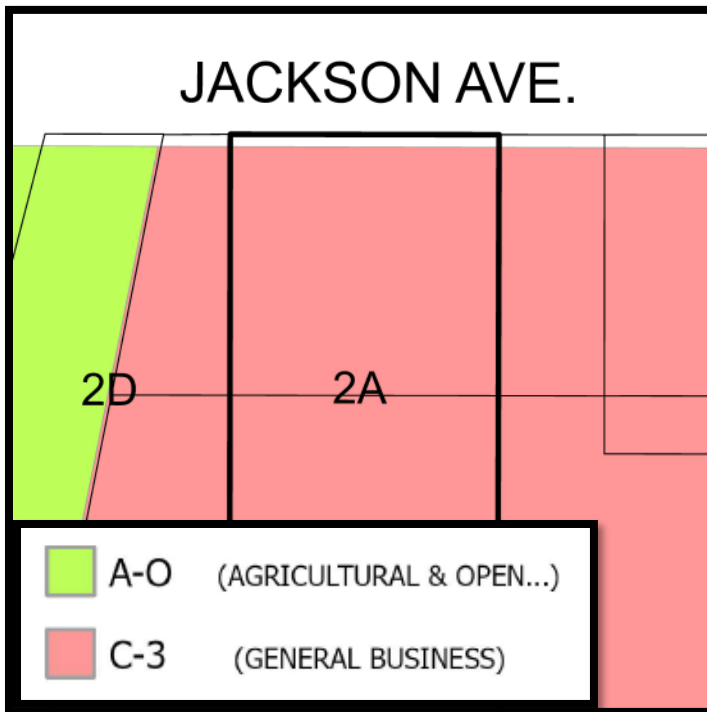
**FROM:** Planning Staff

**DATE:** November 15, 2024

**SUBJECT: SITE PLAN APPROVAL FOR LOT 2A, WAL-MART SUBDIVISION NO.2, HIDALGO COUNTY, TEXAS; 1300 EAST JACKSON AVENUE. (SPR2024-0045)**

**LOCATION:** The subject property is located along the south side of East Jackson Avenue. The subject property is zoned C-3 (General Business) District. Adjacent properties are zoned C-3 District all around. Surrounding land uses include a Walmart, a Whataburger, Lacks Furniture Store, and other commercial uses.

**PROPOSAL:** The applicant is proposing to construct a 5,385 square foot building to operate as a car wash.



### ANALYSIS:

#### Access:

Access to the site is from an existing curb cut on East Jackson Avenue shared by lots 2A and 2B, as well as an existing access easement on the east. No alley exists or is proposed.

#### Parking Requirements:

Based on 5,385 square feet that will be used for the proposed car wash, four parking spaces are



required for the site. Four parking spaces are proposed. Moreover, one of the proposed regular parking spaces must be accessible for van accessibility with an 8-foot-wide aisle. The applicant is meeting parking requirements for the new development.

Landscape Requirements:

3,997 square feet of green area is required for the new development and 6,352 square feet is proposed. The tree requirement is as follows: 14 two-and-a half-inch-caliper trees, 7 four-inch caliper trees, 4 six-inch caliper trees, or 4 palm trees. A minimum 10 foot wide landscaped strip is required inside the front property line. Fifty percent of the required green area for the new development must be visible from the street or front property line, and each parking space must be within 100 feet of a landscaped area with a tree. A 6-foot buffer is required around dumpsters/compactors if visible from the street. Finally, an 8-foot masonry wall is required between commercial and residential zone/use. The applicant is meeting landscaping requirements for green area and trees.

Other Planning Requirements:

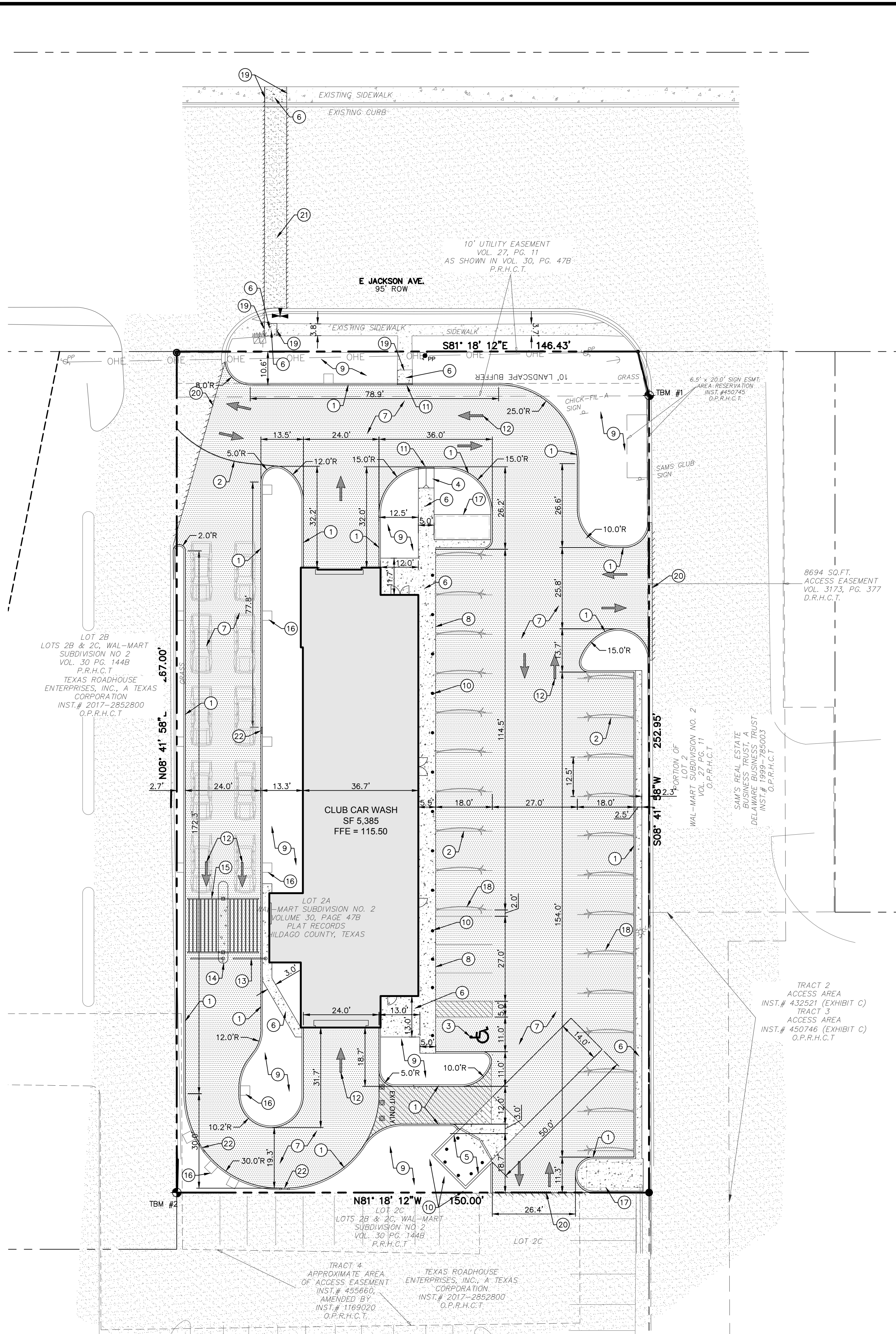
There is a 50-foot front yard setback and 10 foot utility easement along East Jackson Avenue, the rear yard setback and side yard setbacks as per Zoning Ordinance or greater for approved site plan or easements. No structures are permitted to be built over any easements. The new development will be complying with all required setbacks for the property.

A 4-foot-wide minimum sidewalk is required along East Jackson Avenue.

The Building Permit Site Plan must comply with requirements noted on the Development Team Review sheet. Must comply with any additional comments provided by all departments during the building permit stage.

**RECOMMENDATION:** Staff recommends approval of the site plan subject to the conditions noted, Building Permit requirements, Subdivision and Zoning Ordinances.





## **SITE PLAN NOTES:**

1. ALL CURB RADIUS DIMENSIONS ARE TO FACE OF CURB. CONTRACTOR TO VERIFY ALL PLAN DIMENSIONS PRIOR TO CONSTRUCTION.
2. ALL SIDEWALKS SHALL HAVE 2% MAX CROSS SLOPE.
3. BUILDING AND PARKING ARE PARALLEL TO THE EAST PROPERTY LINE (S0841584').
4. ALL CURB RADIi ARE 3' UNLESS OTHERWISE NOTED.
5. ALL SIDEWALKS, CURBS, RAMPS, AND DRIVE APPROACHES IN THE RIGHT OF WAY SHALL BE IN COMPLIANCE WITH CURRENT CITY DESIGN STANDARDS AND CITY DESIGN STANDARDS PRIOR TO FINAL INSPECTION APPROVAL.

1. PROPOSED 6" CONCRETE CURB (TYPICAL) REF. DETAIL C6.2.
2. PROPOSED 4" WHITE WIDE PARKING STRIPE (TYPICAL).
3. PROPOSED HANDICAP PARKING. REF. SHEET DETAIL C6.7.
4. PROPOSED CURB RAMP (TYPICAL) REF. DETAIL C6.0.5.
5. PROPOSED DUMPSTER ENCLOSURE REF. ARCH. PLANS.
6. PROPOSED CONCRETE SIDEWALK REF. DETAIL C6.0.1.
7. PROPOSED CONCRETE PAVEMENT. REF. SHEET C2.1.
8. PROPOSED CONCRETE PAVEMENT/CONCRETE SIDEWALK JUNCTURE.
9. LANDSCAPING. REF. LANDSCAPE PLANS FOR DETAILS.
10. PROPOSED BOLLARD (TYP.). REF. PER OWNER
11. PROPOSED FLUSH CURB. REF. DETAIL C6.0.11
12. PROPOSED TRAFFIC ARROWS. REF. ARCH. PLANS.
13. PROPOSED STOP ARM. BY OWNER.
14. PROPOSED 3' WIDE CONCRETE ISLAND.
15. PROPOSED PRE-FABRICATED STRUCTURE. BY OWNER. (PAY STATION).
16. PROPOSED CONCRETE PADS FOR SIGNS, CAMERA AND TRASH CANS. LOCATION PER OWNER (TYP.)
17. PROPOSED 8'x18' CONCRETE PAD FOR VACUUM TURBINE. SEE MEP PLANS.
18. PROPOSED VACUUM ARMS (TYP.). BY OWNER.
19. SIDEWALK JUNCTION. DOWEL INTO EXISTING CONCRETE SIDEWALK USING #4 DOWELS AT 18" O.C. WITH A MINIMUM EMBEDMENT OF 8" INTO PROPOSED AND EXISTING SIDEWALK.
20. PROPOSED CONCRETE TO EXISTING ASPHALT PAVEMENT.
21. PROPOSED ASPHALT FOR INSTALLATION OF WATER SERVICES
22. PROPOSED 2" CONCRETE CURB CUT. REF. DETAIL C6.0.9.

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		PROPERTY (R.O.W.) LINE / SUBDIVISION BOUNDARY
		RECORD INFORMATION BENCHMARK
		LIGHT POLE
		POWER POLE DOWN GUY
		TRANSFORMER (SIZE VARIES)
		FIRE HYDRANT
		WATER VALVE
		WATER METER
		WATER METER VAULT
		WATER MANHOLE
		TELEPHONE RISER
		CABLE TV RISER
		ELECTRIC BOX
		ELECTRIC METER
		GAS VALVE
		GAS METER
		TRAFFIC CONTROL BOX
		TRAFFIC SIGNAL POST
		UNDERGROUND GAS LINE MARKER
		GREASE TRAP (SIZE VARIES)
		STORM DRAIN LINE
		WATER LINE
		FIRE LINE
		GAS LINE
		OVERHEAD ELECTRIC (PRIMARY)
		UNDERGROUND ELECTRIC (PRIMARY)
		UNDERGROUND ELECTRIC (SECONDARY)
		UNDERGROUND TELEPHONE
		UNDERGROUND CABLE
		ELECTRIC MANHOLE (SIZE VARIES)
		WASTEWATER MANHOLE (SIZE VARIES)
		STORMDRAIN MANHOLE (SIZE VARIES)
		TELEPHONE MANHOLE (SIZE VARIES)
		FIRE DEPARTMENT CONNECTION
		WASTEWATER CLEANOUT
		CURB
		HEADER CURB
		SAWTOOTH CURB
		RETAINING WALL
		CHAINLINK FENCE
		CONCRETE SIDEWALKS
		CONTOUR
		DIRECTION OF FLOW
		SPOT ELEVATION/TOP OF CURB
		SPOT ELEVATION
		SWALE
		CONCRETE PAVEMENT
		ASPHALT PAVEMENT

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



10/01/24

[illegible]

OWNER:

CLUB CAR WASH  
9315 SPRING CYPRESS ROAD, SUITE A  
SPRING, TEXAS 77379

# CLUB CAR WASH-E JACKSON

1300 EAST JACKSON  
MCALLEN, TX 78503

# CIVIL SITE AND DIMENSIONAL CONTROL PLAN

DESIGNED BY: RQ/AB

DRAWN BY: RQ

SCALE: 1"=20'

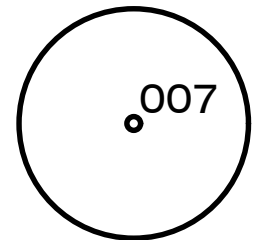
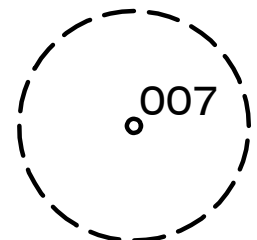
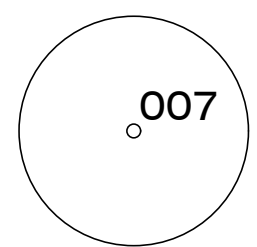
DATE: 09-23-24

SHEET NO.

# C2.0

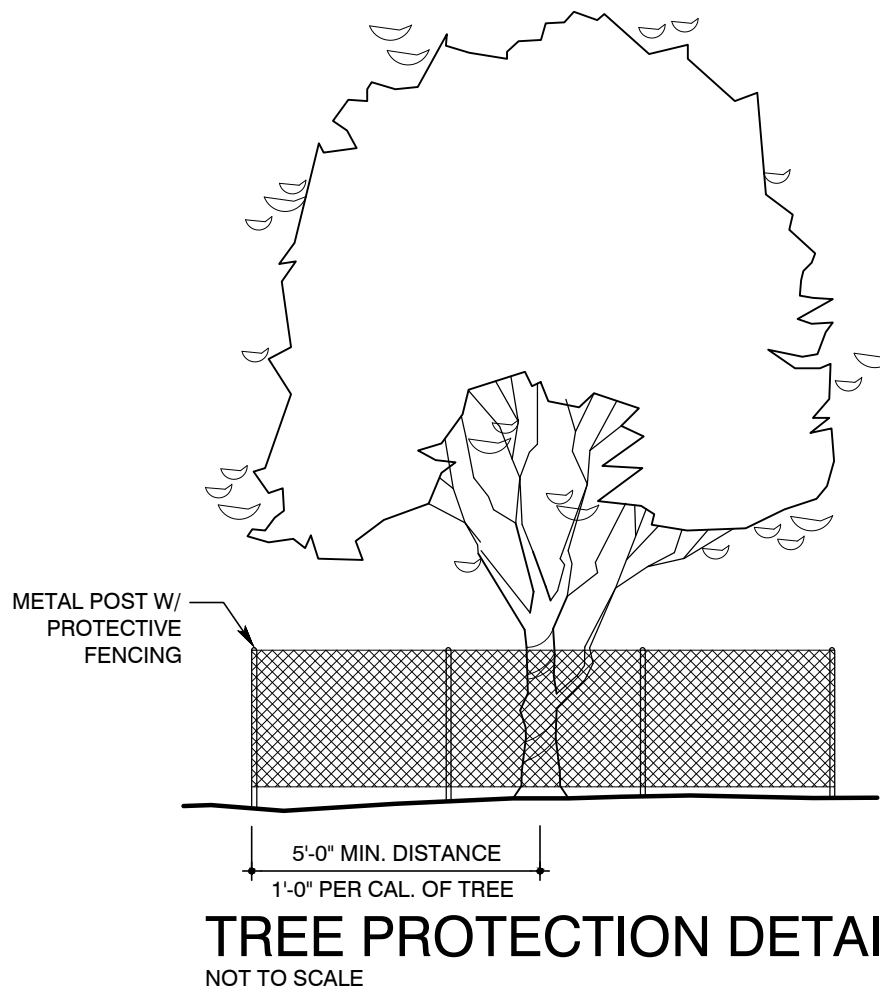


EXISTING TREE LEGEND

-  = EXISTING PROTECTED TREE TO BE PRESERVED
-  = EXISTING PROTECTED TREE TO BE REMOVED
-  = EXISTING OFF-SITE TREE

EXISTING TREE PRESERVATION AND REMOVAL NOTES:

- UNLESS OTHERWISE SPECIFICALLY INDICATED, THIS DOCUMENT SHOWS ONLY EXISTING PROTECTED-SIZE TREES AS DEFINED BY THE CITY OF SAN ANTONIO UNIFIED DEVELOPMENT CODE (THE "UDC") IN EFFECT ON THE DATE HEREOF.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR INSPECTING THE PROJECT SITE AND DETERMINING FOR HIMSELF IF OTHER EXISTING TREES, SHRUBS, OR VEGETATION ARE PRESENT WHICH MUST BE REMOVED IN ORDER TO CONSTRUCT THE IMPROVEMENTS PROPOSED HEREBY.
- BY ACT OF SUBMITTING A BID TO REMOVE THE EXISTING TREES SHOWN ON THIS PLAN, CONTRACTOR WARRANTS THAT HE (A) HAS PERSONALLY VISITED THE PROJECT SITE, (B) HAS INVESTIGATED THE EXISTING CONDITIONS SUFFICIENTLY TO DETERMINE WHAT, IF ANY, ADDITIONAL EXISTING TREES, SHRUBS, AND VEGETATION MUST BE REMOVED IN ORDER TO CONSTRUCT THE IMPROVEMENTS PROPOSED HEREBY, AND (C) HAS A CLEAR UNDERSTANDING OF THE TERMS "PROTECTED TREE, SIGNIFICANT TREE, HERITAGE TREE, AND FLOOD PLAIN, AND OF ANY OTHER CITY GUIDELINES, STANDARDS, AND REQUIREMENTS WHICH MAY IMPACT REMOVAL OF THE EXISTING TREES DEPICTED ON THIS PLAN.
- IN THE EVENT CONTRACTOR ENCOUNTERS ADDITIONAL EXISTING TREES, SHRUBS, AND VEGETATION NOT SHOWN ON THIS PLAN, BUT WHICH MUST REASONABLY BE REMOVED IN ORDER TO CONSTRUCT THE IMPROVEMENTS PROPOSED HEREBY, CONTRACTOR SHALL REMOVE THE ADDITIONAL EXISTING TREES, SHRUBS, AND VEGETATION AT NO ADDITIONAL COST TO THE OWNER, SUBJECT TO ANY APPLICABLE REQUIREMENTS, GUIDELINES, STIPULATIONS, OR APPROVALS ENFORCED BY THE CITY OF MCALLEN.



NOTES:

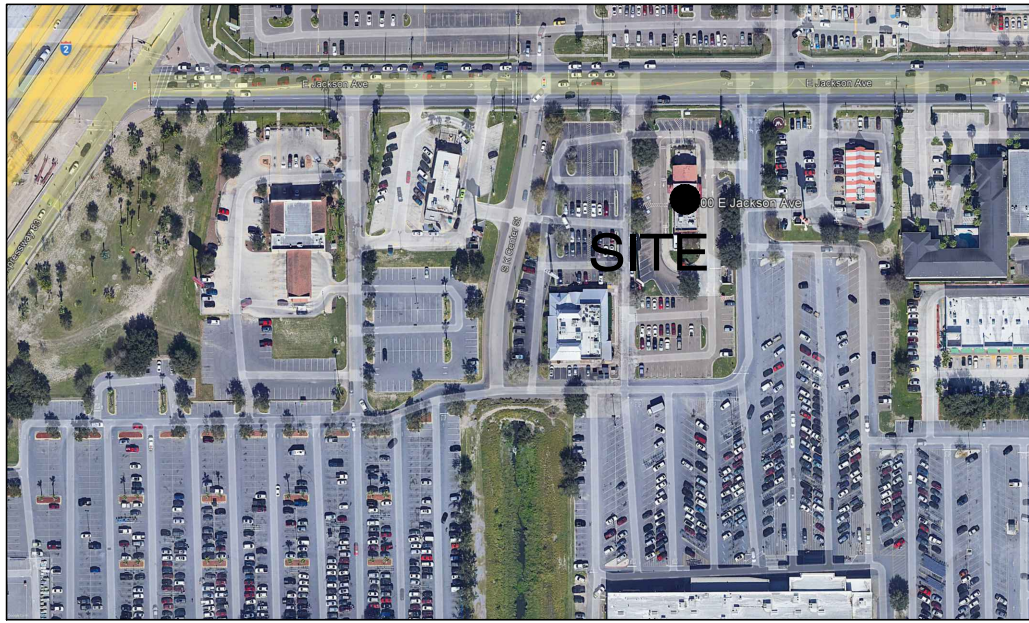
- LANDSCAPE SUBCONTRACTOR TO PROVIDE PRUNING AND FERTILIZATION FOR ALL EXISTING TREES TO BE PRESERVED BY A CITY OF MCALLEN TREE MAINTENANCE LICENSED AND I.S.A CERTIFIED ARBORIST.
- APPLY APPROVED SLOW-RELEASE FERTILIZER INJECTED INTO SOIL BEFORE CONSTRUCTION COMMENCES AND AGAIN AFTER CONSTRUCTION IS COMPLETE.
- ALL PRUNING OF EXISTING TREES MUST COMPLY WITH THE CITY OF MCALLEN'S APPROVED PRUNING DETAIL AND IS TO BE DONE UNDER THE FIELD DIRECTION OF THE OWNER AND/OR LANDSCAPE ARCHITECT.
- PROTECTIVE FENCING MUST BE IN PLACE BEFORE ANY CONSTRUCTION ACTIVITIES MAY COMMENCE.
- PROTECTIVE FENCING TO BE A MIN. 4'-0" HT. EXTENDING FROM TRUNK 12" PER CALIPER INCH OF TREE (MINIMUM 5'-0" ON ONE SIDE ONLY). THE OPTIMUM DISTANCE IS TO INSTALL FENCE DIRECTLY BENEATH DRIPLINE OF TREE AS SHOWN.
- PROTECTIVE FENCING TO BE STAKED IN FIELD BY CONTRACTOR AND APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- DURING CONSTRUCTION, NO EXCESS SOIL, FILL MATERIAL, EQUIPMENT, LIQUIDS, OR CONSTRUCTION DEBRIS SHALL BE PLACED WITHIN THE PROTECTIVE FENCING, NOR SHALL ANY SOIL BE REMOVED FROM WITHIN THE FENCING.
- APPLY COARSE GROUND OR SHREDDED ORGANIC BARK MULCH TO 6" DEPTH @ ALL EXISTING TREES TO BE PRESERVED.
- THE PROPOSED FINISH GRADE WITHIN THE ROOT PROTECTION ZONE (RPZ) OF ANY TREE TO BE PRESERVED SHALL NOT BE RAISED OR LOWERED MORE THEN THREE (3) INCHES.

EXISTING PROTECTED TREE INVENTORY

October 7, 2024

TAG #	SPECIES	SIZE	TREE CREDIT PRESERVED	TREE CREDIT REMOVED	TREE CREDIT EXEMPT	COMMENTS
1	LIVE OAK	24	12			
2	LIVE OAK	18		10		
3	LIVE OAK	16		10		
4	LIVE OAK	22		12		
5	LIVE OAK	22		12		
6	LIVE OAK	17		10		
7	LIVE OAK	11		6		
8	LIVE OAK	22		12		
9	ASH	14			8	Offsite: Preserved
10	ASH	16			10	Offsite: Preserved
11	ASH	13			8	Offsite: Preserved
TOTALS			195	72	26	

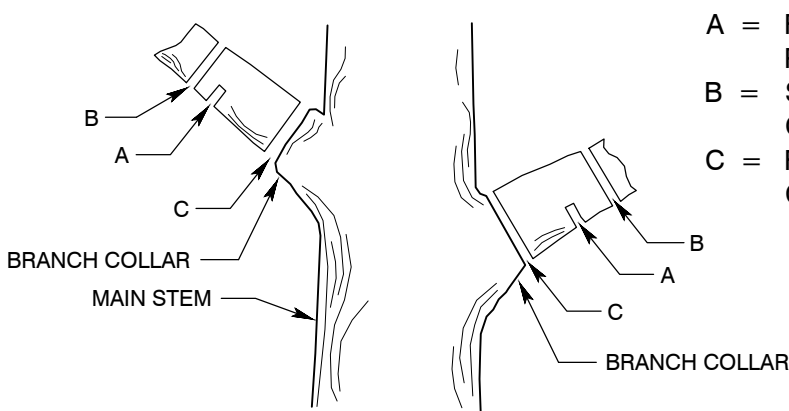
TREE PRESERVATION SUMMARY	
TOTAL CAL. INCHES ON-SITE:	195
Required Preservation Ratio:	100%
Total Tree Credit:	84.0
Tree Credit Preserved:	12.0
Preservation Ratio	14.29%
TOTAL SPECIES EXCESS / (MITIGATION)	(72.0)



VICINITY MAP (N.T.S.)

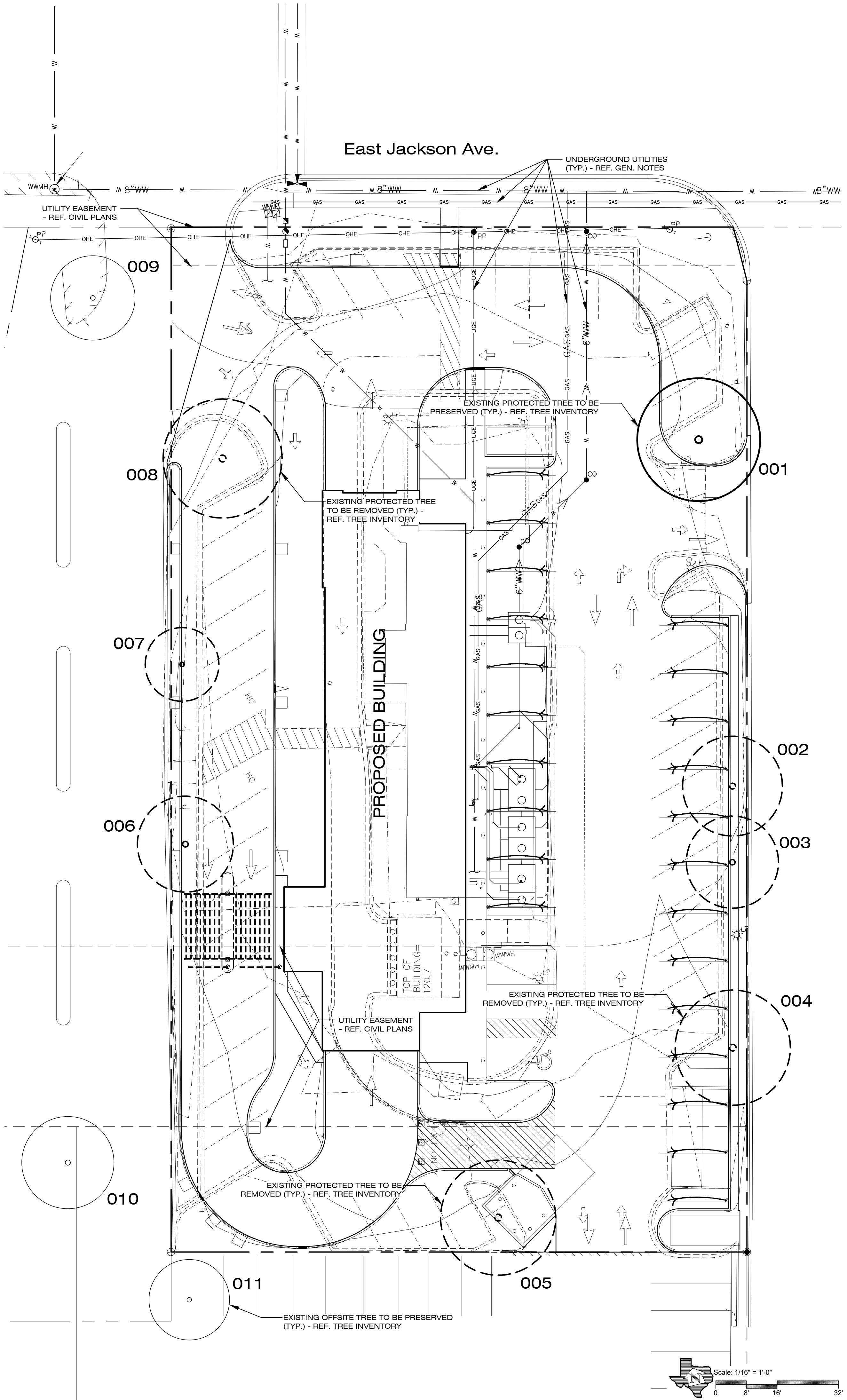
PRUNING NOTES:

- ALL PRUNING IS TO BE DONE BY A LICENSED ARBORIST UNDER THE FIELD DIRECTION OF THE OWNER AND/OR LANDSCAPE ARCHITECT.
- WHERE FEASIBLE, PRUNE TREES BEFORE COMMENCEMENT OF CONSTRUCTION.
- PAINTE ALL WOUNDS ON OAK TREES WITHIN 30 MINUTES OF PRUNING.



TREE PRUNING DETAIL

NOT TO SCALE



HORIZON DESIGN AND DEVELOPMENT

PLANNING LANDSCAPE ARCHITECTURE  
DEVELOPMENT CONSULTING  
16414 San Pedro Ave., Suite 630  
San Antonio, Texas 78232  
210.831.8564 jrobinson@horizondesign-sa.com



107.124

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OWNER

CLUB CAR WASH

9315 Spring Cypress Road, Suite A  
Spring, TX 77379

PROJECT

Club Car wash

1300 East Jackson Ave.  
McAllen, Texas 78503

REVISIONS

PROJECT NUMBER  
2024-239

Drawn By: ev  
Checked By: jr

Sheet Title:

TREE  
PRESERVATION  
PLAN

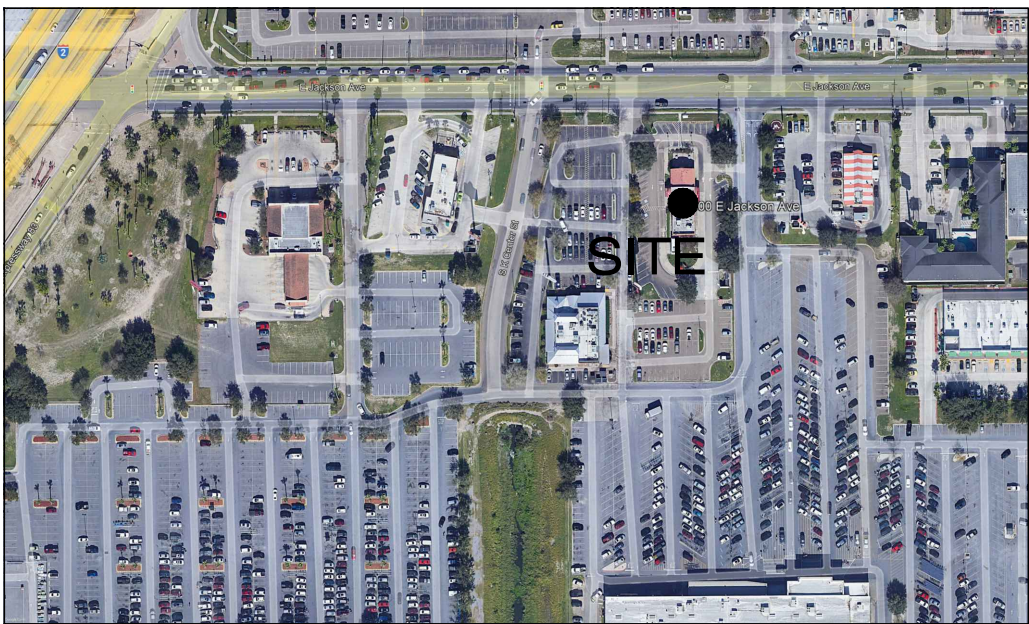
Sheet Number:

TP1.0

Issue Date:

October 7, 2024





VICINITY MAP (N.T.S.)

LANDSCAPE ORDINANCE REQUIREMENTS

1. MINIMUM REQUIRED LANDSCAPING

TOTAL SITE AREA REQUIRED = 40,027 SF X 10%:  
TOTAL SITE AREA PROVIDED:
2. STREET FRONTAGE LANDSCAPE

TOTAL STREET FRONTAGE LANDSCAPE REQUIRED = 4,003 SF X 50%:  
TOTAL STREET FRONTAGE LANDSCAPE PROVIDED:
3. TREE CREDITS

NUMBER OF TREE CREDITS REQUIRED =  
10 TREES PER FIRST 2000 SQ. FT. + 1 TREE PER  
REMAINING 500 SQ. FT. = 2003 SF / 500 SF:

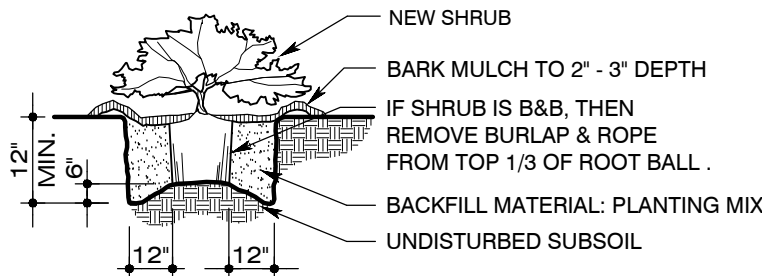
EXISTING TREE (1) 24" CAL. LIVE OAK (TAG #001):	12 TREE CREDITS
PROVIDED TREES (13) 2.5" CAL. TREES X (1) TREE CREDIT: (3) 6" CAL. TREES X (4) TREE CREDITS: TOTAL TREE CREDITS PROVIDED:	13 TREE CREDITS 12 TREE CREDITS 37 TREE CREDITS

- GENERAL NOTES:
- REFER TO SPECIFICATIONS FOR ALL CONTRACT PLANTING.
  - INSTALL APPROVED IMPORTED PLANTING MIX TO MIN. DEPTH OF 6" IN ALL AREAS SCHEDULED AS LANDSCAPE PLANTING AREAS.
  - INSTALL APPROVED IMPORTED TOPSOIL TO 4" DEPTH IN ALL TURFGRASS AREAS.
  - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN THE FIELD PRIOR TO INSTALLATION AND MUST REPORT ANY DEVIATION IN SITE CONDITIONS TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK IN THE AFFECTED AREA.
  - WHERE SHOWN ON THESE PLANS, UTILITY INFORMATION IS PROVIDED FOR REFERENCE ONLY. REF. CIVIL AND MEP PLANS FOR ALL UTILITY INFORMATION.
  - VERIFY LOCATION AND DEPTH OF ALL EXISTING AND PROPOSED UTILITIES PRIOR TO ANY EXCAVATION. IN THE EVENT POTENTIAL CONFLICT(S) OCCUR BETWEEN UTILITIES AND LANDSCAPE IMPROVEMENTS, IMMEDIATELY CEASE WORK IN THE AFFECTED AREA, REPORT THE CONFLICT(S) TO THE OWNER'S REPRESENTATIVE, AND DO NOT PROCEED UNTIL RECEIPT OF SPECIFIC WRITTEN DIRECTION.

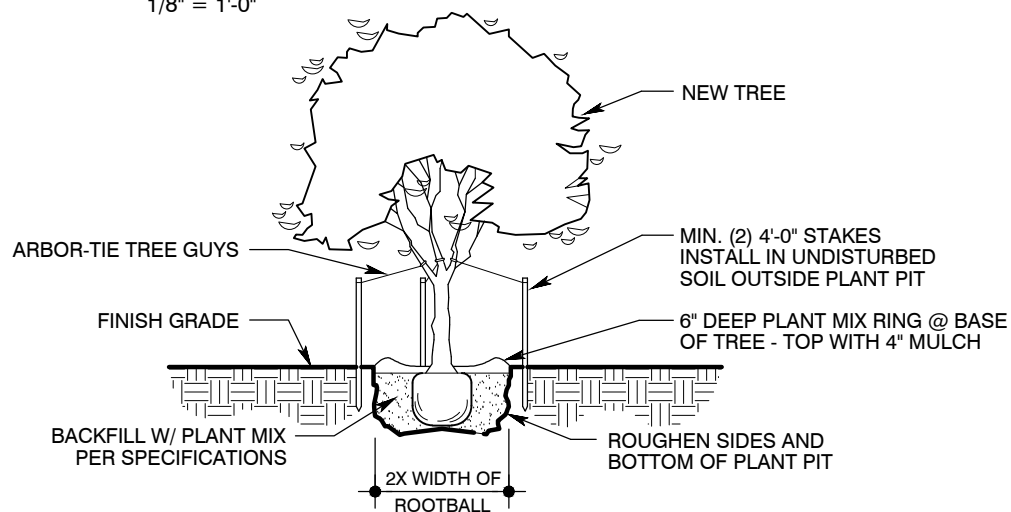
- URBAN DEER NOTES:
- AT THE TIME THESE DOCUMENTS WERE PREPARED THE LANDSCAPE ARCHITECT WAS NOT AWARE OF A LOCAL URBAN DEER POPULATION.
  - IN THE EVENT AN URBAN DEER POPULATION IS DISCOVERED, CONTRACTOR IS SOLELY RESPONSIBLE FOR PROTECTING ALL NEWLY-INSTALLED PLANTS THROUGH THE 30-DAY MAINTENANCE PERIOD.
  - APPLY "LIQUID FENCE" (OR APPROVED EQUAL) TO ALL PLANTS AS NEEDED TO DISCOURAGE BROWSING BY DEER.
  - ANY NEWLY-INSTALLED PLANTS EATEN OR BROWSED BY DEER PRIOR TO THE EXPIRATION OF THE 30-DAY MAINTENANCE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.

- OVERHEAD ELECTRIC NOTES:
- ALL PROPOSED LARGE SPECIES TREES (AS DEFINED BY THE UNIFIED DEVELOPMENT CODE IN EFFECT HEREOF) SHALL BE PLANTED NO CLOSER THAN 20' TO ALL OVERHEAD ELECTRIC UTILITY LINES.
  - CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD LOCATING ALL OVERHEAD ELECTRIC UTILITY LINES AND ENSURING THAT NO LARGE SPECIES TREES ARE PLANTED WITHIN 20' OF ANY OVERHEAD ELECTRIC UTILITY LINES.
  - WHERE CITY INSPECTORS FIND ANY PROPOSED LARGE SPECIES TREES TO BE IN VIOLATION OF PROXIMITY TO OVERHEAD ELECTRIC UTILITY LINES, THE CONTRACTOR SHALL RELOCATE TREES AT NO ADDITIONAL COST TO THE OWNER.

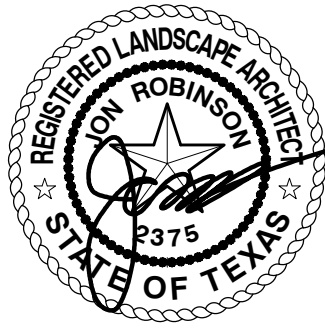
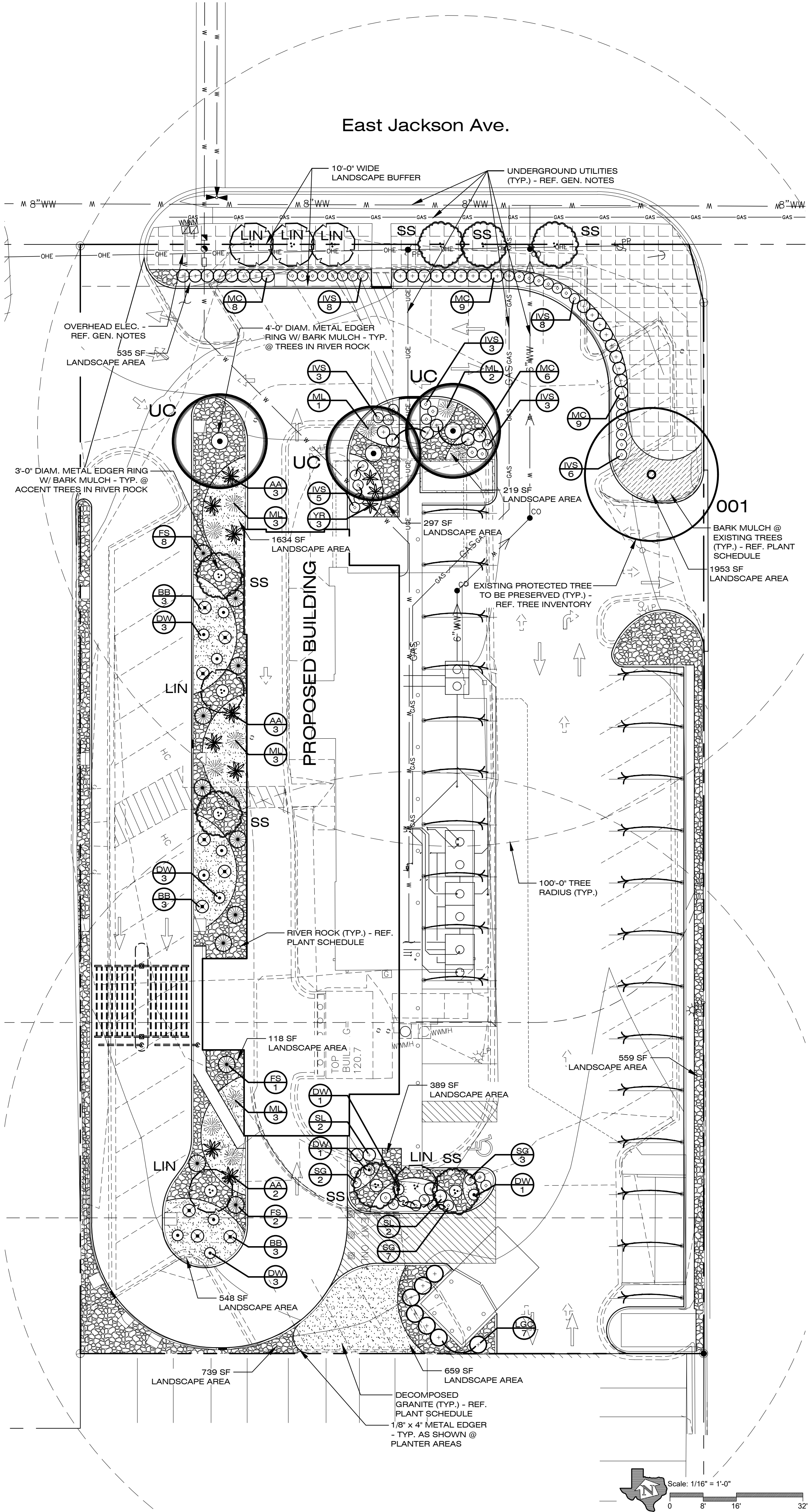
PLANT SCHEDULE					SIZE = CALIPER OR SPREAD	
SYM.	SCIENTIFIC NAME	COMMON NAME	HGT.	SIZE	CONDITION	REMARKS
TREES						
LIN	Lagerstroemia indica 'Natchez'	NATCHEZ' CREPE MYRTLE	-	2.5" CAL.	B and B	DECIDUOUS / MULTI-TRUNKED
SS	Sophora secundiflora	MOUNTAIN LAUREL	-	2.5" CAL.	B and B	EVERGREEN / MULTI-TRUNKED
UC	Ulmus crassifolia	CEDAR ELM	-	6" CAL.	B and B	DECIDUOUS / SINGLE STEM
SHRUBS						
AA	Agave americana	CENTURY PLANT	-	5 GAL.		ACCENT / PLANT AS SHOWN
BB	Bougainvillea x buttiana	BOUGAINVILLEA 'BARBARA KARST'	-	5 GAL.		ACCENT / PLANT AS SHOWN
DW	Dasyliiron wheeleri	SOTOL	-	5 GAL.		ACCENT / PLANT AT AS SHOWN
FS	Fouquieria splendens	OCOTILLO	-	5 GAL.		ACCENT / PLANT AS SHOWN
IVS	Ilex vomitoria 'Stokes Nana'	DWARF YAU PON	-	3 GAL.		EVERGREEN / PLANT AT 30" O.C.
LGC	Leucophyllum frutescens 'Gn. Cloud'	'GREEN CLOUD' CENIZO	-	5 GAL.		EVERGREEN / PLANT AT 4'-0" O.C.
MC	Myrica cerifera 'Don's Dwarf'	DON'S DWARF SO. WAX MYRTLE	-	5 GAL.		EVERGREEN / PLANT AT 3'-0" O.C.
ML	Muhlenbergia lindheimeri	DEER GRASS	-	5 GAL.		ACCENT / PLANT AS SHOWN
SG	Salvia greggii	RED SALVIA	-	3 GAL.		EVERGREEN / PLANT AT 30" O.C.
SL	Salvia leucantha	MEXICAN BUSH SAGE	-	5 GAL.		EVERGREEN / PLANT AT 3'-0" O.C.
YR	Yucca recurvifolia	SOFT LEAF YUCCA	-	5 GAL.		ACCENT / PLANT AS SHOWN
GROUNDCOVERS AND GRASSES						
	Cynodon dactylon '419'	'419' HYBRID BERMUDAGRASS	-		SOLID SOD	SEE SPECIFICATIONS
		DECOMPOSED GRANITE	-			APPLY TO 3" COMPACTED DEPTH OVER SUBGRADE W/ GEO-TEXTILE WEED BARRIER AND PRE-EMERGENT HERBICIDE. FILL UNDER ADJACENT SHRUBS.
		3" - 4" 'TEXAS BLEND' RIVER ROCK	-			APPLY TO 4" DEPTH OVER COMPACTED SUBGRADE W/ GEO-TEXTILE WEED BARRIER AND PRE-EMERGENT HERBICIDE. FILL UNDER ADJACENT SHRUBS.
		ORGANIC BARK MULCH	-			PROVIDE TO 6" DEPTH @ EXISTING TREES TO BE PRESERVED



SHRUB PLANTING DETAIL



TREE PLANTING DETAIL



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OWNER  
CLUB CAR WASH

9315 Spring Cypress Road, Suite A  
Spring, TX 77379

PROJECT  
Club Car wash

1300 East Jackson Ave.  
McAllen, Texas 78503

REVISIONS

PROJECT NUMBER  
2024-239

Drawn By: ev  
Checked By: jr

Sheet Title:  
LANDSCAPE  
PLANTING  
PLAN

Sheet Number:

L1.0

Issue Date:

October 7, 2024



PART 1 - GENERAL

- 1.1 Work Included
- A. Place and spread topsoil and planting mix.
- B. Install edging at planter areas.
- C. Excavate and prepare plant pits.
- D. Place plants in pits and backfill with planting mix.
- E. Prune plants.
- F. Apply mulch to planter areas.
- G. Install solid sod, hydromulch, or seed mix.
- H. Guarantee plants.
- I. Inspect plants during the Guarantee Period.
- 1.2 Reference Standards
- A. Nomenclature and size. All plants must be true to name and size in conformance with the following standards:
- B. American Joint Committee on Horticultural Nomenclature, 1942 ed. of Standardized Plant Names (Mount Pleasant Press, J. Horace McFarland Co., Harrisburg PA)
- C. American Standard of Nursery Stock, 1973 ed. (American Association of Nurserymen, Inc., Washington DC)
- 1.3 Submittals
- A. Submit weed control program in accordance with Sec. 01300
1. Indicate chemicals to be employed, manufacturer's printed instructions as to dilution and application, solution strength, application method, rates, and frequency, and frequency of manual weeding.
2. Submit chemical manufacturer's written certificate that material proposed for use meets local, state, and federal regulations for the type of material proposed and that the material is not toxic to humans and animals if applied per the manufacturer's written instructions.
- B. Submit topsoil sample (min. 1-gal. bag) in accordance with Sec. 01300
1. Indicate topsoil supplier source.
2. Provide laboratory test results indicating compliance w/ topsoil composition requirements.
- C. Submit planting mix sample (min. 1-gal. bag) in accordance with Sec. 01300
1. Indicate planting mix supplier source.
2. Provide laboratory test results indicating compliance w/ planting mix composition requirements
- D. Submit bark mulch sample (min. 1-gal. bag) in accordance with Sec. 01300
1. Indicate bark mulch supplier source.
- E. Submit decomposed granite sample (min. 1-gal. bag) in accordance with Sec. 01300
1. Indicate decomposed granite supplier source.
- F. Submit irrigation system product data in accordance with Sec. 01300.
1. Provide manufacturers' cut sheets indicating compliance with all equipment specified in the Irrigation Plans
- 1.4 Product Delivery, Storage, and Handling
- D. Handle and store all materials in such a manner as to prevent damage.
- 1.5 Existing Conditions
- A. Prior to commencement of work, investigate the site, locate and identify all existing underground utilities that may conflict with the installation of the work described in the contract documents, and notify the Landscape Architect of the conflict and do not proceed with construction in the affected area without specific direction.
- B. Protect identified utilities from damage during installation.
- 1.6 Guarantee
- A. All plants will be guaranteed against defects, including death and unsatisfactory growth, for a period of 12 months following the date of Substantial Completion. If replacement plants are installed, they will be guaranteed for an additional 12 months following their installation.
- 1.7 Responsibilities of Owner and Contractor
- A. The Contractor will provide monthly inspections of the project during construction and the guarantee period and immediately provide to the Owner and the Landscape Architect a written report identifying any irregularities which affect the guarantee.
- B. The Contractor will monitor any construction, whether conducted by other trades or the Owner's employees, adjacent to new and existing plants. The Contractor will identify and document any damage to the plants and immediately notify the Landscape Architect of same. The Contractor will replace any damaged plants at no expense to the Owner. Any reimbursement from other trades or contractors shall be the sole responsibility of the Contractor.
- C. The Contractor will remove and replace all dead plants.
- D. The Contractor will ensure all plants are installed in an upright position and to proper finish grade and will reset any plants not installed accordingly.
- E. The Contractor will have the sole responsibility for ensuring that all plants are maintained and watered adequately.
- 1.8 Final Inspection
- A. At the conclusion of the guarantee period, the Landscape Architect will inspect the planting to assess the final acceptance of the installation. Only plants that are alive and healthy will be accepted. The Contractor will replace any plants that are dead or, in the sole opinion of the Landscape Architect, in an unhealthy or unsightly condition or have lost their natural form due to dead or removed branches. The Contractor will bear the cost of replacing any plants.
- 1.9 Quality Assurance
- A. Before entering into a contract with any subcontractor, the General Contractor will investigate the proposed subcontractor's reputation and ability to perform the work and determine whether the subcontractor is stable, reputable, and skilled in this area of work. The General Contractor will require and review a minimum of the following submittals:
1. Experience. The subcontractor will be a single firm specializing in landscape installation with a minimum 5 years documented experience. Documentation will demonstrate a minimum 10 installations of equal or greater size. The subcontractor will furnish the name, address, and telephone number for both the General Contractor and Owner on these projects, as well as the contract price, the company name under which the work was performed, and completion date.
2. Personnel. The subcontractor will provide a list of the project manager and foreman proposed to complete the work, their years of experience in the industry, any formal training, and years of service with the current company. If a separate irrigation subcontractor is to be used, the same information will be provided.
3. Business Expertise. The subcontractor will submit a current audited financial statement, current insurance certificate, contact information for their insurance company, bonding capacity and bonding company, and contact information for their bonding company.
- B. Should the subcontractor selected by the General Contractor default on the contract, fail to complete the work in conformance with the Contract Documents, or enter into bankruptcy, the Owner will pay the Landscape Architect as an additional service for any additional work occasioned by the subcontractor's default
- PART 2 - PRODUCTS
- 2.1 Materials
- A. Topsoil. Provided by the landscape subcontractor from local sources, sandy loam which is fertile, friable, surface soil. Topsoil will be free of rocks, stones, subsoil, building debris, weeds, grass, clay lumps, and other materials which would be detrimental to turfgrass growth. Topsoil composition will be not less than 7% nor more than 12% clay and not more than 12% silt.
- B. Planting Mix. Plant mix composition will be 35% compost, 33% red sand, 16% composted topsoil, and 16% pine bark mulch.
- C. Commercial Fertilizer. Complete fertilizer of neutral character, with some elements derived from organic sources and containing available plant nutrients in the following percentages:
1. For trees and shrubs - Woodace Top Dress Special (20-4-11, 8 - 9 month formula) at a rate of 5 to 10 lbs. per 100 SF.
2. For lawns - Min. 1 lb. of actual nitrogen per 100 SF of lawn area, min. 4% phosphoric acid, and min. 2% potassium. Provide nitrogen in a form that will be available to turfgrass during the initial period of growth and in a minimum 50% organic form.
- 2.2 Plant Materials
- A. The drawings contain a complete list of plant species, quantities, sizes, and other requirements. In the event that discrepancies occur between the quantities of plants indicated on the plant list and as indicated on the drawings, the plant quantities shown on the drawings will be given precedence.
- B. No substitutions of plants will be permitted without express prior written authorization by the Landscape Architect.
- C. All plants will comply with state and federal inspection and diseases infestation laws.
- D. All plants will be typical of their species or variety, with normal, well-developed branches and vigorous root systems.
- E. All plants will be healthy and vigorous, free from defects, disfiguration, knots, abrasions, sunscald, diseases, insect eggs or larvae, borers, and all other forms of diseases or infestations.
- F. All plants will be nursery stock. Any plants gathered from native stands must be kept under nursery conditions for a minimum of 1 full growing season, must be free from all foreign plants and weeds, and must meet all other requirements of the Contract Documents.
- G. Container-grown plants must exhibit development of fibrous roots and have a root mass that will retain its shape when removed from the container. Plants grown in smaller containers must have root growth sufficient to reach the sides of the container. Root-bound container-grown plants will be rejected.
- H. Container sizes of a large grade than listed in the American Standard for Nursery Stock (ASNS) shall be determined by the volume of the root ball specified in the ASNS for plants of the same size.
- I. All bare root plants must have a heavy, fibrous root system and dormant buds at the time of planting.
- J. All plants must have average height and spread proportions and branching habit in accordance with the appropriate sections of the ASNS.
- K. All plants which have girdled roots, stem, or major branch, have deformities of the stem or major branch, lack symmetrical growth habits, have dead or defoliated portions, or have any defect, injury, or conditions which in the sole opinion of the Landscape Architect renders them unsuitable, will be rejected.

- L. Balled and burlapped plants must have a solid ball of earth of minimum specified size held securely in place by burlap and stout rope. Oversized or exceptionally heavy plants will be accepted provided the size of the root ball or spread of the roots is increased proportionally. Root balls must be tight, unbroken, and free of weed or foreign plant growth. Root balls shall have the following depth-to-diameter ratios: root ball diameters of less than 20" = minimum depth of 75% of the diameter; root ball diameters of 20" to 30" = minimum depth of 2/3 of the diameter; root ball diameters over 30" = minimum depth of 80% of the diameter.
- M. Plants delivered as a single unit of 25 or less of the same size, species, and variety must be clearly marked and tagged. Plants delivered in large quantities of more than 25 must be segregated as to variety, grade, and size, and 1 plant in each 25 plants, or fraction thereof, of each size, species, and variety, must be tagged.
- N. Plants stored under temporary conditions will be the responsibility of the Contractor and must be protected at all times from extreme weather conditions by insulating the root balls with sawdust, soil, mulch, or other approved measure. Plants stored on paved areas must be separated from the pavement with an insulating layer.
- O. Protecting stored plants from theft or vandalism will be the sole responsibility of the Contractor. Any stolen plants will be replaced at no cost to the Owner.
- 2.3 Miscellaneous Materials
- A. Mulch. Shredded native mulch applied to a depth of 4" beneath all new trees and 4" beneath all shrubs.
- B. Stakes. Sound new hardwood, treated softwood, or redwood stakes, free of knot holes and other defects, or metal stakes. Provide wire ties and guys of 2-strand, twisted, pliable galvanized iron wire, minimum 12-gauge, with zinc-coated turnbuckles. Provide minimum 1/2" diameter rubber or plastic hose, cut to required lengths and of uniform color, material, and size, to protect tree trunks and branches from damage by wires. All new trees are to be staked.
- C. Anti-Dessicant: Emulsion type, film-forming agent designed to permit transpiration but retard excessive loss of moisture from plants. Deliver in manufacturer's full identified containers and mix in accordance with manufacturer's instructions.
- D. Plastic trunk protectors: Provide ArborGuard+, AG 9-4+ by Deep Root Partners, L.P. (or equal), (1-800-458-7668) to protect new trees from damage by string trimmers and mowers.

PART 3 - EXECUTION

- 3.1 Inspection
- A. Inspect existing site conditions and progress of other trades before commencing landscape installation.
- B. Verify that construction has progressed to a point at which the landscape will not be adversely affected by subsequent construction and that existing conditions are acceptable for landscape installation.
- C. Report adverse conditions to the Landscape Architect and do not proceed with the work until adverse conditions have been rectified.
- D. Commencement of the landscape installation will constitute acceptance of the site conditions without qualification.
- 3.2 Preparation of Subsoil
- A. Inspect subsoil for the presence of objectionable materials such as rocks (2" diameter and greater), concrete waste, building debris, weeds, grass, and other material that would be detrimental to the growth of plants and turfgrass. Protect existing underground improvements from damage.
- B. Cultivate the subsoil to a depth of 3" or, if the subsoil is compacted due to heavy equipment traffic or storage, cultivate to a depth of 6".
- 3.3 Spreading Topsoil
- A. See lawn installation for topsoil spreading procedures in turfgrass areas.
- B. Spread topsoil and planting mix to required finish grades. Fill turfgrass areas with topsoil to a minimum depth of 4".
- C. Cultivate with a mechanical tiller to break up clods and cultivate by hand in inaccessible areas. Rake until the surface is smooth.
- D. Remove from the site any foreign or objectionable material collected during cultivation.
- E. Grade to eliminate rough spots and low spots where ponding may occur, maintaining smooth and uniform grades that will encourage positive drainage. Continue to grade the topsoil until it is firm and settled with a smooth surface, watering, drying, and re-grading as necessary.
- F. The landscape Contractor is solely responsible for ensuring positive drainage regardless of the condition of the subgrade. If extreme pr objectionable conditions exist, notify the Landscape Architect before proceeding.
- G. Mix the specified soil amendments and fertilizers with topsoil at the specified rates. Do not mix fertilizers unless planting will follow the spreading of topsoil or planting mix within 48 hours.
- H. All planting areas must be prepared so that they remain free of debris and weeds until planting occurs.
- I. Weed control in the planting areas will consist of killing all weeds and maintaining a weed-free condition in accordance with the weed control program until completion of the project.
- J. Protect adjacent plants from damage due to overspray of weed control chemicals.
- 3.4 Planting
- A. The Contractor will begin planting when other work divisions such as topsoil spreading have progressed sufficiently to permit planting.
- B. Planting will occur where it is shown on the Contract Documents unless obstruction overhead or underground are encountered or where changes in construction have been made. Prior to the excavation of shrub or tree pits, the Contractor will locate and identify all underground utility lines, electrical cables, irrigation lines, and conduits. If such obstructions are found, promptly notify the Landscape Architect and do not proceed without clear direction.
- C. No planting pits will be excavated until the proposed locations and plant sizes have been reviewed and approved by the Landscape Architect. Each plant will be planted in an individual pit dug with straight vertical sides. All plants will be set such that their original soil level is equal to the ultimate finish grade. No filling will be done around the trunks and stems. All ropes, wires, stakes, etc., will be removed from the sides and top of the root ball and removed from the pit before filling. Burlap will be properly cut and removed from the sides of the root ball. When a depth is specified for the plant pit, it will be construed as the depth below adjacent finish grade. Excess excavation from plant pits shall be either used elsewhere or removed from the site entirely.
- D. The Landscape Architect will review and approve the location and orientation of all plants prior to excavation of their pits. All trees will be planted in pits a minimum 24" greater in diameter than the container size or spread of their roots. In the event that solid rock is encountered in the bottom of the pit, break up and loosen the sides and bottom of the pit so that water will drain effectively. The pit will be a minimum of 9" deeper than the depth of the root ball and will have a crown from the middle to the sides in order to direct drainage away from the root ball. Place potting mix in the bottom of the pit and tamp down to prevent settling. Backfill the pits with planting mix in layers no greater than 9" and tamp down to avoid settling. Provide enough planting mix to bring to finish grade and form a saucer with a minimum 4" lip around the perimeter of the tree's root ball so water will pond and soak into the root ball.
- E. Stake trees immediately after planting, then remove the stakes after one (1) year.
- F. If deciduous trees are planted in full-leaf, spray with anti-dessicant to provide an adequate film over the trunk, branches, stems, and foliage.
- G. Shrubs will be planted in pits a minimum of 12" greater in width than the diameter of the root ball or container. In the event that solid rock is encountered in the bottom of the pit, break up and loosen the sides and bottom of the pit so that water will drain effectively. The depth of the pit will be sufficient to accommodate the root ball and to set the plant at finish grade. Backfill the pit with planting mix, tamp down and settle thoroughly, bring to finish grade, and form a slight saucer to hold additional water and soak the root ball. After planting has been approved, apply bark mulch to a depth of 2" around all plants in the planting area..
- H. All ground cover material will be planted as follows:
1. One gallon material will be planted the same as one gallon shrubs.
2. 4" pot material will be planted in pits the same size as or larger than the root system, then firmly tamped by hand and watered in using a fine spray.
3. Where settlement occurs, backfill with additional planting mix to cover exposed roots and to bring to finish grade.
4. After planting has been reviewed and approved, apply decomposed granite to a compacted depth of 2".
5. Thoroughly water each plant using a root stimulator solution (Green Light or equal) mixed according to the manufacturer's recommendations.
6. Neatly prune and/or clip each plant as necessary to preserve the natural character. Conduct all pruning with sharp, clean tools and clip bruised or broken branches with a clean cut. Paint pruning cuts 2" in diameter and larger with an approved tree wound paint.
7. Apply water as required to keep the mulch damp at all times during germination and initial growth period or as directed by the Landscape Architect.
- 3.5 Lawn Installation
- A. Do not commence lawn installation until after the irrigation system has been completely installed and is operational.
- B. Do not commence any lawn installation until the Landscape Architect has reviewed and approved all areas prepared for sodding.
- 3.6 Sodded Lawns
- A. Prior to spreading topsoil and in all areas to receive lawn, cultivate the subsoil to a minimum depth of 4". Cultivation may be conducted by disc, spring tooth harrow, rototiller, or similar mechanical means, and should be done in a direction perpendicular to the natural flow of water.
- B. After the topsoil has been spread, mechanically till the area to a depth of 4", then roll rake and drag to remove all large clods, rocks, debris, and litter over 1" in diameter. Dispose of clutter at an off-site location.
- C. Using a lightweight, water-filled roller, roll the raked topsoil in two (2) opposite directions.
- D. Rake the rolled topsoil to a smooth, level surface, removing ridges and filling depressions. Remove all remaining rocks and debris over 1" in diameter.
- E. Hold the finish grade 1-1/2" to 2" below adjacent curbs, sidewalks, paving, and other hard surfaces.
- F. Apply the fertilizer at a rate of 2 lbs. per 100 SF.
- G. Rake the fertilizer into the surface soil at a depth of 1/2" to 1".
- H. Roll the fertilized topsoil in one (1) direction, water lightly of the surface soil is dry, then allow to dry.
- I. Lay the sod within 24 hours of stripping. Working from plywood boards to avoid disturbing the topsoil or sod, but the ends and sides of sod strips without overlapping, stagger strips to offset joints in adjacent courses, and tamp or roll lightly to ensure good contact with the surface soil. Sift topsoil into minor cracks between sod pieces, then remove excess from the top. Do not lay dormant sod.

- J. On slopes in excess of 20% (5:1), anchor sod with wooden stakes.
- K. Water sod thoroughly with a fine spray immediately after application.
- L. Erect a barrier of stakes and ropes around the perimeter of the sodded areas and post warning signs to deter foot traffic.
- M. Water as necessary to keep the sod damp at all times through germination and initial growth period.
- 3.7 Cultivation and Cleanup
- A. Upon completion of the planting, all excess material shall be removed and disposed of at a location off-site. Bring the finish grade in planter areas to a uniform grade, 1-1/2" below all adjacent paving or hard surfaces. Loosen the soil surrounding each individual plant to a distance of three (3) feet around each new tree and large shrub and 12" around each new small shrub and ground cover.

- 3.8 Maintenance and Restoration
- A. The Contractor will ensure adequate and proper care of all plants and work done on this project until final acceptance, but in no case less than 30 days following Substantial Completion. This will include keeping all plants in a healthy growing condition by watering, cultivating, pruning, and spraying, keeping the planting areas free from insect infestation, weeds and grass, litter, and debris, and retaining the finish grade in a neat and uniform manner. Plant crowns, runners, and branches will be kept free of mulch at all times.
- B. Protect all lawn areas from vehicle and pedestrian traffic.
- C. Repair all sod areas damaged by any cause prior to final acceptance.
- D. The lawn establishment period will begin immediately after the lawn planting area has been accepted by the Landscape Architect, will extend for a minimum of 30 days or until the end of the contract, and will consist of caring for all lawn areas within the project limits of work.
- E. During the lawn establishment period, the Contractor will be responsible for ensuring healthy growth of the turfgrass. This responsibility includes all labor and materials necessary keep the project in a presentable condition, including, but not limited to, litter removal, mowing, trimming, weed control, removal of grass clipping, edging, and any necessary re-sodding and repair.
- F. During the lawn establishment period the Contractor will as often as conditions dictate mow the turfgrass to a cutting height of 1-1/2". The turfgrass shall never exceed 3" in height and all clipping will be removed from the site.
- G. During the months of March through September, the Contractor will edge at least once every month or as directed by the Landscape Architect.
- H. During the months of March through September, the Contractor will apply water to sodded areas at an even rate of 1" of water per week, although the Landscape Architect may change this rate as conditions warrant.
- I. Final acceptance of the lawn areas will be based on he presence of a uniform stand of grass at a uniform grade at the time of final inspection. Areas 24" square and large that are bare, have a poor stand of grass, or have an finish grade that is not uniform will be at the Contractor's expense re-graded, re-sodded, and fertilized as specified herein.
- J. Upon completion of the initial planting, the Landscape Architect will make an inspection of all plantings and notify the Contractor in writing of any replacements or corrective actions necessary to meet the provisions of the Contract Documents. The Contract will then replace all the rejected or missing plants and perform the specified corrective measures.
- K. All replacement plants will be of the same species, size, and quality. All rejected plants will be replaced within 30 days of notification.
- 3.9 Acceptance
- A. Upon receipt of a written request from the Contractor at least seven (7) prior, the Landscape Architect will inspect the planting and maintenance to determine its completion and the beginning of the guarantee period. All plants must be alive and healthy in order for the installation to be considered complete. Where inspected work does not comply with the requirements of the Contract Documents, replace rejected work and continue to perform the specified maintenance until the Landscape Architect re-inspects the work and finds it acceptable. Remove rejected plants and materials from the site.

END OF SECTION

H O R I Z O N

DESIGN AND DEVELOPMENT  
PLANNING LANDSCAPE ARCHITECTURE  
DEVELOPMENT CONSULTING  
16414 San Pedro Ave., Suite 630  
San Antonio, Texas 78232  
210.831.8564 jrobinson@horizondesign-sa.com



107124

The user of this file agrees to assume all responsibility for any modifications to or use of this drawing file that is inconsistent with the requirements of the Rules and Regulations of the Texas Board of Architectural Examiners. No person may make any modifications to this electronic drawing file without the Landscape Architect's express written permission.

OWNER

CLUB CAR WASH

PROJECT

Club Car wash

1300 East Jackson Ave.  
McAllen, Texas 78503

REVISIONS

PROJECT NUMBER

2024-239

Drawn By: ev

Checked By: jr

Sheet Title:

LANDSCAPE  
SPECIFICATIONS

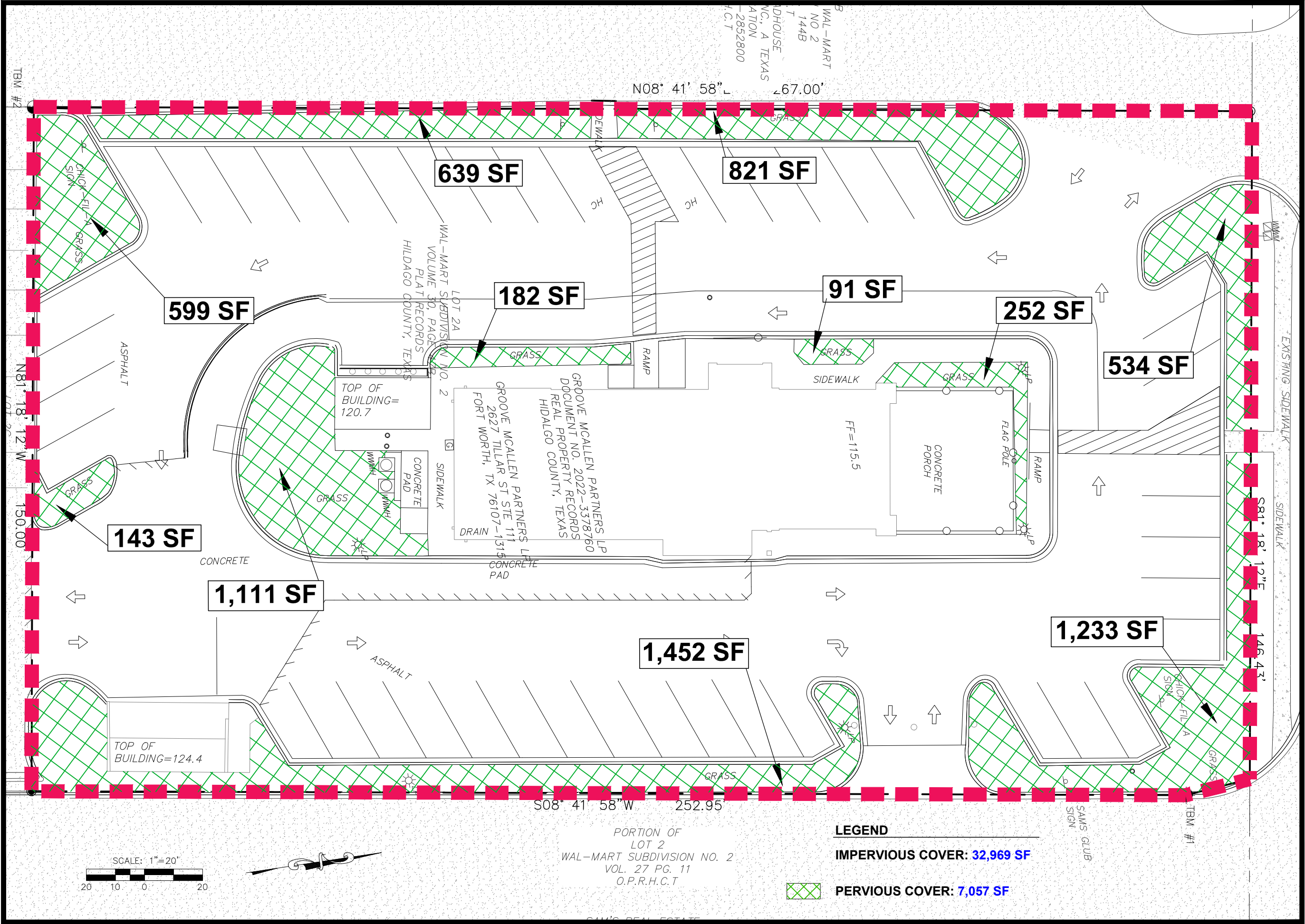
Sheet Number:

L2.0

Issue Date:

October 7, 2024





# CLUB CAR WASH-E JACKSON

1300 EAST JACKSON  
MCALLEN, TEXAS 78503

**Klove**  
**ENGINEERING**  
Site Development Engineering Services  
Firm No. 11042  
www.kloveengineering.com (210) 485-5683

EXISTING IMPERVIOUS COVER EXHIBIT

PROJECT NO.

FILENAME:

DESIGNED BY: AB

DRAWN BY: JC

SCALE: 1"=20'

DATE: 10/01/24

SHEET NO.



SUB 2024-0041

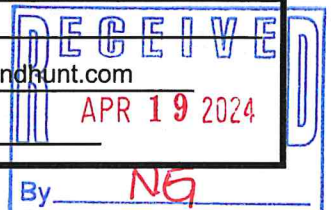
# City of McAllen

## Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)  
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>THE FAMILY CHURCH AT TRES LAGOS SUBDIVISION</u> FT 411a	
	Legal Description <u>Tex-Mex Survey an IRR TR 4.80AC Sec 227 &amp; 10.19AC-Sec 232 Bng N4277.09' S1862.70' - W934.01'</u> <u>15.00AC Net, as per Map or plat thereof recorded in Volume 4, Pages 142-143, H..D.R., McAllen, Hidalgo County, Texas.</u>	
	Location <u>Southeast corner of Tres Lagos Boulevard and North Shary Road</u>	
	City Address or Block Number <u>14500 N. Shary Road</u>	
	Total No. of Lots <u>1</u> Total Dwelling Units _____ Gross Acres _____ Net Acres <u>15.00</u>	
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input type="checkbox"/> No	
	For Fee Purposes: <input checked="" type="checkbox"/> Commercial ( <u>15.00</u> Acres) / <input type="checkbox"/> Residential ( _____ Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	Existing Zoning <u>C-4</u> Proposed Zoning <u>C-4</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Religious Institution Use (Church)</u>	
	Irrigation District # <u>U.I.D.</u> Water CCN: <input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other _____	
Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # <u>1131585</u>		
Estimated Rollback Tax Due <u>see attached</u> (\$1,613.30) Tax Dept. Review <u>04-10-24 I.D.L</u>		
Owner	Name <u>The Family Church of McAllen</u> Phone <u>(956) 682-2092</u>	
	Address <u>2322 North McColl</u> E-mail <u>designbarney@gmail.com, elirodriguez@tfcrgv.com</u> <u>and diaparedes@tfcrcallen.com</u>	
	City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u>	
Developer	Name <u>The Family Church of McAllen</u> Phone <u>(956) 682-2092</u>	
	Address <u>2322 North McColl</u> E-mail <u>designbarney@gmail.com, elirodriguez@tfcrgv.com</u> <u>and diaparedes@tfcrcallen.com</u>	
	City <u>McAllen</u> State <u>Texas</u> Zip <u>78501</u>	
	Contact Person <u>Barney Paradise, Eli Rodriguez (Pastor) and Claudia Paredes (CFO)</u>	
Engineer	Name <u>Melden &amp; Hunt, Inc.</u> Phone <u>(956) 381-0981</u>	
	Address <u>115 West McIntyre Street, Edinburg, Texas 781</u> E-mail <u>kelly@meldenandhunt.com, beto@meldenandhunt.com</u> <u>and drobles@meldenandhunt.com</u>	
	City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>	
	Contact Person <u>Kelley Heller-Vela, P.E., Beto De La Garza, and Della Robles</u>	
Surveyor	Name <u>Melden &amp; Hunt, Inc.</u> Phone <u>(956) 381-0981</u>	
	Address <u>115 West McIntyre Street, Edinburg, Texas 781</u> E-mail <u>robert@meldenandhunt.com</u>	
	City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>	

KCF





## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

### In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blueline copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blueline prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

### Email Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

\*Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents\*

\*Submit documents to [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

**\*ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL\***

### **PLAT TO SHOW:**

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

**Note:** Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

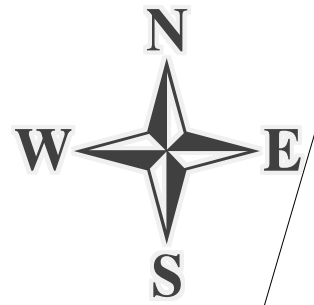
Signature Kelley A Heller Date 04.18.2024

Print Name Kelley Heller-Vela, P.E.

Owner ☐ Authorized Agent ☒

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion





LOCATION

TRES LAGOS BLVD

**PROPOSED FAMILY  
CHURCH AT TRES LAGOS  
SUBDIVISION**

LOT 1

PROPOSED FIRE STATION  
NO. 8 SUBDIVISION

SHARY RD

SHARY RD

ERRA

PHASE 1

TRES

LAGOS

RIVER RD

ESTONE WAY

RIVER RD

BUFFALO SPRINGS WAY

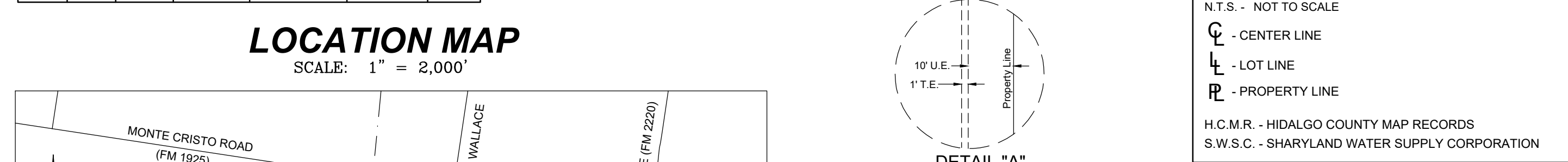
JOE POOL LN

ESCONDIDO

BIG CREEK RD

PASS





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# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 11/14/2024

### SUBDIVISION NAME: THE FAMILY CHURCH AT TRES LAGOS SUBDIVISION

#### REQUIREMENTS

##### STREETS AND RIGHT-OF-WAYS

N. Shary Road: 120 ft. R.O.W. existing  
Paving: min. 65 ft. Curb & gutter: Both Sides  
-Please provide R.O.W. documents for staff review prior to final/recording.  
\*\*Subdivision Ordinance: Section 134-105  
\*\*Monies must be escrowed if improvements are required prior to final  
\*\*COM Thoroughfare Plan

Required

Tres Lagos Blvd.: 100 ft. ROW existing  
Paving: min. 65 ft. Curb & gutter: both sides  
-Please provide R.O.W. documents for staff review prior to final/recording.  
\*\*Subdivision Ordinance: Section 134-105  
\*\*Monies must be escrowed if improvements are required prior to final  
\*\*COM Thoroughfare Plan

Required

Paving \_\_\_\_\_ Curb & gutter \_\_\_\_\_  
\*\*Subdivision Ordinance: Section 134-105  
\*\*Monies must be escrowed if improvements are required prior to final  
\*\*COM Thoroughfare Plan

NA

\* 1,200 ft. Block Length  
\*\*Subdivision Ordinance: Section 134-118  
\* 900 ft. Block Length for R-3 Zone Districts.  
\*\*Subdivision Ordinance: Section 134-118  
\* 600 ft. Maximum Cul-de-Sac.  
\*\*Subdivision Ordinance: Section 134-105

NA

NA

NA

##### ALLEYS

R.O.W.: 20 ft. Paving: 16 ft.  
\*Alley/service drive easement required for commercial properties  
\*\*Subdivision Ordinance: Section 134-106

NA

##### SETBACKS

Front: Tres Lagos Blvd.: Proposing 50 ft. or greater for easements  
\*\*Zoning Ordinance: Section 138-356  
Rear: In accordance with the Zoning Ordinance or greater for easements.  
\*\*Zoning Ordinance: Section 138-356  
Sides: In accordance with the Zoning Ordinance or greater for easements.  
\*\*Zoning Ordinance: Section 138-356  
Corner: N. Shary Road: Proposing 60 ft. or greater for easements  
\*\*Zoning Ordinance: Section 138-356  
\* Garage  
\*\*Zoning Ordinance: Section 138-356

Applied

Applied

Applied

Applied

NA

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
<b>SIDEWALKS</b>	
4 ft. wide minimum sidewalk required on N. Shary Road and Tres Lagos Blvd. Revisions Needed: Proposing: "A 4 foot minimum wide sidewalk is required on Tres Lagos Boulevard and N. Shary Road. As per sidewalk plan filed with the City by Registered engineer designing the unit of development." **Subdivision Ordinance: Section 134-120 * Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
	Applied
<b>BUFFERS</b>	
6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. **Landscaping Ordinance: Section 110-46	Applied
8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses. **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Applied
<b>NOTES</b>	
* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy	Applied
Site plan must be approved by the Planning and Zoning Commission prior to building permit issuance.	NA
Common Areas must be maintained by the lot owners and not the City of McAllen, as may be applicable and/or per agreement.	Applied
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA
** Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 134-168 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168"	NA
* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording. **Section 134-68 applies if private subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168	NA
<b>LOT REQUIREMENTS</b>	
* Lots fronting public streets. **Subdivision Ordinance: Section 134-1	Compliance
* Minimum lot width and lot area: **Zoning Ordinance: Section 138-356	Compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<b>ZONING/CUP</b>	
Existing: C-4    Proposed: Institutional Use ***Zoning Ordinance: Article V	Compliance
* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA
<b>PARKS</b>	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording	NA
* Pending review by the Parkland Dedication Advisory Board and CC.	NA
<b>TRAFFIC</b>	
* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat. TG Approved, No TIA required.	Applied
* Traffic Impact Analysis (TIA) required prior to final plat. TG approved, no TIA required.	Applied
<b>COMMENTS</b>	
Comments: -Need to provide copies of documents for the abandoned R.O.W. easement that goes from North-South located on the plat for staff review prior to final/recording. -Need to provide plat note regarding the Min. 24 ft. wide private service drive easements as required by Traffic department prior to recording. -Update location map with updated parcel maps. *Conditional Use Permit (CUP2024-0050) was approved by the Planning & Zoning Commission on 10/22/24 and was approved by the City Commission on 11/11/24. *Disclaimer: The surveyors seal has a misspelling, it currently read seal as "Registerd" *The Subdivision was approved in preliminary form at the P&Z meeting of May 7, 2024, subject to conditions noted,, drainage & utilities approvals. **Must comply with City's Access Management Policy and access spacing as specified by the Traffic Department ***Additional notes as needed prior to recording regarding maintenance responsibilities of any common areas. ****Must comply with Fire, Public Works and other departments as may be applicable at time of Conditional Use Permit review, including site plan requirements related to the C.U.P.	Required
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN FINAL FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE AND UTILITY APPROVALS.	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**





LOCATION

TRES LAGOS BLVD

SHARY RD

**PROPOSED FAMILY  
CHURCH AT TRES LAGOS  
SUBDIVISION**

LOT 1

**PROPOSED FIRE STATION  
NO. 8 SUBDIVISION**

LIMESTONE WAY

RIVER RD

BUFFALO

RD

JOE POOL LN

SECOND

RY RD

**PHASE 1**

RA

S



Sub2022-0142



City of McAllen  
Planning Department  
APPLICATION FOR

SUBDIVISION PLAT REVIEW

311 North 15<sup>th</sup> Street  
McAllen, TX 78501  
P. O. Box 220  
McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

Project Description	<p>Subdivision Name <u>Vargas Patrimony Subdivision</u></p> <p>Location <u>S 29<sup>th</sup> St, McAllen TX 78501</u></p> <p>City Address or Block Number <u>307 S. 29<sup>th</sup> St.</u></p> <p>Number of lots <u>2</u> Gross acres <u>0.495</u> Net acres <u>0.23, 0.24</u></p> <p>Existing Zoning <u>R2</u> Proposed <u>R2</u> Rezoning Applied For <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Date _____</p> <p>Existing Land Use <u>SFR</u> Proposed Land Use <u>Multi-family</u> Irrigation District # <u>1</u></p> <p>Residential Replat Yes <input type="checkbox"/> No <input type="checkbox"/> Commercial Replat Yes <input type="checkbox"/> No <input type="checkbox"/> ETJ Yes <input type="checkbox"/> No <input type="checkbox"/></p> <p>Agricultural Tax Exempt Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Estimated Rollback tax due _____</p> <p>Parcel No. _____ Tax Dept. Review _____</p> <p>Legal Description <u>A 0.495 acre out tract number five and six of an unrecorded plat of that 5.0 acre tract out of lot 146, La Cometa Irrigation and Construction Co. Subd.</u></p>
Owner	<p>Name <u>Miguel Angel Vargas &amp; Johana Vargas</u> Phone <u>(956) 560-8245</u></p> <p>Address <u>901 W Solar dr.</u></p> <p>City <u>Mission</u> State <u>TX</u> Zip <u>78574</u></p> <p>E-mail <u>vargas.homes@gmail.com</u></p>
Developer	<p>Name <u>Miguel Angel Vargas &amp; Johana Vargas</u> Phone <u>(956) 560-8245</u></p> <p>Address <u>901 W Solar dr.</u></p> <p>City <u>Mission</u> State <u>TX</u> Zip <u>78574</u></p> <p>Contact Person <u>Miguel Angel Vargas</u></p> <p>E-mail <u>vargas.homes@gmail.com</u></p>
Engineer	<p>Name <u>MAS Engineering, LLC</u> Phone <u>(956) 537-1311</u></p> <p>Address <u>3911 N 10<sup>th</sup> St Suite H</u></p> <p>City <u>McAllen</u> State <u>TX</u> Zip <u>78501</u></p> <p>Contact Person <u>Mario Salinas</u></p> <p>E-mail <u>msalinas6973@att.net</u></p>
Surveyor	<p>Name <u>Manuel Carrizales</u> Phone <u>(512) 420-1489</u></p> <p>Address <u>fnfud@gmail.com</u></p> <p>City <u>Edinburg</u> State <u>TX</u> Zip <u>78539</u></p>

ENTERED

NOV 16 2022

Initial: NM



## Proposed Plat Submittal

- \_\_\_\_\_ \$225 Preliminary Review Fee and \$75 Final Approval Fee
- \_\_\_\_\_ Title Report
- \_\_\_\_\_ 8 ½" by 11" Original Sealed Survey showing existing structures/ easements or 3 blueline copies
- \_\_\_\_\_ 2 Location Maps
- \_\_\_\_\_ 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- \_\_\_\_\_ 6 Folded blueline prints of the proposed plat
- \_\_\_\_\_ 2 Warranty Deeds (Identifying owner on application)
- \_\_\_\_\_ Autocad 2005 DWG file and PDF of plat
- \_\_\_\_\_ Letter of Authorization from the owner, if applicable
- \_\_\_\_\_ Proof of authority of person signing application on behalf of partnership/corporation, if applicable

### PLAT TO SHOW:

- ✓ Metes and bounds
- ✓ Lots numbered with dimensions and area of irregular lots noted
- ✓ Surrounding platted lots and/or lot lines for unplatted tracts
- ✓ Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- ✓ North arrow, scale and vicinity map
- ✓ Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission of blueline copies prints and 8 ½" by 11" copies/legible copy of the plat, affected by changes.

Minimum Developer's Requirements Submitted with Application

Owner's Signature

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature Miguel A. Vargas Date 11/15/22  
Johana Vargas

Print Name MIGUEL ANGEL VARGAS.

Johana Vargas  
Owner ☒

Authorized Agent ☐



VAR 2024-0046



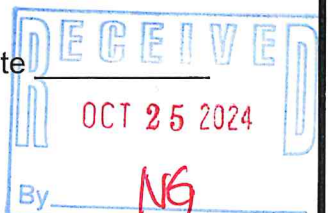
City of McAllen

# Planning Department

## VARIANCE TO SUBDIVISION PROCESS APPLICATION

 311 North 15<sup>th</sup> Street  
 McAllen, TX 78501  
 P. O. Box 220

 McAllen, TX 78505-0220  
 (956) 681-1250  
 (956) 681-1279 (fax)

Project	Legal Description <u>BEING 0.495 ACRES OUT OF TRACT 5 &amp; 6 OF AN UNRECORDED</u> <u>PLAT OF THAT 5.0 ACRE TRACT OUT OF LOT 146, LA LOMITA (HOIT)</u> Proposed Subdivision (if applicable) <u>VARGAS PATRIMONY SUBDIVISION</u> Street Address <u>307 S. 29TH STREET</u> Number of lots <u>2</u> Gross acres <u>0.495</u> Existing Zoning <u>R-2 DUPLEX-FOURPLEX</u> Existing Land Use <u>VACANT</u> <u>RESIDENTIAL</u> <input type="checkbox"/> Current Survey and Metes and Bounds (required if the legal description is a portion of a lot)
Applicant	Name <u>MAS ENGINEERING, LLC.,</u> Phone <u>956-537-1311 / 956-960-6922</u> <u>MARIO A. SALINAS P.E.</u> <u>MARIO.MASENGINEERINGLLC@GMAIL.COM</u> Address <u>3911 N. 10TH STREET, SUITE H</u> E-mail <u>MSALINAS6973@ATT.NET</u> City <u>MCALLEN</u> State <u>TX</u> Zip <u>78501</u>
Owner	Name <u>MIGUEL A. &amp; JOHANA E. VARGAS</u> Phone <u>956-560-8245</u> Address <u>400 N. 38TH ST. APARTMENT 1</u> E-mail <u>VARGASHOMES5@GMAIL.COM</u> City <u>MCALLEN</u> State <u>TX</u> Zip <u>78501</u>
Authorization	To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No I certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable) OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization. Signature <u>[Signature]</u> Date <u>10-24-24</u> Print Name <u>MARIO A. SALINAS, P.E.</u> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Authorized Agent
Office	*FOR OFFICE USE ONLY* APPLICATION FILING FEE: <input type="checkbox"/> \$250.00 Accepted by <u>KF</u> Payment received by _____ Date _____ Rev 06/21 <div style="text-align: right;">  </div>





# City of McAllen

## Planning Department

### REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: *(If necessary, please use an additional page to complete responses)*

\*\*Information provided here by the applicant does not guarantee that the Commission will grant a variance.

\*\*\*Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal

1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.

WE REQUEST A VARIANCE TO NOT DEDICATE OR ESCROW FOR A 20' ALLEY. THIS REQUIREMENT WOULD NOT BE FEASIBLE DUE TO THE EXISTING ALLEYWAY DEAD ENDING AT APPROXIMATELY 66.3 FEET SOUTH OF THE SUBJECT PROPERTY.

2. Describe how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.

THE OWNER WOULD PREFER TO USE THE EXISTING 12.50' UTILITY EASEMENT AS GREEN AREA.

3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.

THERE WOULD BE VERY LITTLE POSSIBILITY OF THE ALLEYWAY BEING CONSTRUCTED IN THE FUTURE DUE TO ESTABLISHED HOMES BEING LOCATED DIRECTLY SOUTH OF THE SUBJECT PROPERTY.

4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.

THE ADJACENT PROPERTIES HAVE BEEN WELL ESTABLISHED FOR A LONG PERIOD OF TIME AND WOULDN'T BE REQUIRED TO DEDICATE AN ALLEYWAY UNLESS THEY ARE REQUIRED TO GO THROUGH THE SUBDIVISION PROCESS IN THE FUTURE.



TEXAN MOB  
SUBDIVISION

LOCATION

DALLAS AVE

BLK 3

29TH ST

SOUTHWEST  
HEIGHTS

1

ERIE AVE

S

18

1  
2

BUCK

20' ALLEY

SUBD

4  
3

146

OMAR SUBDIVISION  
LOT 1 LOT 2

LOT 1  
PROPOSED VARGAS  
PATRIMONY  
SUBDIVISION

LOT 2

CARDENAS SUBD  
LOT 1  
LOT 2

MALENA  
SUBDIVISION  
324  
VENEGAS DIAZ  
SUBDIVISION

5

6

28TH ST

ROBY

1

5

2

SUBD.

SUBD.

15

11

13

10

8

7

CHICAGO AVE

9

10

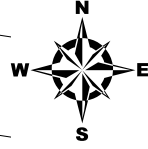
SUBD.

18

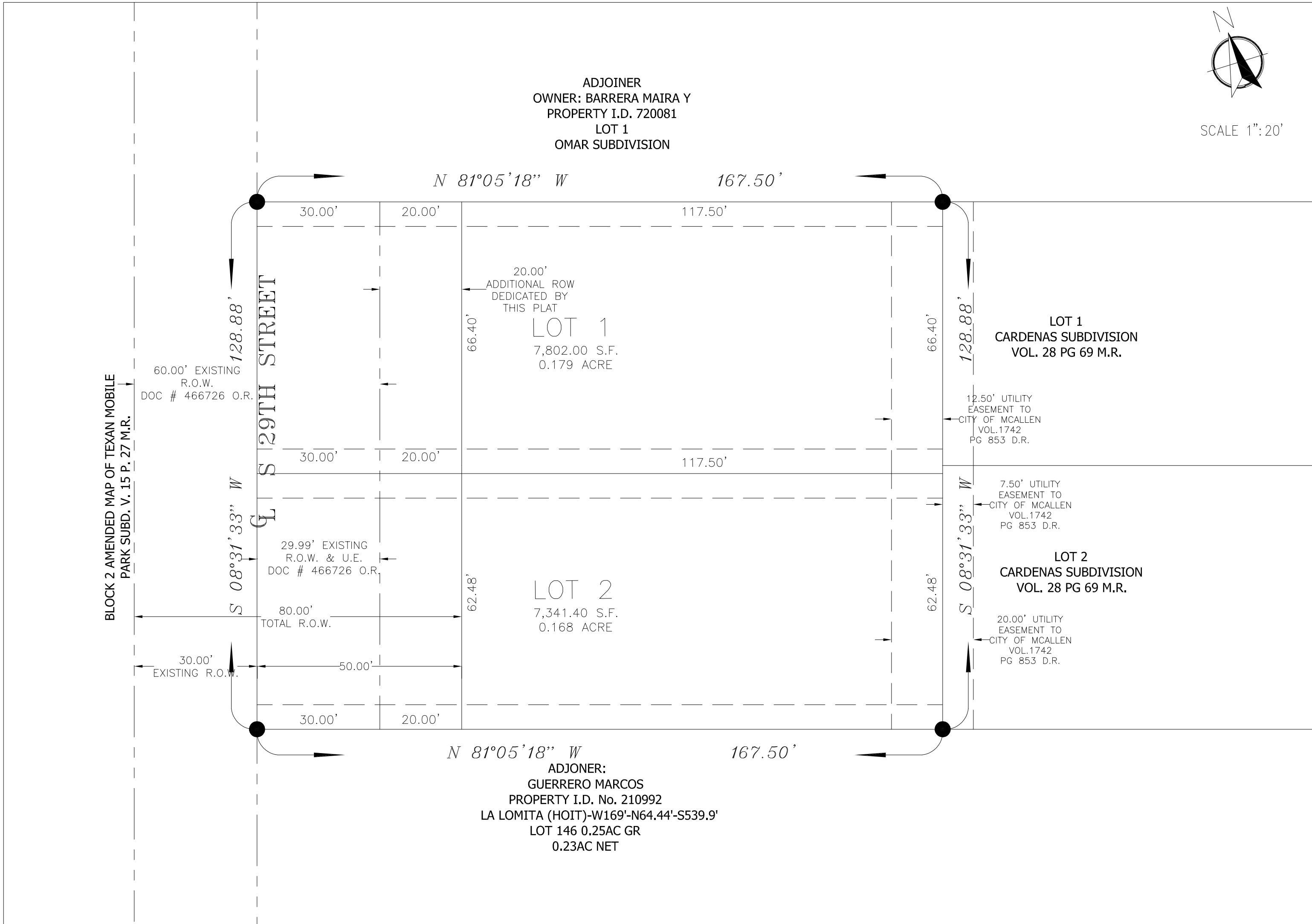
6

27TH ST

10







STATE OF TEXAS  
COUNTY OF HIDALGO  
OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I, MIGUEL ANGEL VARGAS, SUBDIVIDER, AS OWNER OF THE 0.24 AC. TRACT OF LAND ENCOMPASSED WITHIN VARGAS PATRIMONY SUBDIVISION HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREETS AND EASEMENTS SHOWN HEREON. I CERTIFY THAT I HAVE COMPLIED THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE 232.032 AND SECTION 134--61 OF SUBDIVISION ORDINANCE, THAT

(A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET THE MINIMUM STATE STANDARDS;  
(B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET THE MINIMUM REQUIREMENTS OF STATE STANDARDS;  
(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET OR WILL MEET THE MINIMUM STATE STANDARDS; AND  
(D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET OR WILL MEET THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

MIGUEL ANGEL VARGAS  
DATE

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED MIGUEL ANGEL VARGAS PROVED TO ME THROUGH HIS TEXAS DEPARTMENT PUBLIC SAFETY DRIVER'S LICENSE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING DULY SWORN BY ME, DECLARED THAT HIS STATEMENT THEREIN IS TRUE AND CORRECT AND ACKNOWLEDGED THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREBY EXPRESSED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2024.

NOTARY PUBLIC

STATE OF TEXAS  
COUNTY OF HIDALGO

I/WE THE UNDERSIGNED HOLDER(S) (OR DULY AUTHORIZED OFFICERS OF THE HOLDER(S)) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS VARGAS PATRIMONY SUBDIVISION OF THE CITY OF McALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED HEREIN.

TEXAS REGIONAL BANK  
MICHAEL K. LAMON  
P.O. BOX 5555  
MCALLEN, TEXAS 78502

HEADQUARTERS:  
6700 W. INTERSTATE 2  
HARLINGEN, TEXAS 78552

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2024.

NOTARY PUBLIC

STATE OF TEXAS:  
COUNTY OF HIDALGO:

I, THE UNDERSIGNED MAYOR OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHERE IN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF McALLEN  
DATE

STATE OF TEXAS:  
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF McALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

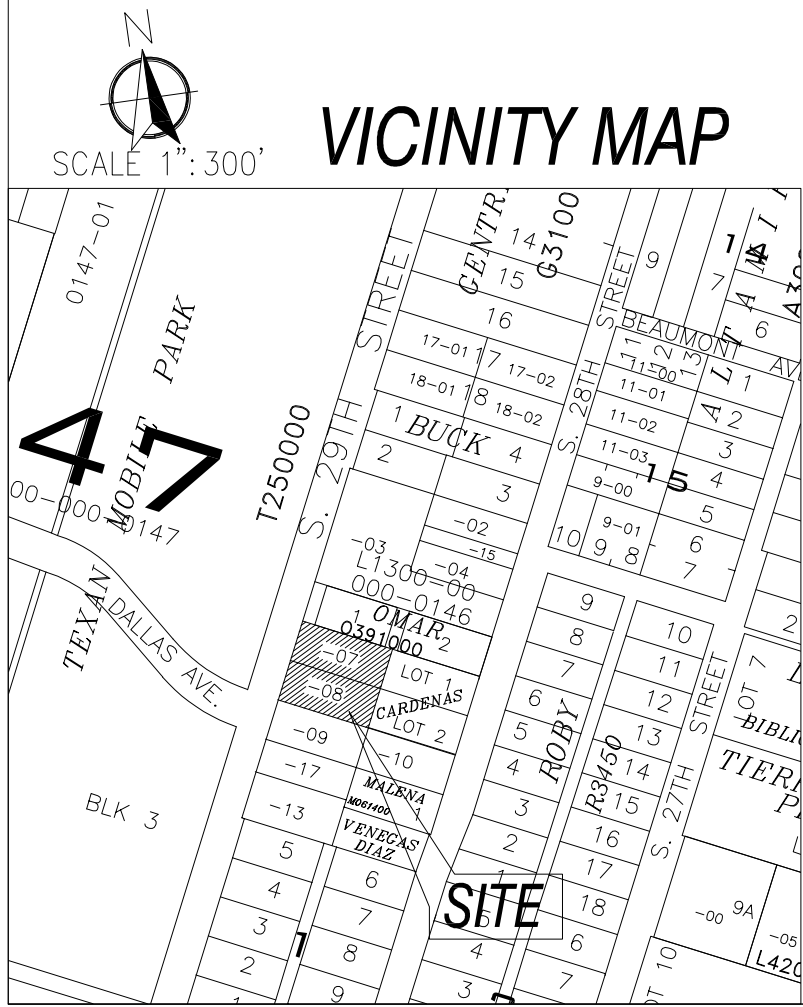
CHAIRMAN, PLANNING AND ZONING COMMISSION  
DATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.,  
GENERAL MANAGER

DATE OF PREPARATION 10--04--24



FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUAJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY

PRINCIPAL CONTACTS:

NAME	ADDRESS	CITY & ZIP	PHONE
OWNER: MIGUEL ANGEL VARGAS	4508 S. TYLER AVE.	MCALLEN, TEXAS 78503	(956) 802-4785
ENGINEER: MARIO A. SALINAS	3911 N. 10TH. ST. SUITE H	MCALLEN, TEXAS 78501	(956) 537-1311
SURVEYOR: MANUEL CARRIZALES	4807 GONDOLA AVENUE	EDINBURG, TEXAS 78542	(512) 470-1489

# MAP OF VARGAS PATRIMONY SUBDIVISION

## HIDALGO COUNTY, TEXAS

BEING 0.495 ACRES OUT OF TRACT NUMBER FIVE AND SIX OF AN UNRECORDED PLAT OF THAT 5.0 ACRE TRACT OUT OF LOT 146, LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY'S SUBDIVISION, VOLUME 24, PAGE 68, DEED RECORDS OF HIDALGO COUNTY, TEXAS, SAME BEING OUT OF THE FOLLOWING TWO TRACTS: A CALLED 0.23 ACRES TRACT, CONVEYED TO MIGUEL A. VARGAS, RECORDED IN DOCUMENT NO. 3129727, OFFICIAL PUBLIC RECORDS OF HIDALGO COUNTY, TEXAS, AND A CALLED 0.24 ACRES TRACT, CONVEYED TO MIGUEL A. VARGAS & JOHANA ELIZABETH, RECORDED IN DOCUMENT NO. 3144059, OFFICIAL PUBLIC RECORDS OF HIDALGO COUNTY, TEXAS, SAID 0.495 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

## METES AND BOUNDS

BEING 0.495 ACRE OUT TRACT NUMBER FIVE AND SIX OF AN UNRECORDED PLAT OF THAT 5.0 ACRE TRACT OUT OF LOT 146, LA LOMITA IRRIGATION AND CONSTRUCTION COMPANY'S SUBDIVISION, VOLUME 24, PAGE 68, DEED RECORDS OF HIDALGO COUNTY, TEXAS, SAME BEING OUT OF THE FOLLOWING TWO TRACTS: A CALLED 0.23 ACRES TRACT, CONVEYED TO MIGUEL A. VARGAS, RECORDED IN DOCUMENT NO. 3129727, OFFICIAL PUBLIC RECORDS OF HIDALGO COUNTY, TEXAS, AND A CALLED 0.24 ACRES TRACT, CONVEYED TO MIGUEL A. VARGAS & JOHANA ELIZABETH, RECORDED IN DOCUMENT NO. 3144059, OFFICIAL PUBLIC RECORDS OF HIDALGO COUNTY, TEXAS, SAID 0.495 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT CALCULATED POINT, BEING THE NORTHWEST CORNER OF AN UNRECORDED PLAT OF THAT 5.0 ACRE TRACT OF LAND OUT OF LOT 146, SAME BEING THE NORTHWEST CORNER OF BUCK SUBDIVISION, RECORDED IN VOLUME 9, PAGE 11, MAP RECORDS HIDALGO COUNTY, TEXAS, SAME BEING A POINT ON THE CENTERLINE OF SOUTH 29TH STREET;

THENCE, S 8° 31' 33" W, ALONG THE WEST LINE OF LOT 146, SAME BEING ALONG THE CENTERLINE OF SOUTH 29TH STREET, A DISTANCE OF 379.00 FEET TO A MAG NAIL SET, THE SOUTHWEST CORNER OF OMAR SUBDIVISION, RECORDED IN VOLUME 54, PAGE 12, DEED RECORDS OF HIDALGO COUNTY, TEXAS, FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT AND THE POINT OF BEGINNING;

THENCE, S 81° 18' 38" E, ACROSS SAID LOT 146, SAME BEING ALONG THE SOUTH LINE OF THE SAID OMAR SUBDIVISION, PASSING AT 30.00 FEET A 1/2 INCH IRON ROD WITH PINK CAP STAMPED "C.L.S. RPLS# 6388" SET, A POINT ON THE SOUTH LINE OF THE SAID OMAR SUBDIVISION, SAME BEING A POINT ON THE EAST RIGHT-OF-WAY OF SOUTH 29TH STREET, CONTINUING FOR A TOTAL DISTANCE OF 167.43 FEET TO A 1/2 INCH IRON ROD FOUND, THE SOUTHWEST CORNER OF LOT 2, OF THE SAID OMAR SUBDIVISION, SAME BEING THE NORTHWEST CORNER OF CARDENAS SUBDIVISION, RECORDED IN VOLUME 28, PAGE 69, DEED RECORDS OF HIDALGO COUNTY, TEXAS, FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, S 8° 31' 33" W, ACROSS THE SAID LOT 146, SAME BEING ALONG THE WEST LINE OF THE SAID CARDENAS SUBDIVISION, PASSING AT 64.44 FEET A 1/2 INCH IRON ROD WITH CAP STAMPED "RDS" FOUND, THE SOUTHWEST CORNER OF LOT 1, OF THE SAID CARDENAS SUB, SAME BEING THE NORTHWEST CORNER OF LOT 2, OF THE SAID CARDENAS SUBDIVISION, CONTINUING FOR A TOTAL DISTANCE OF 128.88 FEET TO A 1/2 INCH IRON ROD WITH PINK CAP STAMPED "C.L.S. RPLS# 6388" SET, THE SOUTHWEST CORNER OF THE SAID CARDENAS SUBDIVISION, SAME BEING THE NORTHWEST CORNER OF A CALLED 0.21 ACRE TRACT, CONVEYED TO FIDELA PULIDO SOLIS, RECORDED IN DOCUMENT NO. 3071090, OFFICIAL PUBLIC RECORDS OF HIDALGO COUNTY, TEXAS, SAME BEING THE NORTHEAST CORNER OF A CALLED 0.25 ACRE TRACT, CONVEYED TO MARCOS GUERRERO, RECORDED IN DOCUMENT NO. 2823833, OFFICIAL PUBLIC RECORDS OF HIDALGO COUNTY, TEXAS, FOR THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, N 81° 18' 38" W, ACROSS THE SAID LOT 146, SAME BEING ALONG THE NORTH LINE OF THE SAID MARCOS GUERRERO TRACT, PASSING AT 137.43 FEET A 1/2 INCH IRON ROD WITH PINK CAP STAMPED "C.L.S. RPLS# 6388" SET, A POINT ON THE EAST RIGHT-OF-WAY OF SOUTH 29TH STREET, CONTINUING FOR A TOTAL DISTANCE OF 167.43 FEET TO A MAG NAIL SET, A POINT ON THE WEST LINE OF THE SAID LOT 146, SAME BEING THE CENTERLINE OF SOUTH 29TH STREET, FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, N 8° 31' 33" E, ALONG THE WEST LINE OF LOT 146, SAME BEING ALONG THE CENTERLINE OF SOUTH 29TH STREET, A DISTANCE OF 128.88 FEET TO THE POINT OF BEGINNING, AND CONTAINING 0.495 ACRES OF LAND, MORE OR LESS.

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. SALINAS, A LICENSED PROFESSIONAL ENGINEER, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

MARIO A. SALINAS  
LICENSED PROFESSIONAL ENGINEER # 96611  
3911 N. 10TH STREET, SUITE H  
MCALLEN, TEXAS 78501

DATE

STATE OF TEXAS  
COUNTY OF HIDALGO

I, MANUEL CARRIZALES, REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF McALLEN, TEXAS.

MANUEL CARRIZALES, R.P.L.S. NO. 6388  
4807 GONDOLA AVENUE EDINBURG, TX.  
(512) 470-1489

DATE

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 1, ON THIS THE \_\_\_\_\_, DAY OF \_\_\_\_\_, 2024.

HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION. ALSO THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS.

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON THE HOCD#1 RIGHT-OF-WAYS OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HOCD #1.

PRESIDENT

SECRETARY

MAS ENGINEERING LLC  
consulting engineering  
firm no. f-15499  
3911 N. 10TH STREET, SUITE H  
MCALLEN, TEXAS. 78501  
PH. (956) 537-1311  
E-MAIL: MSALINAS6973@ATT.NET





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 11/14/2024

### SUBDIVISION NAME: VARGAS PATRIMONY SUBDIVISION

#### REQUIREMENTS

##### STREETS AND RIGHT-OF-WAYS

S. 29th Street: Dedication as needed for 50 ft. from centerline for 100 ft. total R.O.W.  
Paving: 65 ft. Curb & gutter: both sides  
Revisions needed:  
-Need to provide documents of all R.O.W./U.E. presented on the plat along S. 29th Street, for staff review prior to final.  
-Need to clarify with staff on the shown 29.99 ft. Existing R.O.W. & U.E. on the plat.  
\*\*Subdivision Ordinance: Section 134-105 & COM Thoroughfare Plan  
\*\*Monies must be escrowed if improvements are required prior to recording

Required

Paving \_\_\_\_\_ Curb & gutter \_\_\_\_\_

\*\*Subdivision Ordinance: Section 134-105

\*\*Monies must be escrowed if improvements are required prior to final

\*\*COM Thoroughfare Plan

\* 1,200 ft. Block Length

\*\*Subdivision Ordinance: Section 134-118

\* 900 ft. Block Length for R-3 Zone Districts

\*\*Subdivision Ordinance: Section 134-118

\* 600 ft. Maximum Cul-de-Sac

\*\*Subdivision Ordinance: Section 134-105

NA

NA

NA

NA

##### ALLEYS

R.O.W.: 20 ft. Paving: 16 ft.

Revisions needed:

- As per document shown on the east side of plat, there is a 20 ft. utility easement to the City of McAllen; adjacent subdivision to the north provided for a 20 ft. alley dedication. Alley R.O.W. dedication requirement is under review and will be established prior to final.

\*Alley/service drive easement required for commercial properties.

-Variance application submitted on October 25, 2024 (VAR2024-0046) to be presented at the Planning & Zoning commission meeting of November 13, 2024.

\*Consideration of the variance request is to not require the 20 ft. alley R.O.W. dedication nor to escrow for alley improvements.

\*\*Subdivision Ordinance: Section 134-106

TBD

##### SETBACKS

\* Front: 40 ft. or greater for easements or inline with existing structures, whichever is greater.

\*\*Zoning Ordinance: Section 134-106 (d)(a)(1)

\*\*Zoning Ordinance: Section 138-356

\* Proposing: Rear: 10 ft. or greater for easements.

Revisions needed:

- 12.5 ft. Utility Easement presented on plat, please clarify proposed setback prior to final.

- Setback will be established once alley requirements is finalized prior to final.

\*\*Zoning Ordinance: Section 138-356

Applied

Non-compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<ul style="list-style-type: none"> <li>* Sides: 6 ft. or greater for easements, whichever is greater.</li> <li>**Zoning Ordinance: Section 138-356</li> <li>* Corner</li> <li>**Zoning Ordinance: Section 138-356</li> <li>* Garage: 18 ft. except where greater setback is required; greater setback applies.</li> <li>Revisions Needed:</li> <li>-Plat note needs to state as what is mentioned above.</li> <li>Proposing: "18 ft. except where greater setback applies"</li> <li>**Zoning Ordinance: Section 138-356</li> <li>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</li> </ul>	Applied
	NA
	Non-compliance
	Applied
<b>SIDEWALKS</b>	
<ul style="list-style-type: none"> <li>* 4 ft. wide minimum sidewalk required on South 29th Street</li> <li>** 5 ft. wide sidewalk might be required by the Engineering Department prior to final.</li> <li>**Subdivision Ordinance: Section 134-120</li> <li>* Perimeter sidewalks must be built or money escrowed if not built at this time.</li> </ul>	Applied
	Required
<b>BUFFERS</b>	
<ul style="list-style-type: none"> <li>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses.</li> <li>**Landscaping Ordinance: Section 110-46</li> <li>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.</li> <li>**Landscaping Ordinance: Section 110-46</li> <li>*Perimeter buffers must be built at time of Subdivision Improvements.</li> </ul>	Applied
	Applied
	Required
<b>NOTES</b>	
<ul style="list-style-type: none"> <li>* No curb cut, access, or lot frontage permitted along</li> <li>**Must comply with City Access Management Policy and Variance Request to Access Management approval letter.</li> <li>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</li> <li>* Common Areas, any private drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</li> <li>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</li> <li>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 110-72 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</li> <li>Revisions needed:</li> <li>-Missing plat note as shown above.</li> <li>-Need to clarify plat note #7 prior to final, wording proposed by plat note applies to private subdivisions.</li> <li>**Section 110-72 applies if public subdivision is proposed.</li> <li>**Section 134-168 applies if private subdivision is proposed.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> </ul>	Applied
	Applied
	Applied
	NA
	Non-compliance



<ul style="list-style-type: none"> <li>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</li> <li>Revisions needed: <ul style="list-style-type: none"> <li>-Please clarify plat note #7 prior to final.</li> </ul> </li> <li>**Section 110-72 applies if public subdivision is proposed.</li> <li>**Section 134-168 applies if private subdivision is proposed.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> </ul>	Non-compliance
<b>LOT REQUIREMENTS</b>	
<ul style="list-style-type: none"> <li>* Lots fronting public streets</li> <li>**Subdivision Ordinance: Section 134-1</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* Minimum lot width and lot area</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Applied
<b>ZONING/CUP</b>	
<ul style="list-style-type: none"> <li>* Existing: R-2 Proposed: R-2</li> <li>Revisions needed: <ul style="list-style-type: none"> <li>- Provide number of dwelling units to determine if in compliance with zoning requirement.</li> </ul> </li> <li>***Zoning Ordinance: Article V</li> </ul>	TBD
<ul style="list-style-type: none"> <li>* Rezoning Needed Before Final Approval</li> <li>- Provide number of dwelling units to determine if in compliance with zoning requirement.</li> <li>***Zoning Ordinance: Article V</li> </ul>	TBD
<b>PARKS</b>	
<ul style="list-style-type: none"> <li>* Land dedication in lieu of fee. Park Fee required at \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not applicable. Please provide number of dwelling units prior to final.</li> </ul>	TBD
<ul style="list-style-type: none"> <li>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording, if land dedication is not required. Please provide number of dwelling units prior to final.</li> </ul>	TBD
<ul style="list-style-type: none"> <li>* Pending review by the City Manager's Office.</li> </ul>	TBD
<b>TRAFFIC</b>	
<ul style="list-style-type: none"> <li>* As per Traffic Department, Trip Generation for a 8 unit multifamily apartments is waived.</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* As per Traffic Department, no Traffic Impact Analysis (TIA) is required.</li> </ul>	Applied



COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"><li>-Missing the P.O.B. to be shown on the Plat.</li><li>-Revise Plat note #7, subdivision is proposed to be public.</li><li>-Add a 2nd signature line for the 2nd owner of the property being Johana Elizabeth Vargas</li><li>-Needs to provide Owner's signature information on the plat (i.e. address)</li><li>-Would need to provide an additional notary signature for the additional signature.</li><li>-Provide copies of R.O.W. / U.E. documents for staff review prior to final.</li><li>-Verify acreage of the properties, as the application mentions 0.495 acres while the application mentions both a 0.23 &amp; 0.24 acre properties</li><li>-Missing the Legend Table.</li><li>-M+B provided does not match the plat bearings shown.</li><li>-Need to Clarify dotted lines along the North and South boundary lines of each lot, and provide width and use.</li><li>-Need to Provide number of dwelling units to determine if in compliance with Zoning Ordinance.</li></ul> <p>**At the Planning and Zoning Commission meeting of March 19, 2024, the board approved the subdivision for a preliminary 6-month extension, subject to the conditions noted, drainage, and utility approvals.</p> <p>***The Subdivision and variance is scheduled to be heard the Planning &amp; Zoning Commission meeting of November 19, 2024 in revised preliminary form, subject to the conditions noted, drainage &amp; utility approvals.</p> <p>*Must comply with City's Access Management Policy.</p>	Applied
RECOMMENDATION	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM AND RECOMMENDS DISAPPROVAL OF THE VARIANCE REQUEST TO NOT PROVIDE FOR THE 20 FT. ALLEY R.O.W. DEDICATION AND TO NOT ESCROW FOR ALLEY IMPROVEMENTS FOR THE SUBDIVISION.</p>	Applied



TEXAN MOE  
SUBDIVISION

LOCATION

DALLAS AVE

29TH ST

28TH ST

CHICAGO AVE



OMAR SUBDIVISION  
LOT 1 LOT 2

PROPOSED VARGAS  
PATRIMONY  
SUBDIVISION  
LOT 1 LOT 2

CARDEN S SUBD  
LOT 1 LOT 2

MALENA  
SUBDIVISION  
VENEGAS DIAZ  
SUBDIVISION

ROBY

SUBD.

BLK 3

SOUTHWEST  
HEIGHTS

ERIE AVE

SUBD.

18

1

2

146

4

3

11

13

15

SUBD

10

8

9

10

5

6

1

5

18

6

2

10

10

1

1



Sub 2024-0075



# City of McAllen

## Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)  
**SUBDIVISION PLAT REVIEW APPLICATION**

Project Information	Subdivision Name <u>Vacating a Portion of Racquet Club and Replat Villages at Park West Subdivision</u>	
	Legal Description <u>28.365 acres being out of Racquet Club Subdivision and out of Lot 13, Section 277, Texas Mexican Railway Company's Survey, City of McAllen, Teas according to the plat thereof recorded in Vol 18, Page 60, H.C.D.R.</u>	
	Location <u>Northeast corner of North Bicentennial Boulevard and Sprague Road</u>	
	City Address or Block Number <u>1400 Sprague Rd</u>	
	Total No. of Lots <u>89</u> Total Dwelling Units <u>88</u> Gross Acres <u>28.365</u> Net Acres <u>      </u>	
	<input type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No	
	For Fee Purposes: <input type="checkbox"/> Commercial ( <u>      </u> Acres) / <input checked="" type="checkbox"/> Residential ( <u>89</u> Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	Existing Zoning <u>C-3, R-2 &amp; R-3T</u> Proposed Zoning <u>R-3</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date <u>      </u>	
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>4-plex</u>	
	Irrigation District # <u>HCID#1</u> Water CCN: <input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other <u>      </u>	
Agricultural Exemption: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No Parcel # <u>297507 &amp; 265628</u>		
Estimated Rollback Tax Due <u>\$90,028.78</u> Tax Dept. Review <u>J. D. L 07/05/24</u>		
Owner	Name <u>N, 10th Racquet Club, LLC Stephen C Reynolds, manager</u> Phone <u>c/o (956) 381-0981</u>	
	Address <u>39718 LOOP ROAD</u> E-mail <u>c/o mario@meldenandhunt.com / beto@meldenandhunt.com / drobles@meldenandhunt.com</u>	
	City <u>Bayview</u> State <u>Texas</u> Zip <u>78566</u>	
Developer	Name <u>Domain Development, Corp.</u> Phone <u>c/o (956) 381-0981</u>	
	Address <u>1200 Auburn Street, Suite 250</u> E-mail <u>shavi@aurielinvestments.com</u>	
	City <u>McAllen</u> State <u>Texas</u> Zip <u>78504</u>	
	Contact Person <u>Shavi Mahtani, President</u>	
Engineer	Name <u>Melden &amp; Hunt, Inc.</u> Phone <u>(956) 381-0981</u>	
	Address <u>115 West McIntyre Street</u> E-mail <u>mario@meldenandhunt.com, beto@meldenandhunt.com and drobles@meldenandhunt.com</u>	
	City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>	
	Contact Person <u>Mario A Reyna, P.E., Beto De La Garza, and Della Robles</u>	
Surveyor	Name <u>Melden &amp; Hunt, Inc.</u> Phone <u>(956) 381-0981</u>	
	Address <u>115 West McIntyre Street</u> E-mail <u>robert@meldenandhunt.com</u>	
	City <u>Edinburg</u> State <u>Texas</u> Zip <u>78541</u>	

JUL 05 2024

BY: CW



## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

### In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue line copies 2 Location Maps
- 2 8 ½" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

### Email Submittal Requirements

- Application Fee: \$300 + \$25/lot **for residential** (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) **for commercial, industrial, or apartment complexes**
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

\*Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents\*

\*Submit documents to [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

\*ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL\*


### **PLAT TO SHOW:**

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature  Date 07.03.2024

Print Name Mario A Reyna, P.E.

Owner ☐

Authorized Agent ☒

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion



VAR2024-0045



City of McAllen

Planning Department

VARIANCE TO SUBDIVISION  
PROCESS APPLICATION311 North 15<sup>th</sup> Street  
McAllen, TX 78501  
P. O. Box 220McAllen, TX 78505-0220  
(956) 681-1250  
(956) 681-1279 (fax)

Project

Legal Description

23.365 acre situated in the City of McAllen, Hidalgo County, Texas being a part of portion out of Racquet Club Subdivision according to the plat thereof recorded and Volume 18, Page 60 H.C.M.R. and being a part of portion out of Lot 13, Section 277, Texas-Mexican Railway Company's Survey, according to the plat thereof recorded in Volume 24, Page 168, H. C. D.R.

Proposed Subdivision (if applicable) Vacate a Portion of Racquet Club into Replat of Villages at Park W

Street Address ~~11204 North 10th Street~~ 1400 SPRAYE ROAD

Number of lots 89 Gross acres 23.365

Existing Zoning C-3, R-2 &amp; R-3T Existing Land Use Vacant

☒ Current Survey and Metes and Bounds (required if the legal description is a portion of a lot)

Applicant

Name Melden &amp; Hunt, Inc. c/o Mario A Reyna, P.E. Phone (956) 381-0981

Address 115 West McIntyre Street E-mail mario@meldenandhunt.com/beto@meldenandhunt.com  
drobles@meldenandhunt.com

City Edinburg State Texas Zip 78541

Owner

Name N. 10th Racquet Club, LLC Stephen C Reynolds Phone c/o (956) 381-0981

Address 39718 LOOP ROAD E-mail shavi@aurielinvestments.com

City Bayview State Texas Zip 8566

Authorization

To the best of your knowledge are there any deed restrictions, restrictive covenants, etc. which would prevent the utilization of the property in the manner indicated?

☐ Yes ☒ NoI certify that I am the actual owner of the property described above and this application is being submitted with my consent (include corporate name if applicable)  
OR I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature

Date August 20, 2024

Print Name Mario A. Reyna, P.E.

☐ Owner ☒ Authorized Agent

Office

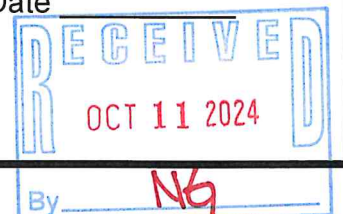
\*FOR OFFICE USE ONLY\*

APPLICATION FILING FEE: ☒ \$250.00

Accepted by KF

Payment received by \_\_\_\_\_ Date \_\_\_\_\_

Rev 06/21







# City of McAllen

## Planning Department

### REASON FOR APPEAL

Notes: As per McAllen Code of Ordinances Sec. 134-6, financial hardships alone are **not** an eligible standing for a variance. Please submit for consideration and review any combination of the following: *(If necessary, please use an additional page to complete responses)*

\*\*Information provided here by the applicant does not guarantee that the Commission will grant a variance.

\*\*\*Applicant should include all information they determine is relevant, but it is not required to provide responses to all sections listed below.

Reason for Appeal	1. Describe the special circumstances or conditions affecting the land involved such that the strict application of the provisions of this chapter would deprive the applicant of the reasonable use of his land.
	See attachment letter .
	2. Described how the variance is necessary for the preservation and enjoyment of the legal property rights of its owner.
	See attached letter.
	3. Describe how the variance will not be detrimental to the public health, safety or welfare or injurious to the legal rights other property owners enjoy in the area.
	The variance will not be detrimental to the public health, safety, or welfare or injurious to the legal rights that
	other property owners may enjoy within the proposed area.
	4. Describe how the variance will not have the effect of preventing the orderly subdivision of other land in the area in accordance with the provisions of this chapter.
The variance will not have any negative effect or prevent the orderly subdivision of other lands within the area	
in accordance with the provisions of this chapter and the City of McAllen and all other areas surrounding the	
proposed subdivision have been developed already.	





TBPELS Firm # F-1435  
TBPELS # 10096900

# MELDEN & HUNT INC.

CONSULTANTS • ENGINEERS • SURVEYORS

MARIO A. REYNA • ALLAN F. BOOE • KELLEY A. HELLER-VELA • ROBERTO N. TAMEZ • RUBEN JAMES DE JESUS • MICHAEL HERNANDEZ

October 11, 2024

City of McAllen Planning Dept.  
Attn: Edgar Garcia, Planning Director  
311 N. 15th St.  
McAllen, TX 78501

**Re: Vacating a Portion of Racquet Club and Replat Villages at Park West  
Subdivision (PRIVATE SUBDIVISION)– Variance Request to City of McAllen**

Dear Mr. Garcia:

On behalf of the developer, Domain Development, Corporation, and in reference to Vacating a Portion of Racquet Club and Replat of Villages at Park West Subdivision we respectfully request a variance for the following items.

**1. ROW dedication for N. Bicentennial Blvd:**

**Requirement:** 20 ft. ROW dedication for 75 ft. of ROW from centerline.

**Proposal:** 15 ft. of additional ROW for 70 ft. from centerline for a total of 140 ft. ROW.

This section of N. Bicentennial Blvd. at the intersection with Sprague Road has 4 travel lanes plus an additional “left turn only” lane for eastbound traffic. As you travel north, the paving section decreases from 5 to 4 travel lanes. With the additional 15 ft. proposed to be dedicated, the City will have room for an additional travel lane or a middle lane if necessary. The existing paving sections range from 65’ to 53’ approximately.

**2. Alley/Service Drive for multi-family properties:**

**Requirement:** Private alley required for trash collection for multi-family properties.

**Proposal:** 24 ft. private alley proposed for internal blocks only. Perimeter lots will be served with side-loader dumpsters as approved by Public Works Department. Private alleys to be installed and maintained by property owner/HOA.

**3. E/W ¼ Mile Collector (Northern boundary):**

**Requirement:** E/W ¼ Mile Collector ROW dedication

**Proposal:** The developer is requesting to not dedicate ROW nor escrow for this road. Plans were designed without this any stub outs to N. Bicentennial Road due to the City’s position of not allowing any stub outs to this road.



4. **Block Length:**

**Requirement:** Max. allowed 1,200 ft.

**Proposal:** The north/south block length is 1,317 ft. This subdivision is proposed to be private and also Park West Subdivision (adjacent east). They will both have their main access off of Sprague Road.

5. **Internal roads:**

**Requirement:** 60 ft. ROW/ 40ft. paving for multi-family properties

**Proposal:** 50 ft. ROW/ 40 ft. paving with 10 ft. utility and sidewalk easements on both sides of the streets. Streets will be private and will be installed and maintained by property owners/HOA.

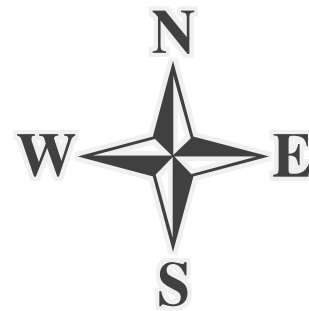
Your consideration on this matter is greatly appreciated. If you have any questions or comments, please contact our office. Thank you.

Respectfully,

A handwritten signature in blue ink, appearing to read 'Mario A. Reyna', is written over a horizontal line.

Mario A. Reyna, P.E.  
President





# LOCATION



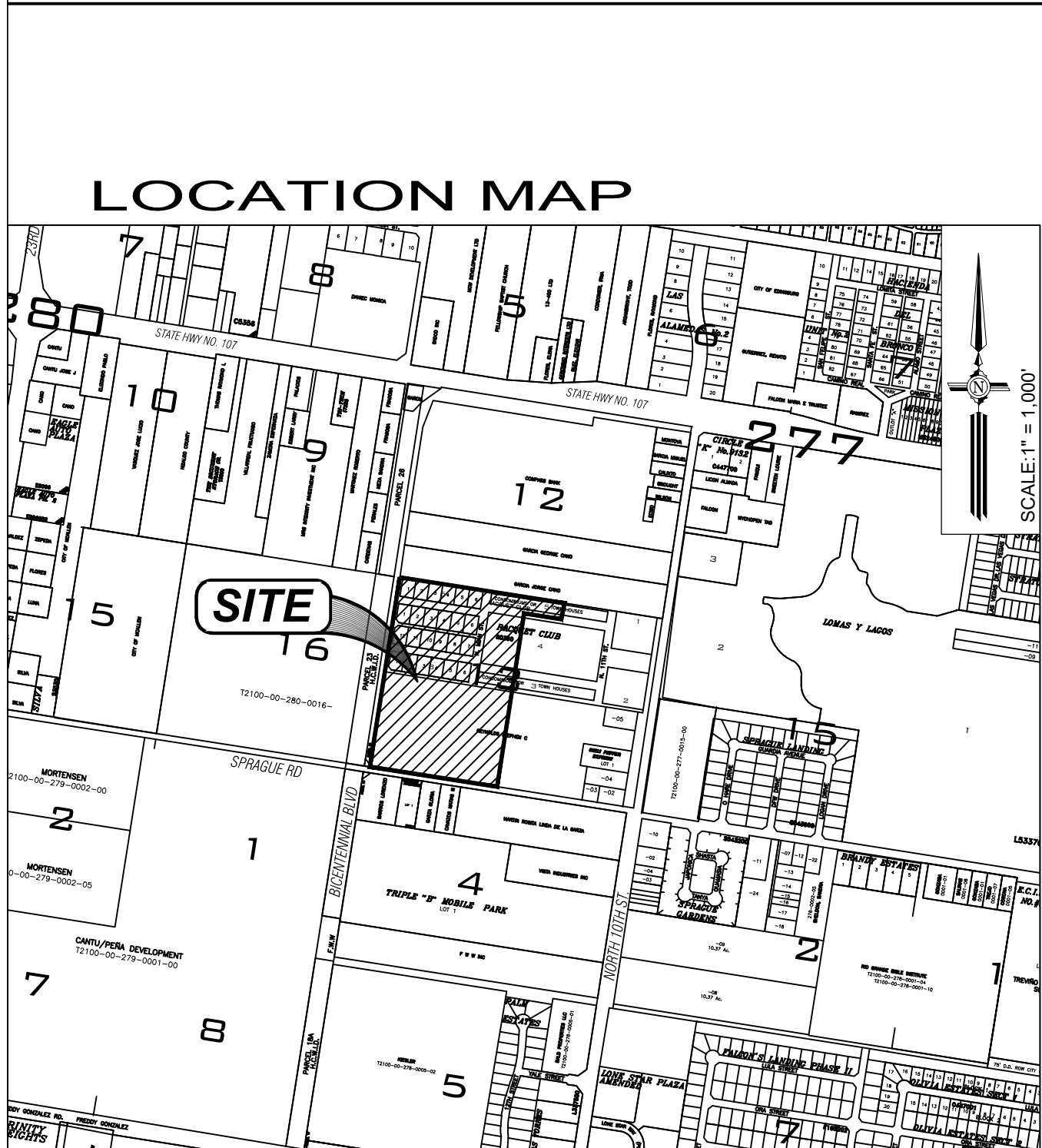
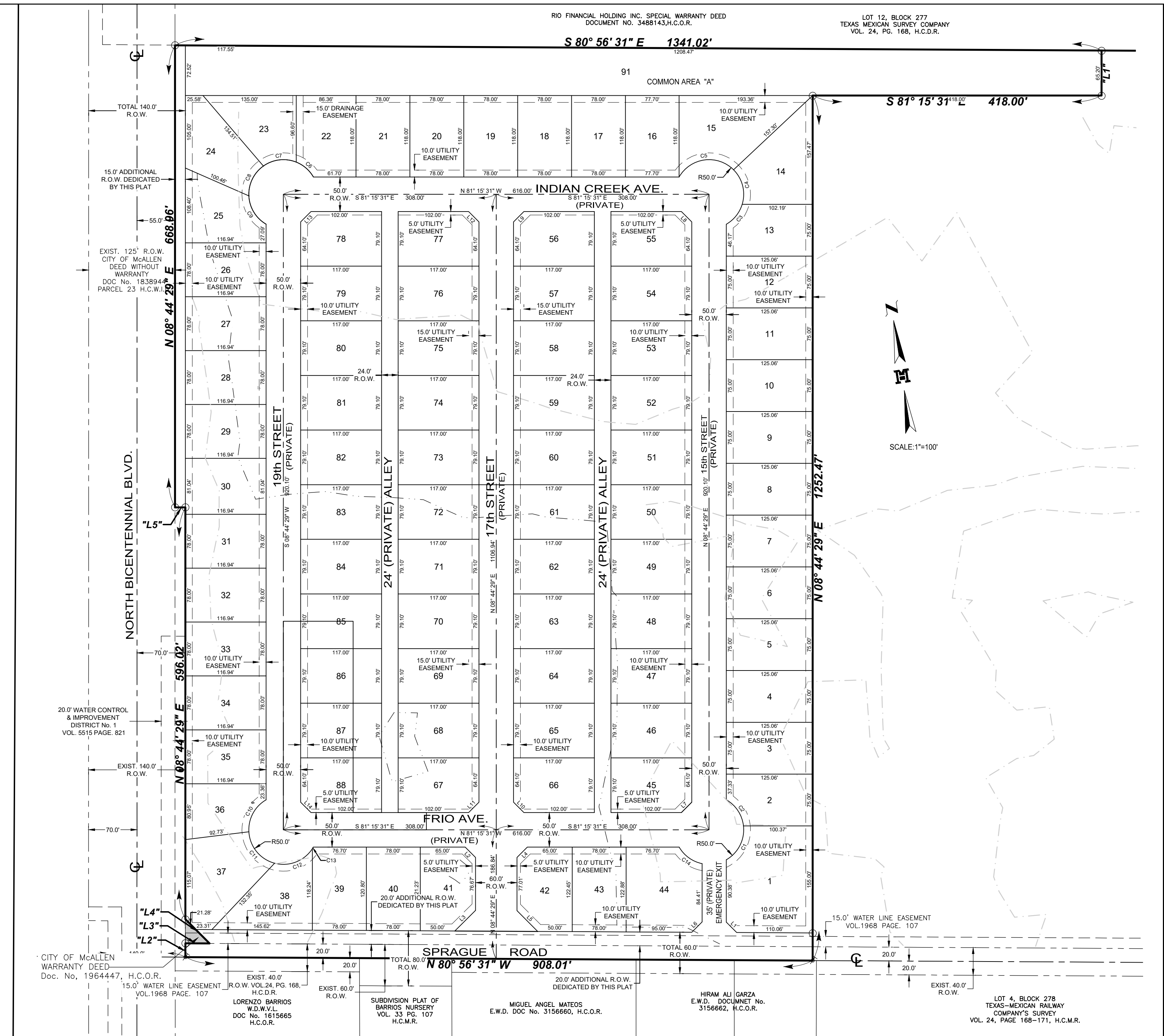
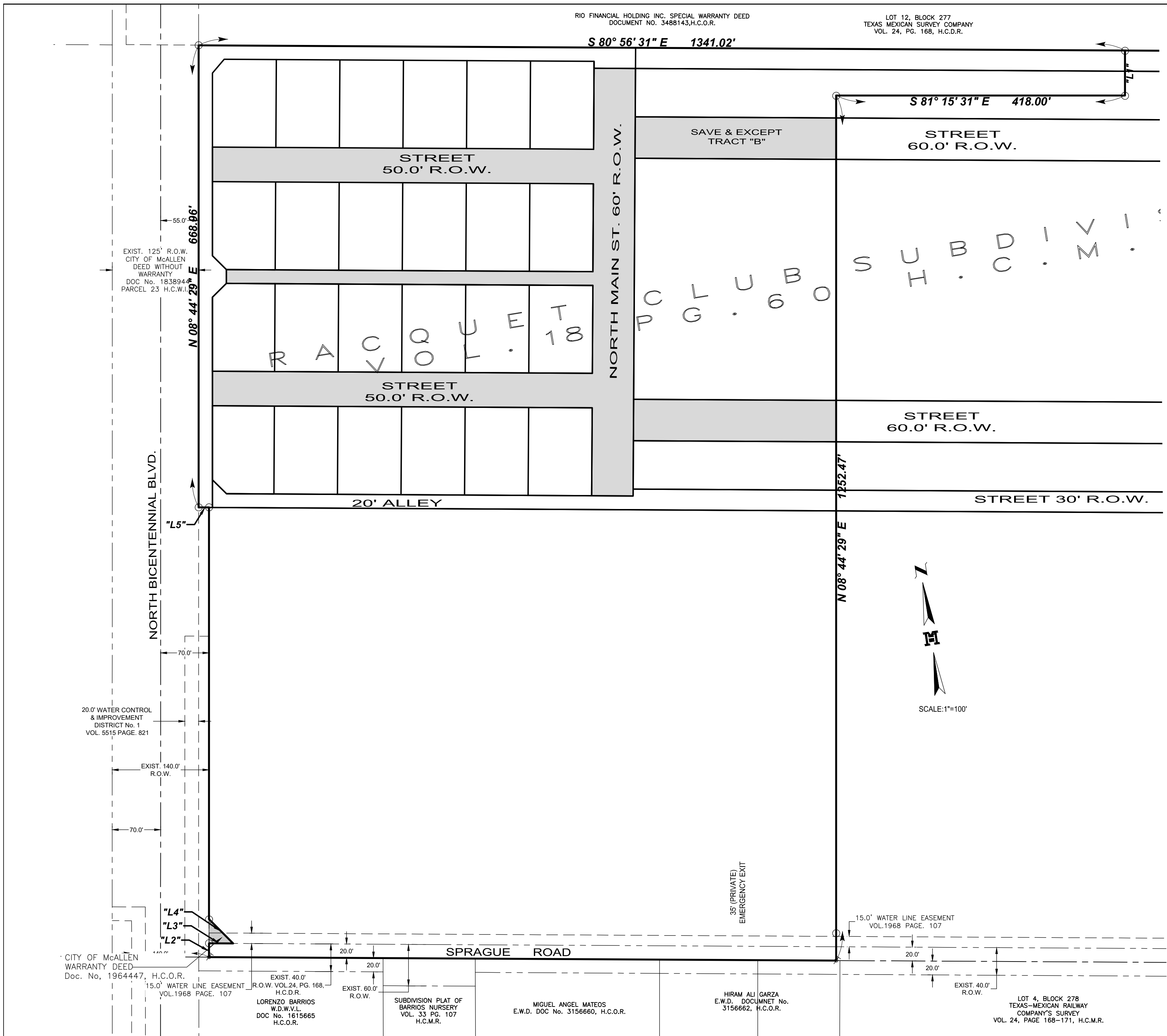
BICENTENNIAL BLVD

VACATING A PORTION OF RACQUET CLUB AND  
REPLAT TO VILLAGES AT PARK WEST

SPRAGUE RD

10TH ST





**VACATING PORTION OF RACQUET CLUB SUBDIVISION**

BEING A SUBDIVISION OF 4.765 ACRES SITUATED IN THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF RACQUET CLUB SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 18, PAGE 60, HIDALGO COUNTY MAP RECORDS

**LEGEND**

- FOUND No. 4 REBAR
- FOUND PIPE
- SET No. 4 REBAR WITH PLASTIC
- CAP STAMPED MELDEN & HUNT, INC
- SET NAIL
- R.O.W. - RIGHT OF WAY
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- N.E. COR. - NORTHEAST CORNER
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCING
- W.D.W.V.L. - WARRANTY DEED WITH VENDORS LIEN
- G.W.D. - GENERAL WARRANTY DEED
- E.W.D. - EXCHANGE WARRANTY DEED
- G.G.W.D. - GENERAL GIFT WARRANTY DEED

**MELDEN & HUNT, INC.**  
CONSULTANTS • ENGINEERS • SURVEYORS

115 W. MCINTYRE - EDINBURG, TX 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - www.meldenandhunt.com

DRAWN BY: CESARI/LH DATE 10-11-2024  
SURVEYED, CHECKED DATE  
FINAL CHECK DATE

Lot Area Table			Lot Area Table			Lot Area Table		
Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area
1	263863.11	6.057	31	6270.65	0.144	62	6148.00	0.141
2	6522.27	0.150	32	9076.59	0.208	63	6148.00	0.141
3	8445.51	0.194	33	7353.92	0.169	64	6148.00	0.141
4	9283.37	0.213	35	6032.00	0.138	65	6148.00	0.141
5	8566.42	0.206	36	6032.00	0.138	66	6148.00	0.141
6	8252.85	0.189	37	6032.00	0.138	67	6148.00	0.141
7	6032.00	0.138	38	6032.00	0.138	68	6148.00	0.141
8	6032.00	0.138	39	6032.00	0.138	69	6148.00	0.141
9	6032.00	0.138	40	6032.00	0.138	70	7427.50	0.171
10	6032.00	0.138	41	6032.00	0.138	71	7427.50	0.171
11	6032.00	0.138	42	6032.00	0.138	72	6148.00	0.141
12	6032.00	0.138	43	6032.00	0.138	73	6148.00	0.141
13	6032.00	0.138	44	6032.00	0.138	74	6148.00	0.141
14	6032.00	0.138	45	6032.00	0.138	75	6148.00	0.141
15	6032.00	0.138	46	6032.00	0.138	76	6148.00	0.141
16	6032.00	0.138	47	6032.00	0.138	77	6148.00	0.141
17	6032.00	0.138	48	6032.00	0.138	78	6148.00	0.141
18	6032.00	0.138	49	7211.10	0.166	79	6148.00	0.141
19	6032.00	0.138	50	6037.20	0.152	80	6148.00	0.141
20	6032.00	0.138	51	8161.83	0.187	81	6148.00	0.141
21	6032.00	0.138	52	7205.45	0.165	82	6148.00	0.141
22	6032.00	0.138	53	7414.19	0.170	83	6148.00	0.141
23	6032.00	0.138	54	6485.81	0.149	84	6148.00	0.141
24	6032.00	0.138	55	7427.50	0.171	85	6148.00	0.141
25	6230.34	0.143	56	6148.00	0.141	86	7427.50	0.171
26	6273.00	0.144	57	6148.00	0.141	87	9254.70	0.212
27	6037.20	0.139	58	6148.00	0.141	88	9142.20	0.210
28	6037.20	0.139	59	6148.00	0.141			
29	6037.20	0.139	60	6148.00	0.141			
30	5962.71	0.137	61	6148.00	0.141			

Curve Table						
Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Tangent
C1	39.09'	50.00'	044° 47' 52"	S43° 39' 27"E	38.11'	20.61'
C2	59.29'	50.00'	067° 56' 49"	N79° 58' 12"E	55.88'	33.69'
C3	59.30'	50.00'	067° 56' 49"	N12° 01' 23"E	55.88'	33.69'
C4	25.58'	50.00'	029° 18' 29"	N36° 36' 16"W	25.30'	13.07'
C5	29.64'	50.00'	033° 57' 59"	N38° 14' 30"W	29.21'	15.27'
C6	52.34'	50.00'	059° 58' 38"	N85° 12' 49"W	49.98'	28.85'
C7	52.34'	50.00'	059° 58' 38"	S34° 48' 33"W	49.98'	28.85'
C8	48.94'	50.00'	056° 04' 45"	S23° 13' 08"E	47.01'	26.63'
C9	50.86'	50.00'	058° 17' 05"	S39° 35' 56"W	48.70'	27.88'
C10	50.87'	50.00'	058° 17' 15"	S18° 41' 14"E	48.70'	27.88'
C11	50.87'	50.00'	058° 17' 15"	S76° 58' 27"E	48.70'	27.88'
C12	30.67'	50.00'	035° 08' 27"	N56° 18' 43"E	30.19'	15.83'
C13	2.50'	50.00'	002° 51' 36"	N40° 10' 17"E	2.50'	1.25'

Line Table		
Line #	Length	Direction
L1	65.20'	N08° 44' 29"E
L2	21.21'	N36° 15' 31"W
L3	42.31'	S53° 53' 59"W
L4	21.21'	S53° 44' 29"W
L5	42.54'	S36° 06' 01"E
L6	21.21'	S53° 44' 29"W
L7	21.21'	N53° 44' 29"E
L8	21.21'	N36° 15' 31"W
L9	21.21'	S53° 44' 29"W
L10	21.21'	S36° 15' 31"E
L11	21.21'	N53° 44' 29"E
L12	21.21'	N36° 15' 31"W
L13	21.21'	S53° 44' 29"W
L14	21.21'	S36° 15' 31"E

Common Area		
Lot #	SQ. FT.	Area
"A"	91307.67	2.098

**RE-PLAT OF VILLAGES AT PARK WEST SUBDIVISION**

A TRACT OF LAND CONTAINING 28.366 ACRES SITUATED IN THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF RACQUET CLUB SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 18, PAGE 60, HIDALGO COUNTY MAP RECORDS, AND ALSO BEING A PART OR PORTION OUT OF LOT 13, SECTION 27, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 24, PAGE 168, HIDALGO COUNTY DEED RECORDS, WHICH SAID 28.366 ACRES ARE OUT OF A CERTAIN TRACT CONVEYED TO STEPHEN C. REYNOLDS, BY VIRTUE OF A GENERAL WARRANTY DEED IN LIEU OF FORECLOSURE, RECORDED UNDER DOCUMENT NUMBER 1960046, HIDALGO COUNTY OFFICIAL RECORDS.

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM

INSTRUMENT NUMBER \_\_\_\_\_

OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY

FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUJARDO, JR.,  
HIDALGO COUNTY CLERK

SHEET: 1 OF 2



METES AND BOUNDS DESCRIPTION:

A TRACT OF LAND CONTAINING 28.366 ACRES SITUATED IN THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF RACQUET CLUB SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 18, PAGE 60, HIDALGO COUNTY MAP RECORDS, AND ALSO BEING A PART OR PORTION OUT OF LOT 13, SECTION 277, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 24, PAGE 168, HIDALGO COUNTY DEED RECORDS, WHICH SAID 28.366 ACRES ARE OUT OF A CERTAIN TRACT CONVEYED TO STEPHEN C. REYNOLDS, BY VIRTUE OF A GENERAL WARRANTY DEED IN LIEU OF FORECLOSURE, RECORDED UNDER DOCUMENT NUMBER 1960046, HIDALGO COUNTY OFFICIAL RECORDS, SAID 28.366 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 13, SECTION 277, ALSO BEING THE NORTHEAST CORNER OF SAID RACQUET CLUB SUBDIVISION AND WITHIN THE EXISTING RIGHT-OF-WAY OF 10TH STREET;

THENCE, N 80° 56' 31" W ALONG THE NORTH LINE OF SAID RACQUET CLUB SUBDIVISION, AT A DISTANCE OF 50.00 FEET PASS A NO. 4 REBAR SET ON THE EXISTING WEST RIGHT-OF-WAY LINE OF 10<sup>TH</sup> STREET, [FROM WHICH AN IRON PIPE FOUND BEARS S 85° 15' 58" E, A DISTANCE OF 0.81 FEET], CONTINUING A TOTAL DISTANCE OF 518.52 FEET TO A NO. 4 REBAR SET FOR THE NORTHEAST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

THENCE, S 08° 44' 29" W A DISTANCE OF 65.20 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;

THENCE, N 81° 15' 31" W A DISTANCE OF 418.00 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;

THENCE, S 08° 44' 29" W AT A DISTANCE OF 601.45 FEET PASS THE SOUTH LINE OF SAID RACQUET CLUB SUBDIVISION, AT A DISTANCE OF 1,232.47 FEET PASS A NO. 4 REBAR SET ON THE EXISTING NORTH RIGHT-OF-WAY LINE OF SPRAGUE ROAD, CONTINUING A TOTAL DISTANCE OF 1,252.47 FEET TO A NAIL SET, FOR THE SOUTHEAST CORNER OF THIS TRACT;

THENCE, N 80° 56' 31" W WITHIN THE EXISTING RIGHT-OF-WAY OF SPRAGUE ROAD AND SOUTH LINE OF SAID LOT 13, SECTION 277, A DISTANCE OF 907.97 FEET TO A NAIL SET, FOR THE SOUTHWEST CORNER OF THIS TRACT;

THENCE, N 08° 44' 29" E A DISTANCE OF 20.00 FEET TO A NO. 4 REBAR SET ON THE EXISTING NORTH RIGHT-OF-WAY LINE OF SPRAGUE ROAD AND THE EXISTING EAST RIGHT-OF-WAY LINE OF BICENTENNIAL BOULEVARD, FOR AN OUTSIDE CORNER OF THIS TRACT;

THENCE, S 80° 56' 31" E ALONG THE EXISTING NORTH RIGHT-OF-WAY LINE OF SPRAGUE ROAD, A DISTANCE OF 35.06 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;

THENCE, S 36° 08' 39" W A DISTANCE OF 49.68 FEET TO A NO. 4 REBAR SET ON THE EXISTING EAST RIGHT-OF-WAY LINE OF BICENTENNIAL BOULEVARD, FOR AN OUTSIDE CORNER OF THIS TRACT;

THENCE, N 08° 44' 29" E ALONG THE EXISTING EAST RIGHT-OF-WAY LINE OF BICENTENNIAL BOULEVARD, A DISTANCE OF 596.02 FEET TO A NO. 4 REBAR SET ON THE SOUTH LINE OF SAID RACQUET CLUB SUBDIVISION, FOR AN INSIDE CORNER OF THIS TRACT;

THENCE, N 80° 56' 31" W ALONG THE SOUTH LINE OF SAID RACQUET CLUB SUBDIVISION, A DISTANCE OF 15.00 FEET TO A NO. 4 REBAR SET ON THE SOUTHWEST CORNER OF SAID RACQUET CLUB SUBDIVISION AND THE EXISTING EAST RIGHT-OF-WAY LINE OF BICENTENNIAL BOULEVARD, FOR AN OUTSIDE CORNER OF THIS TRACT;

THENCE, N 08° 44' 29" E ALONG THE WEST LINE OF SAID RACQUET CLUB SUBDIVISION AND THE EXISTING EAST RIGHT-OF-WAY LINE OF BICENTENNIAL BOULEVARD, A DISTANCE OF 688.96 FEET TO A NO. 4 REBAR SET ON THE NORTHWEST CORNER OF SAID RACQUET CLUB SUBDIVISION, FOR THE NORTHWEST CORNER OF THIS TRACT;

THENCE, S 80° 56' 31" E ALONG THE NORTH LINE OF SAID RACQUET CLUB SUBDIVISION, A DISTANCE OF 1,340.98 FEET TO THE POINT OF BEGINNING AND CONTAINING 28.366 ACRES, SAVE AND EXCEPT 4.765 ACRES, LEAVING 23.601 ACRES GROSS, OF WHICH 0.417 OF ONE ACRE LIES WITHIN THE EXISTING RIGHT-OF-WAY OF SPRAGUE ROAD, LEAVING A NET OF 23.184 ACRES OF LAND, MORE OR LESS.

SAVE AND EXCEPT TRACT "A"

A TRACT OF LAND CONTAINING 1.599 ACRES SITUATED IN THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF RACQUET CLUB SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 18, PAGE 60, HIDALGO COUNTY MAP RECORDS, SAID 1.599 ACRES BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID RACQUET CLUB SUBDIVISION, ALSO BEING THE NORTHEAST CORNER OF LOT 13, SECTION 277, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY AND WITHIN THE EXISTING RIGHT-OF-WAY OF 10TH STREET;

THENCE, N 80° 56' 31" W ALONG THE NORTH LINE OF SAID RACQUET CLUB SUBDIVISION, AT A DISTANCE OF 50.00 FEET PASS A NO. 4 REBAR SET ON THE EXISTING WEST RIGHT-OF-WAY LINE OF 10<sup>TH</sup> STREET, [FROM WHICH AN IRON PIPE FOUND BEARS S 85° 15' 58" E, A DISTANCE OF 0.81 FEET], CONTINUING A TOTAL DISTANCE OF 518.52 FEET TO A NO. 4 REBAR SET FOR THE NORTHEAST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

THENCE, S 08° 44' 29" W A DISTANCE OF 30.00 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;

THENCE, N 80° 56' 31" W A DISTANCE OF 768.48 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;

THENCE, N 09° 03' 29" E A DISTANCE OF 10.00 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;

THENCE, N 80° 56' 31" W A DISTANCE OF 535.52 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;

THENCE, S 49° 17' 03" W A DISTANCE OF 26.20 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;

THENCE, S 08° 44' 29" W A DISTANCE OF 264.51 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;

THENCE, S 36° 22' 27" E A DISTANCE OF 28.46 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;

THENCE, S 08° 42' 51" W A DISTANCE OF 20.00 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;

THENCE, S 54° 08' 55" W A DISTANCE OF 28.33 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;

THENCE, S 08° 44' 29" W A DISTANCE OF 264.48 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;

THENCE, S 36° 33' 26" E A DISTANCE OF 28.58 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;

THENCE, S 80° 56' 31" E A DISTANCE OF 588.76 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;

THENCE, N 09° 03' 29" E A DISTANCE OF 10.00 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;

THENCE, S 80° 56' 31" E A DISTANCE OF 293.84 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;

THENCE, S 08° 44' 29" W A DISTANCE OF 30.00 FEET TO A NO. 4 REBAR SET ON THE SOUTH LINE OF SAID RACQUET CLUB SUBDIVISION, FOR THE SOUTHEAST CORNER OF THIS TRACT;

THENCE, N 80° 56' 31" W ALONG THE SOUTH LINE OF SAID RACQUET CLUB SUBDIVISION, A DISTANCE OF 622.97 FEET TO A NO. 4 REBAR SET ON THE SOUTHWEST CORNER OF SAID RACQUET CLUB SUBDIVISION AND THE EXISTING EAST RIGHT-OF-WAY LINE OF BICENTENNIAL BOULEVARD, FOR THE SOUTHWEST CORNER OF THIS TRACT;

THENCE, N 08° 44' 29" E, ALONG THE WEST LINE OF SAID RACQUET CLUB SUBDIVISION AND THE EXISTING EAST RIGHT-OF-WAY LINE OF BICENTENNIAL BOULEVARD, A DISTANCE OF 688.96 TO A NO. 4 REBAR SET ON THE NORTHWEST CORNER OF SAID RACQUET CLUB SUBDIVISION, FOR THE NORTHWEST CORNER OF THIS TRACT;

THENCE, S 80° 56' 31" E ALONG THE NORTH LINE OF RACQUET CLUB SUBDIVISION, A DISTANCE OF 1,340.98 FEET TO THE POINT OF BEGINNING AND CONTAINING 1.599 ACRES OF LAND MORE OR LESS.

SAVE AND EXCEPT TRACT "B"

A TRACT OF LAND CONTAINING 3.166 ACRES SITUATED IN THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF RACQUET CLUB SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 18, PAGE 60, HIDALGO COUNTY MAP RECORDS, SAID 3.166 ACRES BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID RACQUET CLUB SUBDIVISION, ALSO BEING THE NORTHEAST CORNER OF LOT 13, SECTION 277, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY AND WITHIN THE EXISTING RIGHT-OF-WAY OF 10TH STREET;

THENCE, N 80° 56' 31" W ALONG THE NORTH LINE OF SAID RACQUET CLUB SUBDIVISION, AT A DISTANCE OF 50.00 FEET PASS A NO. 4 REBAR SET ON THE EXISTING WEST RIGHT-OF-WAY LINE OF 10<sup>TH</sup> STREET, [FROM WHICH AN IRON PIPE FOUND BEARS S 85° 15' 58" E, A DISTANCE OF 0.81 FEET], CONTINUING A TOTAL DISTANCE OF 518.52 FEET;

THENCE, S 08° 44' 29" W A DISTANCE OF 30.00 FEET;

THENCE, N 80° 56' 31" W A DISTANCE OF 708.48 FEET TO A NO. 4 REBAR SET, FOR THE NORTHEAST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

THENCE, S 09° 03' 29" W A DISTANCE OF 70.00 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;

THENCE, S 80° 56' 31" E, A DISTANCE OF 290.87 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;

THENCE, S 08° 44' 29" W A DISTANCE OF 60.00 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;

THENCE, N 80° 56' 31" W A DISTANCE OF 291.20 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;

1. THENCE, S 09° 03' 29" W A DISTANCE OF 348.95 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;

2. THENCE, S 80° 56' 31" E A DISTANCE OF 293.12 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;

3. THENCE, S 08° 44' 29" W A DISTANCE OF 60.00 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;

4. THENCE, N 80° 56' 31" W A DISTANCE OF 293.46 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;

5. THENCE, S 09° 03' 29" W A DISTANCE OF 80.00 FEET TO A NO. 4 REBAR SET, FOR THE SOUTHEAST CORNER OF THIS TRACT;

6. THENCE, N 80° 56' 31" W A DISTANCE OF 60.00 FEET TO A NO. 4 REBAR SET, FOR THE SOUTHWEST CORNER OF THIS TRACT;

7. THENCE, N 09° 03' 29" E A DISTANCE OF 127.23 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;

8. THENCE, N 80° 56' 31" W A DISTANCE OF 549.78 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;

9. THENCE, N 08° 44' 29" E A DISTANCE OF 50.00 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;

10. THENCE, S 80° 56' 31" E A DISTANCE OF 550.05 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;

11. THENCE, N 09° 03' 29" E A DISTANCE OF 127.24 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;

12. THENCE, N 80° 56' 31" W A DISTANCE OF 530.58 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;

13. THENCE, N 08° 44' 29" E A DISTANCE OF 20.00 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;

14. THENCE, S 80° 56' 31" E A DISTANCE OF 530.70 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;

15. THENCE, N 09° 03' 29" E A DISTANCE OF 127.24 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;

16. THENCE, N 80° 56' 31" W A DISTANCE OF 551.57 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;

17. THENCE, N 08° 44' 29" E A DISTANCE OF 50.00 FEET TO A NO. 4 REBAR SET, FOR AN OUTSIDE CORNER OF THIS TRACT;

18. THENCE, S 80° 56' 31" E A DISTANCE OF 551.85 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;

19. THENCE, N 09° 03' 29" E A DISTANCE OF 117.24 FEET TO A NO. 4 REBAR SET, FOR THE NORTHWEST CORNER OF THIS TRACT;

20. THENCE, S 80° 56' 31" E A DISTANCE OF 60.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 3.166 ACRES OF LAND MORE OR LESS.

GENERAL NOTES :

- THIS SUBDIVISION IS IN FLOOD ZONE "X" (SHADED) AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD. COMMUNITY-PANEL NUMBER: 480345 0325 D MAP REVISED: JUNE 6, 2000.
- MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE THE FRONT TOP OF CURB MEASURED FROM THE CENTER OF THE LOT.
- MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF MCALLEN ZONING ORDINANCE:  
FRONT: 20 FT. OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.  
REAR: 10 FT. OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.  
SIDE: 5 FT. OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.  
CORNER: 10 FT. OR GREATER FOR EASEMENTS.  
GARAGE: 18 ft. EXCEPT WHERE GREATER SETBACK IS REQUIRED; GREATER SETBACK APPLIES.
- CITY OF MCALLEN BENCHMARK: NUMBER MC 12, TOP OF 30" ALUMINUM PIPE WITH A 3-1/4" BRASS MONUMENT CAP ON TOP AT THE WEST SIDE OF BICENTENNIAL BLVD. IN BETWEEN SPRAGUE ROAD & 107. GEODETIC G.P.S. TEXAS STATE PLANE GRID COORDINATE SYSTEM, NAD 83 TEXAS SOUTH 4205 ELEVATION PER NAVD 88 (GEOID 2003) N=16636202.035, E=1078277.583, ELEV.=102.61.
- REQUIRED STORM SEWER RUNOFF DETENTION FOR THIS SUBDIVISION AS PER THE APPROVED DRAINAGE REPORT: 174,253 C.F. - 4,000 AC.-FT. TO BE PROVIDED WITHIN DESIGNATED DETENTION AREA DESIGNATED AS COMMON AREA "A"
- AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE CITY OF MCALLEN ENGINEERING DEPARTMENT, SHALL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT FOR ALL NEW BUILDING.
- NO STRUCTURES PERMITTED TO BE BUILT OVER EASEMENTS.
- 4' WIDE MINIMUM SIDEWALK REQUIRED ALONG N. BICENTENNIAL BLVD., SPRAGUE ROAD, AND BOTH SIDES OF ALL INTERIOR STREETS.
- 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES AND ALONG N. BICENTENNIAL BLVD. AND SPRAGUE ROAD.
- 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- 25 X 25 SIGHT OBSTRUCTION CLIP REQUIRED AT ALL STREET INTERSECTIONS AND 10 X 10 CORNER CLIP REQUIRED AT ALL STREET AND ALLEY INTERSECTIONS.
- NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG NORTH BICENTENNIAL BLVD AND SPRAGUE ROAD.
- COMMON AREA "A" (DETENTION), COMMON/DETENTION AREAS, ANY PRIVATE STREETS/ DRIVES, GATE AREAS, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF MCALLEN.
- AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS, FOR THE VILLAGES AT PARK WEST SUBDIVISION RECORDED UNDER DOCUMENT NUMBER \_\_\_\_\_ HIDALGO COUNTY OFFICIAL RECORDS, DEVELOPER/HOMEOWNERS ASSOCIATION/OWNER, THEIR SUCCESSORS AND/OR ASSIGNS, AND NOT THE CITY OF MCALLEN SHALL BE RESPONSIBLE OF INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 134-168 OF THE CODE OF ORDINANCE OF THE CITY OF MCALLEN, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND DETENTION PONDS. ANY AMENDMENT TO DECLARATION THAT CONFLICT WITH THE REQUIREMENTS OS SECTION 134-138 SHALL BE NULL & VOID.
- DEVELOPER/HOMEOWNER'S ASSOCIATION/OWNER, THEIR SUCCESSORS AND ASSIGNEES, AND NOT THE CITY OF MCALLEN SHALL BE RESPONSIBLE FOR COMPLIANCE OF INSTALLATION AND MAINTENANCE AND OTHER REQUIREMENTS PER SECTION 134-168 OF THE SUBDIVISION ORDINANCE, INCLUDING BUT NOT LIMITED TO COMMON/DETENTION AREAS AND ITS PRIVATE STREETS.
- HOME OWNERS ASSOCIATION COVENANTS FOR THE VILLAGES AT PARK WEST SUBDIVISION AS RECORDED UNDER AS RECORDED UNDER DOCUMENT NO. \_\_\_\_\_ H.C.D.R.
- ALL EASEMENTS ARE TO BE DEDICATED BY PLAT, UNLESS STATED OTHERWISE.
- PARK LAND DEDICATION VARIANCE WITH THE FOLLOWING CONDITION WAS APPROVED: FIFTY (50%) PERCENT OF PARK FEES TO BE PAID UPFRONT PRIOR TO PLAT RECORDING, THE REMAINING FIFTY (50%) PERCENT OF PARK FEES TO BE PAID THROUGH THE BUILDING PERMIT APPLICATION PROCESS. TOTAL PARK FEES FOR VACATING A PORTION OF RACQUET CLUB SUBDIVISION AND RE-PLAT OF PARK WEST SUBDIVISION IS \$59,500.00, BASED ON \$700.00 PER LOT/DWELLING UNIT. FOR EACH OF THE PROPOSED 85 SINGLE-FAMILY LOTS/DWELLING UNIT WILL BE PAID AT THE TIME OF BUILDING PERMIT ISSUANCE UNTIL THE PARK FEES ARE PAID IN FULL. A VARIANCE OF "FEES IN LIEU OF LAND DEDICATION" WAS APPROVED ON \_\_\_\_\_ WITH THE CONDITIONS LISTED.
- COMMON AREA "A" WILL BE USED FOR DETENTION ONLY. COMMON AREA "A" WILL BE INSTALLED AND MAINTAINED BY PROPERTY OWNER/HOA AND NOT THE CITY OF MCALLEN.

SUBDIVISION MAP OF

# VACATING A PORTION OF RACQUET CLUB SUBDIVISION TO RE-PLAT OF VILLAGES AT PARK WEST SUBDIVISION (PRIVATE SUBDIVISION)

A TRACT OF LAND CONTAINING 28.366 ACRES SITUATED IN THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF RACQUET CLUB SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 18, PAGE 60, HIDALGO COUNTY MAP RECORDS, AND ALSO BEING A PART OR PORTION OUT OF LOT 13, SECTION 277, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 24, PAGE 168, HIDALGO COUNTY DEED RECORDS, WHICH SAID 28.366 ACRES ARE OUT OF A CERTAIN TRACT CONVEYED TO STEPHEN C. REYNOLDS, BY VIRTUE OF A GENERAL WARRANTY DEED IN LIEU OF FORECLOSURE, RECORDED UNDER DOCUMENT NUMBER 1960046, HIDALGO COUNTY OFFICIAL RECORDS.

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

RAUL E. SESIN, P.E., C.F.M.  
GENERAL MANAGER

DATE

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN

ATTESTED BY:

CITY SECRETARY

DATE

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION

DATE

STATE OF TEXAS  
COUNTY OF HIDALGO

I, (WE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS VACATING A PORTION OF RACQUET CLUB SUBDIVISION INTO RE-PLAT OF VILLAGES AT PARK WEST SUBDIVISION, DO HEREBY GRANT AN ACCESS UTILITY EASEMENT TO THE CITY OF MCALLEN AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE USE OF THE STREET(S), ALLEY(S), AND EASEMENT(S) THEREON SHOWN, SURFACE USE OF THE STREET(S) AND ALLEY(S) IS RESTRICTED TO THE EMPLOYEES OR AGENTS OF THE CITY OF MCALLEN, TO THE EMPLOYEES OR UTILITIES OPERATING UNDER FRANCHISE TO THE CITY OF MCALLEN AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. THE OWNER DOES HEREBY DEDICATE TO THE USE OF THE PUBLIC THE PORTION OF N. BICENTENNIAL BLVD. AND SPRAGUE ROAD FOR THE USE AS STREET RIGHT OF WAY DEDICATED TO THE CITY OF MCALLEN BY THIS PLAT.

DOMAIN DEVELOPMENT, CORP.  
A TEXAS CORPORATION

SHAVI MAHTANI, PRESIDENT  
1200 AUBURN STREET, SUITE 250  
MCALLEN, TEXAS 78504

DATE

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED SHAVI MAHTANI, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC, FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES:

STATE OF TEXAS  
COUNTY OF HIDALGO

IWE, THE UNDERSIGN, HOLDER(S), (OR DULY AUTHORIZED OFFICERS OF THE HOLDER(S)) OF SECURITY INTREST IN THE ABOVE DESCRIBED PROPERTY, THE LAND SHOWN ON THE PLAT, AND DESIGNATED HEREIN AS THE VACATE A PORTION OF RACQUET CLUB SUBDIVISION INTO RE-PLAT OF VILLAGES AT PARK WEST SUBDIVISION, OF THE CITY OF MCALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT, AND DO HEREBY PROVIDE THAT NAY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED HEREIN.

GEORGE CARDENAS, EXECUTIVE VISE-PRESIDENT  
VANTAGE BANK OF TEXAS  
1502 S. SUGAR ROAD  
EDINBURG, TX 78539

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED GEORGE CARDENAS, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC, FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES:

STATE OF TEXAS  
COUNTY OF HIDALGO

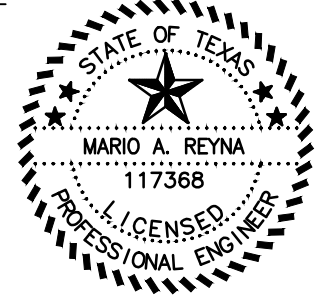
I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

MELDEN & HUNT, INC.  
TEXAS REGISTRATION F-1435

MARIO A. REYNA, LICENSED PROFESSIONAL ENGINEER No. 117368  
STATE OF TEXAS

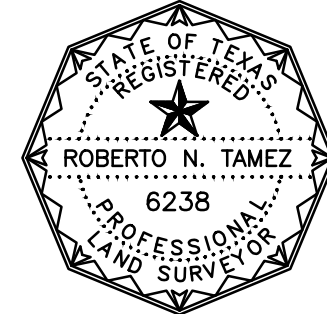
DATE PREPARED: 10/18/2023  
DATE REVISED: 08/26/2024  
ENGINEERING JOB # 24095.00



STATE OF TEXAS  
COUNTY OF HIDALGO

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MCALLEN, TEXAS.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.



ROBERTO N. TAMEZ, REGISTERED  
PROFESSIONAL LAND SURVEYOR No. 6238  
STATE OF TEXAS

DATE SURVEYED: 06/13/2024  
SURVEY JOB # 24094.08



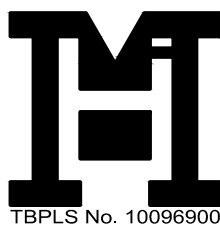
FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM

INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY

## LOCATION MAP



MELDEN & HUNT, INC.  
CONSULTANTS • ENGINEERS • SURVEYORS





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 11/1/2024

### SUBDIVISION NAME: VACATING A PORTION OF RACQUET CLUB AND REPLAT VILLAGES AT PARK WEST

#### REQUIREMENTS

#### STREETS AND RIGHT-OF-WAYS

North Bicentennial Boulevard: Dedication as required for 75 ft. from centerline for 150 ft. total ROW  
 Paving: 65 ft. - 105 ft. Curb & gutter: both sides  
 - Provide a copy of R.O.W. documents shown on the plat for staff review as applicable, prior to final.  
 - Clarify the dashed lines shown on the North and South sections of N. Bicentennial Blvd.  
 - Clarify Document labeled as "Deed Without Warranty."  
 \*\*\*\*The engineer submitted a variance application (VAR2024-0045) submitted on 10-11-24, including a variance proposal to dedicate 15 ft. of additional R.O.W. for 70 ft. from centerline for 140 ft. total R.O.W. instead of the required 20 ft. of R.O.W. dedication for 75 ft. from centerline for 150 ft. of R.O.W. Variance to be presented at the P&Z meeting of November 5, 2024.  
 \*\*Subdivision Ordinance: Section 134-105  
 \*\*Monies must be escrowed if improvements are required prior to final  
 \*\*COM Thoroughfare Plan

Non-compliance

Sprague Road: Dedication as required for 40 ft. from centerline for 80 ft. total ROW  
 Paving: 52 ft. Curb & gutter: both sides  
 - Provide a copy of R.O.W. documents shown on the plat for staff review as applicable, prior to final.  
 - Clarify southwest corner of subdivision as it appears that a portion of Sprague won't be dedicated.  
 - Label the distance from centerline to the dedicated R.O.W.  
 \*\*Subdivision Ordinance: Section 134-105  
 \*\*Monies must be escrowed if improvements are required prior to final  
 \*\*COM Thoroughfare Plan

Non-compliance

Interior Streets: Dedication as required for 60 ft. total R.O.W.  
 Paving: 40 ft. Curb & gutter: both sides  
 - Street names to be finalized, prior to final.  
 - Additional ROW may be required at the gate area.  
 - Provide gate details for staff review  
 - \*\*\*\*The engineer submitted a variance application (VAR2024-0045) submitted on 10-11-24, including a variance proposal for 50 ft. of R.O.W. with 40 ft. of paving with a 10 ft. utility and sidewalk easement on both sides of streets, instead of the required 60 ft. of R.O.W. with 40 ft. of paving for multi-family properties. Variance to be presented at the P&Z meeting of November 5, 2024.  
 \*\*Subdivision Ordinance: Section 134-105  
 \*\*Monies must be escrowed if improvements are required prior to final  
 \*\*COM Thoroughfare Plan

Non-compliance

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



<p>E/W 1/4 Mile Collector (northern boundary): dedication required for 60 ft. total ROW  Paving: 40 ft. Curb &amp; gutter: both sides  - Show R.O.W. dedication for an E/W 1/4 mile collector on the north side, prior to final.  ****The engineer submitted a variance application (VAR2024-0045) submitted on 10-11-24, including a variance proposal to not dedicate R.O.W. nor escrow for this road, instead of dedicating for the required for 60 ft. of total R.O.W. dedication. Variance to be presented at the P&amp;Z meeting of November 5, 2024.  **Subdivision Ordinance: Section 134-105  **Monies must be escrowed if improvements are required prior to final  **COM Thoroughfare Plan</p>	Non-compliance
<p>Paving _____ Curb &amp; gutter _____  **Subdivision Ordinance: Section 134-105  **Monies must be escrowed if improvements are required prior to final  **COM Thoroughfare Plan</p>	NA
<p>* 1,200 ft. Block Length  ****The engineer submitted a variance application (VAR2024-0045) submitted on 10-11-24, including a variance proposal for the maximum allowable 1,200 ft. block length, of which the subdivision block length is currently 1,317 ft. Variance to be presented at the P&amp;Z meeting of November 5, 2024.  **Subdivision Ordinance: Section 134-118</p>	Non-compliance
<p>* 900 ft. Block Length for R-3C or R-3T Zone Districts  **Subdivision Ordinance: Section 134-118</p>	NA
<p>* 600 ft. Maximum Cul-de-Sac  **Subdivision Ordinance: Section 134-105</p>	Applied
<b>ALLEYS</b>	
<p>ROW: 20 ft. Paving: 16 ft.  *Alley/service drive easement required for commercial/multi-family properties  - Subdivision layout is proposing a 24 ft. alley for interior lots only.  ****The engineer submitted a variance application (VAR2024-0045) submitted on 10-11-24, including a variance proposal for a 24 ft private alley for internal blocks ONLY. Variance to be presented at the P&amp;Z meeting of November 5, 2024.  **Subdivision Ordinance: Section 134-106</p>	Non-compliance
<b>SETBACKS</b>	
<p>* Front: 20 ft. or greater for easements or approved site plan  - Once zoning is finalized, final setbacks will be established but not less than ordinance requirements.  **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Rear: 10 ft. or greater for easements or approved site plan.  - Once zoning is finalized, final setbacks will be established but not less than ordinance requirements.  **Zoning Ordinance: Section 138-356</p>	Applied
<p>* Sides: 6 ft. or greater for easements or approved site plan.  - Once zoning is finalized, final setbacks will be established but not less than ordinance requirements.  Revisions Needed  Proposing: "5 ft. or greater for easements or approved site plan."  **Zoning Ordinance: Section 138-356</p>	Non-compliance
<p>* Corner: 10 ft. or greater for easements or approved site plan.  **Zoning Ordinance: Section 138-356</p>	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



* Garage: 18 ft. except where greater setback is required; greater setback applies. **Zoning Ordinance: Section 138-356	Applied
*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Applied
<b>SIDEWALKS</b>	
* 4 ft. wide minimum sidewalk required on North Bicentennial Boulevard, Sprague Road, and on both sides of all interior streets. **Subdivision Ordinance: Section 134-120	Applied
* Perimeter sidewalks must be built or money escrowed if not built at this time.	Required
<b>BUFFERS</b>	
* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along North Bicentennial Boulevard and Sprague Road. **Landscaping Ordinance: Section 110-46	Applied
* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46	Applied
*Perimeter buffers must be built at time of Subdivision Improvements.	Required
<b>NOTES</b>	
* No curb cut, access, or lot frontage permitted along North Bicentennial Boulevard and Sprague Road. **Must comply with City Access Management Policy	Applied
* Site plan must be approved by the Planning and Development Departments prior to building permit issuance. - Any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development. - Submit a site plan or clarify to determine requirement, prior to final. ***Zoning Ordinance: Section 138-210.	Required
* Common/Detention Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen. - Revise plat note #14 as shown above, prior to final. - If Lot 91 is a common lot, please label it according (e.g. Common Lot A), add as a plat note to clarify it. - Lot 91/Common Area "A" needs to front onto the interior streets. 25 ft. of frontage is allowed for detention lots. The initial plat submitted had frontage onto the interior street. - No Curb Cuts are allowed onto Bicentennial. - Please clearly label detention areas and label them accordingly. - A lot may only have one letter / number. Revise the the lot name prior to final.	Non-compliance
* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.	NA



<p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</p> <p>- Revise Plat note # 15 with the Full Subdivision Plat Name.</p> <p>**Section 110-72 applies if public subdivision is proposed.</p> <p>**Section 134-168 applies if private subdivision is proposed.</p> <p>**Landscaping Ordinance: Section 110-72</p> <p>**Subdivision Ordinance: Section 134-168</p>	Required
<p>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</p> <p>* Homeowner's Association Covenants must be submitted for staff review, prior to recording.</p> <p>- Revise Plat note # 15 with the Full Subdivision Plat Name.</p> <p>**Section 110-72 applies if public subdivision is proposed.</p> <p>**Section 134-168 applies if private subdivision is proposed.</p> <p>**Landscaping Ordinance: Section 110-72</p> <p>**Subdivision Ordinance: Section 134-168</p>	Required
<b>LOT REQUIREMENTS</b>	
<p>* Lots fronting public/private streets</p> <p>- Lot 91/Common Area "A" needs to front onto the interior streets. 25 ft. of frontage is allowed for detention lots. The initial plat submitted had frontage onto the interior street.</p> <p>- No Curb Cuts are allowed onto Bicentennial.</p> <p>**Subdivision Ordinance: Section 134-1</p>	Non-compliance
<p>* Minimum lot width and lot area</p> <p>- Please verify lot widths for lots: 14,15,24 and 38 so that they meet minimum 50 ft. width requirement. Verify all lots meet minimum 50 ft. frontage requirements, update curve table accordingly.</p> <p>**Zoning Ordinance: Section 138-356</p>	Non-compliance
<b>ZONING/CUP</b>	
<p>* Existing: R-2, R-3T, C-3 Proposed: R-3A</p> <p>- Applications for zoning change received, to be presented at the P&amp;Z meeting of 11/19/24.</p> <p>***Zoning Ordinance: Article V</p>	TBD
<p>* Rezoning Needed Before Final Approval</p> <p>- Applications for zoning change received, to be presented at the P&amp;Z meeting of 11/19/24.</p> <p>***Zoning Ordinance: Article V</p>	TBD
<b>PARKS</b>	
<p>*As per plat submitted on July 05, 2024, plat depicts 88 residential lots, a request to pay park fees in lieu of land dedication for The Replat of Villages at Park West subdivision has been submitted and approved by the City Manager's office. The request includes paying half of the park fees prior to recording and the other half prior to building permit issuance. Half of the park fees (\$30,800) based on \$350 per 88 proposed dwelling units is needed prior to recording, and \$350 per dwelling unit must be paid prior to building permit issuance. If the number of dwelling units increases, additional park fees will apply. A plat note to reflect the approved park fee variance is needed prior to recording.</p> <p>-Proposing: Plat note regarding parkland dedication is shown as Plat Note #19</p>	Applied



<p>*As per plat submitted on July 05, 2024, plat depicts 88 residential lots, a request to pay park fees in lieu of land dedication for The Replat of Villages at Park West subdivision has been submitted and approved by the City Manager's office. The request includes paying half of the park fees prior to recording and the other half prior to building permit issuance. Half of the park fees (\$30,800) based on \$350 per 88 proposed dwelling units is needed prior to recording, and \$350 per dwelling unit must be paid prior to building permit issuance. If the number of dwelling units increases, additional park fees will apply. A plat note to reflect the approved park fee variance is needed prior to recording.</p> <p>-Proposing: Plat note regarding parkland dedication is shown as Plat Note #19</p>	Applied
<p>*As per plat submitted on July 05, 2024, plat depicts 88 residential lots, a request to pay park fees in lieu of land dedication for The Replat of Villages at Park West subdivision has been submitted and approved by the City Manager's office. The request includes paying half of the park fees prior to recording and the other half prior to building permit issuance. Half of the park fees (\$30,800) based on \$350 per 88 proposed dwelling units is needed prior to recording, and \$350 per dwelling unit must be paid prior to building permit issuance. If the number of dwelling units increases, additional park fees will apply. A plat note to reflect the approved park fee variance is needed prior to recording.</p> <p>-Proposing: Plat note regarding parkland dedication is shown as Plat Note #19</p>	Applied
<b>TRAFFIC</b>	
<p>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</p> <p>- TG approved, TIA Level 1 triggered.</p> <p>- Please contact traffic department to resolve pending items prior to final.</p> <p>* Traffic Impact Analysis (TIA) required prior to final plat.</p>	Required
	TBD
<b>COMMENTS</b>	
<p>Comments:</p> <ul style="list-style-type: none"> <li>- Any abandonments must be done by separate document, not by plat, must be finalized prior to recording.</li> <li>- Location will require a secondary access that must meet Fire Department requirements.</li> <li>- Clarify if 15.3 ft. Waterline Easement is still currently existing as it isn't shown on the plat.</li> <li>- Submit a master plan for overall development to determine compliance with subdivision requirements, streets, etc and any additional requirements that may be needed.</li> <li>- Subdivision name will need to be changed/finalized, prior to final.</li> <li>- Vacating portion must be redone as it includes a portion that is outside of the original subdivision boundary.</li> <li>- Application would need to be corrected to reflect the finalized name of the subdivision.</li> <li>- Verify the Lot Area tables match the acreage shown for the lots on this plat.</li> <li>- Lot 91 needs to be clarified of its status as either common lot A or lot 91.</li> <li>- Lot 91/Common Area "A" must front and have areas for maintenance onto their interior streets. Access cannot be by curb cut on Bicentennial. Minimum 25 ft frontage allowed for detention lots. Initial plat submitted had lot 91 fronting an interior street.</li> </ul> <p>*Must comply with City's Access Management Policy.</p>	Required
<b>RECOMMENDATION</b>	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN REVISED PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVAL, AND BOARD'S DECISION ON THE VARIANCES.</p>	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**





# LOCATION

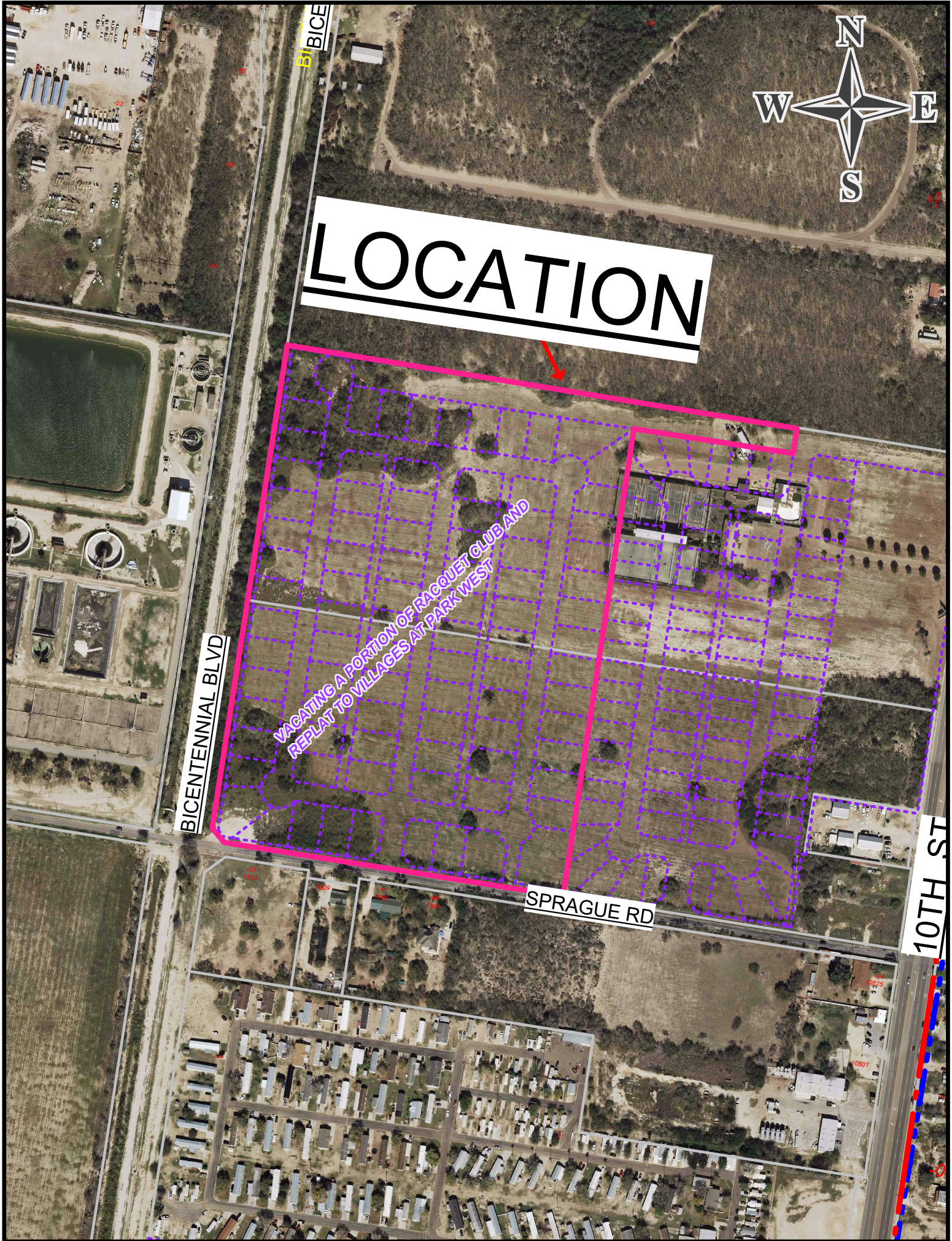
VACATING A PORTION OF RACQUET CLUB AND  
REPLAT TO VILLAGES AT PARK WEST

BICENTENNIAL BLVD

SPRAGUE RD

10TH ST

ST BICE







City of McAllen

Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)

SUBDIVISION PLAT REVIEW APPLICATION

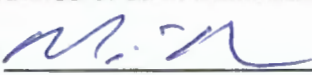
SUB2024-0117

Project Information	Subdivision Name	<u>Enclave on Jackson</u>		
	Legal Description	<u>8.168 +/- out of Block 5, of A.J McColl Subdivision, Volume 21, Page 597-598 Hidalgo County, Texas</u>		
	Location	<u>N Jackson Rd</u>		
	City Address or Block Number	<u>2613 North Jackson Road</u>		
	Total No. of Lots	<u>80</u>	Total Dwelling Units	<u>78</u>
	Gross Acres	<u>8.168</u>	Net Acres	<u>8.168</u>
	<input type="checkbox"/> Public Subdivision/ <input type="checkbox"/> Private and Gated / <input checked="" type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No			
	For Fee Purposes: <input type="checkbox"/> Commercial ( <u>    </u> Acres)/ <input checked="" type="checkbox"/> Residential ( <u>80</u> Lots) Replat: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No			
	Existing Zoning <u>AO&amp;C3</u> Proposed Zoning <u>R-3T</u> Applied for Rezoning <input checked="" type="checkbox"/> No/ <input type="checkbox"/> Yes: Date <u>          </u>			
	Existing Land Use <u>Vacant</u> Proposed Land Use <u>Town Homes</u>			
Owner	Irrigation District #	<u>HCID #2</u>	Water CCN: <input checked="" type="checkbox"/> MPU/ <input type="checkbox"/> Sharyland Water SC	Other <u>          </u>
	Agricultural Exemption: <input type="checkbox"/> Yes/ <input checked="" type="checkbox"/> No Parcel # <u>231040</u>			
	Estimated Rollback Tax Due <u>                                  </u> Tax Dept. Review <u>                                  </u>			
	Name	<u>Ronald M. Beamsley Family Trust &amp; Dorothy M. Beamsley Living Trust</u>		Phone <u>c/o 956-381-0981</u>
	Address	<u>2613 N Jackson Rd</u>		E-mail <u>mlopez@urbancitytx.com</u>
Developer	City	<u>McAllen</u>	State <u>TX</u>	Zip <u>78504</u>
	Name	<u>Vista Property Investment LLC</u>		Phone <u>c/o 956-381-0981</u>
	Address	<u>601 Pecan, Suite 150</u>		E-mail <u>mlopez@urbancitytx.com</u>
	City	<u>McAllen</u>	State <u>TX</u>	Zip <u>78504</u>
	Contact Person	<u>Marco Lopez</u>		
Engineer	Name	<u>Melden &amp; Hunt, Inc.</u>		Phone <u>(956) 381-0981</u>
	Address	<u>115 West McIntyre Street, Edinburg, Texas 781</u>		E-mail <u>mario@meldenandhunt.com, beto@meldenandhunt.com and valeria@meldenandhunt.com</u>
	City	<u>Edinburg</u>	State <u>Texas</u>	Zip <u>78541</u>
	Contact Person	<u>Mario A. Reyna, P.E., Beto De La Garza, and Valeria Garza</u>		
Surveyor	Name	<u>Melden &amp; Hunt, Inc.</u>		Phone <u>(956) 381-0981</u>
	Address	<u>115 West McIntyre Street, Edinburg, Texas 781</u>		E-mail <u>robert@meldenandhunt.com</u>
	City	<u>Edinburg</u>	State <u>Texas</u>	Zip <u>78541</u>

RECEIVED  
OCT 28 2024  
By NG



## Proposed Plat Submittal

<b>Minimum Developer's Requirements Submitted with Application</b>	<p style="text-align: center;"><u><b>In Person Submittal Requirements</b></u></p> <ul style="list-style-type: none"> <li>- Application Fee: \$300 + \$25/lot <b>for residential</b> (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) <b>for commercial, industrial, or apartment complexes</b></li> <li>- Title Report</li> <li>- 8 ½" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps</li> <li>- 2 8 ½" by 11" copies/legible copies of plat with name &amp; north arrow</li> <li>- 6 Folded blue-line prints of the proposed plat</li> <li>- 2 Warranty Deeds (identifying owner on application)</li> <li>- AutoCAD 2005 DWG file and PDF of plat</li> <li>- Letter of Authorization from the owner (if applicable)</li> <li>- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)</li> </ul>	<p style="text-align: center;"><u><b>Email Submittal Requirements</b></u></p> <ul style="list-style-type: none"> <li>- Application Fee: \$300 + \$25/lot <b>for residential</b> (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) <b>for commercial, industrial, or apartment complexes</b></li> <li>- Title Report</li> <li>- Sealed Survey</li> <li>- Location Map</li> <li>- Plat &amp; Reduced Plat</li> <li>- Warranty Deed</li> <li>- DWG File</li> <li>- Letter of Authorization from the owner (if applicable)</li> <li>- Proof of authority of person signing application on behalf of partnership/corporation, if applicable</li> </ul> <p><small>*Documents must be submitted in separate PDF files. <u>Each file must be less than 20 MB.</u> No scanned documents*</small></p> <p><small>*Submit documents to <a href="mailto:subdivisions@mcallen.net">subdivisions@mcallen.net</a></small></p> <p style="text-align: center;"><b>*ORIGINAL APPLICATION &amp; FEE MUST BE SUBMITTED IN PERSON/VIA MAIL*</b></p>
	<p><b>PLAT TO SHOW:</b></p> <ul style="list-style-type: none"> <li>- Metes and bounds</li> <li>- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts</li> <li>- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines</li> <li>- North arrow, scale and vicinity map</li> <li>- Name &amp; dimension of adjoining street ROWs (total width &amp; width from centerline)</li> </ul> <p><small>Note: Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans. It is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at <a href="mailto:subdivisions@mcallen.net">subdivisions@mcallen.net</a></small></p>	
<b>Owner(s) Signature(s)</b>	<p>I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.</p> <p>Signature <u></u> Date <u>10/25/2024</u></p> <p>Print Name <u>Mario A. Reyna, P.E.</u></p> <p>Owner <input type="checkbox"/> Authorized Agent <input checked="" type="checkbox"/></p> <p style="text-align: center;"><small>The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion</small></p>	



N "K" CENTE

14A 14B 15A 15B 16A  
PHASE 1  
35 34A 34B 33A 33B 32A 32B 31A 31B 30A 30B 29A 29B

TERRACE

20  
PHASE 1

DAFFODIL AVE

24  
PHASE 1

25

CAMELLIA AVE

PHASE 1A

42

43

46  
PHASE 1

48  
PHASE 1

DAFFODIL AVE

PHASE 1

15



**LOCATION**



2

**PROPOSED ENCLAVE ON JACKSON SUBDIVISION**

2721

-05

-03  
2701

-04  
2613

-00  
2601

-01  
2501

LA VISTA AVE

5

EXPANSION

LA VISTA ACRES

JACKSON RD



SUBDIVISION MAP OF  
ENCLAVE ON JACKSON  
SUBDIVISION

(A PRIVATE SUBDIVISION)

BEING A SUBDIVISION OF A 20.983 ACRES OF LAND SITUATED IN  
THE CITY OF MCALLEN, HIDALGO COUNTY, TEXAS, BEING A PART  
OR PORTION OUT OF LOT 4, BLOCK 4, A.J. MCCOLL SUBDIVISION,  
ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 21,  
PAGE 598, HIDALGO COUNTY DEED RECORDS.

METES AND BOUNDS DESCRIPTION:

A TRACT OF LAND CONTAINING 8.168 ACRES SITUATED IN HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF LOT 2,  
BLOCK 5, A.J. MCCOLL SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 21, PAGE 598, HIDALGO COUNTY  
DEED RECORDS, SAID 8.168 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID LOT 2, BLOCK 5;

THENCE, S 08° 29' 38" W ALONG THE EAST LINE OF SAID LOT 2, BLOCK 5, A DISTANCE OF 353.43 FEET TO THE NORTHEAST CORNER  
AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

1. THENCE, S 08° 29' 38" W ALONG THE EAST LINE OF SAID LOT 2, BLOCK 5, A DISTANCE OF 244.00 FEET TO THE SOUTHEAST  
CORNER OF THIS TRACT;
2. THENCE, N 81° 30' 22" W A DISTANCE OF 1,458.27 FEET TO THE WEST LINE OF SAID LOT 2, BLOCK 5, FOR THE SOUTHWEST  
CORNER OF THIS TRACT;
3. THENCE, N 08° 29' 38" E ALONG THE WEST LINE OF SAID LOT 2, BLOCK 5, A DISTANCE OF 244.00 FEET TO THE NORTHWEST  
CORNER OF THIS TRACT;
4. THENCE, S 81° 30' 22" E A DISTANCE OF 1,458.27 FEET TO THE POINT OF BEGINNING AND CONTAINING 8.168 ACRES OF LAND,  
MORE OR LESS.

I, THE UNDERSIGNED, MAYOR OF THE CITY OF MCALLEN, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL  
REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN

DATE

CITY SECRETARY

DATE

I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT  
THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY  
APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING AND ZONING COMMISSION

DATE

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 2 ON THIS,  
THE \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UPON  
HIDALGO COUNTY IRRIGATION DISTRICT No. 2 RIGHT OF WAYS OR EASEMENTS.

ATTEST:  
PRESIDENT SECRETARY

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION  
COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE  
DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE  
FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF  
THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

RAUL E. SESIN, P.E., C.F.M.  
GENERAL MANAGER

DATE

THE STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS ENCLAVE ON  
JACKSON SUBDIVISION, DO HEREBY GRANT AN ACCESS AND UTILITY EASEMENT TO THE CITY OF MCALLEN AND THOSE  
WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY. THE USE OF THE STREET(S), ALLEY(S) AND  
EASEMENTS THEREON SHOWN, SURFACE USE OF THE STREET(S) AND ALLEY(S) IS RESTRICTED TO THE EMPLOYEES  
OR AGENTS OF THE CITY OF MCALLEN, TO THE EMPLOYEES OF UTILITIES OPERATING UNDER FRANCHISE TO THE CITY  
OF MCALLEN AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. THE OWNER DOES HEREBY DEDICATE TO THE  
USE OF THE PUBLIC THE PORTION OF N. JACKSON ROAD AND N. "K" CENTER STREET FOR THE USE AS STREET RIGHT  
OF WAY DEDICATED TO THE CITY OF MCALLEN BY THIS PLAT.

RODNEY BEAMSLEY, -TRUSTEE  
2613 NORTH JACKSON RD.  
MCALLEN, TEXAS 78501

DATE

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RODNEY BEAMSLEY KNOWN TO ME TO  
BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE  
EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND

SEAL OF OFFICE, THIS THE \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.

NOTARY PUBLIC, FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES:

STATE OF TEXAS  
COUNTY OF

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RODNEY BEAMSLEY, KNOWN TO ME  
TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE  
EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND

AND SEAL OF OFFICE, THIS THE \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.

NOTARY PUBLIC, FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES:

STATE OF TEXAS §  
COUNTY OF HIDALGO §

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY  
CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

MARIO A. REYNA, P.E. # 117368  
DATE PREPARED: 05-16-2022 REVISED: 08-30-22  
ENGINEERING JOB No. 21038.00

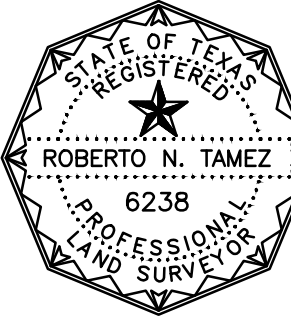
DATE:



STATE OF TEXAS §  
COUNTY OF HIDALGO §

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT  
THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY  
DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS,  
VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER  
MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE  
SUBDIVISION REGULATIONS OF THE CITY OF EDINBURG, TEXAS.

DATED THIS THE \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.



ROBERTO N. TAMEZ, REGISTERED PROFESSIONAL LAND SURVEYOR No. 6238  
STATE OF TEXAS  
DATE SURVEYED:  
SURVEY JOB

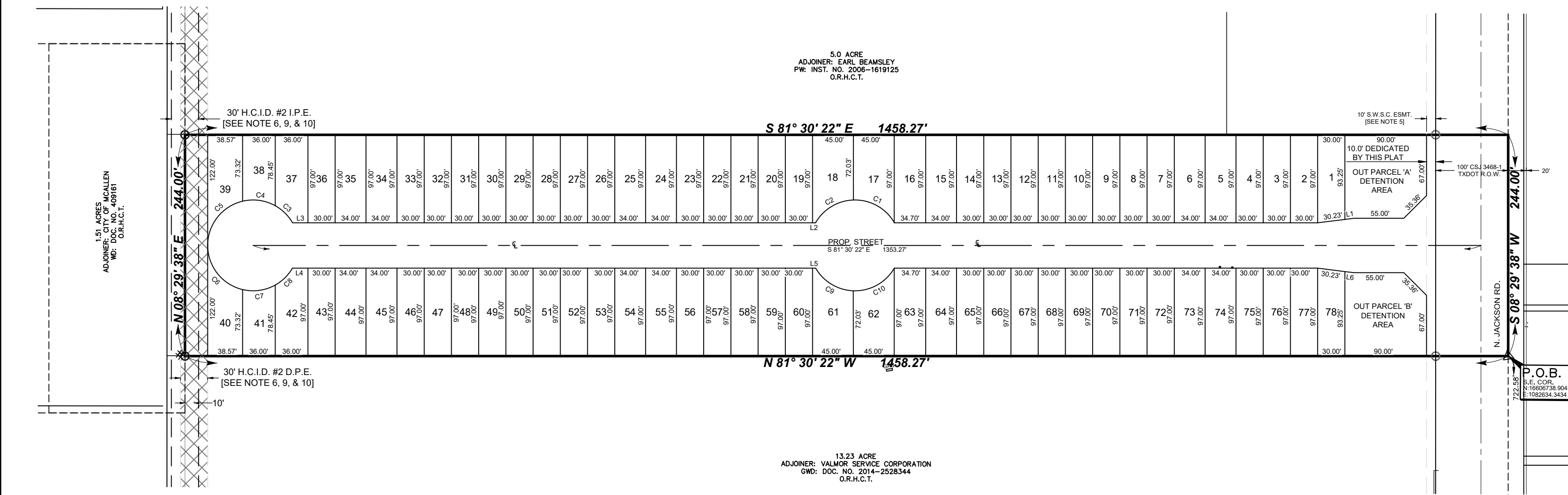


FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUAJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_ AT \_\_\_\_ AM/PM

INSTRUMENT NUMBER  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_ DEPUTY



LEGEND

- FOUND No.4 REBAR
- FOUND CONCRETE MONUMENT
- SET No.4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
- R.O.W. - RIGHT OF WAY
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- H.C.I.D. - HIDALGO COUNTY IRRIGATION DISTRICT
- N.W. COR. - NORTHWEST CORNER
- P.O.B. - POINT OF BEGINNING
- C - CENTER LINE

BEARING AND DISTANCE AS PER TEXAS SOUTH PLAT 14, BLOCK 4, A.J. MCCOLL SUBDIVISION, VOLUME 21, PAGE 598, HIDALGO COUNTY DEED RECORDS.

SCALE: 1"=100'

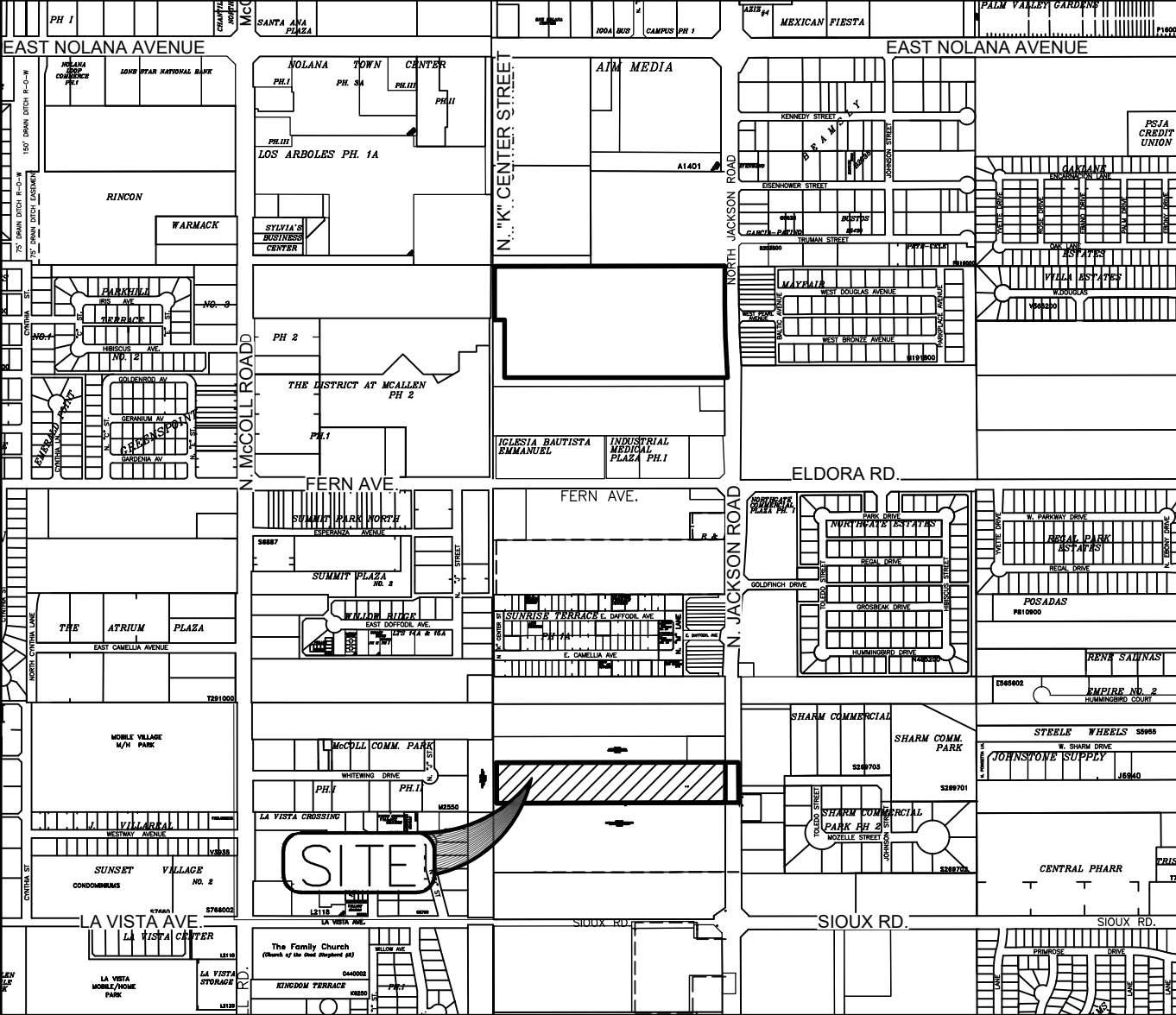
Curve Table						
Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Tangent
C1	54.06'	50.00'	061° 56' 49"	N52° 28' 47"W	51.46'	30.01
C2	50.66'	50.00'	058° 03' 11"	S87° 31' 13"W	48.52'	27.75
C3	26.67'	50.00'	030° 33' 59"	N36° 47' 22"W	26.36'	13.66
C4	37.22'	50.00'	042° 38' 51"	N73° 23' 46"W	36.36'	19.52
C5	67.01'	50.00'	076° 47' 09"	S46° 53' 14"W	62.11'	39.62
C6	67.01'	50.00'	076° 47' 09"	S29° 53' 58"E	62.11'	39.62
C7	37.22'	50.00'	042° 38' 51"	S89° 36' 58"E	36.36'	19.52
C8	26.67'	50.00'	030° 33' 59"	N53° 46' 37"E	26.36'	13.66
C9	50.66'	50.00'	057° 57' 32"	S50° 29' 08"E	48.45'	27.89
C10	54.14'	50.00'	062° 02' 28"	N89° 30' 52"E	51.53'	30.07

GENERAL NOTES:

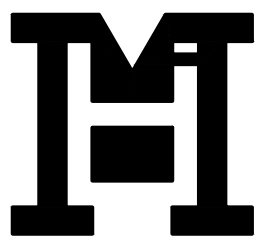
1. THE SITE LIES IN ZONE "B". ZONE "B" IS DEFINED AS " AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD.
2. MINIMUM FINISH FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB AT CENTER OF LOT.
3. MINIMUM SETBACKS SHALL COMPLY WITH THE CITY OF MCALLEN ZONING CODE:  
FRONT: 20 FEET OR GREATER FOR EASEMENT OR APPROVED SITE PLAN. EXCEPT 10 FEET FRONT SETBACK FOR UNENCLOSED CARPORTS ONLY FOR LOTS 1-15 AND LOTS 44-62.  
REAR: IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.  
SIDE CORNER: 10 FEET OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN.  
INTERIOR SIDES: 5 FEET OR GREATER FOR EASEMENTS OR APPROVED SITED PLAN.  
GARAGE: 18 FEET EXCEPT WHERE GREATER SETBACK IS REQUIRED. GREATER SETBACK APPLIES.
4. REQUIRED DETENTION FOR STORM SEWER RUNOFF PER THE APPROVED DRAINAGE REPORT SHALL BE 116,759 CUBIC FEET. STORM WATER RUNOFF GENERATED FROM DEVELOPMENT SHALL BE DETAINED ON-SITE VIA A DETENTION POND WITH A CAPACITY OF 117,774 CUBIC FEET. WATER WILL THEN DISCHARGE THROUGH AN 24" BLEEDER LINE INTO AN EXISTING CITY OF MCALLEN STORM SEWER NETWORK LOCATED ON THE WEST SIDE OF THE PROPERTY ALONG N. K. CENTER STREET.
5. CITY OF MCALLEN BENCHMARK: "MC 68" FROM THE CITY OF MCALLEN G.P.S. REFERENCE MARKS LIST PREPARED BY GLICK, LINN ON OCTOBER 08, 1999, BEING LOCATED ON NORTHEAST CORNER OF THE INTERSECTION OF JACKSON ROAD & EL DORA ROAD, 30' ALUM PIPE WITH A 3" BRASS MONUMENT CAP ON TOP AT ELEVATION = 111.23, NORTHING: 16608729.2851, EASTING: 1082910.61419 (NAVDS8).
6. NO STRUCTURES PERMITTED TO BE BUILT OVER EASEMENTS.
7. 5 FT. WIDE MINIMUM SIDEWALK REQUIRED ALONGSIDE THE WEST ROW OF JACKSON RD., AND BOTH SIDES OF ALL INTERNAL STREETS.
8. 25 FT. x 25 FT. SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET INTERSECTIONS AND 10 FT. X 10 FT. SIGHT OBSTRUCTION EASEMENT REQUIRED AT ALL STREET/ALLEY INTERSECTIONS.
9. 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES, ALONG NORTH JACKSON ROAD.
10. SET No. 4 REBARS WITH PLASTIC CAP STAMPED MELDEN AND HUNT ON ALL LOT CORNERS.
11. COMMON OR DETENTION AREAS, ANY PRIVATE STREET/ALLEYS, AND/OR GATES MUST BE MAINTAINED BY THE PROPERTY OWNERS/ HOA AND NOT THE CITY OF MCALLEN.
12. NO CURB CUT, ACCESS, OR LOT FRONTAGE PERMITTED ALONG NORTH JACKSON ROAD, EAST JONQUIL AVENUE AND NORTH "K" CENTER STREET.
13. AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS, FOR THE PARK TERRACE SUBDIVISION RECORDED UNDER DOCUMENT NUMBER \_\_\_\_, HIDALGO COUNTY OFFICIAL RECORDS, DEVELOPER/HOMEOWNERS ASSOCIATION/OWNER, THEIR SUCCESSORS AND/OR ASSIGNS, AND NOT THE CITY OF MCALLEN SHALL BE RESPONSIBLE OF INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 134-168 OF THE CODE OF ORDINANCE OF THE CITY OF MCALLEN, INCLUDING BUT NOT LIMITED TO COMMON AREAS AND DETENTION PONDS. ANY AMENDMENT TO DECLARATION THAT CONFLICT WITH THE REQUIREMENTS OF SECTION 134-168 SHALL BE NULL & VOID.
14. COMMON LOT 79 AND 80, IDENTIFIED AS DETENTION AREAS SHALL BE MAINTAINED BY THE DEVELOPER WHO MAY TRANSFER SUCH MAINTENANCE OBLIGATION TO THE SUBDIVISION HOMEOWNER'S ASSOCIATION, PARK TERRACE SUBDIVISION HOMEOWNER'S ASSOCIATION, UPON CONVEYANCE OF TITLE TO THE SAME, THEIR SUCCESSORS AND ASSIGNEES, AND NOT BY THE CITY OF MCALLEN, NO BUILDINGS OR OTHER STRUCTURES SHALL BE ERRECTED IN COMMON LOT 63, WHICH SHALL BE USED EXCLUSIVELY AS DETENTION AREAS. AFTER COMMON LOT 63 TRANSFER OF TITLE TO THE PARK TERRACE SUBDIVISION HOMEOWNER'S ASSOCIATION THE SUBDIVISION LOT OWNERS PRO RATA SHARES OF THE COST OF MAINTENANCE SHALL BE DETERMINED BY THE PARK TERRACE SUBDIVISION HOMEOWNER'S ASSOCIATION. FAILING IN SUCH MAINTENANCE OBLIGATIONS, THE CITY OF MCALLEN MAY, BUT SHALL NOT BE REQUIRED TO MAINTAIN THE SAME AT THE LOT OWNERS COST, WHICH COST MAY BECOME A LIEN AGAINST THEIR PROPERTIES. PRIOR TO THE IMPOSITION OF ANY LIEN, THE CITY SHALL FIRST COMPLY WITH NOTICE REQUIREMENTS SIMILAR TO THOSE UNDER EXISTING ORDINANCE SECTION 134-168(d), AS THE SAME MAY BE AMENDED. THE SPECIFIC AND EXCLUSIVE USE OF COMMON LOT 79 AND 80 ARE THE OWNERS MAINTENANCE OBLIGATION, AND THE CONSEQUENCES OF FAILURE TO MAINTAIN SHALL BE INCORPORATED INTO ANY DEED OR INSTRUMENT OF CONVEYANCE AS A DEED RESTRICTION, RECORDED IN INSTRUMENT No. \_\_\_\_ OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.
15. FIFTY (50) PERCENT OF PARK FEES TO BE PAID UP FRONT PRIOR TO PLAT RECORDING. THE REMAINING FIFTY (50) PERCENT IS TO BE PAID THROUGH THE BUILDING PERMIT APPLICATION PROCESS. PAYMENT IS TO BE COMMENSURATE WITH AMOUNT OF DWELLING UNITS WHERE MULTIFAMILY HOUSING WILL BE BUILT. LOTS 1 THROUGH 76 ARE MULTIFAMILY (TOWNHOUSE) AND WILL PAY \$1,400 PER LOT OR \$350 PER DWELLING UNIT. A TOTAL OF 156 DWELLING UNITS. IF NUMBER OF DWELLING UNITS INCREASE, THEN THE ADDITIONAL UNITS PAY THE FULL PARK FEE OF \$700 PER DWELLING UNIT. A VARIANCE OF "FEES IN LIEU OF LAND DEDICATION" WAS APPROVED ON OCTOBER 19, 2021 WITH THE CONDITIONS LISTED.

DRAWN BY: JOSH.F. DATE 10-03-24  
SURVEYED, CHECKED DATE  
FINAL CHECK DATE

LOCATION MAP  
SCALE: 1"=1000'



TBPE FIRM # F-1435



MELDEN & HUNT INC.  
CONSULTANTS • ENGINEERS • SURVEYORS  
115 W. McINTYRE  
EDINBURG, TX 78541  
PH: (956) 381-0981  
FAX: (956) 381-1839  
ESTABLISHED 1947  
227 N. F.M. 3167  
RIO GRANDE CITY, TX 78852  
PH: (956) 487-8256  
FAX: (956) 488-8551  
www.meldenandhunt.com

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER: RODNEY BEAMSLEY	2613 NORTH JACKSON RD.	MCALLEN, TEXAS 78501		
ENGINEER: MARIO A. REYNA, P.E.	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
SURVEYOR: ROBERTO N. TAMEZ, R.P.L.S.	115 W. McINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 11/14/2024

### SUBDIVISION NAME: ENCLAVE ON JACKSON

#### REQUIREMENTS

#### STREETS AND RIGHT-OF-WAYS

N. Jackson Road: Dedication needed for 75 ft. from centerline for 150 ft. total ROW  
Paving: By State Curb & gutter: by State  
Revisions needed:  
- Label Centerline and show and label existing ROW on both sides with document number on the plat and provide a copy for staff review prior to final.  
- Show and label ROW from centerline including the dedication, and total ROW including the dedication, complying with ROW dedication requirement as shown above prior to final.  
- Clarify 10 ft. S.W.S.C. shown on the ROW dedicated by this plat. Clarify the reference to "See note #5" and add the document number on the plat. ROW dedication may not overlap an existing easement to another entity. Clarify/revise prior to final.  
- Ensure that ROW complies with State plans for N. Jackson Road, any acquisitions should be included with document number, dimensions, and labeling, finalize prior to final.  
\*\*Subdivision Ordinance: Section 134-105  
\*\*Monies must be escrowed if improvements are required prior to final  
\*\*COM Thoroughfare Plan

Non-compliance

N/S quarter mile collector (on the west side): Dedication as needed for 60 ft. total ROW  
Paving: 40 ft. Curb & gutter: both sides  
Revisions needed:  
- Show ROW dedication for a N/S quarter mile collector. The ROW dedication may not overlap any other entities easements, including Irrigation Easement.  
- Name of the street will be finalized prior to final.  
\*\*Subdivision Ordinance: Section 134-105  
\*\*Monies must be escrowed if improvements are required prior to recording.  
\*\*COM Thoroughfare Plan

Non-compliance

Interior Street: Dedication as needed for 60 ft. total ROW  
Paving: 40 ft. Curb & gutter: both sides  
Revisions needed:  
- Label the ROW dedicated by this plat prior to final to verify compliance. If there is any range of ROW, show ROW at multiple points.  
- Show ROW at the Cul-de-Sac. Minimum 116 ft. diameter is required to comply with 96 ft. minimum paving for Fire Department and 10 ft. additional ROW around the curb.  
- Show the street on the east side of N. Jackson Road and the distance between the centerline of the proposed interior street and the existing street on the east side. As per Sec. 134-105, Street jogs with centerline offsets of less than 125 feet shall be avoided.  
- Name of the street will be finalized prior to final.  
- As per the submitted application, the subdivision will be private but not gated. Add "(Private Street)" label under the name of the interior street when finalized.  
\*\*Subdivision Ordinance: Section 134-105  
\*\*Monies must be escrowed if improvements are required prior to recording.  
\*\*COM Thoroughfare Plan

Non-compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



<p>Paving _____ Curb &amp; gutter _____</p> <p>**Subdivision Ordinance: Section 134-105</p> <p>**Monies must be escrowed if improvements are required prior to final</p> <p>**COM Thoroughfare Plan</p> <p>* 1,200 ft. Block Length</p> <p>**Subdivision Ordinance: Section 134-118</p> <p>* 900 ft. Block Length for R-3T &amp; R-3C Zone Districts</p> <p>- Revise the layout to comply with the maximum block length requirement.</p> <p>**Subdivision Ordinance: Section 134-118</p> <p>* 600 ft. Maximum Cul-de-Sac</p> <p>- Revise the layout to comply with the maximum Cul-de-Sac length.</p> <p>- Show ROW at the Cul-de-Sac. Minimum 116 ft. diameter is required to comply with 96 ft. minimum paving for Fire Department and 10 ft. additional ROW around the curb.</p> <p>- If a variance to the maximum Cul-de-Sac length is requested and approved, it will be subject to 40 ft. paving.</p> <p>**Subdivision Ordinance: Section 134-105</p>	Applied
	NA
	Non-compliance
	Non-compliance
<b>ALLEYS</b>	
<p>ROW: 20 ft. Paving: 16 ft.</p> <p>- As per Public Works Department curbside collection was approved by Public Works Director subject to conditions. Contact Public Works Department to finalize the requirements.</p> <p>*Alley/service drive easement required for commercial and multifamily properties.</p> <p>**Subdivision Ordinance: Section 134-106</p>	Non-compliance
<b>SETBACKS</b>	
<p>* Front: 10 ft. or greater for easements.</p> <p>- Clarify or revise the setback note as shown above prior to final.</p> <p>- Proposing: 20 ft. or greater for easement or approved site plan. Except 10 ft. front setback for unenclosed carports only for Lots 1-15 and Lots 44-62</p> <p>- Submit rezoning request and finalize it to finalize the setback note prior to final.</p> <p>**Zoning Ordinance: Section 138-356</p> <p>* Rear: In accordance with the zoning ordinance or greater for easements</p> <p>- Clarify or revise the setback note as shown above prior to final.</p> <p>Proposing: In accordance with the zoning ordinance or greater for easements or approved site plan</p> <p>- Submit rezoning request and finalize it to finalize the setback note prior to final.</p> <p>**Zoning Ordinance: Section 138-356</p> <p>* Sides: In accordance with the zoning ordinance or greater for easements or approved site plan</p> <p>- Clarify/revise the setback note as shown above prior to final.</p> <p>- Proposing: 5 ft. or greater for easements or approved site plan.</p> <p>- Submit rezoning request and finalize it to finalize the setback note prior to final.</p> <p>**Zoning Ordinance: Section 138-356</p> <p>* Corner: 10 ft. or greater for easements</p> <p>- Clarify or revise the setback note as shown above prior to final.</p> <p>- Proposing: 10 ft. or greater for easements or approved site plan</p> <p>**Zoning Ordinance: Section 138-356</p> <p>* Garage: 18 ft. except where greater setback is required, greater setback applies</p> <p>- Submit rezoning request and finalize it to finalize the setback note prior to final.</p> <p>**Zoning Ordinance: Section 138-356</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Non-compliance
	Non-compliance
	Required
	Non-compliance
	Non-compliance
	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



SIDEWALKS	
<ul style="list-style-type: none"> <li>* 5 ft. wide minimum sidewalk required on N. Jackson Road and 4 ft. wide minimum sidewalk required on both sides of all interior streets and N/S quarter mile collector as applicable.</li> <li>- Plat note will be finalized once ROW dedication and street name for N/S quarter mile collector is finalized.</li> <li>**Subdivision Ordinance: Section 134-120</li> <li>* Perimeter sidewalks must be built or money escrowed if not built at this time.</li> </ul>	<div>Non-compliance</div> <div>Required</div>
BUFFERS	
<ul style="list-style-type: none"> <li>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses AND along N. Jackson Road and the quarter mile collector as applicable.</li> <li>- Finalize the ROW dedication to finalize the plat note wording prior to final.</li> <li>**Landscaping Ordinance: Section 110-46</li> </ul>	Non-compliance
<ul style="list-style-type: none"> <li>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses.</li> <li>- Add a plat note as shown above prior to final.</li> <li>**Landscaping Ordinance: Section 110-46</li> </ul>	Non-compliance
<ul style="list-style-type: none"> <li>*Perimeter buffers must be built at time of Subdivision Improvements.</li> </ul>	Required
NOTES	
<ul style="list-style-type: none"> <li>* No curb cut, access, or lot frontage permitted along N. Jackson Road and the quarter mile collector as applicable.</li> <li>- Clary the proposed note. Finalize the ROW dedication to finalize the plat note prior to final.</li> <li>- Proposing: No curb cut, access, or lot frontage permitted along N. Jackson Road, E. Jonquil Avenue, and N. "K Center Street.</li> <li>**Must comply with City Access Management Policy</li> </ul>	Non-compliance
<ul style="list-style-type: none"> <li>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance for five or more attached dwelling units.</li> <li>**Section 138-210 requires that any owner, builder or developer of a multiple-family, condominium or townhouse dwelling complex of five units or more on a single lot or parcel, or five single-family attached units, shall submit to the planning department for review a site and building plan for the proposed development.</li> <li>- A site plan is recommended to be submitted prior to final to verify compliance with city codes including parking, landscaping, etc.</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* Common Areas, any private streets/drives, etc. must be maintained by the lot owners/HOA and not the City of McAllen.</li> <li>- Based on the submitted application, the subdivision is private but not gated. Clarify/remove any reference regarding gate areas from plat note #11 prior to final.</li> </ul>	Non-compliance
<ul style="list-style-type: none"> <li>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</li> <li>**Section 110-72 applies if public subdivision is proposed.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> </ul>	Applied



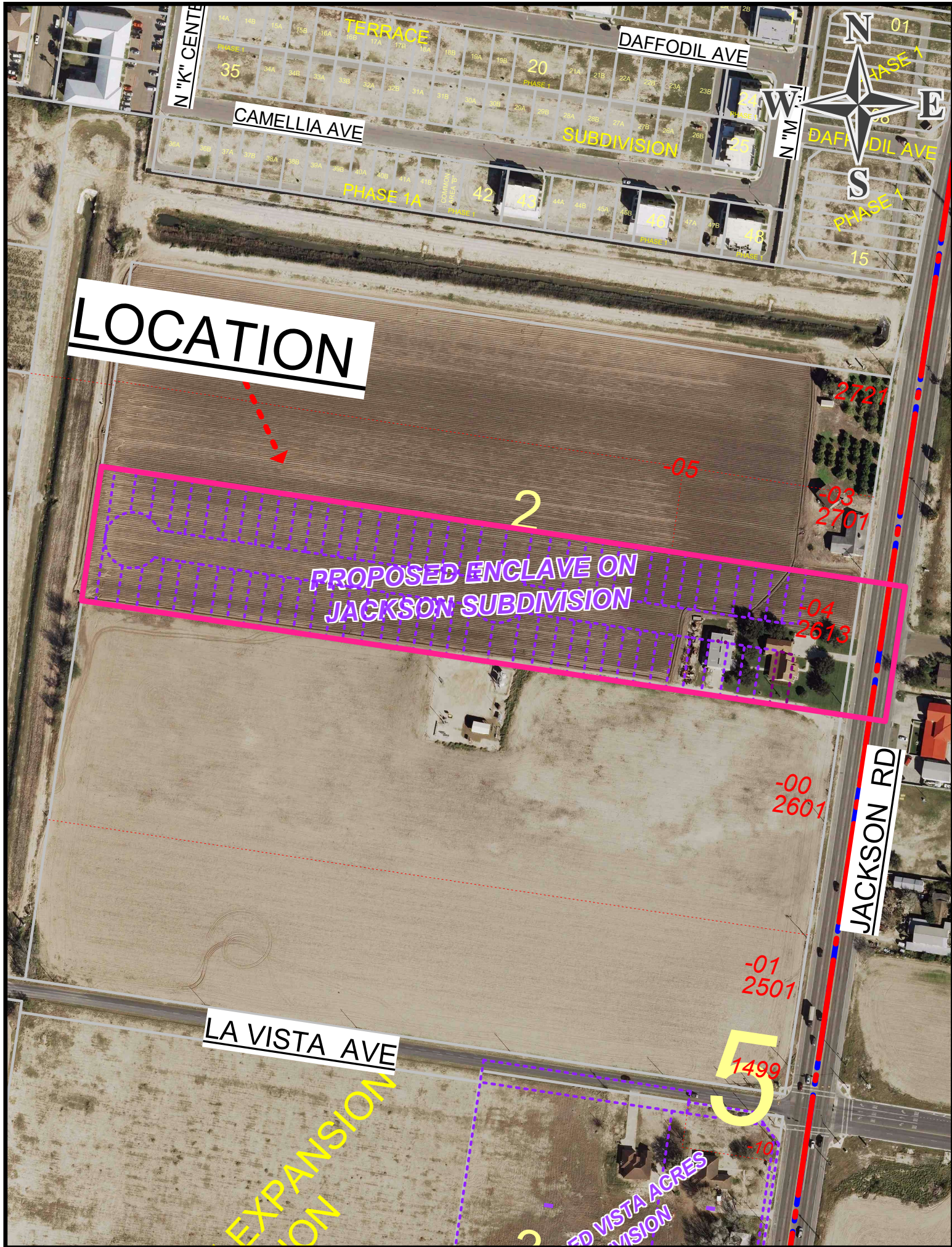
<ul style="list-style-type: none"> <li>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</li> <li>- Submit a copy of the draft HOA document prior to recording.</li> <li>**Section 110-72 applies if public subdivision is proposed.</li> <li>**Section 134-168 applies if private subdivision is proposed.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> </ul>	Required
<b>LOT REQUIREMENTS</b>	
<ul style="list-style-type: none"> <li>* Lots fronting public/private streets</li> <li>**Subdivision Ordinance: Section 134-1</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* Minimum lot width and lot area</li> <li>- The proposed lots do not meet the minimum Lot width and size requirement for the current zone (A-O and C-3). Submit and finalize the zoning and provide the irregular lots square footages to determine compliance prior to final.</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Non-compliance
<b>ZONING/CUP</b>	
<ul style="list-style-type: none"> <li>* Existing: A-O &amp; C-3 Proposed: R-3T</li> <li>- The rezoning must be finalized prior to final.</li> <li>***Zoning Ordinance: Article V</li> </ul>	Required
<ul style="list-style-type: none"> <li>* Rezoning Needed Before Final Approval</li> <li>- Submit rezoning and finalize prior to final.</li> <li>***Zoning Ordinance: Article V</li> </ul>	Non-compliance
<b>PARKS</b>	
<ul style="list-style-type: none"> <li>* Land dedication in lieu of fee.</li> <li>- Based on the submitted application and plat, 78 townhomes are proposed. As per Parks Department, park land dedication of 1.24 acres will be required prior to final. If park fee in lieu of park land dedication is proposed, a letter must be submitted to the Planning Director and reviewed by the City Manager prior to final.</li> </ul>	Required
<ul style="list-style-type: none"> <li>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording.</li> <li>- Based on the submitted application and plat, 78 townhomes are proposed. As per Parks Department, park land dedication of 1.24 acres will be required prior to final. If park fee in lieu of park land dedication is proposed, a letter must be submitted to the Planning Director and reviewed by the City Manager prior to final.</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* Pending review by the City Manager's Office.</li> <li>- If park fee in lieu of park land dedication is proposed, it must be reviewed by the City Manager's Office.</li> </ul>	Applied
<b>TRAFFIC</b>	
<ul style="list-style-type: none"> <li>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</li> </ul>	Required
<ul style="list-style-type: none"> <li>* Traffic Impact Analysis (TIA) required prior to final plat.</li> </ul>	TBD

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



COMMENTS	
<p>Comments:</p> <ul style="list-style-type: none"><li>- A secondary access is required by Fire Department and Subdivision ordinance for private subdivisions. Revise the layout to comply with the requirement prior to final.</li><li>- Revie the label of the common lots from "Outparcel A" and "Outparcel B" to "Common Lot A" and "Common Lot B" prior to final.</li><li>- No utility easements have been dedicated by this plat. Clarify if no easement is needed prior to final.</li><li>- A portion of the subdivision on the west of Lots 39 &amp; 40 is not clear if it is a separate lot. Revise the plat to clarify prior to final.</li><li>- Add the document number for HCID #2 easements shown on the plat and clarify why it has been cross hatched prior to final.</li><li>- The HCID #2 easement references "See Note 6,9, &amp; 10." Clarify/revise prior to final.</li><li>- Any abandonment must be done by a separate process, not by plat.</li><li>- Clarify 10 ft. S.W.S.C. shown on the ROW dedicated by this plat. Clarify the reference to "See note #5" and add the document number on the plat. ROW dedication may not overlap an existing easement to another entity. Clarify/revise prior to final.</li><li>- Legal Description of all adjacent lots on all sides, including the east side of N. Jackson Road is needed prior to final.</li><li>- There are some double lines on the plat with no label, e.g. on the east and west side of the property. Clarify/revise prior to final.</li><li>- Clarify/remove/revise notes #14 and #15 prior to final.</li></ul> <p>*Must comply with City's Access Management Policy.</p>	Non-compliance
RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVAL.	Applied





**LOCATION**

**2**

**PROPOSED ENCLAVE ON  
JACKSON SUBDIVISION**

**LA VISTA AVE**

**EXPANSION**

**ED VISTA ACRES  
VISION**

**JACKSON RD**

**DAFFODIL AVE**

**CAMELLIA AVE**



**DAFFODIL AVE**

**5**

**-01  
2501**

**-00  
2601**

**-04  
2613**

**-03  
2701**

**2721**

**PHASE 1A**

**SUBDIVISION**

**20**

**35**

**N "K" CENTE**



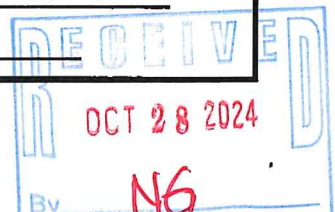


## Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)  
SUBDIVISION PLAT REVIEW APPLICATION

SUB2024-0118

Project Information	Subdivision Name	THE WOODLANDS AT BENTSEN SUBDIVISION		
	Legal Description	11.241 acres, being a part or portion out of Lot 4, A.J. McColl's Addition to McAllen First Suburban Citrus Groves, as per plat recorded in Vol 5, Page 50, H.C.M.R. & out of Lot 138A & 148A, John H Shary Subdivision as per plat recorded in Vol 0 Page 17, H.C.M.R.		
	Location	Southwest corner of S. Bentsen Road and Neuhaus Drive		
	City Address or Block Number	2900 South Bentsen Road		
	Total No. of Lots	2	Total Dwelling Units	2
	Gross Acres	11.241	Net Acres	
	<input type="checkbox"/> Public Subdivision / <input checked="" type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No			
	For Fee Purposes: <input type="checkbox"/> Commercial (11.241 Acres) / <input checked="" type="checkbox"/> Residential (2 Lots) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No			
	Existing Zoning R-1 Proposed Zoning R-1 Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date _____			
	Existing Land Use Single Family Residential Proposed Land Use Single-Family Residential			
Owner	Irrigation District #	N/A	Water CCN:	<input checked="" type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other _____
	Agricultural Exemption:	<input type="checkbox"/> Yes / <input type="checkbox"/> No	Parcel #	280811, 280812 & 107549
	Estimated Rollback Tax Due	N/A	Tax Dept. Review	NPG
	Name	Maria A. Garcia, a widow	Phone	c/o (956) 381-0981
	Address	4301 Neuhaus Drive	E-mail	mario@meldenandhunt.com, beto@meldenandhunt.com and drobles@meldenandhunt.com
Developer	City	McAllen	State	TX Zip 78503
	Name	Jesus Solis-Gomez	Phone	(c/o) (956) 381-0981
	Address	4709 Tyler Avenue	E-mail	mario@meldenandhunt.com / beto@meldenandhunt.com drobles@meldenandhunt.com
	City	McAllen	State	TX Zip 78503
	Contact Person	Mario A Reyna, Beto De La Garza & Della Robles		
Engineer	Name	Melden & Hunt, Inc.	Phone	(956) 381-0981
	Address	115 West McIntyre Street	E-mail	mario@meldenandhunt.com, beto@meldenandhunt.com and drobles@meldenandhunt.com
	City	Edinburg	State	TX Zip 78541
	Contact Person	Mario A Reyna, P.E., Beto De La Garza, and Della Robles		
Surveyor	Name	Melden & Hunt, Inc.	Phone	(956) 381-0981
	Address	115 West McIntyre Street	E-mail	robert@meldenandhunt.com
	City	Edinburg	State	TX Zip 78541

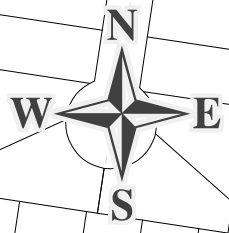




LOCATION

PROPOSED  
THE WOODLANDS  
AT BENTSEN

BENTSEN RD  
BENTSEN RD  
NEUHAUS DR



43RD LN

NEUHAUS CO  
PREPARED  
CONTRACT  
CITY OF



# MAP OF THE WOODLANDS AT BENTSEN

11.241 ACRES BEING OUT OF LOT  
A.J. MCCOLL'S ADDITION TO McALLEN  
FIRST SUBURBAN CITRUS GROVES VOLUME 5,  
PAGE 50 H.C.M.R. AND ACRES OUT OF LOTS 138A AND  
148A JOHN H. SHARY SUBDIVISION VOLUME 0, PAGE 17,  
H.C.M.R. HIDALGO COUNTY TEXAS.

METES AND BOUNDS DESCRIPTION  
11.241 ACRES OUT OF  
LOT 4, A. J. MCCOLL'S ADDITION TO McALLEN  
FIRST SUBURBAN CITRUS GROVES, AND OUT OF  
LOTS 138A AND 148A, JOHN H. SHARY SUBDIVISION  
HIDALGO COUNTY, TEXAS

A TRACT OF LAND CONTAINING 11.241 ACRES SITUATED IN THE COUNTY OF HIDALGO,  
TEXAS, BEING A PART OR PORTION OUT OF LOT 4, A. J. MCCOLL'S ADDITION TO McALLEN  
FIRST SUBURBAN CITRUS GROVES, ACCORDING TO THE PLAT THEREOF RECORDED IN  
VOLUME 5, PAGE 50, HIDALGO COUNTY MAP RECORDS, AND OUT OF LOT 138A & 148A, JOHN  
H. SHARY SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 0, PAGE  
17, HIDALGO COUNTY MAP RECORDS, SAID 11.241 ACRES WERE CONVEYED TO MARIA A.  
GARCIA, A WIDOW BY VIRTUE OF A WARRANTY DEED WITH VENDORS LIEN RECORDED  
UNDER DOCUMENT NUMBER 3537385, HIDALGO COUNTY OFFICIAL RECORDS, SAID 11.241  
ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A COTTON PICKER SPINDLE FOUND AT THE SOUTHEAST CORNER OF  
GARDON AT BENTSEN LAKES PHASE III, ACCORDING TO THE PLAT THEREOF RECORDED IN  
VOLUME 42, PAGE 27, HIDALGO COUNTY MAP RECORDS;  
THENCE, S 08° 36' 21" W A DISTANCE OF 1,369.80 FEET TO A NAIL SET FOR THE NORTHEAST  
CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

1. THENCE, S 08° 36' 21" W ALONG THE EAST LINES OF LOTS 148 AND 138, OF SAID JOHN H.  
SHARY SUBDIVISION, THE EAST LINE OF LOT 4, A. J. MCCOLL'S ADDITION TO McALLEN  
FIRST SUBURBAN CITRUS GROVES, AND WITHIN BENTSEN ROAD RIGHT-OF-WAY, AT A  
DISTANCE OF 532.20 FEET PASS THE SOUTHEAST CORNER OF SAID LOT 4 AND THE  
NORTHEAST CORNER OF SAID LOT 138A, CONTINUING A TOTAL DISTANCE OF 782.17  
FEET TO A NO. 4 REBAR SET FOR THE SOUTHEAST CORNER OF THIS TRACT;
2. THENCE, N 47° 13' 18" W A DISTANCE OF 24.17 FEET PASS TO A NO. 4 REBAR SET FOR  
THE WEST RIGHT-OF-WAY LINE OF BENTSEN ROAD, CONTINUING A TOTAL DISTANCE OF  
181.54 FEET TO A NO. 4 REBAR FOUND FOR AN ANGLE POINT OF THIS TRACT;
3. THENCE, N 53° 40' 50" W A DISTANCE OF 515.02 FEET TO A NO. 4 REBAR FOUND FOR AN  
ANGLE POINT OF THIS TRACT;
4. THENCE, N 41° 02' 10" W A DISTANCE OF 210.70 FEET TO AN ANGLE POINT OF THIS  
TRACT;
5. THENCE, N 22° 35' 31" W A DISTANCE OF 95.24 FEET TO A NO. 4 REBAR FOUND FOR AN  
ANGLE POINT OF THIS TRACT;
6. THENCE, N 34° 04' 05" W A DISTANCE OF 105.86 FEET TO A NO. 4 REBAR FOUND FOR THE  
SOUTHWEST CORNER OF THIS TRACT;
7. THENCE, N 45° 25' 20" E A DISTANCE OF 447.06 FEET TO A NO. 4 REBAR FOUND FOR THE  
NORTHWEST CORNER OF THIS TRACT;
8. THENCE, S 41° 31' 35" E A DISTANCE OF 221.85 FEET TO A NO. 4 REBAR FOUND FOR AN  
ANGLE POINT OF THIS TRACT;
9. THENCE, S 52° 27' 33" E A DISTANCE OF 71.80 FEET TO A NO. 4 REBAR SET FOR AN  
ANGLE POINT OF THIS TRACT;
10. THENCE, S 58° 10' 42" E A DISTANCE OF 65.42 FEET TO A NO. 4 REBAR SET FOR AN  
ANGLE POINT OF THIS TRACT;
11. THENCE, S 71° 35' 55" E A DISTANCE OF 59.73 FEET TO A NO. 4 REBAR SET FOR AN  
ANGLE POINT OF THIS TRACT;
12. THENCE, S 81° 23' 06" E A DISTANCE OF 267.78 FEET PASS A NO. 4 REBAR SET FOR  
THE WEST RIGHT-OF-WAY LINE OF BENTSEN ROAD, CONTINUING A TOTAL DISTANCE OF  
267.78 FEET TO THE POINT OF BEGINNING, AND CONTAINING 11.241 ACRES, OF WHICH  
9.355 OF ONE ACRE LIES IN THE RIGHT-OF-WAY OF BENTSEN ROAD, LEAVING A NET OF  
10.885 ACRES OF LAND, MORE OR LESS.

## GENERAL NOTES:

1. THIS SUBDIVISION LIES IN ZONE "B" DESIGNATED AS AREAS BETWEEN LIMITS OF THE  
100-YEAR FLOOD AND 500-YEAR FLOOD, OR CERTAIN AREAS SUBJECT TO 100-YEAR  
FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE  
CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE, OR AREAS  
PROTECTED BY LEVEES FROM THE BASE FLOOD (MEDIUM SHADING). FEMA'S FLOOD  
INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 480334 0400 C, MAP REVISED  
NOVEMBER 18, 1992.  
REVISED BY LOMR CASE NO. 23-06-0611A, DATED FEBRUARY 03, 2023.
2. MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION IS 18" ABOVE TOP OF CURB MEASURED  
AT FRONT CENTER OF EACH RESIDENTIAL LOT.
3. SETBACKS SHALL BE IN ACCORDANCE TO FUD ORDINANCE #2558, AS MAY BE AMENDED  
FROM TIME TO TIME.  
FRONT SETBACK: 20 FEET OR EASEMENT, WHICHEVER IS GREATER.  
SIDE SETBACK: 5 FEET OR EASEMENT, WHICHEVER IS GREATER.  
REAR SETBACK: 10 FEET OR EASEMENT, WHICHEVER IS GREATER.  
GARAGE DOOR SETBACK LINE: 18 FEET OR EASEMENT, WHICHEVER IS GREATER.
4. THE REQUIRED STORM RUNOFF DETENTION OF 45, 208 -C.F. (1.038 A.C.-F.) WAS  
PROVIDED DURING PHASE III BY WIDENING THE EXISTING DRAIN DITCH TO  
ACCOMMODATE THE REQUIRED DETENTION.
5. ON-SITE BENCH MARK.
6. NO BUILDING ALLOWED OVER ANY EASEMENT.
7. THIS SUBDIVISION HAS A TOTAL OF 42 LOTS, 2 COMMON AREAS.
8. ALL PERIMETER WALLS AND FENCES SHALL BE UNDER THE OWNERSHIP AND THE  
EXCLUSIVE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION (IN THE NAME OF  
BENTSEN PALM DEVELOPMENT ASSOCIATION, INC.) FOR THE PURPOSES OF USAGE AND  
REPAIR.
9. CITY AND FRANCHISE USERS SHALL BE HELD HARMLESS FROM REMOVING ANY FENCING  
OR OTHER STRUCTURES, INCLUDING LANDSCAPING FROM ANY PUBLIC UTILITY  
EASEMENTS.
10. THERE WILL BE NO SIDEWALKS REQUIRED WITHIN THE INTERIOR PRIVATE STREETS AND  
ANY SIDEWALKS BUILT WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. ON  
THE PERIMETER MILITARY PARKWAY (BEING THE THOROUGHFARE TO THE NORTH), THE  
CITY OF MISSIONS HIKE & BIKE PATH SHALL SUFFICE FOR THE PUBLIC PEDESTRIAN  
PATHWAY IN LIEU OF PERIMETER SIDEWALKS REQUIRED OF THIS SUBDIVISION.
11. PRIVATE TECHNOLOGY EASEMENT. OWNER RESERVES UNTO RHODES DEVELOPMENT  
INC. A TECHNOLOGY EASEMENT OVER THE PROPERTY IN THE LOCATION IDENTIFIED ON  
THIS PLAT (THE TECHNOLOGY EASEMENT). THE TECHNOLOGY EASEMENT SHALL BE AN  
EXCLUSIVE EASEMENT FOR THE PURPOSE OF INSTALLING, MAINTAINING, REPLACING  
AND UPGRADING ANY AND ALL CABLE, FIBER, OR OTHER ANY TRANSPORT MEDIA  
REASONABLY NECESSARY FOR PROVIDING TECHNOLOGY SERVICES, INCLUDING BUT  
NOT LIMITED TO INTERNET, CABLE, SECURITY, AND RELATED SERVICES, TO THE LOTS  
CREATED BY THIS PLAT.
12. TERMS AND CONDITIONS AND RESERVATION OF TECHNOLOGY EASEMENTS DATED  
AUGUST 13, 2015, FILED NOVEMBER 25, 2015, BETWEEN HIDALGO COUNTY TEXAS  
CORPORATION, INC. TO M.L. RHODES LTD. A TEXAS LIMITED PARTNERSHIP RECORDED  
UNDER CLERK'S FILE NO. 2655228, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS.  
EASEMENT PROPERTY DESCRIBED IN SAID DOCUMENT IS INCOMPLETE. EASEMENT  
PERTAINS TO AND IS FOR THE BENEFIT OF THE OWNER/RESERVIST, NO WIDTH  
SPECIFIED FOR EASEMENT, THE ACTUAL EASEMENT BOUNDARY IS NOT DESCRIBED, BUT  
IS WITHIN THE EASEMENT PROPERTY WHICH IS INCOMPLETE. EASEMENT MAY BE  
REVOKED OR AMENDED BY OWNER/RESERVIST AND IS EXCLUSIVE.
13. COMMON AREAS "A" AND "B" TO BE MAINTAINED BY HOMEOWNERS ASSOCIATION.

PRINCIPAL CONTACTS	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	MARIA A. GARCIA	4301 NEUHAUS DRIVE	McALLEN, TEXAS 78503		
ENGINEER:	MARIO A. REYNA P.E.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1939
SURVEYOR:	ROBERTO N. TAMEZ P.L.S.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1939

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED AS "THE WOODLANDS AT BENTSEN", DO HEREBY GRANT AN EASEMENT TO THE CITY OF MISSION AND THOSE WHO MAY NOW OR HEREFTER HOLD FRANCHISE UNDER SAID CITY, THE USE OF THE STREETS, ALLEYS, COMMON AREAS AND UTILITY EASEMENTS IS RESTRICTED TO THE EMPLOYEES OR AGENTS OF THE CITY OF MISSION, EMPLOYEES OF UTILITIES, OPERATING UNDER FRANCHISE TO THE CITY OF MISSION AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS. OWNERSHIP AND MAINTENANCE OF ALL STREET IMPROVEMENTS SHALL REMAIN WITH AND BE THE RESPONSIBILITY OF THE "BENTSEN PALM DEVELOPMENT ASSOCIATION, INC." HOMEOWNER'S ASSOCIATION. THE UNDERSIGNED RESERVES EXCLUSIVE OWNERSHIP AND ALL RIGHTS TO THE SPECIFIC TECHNOLOGY EASEMENTS AS SHOWN ON THIS PLAT.

MARIA A. GARCIA  
4301 NEUHAUS DRIVE  
McALLEN, TX 78503

DATE

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED MICK RHODES, AND PROVED TO ME THROUGH HIS TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVERS LICENSE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME, FIRST DULY SWORN AND DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC IN THE STATE OF TEXAS  
MY COMMISSION EXPIRES \_\_\_\_\_

THE STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

MARIO A. REYNA, PROFESSIONAL ENGINEER No. 117368

DATE PREPARED: 07-25-24  
ENGINEERING JOB NO. 24071.00

MELDEN & HUNT, INC.  
TEXAS REGISTRATION F-1435



STATE OF TEXAS  
COUNTY OF HIDALGO

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MISSION, TEXAS.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

ROBERTO N. TAMEZ, PROFESSIONAL LAND SURVEYOR No. 6238

DATE SURVEYED: 06/28/2024  
SURVEY JOB # 24071.02



STATE OF TEXAS  
COUNTY OF HIDALGO

THIS PLAT OF TANGLEWOOD AT BENTSEN PALM PHASE V, HAS BEEN CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF MISSION, TEXAS, AND IS HEREBY APPROVED BY SUCH COMMISSION.

DATED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CHAIRMAN

CITY OF MISSION  
CERTIFICATE OF APPROVAL

UNDER LOCAL GOVERNMENT CODE 212.0115(B) WE THE UNDERSIGNED CERTIFY THAT THIS PLAT OF TANGLEWOOD AT BENTSEN PALM PHASE V WAS REVIEWED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF MISSION.

MAYOR CITY OF MISSION \_\_\_\_\_ DATE \_\_\_\_\_

ATTEST: CITY SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 48.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.  
GENERAL MANAGER \_\_\_\_\_ DATE \_\_\_\_\_

THIS PLAT APPROVED BY HIDALGO COUNTY IRRIGATION DISTRICT No. 18,

ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

ATTEST:

SECRETARY \_\_\_\_\_ PRESIDENT \_\_\_\_\_



FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM

INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

By: \_\_\_\_\_ DEPUTY

SHEET 1 OF 1

DRAWN BY: A.O. DATE: 10-28-24  
SURVEYED, CHECKED \_\_\_\_\_ DATE: \_\_\_\_\_  
FINAL CHECK \_\_\_\_\_ DATE: \_\_\_\_\_

## LOCATION MAP SCALE: 1"=1000'



## LEGEND & ABBREVIATIONS

- FOUND NO. 4 REBAR
- SET NO. 4 REBAR W/ PLASTIC CAP STAMPED MELDEN & HUNT
- MELDEN & HUNT ON-SITE BENCH MARK
- CURVE PC AND PT
- P.O.B. - POINT OF BEGINNING
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- R.O.W. - RIGHT-OF-WAY
- N.E. COR. - NORTHEAST CORNER
- SQ. FT. - SQUARE FEET
- W.D.V.W.L. - WARRANTY DEED WITH VENDORS LIEN
- S.W.D. - SPECIAL WARRANTY DEED
- C.U.E. - CORRECTED UTILITY EASEMENT
- U.E. - UTILITY EASEMENT
- T.E. - TECHNOLOGY EASEMENT
- DOC. NO. - DOCUMENT NUMBER
- N.T.S. - NOT TO SCALE
- VOL. - VOLUME
- PG. - PAGE

TBPE FIRM # F-1435



**MELDEN & HUNT INC.**  
CONSULTANTS • ENGINEERS • SURVEYORS  
115 W. MCINTYRE 227 N. F.M. 3167  
EDINBURG, TX 78541 RO GRANGE CITY, TX 78582  
PH: (956) 381-0981 PH: (956) 487-8256  
FAX: (956) 381-1839 FAX: (956) 488-8591  
ESTABLISHED 1947 www.meldenandhunt.com

**FLOOD ZONE**  
ZONE "B"  
AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD, OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE, OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD.  
ZONE "A"  
AREAS OF 100-YEAR FLOOD, BASE FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS NOT DETERMINED.  
COMMUNITY-PANEL NUMBER 480334 0400 C  
MAP REVISED NOVEMBER 18, 1992





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 11/14/2024

### SUBDIVISION NAME: THE WOODLANDS AT BENTSEN SUBDIVISION

#### REQUIREMENTS

#### STREETS AND RIGHT-OF-WAYS

S. Bentsen Road: ROW dedication as needed for 30 ft. from centerline for total 60 ft. ROW on the South side of Neuhaus Drive and 40 ft. from centerline for total 80 ft. ROW on the north side of Neuhaus Drive

Paving: 40 ft. Curb & gutter: both sides

Revisions needed:

- Show Neuhaus Drive on the plat to finalize the ROW dedication requirement prior to final. A transition from 80 ft. ROW to 60 ft. maybe required prior to final.

- Label the centerline and the existing ROW on both sides with the document number prior to final.

- Show and label the ROW dedicated by this plat, ROW from centerline with the dedication, and total ROW, to verify required dedication, prior to final.

- Provide a turnaround on the south side with 116 ft. ROW for 96 ft. paving as needed by Fire Department and 10 ft. additional ROW around the curb prior to final.

\*\*S. Bentsen Road is an 80 ft. Collector on the north side of Neuhaus Drive as per the thoroughfare map.

\*\*Monies must be escrowed if improvements are required prior to recording

\*\*COM Thoroughfare Plan

Neuhaus Drive (north side): Dedication as applicable for 30 ft. ROW from centerline for total 60 ft. ROW

Paving: 40 ft. Curb & gutter: both sides

Revisions needed:

- Show existing Neuhaus Drive ROW and centerline on the east side of S. Bentsen Road prior to final.

- Once the existing ROW is shown on plat, staff will review and finalize ROW requirement as applicable on the north side, prior to final.

- Staff is reviewing the applicability of Neuhaus Drive ROW dedication requirement.

\*\*Subdivision Ordinance: Section 134-105

\*\*Monies must be escrowed if improvements are required prior to recording.

\*\*COM Thoroughfare Plan

Paving \_\_\_\_\_ Curb & gutter \_\_\_\_\_

\*\*Subdivision Ordinance: Section 134-105

\*\*Monies must be escrowed if improvements are required prior to final

\*\*COM Thoroughfare Plan

\* 1,200 ft. Block Length

\*\*Subdivision Ordinance: Section 134-118

\* 900 ft. Block Length for R-3 Zone Districts

\*\*Subdivision Ordinance: Section 134-118

\* 600 ft. Maximum Cul-de-Sac

\*\*Subdivision Ordinance: Section 134-105

Non-compliance

Non-compliance

Applied

Applied

NA

NA

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review



ALLEYS	
ROW: 20 ft. Paving: 16 ft. *Alley/service drive easement required for commercial properties **Subdivision Ordinance: Section 134-106	NA
SETBACKS	
* Front: 45 ft. or greater for easements - Clarify/revise the setback note as shown above prior to final. - Proposing: Setback shall be in accordance to PUD Ordinance #2558, as may be amended from time to time. - Proposing: Front Setback: 20 ft. or easement, whichever is greater. ** Based on Sec. 134-106: In residential subdivisions which have lots abutting major or minor arterials or major collectors, the residences on such lots shall not face the major or minor arterial or major collector, unless: There shall be provided, in addition to any front setback, a 20-foot planting area (as defined in chapter 110, article II, Landscaping) between such lot and the major or minor arterial or major collector; **Zoning Ordinance: Section 138-356  * Rear: 10 ft. or greater for easements - Clarify/revise the setback note as shown above prior to final. - Proposing: Setback shall be in accordance to PUD Ordinance #2558, as may be amended from time to time. **Zoning Ordinance: Section 138-356  * Sides: 6 ft. or greater for easements - Clarify/revise the setback note as shown above prior to final. - Proposing: Setback shall be in accordance to PUD Ordinance #2558, as may be amended from time to time. - Proposing Side Setback: 5 ft. or easement, whichever is greater. **Zoning Ordinance: Section 138-356  * Corner: 10 ft. or greater for easements - Once the ROW requirement for Neuhaus Drive is finalized, the setback notes will be finalized prior to final. **Zoning Ordinance: Section 138-356  * Garage: 18 ft. except where greater setback is required, greater setback applies - Clarify/revise the setback note as shown above prior to final. - Proposing: Setback shall be in accordance to PUD Ordinance #2558, as may be amended from time to time. - Proposing: Garage Setback: 18 ft. or easement, whichever is greater. **Zoning Ordinance: Section 138-356  *ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN	Non-compliance
	Non-compliance
	Non-compliance
	TBD
	Non-compliance
	Applied
SIDEWALKS	
* 4 ft. wide minimum sidewalk required on S. Bentsen Road and Neuhaus Drive as applicable prior to final. - Finalize the ROW dedication to finalize the the plat note prior to final. **Subdivision Ordinance: Section 134-120  * Perimeter sidewalks must be built or money escrowed if not built at this time.	Non-compliance
	Required



BUFFERS	
<ul style="list-style-type: none"> <li>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses and along Neuhaus Drive as applicable.</li> <li>- Finalize the ROW dedication to finalize the the plat note prior to final.</li> <li>**Landscaping Ordinance: Section 110-46</li> </ul>	Non-compliance
<ul style="list-style-type: none"> <li>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses</li> <li>- Add a plat note as shown above prior to final.</li> <li>**Landscaping Ordinance: Section 110-46</li> </ul>	Non-compliance
<ul style="list-style-type: none"> <li>*Perimeter buffers must be built at time of Subdivision Improvements.</li> </ul>	Required
NOTES	
<ul style="list-style-type: none"> <li>* No curb cut, access, or lot frontage permitted along _____</li> <li>- Finalize the ROW dedication to finalize the the plat note prior to final.</li> <li>**Must comply with City Access Management Policy</li> </ul>	TBD
<ul style="list-style-type: none"> <li>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Common Areas, any private streets/drives, gate areas, etc. must be maintained by the lot owners and not the City of McAllen.</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</li> <li>**Section 110-72 applies if public subdivision is proposed.</li> <li>- As per the application, the subdivision is private and gated. An HOA is required for private subdivisions. Add plat note to reference the HOA prior to final.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> </ul>	Non-compliance
<ul style="list-style-type: none"> <li>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</li> <li>**Section 110-72 applies if private subdivision is proposed.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> </ul>	Required
LOT REQUIREMENTS	
<ul style="list-style-type: none"> <li>* Lots fronting public streets.</li> <li>- The lot boundaries and the frontage dimensions are not clear. Revise the plat to verify compliance prior to final.</li> <li>- As per the application, the subdivision is private and gated. Clarify if any private streets is proposed.</li> <li>**Subdivision Ordinance: Section 134-1</li> </ul>	Non-compliance
<ul style="list-style-type: none"> <li>* Minimum lot width and lot area</li> <li>- The lot boundaries and the frontage dimensions are not clear. Revise the plat to verify compliance prior to final.</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Non-compliance
ZONING/CUP	
<ul style="list-style-type: none"> <li>* Existing: R-1 Proposed: R-1</li> <li>***Zoning Ordinance: Article V</li> </ul>	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



* Rezoning Needed Before Final Approval ***Zoning Ordinance: Article V	NA
<b>PARKS</b>	
* Land dedication in lieu of fee.	NA
* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. - As per the application 2 single-family lots are proposed; therefore, \$1,400 park fees will be required prior to final.	Applied
* Pending review by the City Manager's Office.	NA
<b>TRAFFIC</b>	
* As per Traffic Department, Trip Generation for a 2-Lot Single Family subdivision is waived.	Applied
* Traffic Impact Analysis (TIA) required prior to final plat.	NA
<b>COMMENTS</b>	
Comments: - As per the application, the subdivision is private and gated. Clarify if any private streets is proposed. Reference "(Private Subdivision)" under the name if the subdivision prior to final as applicable. - Submitted survey shows that a floodway easement covers most of the property, which is not labeled on the plat. Clarify/revise prior to final. - Any abandonment must be done by a separate process, not by plat. - Use a bold line to show the subdivision boundary and solid line for the lot lines prior to final. There are many solid lines on the plat without labels. Clarify/revise prior to final. Use a light shade of grey for the original lot line to avoid confusion with the new lot lines. - Remove any fences, electric lines or meters, etc. from the plat. Show and reference any exiting or dedicated ROW and easement on the plat. - A shared access easement is labeled on the plat but not clearly shown with dashed lines. Include the document number for any existing easements and provide a copy for staff review prior to final. - Legal Description of all adjacent lots on all sides, including the east side of S. Bentsen Road, is needed on the plat prior to final. - Clarify/remove plat note #7 through #10 and #13 prior to final. - Provide a copy of the referenced documents, including the document mentioned in plat note #12 prior to final. *Must comply with City's Access Management Policy.	Non-compliance
<b>RECOMMENDATION</b>	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM, SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITIES APPROVAL.	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review





LOCATION

SUBURBAN CITRUS GROVES

PROPOSED  
THE WOODLANDS  
AT BENTSEN

BENTSEN RD



148 TO

138

CORONADO  
LOS

CA "A"  
46  
47  
44  
80  
41

43RD LN



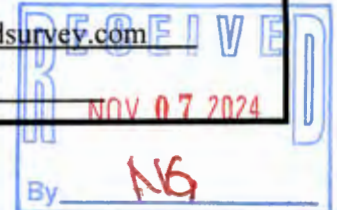
SUB20074-0121

# City of McAllen

## Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)  
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>SUAREZ SUBDIVISION</u>	
	Legal Description <u>1.97 acre tract of land out of a portion of Block 1, Whitewing Addition Unit No. 1 as recorded in Volume 17, Page 2, Map Records of Hidalgo County, Texas</u>	
	Location <u>Along the east side of 24th Street at Highland Avenue.</u>	
	City Address or Block Number <u>2600 North 24th Street</u>	
	Total No. of Lots <u>1</u> Total Dwelling Units <u>n.a.</u> Gross Acres <u>1.97</u> Net Acres <u>1.97</u>	
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No	
	For Fee Purposes: <input checked="" type="checkbox"/> Commercial ( <u>1.97</u> Acres ) / <input type="checkbox"/> Residential ( <u>    </u> Lots ) Replat: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	Existing Zoning <u>C-3</u> Proposed Zoning <u>C-3</u> Applied for Rezoning <input type="checkbox"/> No / <input type="checkbox"/> Yes: Date <u>          </u>	
	Existing Land Use <u>open</u> Proposed Land Use <u>office/warehouse</u>	
	Irrigation District # <u>3</u> Water CCN: <input type="checkbox"/> MPU / <input type="checkbox"/> Sharyland Water SC Other <u>          </u>	
Agricultural Exemption: <input type="checkbox"/> Yes / <input type="checkbox"/> No Parcel # <u>          </u>		
Estimated Rollback Tax Due <u>          </u> Tax Dept. Review <u>          </u>		
Owner	Name <u>Suarez Brothers, LLC.</u> <small>Albert Suarez President</small> Phone <u>(956) 827-5656</u>	
	Address <u>6100 N. 10th Street</u> E-mail <u>          </u>	
	City <u>McAllen</u> State <u>Tx</u> Zip <u>78504</u>	
Developer	Name <u>Suarez Brothers, LLC.</u> Phone <u>(956) 827-5656</u>	
	Address <u>6100 N. 10th Street</u> E-mail <u>          </u>	
	City <u>McAllen</u> State <u>Tx</u> Zip <u>78504</u>	
	Contact Person <u>Albert Suarez</u>	
Engineer	Name <u>Javier Hinojosa Engineering</u> Phone <u>(956) 668-1588</u>	
	Address <u>416 E. Dove Avenue</u> E-mail <u>javier@javierhinojosaeng.com</u>	
	City <u>McAllen</u> State <u>Tx</u> Zip <u>78504</u>	
	Contact Person <u>Javier Hinojosa, P.E.</u>	
Surveyor	Name <u>CVQ Land Surveyors, LLC</u> Phone <u>(956) 618-1551</u>	
	Address <u>517 Beaumont Avenue</u> E-mail <u>cvq@cvqlandsurvey.com</u>	
	City <u>McAllen</u> State <u>Tx</u> Zip <u>78501</u>	





## Proposed Plat Submittal

Minimum Developer's Requirements Submitted with Application

### In Person Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- 8 1/2" by 11" Original Sealed Survey showing existing structures/easements or 3 blue-line copies 2 Location Maps
- 2 8 1/2" by 11" copies/legible copies of plat with name & north arrow
- 6 Folded blue-line prints of the proposed plat
- 2 Warranty Deeds (identifying owner on application)
- AutoCAD 2005 DWG file and PDF of plat
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation (if applicable)

### Email Submittal Requirements

- Application Fee: \$300 + \$25/lot for residential (excluding apartment complexes) or \$400 + \$200 (0-5 acres), \$400 + \$300 (5.01-10 acres), \$400 + \$400 (10 acres or greater) for commercial, industrial, or apartment complexes
- Title Report
- Sealed Survey
- Location Map
- Plat & Reduced Plat
- Warranty Deed
- DWG File
- Letter of Authorization from the owner (if applicable)
- Proof of authority of person signing application on behalf of partnership/corporation, if applicable

\*Documents must be submitted in separate PDF files. Each file must be less than 20 MB. No scanned documents\*

\*Submit documents to [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

\*ORIGINAL APPLICATION & FEE MUST BE SUBMITTED IN PERSON/VIA MAIL\*

### **PLAT TO SHOW:**

- Metes and bounds
- Lots numbered with dimensions and area of irregular lots noted Surrounding platted lots and/or lot lines for unsubdivided tracts
- Name and address of owner, lienholder, developer, engineer and surveyor shown along with signature lines
- North arrow, scale and vicinity map
- Name & dimension of adjoining street ROWs (total width & width from centerline)

**Note:** Though the original submittal for application to process a subdivision plat does not require the drainage report or utility plans, it is advisable that they be included with the original submittal to expedite the review process. Complying with the minimum requirements for the original plat submittal does not constitute meeting the deadline for drainage and utility review by the appropriate boards. Additional information will be required during the review to properly complete the subdivision process. Any revisions would require resubmission and PDF files can be submitted via email at [subdivisions@mcallen.net](mailto:subdivisions@mcallen.net)

Owner(s) Signature(s)

I certify that I am the actual owner of the property described above and (include corporate name if applicable); or I am authorized by the actual owner to submit this application and have attached written evidence of such authorization.

Signature \_\_\_\_\_

Date \_\_\_\_\_

*11-07-24*

Print Name \_\_\_\_\_

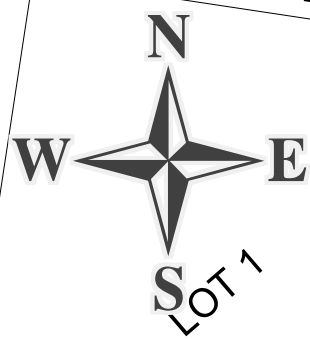
Albert Suarez

Owner ☒

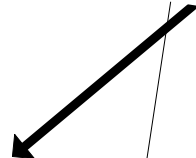
Authorized Agent ☐

The Planning Department now accepts DocuSign signatures on application with a Certificate of Completion





**LOCATION**



**PROPOSED SUAREZ  
SUBDIVISION**

LOT 1

LOT 1

LOT 1

**PROPOSED MAE  
SUBDIVISION**

LOT 1

LOT 1

**23RD ST**

**24TH ST**

**24TH ST**

**EWING AV**

**AND DR**

**133A VISTA AVE**

**ENDED  
BLK 2A**

1



SUBDIVISION PLAT OF  
SUAREZ SUBDIVISION

A TRACT OF LAND CONTAINING 1.97 ACRE TRACT OUT OF  
A PORTION OF BLOCK 1, WHITEWING ADDITION UNIT No. 1  
AS RECORDED IN VOLUME 17, PAGE 2, MAP RECORDS OF  
HIDALGO COUNTY, TEXAS.

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED AS THE MIKADA SUBDIVISION TO THE CITY OF McALLEN, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF McALLEN, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF McALLEN.

SUAREZ BROTHERS, LLC.  
6100 N. 10th ST.  
MCALLEN, TEXAS 78504  
BY: ALBERT SUAREZ, PRESIDENT

DATE:

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY THE OWNER PERSONALLY APPEARED ALBERT SUAREZ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED. ALL GIVEN UNDER MY HAND AND SEAL OF OFFICE

THIS THE \_\_\_\_ DAY OF \_\_\_\_, 20\_\_ A.D.

NOTARY PUBLIC FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES ON: \_\_\_\_

I, THE UNDERSIGNED MAYOR OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF MCALLEN  
DATE

CHAIRMAN, PLANNING AND ZONING COMMISSION OF THE CITY OF MCALLEN HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CHAIRMAN, PLANNING COMMISSION  
DATE

STATE OF TEXAS  
COUNTY OF HIDALGO

I, JAVIER HINOJOSA, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

JAVIER HINOJOSA, P.E.  
REGISTERED PROFESSIONAL ENGINEER NO. 74808

DATE

STATE OF TEXAS  
COUNTY OF HIDALGO

I, IVAN GARCIA, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

IVAN GARCIA, R.P.L.S.  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6496  
RIO DELTA ENGINEERING  
921 S. 10th STREET  
EDINBURG, TEXAS 78539  
TEL. (956) 380-5152 DATE SURVEYED: MAY 12, 2022  
TBPELS FIRM NO. 10194027

GENERAL NOTES

- THIS FLOOD DESIGNATION FOR THIS PROPERTY IS ZONE "B" WITH ARE "AREAS OF MINIMAL FLOODING". AS PER F.E.M.A.s FLOOD INSURANCE RATE MAP PANEL No.: 480343 0005 C DATED NOVEMBER 2, 1982.
- MINIMUM PERMISSIBLE FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB AT MID POINT OF THIS LOT.
- MINIMUM BUILDING SETBACK LINES SHALL BE AS FOLLOWS:  
FRONT: .....IN ACCORDANCE WITH ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN OR IN LINE WITH AVERAGE SETBACK, WHICHEVER IS GREATER.  
REAR: .....IN ACCORDANCE WITH ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN  
SIDE: .....IN ACCORDANCE WITH ZONING ORDINANCE, OR GREATER FOR EASEMENTS OR APPROVED SITE PLAN
- A 5' SIDEWALK SHALL BE REQUIRED ALONG THE EAST SIDE OF N. 24TH STREET.
- A TOTAL OF 0.326 ACRE FEET (14,209 CUBIC FEET) OF STORM WATER DETENTION IS REQUIRED FOR THIS SUBDIVISION. AN ENGINEERED DETENTION AREA SHALL BE CONSTRUCTED AS SHOWN ON THE APPROVED SITE PLAN SUBMITTED AT BUILDING PERMIT STAGE.
- BENCHMARK: TOP OF CURB INLET LOCATED AT THE SOUTHEAST CORNER OF N. 24TH STREET AND HARVEY AVENUE. ELEV. = 118.13. REFERENCE: (MC-65; ELEV. = 120.15 LOCATED AT THE NORTHWEST CORNER OF 23RD STREET AND DAFFODIL ST. = 30" ALUMINUM PIPE WITH A 3-1/4" BRASS MONUMENT CAP ON TOP).
- SET 1/2" Ø IRON ROD WITH PLASTIC CAP ON ALL LOT CORNERS UNLESS OTHERWISE NOTED.
- 6 FT. OPAQUE BUFFER REQUIRED FROM ADJACENT/BETWEEN MULTI-FAMILY RESIDENTIAL AND COMMERCIAL, AND INDUSTRIAL ZONES/USES, AND ALONG N. 24TH STREET.
- 8 FT. MASONRY WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL, INDUSTRIAL, OR MULTI-FAMILY RESIDENTIAL ZONES/USES.
- NO STRUCTURES PERMITTED OVER ANY EASEMENTS.
- COMMON AREAS, ANY ACCESS/SERVICE DRIVE EASEMENTS, ETC. MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF McALLEN.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT DETERMINED, AT THE DEVELOPMENT PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- ALL EASEMENTS ARE DEDICATED BY THIS PLAT UNLESS OTHERWISE STATED.

STATE OF TEXAS  
COUNTY OF HIDALGO

WE, THE UNDERSIGNED, HOLDERS (OR DULY AUTHORIZED OFFICERS OF THE HOLDERS) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE MIKADA SUBDIVISION OF THE CITY OF McALLEN, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND TO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

SECURITY INTEREST HOLDER

BY: JOE QUIROGA  
TRUSTEE  
TEXAS NATIONAL BANK

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED JOE QUIROGA, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE. THIS THE \_\_\_\_ DAY OF \_\_\_\_, 20\_\_ A.D.

NOTARY PUBLIC FOR THE STATE OF TEXAS  
MY COMMISSION EXPIRES ON: \_\_\_\_

METES AND BOUNDS

A TRACT OF LAND CONTAINING 1.97 ACRES, MORE OR LESS, BEING A PORTION OF BLOCK 1, WHITEWING ADDITION UNIT No. 1 AS RECORDED IN VOLUME 17, PAGE 2, MAP RECORDS OF HIDALGO COUNTY, TEXAS, AND SAID 1.97 ACRES TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2 INCH CAPPED IRON ROD SET AT THE NORTHWEST CORNER OF THE SAID BLOCK 1, WHITEWING ADDITION UNIT No. 1, SAME BEING A POINT ON THE EXISTING EAST RIGHT OF WAY LINE OF N. 24th STREET (AN EXISTING 50' RIGHT OF WAY), FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT AND POINT OF BEGINNING;

THENCE S 81°25'33" E ALONG THE NORTH LINE OF THE SAID BLOCK 1, WHITEWING ADDITION UNIT No. 1, TO A POINT ON THE WEST SAID BOUNDARY LINE OF A CALLED DOVE AVENUE PROPERTIES No. 1 SUBDIVISION, RECORDED IN VOLUME 51, PAGE 86, MAP RECORDS OF HIDALGO COUNTY, TEXAS, A DISTANCE OF 210.57 FEET TO A 1/2 INCH CAPPED IRON ROD SET, FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE S 08°39'34" W ALONG THE WEST BOUNDARY LINE OF THE SAID DOVE AVENUE PROPERTIES No. 1, AND SAME BEING IN PART ALONG THE WEST BOUNDARY LINE OF A CALLED HARVEY PLAZA SUBDIVISION, RECORDED IN DOCUMENT #2416556, MAP RECORDS OF HIDALGO COUNTY, TEXAS, PASSING AT 7.00 FEET THE COMMON WEST CORNER BETWEEN THE SAID DOVE AVENUE PROPERTIES No. 1 SUBDIVISION AND HARVEY PLAZA SUBDIVISION A CONTINUING A DISTANCE OF 196.50 TO A 1/2 INCH IRON ROD SET FOR THE SOUTH WEST CORNER OF HARVEY PLAZA AND THE NORTH WEST CORNER OF A CALLED 1.34 ACRE TRACT CONVEYED TO AGUILAR AND AGUILAR RENTALS, LLC, RECORDED IN DOCUMENT # 3224484 OFFICIAL RECORDS OF HIDALGO COUNTY AND CONTINUING ALONG THE WEST BOUNDARY LINE OF SAID 1.38 ACRE TRACT A TOTAL DISTANCE OF 407.00' FEET TO A 1/2 INCH CAPPED IRON ROD SET, FOR THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 81°25'33" W ACROSS THE SAID BLOCK 1, WHITEWING ADDITION UNIT No. 1, SAME BEING ALONG THE NORTH BOUNDARY LINE OF THE SAID 1.34 ACRES AGUILAR AND AGUILAR RENTALS TRACT, TO A POINT ON THE EAST BOUNDARY LINE OF A CALLED MAGNOLIA PLAZA SUBDIVISION, RECORDED IN DOC. # 3084265, MAP RECORDS OF HIDALGO COUNTY, TEXAS SAME POINT BEING THE NORTHWEST CORNER OF THE SAID 1.34 ACRES AGUILAR AND AGUILAR RENTALS TRACT, A DISTANCE OF 10.00 FEET TO A 1/2 INCH CAPPED IRON ROD SET, FOR A CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 08°34'44" E ACROSS THE SAID BLOCK 1, WHITEWING ADDITION UNIT No. 1, SAME BEING ALONG THE EAST BOUNDARY LINE OF THE SAID MAGNOLIA PLAZA SUBDIVISION, TO A POINT ON THE WEST LINE OF THE SAID MAGNOLIA PLAZA SUBDIVISION, A DISTANCE OF 0.43 FEET TO A 1/2 INCH CAPPED IRON ROD SET, FOR A CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 81°25'33" W ACROSS THE SAID BLOCK 1, WHITEWING ADDITION UNIT No. 1, SAME BEING ALONG THE NORTH BOUNDARY LINE OF THE SAID MAGNOLIA PLAZA SUBDIVISION, TO A POINT ON THE WEST LINE OF THE SAID BLOCK 1, WHITEWING ADDITION UNIT No.1, SAME BEING A POINT ON THE EXISTING EAST RIGHT OF WAY LINE OF N. 24TH STREET (AN EXISTING 50.00 FOOT WIDE RIGHT OF WAY), A DISTANCE OF 200.00 FEET TO A 1/2 INCH IRON ROD FOUND, FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 8°34'44" E ALONG THE WEST LINE OF THE SAID BLOCK 1, WHITEWING ADDITION UNIT No. 1, SAME BEING ALONG THE EXISTING EAST RIGHT OF WAY LINE OF N. 24TH STREET, A DISTANCE OF 406.57 FEET TO THE POINT AND PLACE OF BEGINNING, SAID TRACT CONTAINING 1.97 ACRES OF LAND, MORE OR LESS.



FILE FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_ AT \_\_\_\_ AM/PM

INSTRUMENT NUMBER \_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_ DEPUTY

LINE DATA		
LINE	CHORD BEARING	CHORD
"L1"	N 08°34'27" E	14.00'
"L2"	S 08°34'27" W	14.00'
"L3"	S 81°25'33" E	15.00'
"L4"	S 81°25'33" E	29.07'
"L5"	N 08°34'44" E	16.75'
"L6"	N 08°34'44" E	10.00'
"L7"	N 08°34'44" E	10.00'
"L8"	N 08°34'44" E	30.21'
"L9"	N 08°34'44" E	10.00'
"L10"	N 08°34'44" E	11.50'
"L11"	S 81°25'33" E	28.50'
"L12"	S 81°25'33" E	15.00'
"L13"	S 08°34'27" W	11.50'
"L14"	N 81°25'33" W	28.50'
"L15"	S 81°25'33" E	28.50'
"L16"	S 08°34'27" W	30.21'
"L17"	N 81°25'33" W	28.50'
"L18"	S 81°25'33" E	28.50'
"L19"	N 81°25'33" W	28.50'
"L20"	N 08°34'27" E	36.58'
"L21"	S 81°25'33" E	10.00'
"L22"	N 08°34'27" E	10.00'
"L23"	N 81°25'33" W	10.00'
"L24"	S 81°25'33" E	10.00'
"L25"	N 08°34'27" E	10.00'
"L26"	N 81°25'33" W	10.00'

SCALE: 1" = 60'  
BASIS OF BEARING AS PER  
TEXAS STATE PLANE  
COORDINATE SYSTEM  
NAD 83, SOUTH ZONE

LEGEND:

P.O.B. = POINT OF BEGINNING  
R.O.W. = RIGHT OF WAY  
H.C.M.R. = HIDALGO COUNTY MAP RECORDS  
H.C.D.R. = HIDALGO COUNTY DEED RECORDS  
U.E. = UTILITY EASEMENT

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211( C ). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

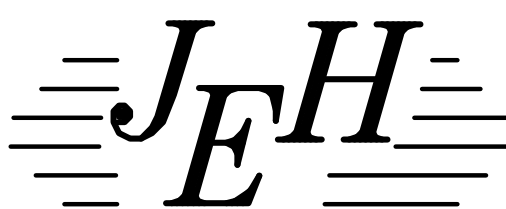
RAUL E. SESIN, P.E., C.F.M.  
GENERAL MANAGER

DATE

PRINCIPAL CONTACTS:				
NAME	ADDRESS	CITY & ZIP	PHONE #	
OWNER: ALBERT SUAREZ	6100 N. 10th ST.	MCALLEN, TX 78504	(956) 827-5656	
ENGINEER: JAVIER HINOJOSA	416 E. DOVE AVENUE	MCALLEN, TX 78504	(956) 668-1588	
SURVEYOR: IVAN GARCIA	921 S. 10th STREET	EDINBURG, TX 78539	(956) 380-5152	

DATE OF PREPARATION: NOVEMBER 6, 2024

DRAWN BY: A. GAUNA



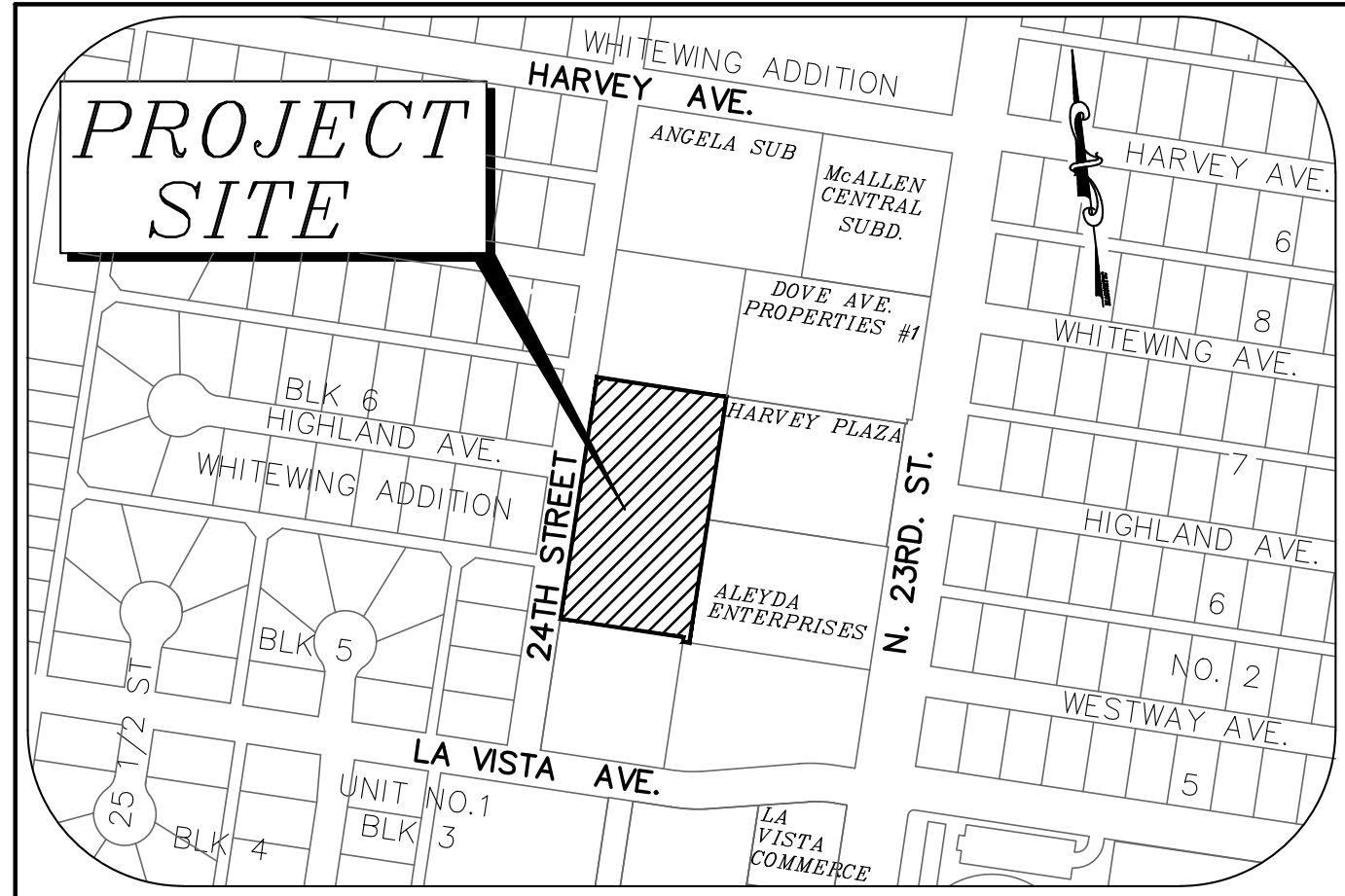
JAVIER HINOJOSA ENGINEERING  
CONSULTING ENGINEERS

416 E. DOVE AVENUE McALLEN, TEXAS 78504

PHONE (956) 668-1588

javier@javierhinojosaeng.com

TBPELS FIRM NUMBER F-1295



LOCATION MAP  
SCALE: 1"=500'





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 11/14/2024

### SUBDIVISION NAME: SUAREZ SUBDIVISION

#### REQUIREMENTS

##### STREETS AND RIGHT-OF-WAYS

North 24th Street: 25 ft. from centerline for 50 ft. total ROW  
 Paving: 32 ft. Curb & gutter: both sides  
 \*\*Subdivision Ordinance: Section 134-105  
 \*\*Monies must be escrowed if improvements are required prior to final  
 \*\*COM Thoroughfare Plan

Applied

Paving \_\_\_\_\_ Curb & gutter \_\_\_\_\_  
 \*\*Subdivision Ordinance: Section 134-105  
 \*\*Monies must be escrowed if improvements are required prior to final  
 \*\*COM Thoroughfare Plan

Applied

\* 1,200 ft. Block Length  
 \*\*Subdivision Ordinance: Section 134-118  
 \* 900 ft. Block Length for R-3 Zone Districts  
 \*\*Subdivision Ordinance: Section 134-118

Applied

\* 600 ft. Maximum Cul-de-Sac  
 \*\*Subdivision Ordinance: Section 134-105

NA

NA

##### ALLEYS

ROW: 20 ft. Paving: 16 ft.  
 - Engineer must clarify if alley or service drive will be provided, prior to final. Alley or service drive cannot dead-end.  
 - If service drive is proposed a plat note stating "A minimum 24 ft. private service drive will be established at part of the site plan and must be maintained by the lot owners and not the City of McAllen", prior to final.  
 \*Alley/service drive easement required for commercial properties  
 \*\*Subdivision Ordinance: Section 134-106

Non-compliance

##### SETBACKS

\*Front: In accordance with the Zoning Ordinance or greater for approved site plan or easements or inline with existing structures, whichever is greater applies.  
 - Revise note as shown above prior to final.  
 \*\*Proposing: In accordance with zoning ordinance, or greater for easements or approved site plan, or in line with average setback, whichever is greater.  
 \*\*\*Zoning Ordinance: Section 138-356

Non-compliance

\*Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.  
 - Revise note as shown above prior to final  
 \*\*Proposing: In accordance with zoning ordinance, or greater for easements or approved site plan  
 \*\*\*Zoning Ordinance: Section 138-356

Non-compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



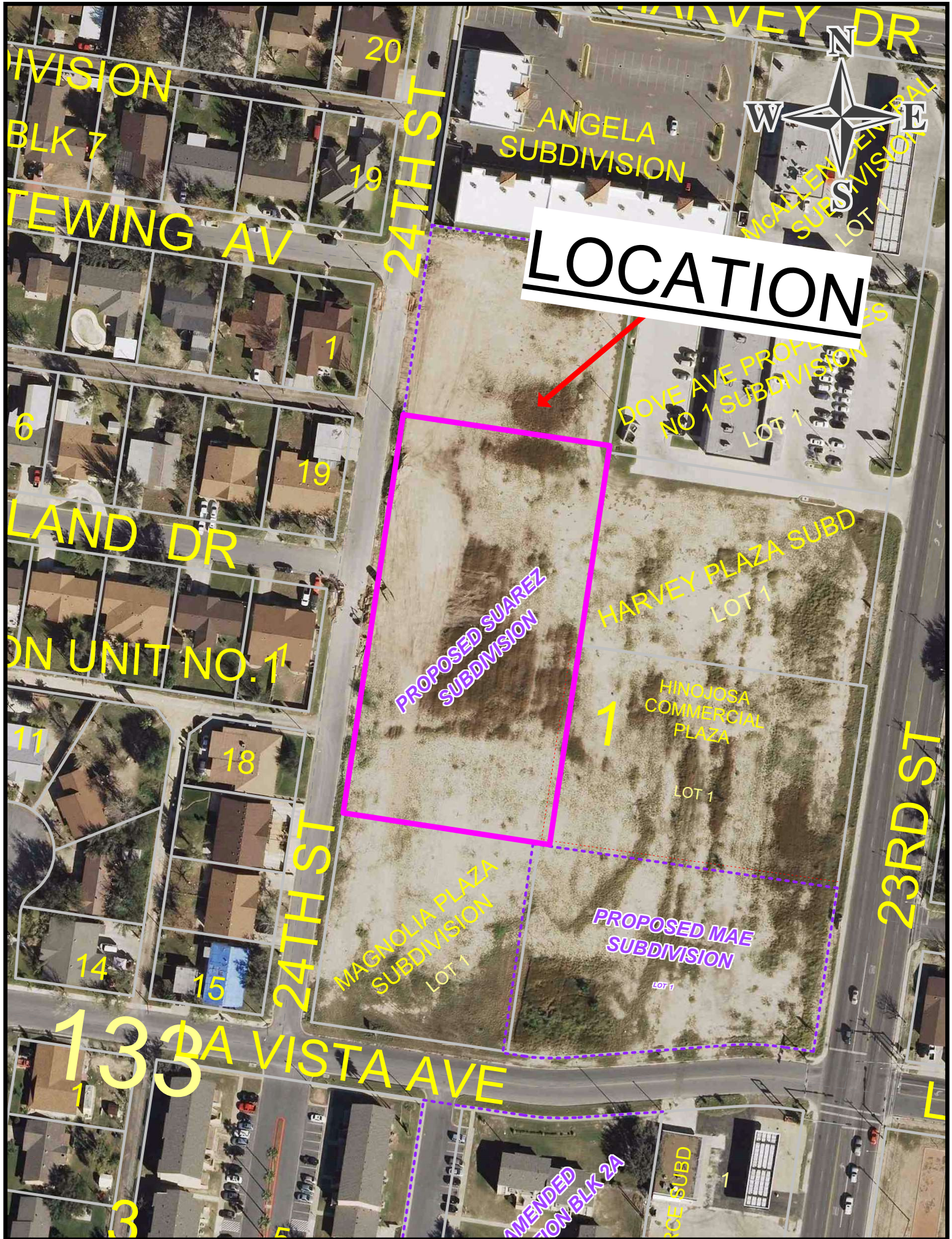
<p>* Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies. -Revise note as shown above prior to final. **Proposing In accordance with zoning ordinance, or greater for easements or approved site plan. ***Zoning Ordinance: Section 138-356</p> <p>* Corner **Zoning Ordinance: Section 138-356</p> <p>* Garage **Zoning Ordinance: Section 138-356</p> <p>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</p>	Non-compliance
	NA
	NA
	Applied
<b>SIDEWALKS</b>	
<p>* 4 ft. wide minimum sidewalk required on North 24th Street - Proposing: A 5 ft. sidewalk shall be required along the east side of N. 24th Street - Sidewalk requirements may increase to 5 ft. per Engineering Department **Subdivision Ordinance: Section 134-120</p> <p>* Perimeter sidewalks must be built or money escrowed if not built at this time.</p>	Applied
	Required
<b>BUFFERS</b>	
<p>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses. - Revise plat note #8 as shown above, prior to final. **Landscaping Ordinance: Section 110-46</p> <p>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses **Landscaping Ordinance: Section 110-46</p> <p>*Perimeter buffers must be built at time of Subdivision Improvements.</p>	Non-compliance
	Applied
	Required
<b>NOTES</b>	
<p>* No curb cut, access, or lot frontage permitted along **Must comply with City Access Management Policy</p> <p>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</p> <p>* Common Areas, any access/service drive easements must be maintained by the lot owners and not the City of McAllen. - Plat note wording to be finalized, prior to final.</p> <p>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</p> <p>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets. **Section 110-72 applies if public subdivision is proposed. **Landscaping Ordinance: Section 110-72 **Subdivision Ordinance: Section 134-168</p>	Applied
	Applied
	Non-compliance
	Applied
	NA



<ul style="list-style-type: none"> <li>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</li> <li>**Section 110-72 applies if public subdivision is proposed.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> </ul>	NA
<b>LOT REQUIREMENTS</b>	
<ul style="list-style-type: none"> <li>* Lots fronting public streets</li> <li>**Subdivision Ordinance: Section 134-1</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* Minimum lot width and lot area</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Applied
<b>ZONING/CUP</b>	
<ul style="list-style-type: none"> <li>* Existing: C-3 Proposed: C-3</li> <li>***Zoning Ordinance: Article V</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* Rezoning Needed Before Final Approval</li> <li>***Zoning Ordinance: Article V</li> </ul>	Applied
<b>PARKS</b>	
<ul style="list-style-type: none"> <li>* Land dedication in lieu of fee. As per application dated November 7, 2024, proposed use is C-3. Commercial developments do not apply to Parks.</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per application dated November 7, 2024, proposed use is C-3. Commercial developments do not apply to Parks.</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Pending review by the City Manager's Office. As per application dated November 7, 2024, proposed use is C-3. Commercial developments do not apply to Parks.</li> </ul>	NA
<b>TRAFFIC</b>	
<ul style="list-style-type: none"> <li>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</li> </ul>	Non-compliance
<ul style="list-style-type: none"> <li>* Traffic Impact Analysis (TIA) required prior to final plat.</li> </ul>	TBD
<b>COMMENTS</b>	
<p>Comments:</p> <ul style="list-style-type: none"> <li>- Any abandonments must be done by separate process, not by plat, prior to final.</li> <li>*Must comply with City's Access Management Policy.</li> </ul>	Applied
<b>RECOMMENDATION</b>	
<p>Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVAL.</p>	Applied

These comments are for subdivision requirements only – additional requirements may apply at time of site plan review







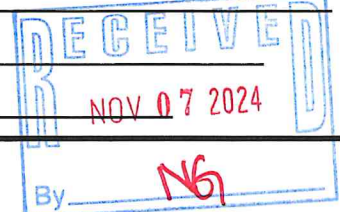
SUB2024-0122

# City of McAllen

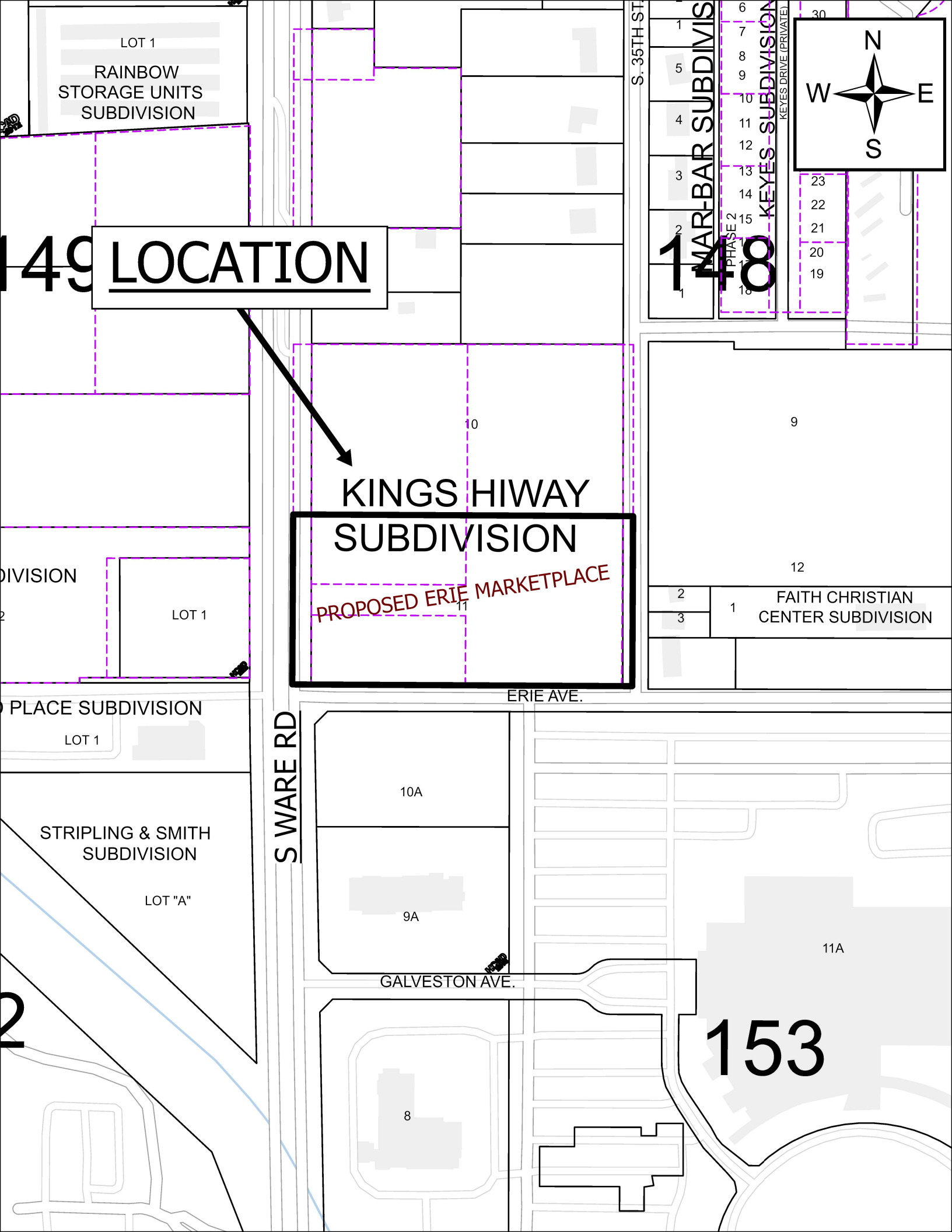
## Planning Department

311 NORTH 15<sup>TH</sup> STREET • (956) 681-1250 • (956) 681-1279 (fax)  
SUBDIVISION PLAT REVIEW APPLICATION

Project Information	Subdivision Name <u>ERIE MARKETPLACE SUBD.</u>	
	Legal Description <u>ALL OF LOT 11, KING'S HIGHWAY SUBD., 12.C.T.</u>	
	Location <u>WEC OF S. WARE ROAD @ ERIE</u>	
	City Address or Block Number <u>421 South Ware Road</u>	
	Total No. of Lots <u>3</u> Total Dwelling Units <u>—</u> Gross Acres <u>5.0</u> Net Acres <u>4.50</u>	
	<input checked="" type="checkbox"/> Public Subdivision / <input type="checkbox"/> Private and Gated / <input type="checkbox"/> Private but Not Gated within ETJ: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No	
	For Fee Purposes: <input checked="" type="checkbox"/> Commercial ( <u>4.50</u> Acres) / <input type="checkbox"/> Residential ( <u>—</u> Lots) Replat: <input checked="" type="checkbox"/> Yes / <input type="checkbox"/> No	
	Existing Zoning <u>C-3</u> Proposed Zoning <u>C-3</u> Applied for Rezoning <input checked="" type="checkbox"/> No / <input type="checkbox"/> Yes: Date <u>          </u>	
	Existing Land Use <u>OPEN</u> Proposed Land Use <u>RETAIL</u>	
	Irrigation District # <u>1</u> Water CCN: <input checked="" type="checkbox"/> MPMU / <input type="checkbox"/> Sharyland Water SC Other <u>          </u>	
Agricultural Exemption: <input type="checkbox"/> Yes / <input checked="" type="checkbox"/> No Parcel # <u>683562</u>		
Estimated Rollback Tax Due <u>24,393.71</u> Tax Dept. Review <u>127200-00-000-0011-01</u>		
Owner	Name <u>SOUTHWEST SOLUTIONS LLC</u> Phone <u>          </u>	
	Address <u>REPOS, LLC</u> E-mail <u>JAVIER ARGUELLES@</u>	
	City <u>2800 SANTA CLAY AVE</u> State <u>TX</u> Zip <u>78572</u> <u>1cloud.com</u>	
Developer	Name <u>Same as Owner</u> Phone <u>          </u>	
	Address <u>(JAVIER ARGUELLES LOZANO) (65% South west)</u>	
	City <u>JORGE</u> State <u>"</u> Zip <u>(35% REPOLIS)</u>	
	Contact Person <u>          </u>	
Engineer	Name <u>David Salinas</u> Phone <u>682-4081</u>	
	Address <u>2221 WINTERL</u> E-mail <u>dsalinas@solinas</u>	
	City <u>MENLO</u> State <u>TX</u> Zip <u>78501</u> <u>PARADEIRAS.COM</u>	
	Contact Person <u>          </u>	
Surveyor	Name <u>Same as Engr.</u> Phone <u>          </u>	
	Address <u>          </u> E-mail <u>          </u>	
	City <u>          </u> State <u>          </u> Zip <u>          </u>	







LOT 1

RAINBOW  
STORAGE UNITS  
SUBDIVISION

149 LOCATION

KINGS HIWAY  
SUBDIVISION

PROPOSED ERIE MARKETPLACE

LOT 1

DIVISION

PLACE SUBDIVISION

LOT 1

STRIPLING & SMITH  
SUBDIVISION

LOT "A"

S WARE RD

ERIE AVE.

10A

9A

GALVESTON AVE.

8

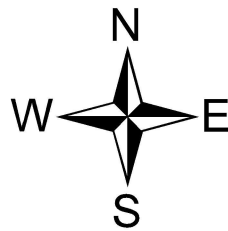
11A

S. 35TH ST.

MAR-BAR SUBDIVISION

KEYES SUBDIVISION

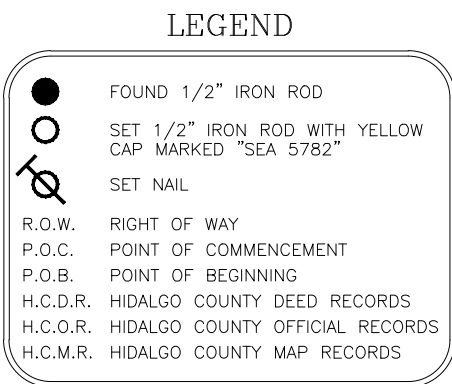
KEYES DRIVE (PRIVATE)



148

153





DATE \_\_\_\_\_



BY: \_\_\_\_\_ DEPUTY

SE  
A  
SALINAS ENGINEERING & ASSOC.  
(F-6675) (TBPLS-10065700)  
CONSULTING ENGINEERS & SURVEYORS  
221 DAFFODIL - McALEEN, TEXAS 78501  
(505) 682-9081 (505) 686-1489 (FAX)  
TBPLS 12100 PARK 35 CIRCLE BLDG. A, SUITE 156, MC-230, AUSTIN, TEXAS 78753 (512) 238-5

DISCLAIMER: THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW BY THE CITY OF MCALLEN ONLY & BY NO OTHERS UNDER THE AUTHORITY OF DAVID OMAR SALINAS, P.E., TX. REG. NO. 71973 ON NOVEMBER 05, 2024. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.





# City of McAllen

## SUBDIVISION PLAT REVIEW

Reviewed On: 11/15/2024

### SUBDIVISION NAME: ERIE MARKETPLACE SUBDIVISION

#### REQUIREMENTS

##### STREETS AND RIGHT-OF-WAYS

South Ware Road: 60 ft. from centerline for 120 ft. total ROW

Paving: by the state Curb & gutter: by the state

- Provide copies of ROW documents referenced on plat for staff review, prior to final.

- Label centerline on plat, prior to final.

\*\*Subdivision Ordinance: Section 134-105

\*\*Monies must be escrowed if improvements are required prior to final

\*\*COM Thoroughfare Plan

Non-compliance

Erie Avenue: 25 ft. from centerline for 50 ft. total ROW

Paving: approximately 30 ft. Curb & gutter: both sides

- Provide document number for existing ROW dedication and provide a copy for staff review, prior to final.

\*\*Subdivision Ordinance: Section 134-105

\*\*Monies must be escrowed if improvements are required prior to final

\*\*COM Thoroughfare Plan

Non-compliance

South 35th Street: Dedication as needed for 30 ft. from centerline for 60 ft. total ROW

Paving: 40 ft. Curb & gutter: both sides

- Label centerline and provide a copy of existing ROW dedication for staff review, prior to final.

\*\*Subdivision Ordinance: Section 134-105

\*\*Monies must be escrowed if improvements are required prior to final

\*\*COM Thoroughfare Plan

Non-compliance

Paving \_\_\_\_\_ Curb & gutter \_\_\_\_\_

\*\*Subdivision Ordinance: Section 134-105

\*\*Monies must be escrowed if improvements are required prior to final

\*\*COM Thoroughfare Plan

Applied

\* 1,200 ft. Block Length

\*\*Subdivision Ordinance: Section 134-118

Applied

\* 900 ft. Block Length for R-3 Zone Districts

\*\*Subdivision Ordinance: Section 134-118

NA

\* 600 ft. Maximum Cul-de-Sac

\*\*Subdivision Ordinance: Section 134-105

NA

##### ALLEYS

ROW: 20 ft. Paving: 16 ft.

- Proposing: A minimum 24 ft. private service drive easement will be established at part of the site plan and will be maintained by the lot owners and not the City of McAllen.

- Engineer must get with property to the north to determine service drive location to provide for extension and internal circulation as required by Traffic Department

\*Alley/service drive easement required for commercial properties

\*\*Subdivision Ordinance: Section 134-106

Non-compliance

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



SETBACKS	
<ul style="list-style-type: none"> <li>* Front: (South Ware Road): In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.</li> <li>- Revise plat note as shown above, wording to be finalized prior to final.</li> <li>- Lot 2 has frontage on 3 streets and must clarify setbacks, prior to final.</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Non-compliance
<ul style="list-style-type: none"> <li>* Rear: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* Sides: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* Corner: In accordance with the Zoning Ordinance or greater for easements or approved site plan, whichever is greater applies.</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* Garage</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	NA
<ul style="list-style-type: none"> <li>*ALL SETBACKS ARE SUBJECT TO INCREASE FOR EASEMENTS OR APPROVED SITE PLAN</li> </ul>	Applied
SIDEWALKS	
<ul style="list-style-type: none"> <li>* 4 ft. wide minimum sidewalk required on South Ware Road, Erie Avenue, and South 35th Street.</li> <li>- Sidewalk requirements may increase to 5 ft. per Engineering Department, plat note wording to be finalized, prior to final.</li> <li>**Subdivision Ordinance: Section 134-120</li> </ul>	Non-compliance
<ul style="list-style-type: none"> <li>* Perimeter sidewalks must be built or money escrowed if not built at this time.</li> </ul>	Required
BUFFERS	
<ul style="list-style-type: none"> <li>* 6 ft. opaque buffer required from adjacent/between multi-family residential and commercial, and industrial zones/uses</li> <li>**Landscaping Ordinance: Section 110-46</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* 8 ft. masonry wall required between single family residential and commercial, industrial, or multi-family residential zones/uses</li> <li>**Landscaping Ordinance: Section 110-46</li> </ul>	Applied
<ul style="list-style-type: none"> <li>*Perimeter buffers must be built at time of Subdivision Improvements.</li> </ul>	Required
NOTES	
<ul style="list-style-type: none"> <li>* No curb cut, access, or lot frontage permitted along</li> <li>**Must comply with City Access Management Policy</li> </ul>	TBD
<ul style="list-style-type: none"> <li>* Site plan must be approved by the Planning and Development Departments prior to building permit issuance.</li> </ul>	Required
<ul style="list-style-type: none"> <li>* Common Areas, any private service drives, access easements, etc. must be maintained by the lot owners and not the City of McAllen.</li> <li>- Revise plat note as shown above, prior to final.</li> </ul>	Non-compliance
<ul style="list-style-type: none"> <li>* Common Areas for commercial developments provide for common parking, access, setbacks, landscaping, etc.</li> </ul>	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



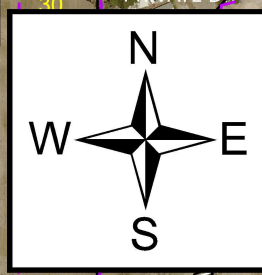
<ul style="list-style-type: none"> <li>* Developer/Homeowner's Association/Owner, their successors and assignees, and not the City of McAllen shall be responsible for compliance of installation and maintenance and other requirements per Section 134-168 of the Subdivision Ordinance, including but not limited to common areas and its private streets.</li> <li>**Section 110-72 applies if public subdivision is proposed.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Homeowner's Association Covenants must be recorded and submitted with document number on the plat, prior to recording.</li> <li>**Section 110-72 applies if public subdivision is proposed.</li> <li>**Landscaping Ordinance: Section 110-72</li> <li>**Subdivision Ordinance: Section 134-168</li> </ul>	NA
<b>LOT REQUIREMENTS</b>	
<ul style="list-style-type: none"> <li>* Lots fronting public streets</li> <li>**Subdivision Ordinance: Section 134-1</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* Minimum lot width and lot area</li> <li>**Zoning Ordinance: Section 138-356</li> </ul>	Applied
<b>ZONING/CUP</b>	
<ul style="list-style-type: none"> <li>* Existing: C-3 Proposed: C-3</li> <li>***Zoning Ordinance: Article V</li> </ul>	Applied
<ul style="list-style-type: none"> <li>* Rezoning Needed Before Final Approval</li> <li>***Zoning Ordinance: Article V</li> </ul>	NA
<b>PARKS</b>	
<ul style="list-style-type: none"> <li>* Land dedication in lieu of fee. As per application dated on November 7, 2024, proposed land use is commercial, commercial developments do no apply to Parks.</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Park Fee of \$700 per lot/dwelling unit to be paid prior to recording. As per application dated on November 7, 2024, proposed land use is commercial, commercial developments do no apply to Parks.</li> </ul>	NA
<ul style="list-style-type: none"> <li>* Pending review by the City Manager's Office. As per application dated on November 7, 2024, proposed land use is commercial, commercial developments do no apply to Parks.</li> </ul>	NA
<b>TRAFFIC</b>	
<ul style="list-style-type: none"> <li>* As per Traffic Department, Trip Generation required to determine if TIA is required, prior to final plat.</li> </ul>	Required
<ul style="list-style-type: none"> <li>* Traffic Impact Analysis (TIA) required prior to final plat.</li> </ul>	TBD
<b>COMMENTS</b>	
<p>Comments:</p> <ul style="list-style-type: none"> <li>- Any abandonments must be done by separate process, not by plat.</li> <li>- Engineer must clarify access easement agreement with the property to the north to determine location to establish internal connection and access maintenance responsibility.</li> <li>- Engineer must clarify annotation of 60 ft. roadway on Lot 2 and use.</li> <li>*Must comply with City's Access Management Policy.</li> </ul>	Applied

**These comments are for subdivision requirements only – additional requirements may apply at time of site plan review**



RECOMMENDATION	
Recommendation: STAFF RECOMMENDS APPROVAL OF THE SUBDIVISION IN PRELIMINARY FORM SUBJECT TO THE CONDITIONS NOTED, DRAINAGE, AND UTILITY APPROVAL.	Applied





**LOCATION**

**KINGS HIWAY  
SUBDIVISION**

**PROPOSED ERIE MARKETPLACE**



P	PRESENT
A	ABSENT
MC	MEETING CANCELLED
LQ	LACK OF QUORUM
SM	SPECIAL MEETING

## 2024 ATTENDANCE RECORD FOR PLANNING AND ZONING COMMISSION MEETINGS

	01/04/24	01/24/24	02/06/24	02/20/24	03/05/24	03/19/24	04/02/24	04/16/24	05/07/24	05/21/24	06/04/24	06/18/24	07/10/24	07/24/24	07/29/24	08/06/24	08/20/24	09/11/24	9/20/24 SM	09/25/24	10/08/24	10/22/24	11/05/24		
Michael Fallek	P	P	P	P	LQ	P	P	P	P	A	P	P	P	LQ	P	A	A	LQ	P	P	A	P	P		
Gabriel Kamel	A	P	P	A	LQ	P	P	A	P	P	P	A	P	LQ	A	P	P	LQ	P	P	P	P	A		
Jose B. Saldana	P	A	P	A	LQ	P	A	P	A	A	P	A	P	LQ	A	A	P	LQ	P	P	A	A	P		
Marco Suarez	P	P	A	P	LQ	A	A	P	A	P	A	P	A	LQ	A	P	A	LQ	A	P	A	P	P		
Emilio Santos Jr.	P	P	P	P	LQ	P	P	P	P	P	P	P	P	LQ	P	P	P	LQ	A	A	P	P	A		
Jesse Ozuna	A	P	P	P	LQ	A	P	P	A	P	P	P	P	LQ	P	P	P	LQ	P	P	P	A	P		
Reza Badiozzamani	P	A	A	P	LQ	A	P	P	P	P	P	P	A	LQ	P	A	P	LQ	P	P	P	P	P		

## 2024 ATTENDANCE RECORD FOR PLANNING AND ZONING COMMISSION WORKSHOPS

Michael Fallek																				P					
Gabriel Kamel																				P					
Jose B. Saldana																				P					
Marco Suarez																				P					
Emilio Santos Jr.																				A					
Jesse Ozuna																				P					
Reza Badiozzamani																				P					